



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis

Medical Cannabis Dispensary

HEARING DATE: FEBRUARY 3, 2011

Date: January 27, 2011
Case No.: **2010.1024 D**
Project Address: **2095 MARKET STREET**
Zoning: Upper Market NCT District
50/55-X Height and Bulk District
Block/Lot: 3544/065
Project Sponsor: Ryan Hudson, RHMT, LLC
2120 Pacific Avenue, #306
San Francisco, CA 94115
Staff Contact: Elizabeth Watty – (415) 558-6620
Elizabeth.Watty@sfgov.org
Recommendation: **Do not take Discretionary Review and approve**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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PROJECT DESCRIPTION

The proposal is to establish a new Medical Cannabis Dispensary (dba “The Apothecary”) at 2095 Market Street within a vacant commercial tenant space, most recently occupied by an Adult Entertainment Use (dba “Gramophone”, and adult video store). No physical expansion is proposed for the structure. The proposed Medical Cannabis Dispensary (MCD) will sell cannabis and cannabis foodstuffs, but will not allow on-site cultivation or any on-site consumption (including eating, smoking, or vaporizing cannabis).

Planning Code Section 790.141 states that all MCDs are required to be heard by the Planning Commission, which will consider whether or not to exercise their discretionary review powers over the building permit application.

The Upper Market neighborhood does not contain an existing MCD; the MCD that formerly served this community was located across the street at the northwest corner of Market and Church, at the second floor. This facility had to close because it was not ADA accessible, and its closure has left this community without convenient access to medical cannabis. The proposed MCD will serve chronically ill patients in this neighborhood and provide them with safe and convenient access to medication for their ailments. To further protect the health of the Apothecary patients and employees, this facility will be a non-smoking and non-vaporizing environment. Cannabis foodstuffs will be sold on the premises, but will not be allowed to be consumed on-site.

SITE DESCRIPTION AND PRESENT USE

The Site is an 8,430sf lot developed with a three-story mixed-use building located at the southeast corner of Market and Church Streets, in the Upper Market Neighborhood. The main tenant in the building is Skyline Realty. The subject tenant space is located at the easterly portion of the lot, on the south side of Market Street at the ground floor; it is currently vacant (formerly occupied by an Adult Entertainment

Use, dba "Gramophone"), containing approximately 17 feet of frontage and 1,100 gross square feet of floor area.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Site is located on the south side of Market Street, at the southeast corner of Market and Church Streets, and is zoned Upper Market NCT. This Site is located across the street from the MUNI Church Street Station, two blocks from the N-Judah Station, in front of the F-lightrail stop, and the 22 and 37 bus stops. The Property is surrounded by other mixed-use properties; it is adjacent to Chow restaurant on Church Street and Photoworks retail store on Market Street. It is located across the street from the Safeway shopping center, The Transfer bar – which used to contain an MCD at the 2nd floor, Home restaurant, and is in close proximity to numerous other retail, eating, and drinking establishments.

The Subject Property is located within the Upper Market Street NCT District. The Upper Market Street NCT District controls are designed to encourage a diversified commercial environment with a wide variety of uses, including limited convenience goods to adjacent neighborhoods, as well as a shopping street for a broader trade area. A large number of offices are located on Market Street within easy transit access downtown. The width of Market Street and its use as a major arterial diminish the perception of the Upper Market Street Transit District as a single commercial district. The street appears as a collection of dispersed centers of commercial activity, concentrated at the intersections of Market Street with secondary streets.

The Upper Market Street NCT District is well served by transit and is anchored by the Market Street subway (with stations at Church and Castro Streets) and the F-Market streetcar line. All light-rail lines in the City traverse the district, including the F, J, K, L, M, and N, and additional key cross-town transit service crosses Market Street at Fillmore and Castro Streets. Additionally, Market Street is a primary bicycle corridor.

The Upper Market Street NCT District controls are designed to promote moderate-scale development which contributes to the definition of Market Street's design and character. The controls are also intended to preserve the existing mix of commercial uses and maintain the livability of the district and its surrounding residential areas. To promote mixed-use buildings, most commercial uses are permitted with some limitations above the second story. In order to maintain continuous retail frontage and preserve a balanced mix of commercial uses, ground-story neighborhood-serving uses are encouraged, and eating and drinking, entertainment, and financial services uses are limited. Ground-floor commercial space is required along Market and Church Streets.

ENVIRONMENTAL REVIEW

On December 9, 2010, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption under CEQA Guidelines Section 15301 as described in the determination contained in the Planning Department files for this Project.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
312 Posted Notice	30 days	December 21, 2010	January 20, 2011	30 days
312 Mailed Notice	30 days	December 21, 2010	January 20, 2011	30 days
DR Posted Notice	10	January 24, 2011	January 24, 2011	10 days
DR Mailed Notice	10	January 24, 2011	January 21, 2011	13 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	1	0
Other neighbors on the block or directly across the street	3	0	0
Neighborhood groups or others	1	0	0

The Project Sponsor has done substantial outreach to the surrounding neighbors and community, including meeting with Merchants of Upper Market & Castro (MUMC) on December 2, 2010; David C. Goldman, Leader of SF Chapter of ASA (Americans for Safe Access), the nations largest medical cannabis organization and member of the San Francisco Medical Cannabis Task Force on December 3, 2010; Dr. Alice Charap, Chiropractor at 254 Church Street on December 14, 2010; Eureka Valley Neighborhood Association (EVNA) on January 5, 2011; Mission Dolores Neighborhood Association (MDNA) on January 12, 2011; Supervisor Scott Wiener on January 17, 2011; Dennis Richards, President Duboce Triangle Association (DTNA) on January 19, 2011; Dave Handler, proprietor of Photoworks, the next-door neighbor on January 19, 2011; Meeting with Sergeant Chuck Limbert, SFPD Mission Station on January 25, 2011; hosting open house meetings at the Subject Property on December 15, 2010, January 19, 2011, and January 26, 2011; and sending a letter to all owners and tenants within 300'-0" of the property on December 17, 2010.

The Department has received written support for the proposed MCD from five people and a petition signed by 64 people; the Department has received phone calls in opposition from two neighbors. The Department has also received a letter of support for the proposed MCD from MUMC (Merchants of Upper Market and Castro).

PROJECT ANALYSIS

MEDICAL CANNABIS DISPENSARY CRITERIA

Below are the six criteria to be considered by the Planning Commission in evaluating Medical Cannabis Dispensaries, per Planning Code Section 790.141:

1. The Medical Cannabis Dispensary has applied for a permit from the Department of Public Health pursuant to Section 3304 of the San Francisco Health Code.

Project Meets Criteria

The Project Sponsor applied for a permit from the Department of Public Health on August 30, 2010.

2. That the proposed site is located not less than 1,000 feet from the parcel containing the grounds of an elementary or secondary school, public or private, or recreation buildings as defined by Section 790.50(a) of the Planning Code.

Project Meets Criteria

The Site is not located within 1000' of an elementary or secondary school, public or private, nor is it located within 1000' of an active recreation buildings or community center, which primarily serves persons 18 years or less, as defined by Section 790.50(a).

3. If Medical Cannabis is smoked on the premises the dispensary shall provide adequate ventilation within the structure such that doors and/or windows are not left open for such purposes resulting in odor emission from the premises.

Criteria not Applicable

The establishment of a new MCD at the Site would not include an on-site smoking or vaporizing area.

4. The parcel containing the MCD cannot be located on the same parcel as a facility providing substance abuse services that is licensed or certified by the State of California or funded by the Department of Public Health.

Project Meets Criteria

The Subject Property does not contain any facility providing substance abuse services.

5. No alcohol is sold or distributed on the premises for on or off site consumption.

Project Meets Criteria

No alcohol will be sold or distributed on the premises for on or off-site consumption.

6. A notice shall be sent out to all properties within 300-feet of the subject lot and individuals or groups that have made a written request for notice or regarding specific properties, areas or Medical Cannabis Dispensaries. Such notice shall be held for 30 days.

Project Meets Criteria

A 30-day notice was sent to owners and occupants within 300-feet of the subject parcel identifying that a MCD is proposed at the Subject Property and that the building permit was subject to a Mandatory Discretionary Review Hearing. The dates of this notice were from December 21, 2010 through January 20, 2011.

GENERAL PLAN COMPLIANCE:

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The location for the proposed MCD meets all of the requirements in Section 790.141 of the Planning Code.

OBJECTIVE 7:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENTAL, HEALTH, AND EDUCATIONAL SERVICES.

Policy 7.3: Promote the provision of adequate health and educational services to all geographical districts and cultural groups in the city.

The chronically ill patients who would be served by the proposed use are in great need of this type of medical service. By allowing the services provided by the MCD, its patients are assured to safe access to medication for their ailments. Furthermore, the MCD that used to be located at this intersection was not ADA accessible and was required to close on February 2008, leaving this neighborhood without convenient access to an MCD.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The proposed use is a neighborhood-serving use. The proposed tenant space for the MCD is currently vacant so the new use will not displace any neighborhood-serving use.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project occupies a ground floor commercial space and will adhere with all signage regulations defined in Article 33 of the Health Code, as well as the Upper Market Special Sign District, to help preserve the existing neighborhood character. The street-facing windows will use clear, transparent glass; no tinting or obscured glass will be permitted to ensure an active ground floor use. The proposed use would not adversely affect, but rather it would compliment, the existing neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced.

The exiting tenant space was most recently occupied by an Adult Entertainment Use (dba "Gramophone", and adult video store), thus this Project will not adversely impact the City's supply of affordable housing.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Site is close to multiple major public transit lines so the use will not impede transit operations or impact parking.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The subject tenant space is vacant and will not displace any industrial or service-sector establishments.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The MCD will follow standard earthquake preparedness procedures; all construction will comply with current building and seismic-safety codes.

7. Landmarks and historic buildings be preserved.

Although the subject building was constructed circa 1906, there are no façade alterations proposed as part of this Project.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The Project involves a change of use to an MCD. A change of use with no expansion of the building envelope will not impact parks or open spaces..

BASIS FOR RECOMMENDATION

In 1996, California voters passed Proposition 215, known as the Compassionate Use Act, by a 56% majority. In San Francisco, Proposition 215 passed by a 78% majority. The legislation established the right of seriously ill Californians, including those suffering from illnesses such as AIDS, cancer and glaucoma, to obtain and use marijuana for medical purposes when prescribed by a physician.

MCDs began to be established in San Francisco shortly after Proposition 215 passed as a means of providing safe access to medical cannabis for those suffering from debilitating illnesses. At that time, San Francisco did not have any regulatory controls in place to restrict the placement and operations of the dispensaries. As a result, over 40 dispensaries were established in the city without any land use controls, often resulting in incompatible uses next to each other.

On December 30, 2005, the Medical Cannabis Act, as approved by the Board of Supervisors and Mayor, became effective. The Act, set forth in Ordinance 275-05 and supported by Ordinances 271-05 and 273-05, amended the Planning, Health, Traffic, and Business and Tax Regulation Codes in order to establish a comprehensive regulatory framework for MCDs in San Francisco.

The Act designates the Department of Public Health (DPH) as the lead agency for permitting MCDs. DPH conducts its own review of all applications and also refers applications to other involved City Agencies, including the Planning Department, in order to verify compliance with relevant requirements. The Planning Department's review is generally limited to the location and physical characteristics of MCDs.

- The MCD complies with all standards and requirements of the Planning Code and advances the Objectives and Policies of the General Plan.
- An MCD was located at the northwest corner of Market and Castro but closed in February 2008 because it was not ADA Accessible.
- 2095 Market Street is well served by transit (across the street from the MUNI Church Street Station, two blocks from the N-Judah Station; in front of the F-lightrail stop, and the 22 and 37 bus stops.)
- 2095 Market Street is more than 1,000' from primary and secondary schools.
- 2095 Market Street is more than 1,000' from any active youth-services facility.
- The project site will be been renovated to provide a safe, well-lit environment for California Medical Marijuana Patients with proper identification cards.
- Employment levels are estimated to be between 12-17 employees.
- Patients will not be permitted to smoke or inhale product via vaporizers on-site.
- Marijuana cultivation will not be permitted on-site.

RECOMMENDATION: Do not take Discretionary Review and approve

Attachments:

Applicant's MCD Application
Block Book Map
Sanborn Map
Zoning Map
1000 Foot Arc View GIS Map
Arc View GIS MCD Proximity Map
Aerial Photographs
Context Photographs
Section 312 Notice
Reduced Architectural Plans
Security Plan
Attorney's Brief
Letters of Support



PLANNING DEPARTMENT

City and County of San Francisco 1660 Mission Street, Suite 500 San Francisco, CA 94103-2414

(415) 558-6378 PLANNING COMMISSION ADMINISTRATION CURRENT PLANNING/ZONING LONG RANGE PLANNING
 FAX: 558-6409 FAX: 558-6426 FAX: 558-6409 FAX: 558-6426

PLANNING DEPARTMENT APPLICATION TO OPERATE A MEDICAL CANNABIS DISPENSARY

THESE MATERIALS REQUIRED IN ADDITION TO DPH APPLICATION

APPLICATION INSTRUCTIONS

All applications must be filed in person by the owner of the property or authorized agent of the owner at 1660 Mission Street. We are located between Duboce and South Van Ness Avenues and are open during regular weekday business hours. Upon arrival at our building, proceed first to the Department of Building Inspection's Commercial Plancheck Division on the 2nd floor. You will present your plans and Building Permit Application form for preliminary review and routing instructions. You will then be directed to the Planning Information Counter (PIC) on the 1st floor. Do not visit the PIC until directed to do so by DBI staff. After reviewing your application with Planning Staff at the PIC, you will be directed to other stations including the Central Permit Bureau (CPB) where a fee and all remaining application materials will be collected. You can expect to be contacted by phone or mail by your assigned Staff Planner in two to six weeks.

APPLICATION CHECKLIST

Please every page of this application along with all required materials identified below. While no appointment is necessary to file your application, we recommend that you allow several hours to complete the filing process. Please either (a) complete all forms in neat, legible handwriting or (b) attach printed pages providing all required information.

	CHECK WHEN COMPLETE	REQUIREMENT	DESCRIPTION
STEP ONE Visit DBI Commercial Plancheck on the 2 nd floor for preliminary review and routing instructions. Retain all materials.	A	DBI Building Permit Application Form 3	This document (a pink, legal-sized form) must indicate the proposed Medical Cannabis Dispensary use along with all physical improvements to the property. Should significant construction activities be proposed, DBI may require additional information. We strongly recommend that you contact DBI in advance of your filing to verify requirements, including accessibility and ventilation requirements. Please note that only original copies of this form will be accepted. Forms are available only on the ground level of our building at 1660 Mission Street.
	B	Architectural Drawings	Provide TWO sets of professionally drawn, full-size architectural plans which demonstrate your compliance with all relevant Planning and Building Code provisions.
	C	Letter of Authorization	If the applicant is the authorized agent of the property owner, rather than the owner, a letter signed by the owner and creating or acknowledging that agency must be attached. If the applicant is the owner of the property, you may disregard this requirement.
STEP TWO Visit the Planning Department Information Counter on the 1 st Floor for preliminary review. Retain all materials.	D	Planning Department Application Form	This form must be completed in full and signed by the applicant.
	E	Photographs	Color photographs mounted on 8.5"x11" paper which depict the subject block face and opposite block face. Applicants often choose to submit digital panoramic photos printed on desktop color printers.
	F	Notification Materials [discussed in greater detail on opposite side]	map list labels
	G	Photocopy of DPH filing receipt	Before lodging your Supplemental Planning Department Application Form, you must provide evidence of the successful lodging of your primary DPH application.
STEP THREE While at the Planning Counter, submit these materials and obtain a receipt.	H	CEQA Review Materials	Under state law, all applications must be checked for compliance with the California Environmental Quality Act (CEQA). An application for CEQA review must be completed in full and is available under the "Applications" section of our web page at www.sfgov.org/planning . Please note that for MCD applications, additional plans or photos are NOT required.
			Planning Department CEQA review fee [\$65 payable by check only]
STEP FOUR Additional review requirement:		Depending on the nature of your application, you may be required to visit other City Agencies, such as the Fire Department or the Department of Public Works (DPW) at this point. This will be established as part of the application's routing in STEP ONE.	
STEP FIVE Visit the Central Permit Bureau (CPB) on the 1 st Floor.	I	Building Permit Application Fee	This fee is based on the total cost of construction and is payable by check or credit card. Once the required fee is paid, all application materials will be accepted by CPB, concluding the filing process.

