



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary Conditional Use & Variance

HEARING DATE: MARCH 21, 2013

*Date:* March 14, 2013  
*Case No.:* 2009.0753CV  
*Project Address:* 3155 CESAR CHAVEZ  
*Zoning:* RH-2 (Residential, House, Two-Family) District  
40-X Height and Bulk District  
Bernal Heights Special Use District  
*Block/Lot:* 5503 / 040  
*Project Sponsor:* Jerry Brown  
619 27<sup>th</sup> Street #A  
Oakland, CA 94612  
*Owner:* Church of God  
3155 Cesar Chavez  
San Francisco, CA 94110  
*Staff Contact:* Erika S. Jackson – (415) 558-6363  
erika.jackson@sfgov.org  
*Recommendation:* **Approval with Conditions**

### PROJECT DESCRIPTION

The Project Sponsor seeks a Conditional Use Authorization, pursuant to Planning Code Sections 209.3(j) and 303 of the Planning Code to allow the demolition and reconstruction of an existing church (Church of God). The proposed new church building would be approximately 122 feet long and 45 feet wide with approximately 11,760 square feet. The proposed building would contain a sanctuary and balcony with approximately 234 seats, 2 multi-purpose rooms, 2 conference rooms, 5 offices, and a kitchen. The new two-story building would be approximately 37 feet tall including decorative parapets and a raised skylight window. The project proposes no front setback, no off-street parking, and a landscaped rear yard of approximately 56 feet.

### SITE DESCRIPTION AND PRESENT USE

The Project site at 3155 Cesar Chavez is located on the south side of Cesar Chavez, between Folsom and Harrison Streets and is developed with an approximately 5,000 square foot two-story building

(approximately 100 feet deep and 25 feet wide). The existing building was constructed in 1922 and was used as a key making foundry and a concrete statue production facility before it was converted to a church in the 1972. The existing building contains a sanctuary with approximately 190 seats, a dining room, 2 daycare rooms, 3 offices, and a kitchen. The subject lot is approximately 180 feet deep, 45 feet wide, and 8,100 square-feet in area with approximately 45 feet of frontage along Cesar Chavez. The existing building is located along the northern side property line, thus allowing a 20 foot wide driveway to the rear of the lot. The existing rear yard is approximately 80 feet.

## **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The Project site is located within an RH-2 (Residential, House, Two-Family) District situated within the Bernal Heights Special Use District. The block immediately across Cesar Chavez to the north of the subject lot is zoned RM-1. Land uses in the immediate vicinity of the site are typical of neighborhoods with primarily residential uses. Most of the buildings in the vicinity are between two and four stories tall. There is a mix of single-family and multi-family residential buildings, as well as churches, schools, and some commercial businesses a few blocks from the subject lot. An elementary school is located to the west of the subject site on the corner of Cesar Chavez and Harrison Street. The vicinity of the site is well served by public transit.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption under CEQA.

## **HEARING NOTIFICATION**

<b>TYPE</b>	<b>REQUIRED PERIOD</b>	<b>REQUIRED NOTICE DATE</b>	<b>ACTUAL NOTICE DATE</b>	<b>ACTUAL PERIOD</b>
Classified News Ad	20 days	March 1, 2013	March 1, 2013	20 days
Posted Notice	20 days	March 1, 2013	March 1, 2013	20 days
Mailed Notice	10 days	March 11, 2013	March 11, 2013	10 days

## **PUBLIC COMMENT**

- To date the Department has received one phone call from a neighbor concerned about parking, and an email from another neighbor with questions regarding the size of the new building and rear yard.

## **ISSUES AND OTHER CONSIDERATIONS**

- The proposed building would be larger than the existing building, but the expansion would not be significantly taller than the adjacent buildings or deeper than the adjacent building to the west.
- The Urban Design Action Team has reviewed the project for compatibility with the surrounding neighborhood.
- The church is proposing to expand their existing building to provide a larger space for their

growing congregation and for community related events. The new building would include improvements such as an elevator, larger restrooms, more conference rooms, more natural light, and better circulation between the interior spaces including an interior staircase connecting the first and second floors.

- The area is well served by public transit with a Muni bus stop for the 12, 27, and 67 at the corner of Cesar Chavez and Folsom Streets. The 24<sup>th</sup> Mission BART station is located a few blocks from the subject lot.
- The principal of Flynn Elementary School on the corner of Harrison and Cesar Chavez has written a letter authorizing church patrons to use the white parking zones in front of the school for parking on weekends.
- The church provides a free shuttle to pick up patrons of the church during Sunday services and other events.
- A majority of the church patrons arrive by public transportation, walking, and shuttle. Others arrive by private vehicle carpool, bicycle, and motorcycle.

## **VARIANCES**

The proposed project requires the approval of Front Setback, Parking, and Rear Yard Variances. Planning Code Section 132 requires that any building or addition constructed shall be set back to the average of the front setbacks of the two adjacent buildings. The required front setback is 9 feet. The proposal provides no front setback. Planning Code Section 151 requires off-parking for church uses at the ratio of 1 space per 20 seats. The proposal is for 234 seats, which requires 12 off-street parking spaces. The proposal provides no off-street parking spaces. Planning Code Section 242(e) requires a rear yard of 45 percent of lot depth. The required rear yard is approximately 78.75 feet. The proposal provides a rear yard of approximately 56 feet. Therefore, the approval of a rear yard Variance is required.

## **REQUIRED COMMISSION ACTION**

In order for the Project to proceed, the Commission must grant Conditional Use Authorization to allow the demolition and reconstruction of an existing church (Church of God) pursuant to Planning Code Sections 209.3(j) and 303.

## **BASIS FOR RECOMMENDATION**

- The Project promotes small business ownership and employment opportunities.
- The Project is compatible with the surrounding neighborhood as the proposed new church building will occupy the site of an existing church.
- The use is desirable as it will provide a vital service for the residents of the neighborhood.
- The Project is consistent with the General Plan.

<b>RECOMMENDATION:</b> <b>Approval with Conditions</b>
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Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project Sponsor submittal           |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Existing Conditions</u>                                    |
| <input type="checkbox"/> Environmental Determination    | <input checked="" type="checkbox"/> Check for legibility                |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u>                                       |
| <input checked="" type="checkbox"/> Height & Bulk Map   | <input checked="" type="checkbox"/> Check for legibility                |
| <input checked="" type="checkbox"/> Parcel Map          | <input checked="" type="checkbox"/> Letter from Flynn Elementary School |
| <input checked="" type="checkbox"/> Sanborn Map         |   |
| <input checked="" type="checkbox"/> Aerial Photo        |   |
| <input checked="" type="checkbox"/> Site Photo          |   |
| <input checked="" type="checkbox"/> Context Photos      |   |

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_  
Planner's Initials

**Executive Summary**  
**Hearing Date: March 21, 2013**

**CASE NO. 2009.0753CV**  
**3155 Cesar Chavez**

*ESJ: G:\DOCUMENTS\Projects\Combos\CV\Cesar Chavez 3155\ExecutiveSummary.doc*



# SAN FRANCISCO PLANNING DEPARTMENT

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*Subject to: (Select only if applicable)*

- |  |  |
|--|--|
| <input type="checkbox"/> Inclusionary Housing (Sec. 315)         | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 313) | <input type="checkbox"/> Child Care Requirement (Sec. 314) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 139)            | <input type="checkbox"/> Other                             |

1650 Mission St.  
Suite 400  
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Reception:  
**415.558.6378**

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Planning  
Information:  
**415.558.6377**

## Planning Commission Motion No. XXXXX

HEARING DATE: MARCH 21, 2013

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erika.jackson@sfgov.org

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE (CU) AUTHORIZATION UNDER PLANNING CODE SECTIONS 209.3(j) AND 303 TO ALLOW THE DEMOLITION AND RECONSTRUCTION OF AN EXISTING CHURCH (CHURCH OF GOD) WITHIN AN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) DISTRICT, THE BERNAL HEIGHTS SPECIAL USE DISTRICT, AND A 40-X HEIGHT AND BULK DISTRICT. THE PROPOSAL ALSO INCLUDES A VARIANCE REQUEST FOR FRONT SETBACK, PARKING, AND REAR YARD, WHICH WILL BE HEARD BY THE ZONING ADMINISTRATOR.**

### PREAMBLE

On August 13, 2009, Jerry Brown (Project Sponsor) filed an application with the Department for Conditional Use Authorization under Planning Code Sections 209.3(j) and 303 of the Planning Code to allow the demolition and reconstruction of an existing church (Church of God) within an RH-2 (Residential, House, Two-Family) District, a 40-X Height and Bulk designation, and the Bernal Heights Special Use District.

On March 21, 2013, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2009.0753CV.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption under CEQA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2009.0753CV, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project site at 3155 Cesar Chavez is located on the south side of Cesar Chavez, between Folsom and Harrison Streets and is developed with an approximately 5,000 square foot two-story building (approximately 100 feet deep and 25 feet wide). The existing building was constructed in 1922 and was used as a key making foundry and a concrete statue production facility before it was converted to a church in the 1972. The existing building contains a sanctuary with approximately 190 seats, a dining room, 2 daycare rooms, 3 offices, and a kitchen. The subject lot is approximately 180 feet deep, 45 feet wide, and 8,100 square-feet in area with approximately 45 feet of frontage along Cesar Chavez. The existing building is located along the northern side property line, thus allowing a 20 foot wide driveway to the rear of the lot. The existing rear yard is approximately 80 feet.
3. **Surrounding Properties and Neighborhood.** The Project site is located within an RH-2 (Residential, House, Two-Family) District situated within the Bernal Heights Special Use District. The block immediately across Cesar Chavez to the north of the subject lot is zoned RM-1. Land uses in the immediate vicinity of the site are typical of neighborhoods with primarily residential uses. Most of the buildings in the vicinity are between two and four stories tall. There is a mix of single-family and multi-family residential buildings, as well as churches, schools, and some commercial businesses a few blocks from the subject lot. An elementary school is located to the west of the subject site on the corner of Cesar Chavez and Harrison Street. The vicinity of the site is well served by public transit.
4. **Project Description.** The Project Sponsor seeks a Conditional Use Authorization, pursuant to Planning Code Sections 209.3(j) and 303 of the Planning Code to allow the demolition and reconstruction of an existing church (Church of God). The proposed new church building would

be approximately 122 feet long and 45 feet wide with approximately 11,760 square feet. The proposed building would contain a sanctuary and balcony with approximately 234 seats, 2 multi-purpose rooms, 2 conference rooms, 5 offices, and a kitchen. The new two-story building would be approximately 37 feet tall including decorative parapets and a raised skylight window. The project proposes no front setback, no off-street parking, and a landscaped rear yard of approximately 56 feet.

5. **Public Comment.** To date the Department has received one phone call from a neighbor concerned about parking.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Institutions – Church.** Planning Code Section 209.3(j) requires Conditional Use authorization for a church within an RH-2 District.

*The Project Sponsor seeks Conditional Use Authorization to demolish and reconstruct an existing church within an RH-2 District.*

- B. **Front Setback.** Planning Code Section 132 requires front setbacks so that buildings relate to the setbacks provided by adjacent buildings. Any new construction or addition shall be setback to the average of the front setbacks of the two adjacent buildings.

*The required front setback for the subject lot is 9 feet. The proposal provides no front setback. The approval of a Front Setback Variance is required.*

- C. **Parking.** Planning Code Section 151 establishes off-street parking requirements for all uses. Off-street parking is required for church uses at the ratio of 1 space per 20 seats.

*The proposed sanctuary is for 234 seats, which requires 12 off-street parking spaces. The proposal provides no off-street parking spaces. The approval of a Parking Variance is required.*

- D. **Rear Yard.** Planning Code Section 242(e) establishes rear yard requirements for all districts. In an RH-2 District within the Bernal Heights Special Use District, a minimum 45 percent of lot depth rear yard is required, which, for the subject site, represents a rear yard depth of approximately 79 feet.

*The proposed building provides a rear yard setback of approximately 56 feet. The approval of a Rear Yard Variance is required.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the Project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible

with, the neighborhood or the community.

*The Project is compatible with the surrounding neighborhood as the proposed new church building will occupy the site of an existing church. The proposed building would not be significantly taller than the adjacent buildings or deeper the adjacent building to the west. The use is desirable as it will provide a vital service for the residents of the neighborhood. The Project is desirable for the neighborhood in that it provides a needed service for the neighborhood and surrounding community. The proposed use is desirable for nearby residents in that approval of this Project would enhance religious services in this neighborhood. The proposed use is also desirable in that it creates a more positive neighborhood aesthetic by providing a new building that creates a continuous building frontage.*

B. The Proposed Project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the Project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed building would not be significantly taller than the adjacent buildings or deeper than the adjacent building to the west. The use will remain the same and therefore will not be detrimental to the health, safety, convenience or general welfare of the nearby residents or workers. The proposed Project will not be injurious to existing properties or improvements or potential developments in the area.*

ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The church use is intended to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips citywide.*

iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*No noxious or offensive emissions such as noise, glare, dust and odor are expected to be emitted during normal operations. The proposed Project is exempt from environmental review.*

iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The project proposes the installation of two street trees along the Cesar Chavez frontage. Any proposed signage will be subject to the review and approval of the Planning Department.*

C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

8. **General Plan Compliance.** The Project is consistent with the Objectives and Policies of the General Plan in that:

## COMMERCE AND INDUSTRY ELEMENT

### Objectives and Policies

#### OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

#### Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

*The Project would enhance the city living and working environment by providing desired religious services for residents and workers within the City.*

#### OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

#### Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

#### Policy 3:

Maintain a favorable social cultural climate in the city in order to enhance its attractiveness as a firm location.

*The Project will enhance the diverse economic base of the City.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the Project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*No neighborhood-serving retail use would be displaced by the Project.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The proposed building would not be significantly taller than the adjacent buildings or deeper than the adjacent building to the west. Therefore, the proposed project will not adversely affect existing housing or character of the neighborhood.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*No affordable housing will be removed for this Project.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*Due to the nature of the Project there are no anticipated adverse effects upon MUNI service or on neighborhood parking.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*Approval of this Project will not adversely affect any industrial or service sector jobs.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will not impact the subject property's ability to withstand an earthquake and all interior improvements shall meet the structural and seismic safety requirements of the City Building Code.*

- G. That landmarks and historic buildings be preserved.

*No landmarks or historic buildings will be adversely affected by the Project.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*This Project will not affect any parks or open space.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

11. The Commission hereby finds that approval of the Conditional Use authorization would promote

the health, safety and welfare of the City.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2009.0753CV** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 18773. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA, 94012.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on March 21, 2013.

Jonas P. Ionin  
Acting Commission Secretary

AYES:

NAYES:

ABSENT:

ADOPTED: March 21, 2013

## **EXHIBIT A**

### **AUTHORIZATION**

This authorization is for a conditional use to allow the demolition and reconstruction of an existing church (Church of God) within an RH-2 (Residential, House, Two-Family) District, a 40-X Height and Bulk designation, and the Bernal Heights Special Use District located at 3155 Cesar Chavez, Block 5503, and Lot 040 pursuant to Planning Code Sections 209.3(j) and 303; in general conformance with plans, dated October 2011, and stamped "EXHIBIT B" included in the docket for Case No. 2009.0753CV and subject to conditions of approval reviewed and approved by the Commission on March 21, 2013 under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### **RECORDATION OF CONDITIONS OF APPROVAL**

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on March 21, 2013 under Motion No. XXXXX.

### **PRINTING OF CONDITIONS OF APPROVAL ON PLANS**

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### **SEVERABILITY**

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### **CHANGES AND MODIFICATIONS**

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the Project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the Proposed Project and conveys no independent right to construct the Project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).*

2. **Extension** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).*

3. This Conditional Use Authorization is subject to approval of Variances for Front Setback, Parking, and Rear Yard by the Zoning Administrator.
4. The Project Sponsor shall remove the existing curb cut and driveway and restore the sidewalk along Cesar Chavez in front of the subject lot.
5. The Project Sponsor shall remove the trailer located within the required rear yard.

### DESIGN – COMPLIANCE AT PLAN STAGE

6. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING - AFTER ENTITLEMENT

7. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

8. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

9. **Community Liaison.** Prior to issuance of a building permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

10. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>*

11. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

**Motion No. XXXXX**  
**Hearing Date: March 21, 2013**

**CASE No. 2009.0753CV**  
**3155 Cesar Chavez**

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>*

# Parcel Map



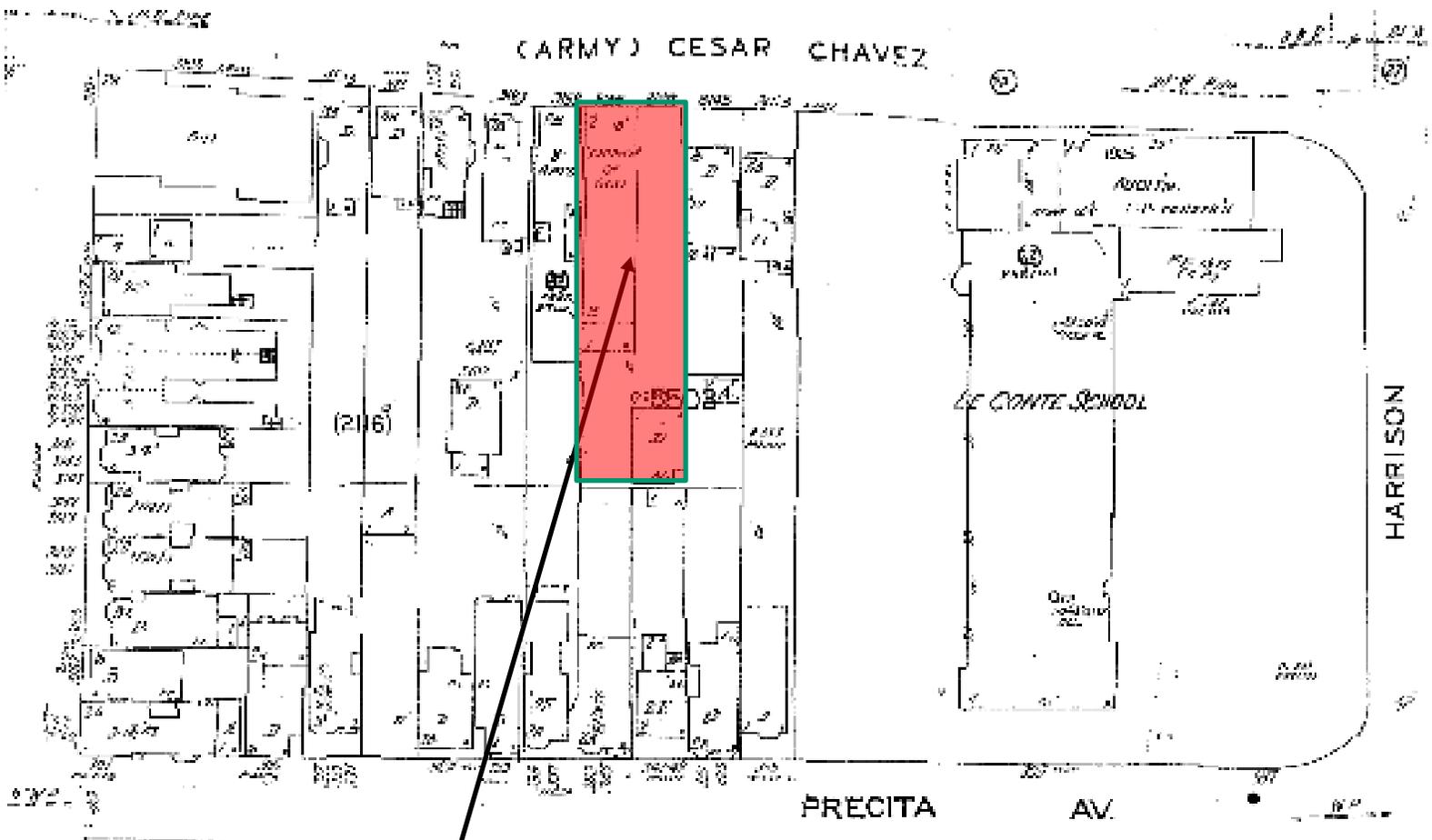
**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2009.0753CV  
3155 Cesar Chavez Street  
5503 / 040