ADDITIONAL INFORMATION ON NEIGHBORHOOD NOTIFICATION

The Act requires that all properties within 300' of the subject property receive notice of your intent to open an MCD. This involves a mailed notice as well as a notice posted on the subject property. Accordingly, the Department requires a map, list, and labels of all property occupants within 300' of the parcel containing the proposed MCD. Applicants oftentimes choose to have a third party prepare notification materials on their behalf. A list of businesses who have identified themselves to the Planning Department as offering these services appears below. [Please note that, should you wish to use one of these services, we recommend that you advise the business that the requested materials are for a Medical Cannabis Dispensary application. The notification materials required for this application are unique to MCD's. Some service providers may not be familiar with these requirements.]

Build CADD	3515 Santiago St., SF CA 94116, (415) 759-8710
Carol Cosseboom, Maps & Mailings	584 Castro St. #840, SF CA 94114, (415) 391-9900
Radius Services	445 Grant Ave. #400, SF CA 94108, (415) 391-4775
Gerard Gibbons, Architectural Drafting	2268 15 th St., SF CA 94114 (415) 255-6388
Notice This	(800) 677-0694, www.noticethis.com
Small Buildings	(415) 285-8826
Harvey Wong & Associates Architecture and Planning	543 38 th Ave., SF CA 94121 (415) 752-5847
Jerry Brown Designs	2596 Post St., SF CA 94115, (415) 210.0355, jbdsgn@aol.com

Please be aware that you are not required to use one of the above services; should you choose to prepare these materials yourself note that Assessor's Block and Lot information is available at the Assessor's Office, City Hall, 1 Dr. Carlton B. Goodlett Place, Room 190.

As part of the application process, you or your agent must provide the Planning Department with the following:

1. NOTIFICATION MAP

This map shall be drawn at 1" = 50 scale and show:

- a) Street names and property addresses
- b) Assessor's Block and Lot numbers
- c) Number of dwelling units per lot
- d) Number of commercial tenants per lot
- e) Any vacant lots labeled with a "V"
- f) Any condominiums with all Lot Numbers included

2. NOTIFICATION LIST

Prepare a list of all properties within the notification area described above. For each property, list the Assessor's Block and Lot Number. Note that some lots may have multiple tenants. One can often identify the number of dwellings or businesses on a lot from (a) the property owner or building manager or (b) by counting mail-boxes, doorbells, or business signs. Use addresses shown on the door, mailbox, or doorbell and include any letter suffixes (123a) or fractions (249½). Be sure to include an entry for yourself and anyone else you wish notified.

3. NOTIFICATION LABELS

Submit self-adhesive mailing labels with the information described above. Use one label per address. Place the word 'occupant' on the first line of each label.

TYPE OF APPLICATION [CHECK ONE]

<input type="checkbox"/>	EXISTING MEDICAL CANNABIS DISPENSARY This application is made in order to seek a permit for a Medical Cannabis Dispensary which was in operation as of April 1, 2005 and has remained in continuous operation since then. [Note that reported existing dispensaries will be verified for consistency with Department surveys and other criteria.]
<input checked="" type="checkbox"/>	NEW MEDICAL CANNABIS DISPENSARY This application is made in order to seek a permit for a Medical Cannabis Dispensary which (a) was not in operation as of April 1, 2005, (b) was in operation as of April 1, 2005 but has not remained in continuous operation since then, or (c) has or has had a suspended or revoked permit.

PROPOSED LOCATION

Street Address	2095 Market Street, San Francisco	
Zip Code	94114	
Cross Streets	South East corner of Church Street and Market Street	
Assessor's Information	BLOCK: 3544	LOT: 065
Zoning District	UPR MARKET NCT	

APPLICANT INFORMATION

Name (must be an individual)	Ryan Hudson, partner of RHMT LLC
Daytime Telephone	415.928.3300
Mailing Address	2120 Pacific Ave. #306, San Francisco, CA 94115

PROPERTY OWNER'S INFORMATION

Name	Skyline Realty
Daytime Telephone	415.861.1111
Mailing Address	2099 Market Street, San Francisco, CA 94114

DISPENSARY INFORMATION

Present or Previous Use	Currently vacant; previously a video store
Proposed Business Name (if known)	<i>The Apothecary</i>
Gross square footage	approximately 1100 sq. ft.
Square footage of establishment accessible to patrons	approximately 540 sq. ft.
Linear feet of street frontage	16 feet
Level on which dispensary is located (e.g. ground, 2 nd story)	ground floor
Number of on-site parking spaces available for exclusive use of MCD employees and patrons	none
Number of off-site parking spaces available for exclusive use of MCD employees and patrons	none

DISPENSARY SERVICES

<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<p>ON-SITE SMOKING Will you allow patrons or employees to smoke or vaporize medical cannabis on the premises? Note that [1] existing dispensaries that are located within 1,000' of a school or recreation building may NOT offer on-site smoking and [2] other dispensaries which choose to provide on-site smoking must provide adequate ventilation.</p>
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	<p>CANNABIS FOODSTUFFS Will you offer medical cannabis in the form of food or drink? Note that additional permits will be required from the Department of Public Health.</p>
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<p>CANNABIS GROWING Will any live marijuana plants be kept on the premises for purposes of harvesting medical product? Note that additional mechanical systems may be required and that Planning Code standards for accessory uses may preclude the dedication of more than ¼ of the total floor area of the dispensary for such use. If yes, indicate proposed square footage devoted to growing activities: _____</p>

ACCESSIBILITY COMPLIANCE

All dispensaries must provide full wheelchair accessibility to the same level required of new construction (Chapter 11B of the California Building Code; Title 24 of the California Code of Regulations). In the space below, please indicate the existing and/or proposed features of the proposed dispensary which afford or will afford this access.

see attached

PRIORITY GENERAL PLAN POLICIES FINDINGS

Proposition M was adopted by the voters on November 4, 1986. It requires that the City find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1.	<p>That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced; see attached</p>
2.	<p>That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods; see attached</p>
3.	<p>That the City's supply of affordable housing be preserved and enhanced; see attached</p>
4.	<p>That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking; see attached</p>
5.	<p>That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced; see attached</p>
6.	<p>That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake; see attached</p>

7.	<p>That landmarks and historic buildings be preserved; and</p> <p style="margin-left: 20px;">see attached</p>
8.	<p>That our parks and open space and their access to sunlight and vistas be protected from development.</p> <p style="margin-left: 20px;">see attached</p>

DECLARATION OF RELEVANT PROXIMITIES

Under penalty of perjury the following declarations are made:

 _____ (initial here)	<p>PROXIMITY TO SCHOOLS</p> <p>I have used all reasonable resources available to me, including (1) maps and zoning information made available by the Planning Department and (2) a personal and thorough inspection of the broader vicinity of the subject property, and have found that – to the best of my knowledge – the property is not within 1,000 feet of an elementary or secondary school, public or private.</p>
 _____ (initial here)	<p>PROXIMITY TO RECREATION BUILDINGS</p> <p>I have used all reasonable resources available to me, including (1) maps and zoning information made available by the Planning Department and (2) a personal and thorough inspection of the broader vicinity of the subject property, and have found that – to the best of my knowledge – the property is not within 1,000 feet of a recreation building, as defined in the Planning Code.</p>
 _____ (initial here)	<p>PROXIMITY TO SUBSTANCE ABUSE TREATMENT FACILITIES</p> <p>I have used all reasonable resources available to me, including a personal inspection of the subject property, and have found that – to the best of my knowledge – the property does not contain a substance abuse treatment facility.</p>

APPLICANT'S STATEMENT

Use this space to discuss why you feel that an MCD is appropriate from a land use and urban planning perspective at the proposed location. Your discussion may include, but is not limited to, (1) specific factors which contribute to the compatibility and appropriateness of the MCD use with the immediate neighborhood and broader City environment, (2) neighborhood outreach efforts you have made and the results of those efforts [Have you talked to neighbors about the project? Do neighbors support the project?], and (3) any other circumstances applying to the property involved which you feel support your application.

see attached

APPLICANT'S AFFIDAVITS

Under penalty of perjury the following declarations are made:

- (a) The undersigned is the owner or authorized agent of the owner of this property.
- (b) The information presented is true and correct to the best of my knowledge.

Nature of Applicant: [CHECK ONE]	<input checked="" type="checkbox"/> AUTHORIZED AGENT <input type="checkbox"/> OWNER
Printed Full Name	RHMT LLC (Ryan Hudson, partner & Michael Thomsen, partner)
Signed	
Dated	9-29-10

MCD SUPPLEMENTAL APPLICATION FORM

ACCESSIBILITY COMPLIANCE

All dispensaries must provide full wheelchair accessibility to the same level required of new construction (Chapter 11B of the California Building Code; Title 24 of the California Code of Regulations). In the space below, please indicate the existing and/or proposed features of the proposed dispensary, which afford or will afford this access.

Entry: The existing entry contains two steps and the existing front door is recessed slightly from the face of the building with walls on either side of the entry. Due to these existing constraints and given that the building is a potential historic resource (it was constructed in 1906) the existing entry cannot be altered to the extent that it will comply with new construction standards. However, the entry will be renovated to be as accessible as possible using equivalent facilitation and a hardship request form will be submitted along with the appropriate Local Equivalency forms. As part of the renovation an exterior ramp of 1:12 slope will be provided at the entry and a powered door operator will be provided in lieu of a level landing on the exterior side of the door per Local Equivalency AB-012. Due to the location of the existing walls on either side of the recessed entry, the powered door operator will provided in lieu of exterior door side clearance per Local Equivalency AB-011. A code compliant level landing will be provided on the interior side of the entry door. An interior ramp of 1:12 slope will be provided on the interior of the building to provide access from the interior level landing to the elevation of the main floor.

Toilet Room: The existing single occupancy unisex toilet room is very small and does not meet any of the clearances required for an accessible toilet room nor does it contain any grab bars. The proposed renovation will provide a fully code compliant unisex toilet room that contains a toilet and sink with appropriate clearances, appropriate fixture heights, grab bars, and appropriate door width.

Service Area: The proposed renovation project will provide an accessible service area including an accessible reception counter, an accessible sales counter and access aisle to the employee workspace behind it.

PLANNING CASE NO.

ADDRESS: 2095 Market Street, San Francisco, CA 94114

BLOCK AND LOT NO. Block 3544 / Lot 065

PRIORITY GENERAL PLAN POLICIES FINDINGS

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The proposed MCD is a neighborhood-serving retail use. The commercial space that the proposed MCD will be located in is currently vacant, so the proposed use will not displace any neighborhood serving use.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The proposed MCD will be located in an existing commercial space in the culturally and economically diverse Upper Market neighborhood. The proposed use will not adversely affect, but will compliment the existing neighborhood character. The existing ground floor commercial space contains an awning and the alteration of the awning will adhere with all signage regulations and thus help to preserve the existing neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced;

Not Applicable. The proposed MCD will be located in an existing commercial space, so it will not displace an affordable housing.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The site is close to multiple public transit lines and the immediate neighborhood provides sufficient short-term parking so the use will not impede transit operations or impact parking.

PRIORITY GENERAL PLAN POLICIES FINDINGS ***(Continued)***

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Not Applicable. The proposed MCD will be located in an existing commercial retail space and will not displace any industrial or service industry establishments.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The proposed MCD will follow standard earthquake preparedness procedures and the proposed renovation will be designed and constructed to the current and state of the industry seismic/engineering standards and Codes.

7. That landmarks and historic buildings be preserved; and

The proposed project consists of interior renovations and will not impact the exterior of the building. The subject building was built in 1906 and is not listed as City Landmark.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed project will not restrict access to any open space or parks and will not impact any open space or park's access to sunlight or vistas.

MCD SUPPLEMENTAL APPLICATION FORM

APPLICANT'S STATEMENT

Use this space to discuss why you feel that an MCD is appropriate from a land use and urban planning perspective at the proposed location. Your discussion may include, but is not limited to, (1) specific factors which contribute to the compatibility and appropriateness of the MCD use with the immediate neighborhood and broader City environment, (2) neighborhood outreach efforts you have made and the results of those efforts [Have you talked to neighbors about the project? Do neighbors support the project?], and (3) any other circumstances applying to the property involved which you feel support your application.

Location: The proposed location of the MCD is an appropriate and desirable location within the city. The location conforms to all (3) of the relevant proximity guidelines as specified by the Planning Code.

- (1) The proposed location was identified by the Planning Department as a "probable permitted area" in their Guidelines for New Medical Cannabis Dispensaries. A "probable permitted area" is defined as an area which is zoned appropriately and which complies with proximity restrictions from schools but have not been verified for compliance proximity restrictions from recreation buildings.
- (2) The proposed location also complies with the proximity restrictions from recreation buildings. The Market Street 24-Hour Fitness gym is located near by, but an exercise gym is not defined as a "recreation building" in the Planning Code. Interpretation of Section 218 states that, *a health spa, steam room, bathhouse, aerobics and nautilus exercise gyms are included in the "personal services" designation rather than in the "recreation building" designation.*
- (3) The proposed location does not contain substance abuse treatment facilities on the property.

The proposed site is located in the Upper Market neighborhood on the southeast corner of the intersection of Church Street and Market Street. This site located adjacent to multiple transit lines, which will allow patients that rely on public transportation convenient access to the site. Additionally, the site is located on the Market Street corridor, which contains many neighborhood serving retail services and the proposed MCD will contribute to the existing neighborhood context.

Community Benefit: The Upper Market neighborhood does not contain an existing MCD. The proposed project will serve chronically ill patients in this neighborhood and provide these patients with safe and convenient access to medication for their ailments.

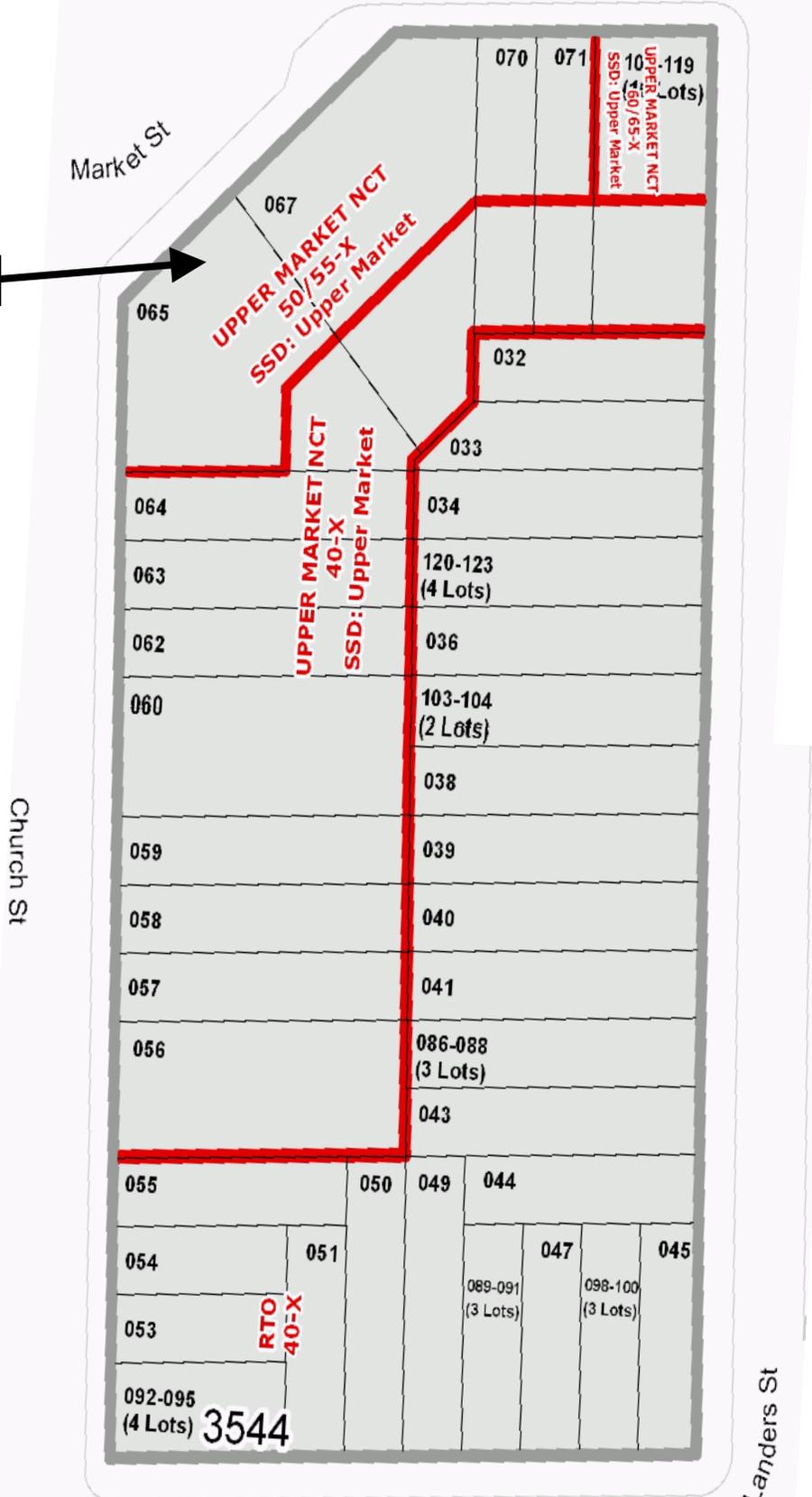
Community Outreach: Prior to coming to an agreement with the building's owner, we introduced ourselves to the businesses near us as prospective neighbors. Of the few that we have met with, they have been welcoming and friendly. We will continue outreach on a wider scale once our application has been formally submitted. Our additional outreach would include, meeting with the Upper Market Merchants Association and Supervisor Dufty's office to apprise

August 12, 2010

them of our intentions in District 8. In addition to voluntary notification and outreach, we will be using a notification service to notify all residents within 300ft of our location. Our contact information will be listed for residents to call and obtain more information from us.

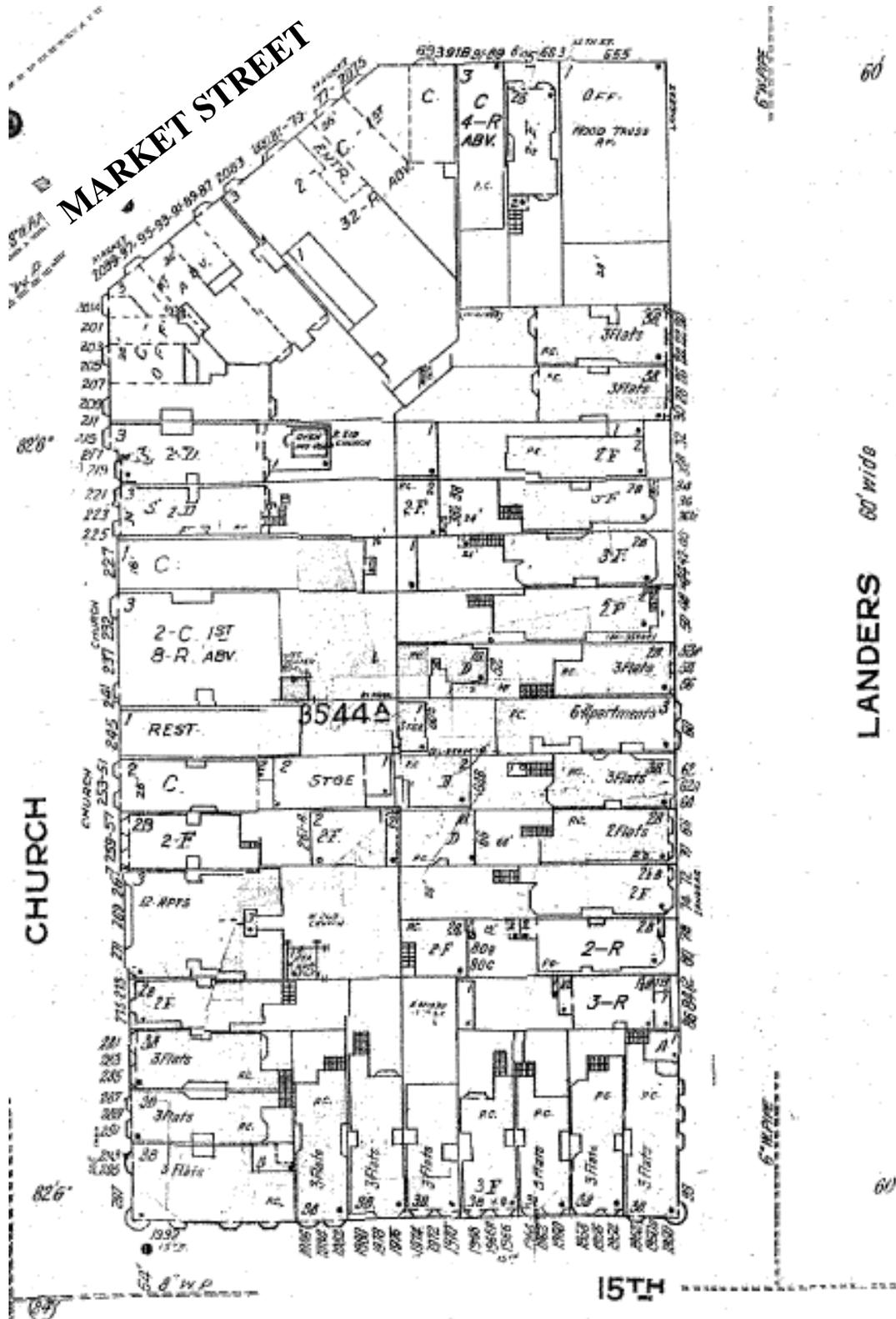
Block Book Map

SUBJECT PROPERTY

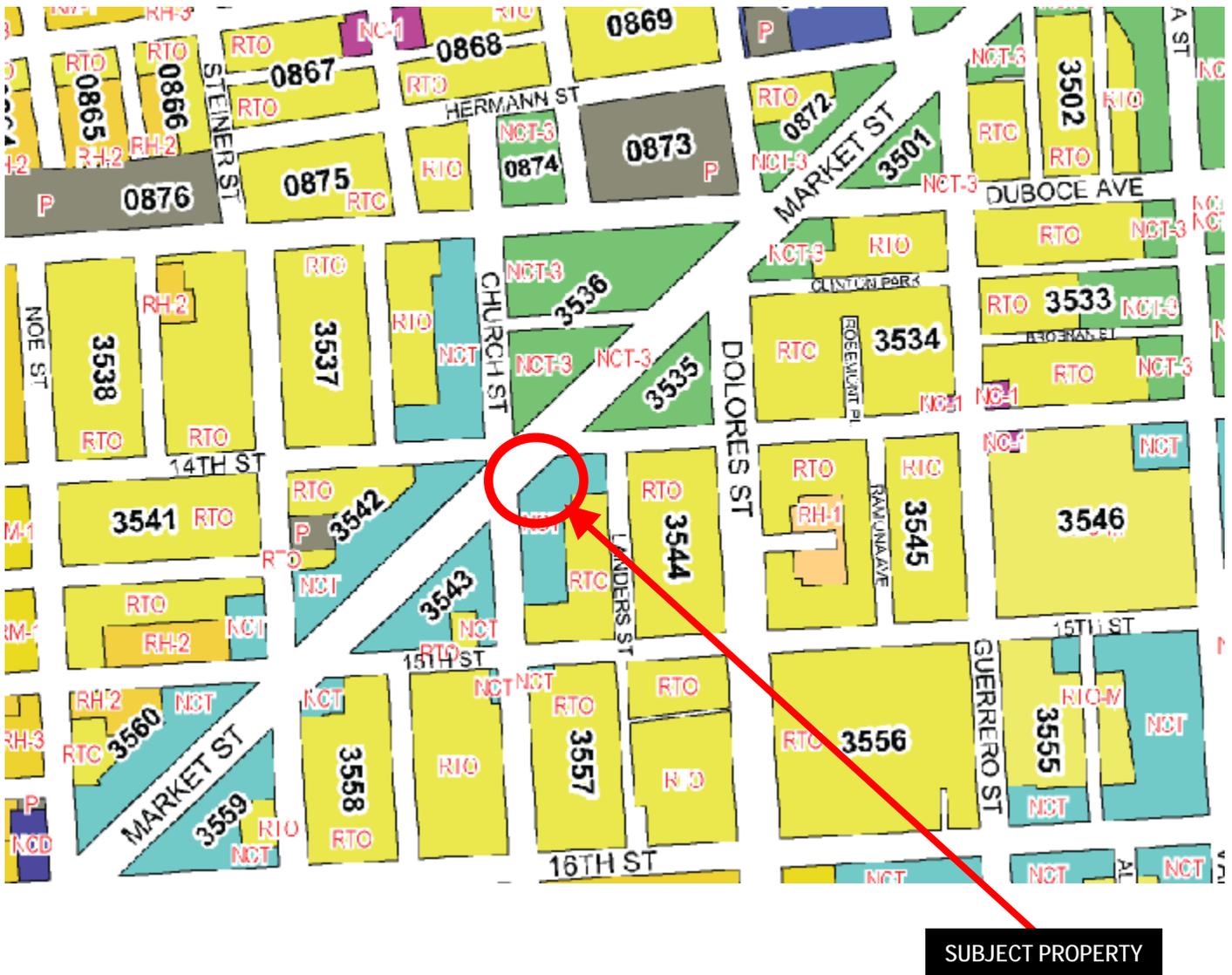


MANDATORY DISCRETIONARY REVIEW
MCD dba "The Apothecary"
Building Permit No. 2010.09.29.1894
Case Number 2010.1024D
2095 Market Street

Sanborn Map



Zoning Map



ZONING USE DISTRICTS

RESIDENTIAL, HOUSE DISTRICTS

RH-1(D) RH-1 RH-1(S) RH-2 RH-3

RESIDENTIAL, MIXED (APARTMENTS & HOUSES) DISTRICTS

RM-1 RM-2 RM-3 RM-4

NEIGHBORHOOD COMMERCIAL DISTRICTS

NC-1 NC-2 NC-3 NCD NC-S

SOUTH OF MARKET MIXED USE DISTRICTS

SPD RED RSD SLR SLI SSO

COMMERCIAL DISTRICTS

C-2 C-3-S C-3-G C-3-R C-3-O C-3-O(SD)

INDUSTRIAL DISTRICTS

C-M M-1 M-2

CHINATOWN MIXED USE DISTRICTS

CRNC CVR CCB

RESIDENTIAL-COMMERCIAL DISTRICTS

RC-3 RC-4

REDEVELOPMENT AGENCY DISTRICTS

MB-RA HP-RA

DOWNTOWN RESIDENTIAL DISTRICTS

RH DTR TB DTR

MISSION BAY DISTRICTS

MB-OS MB-O

PUBLIC DISTRICT

P



MANDATORY DISCRETIONARY REVIEW
 MCD dba "The Apothecary"
 Building Permit No. 2010.09.29.1894
 Case Number 2010.1024D
 2095 Market Street

Aerial Photos



SUBJECT PROPERTY



MANDATORY DISCRETIONARY REVIEW
MCD dba "The Apothecary"
Building Permit No. 2010.09.29.1894
Case Number 2010.1024D
2095 Market Street

Aerial Photos



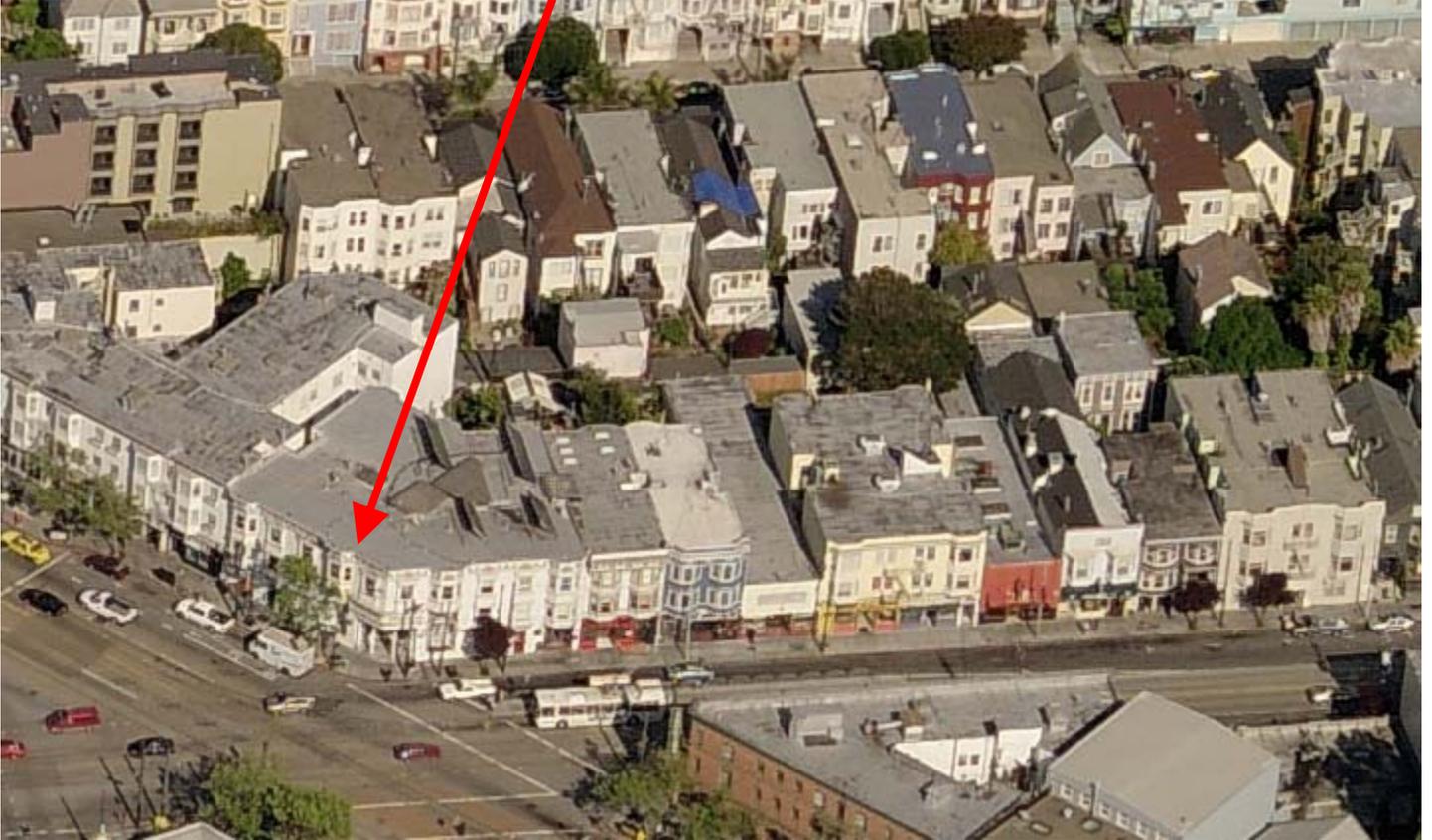
SUBJECT PROPERTY



MANDATORY DISCRETIONARY REVIEW
MCD dba "The Apothecary"
Building Permit No. 2010.09.29.1894
Case Number 2010.1024D
2095 Market Street

Aerial Photos

SUBJECT PROPERTY



MANDATORY DISCRETIONARY REVIEW
MCD dba "The Apothecary"
Building Permit No. 2010.09.29.1894
Case Number 2010.1024D
2095 Market Street