# Sanborn Map\*

\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

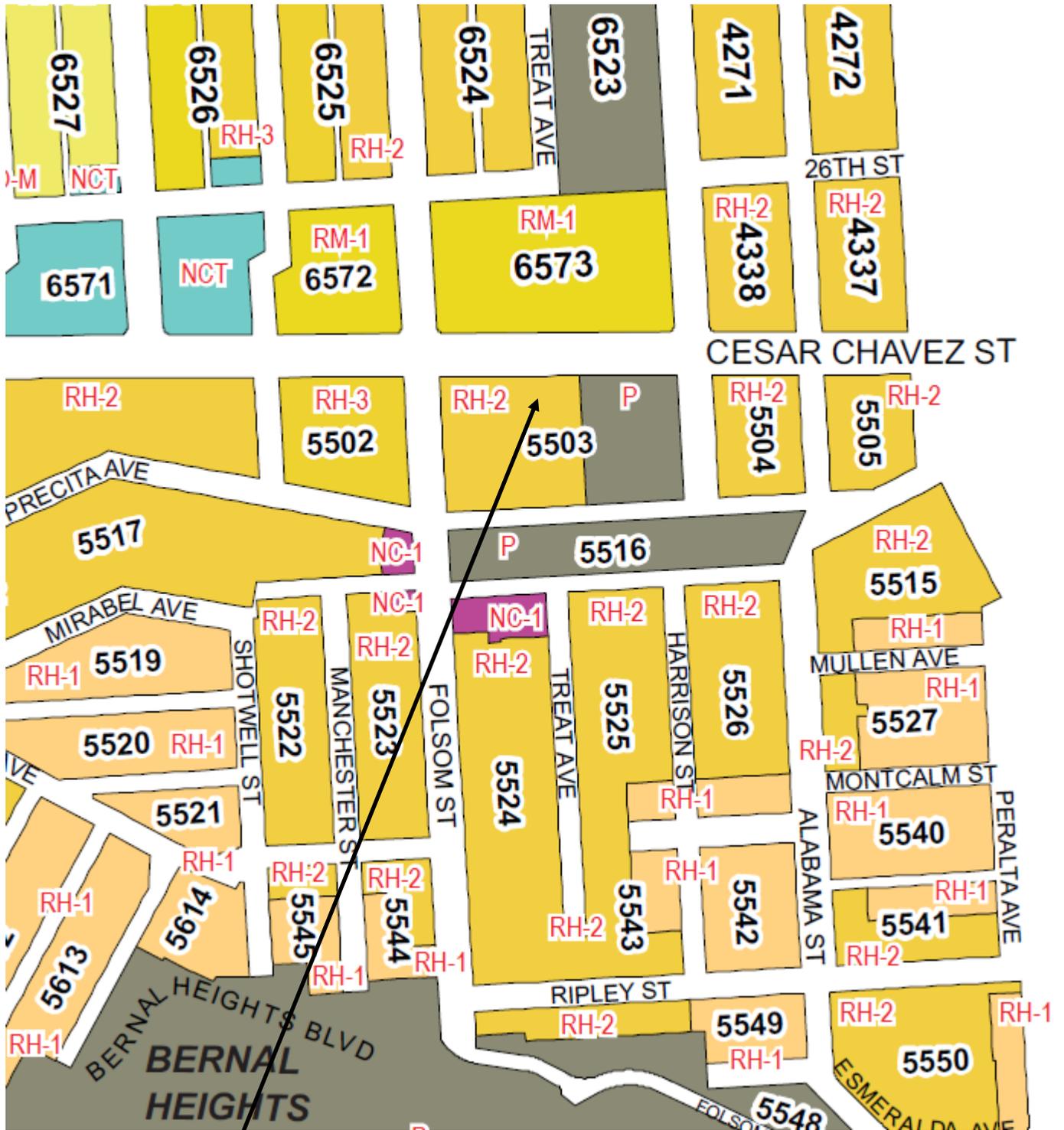


**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2009.0753CV  
3155 Cesar Chavez Street  
5503 / 040

# Zoning Map

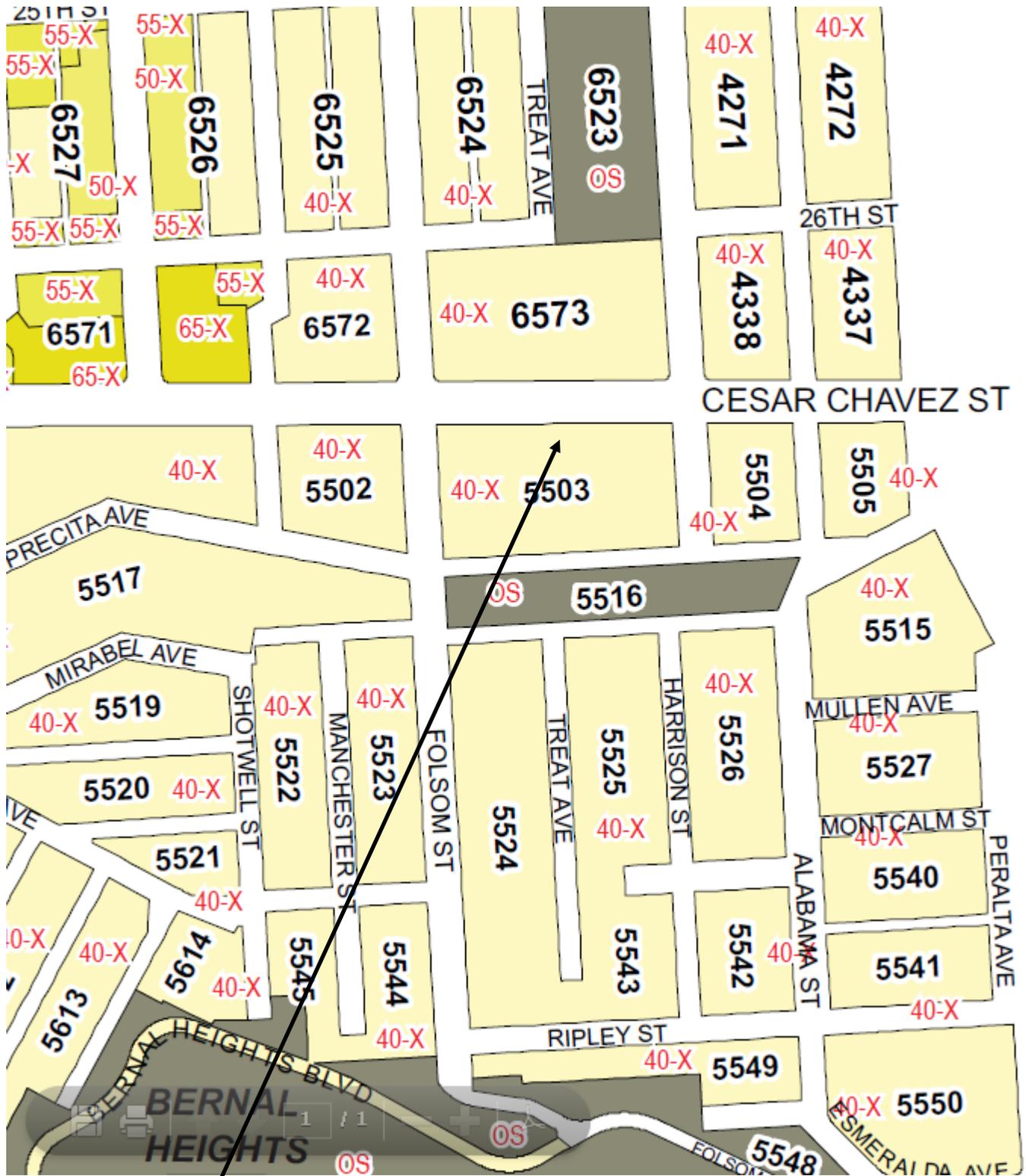


**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2009.0753CV  
3155 Cesar Chavez Street  
5503 / 040

# Height & Bulk Map

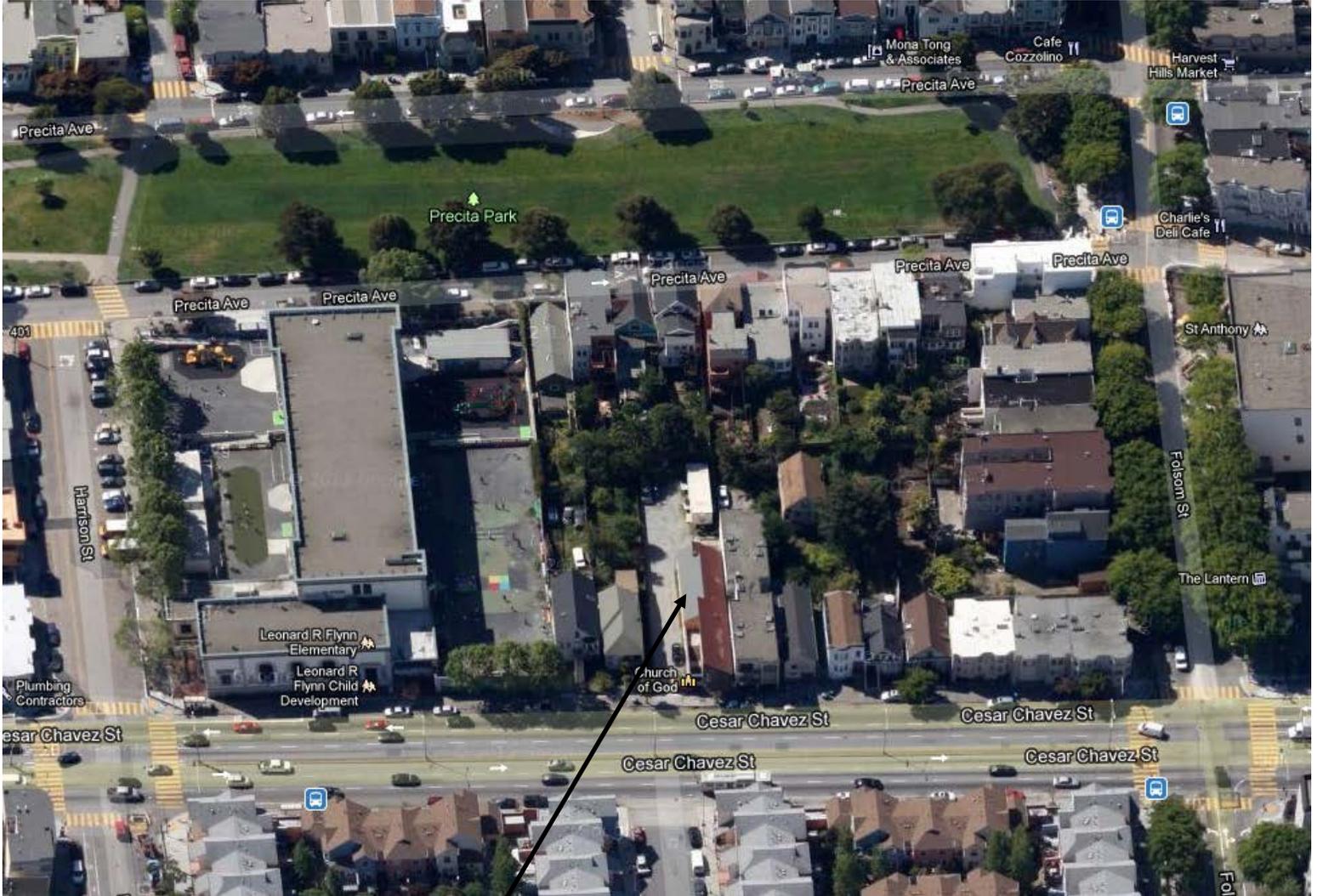


**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2009.0753CV  
3155 Cesar Chavez Street  
5503 / 040

# Aerial Photograph



**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2009.0753CV  
3155 Cesar Chavez Street  
5503 / 040

# Site Photograph





**CESAR CHAVEZ SOUTH VIEW**



**CESAR CHAVEZ NORTH VIEW**

# CHURCH OF GOD

## 3155 CESAR CHAVEZ

### SAN FRANCISCO, CA. 94110

CONSULTANT

PROJECT TITLE  
CHURCH OF GOD  
3155 CESAR CHAVEZ  
SAN FRANCISCO CA 94110

ABBREVIATIONS						PROJECT DATA		PROJECT DATA		DRAWINGS	
@	AT	FD	FLOOR DRAIN	MECH	MECHANICAL	S	SOUTH	JURISDICTION:	CITY AND COUNTY OF SAN FRANCISCO BUILDING CODE:	A0.0	COVER SHEET; PROJECT DATA AND SITE PLAN
Ø	CENTERLINE	FE	FIRE EXTINGUISHER	MEMB	MEMBRANE	SC	SOLID CORE	ADDRESS:	3155 CESAR CHAVEZ	A2.0	EXISTING FLOOR PLAN
Ø	DIAMETER	FEC	FIRE EXTINGUISHER	MET	METAL	SECT	SECTION		3155 CESAR CHAVEZ	A2.1	PROPOSED FLOOR PLAN
(E)	EXISTING		CABINET	MFR	MANUFACTURER	SHWR	SHOWER		SAN FRANCISCO CA.94110	A2.2	PROPOSED MEZZANINE & ROOF PLAN
ℙ	PROPERTY LINE	FIN	FINISH	MH	MANHOLE	SHT	SHEET	BLOCK:	5503	A3.0	EXISTING ELEVATIONS & NEIGHBORHOOD
AD	AREA DRAIN	FLR	FLOOR	MISC	MISCELLANEOUS	SPECS	SPECIFICATIONS	LOT:	040	A3.1	EXISTING ELEVATIONS
ASB	ASBESTOS	FOS	FACE OF STUD	MTD	MOUNTED	SQ	SQUARE	TYPE OF CONSTR:	VA	A3.2	PROPOSED ELEVATIONS
A.F.F.	ABOVE FIN. FLR.	FT	FOOT, FEET	M.C.	MEDICINE CABINET	S.SK	STAINLESS STEEL	NO. OF STORIES:	2	A3.3	PROPOSED ELEVATIONS
BD	BOARD	GA	GAUGE	MIC	MICROWAVE	S.STL	STAINLESS STEEL	NO. OF BASEMENTS	1	A4.0	PROPOSED SECTIONS
BLDG	BUILDING	GALV	GALVANIZED	(N)	NEW	S.SK	SERVICE SINK	ZONING:	RH-2		
BLK	BLOCK	GB	GRAB BAR	NIC	NOT IN CONTRACT	STD	STANDARD	TYPE OF CONSTRUCTION:	VA		
BOT	BOTTOM	GL	GLASS	NO./#	NUMBER	STL	STEEL	PROPOSED USE:	CHURCH		
BUR	BUILT-UP ROOFING	GL	GLASS	NOM	NOMINAL			PRESENT USE:	CHURCH		
CAB	CABINET	G.I.	GALVANIZED IRON	NTS	NOT TO SCALE	STOR	STORAGE	SPRINKLERS UNDER SEPARATE PERMIT			
C.B.	CATCH BASIN	GND	GROUND	OA	OVERALL	STRUC	STRUCTURAL				
CEM	CEMENT	GYP	GYPSUM	OBS	OBSCURE	SYM	SYMMETRICAL				
CER	CERAMIC	HB	HOSE BIBB	O.C.	ON CENTER						