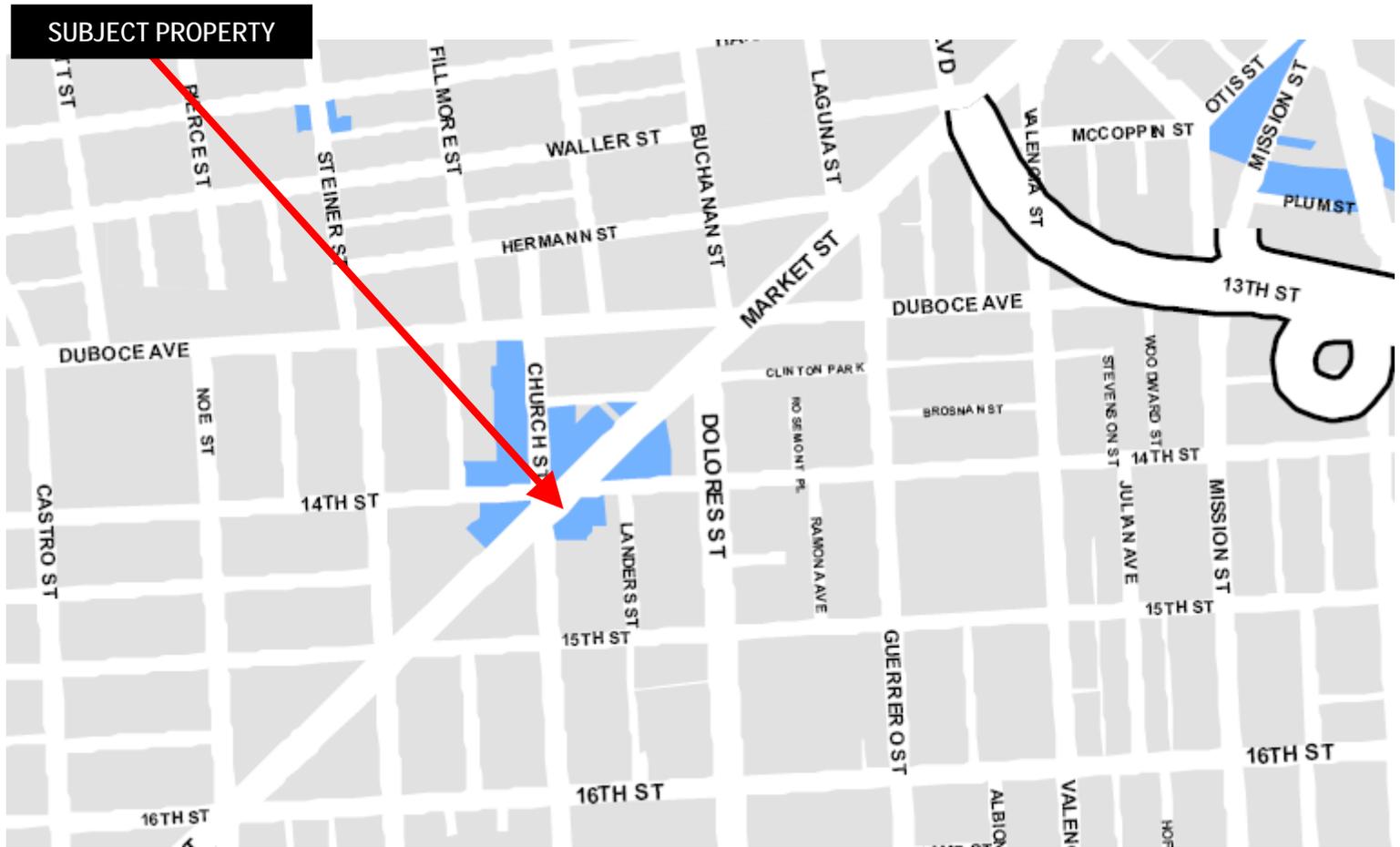
Proximity of Schools and Recreation Buildings



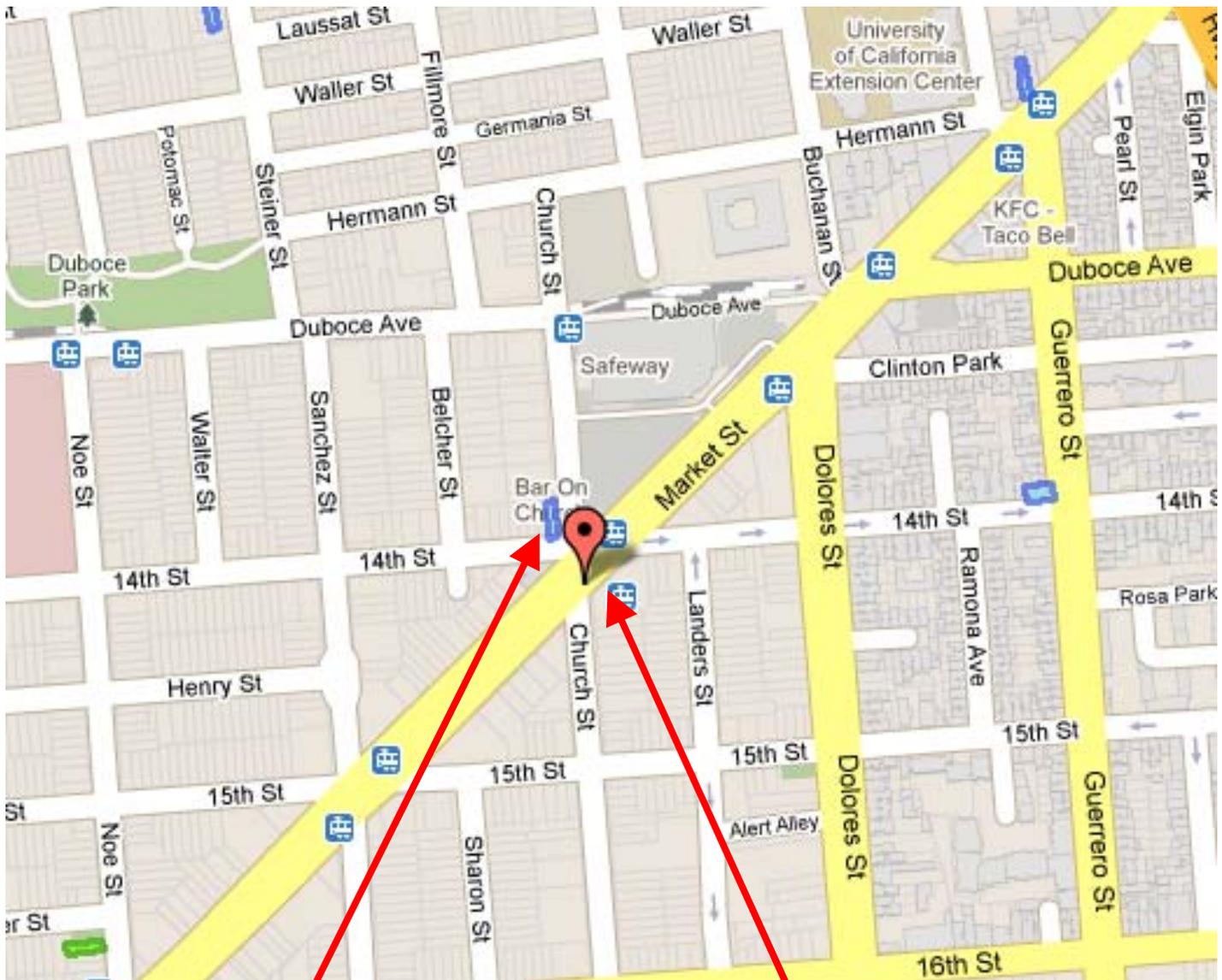
SUBJECT PROPERTY



Map of Potential Eligible Locations for MCDs



MCD Locations



**FORMER MCD –
FACILITY CLOSED**

SUBJECT PROPERTY



MANDATORY DISCRETIONARY REVIEW
MCD dba “The Apothecary”
Building Permit No. 2010.09.29.1894
Case Number 2010.1024D
2095 Market Street

MUNI Map



SUBJECT PROPERTY

MANDATORY DISCRETIONARY REVIEW
MCD dba "The Apothecary"
Building Permit No. 2010.09.29.1894
Case Number 2010.1024D
2095 Market Street



Market Street Facade of Subject Property



Storefront in Subject Property: 2095 Market Street

IMAGE 1 - BUILDINGS ON SAME SIDE OF MARKET STREET AS THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)

Market Street Facade of Subject Property

Church Street Facade of Subject Property



Storefront in Subject Property: 2095 Market Street

IMAGE 2 - BUILDINGS ON SAME SIDE OF CHURCH STREET AS THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)



IMAGE 3 - VIEW TO THE WEST OF THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)



IMAGE 4 - BUILDINGS ACROSS THE STREET(S) FROM THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)

Church Street



Market Street

IMAGE 5 - VIEW TO THE EAST OF THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)



Image 6 - Sidewalk in front of subject property looking East

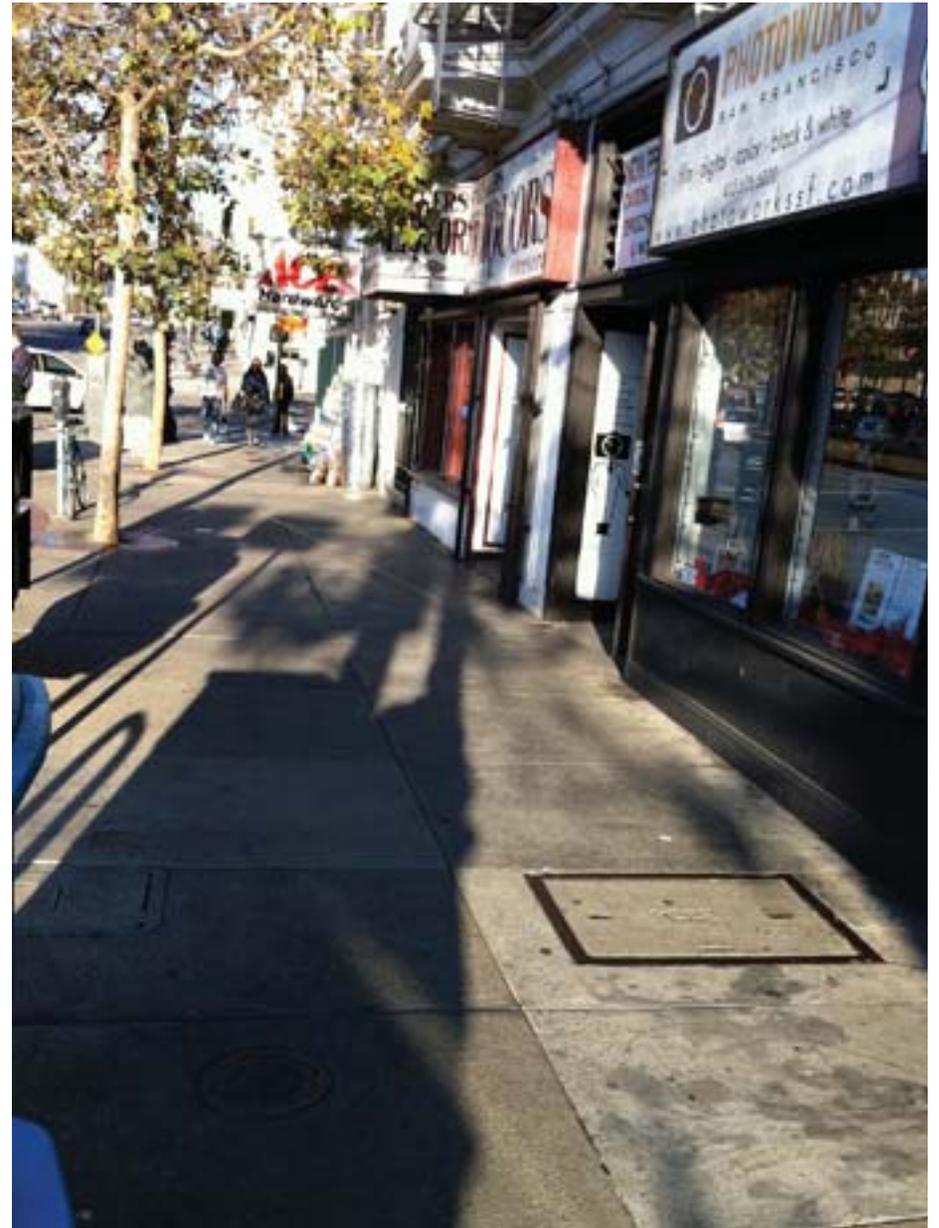


Image 7 - Sidewalk to the East of the subject property

IMAGE 6 & 7 - SIDEWALK IN FRONT OF SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)



Image 8 - Entry to subject property



Image 9 - Sidewalk in front of entry to subject property

IMAGE 8 & 9 - SIDEWALK AT ENTRY TO SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 312)

On September 29, 2010, the Applicant named below filed Building Permit Application No. 2010.09.29.1894 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Ryan Hudson, RHMT LLC	Project Address:	2095 Market Street
Address:	2120 Pacific Avenue, #306	Cross Streets:	Church & 14 th Streets
City, State:	San Francisco, CA 94115	Assessor's Block /Lot No.:	3544/065
Telephone:	(415) 928-3300	Zoning Districts:	Upper Market NCT/50-55X Ht. & Bulk

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date, unless otherwise specified below.

PROJECT SCOPE					
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION	or	<input checked="" type="checkbox"/> ALTERATION	
<input type="checkbox"/> VERTICAL EXTENSION		<input checked="" type="checkbox"/> CHANGE # OF USE		<input type="checkbox"/> FACADE ALTERATION(S)	
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)		<input type="checkbox"/> HORIZ. EXTENSION (REAR)	

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Adult Entertainment (video store)	Medical Cannabis Dispensary
BUSINESS NAME	Gramophone.....	The Apothecary
COMMERCIAL SQUARE FOOTAGE.....	+1100gsf.....	No Change

PROJECT DESCRIPTION

The proposal is to convert the existing vacant ground floor commercial space that was previously occupied by an Adult Entertainment Use (dba Gramophone, an adult video store) into a new Medical Cannabis Dispensary (dba "The Apothecary") at 2095 - Market Street, which would not permit on-sale smoking or cultivation. This application is the subject of a Mandatory Discretionary Review action for establishing a Medical Cannabis Dispensary under Planning Code Sections 733.84 and 790.141. The Discretionary Review, Case No. 2010.1024D, is tentatively scheduled to be heard by the Planning Commission on January 27, 2011, and will be noticed separately at a later date. Any interested party with concerns about this project has the opportunity to file a separate Discretionary Review before the 30-day expiration date noted on this Section 312 notice.

PLANNER'S NAME: Elizabeth Watty
 PHONE NUMBER: (415) 558-6620
 EMAIL: Elizabeth.Watty@sfgov.org
 DATE OF THIS NOTICE: 12-21-10
 EXPIRATION DATE: 1-20-11

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828 BALBOA STREET
SAN FRANCISCO, CA
94118

tel 415.722.0561
fax 510.597.0980
www.Studio-San.com

2095 Market Street The Apothecary

Tenant Improvement
MCD

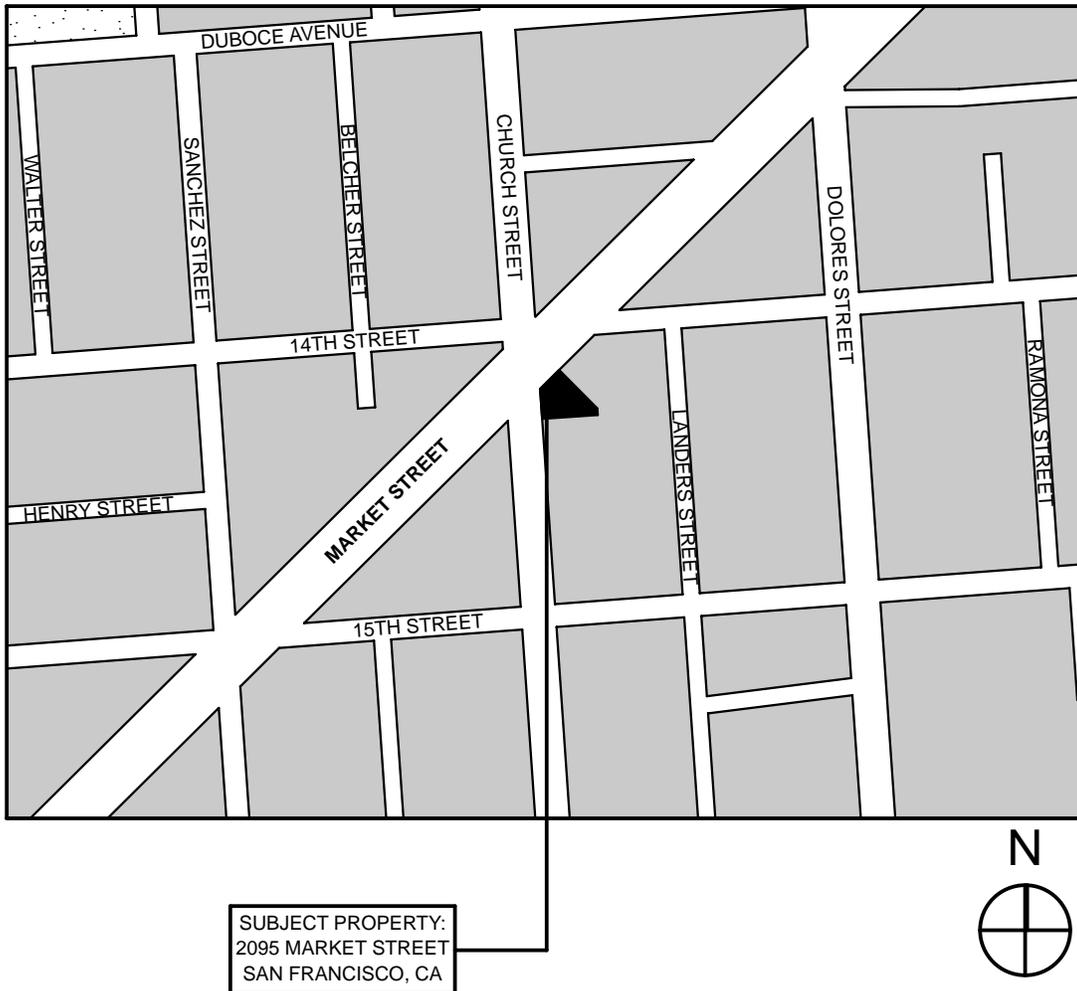
SITE PLAN

BUILDING PERMIT
#2010.09.29.1894

SHEET 1 OF 3

DATE & STATUS

DEC.8.2010
312 NOTIFICATION



BUILDING DATA:

ADDRESS: 2095 Market Street

BLOCK / LOTS: 3544 / 065

ZONING DISTRICT: UPR MARKET NCT ; 40-X / 85-X

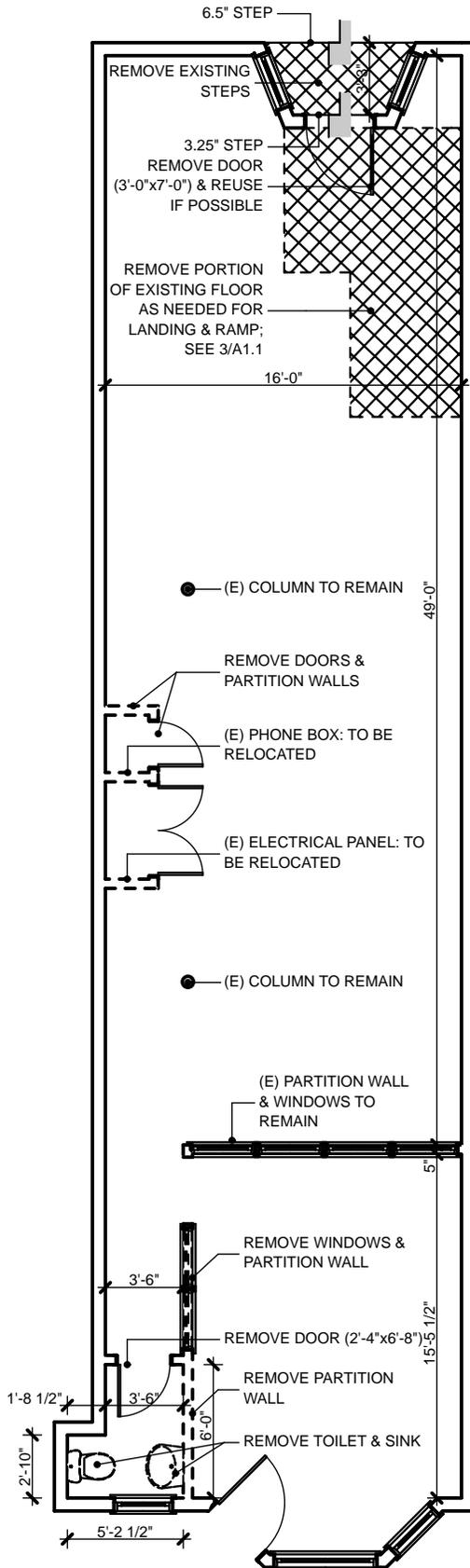
LOT SIZE: IRREGULAR; APPROXIMATELY 8,432 SQ. FT.

SFBC OCCUPANCY: "M" MERCANTILE

COMMERCIAL UNIT: APPROXIMATELY 1,100 SQ. FT.

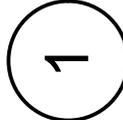
TYPE OF CONSTRUCTION: TYPE V-B, NON-RATED; NOT SPRINKLERED

← MARKET STREET →



EXISTING 1st FLOOR PLAN

SCALE: 1/8" = 1'-0"



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2095 Market Street The Apothecary

Tenant Improvement
MCD

EXISTING FIRST FLOOR PLAN

BUILDING PERMIT
#2010.09.29.1894

SHEET 2 OF 3

DATE & STATUS

DEC.8.2010
312 NOTIFICATION

MARKET STREET

NOTE: SIDEWALK IS 15' WIDE AND THE SIDEWALK ELEVATION IS CONSISTENTLY 86.5 ALONG THIS BLOCK (I.E. NOT SLOPED) PER DPW RECORDS (KEY MAP 259)



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2095 Market Street
The Apothecary

Tenant Improvement
MCD

PROPOSED FIRST
FLOOR PLAN

PROPOSED 1st FLOOR PLAN



SCALE: 1/8" = 1'-0"

1

MAXIMUM 12" PROJECTION OF RAMP INTO SIDEWALK; DPW ENCROACHMENT PERMIT REQUIRED

NEW POWERED DOOR OPERATOR BUTTON; SEE DETAIL 3/A2.2

CLEAR FLOOR AREA FOR WHEEL CHAIR ACCESS TO DESK; SEE 3/A2.3 FOR CHECK-IN DESK DETAIL

42" HIGH WALL

30" WIDE 'GATE' BUILT INTO WALL (CONVENIENCE GATE FOR SECURITY)

CLEAR FLOOR AREA FOR WHEEL CHAIR IN WAITING AREA

HANDRAIL ON EACH SIDE OF RAMP; SEE DETAIL 11/A2.1

(E) COLUMN

SEE DETAIL 6/A2.1 FOR DOOR CLEARANCES

RELOCATE PHONE PANEL
RELOCATE ELECTRICAL PANEL

(E) COLUMN

SEE DETAIL 6/A2.1 FOR DOOR CLEARANCES

SEE DETAIL 6/A2.1 FOR DOOR CLEARANCES

SEE DETAIL 5/A2.1 FOR THRESHOLD

CERAMIC TILES; SEE DETAIL 5/A2.2

SEE DETAIL 2/A2.1 FOR FIXTURE CLEARANCES

NEW CONCRETE RAMP: 4.25" RISE (8.3% SLOPE); W/ NON-SLIP FINISH
ALIGN WITH EXISTING CORNER

FLARE RAMP EDGE; MAXIMUM 8.3% SLOPE
SEE DETAIL 5/A2.1 FOR THRESHOLD; SEE 7/A2.1 FOR DOOR NOTES
SEE DETAIL 6/A2.1 FOR DOOR CLEARANCES

NEW POWERED DOOR OPERATOR BUTTON; SEE DETAIL 3/A2.2; LOCATE 24" O.C. MINIMUM FROM BOTTOM OF RAMP

42" HIGH WALL; SEE DETAIL 11/A2.1

NEW RAMP: 5.5" RISE (8.3% SLOPE); SEE RAMP DETAIL 10/A2.1

PAINT (E) & (N) WALLS TYP.

CLEAR FLOOR AREA FOR WHEEL CHAIR ACCESS TO COUNTER; SEE 1/A2.1 FOR ACCESSIBLE REACH REQUIREMENTS

PORTION OF 34" HIGH COUNTER

(E) THICK WALL, VERIFY LOCATION IN FIELD

BUILT-IN STORAGE SHELVES

REFRIGERATOR: MANUFACTURER "TRUE"; MODEL #TBB-24-72G-SD

NEW PARTITION WALL; SEE DETAIL 4/A2.2 TYP.

ALIGN (N) WALL WITH WINDOW MULLION

(E) WINDOWS / WALL

GENERAL NOTES:
1.) 80" MIN CLEAR HEADROOM SHALL BE PROVIDED THROUGHOUT
2.) FLOOR COVERING SHALL BE SLIP RESISTANT AND MEET THE STANDARD COEFFICIENT OF FRICTION 0.6 FOR LEVEL SURFACES AND 0.8 FOR SLOPED SURFACES
3.) SEE 1/A0.4 FOR WINDOW & DOOR SCHEDULE

(E) DOOR

Mayor's Office on Disability

DISABILITY ACCESS COMPLIANCE APPROVAL



Mayor
Susan Mizner, Director

PROJECT: MCD "The Apothecary"
Project Address: 2095 MARKET STREET

Number: FY2006: _____

THE MAYOR'S OFFICE ON DISABILITY HAS REVIEWED AND APPROVED:
Site Permit Plans
Final Construction Plans

ACCESSIBILITY COMPLIANCE AT THE SITE HAS BEEN APPROVED IN THE FOLLOWING FORM:
Temporary Certificate of Occupancy (TCO)
Final Signoff
Certificate of Final Completion (CFC)

By: Jim Whipple Date: _____
Rev: March 05 401 Van Ness, Suite 300 San Francisco, CA 94102 415.554.6789 415.554.6159
Fax: 415.554.6799 TTY: MCD@sf.gov

2006

Common/AdminMod/Forms/Project signoff/Disability Access Compl Approval

TITLE 24 COMPLIANCE:

ALL WORK TO COMPLY WITH TITLE-24 MANDATORY MEASURES INCLUDING BUT NOT LIMITED TO: R-13 MIN. INSULATION IN ALL NEW/REBUILT EXTERIOR WALLS; R-19 MIN. INSULATION IN ALL NEW/REBUILT ROOFS; R-13 RAISED FLOOR INSULATION IN ALL NEW/REBUILT WOOD FRAMED FLOORS; DOUBLE INSULATED DOORS & WINDOW PRODUCTS WITH CERTIFIED U-VALUE & INFILTRATION CERTIFICATION; EXTERIOR DOORS & WINDOWS WEATHERSTRIPPED; ALL JOINTS & PENETRATIONS CAULKED & SEALED; HIGH EFFICACY LIGHTING THROUGH OUT; TOILET ROOM LIGHT & EXHAUST FAN TO HAVE MANUAL-ON OCCUPANCY SENSOR).

LEGEND:

SYMBOL:	DESCRIPTION:
	EXISTING WALL
	NEW NON-RATED WALL
	KEY NOTE
	DETAIL TAG DRAWING NUMBER SHEET NUMBER
	NOTE
	SHEET NOTE
	GRID LINE MARKER
	ROOM TAG
	DOOR TAG WIDTH HEIGHT
	WINDOW TAG WIDTH HEIGHT
	ELEVATION MARKER
	SECTION / ELEVATION TAG DRAWING NUMBER SHEET NUMBER
	REVISION MARKER

ARCHITECTURAL SHEET INDEX

SHEET	TITLE
A0.1	COVER SHEET
A0.2	FORMS
A0.3	TITLE 24
A0.4	TITLE 24 & DOOR SCHEDULE
A1.1	FLOOR PLANS & CEILING PLANS
A2.1	ACCESSIBLE DETAILS
A2.2	INTERIOR ELEVATIONS & DETAILS
A2.3	DETAIL PLANS



LOCATION MAP:

SUBJECT PROPERTY:
2095 MARKET STREET
SAN FRANCISCO, CA

STUDIO SAN

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SAN FRANCISCO, CA
94118
tel 415.722.0561
fax 510.597.0980
www.studio-san.com

APP. #TBD

2095 Market Street The Apothecary

Tenant Improvement
MCD



COVER SHEET

DATE & STATUS

SEPT.7.2010
MOD REVIEW SET
SEPT.23.2010
MOD REVISION

PRE-APPLICATION MEETING FINDINGS:



Pre - Application Findings

828 Balboa Street, San Francisco, CA 94118
Tel 415.722.0561 Fax 510.597.0980
www.studio-san.com

August 13, 2009

Jeffrey Ma
Bruce Guilton
Department of Building Inspection
1660 Mission Street, 2nd Floor
San Francisco, CA 94103

MEETING DATE: 8/3/10

CODE RULING REGARDING 2095 MARKET STREET: Commercial Tenant Improvement - MCD

Property Address: 2095 Market Street
Block / Lot: 3544 / 065
Zoning: UPR MARKET NCT / 40-X/85-X
SFBC Occupancy: M (commercial)
Type of Construction: Type V-B, Non-Rated
Commercial Unit: approximately 1,100 sq. ft.
Existing Building Height: 3-stories over basement
Existing Building Year Built: 1906

Follow up letter to the "pre-application" code meeting held of August 3, 2010. Our code assumptions and questions are followed by the Code Rulings, which are shown in BOLD.

The project consists of an interior tenant improvement to the ground floor commercial space at 2095 Market Street. The commercial space, which is approximately 1,100 square feet, was formerly a video rental store and the proposed project is for a Medical Cannabis Dispensary (MCD). The proposed MCD shall only be a dispensary and no on-site smoking or consumption of food will be allowed.

1. **Accessibility at Entry:** The existing wood floor and floor framing is located approximately 9.75 inches above the sidewalk. The 12-inch deep floor framing acts as the ceiling to the storage space in the basement below. It is not practical to lower the ceiling of the storage space in the basement. What are the options for equivalency to the accessible entry requirement of CBC section 1133B.7? Can a ramp be created at the front door that is greater than 1:12 slope as required by CBC section 1133B.5.3 if accompanied by an automatic door opener? Please explain the Unreasonable Hardship Request and how this relates to the MCD requirements.

The accessibility questions shall be answered by the Mayor's Office on Disability (MOD). If MOD approves the hardship requests, then the Department of Building Inspection (DBI) will follow the recommendation of MOD.

2. **Accessibility at Restroom:** The existing restroom is approximately 71-inches by 62-inches less a notch. The restroom will only be for use by employees and not for use by customers. Does this restroom need to meet the accessibility requirements per CBC section 1115B.7? What is considered an Unreasonable Hardship?

The restroom is not required for public use per the Building Code. The accessibility questions shall be answered by the Mayor's Office on Disability (MOD). If MOD approves the hardship requests, then the Department of Building Inspection (DBI) will follow the recommendation of MOD.

3. **Occupancy Classification:** Confirm that the proposed MCD is considered "Group M" mercantile occupancy per CBC section 309.

Yes, the proposed MCD shall be classified as "Group M" as it is only a dispensary. The proposed MCD is not considered a change of use from the previous use of the space as a video store. The proposed MCD is not an assembly use.

4. **Construction Type:** Confirm that the 1,100 square foot commercial space can be of Type V-B (non-rated) construction per CBC Table 503, and that the commercial space does not require fire sprinklers.

Correct. The existing construction type may remain. Sprinklers are not required for this commercial space in this existing building.

5. **Occupancy Separation:** What, if any, occupancy separation requirements are required for this tenant improvement. The building contains both residential and commercial use.

No new occupancy separations are created, so the existing wall / floor / ceiling construction may remain as is. (Note: per the Department's records it appears that the upper floors are commercial use, not residential.)

6. **Mechanical:** The existing commercial space does not contain any mechanical heating, cooling or ventilation systems. Are any such systems required? What if any is the bathroom exhaust requirement and code section?

Question removed. No mechanical engineers attended the meeting.

7. **MCD specific Mechanical:** Does a MCD require any specific ventilation? Please note that the proposed MCD shall only be a dispensary and no on-site smoking or consumption of food will be allowed. What would the mechanical ventilation requirements be if in the future the MCD applied for a permit to allow smoking on-site?

Question removed. No mechanical engineers attended the meeting.

8. **Title 24:** Are Title 24 energy calculations required for this small tenant improvement? The existing windows and doors are to remain. Are Title 24 lighting calculations required for this small tenant improvement? The existing lighting is to remain.

Question removed. No mechanical engineers attended the meeting.

9. **Signage:** Can the existing awning be altered or removed without a permit? Would a new awning to replace the existing awning require a new sign permit?

An alteration permit (Form 3) is required for replacing the surface (fabric) of the awning, and a sign permit (Form 4) is required for any new text or graphics on the awning. A new awning would require a new permit.

10. **Egress Door:** We assume that the existing front door facing Market Street cannot be altered due to the age of the building (and Planning Code requirements). Can the existing door remain even if the existing door width is less than required by CBC section 1008.1.1 which requires 32-inches of clear width when the door is open 90-degrees?

As long as the existing door opening is maintained, then the existing width is allowed to remain.

11. **Egress Distance:** Please confirm that the occupancy load for the space is 37 occupants per CBC Table 1004.1.1 (1,100 sq. ft. / 30 occupants per sq. ft.). Also, please confirm that the space is only required to have one means of egress per CBC Table 1015.1 and therefore the rear door that connects to the stairs, which lead to the rear yard, is not required for egress purposes.

One means of egress is sufficient for this commercial space; the proposed MCD is not considered a change of use. The door to the rear yard is not part of the egress system.

12. **Fire Code:** Are there any additional fire code issues that we should be aware of for the proposed MCD?