CLG	CEILING	HC	HOLLOW CORE	O.D.	OUTSIDE DIAMETER	TB	TOWEL BAR				
CLR	CLEAR	HDWD	HARDWOOD	OFF	OFFICE	TC	TOP OF CURB				
CLO	CLOSET	HM	HOLLOW METAL	OPP	OPPOSITE	TEL	TELEPHONE				
COL	COLUMN	HORIZ	HORIZONTAL	PL	PLATE	TER	TERRAZZO				
CONSTR	CONSTRUCTION	HR	HOUR	PLAS	PLASTER	T/G	TONGUE & GROOVE				
CONT	CONTINUOUS	HT	HEIGHT	PLYWD	PLYWOOD	T/C	TRASH COMPACTOR				
CTR	CENTER	HTR	HEATER	PR	PAIR	TYP.	TYPICAL				
DBL	DOUBLE	ID	INSIDE DIAMETER	PT	POINT	UNF.	UNFINISHED				
D.F.	DRINKING FOUNTAIN	INSUL	INSULATION	Q.T.	QUARRY TILE	UON	UNLESS OTHERWISE NOTED				
DET	DETAIL	INT	INTERIOR			VERT	VERTICAL				
DIM	DIMENSION	JT	JOINT	R	RISER						
DIA	DIAMETER	KIT	KITCHEN	RAD	RADIUS	W	WEST				
DISP	DISPENSER	LAM	LAMINATE	RD	ROOF DRAIN	W/	WITH				
DN	DOWN	LAV	LAVATORY	REF	REFERENCE	WD	WOOD				
DR	DOOR	LT	LIGHT	REFR	REFRIGERATOR	W/O	WITHOUT				
DWR	DRAWER			REINF	REINFORCED	WP	WATERPROOF				
DS	DOWNSPOUT			REQD	REQUIRED	WSCT	WAINSCOT				
DWG	DRAWING			RESIL	RESILIENT	WT	WEIGHT				
E	EAST			RM	ROOM	W/H	WATER HEATER				
EA	EACH			RO	ROUGH OPENING	WDW	WINDOW				
EL	ELEVATION			RWD	REDWOOD						
ELEC	ELECTRICAL			RWL	RAIN WATER LEADER						
EQ	EQUAL										
EQUIP	EQUIPMENT										
EXIST	EXISTING										
EXP	EXPANSION										
EXT	EXTERIOR										

ARCHITECTURAL

A0.0 COVER SHEET; PROJECT DATA AND SITE PLAN

A2.0 EXISTING FLOOR PLAN

A2.1 PROPOSED FLOOR PLAN

A2.2 PROPOSED MEZZANINE & ROOF PLAN

A3.0 EXISTING ELEVATIONS & NEIGHBORHOOD

A3.1 EXISTING ELEVATIONS

A3.2 PROPOSED ELEVATIONS

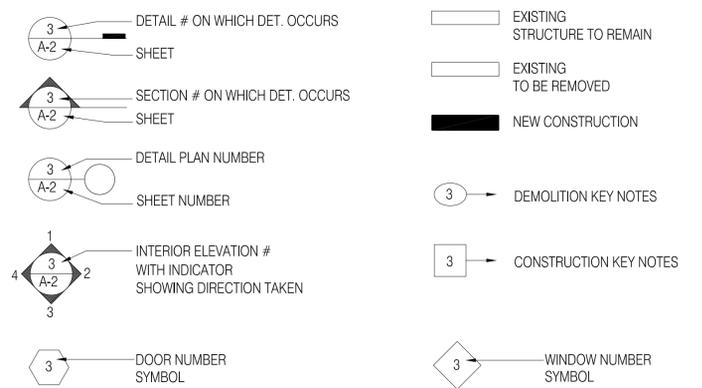
A3.3 PROPOSED ELEVATIONS

A4.0 PROPOSED SECTIONS

SCOPE OF WORK

TWO STORY VERTICAL & HORIZONTAL ADDITION TO EXISTING CHURCH PER PLAN TO THE SIDE & REAR.

#### LEGEND



#### VICINITY MAP



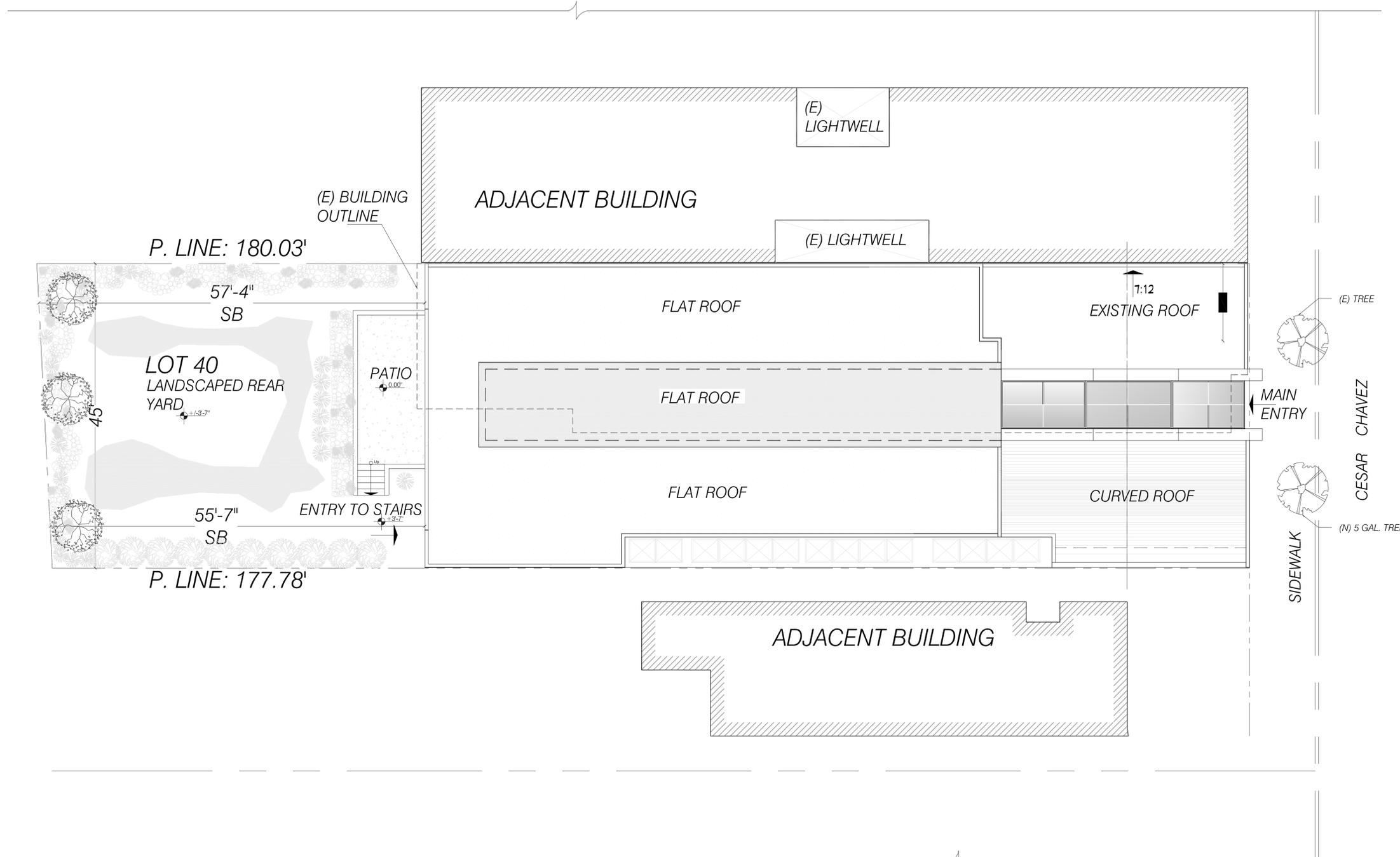
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DRAWN		
CHECK1		
CHECK2		
FILE		
PROJ.	2010	
FACILITY	CHURCH	
DESIGNER	MARIO AVILES	DATE
		OCT-2011

SCALE

DRAWING TITLE  
COVER SHEET & SITE PLAN  
ELECTRICAL&FP-NOTES  
SHEET NO.  
**A0.0**  
Sheet \_\_\_ of \_\_\_ sheets.

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PROJECT TITLE  
CHURCH OF GOD  
3155 CESAR CHAVEZ  
SAN FRANCISCO CA 94110



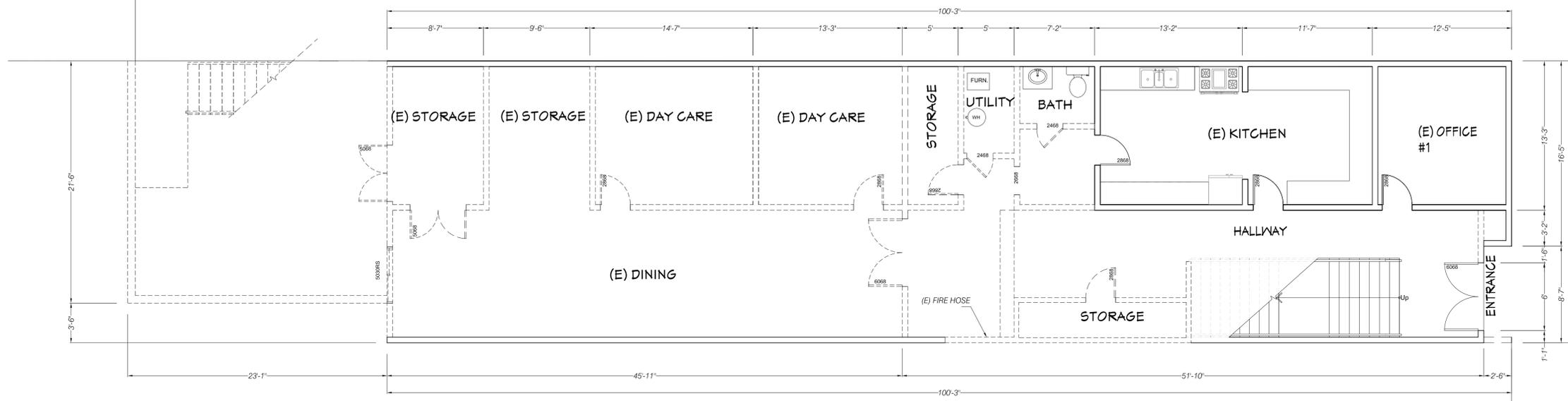
1 **SITE PLAN**  
1/8" = 1'-0"

NO.	DATE	REVISIONS
DRAWN		
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PROJ.		
FACILITY	CHURCH	
DESIGNER	MARIO-AVILES	DATE
		OCT-2011



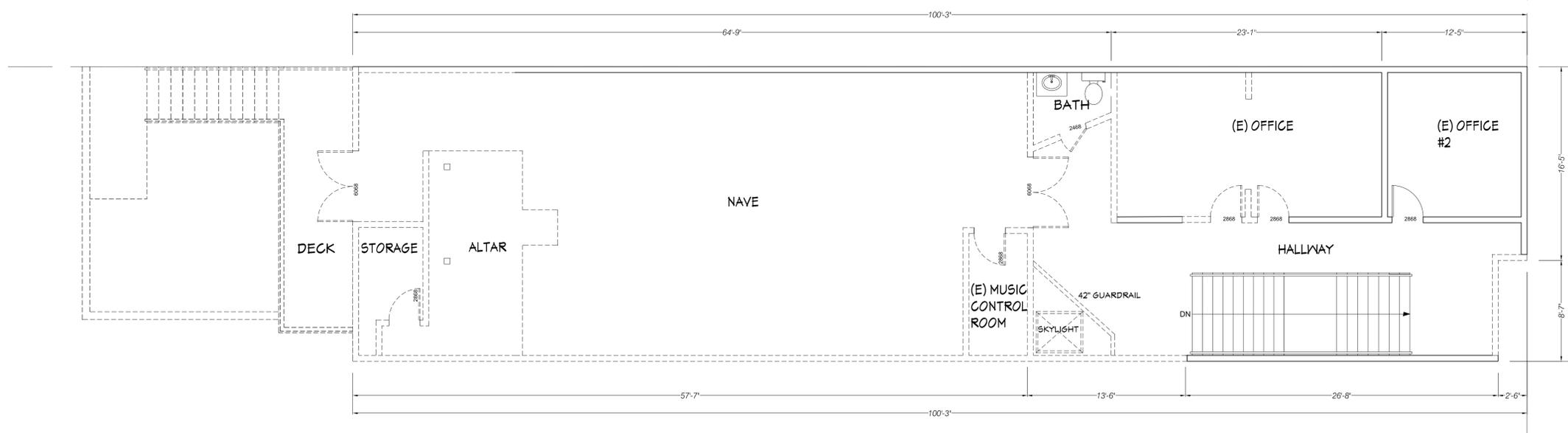
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**EXISTING FLOOR PLAN**

SHEET NO.  
**A0.1**  
Sheet \_\_\_ of \_\_\_ sheets.



EXISTING FIRST FLOOR & DEMOLITION PLAN

3/16"=1'-0"

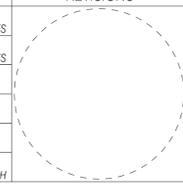


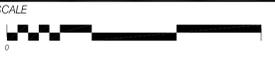
EXISTING SECOND FLOOR & DEMOLITION PLAN

3/16"=1'-0"

WALL SYMBOLS

-  INDICATES EXISTING WALL OR PARTITION TO REMAIN
-  INDICATES EXISTING WALL OR PARTITION TO BE REMOVED
-  INDICATES NEW WALL OR PARTITION
-  INDICATES ONE HOUR FIRE RATED WALL OR PARTITION
-  42" HIGH WALL

NO.	DATE	REVISIONS
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CHECK2		
FILE		
PROJ.		
FACILITY	CHURCH	
DESIGNER	MARIO-AVILES	DATE
		OCT-2011



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EXISTING FLOOR PLAN

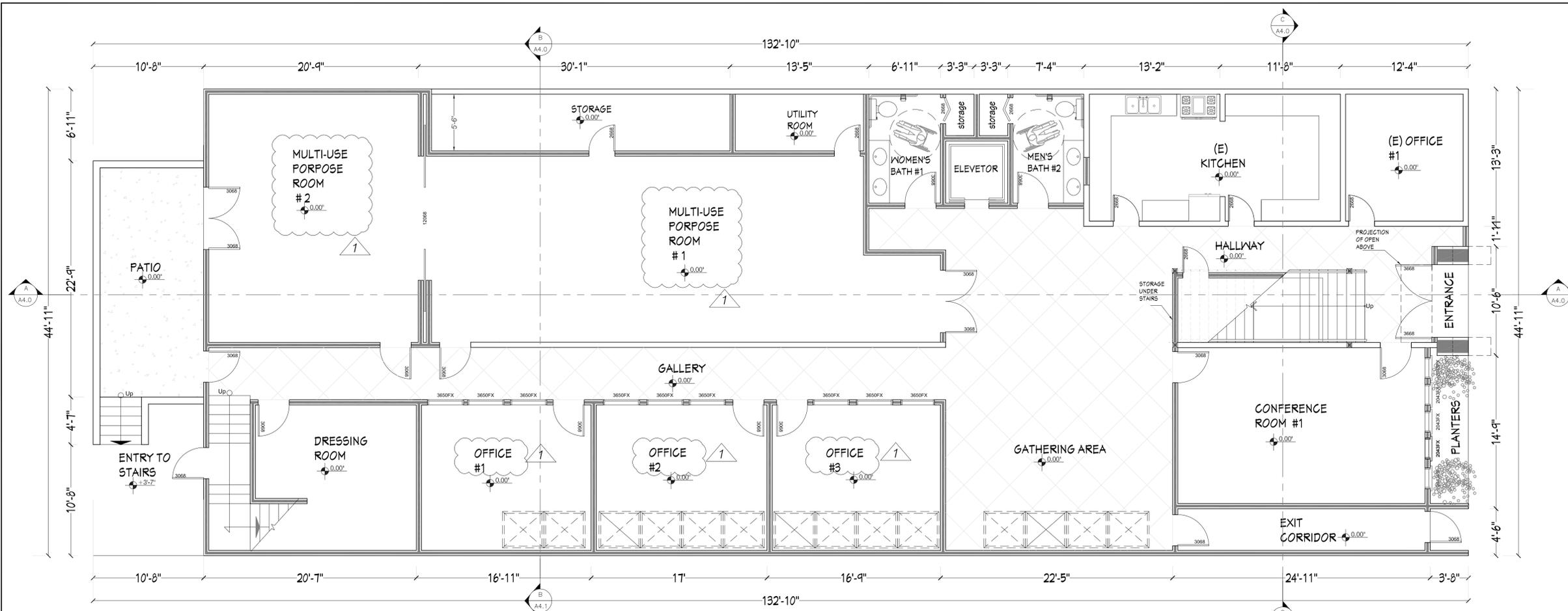
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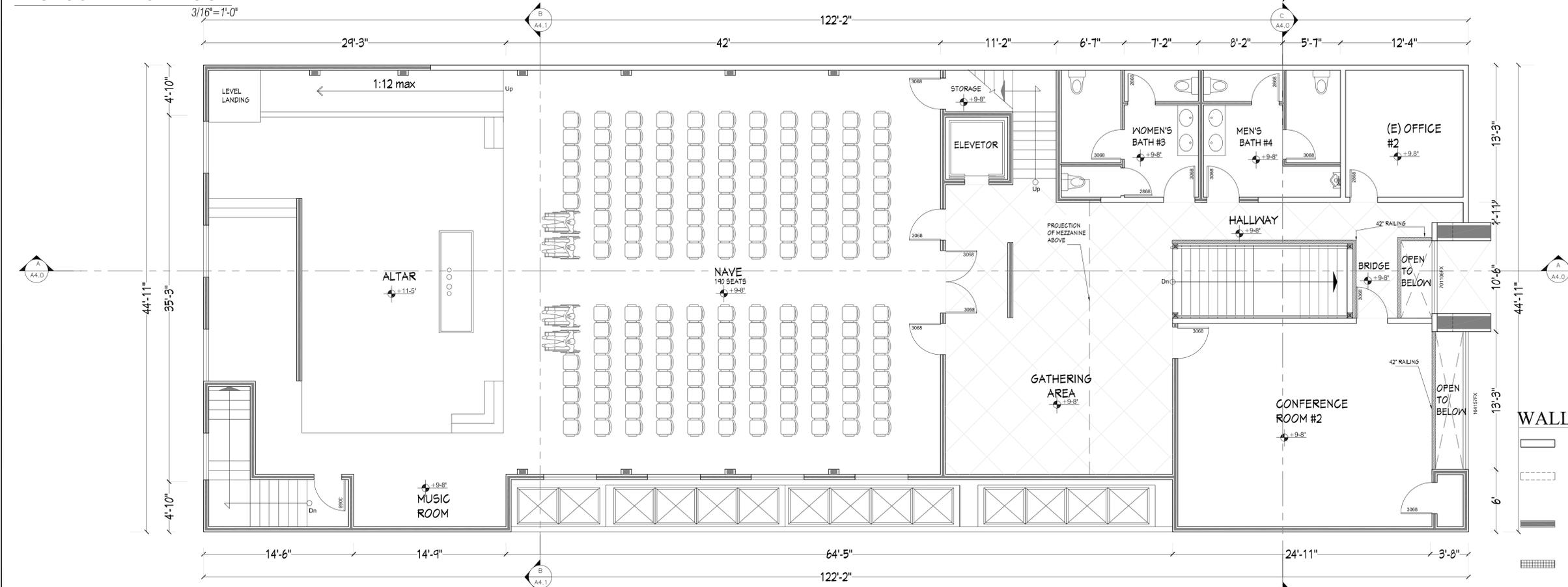
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SAN FRANCISCO CA 94110



PROPOSED FIRST FLOOR



PROPOSED SECOND FLOOR

**WALL SYMBOLS**

- INDICATES EXISTING WALL OR PARTITION TO REMAIN
- INDICATES EXISTING WALL OR PARTITION TO BE REMOVED
- INDICATES NEW WALL OR PARTITION
- INDICATES ONE HOUR FIRE RATED WALL OR PARTITION
- 42" HIGH WALL

NO.	DATE	REVISIONS
DRAWN	M-AVILES	
CHECK1	M-AVILES	
CHECK2		
FILE		
PROJ.		
FACILITY	CHURCH	
DESIGNER	MARIO-AVILES	DATE
		OCT-2011