The use of compressed gases or hazardous materials would trigger additional requirements. No fire alarm system is required, but if the tenant chooses to install one then the system has to meet current code and if the building has a fire alarm system then the tenant must connect to that existing system.

Code Rulings / Findings Approved by: Date: 8/26/10

Jeffrey Ma, P.E.
Department of Building Inspection
1660 Mission Street, 2nd Floor
San Francisco, CA 94103
Fax: (415) 558-6685

Code Rulings / Findings Approved by: Date: 08/26/10

Bruce Guilton, Lieutenant
Bureau of Fire Prevention
1660 Mission Street, 2nd Floor
San Francisco, CA 94103
Fax: (415) 558-6560

Thank you for your prompt review and approval of these code rulings / findings.

Sincerely,

Ian O'Banion, AIA, LEED AP
Architect, Studio San
828 Balboa Street
San Francisco, CA 94118
Tel: (415) 722-0561
Fax: (510) 597-0980
ian@studio-san.com

2095_PreApp_Findings.doc

Page 3 of 3

DESCRIPTION OF WORK:

THE REMODEL PROJECT CONSISTS OF AN INTERIOR TENANT IMPROVEMENT TO THE GROUND FLOOR COMMERCIAL SPACE AT 2095 MARKET STREET. THE COMMERCIAL SPACE, WHICH IS APPROXIMATELY 1,100 SQUARE FEET, WAS FORMERLY A VIDEO RENTAL STORE AND THE PROPOSED PROJECT IS FOR A MEDICAL CANNABIS DISPENSARY (MCD). THE PROPOSED MCD SHALL ONLY BE A DISPENSARY AND NO ON-SITE SMOKING OR CONSUMPTION OF FOOD WILL BE ALLOWED. ACCESSIBILITY UPGRADES TO THE ENTRY AND TOILET ROOM ARE INCLUDED IN THE SCOPE OF WORK; AS WELL AS MINOR ELECTRICAL AND PLUMBING WORK.

THE CONTRACTOR SHALL PROVIDE ALL WORK & MATERIALS IN ACCORDANCE WITH CURRENT LOCAL & STATE CODES INCLUDING, BUT NOT LIMITED TO: THE 2007 EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA FIRE CODE, THE 2008 CALIFORNIA GREEN BUILDING STANDARDS CODE, THE CURRENT EDITIONS OF THE SAN FRANCISCO PLANNING & BUILDING CODES, TITLE-24 ENERGY STANDARDS, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES ("ADAAG"), ETC...

BUILDING DATA:

ADDRESS: 2095 Market Street
BLOCK / LOTS: 3544 / 065
ZONING DISTRICT: UPR MARKET NCT ; 40-X / 85-X
LOT SIZE: IRREGULAR; APPROXIMATELY 8,432 SQ. FT.
SFBC OCCUPANCY: "M" MERCANTILE
COMMERCIAL UNIT: APPROXIMATELY 1,100 SQ. FT.
TYPE OF CONSTRUCTION: TYPE V-B, NON-RATED; NOT SPRINKLERED

PROJECT DIRECTORY:

ARCHITECT: IAN O'BANION STUDIO SAN 828 BALBOA STREET SAN FRANCISCO, CA 94118 T: (415) 722.0561 F: (510) 597.0980 EMAIL: ian@studio-san.com	OWNER: RHMT LLC RYAN HUDSON (PARTNER) & MICHAEL THOMSEN (PARTNER) 2095 MARKET STREET SAN FRANCISCO, CA 94114 RYAN HUDSON: T: (415) 928-3300 EMAIL: ryan@hudson.fm
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NOTICE:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE PROJECT SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF STUDIO SAN PRIOR TO THE COMMENCEMENT OF ANY WORK. THESE DRAWINGS ARE AN INDUSTRY STANDARD BUILDERS SET FOR BUILDING PERMIT & TO ASSIST THE CONTRACTOR IN CONSTRUCTION. THE DRAWINGS SHOW LIMITED AND ONLY REPRESENTATIVE/TYPICAL DETAILS. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES & AS INDICATED IN THESE PLANS ARE ALL WATERPROOFING DETAILS/DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC. ARE TO BE PROPERLY SECURED IN CONFORMANCE WITH BEST PRACTICES, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THEM.

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"All drawings and written material appearing herein constitute the original and unpublished work of the architect and the same may not be duplicated, used, or disclosed without the written permission of the architect."

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Studio San prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES AND AS INDICATED IN THESE DRAWINGS ARE ALL WATERPROOFING DETAILS/DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practices, and the Contractor shall be responsible for providing and installing them.

DRAWN BY: ITO
JOB NO: 10006

SHEET:

A0.1

1 OF 8 SHEETS



UNREASONABLE HARDSHIP REQUEST

For Exceptions to Disabled Access Regulations, Title 24

- 1. Site Address: 2095 MARKET STREET
2. Floor: GROUND FLOOR
3. Permit Application No.:
4. Hardship Request No.: #1
5. Existing Use: VIDEO RENTAL STORE
6. Proposed Use: MEDICAL CANNABIS DISPENSARY
7. Existing Occupancy: M MERCANTILE
8. Proposed Occupancy: M MERCANTILE
9. Description of proposed work which triggers access compliance upgrades: A MEDICAL CANNABIS DISPENSARY (MCD) SHALL HAVE AN ACCESSIBLE ENTRY; AN ACCESSIBLE COUNTER; AND AN ACCESSIBLE TOILET ROOM; SF ORDINANCE NO. 25-09

CBC 1103B.1 - Accessibility to buildings or portions of buildings shall be provided for all occupancy classifications except as modified or enhanced by Chapter 11B. Occupancy requirements in this chapter may modify general requirements, but never to the exclusion of them.

We request that this project be granted an exception from the following specified requirements of Title 24 Part 2 of the California Code of Regulations because compliance would create an unreasonable hardship as defined in Section 202 of Title 24.

- 10. A. The access feature(s) that will not be provided is (are):
Primary Accessible Entrance
Path of Travel (includes path from parking)
Other: ENTRY DOOR EXTERIOR LANDING
Sanitary Facilities
Parking
B. The code section(s) that requires (require) the specific accessible feature(s) is (are):
1133B.2.4.2 MANEUVERING CLEARANCES AT DOORS

11. Detailed description of the accessible feature(s) that will not be provided. What is the condition now? Note location on the plans or provide attachments if necessary.

EXISTING PLAN 1/A-1.1; EXISTING ENTRY HAS 2 STEPS THAT WILL BE REPLACED WITH A RAMP; THERE IS NOT ENOUGH ROOM FOR AN EXTERIOR LEVEL LANDING; POWERED DOOR OPERATORS WILL BE USED IN LIEU OF AN EXTERIOR LANDING PER AB-012

- 12. Total cost of the project excluding this (these) accessible feature(s): \$30,000.
13. A. Cost of the accessible feature(s), which will not be provided: \$10,000.
B. Percentage of total cost shown on Line 12 (divide line 13 by line 12): 33%.

- 14. Choose either 'A' or 'B':
A. Equivalent facilitation is provided according to Code Section(s): 1105B, EXCEPTION 1
Description of equivalent facilitation & why full compliance cannot be achieved:

THE 2 STEPS AT ENTRY WILL BE REMOVED & REPLACED WITH A RAMPED LANDING AT EXTERIOR SIDE OF DOOR SLOPED 1:12 MAXIMUM. INTERIOR SIDE OF DOOR WILL HAVE FULLY COMPLYING LEVEL LANDING LEADING TO A RAMP SLOPED 1:12. POWER DOOR OPERATORS WILL BE INSTALLED ON EACH SIDE OF DOOR PER EQUIVALENCY AB-012

UNREASONABLE HARDSHIP REQUEST

- B. Equivalent facilitation is not provided because of the following:
Cost constraints
Physical constraints
Legal constraints
Other constraints
Description of constraint (Unreasonable Hardship). Provide attachments as needed.

Note: Ratification by the Access Appeals Commission is generally required for Unreasonable Hardship Requests when the work is valued over the threshold amount based on the ENR Construction Cost Index for the year 2010, \$128,410.86, and no equivalent facilitation is provided.

16. Applicant's Name (Print): RHMT LLC (RYAN HUDSON, PARTNER & MICHAEL THOMSEN, PARTNER
Applicant's Signature:
17. Applicant's Address: 2095 MARKET STREET, SAN FRANCISCO, CA 94114

FOR THE DEPARTMENT OF BUILDING INSPECTION STAFF USE ONLY
This exception for unreasonable hardship is:
GRANTED FOR THIS PERMIT ONLY
DENIED
REQUIRES AAC RATIFICATION
Based on Section(s):
Plans reviewed by (print name):
Signature of the Plans Examiner:
Date:
Denied for the following reason(s):
*Signature of the Group Supervisor:
Date:

If your Unreasonable Hardship Request is to be denied, the plans examiner shall inform you of the reasons for denying that request. In addition, the plans examiner's group supervisor shall provide you with a second opinion regarding the denial.

To file an appeal with the Access Appeals Commission (AAC), please pay a filing fee of \$374.00 and submit a document package consisting of eight individually bound notebooks. Please refer to the Access Appeals Commission Information Guide, available at the Customer Services desk, for more complete information.

Please submit appeals in person to: Secretary, Access Appeals Commission 1660 Mission Street, 3rd Floor San Francisco, CA 94103 (415) 558-6110



UNREASONABLE HARDSHIP REQUEST

For Exceptions to Disabled Access Regulations, Title 24

- 1. Site Address: 2095 MARKET STREET
2. Floor: GROUND FLOOR
3. Permit Application No.:
4. Hardship Request No.: #2
5. Existing Use: VIDEO RENTAL STORE
6. Proposed Use: MEDICAL CANNABIS DISPENSARY
7. Existing Occupancy: M MERCANTILE
8. Proposed Occupancy: M MERCANTILE
9. Description of proposed work which triggers access compliance upgrades: A MEDICAL CANNABIS DISPENSARY (MCD) SHALL HAVE AN ACCESSIBLE ENTRY; AN ACCESSIBLE COUNTER; AND AN ACCESSIBLE TOILET ROOM; SF ORDINANCE NO. 25-09

CBC 1103B.1 - Accessibility to buildings or portions of buildings shall be provided for all occupancy classifications except as modified or enhanced by Chapter 11B. Occupancy requirements in this chapter may modify general requirements, but never to the exclusion of them.

We request that this project be granted an exception from the following specified requirements of Title 24 Part 2 of the California Code of Regulations because compliance would create an unreasonable hardship as defined in Section 202 of Title 24.

- 10. A. The access feature(s) that will not be provided is (are):
Primary Accessible Entrance
Path of Travel (includes path from parking)
Other: ENTRY DOOR SIDE CLEARANCES
Sanitary Facilities
Parking
B. The code section(s) that requires (require) the specific accessible feature(s) is (are):
1133B.2.4.2 MANEUVERING CLEARANCES AT DOORS

11. Detailed description of the accessible feature(s) that will not be provided. What is the condition now? Note location on the plans or provide attachments if necessary.

EXISTING PLAN 1/A-1.1; EXISTING ENTRY HAS WALLS ON EITHER SIDE OF THE DOOR & 2 STEPS THAT WILL BE REPLACED WITH A RAMP; THERE IS NOT ENOUGH ROOM FOR 12" CLEARANCE ON PUSH SIDE OF DOOR (AT THE EXTERIOR); ENTRY DOOR CONTAINS LATCH & CLOSER

- 12. Total cost of the project excluding this (these) accessible feature(s): \$30,000.
13. A. Cost of the accessible feature(s), which will not be provided: \$10,000.
B. Percentage of total cost shown on Line 12 (divide line 13 by line 12): 33%.

- 14. Choose either 'A' or 'B':
A. Equivalent facilitation is provided according to Code Section(s): 1105B, EXCEPTION 1
Description of equivalent facilitation & why full compliance cannot be achieved:

PHYSICAL CONSTRAINTS AT EXTERIOR OF ENTRY INCLUDING EXISTING WALLS & DOOR LOCATION PREVENT THE ADDITION OF 12" CLEARANCE ON PUSH SIDE OF DOOR (AT EXTERIOR); ENTRY DOOR WILL CONTAIN A LATCH & CLOSER; PULL SIDE OF DOOR (INTERIOR) MEETS REQUIRED CLEARANCES; POWERED DOOR OPERATORS WILL BE INSTALLED PER EQUIVALENCY AB-011

UNREASONABLE HARDSHIP REQUEST

- B. Equivalent facilitation is not provided because of the following:
Cost constraints
Physical constraints
Legal constraints
Other constraints
Description of constraint (Unreasonable Hardship). Provide attachments as needed.

Note: Ratification by the Access Appeals Commission is generally required for Unreasonable Hardship Requests when the work is valued over the threshold amount based on the ENR Construction Cost Index for the year 2010, \$128,410.86, and no equivalent facilitation is provided.

16. Applicant's Name (Print): RHMT LLC (RYAN HUDSON, PARTNER & MICHAEL THOMSEN, PARTNER
Applicant's Signature:
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FOR THE DEPARTMENT OF BUILDING INSPECTION STAFF USE ONLY
This exception for unreasonable hardship is:
GRANTED FOR THIS PERMIT ONLY
DENIED
REQUIRES AAC RATIFICATION
Based on Section(s):
Plans reviewed by (print name):
Signature of the Plans Examiner:
Date:
Denied for the following reason(s):
*Signature of the Group Supervisor:
Date:

If your Unreasonable Hardship Request is to be denied, the plans examiner shall inform you of the reasons for denying that request. In addition, the plans examiner's group supervisor shall provide you with a second opinion regarding the denial.

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D.A. CHECKLIST (p. 1 of 2):

The address of the project is 2095 MARKET STREET

For ALL tenant improvement projects in commercial use spaces, this checklist is required to be reproduced on the plan set and signed.

- 1. The proposed use of the project is MEDICAL CANNABIS DISPENSARY (e.g. Retail, Office, Restaurant, etc.)
2. Describe the area of remodel, including which floor: GROUND FLOOR APPROXIMATELY 1,100 SQ. FT.
3. The construction cost of this project excluding disabled access upgrades is \$ 20,000, which is (check one) more than / less than the Accessibility Threshold amount of \$128,410.86 based on the "2010 ENR Construction Cost Index" (The cost index & threshold are updated annually).
4. Is this a City project and/or does it receive public funding? Check one: Yes / No Note: If Yes, then see Step 3 on the instructions page for additional forms required.

Conditions below must be fully documented by accompanying drawings

- 5. Read A through G below carefully and check the most applicable box (one box only):
A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required.
B: All existing conditions serving the area of remodel that do not fully comply with access requirements will be fully upgraded with this project.
C: Proposed project (check one) is less than the threshold / is over the threshold & falls under CBC 1134B.2.1 Ex. 2; Partial upgrades, including Equivalent Facilitation will be provided up to 20% of the project value as itemized on Form C. Priority of upgrades are to be considered in the order listed on p. 2 of the D.A. Checklist. Fill out Hardship request form(s) for non-fully complying items, including for Equivalent Facilitation items. Checking box C means there are still non-complying items serving the area of remodel.
D: Access features will either fully comply or be provided with Code defined Equivalent Facilitation. Submit an Unreasonable Hardship Request (UHR) for the Equivalent Facilitation items.
E: Hardship appeal to be filed with Access Appeals Commission (AAC). Note: Plan check of items not under AAC consideration will continue while resolution of AAC decision is sought.
F: Consisting only of Barrier Removal, Notice of Accessibility Violation (NOV) Compliance or Exempted Work; Fill out Form F.
G: Minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previous approved permit application here: Description of revision:

D.A. CHECKLIST (p. 2 of 2):

Check all applicable boxes and specify where on the drawings the details are shown:

Table with columns: Note, Existing Fully Complying, Upgrade to Full Compliance, Partial Upgrade/Hardship, Equivalent Facilitation/Hardship, Hardship, None existing & not req'd by Code, Access Appeals Commission, Barrier Removal/NOV, Location of detail(s)-include detail no. & drawing sheet (do not leave this blank!). Also clarification comments can be written here.