DRAWING TITLE  
PROPOSED FLOOR PLAN

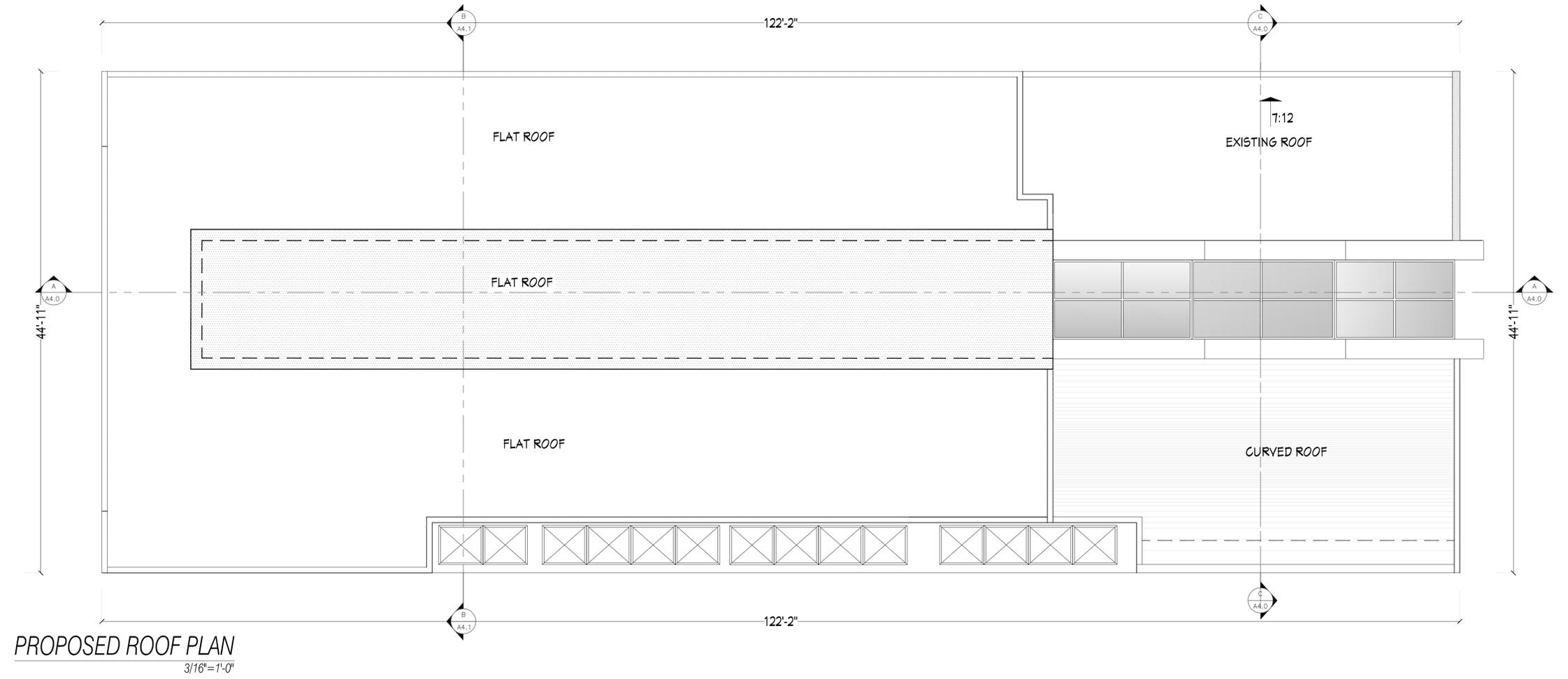
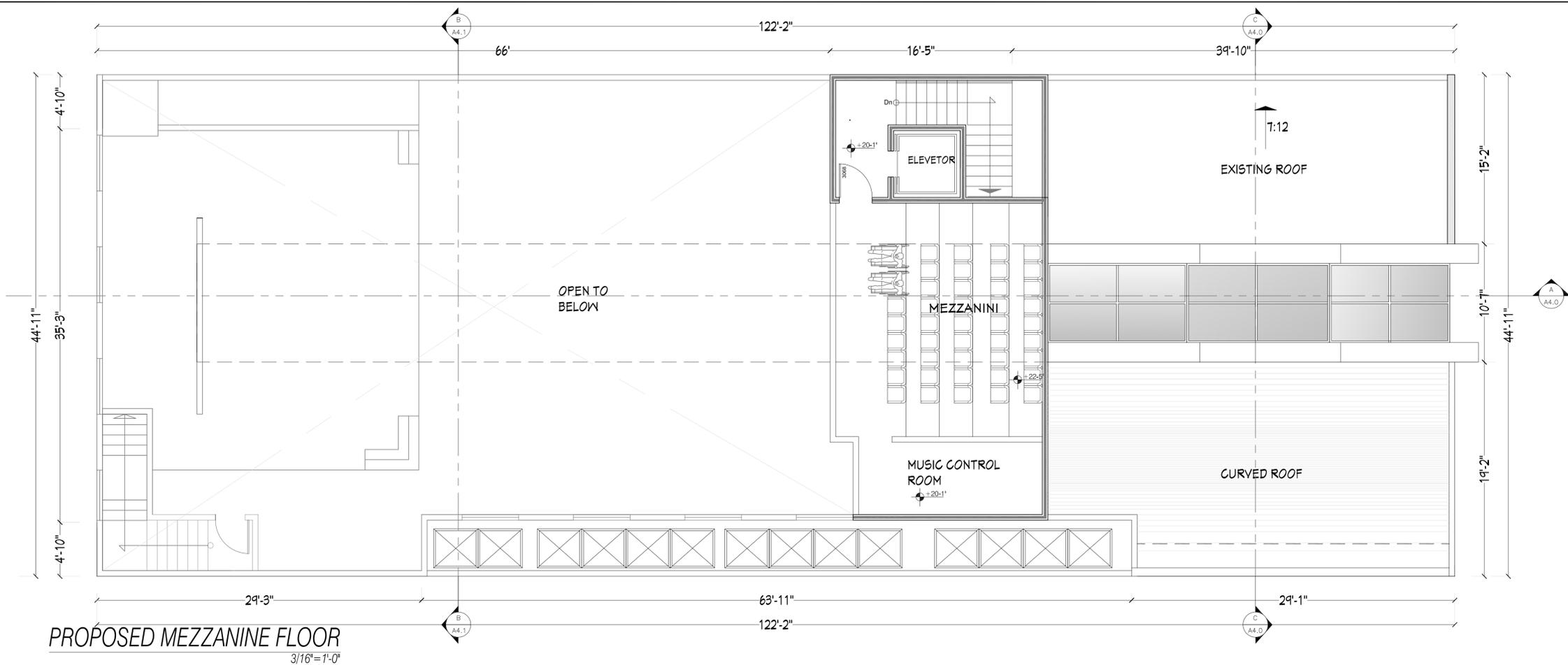
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CONSULTANT

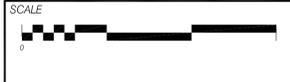
PROJECT TITLE  
CHURCH OF GOD  
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SAN FRANCISCO CA 94110



**WALL SYMBOLS**

- INDICATES EXISTING WALL OR PARTITION TO REMAIN
- INDICATES EXISTING WALL OR PARTITION TO BE REMOVED
- INDICATES NEW WALL OR PARTITION
- INDICATES ONE HOUR FIRE RATED WALL OR PARTITION
- 42" HIGH WALL

NO.	DATE	REVISIONS
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CHECK2	M-AVILES	
FILE		
PROJ.		
FACILITY	CHURCH	
DESIGNER	MARIO-AVILES	DATE
		OCT-2011

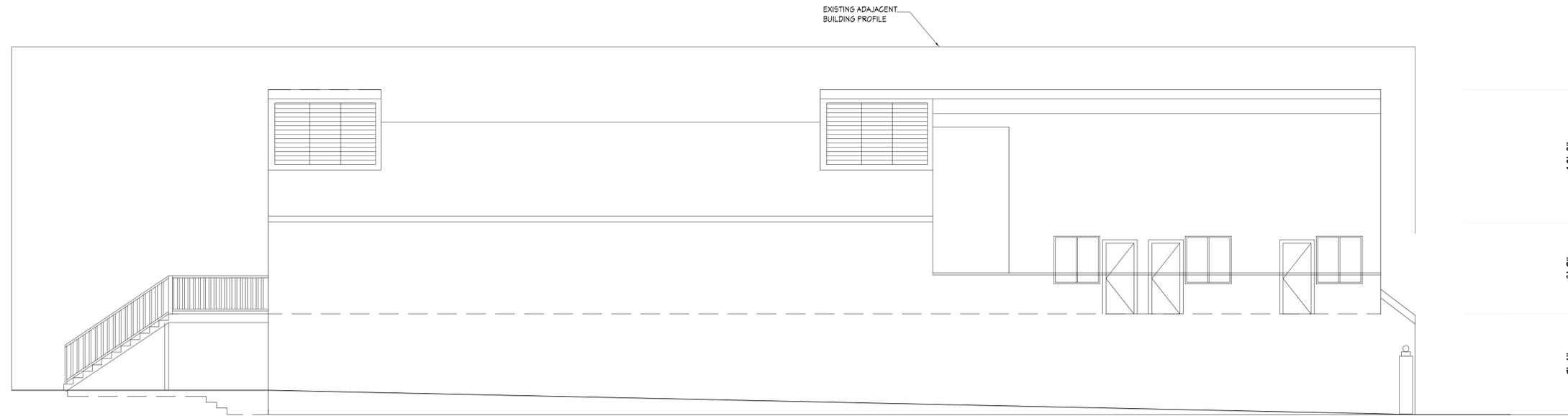


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**PROPOSED MEZZANINE & ROOF PLAN**

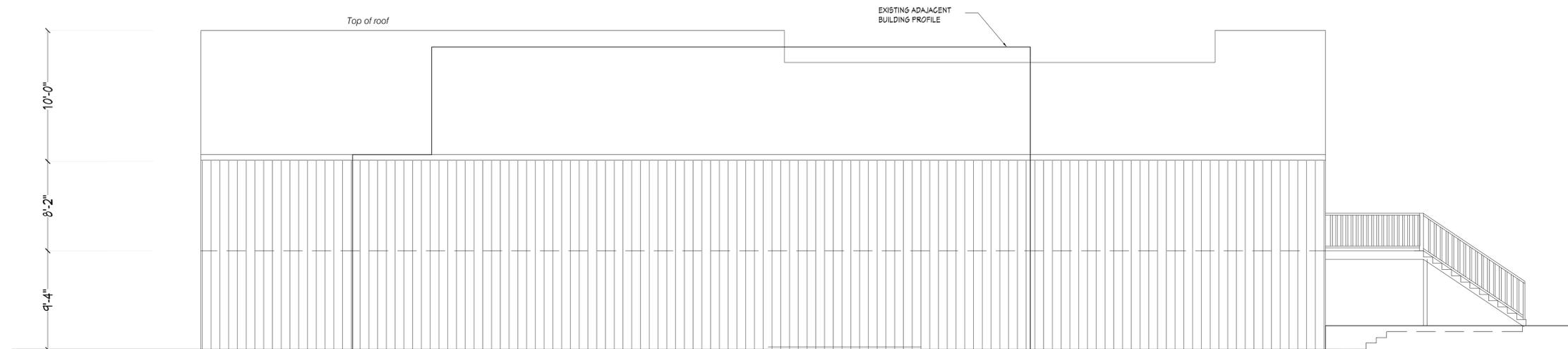
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PROJECT TITLE  
CHURCH OF GOD  
3155 CESAR CHAVEZ  
SAN FRANCISCO CA 94110



EXISTING LEFT ELEVATION  
3/16"=1'-0"



EXISTING RIGHT ELEVATION  
3/16"=1'-0"

NO.	DATE	REVISIONS	
2	02-20-2013	REVISION	
DRAWN	M-AVILES		
CHECK1	M-AVILES		
CHECK2	M-AVILES		
FILE			
PROJ.			
FACILITY	CHURCH		
DESIGNER	MARIO-AVILES	DATE	OCT-2011



DRAWING TITLE  
EXISTING ELEVATIONS

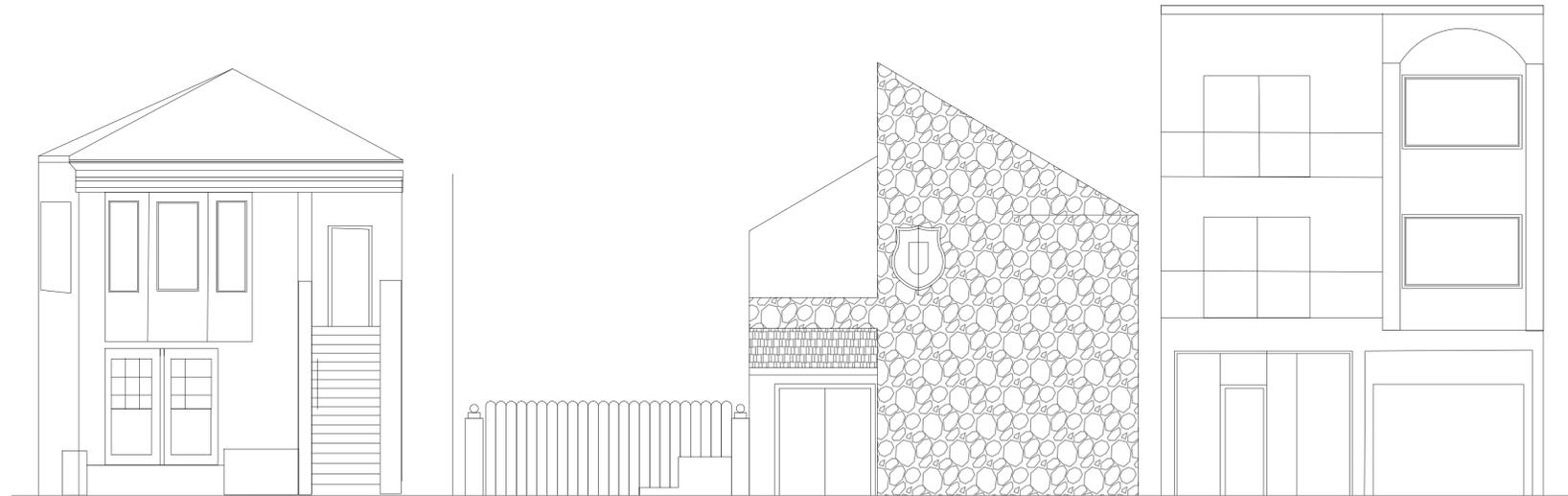
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A3.0

Sheet \_\_\_ of \_\_\_ sheets.