If details are provided from a set of City approved reference drawings, provide its permit application number here:

ABBREVIATIONS:

- & AND
NUMBER
@ AT
AB ACHOR BOLT
ACOUS ACOUSTICAL
ADJ ADJACENT
A.F.F. ABOVE FINISH FLOOR
ALT ALTERNATE
ALUM ALUMINUM
APPROX APPROXIMATE
ASPH ASPHALT
BLDG BUILDING
BETW BETWEEN
BOT BOTTOM
BR BEDROOM
CAB CABINET
CBC CALIFORNIA BUILDING CODE
CEM CEMENT
CLR CLEAR
CMU CONCRETE MASONRY UNIT
COL COLUMN
CONT CONTINUOUS
CTR CETER
CL CENTERLINE
CER CERAMIC
CLG CEILING
CONC CONCRETE
D DRYER
DBL DOUBLE
DEPT DEPARTMENT
D.F. DOUGLAS FIR
D.H. DOUBLE HUNG
DIA DIAMETER
DIM DIMENSION
DN DOWN
DS DOWNSPOUT
DTL DETAIL
DW DISHWASHER
DWG DRAWING
(E) EXISTING
EA EACH
ELEC ELECTRICAL
EL ELEVATION
EQ EQUAL
EXC EXCEPTION
EXT EXTERIOR
FDN FOUNDATION
FIN FINISH
FLR FLOOR
FLOUR FLUORESCENT
F.O.C. FACE OF CONCRETE
F.O.F. FACE OF FINISH
F.O.S. FACE OF STUD
FT FOOT
FTG FOOTING
GALV GALVANIZED
G.F.I. GROUND FAULT INTERRUPTER
GND GROUND
GYP GYPSUM
GWB GYPSUM WALL BOARD
HORZ HORIZONTAL
HT HEIGHT
INSUL INSULATION
INT INTERIOR
JT JOINT
LAV LAVATORY
MAX MAXIMUM
MIN MINIMUM
MISC MISCELLANEOUS
MFR MANUFACTURER
MTL METAL
(N) NEW
NIC NOT IN CONTRACT
NO NUMBER
NTS NOT TO SCALE
O.C. ON CENTER
OCC OCCUPANTS
O.D. OUTSIDE DIAMETER
O'HANG OVERHANG
OPNG OPENING
OPP OPPOSITE
PL PROPERTY LINE
PLAM PLASTIC LAMINATE
PLY PLYWOOD
PT PRESSURE TREATED
PTDF PRESSURE TREATED DOUGLAS FIR
PTD PAINTED
PTN PARTITION
R RISER
REF REFERENCE
REF REFRIGERATOR
REINF REINFORCED
R.O. ROUGH OPENING
RWL RAIN WATER LEADER
REQ'D REQUIRED
RWD REDWOOD
SD SMOKE DETECTOR
S.E.D. SEE ELECTRICAL DRAWINGS
SECT SECTION
SHT SHEET
SIM SIMILAR
SKLT SKYLIGHT
S.M.D. SEE MECHANICAL DRAWINGS
S.O.G. SLAB ON GRADE SPECIFICATION
S.S.D. SEE STRUCTURAL DRAWINGS
STRUC TL STRUCTURAL
SUSP SUSPENDED
SYM SYMMETRICAL
T TREAD
T.B.D. TO BE DETERMINED
T&G TONGUE AND GROOVE
THK THICK
T.O.S. TOP OF SLAB
TP TOILET PAPER
TB TOWEL BAR
TYP TYPICAL
U.O.N. UNLESS OTHERWISE NOTED
VERT VERTICAL
VIF VERIFY IN FIELD
W WITH
W WASHER
W/D WASHER / DRYER
WD WOOD
W/O WITHOUT
W.C. WATER CLOSET
WH WATER HEATER
WIN WINDOW
WT WEIGHT

STUDIO SAN

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APP. #TBD

2095 Market Street The Apothecary

Tenant Improvement MCD



FORMS

DATE & STATUS

SEPT.7.2010 MOD REVIEW SET
SEPT.23.2010 MOD REVISION

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All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DRAWN BY: ITO
JOB NO: 10006

SHEET:

A0.2

2 OF 8 SHEETS

CERTIFICATE OF COMPLIANCE (Part 2 of 4) OLTG-1C

Project Name: 2095 Market St. Date: 9/20/2010

COMPLIANCE FIXTURE / LIGHTING CONTROL SCHEDULE and FIELD INSPECTION CHECKLIST

INSTALLATION CERTIFICATE, OLTG-1INST (Retain a copy and verify form is completed and signed.) Field Inspection

CERTIFICATE OF ACCEPTANCE, OLTG-2A (Retain a copy and verify form is completed and signed.) Field Inspection

Luminaire Schedule		Installed Watts					Field Inspector		
A	B	C	D	E	F	G	H	I	
Name or Item Tag	Luminaire Description ¹ See footnote below (i.e. 1 lamp pole-top shoe-box 400 watt metal halide)	Cutoff Designation	Watts per Luminaire	Special Features	How wattage was determined	Number of Luminaires	Installed Watts (D x G)	Pass	Fail
	(1) 38w Compact Fluorescent 2D Elec		37.0			2	74	<input type="checkbox"/>	<input type="checkbox"/>
Enter total into OLTG-1C; Page 4 of 4; Row H; Total Installed Watts:							74		

1. Type of luminaire (i.e. post top, wall pack, surface, shoe box), for non-incandescent luminaires, indicate nominal lamp wattage and lamp type (i.e. fluorescent, incandescent, HID); ballast type (i.e. electronic or magnetic); number of lamps and number of ballasts per luminaire. For incandescent luminaires, the luminaire wattage listed in column D shall be the maximum relamping rated wattage on a permanent factory-installed label on the luminaire, NOT the wattage of the lamp (bulb) used, in accordance with Section 130(d) or (e).

2. If Fail then describe on Page 2 of the Inspection Checklist Form and take appropriate action to correct. Vary building plans if necessary.

EXEMPT LUMINAIRES Field Inspection

Name or Symbol	Description of exempt luminaires in accordance with §147

MANDATORY CONTROLS Field Inspection

#	Description	Location	#	Description	Location

SPECIAL FEATURES INSPECTION CHECKLIST (See Page 2 of 4 of OLTG-1C)

The local enforcement agency should pay special attention to the items specified in this checklist. These items require special written justification and documentation, and special verification. The local enforcement agency determines the adequacy of the justification, and may reject a building or design that otherwise complies based on the adequacy of the special justification and documentation submitted.

Filed Inspector Notes or Discrepancies:

EnergyPro 5.1 by EnergySoft User Number: 1002 RunCode: 2010-09-20T14:46:34 ID: 10325-GR Page 14 of 17

CERTIFICATE OF COMPLIANCE (Part 3 of 4) OLTG-1C

Project Name: 2095 Market St. Date: 9/20/2010

A. OUTDOOR LIGHTING ZONE

OUTDOOR LIGHTING ZONE: OLZ 1 OLZ 2 OLZ 3 OLZ 4

Is the Outdoor Lighting Zone: Default in accordance with §10-114, or Amended by JHA

Complete the information below if the default Outdoor Lighting Zone has been amended by the local jurisdiction having authority (JHA):

The site is a government designated park, recreational area, wildlife preserve, or portion thereof, and has been designated as LZ2 or LZ3, in accordance with Table 10-114-A, because the site is contained within such a zone.

The local jurisdiction having authority has officially adopted a change to the State Default Lighting Zone and has notified the Energy Commission by providing the materials required in §10-114(d) to the Executive Director.

The adopted change is posted on the Energy Commission website.

B. ADDITIONAL LIGHTING POWER ALLOWANCE FOR ORDINANCE REQUIREMENTS

Are additional lighting power allowances for ordinance in Table 147-C used? Yes No

Complete the information below if additional lighting power allowances for ordinance requirements are used:

The local jurisdiction having authority has officially adopted specific outdoor light levels, which are expressed as average or minimum footcandle levels, by following a public process that allowed for formal public notification, review, and comment about the proposed change.

The local jurisdiction having authority which adopted specific outdoor light levels and has notified the Commission by providing the following materials required §10-114(f) to the Executive Director.

C. ACCEPTANCE FORMS

Required Acceptance Tests

Designer: This form is to be used by the designer and attached to the plans. Listed below is the acceptance test for the Lighting system. The OLTG-2A The designer is required to check the acceptance tests and list all control devices serving the building or space shall be certified as meeting the Acceptance Requirements for Code Compliance. If all the lighting system or control of a certain type requires a test, list the different lighting and the number of systems. The NA7 Section in the Appendix of the Nonresidential Reference Appendices Manual describes the test. Since this form will be part of the plans, completion of this section will allow the responsible party to budget for the scope of work appropriately. Forms can be grouped by type of Luminaire controlled.

Enforcement Agency: Systems Acceptance. Before Occupancy Permit is granted for a newly constructed building or space or when new lighting system with controls is installed in the building or space shall be certified as meeting the Acceptance Requirements. The OLTG-2A form is not considered a complete form and is not to be accepted by the enforcement agency unless the boxes are checked and/or filled and signed. In addition, a Certificate of Acceptance forms shall be submitted to the enforcement agency that certifies plans, specifications, installation certificates, and operating and maintenance information meet the requirements of §10-103(b) of Title 24 Part 6. The field inspector must receive the properly filled out and signed forms before the building can receive final occupancy. A copy of the OLTG-2A for each different lighting luminaire control(s) must be provided to the owner of the building for their records.

Certificate of Acceptance			
Equipment Requiring Testing	Description	Luminaires Controlled City of Like Controls	Location Outdoor Lighting Acceptance Tests

1. Insert: OMS for Outdoor Motion Sensor; OLSC for Outdoor Lighting Shutoff Controls; OP for Outdoor Photocontrol; ATS for Astronomical Time Switch; and STS for Standard (non-astronomical) Time Switch acceptance.

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CERTIFICATE OF COMPLIANCE (Part 4 of 4) OLTG-1C

Project Name: 2095 Market St. Date: 9/20/2010

ALLOWED AND INSTALLED OUTDOOR LIGHTING POWER

	Lighting Allowance	Lighting Wattage
A	Lighting power allowance for general hardscape (from OLTG-2C Page 1 of 3)	0
B	Specific application lighting wattage allowance per unit length (from OLTG-2C Page 1 of 3)	0
C	Specific application lighting wattage allowance for ornamental lighting (from OLTG-2C Page 1 of 3)	0
D	Specific application lighting wattage allowance per application (from OLTG-2C Page 2 of 3)	74
E	Specific application lighting wattage allowance per area (from OLTG-2C Page 2 of 3)	0
F	Specific application lighting wattage allowance for ordinance requirements (from OLTG-2C Page 3 of 3)	0
G	Total Allowed Wattage = Sum of rows A through F:	74
H	Total installed watts (from Compliance Fixture Schedule, from OLTG-2C Page 1 of 3)	74

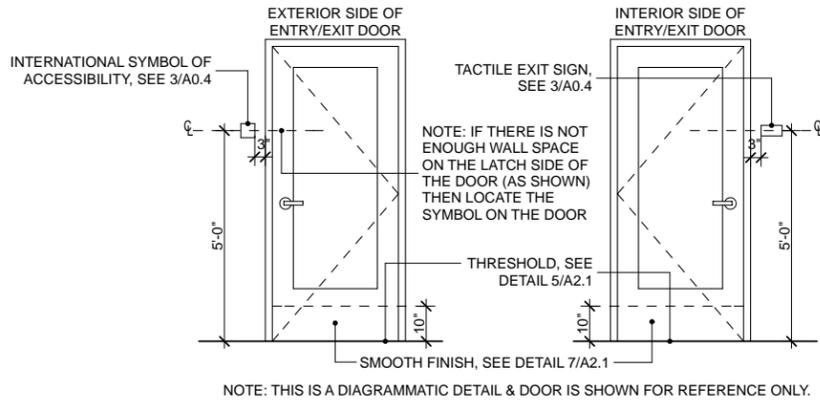
Complies if wattage in row H is less than or equal to the wattages in row G Yes No

EnergyPro 5.1 by EnergySoft User Number: 1002 RunCode: 2010-09-20T14:46:34 ID: 10325-GR Page 16 of 17

WINDOW SCHEDULE:
1.) ALL EXISTING EXTERIOR WINDOWS TO REMAIN
2.) ALL EXISTING EXTERIOR WINDOWS ARE OPERABLE

DOOR SCHEDULE:

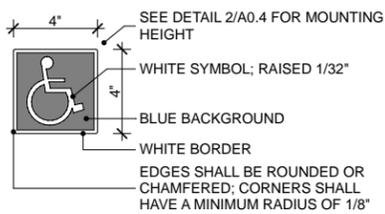
DOOR ID & ROOM	SIZE (WxH)	TYPE	HARDWARE	NOTES	DIAGRAM	SIGNAGE
01 ENTRY DOOR	3x7	WOOD ENTRY DOOR W/ GLASS PANEL	LEVER TYPE HARDWARE & LATCH & CLOSER; SEE DETAIL 7/2.1	NEW POWER ASSISTED OPENER; SEE DETAIL 3/A2.2 & PLAN 3/A1.1; REMOVE EXISTING DOOR & REPLACE IN KIND SMOOTH FINISH, SEE DETAIL 7/A2.1		PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON EXTERIOR SIDE OF ENTRY DOOR, SEE DETAIL 2/A0.4 PROVIDE TACTILE EXIT SIGN ON INTERIOR SIDE OF ENTRY/EXIT DOOR, SEE DETAIL 2/A0.4
02 TOILET ROOM	3x7	PAINT GRADE WOOD; PAINTED	LEVER TYPE HARDWARE & PRIVACY LATCH INSIDE TOILET ROOM & CLOSER; SEE DETAIL 7/2.1	SEE 6/A2.1 FOR DOOR SWING REQUIREMENTS SMOOTH FINISH, SEE DETAIL 7/A2.1		SEE DETAIL 4/2.1 FOR TOILET ROOM SIGNAGE
03 OFFICE	3x7	PAINT GRADE WOOD; PAINTED	LEVER TYPE HARDWARE & LOCK; SEE DETAIL 7/2.1	SEE 6/A2.1 FOR DOOR SWING REQUIREMENTS; SEE 5/A2.1 FOR THRESHOLD SMOOTH FINISH, SEE DETAIL 7/A2.1		(NO ROOM SIGNAGE PROVIDED)
04 STORAGE ROOM	3x7	PAINT GRADE WOOD; PAINTED	LEVER TYPE HARDWARE & LOCK; SEE DETAIL 7/2.1	SEE 6/A2.1 FOR DOOR SWING REQUIREMENTS; SEE 5/A2.1 FOR THRESHOLD SMOOTH FINISH, SEE DETAIL 7/A2.1		(NO ROOM SIGNAGE PROVIDED)
05 HALLWAY	3x7	PAINT GRADE WOOD; PAINTED	LEVER TYPE HARDWARE & LOCK; SEE DETAIL 7/2.1	SEE 6/A2.1 FOR DOOR SWING REQUIREMENTS; SEE 5/A2.1 FOR THRESHOLD SMOOTH FINISH, SEE DETAIL 7/A2.1		(NO ROOM SIGNAGE PROVIDED)



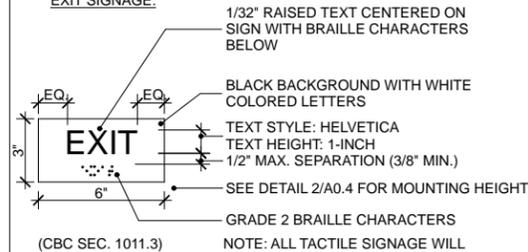
2 ENTRY/EXIT SIGNAGE LOCATION

SCALE: 1/2" = 1'-0"

ENTRY SIGNAGE - INTERNATIONAL SYMBOL OF ACCESSIBILITY:



EXIT SIGNAGE:



3 ENTRY/EXIT SIGNAGE

SCALE: 3" = 1'-0"

1 DOOR & WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

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**2095 Market Street
The Apothecary**

Tenant Improvement
MCD



TITLE 24 & DOOR
SCHEDULE

DATE & STATUS

SEPT.7.2010
MOD REVIEW SET

SEPT.23.2010
MOD REVISION

SEPT.23.2010
MOD REVISION

SEPT.23.2010
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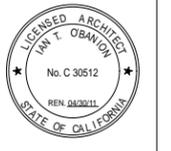
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JOB NO: 10006

SHEET:

A0.4

4 OF 8 SHEETS

1
(WHOLE SHEET ADDED)