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PROJECT TITLE  
CHURCH OF GOD  
3155 CESAR CHAVEZ  
SAN FRANCISCO CA 94110



EXISTING FRONT ELEVATION  
3/16"=1'-0"



EXISTING REAR ELEVATION  
3/16"=1'-0"

NO.	DATE	REVISIONS	
DRAWN	M-AVILES		
CHECK1	M-AVILES		
CHECK2	M-AVILES		
FILE			
PROJ.			
FACILITY	CHURCH		
DESIGNER	MARIO-AVILES	DATE	OCT-2011



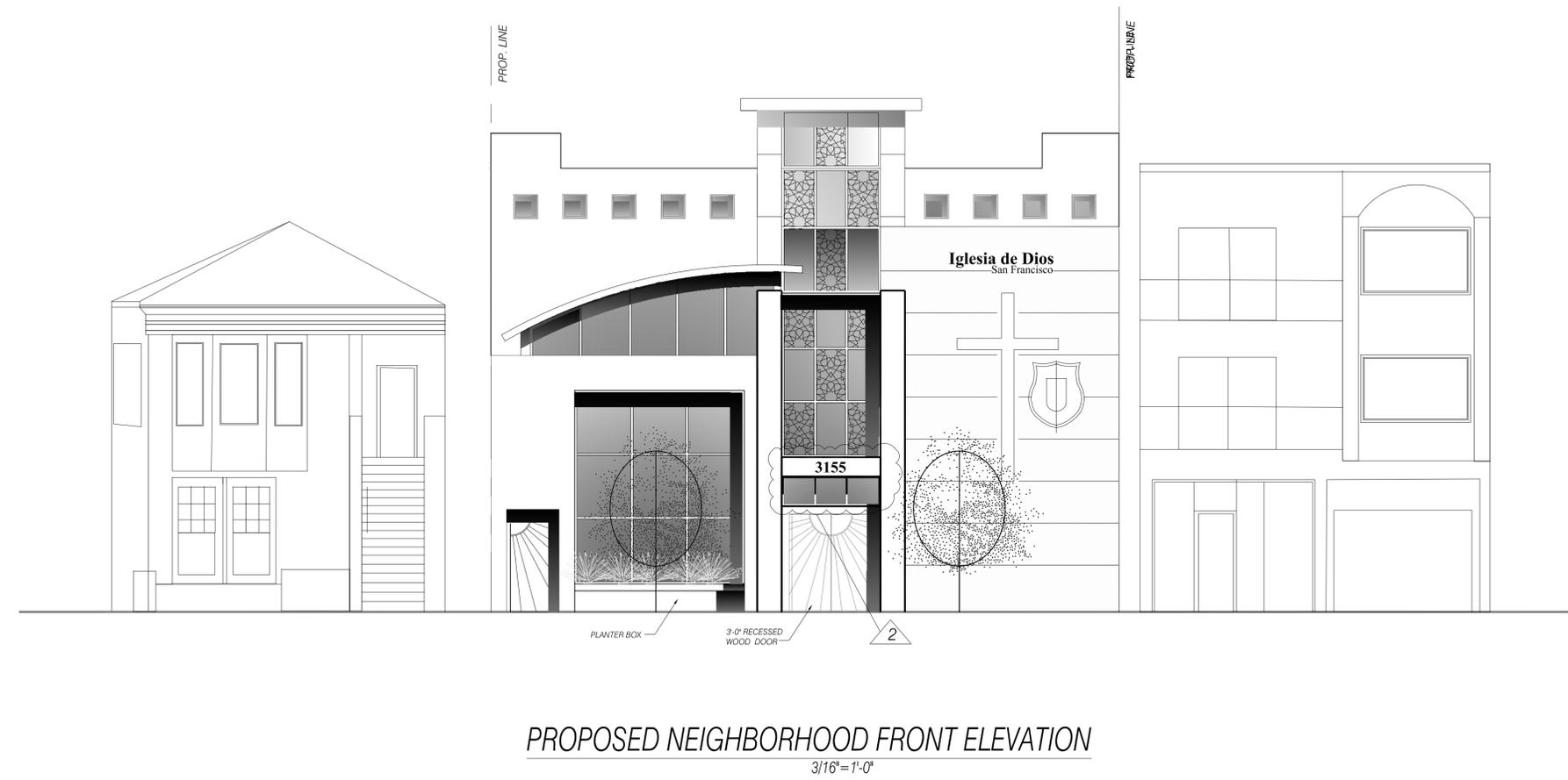
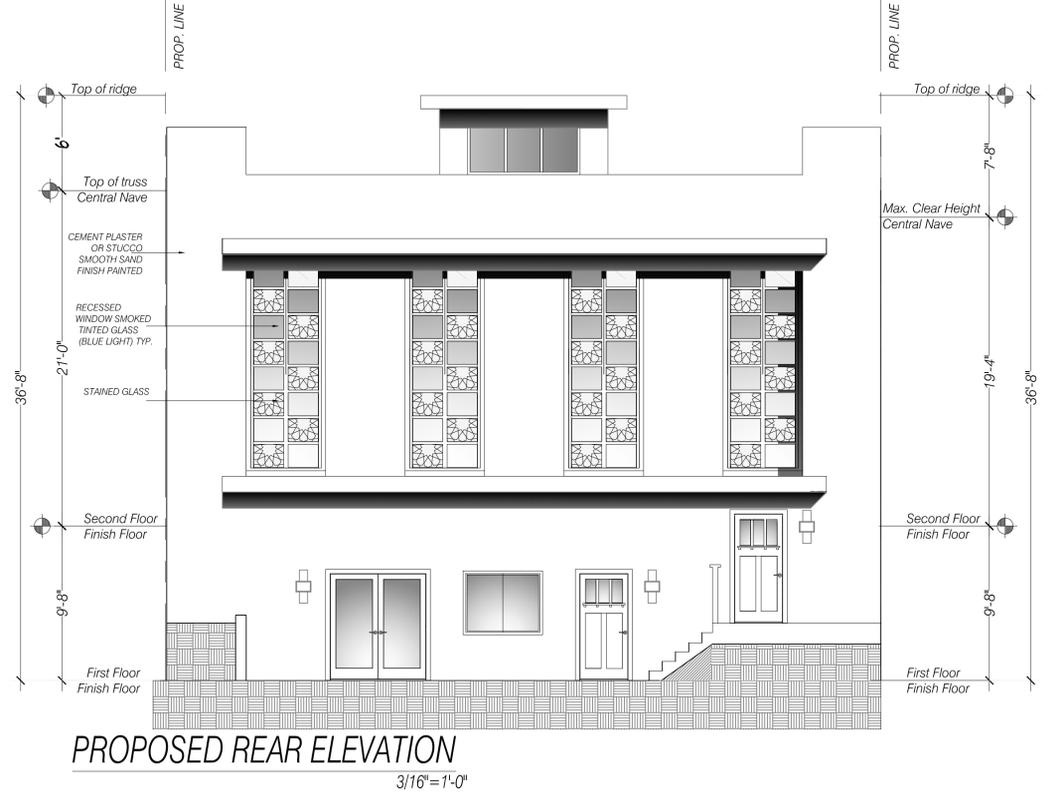
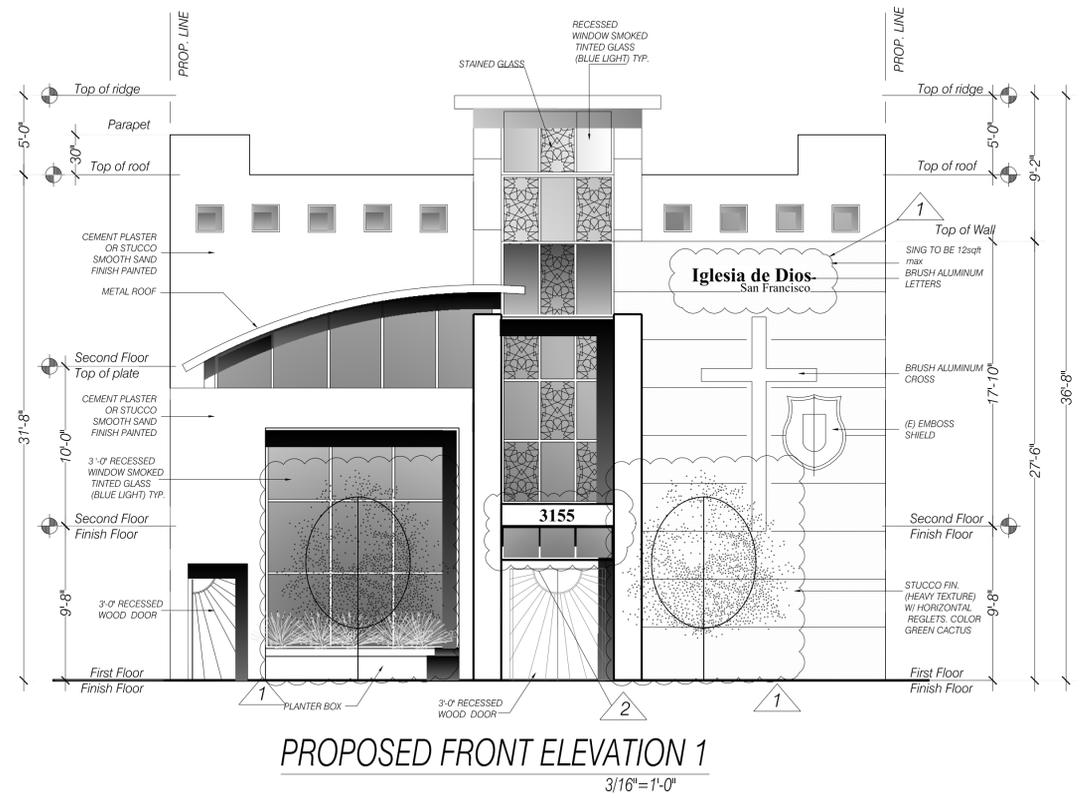
DRAWING TITLE  
EXISTING ELEVATIONS

SHEET NO.

A3.1

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PROJECT TITLE  
CHURCH OF GOD  
3155 CESAR CHAVEZ  
SAN FRANCISCO CA 94110



NO.	DATE	REVISIONS
2	02-20-2013	REVISION
DRAWN	M-AVILES	
CHECK1	M-AVILES	
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FACILITY	CHURCH	
DESIGNER	MARIO-AVILES	DATE
		OCT-2011

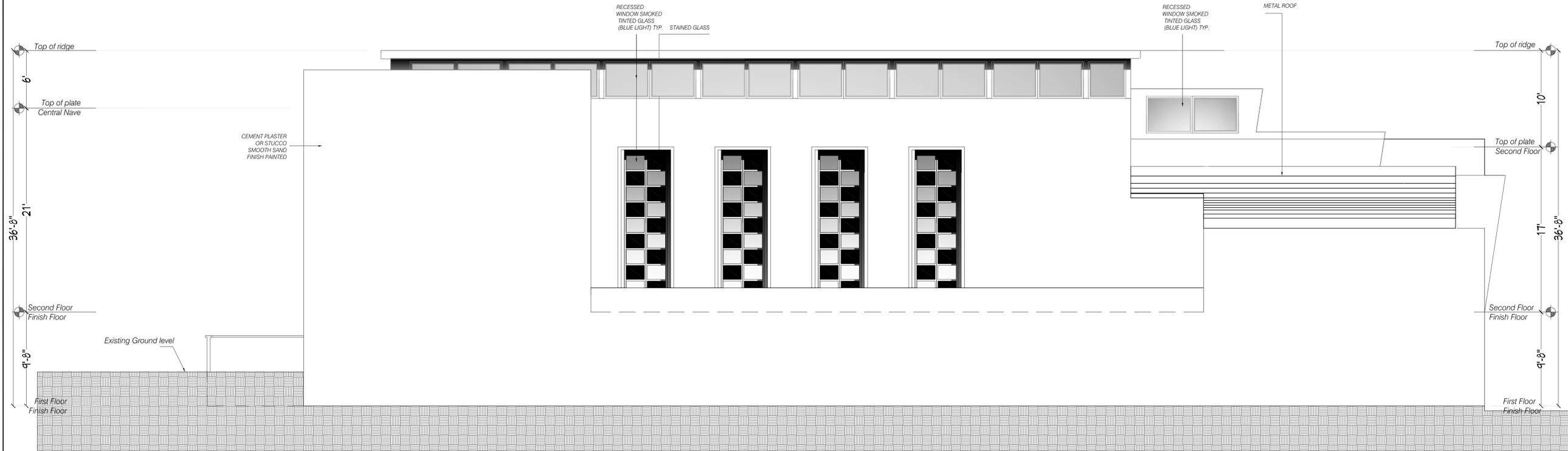


DRAWING TITLE  
PROPOSED ELEVATIONS

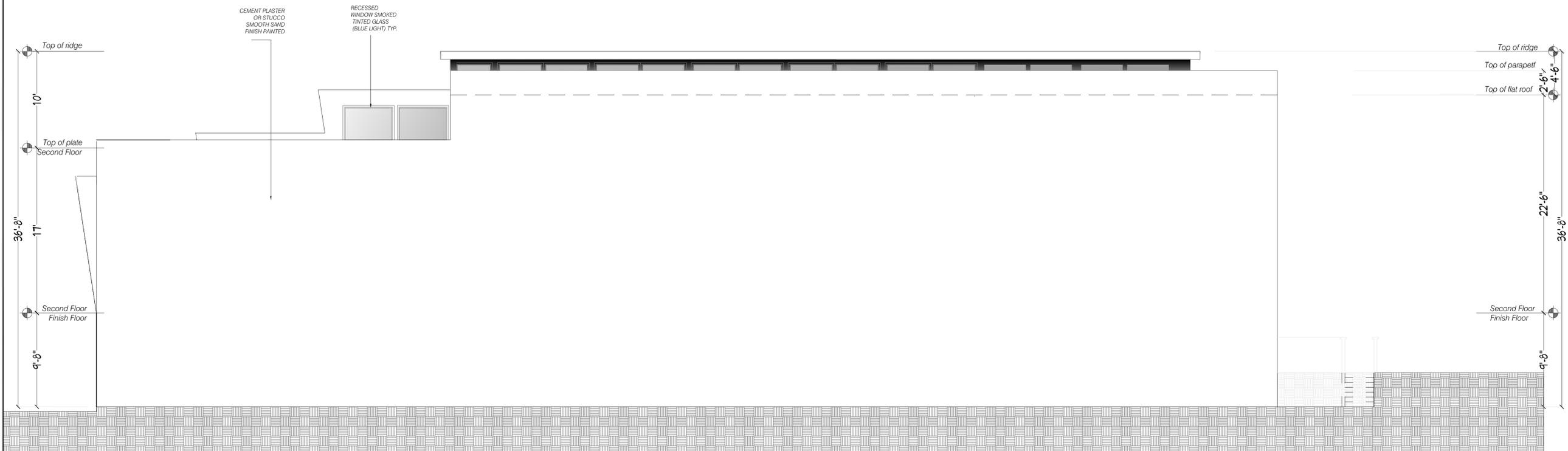
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Sheet \_\_\_ of \_\_\_ sheets.

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PROJECT TITLE  
CHURCH OF GOD  
3155 CESAR CHAVEZ  
SAN FRANCISCO CA 94110



PROPOSED LEFT ELEVATION  
3/16"=1'-0"



PROPOSED RIGHT ELEVATION  
3/16"=1'-0"

NO.	DATE	REVISIONS
DRAWN	M-AVILES	
CHECK1	M-AVILES	
CHECK2	M-AVILES	
FILE		
PROJ.		
FACILITY	CHURCH	
DESIGNER	MARIO-AVILES	DATE
		OCT-2011



DRAWING TITLE  
PROPOSED ELEVATIONS

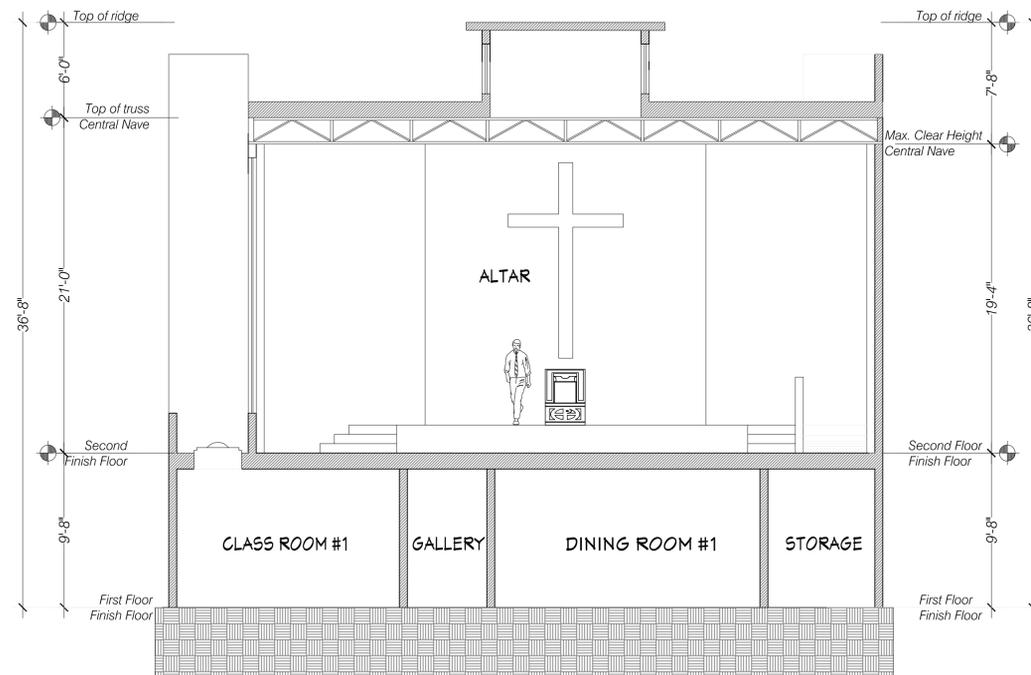
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A3.3

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CONSULTANT

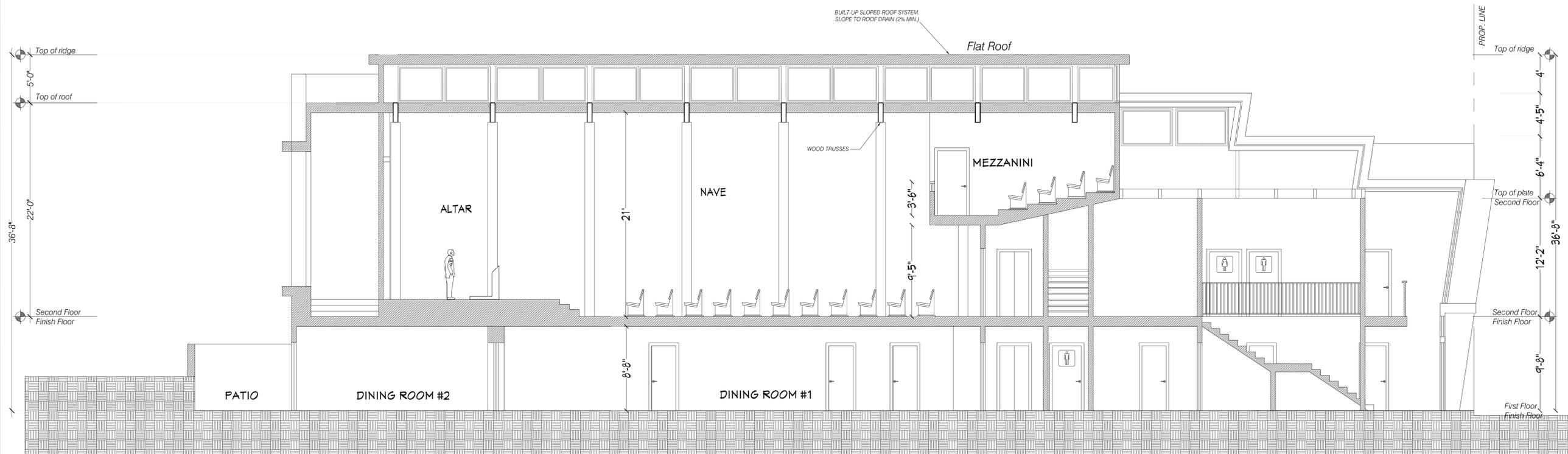
PROJECT TITLE  
CHURCH OF GOD  
3155 CESAR CHAVEZ  
SAN FRANCISCO CA 94110



SECTION B-B  
3/16" = 1'-0"



SECTION C-C  
3/16" = 1'-0"



SECTION A-A  
3/16" = 1'-0"

NO.	DATE	REVISIONS
2	02-20-2013	REVISION

NO.	DATE	REVISIONS
DRAWN	M-AVILES	
CHECK1	M-AVILES	
CHECK2	M-AVILES	
FILE		
PROJ.		
FACILITY	CHURCH	
DESIGNER	MARIO-AVILES	DATE
		OCT-2011



DRAWING TITLE  
PROPOSED SECTIONS

SHEET NO.  
A4.0  
Sheet \_\_\_ of \_\_\_ sheets.



**SFUSD** SAN FRANCISCO  
PUBLIC SCHOOLS

**ROBERT "RICKY" RILEY MENDOZA**

**PRINCIPAL**

**LEONARD R FLYNN ELEMENTARY SCHOOL**

**3125 CESAR CHAVEZ STREET**

**SAN FRANCISCO, CA 94110**

**TELEPHONE#: (415) 695-5770 FAX #: (415) 695-5837**

**EMAIL: RILEYMENDOZAR@SFUSD.EDU**

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March 8, 2013

To Whom It May Concern:

I am aware of Church of God's intent to use street parking around Cesar Chavez St. and Harrison St. on the weekends. I approve of this use on Saturdays and Sundays.

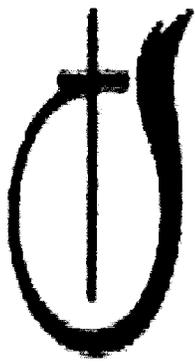
Sincerely,

Robert "Ricky" Riley Mendoza

Principal

Leonard R Flynn Elementary

(415) 695-5770



## CHURCH OF GOD

### TO WHOM IT MAY CONCERN

This letter is to certify that the Members of the Church of God (located at 3155 Cesar Chavez st. San Francisco) commute to our services via the following means of transportation:

- The Church owns a 17passenger Van used to carry Church members from their homes to the Church and vice versa
- Church members that currently own a vehicle provide rides to other members as needed
- Public transportation such as a) Muni buses running within two blocks from our location on Cesar Chavez street and on Mission street plus b) the Bart station located on 24th Street and Mission just about six blocks away from our Church
- By Bicycle and Motorcycle
- Many of our members live within walking distance from our Church and walk to our services.

Signed in San Francisco, CA. on March 13th 2013

Rev. Juan Segura, Church Pastor