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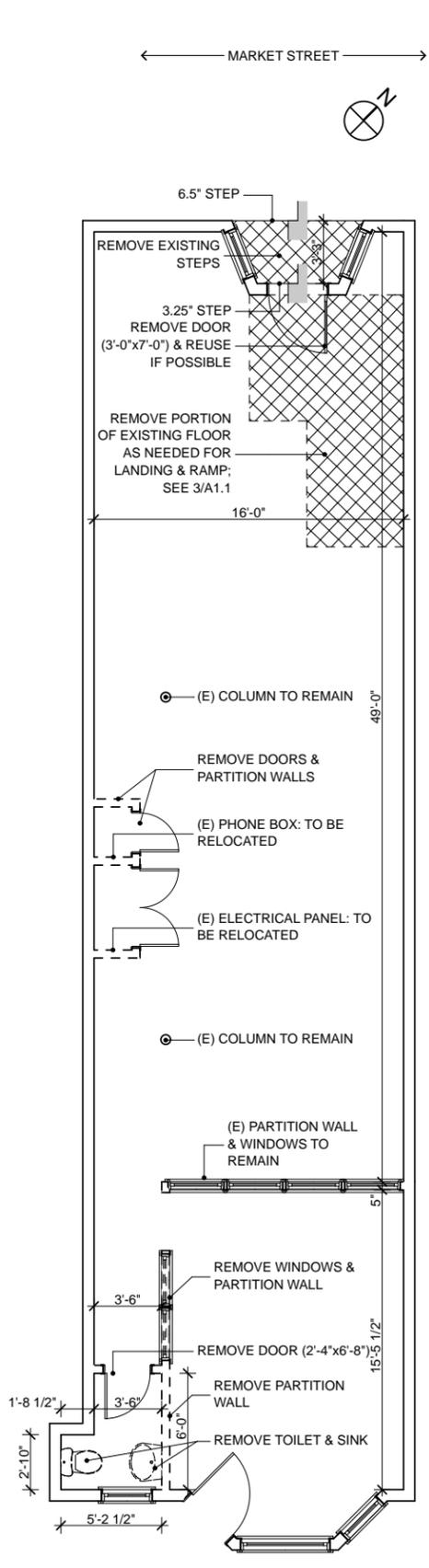
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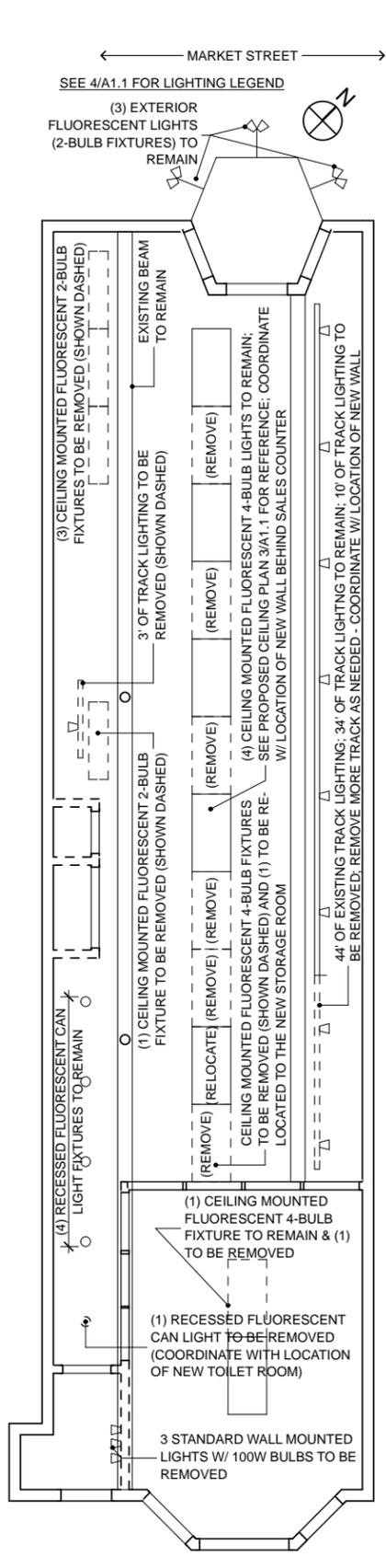
SHEET:

A1.1

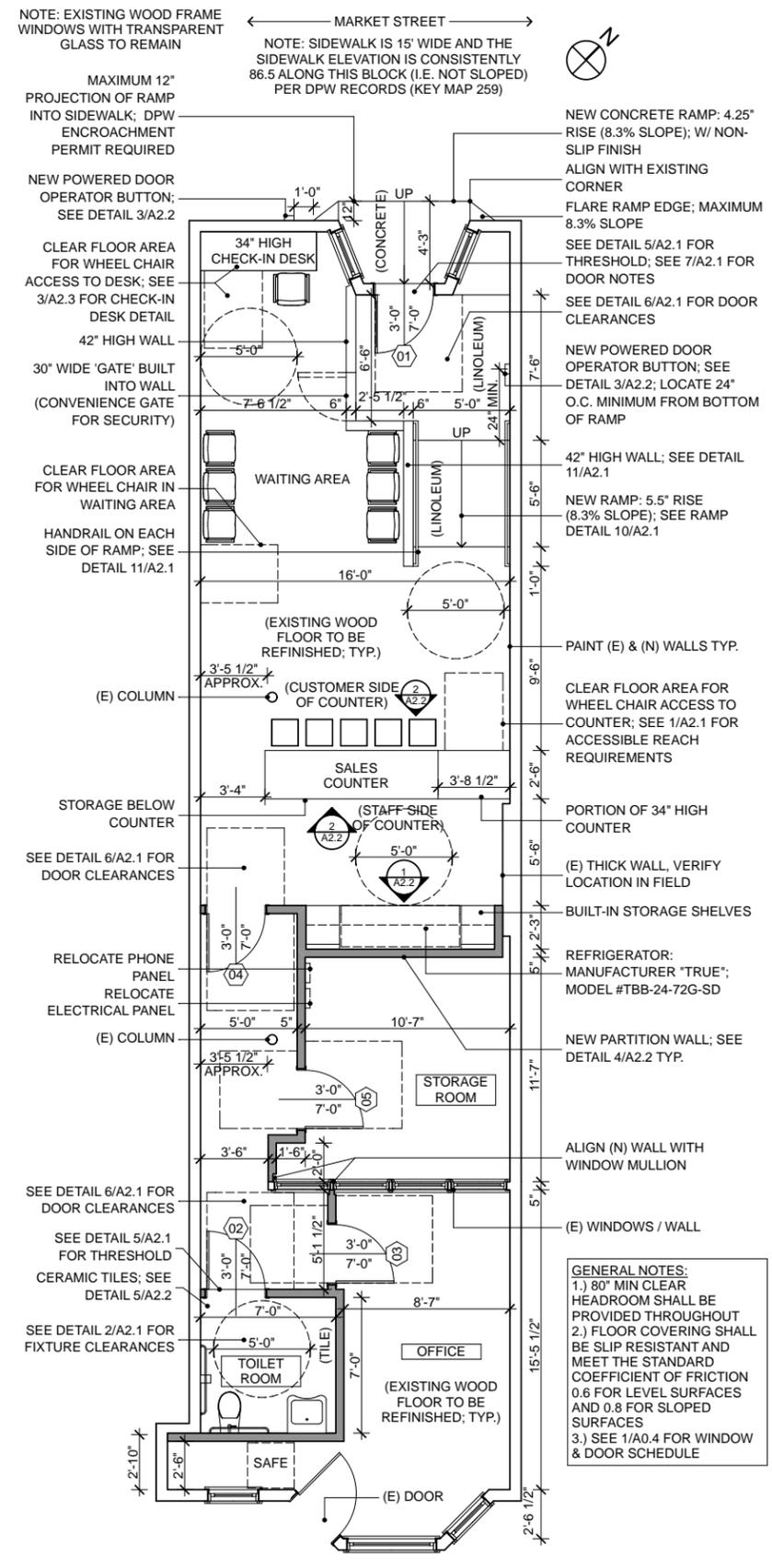
5 OF 8 SHEETS



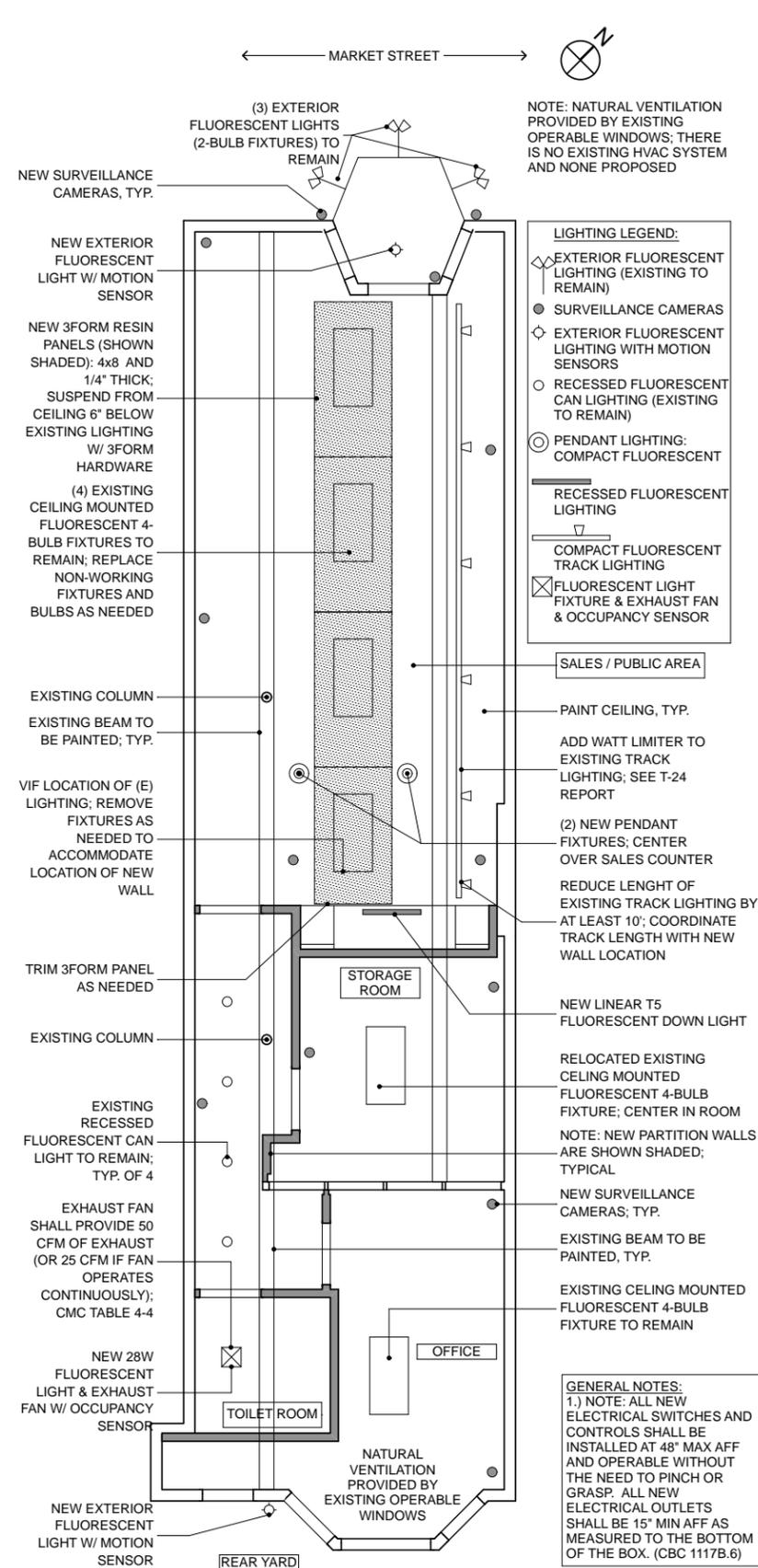
1 EXISTING 1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"



2 EXISTING CEILING PLAN
 SCALE: 1/4" = 1'-0"



3 PROPOSED 1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"



4 PROPOSED CEILING PLAN
 SCALE: 1/4" = 1'-0"

NOTE: EXISTING WOOD FRAME WINDOWS WITH TRANSPARENT GLASS TO REMAIN

MARKET STREET

NOTE: SIDEWALK IS 15' WIDE AND THE SIDEWALK ELEVATION IS CONSISTENTLY 86.5 ALONG THIS BLOCK (I.E. NOT SLOPED) PER DPW RECORDS (KEY MAP 259)

MAXIMUM 12" PROJECTION OF RAMP INTO SIDEWALK; DPW ENCROACHMENT PERMIT REQUIRED

NEW POWERED DOOR OPERATOR BUTTON; SEE DETAIL 3/A2.2

CLEAR FLOOR AREA FOR WHEEL CHAIR ACCESS TO DESK; SEE 3/A2.3 FOR CHECK-IN DESK DETAIL

42" HIGH WALL

30" WIDE 'GATE' BUILT INTO WALL (CONVENIENCE GATE FOR SECURITY)

CLEAR FLOOR AREA FOR WHEEL CHAIR IN WAITING AREA

HANDRAIL ON EACH SIDE OF RAMP; SEE DETAIL 11/A2.1

(E) COLUMN

STORAGE BELOW COUNTER

SEE DETAIL 6/A2.1 FOR DOOR CLEARANCES

RELOCATE PHONE PANEL

RELOCATE ELECTRICAL PANEL

(E) COLUMN

SEE DETAIL 6/A2.1 FOR DOOR CLEARANCES

SEE DETAIL 5/A2.1 FOR THRESHOLD

CERAMIC TILES; SEE DETAIL 5/A2.2

SEE DETAIL 2/A2.1 FOR FIXTURE CLEARANCES

NEW CONCRETE RAMP: 4.25% RISE (8.3% SLOPE); W/ NON-SLIP FINISH

ALIGN WITH EXISTING CORNER

FLARE RAMP EDGE; MAXIMUM 8.3% SLOPE

SEE DETAIL 5/A2.1 FOR THRESHOLD; SEE 7/A2.1 FOR DOOR NOTES

SEE DETAIL 6/A2.1 FOR DOOR CLEARANCES

NEW POWERED DOOR OPERATOR BUTTON; SEE DETAIL 3/A2.2; LOCATE 24" O.C. MINIMUM FROM BOTTOM OF RAMP

42" HIGH WALL; SEE DETAIL 11/A2.1

NEW RAMP: 5.5% RISE (8.3% SLOPE); SEE RAMP DETAIL 10/A2.1

PAINT (E) & (N) WALLS TYP.

CLEAR FLOOR AREA FOR WHEEL CHAIR ACCESS TO COUNTER; SEE 1/A2.1 FOR ACCESSIBLE REACH REQUIREMENTS

PORTION OF 34" HIGH COUNTER

(E) THICK WALL, VERIFY LOCATION IN FIELD

BUILT-IN STORAGE SHELVES

REFRIGERATOR: MANUFACTURER 'TRUE'; MODEL #TBB-24-72G-SD

NEW PARTITION WALL; SEE DETAIL 4/A2.2 TYP.

ALIGN (N) WALL WITH WINDOW MULLION

(E) WINDOWS / WALL

GENERAL NOTES:
 1.) 80" MIN CLEAR HEADROOM SHALL BE PROVIDED THROUGHOUT
 2.) FLOOR COVERING SHALL BE SLIP RESISTANT AND MEET THE STANDARD COEFFICIENT OF FRICTION 0.6 FOR LEVEL SURFACES AND 0.8 FOR SLOPED SURFACES
 3.) SEE 1/A0.4 FOR WINDOW & DOOR SCHEDULE

(3) EXTERIOR FLUORESCENT LIGHTS (2-BULB FIXTURES) TO REMAIN

NOTE: NATURAL VENTILATION PROVIDED BY EXISTING OPERABLE WINDOWS; THERE IS NO EXISTING HVAC SYSTEM AND NONE PROPOSED

LIGHTING LEGEND:
 EXTERIOR FLUORESCENT LIGHTING (EXISTING TO REMAIN)
 SURVEILLANCE CAMERAS
 EXTERIOR FLUORESCENT LIGHTING WITH MOTION SENSORS
 RECESSED FLUORESCENT CAN LIGHTING (EXISTING TO REMAIN)
 PENDANT LIGHTING: COMPACT FLUORESCENT
 RECESSED FLUORESCENT LIGHTING
 COMPACT FLUORESCENT TRACK LIGHTING
 FLUORESCENT LIGHT FIXTURE & EXHAUST FAN & OCCUPANCY SENSOR

SALES / PUBLIC AREA

PAINT CEILING, TYP.

ADD WATT LIMITER TO EXISTING TRACK LIGHTING; SEE T-24 REPORT

(2) NEW PENDANT FIXTURES; CENTER OVER SALES COUNTER

REDUCE LENGTH OF EXISTING TRACK LIGHTING BY AT LEAST 10'; COORDINATE TRACK LENGTH WITH NEW WALL LOCATION

NEW LINEAR T5 FLUORESCENT DOWN LIGHT

RELOCATED EXISTING CEILING MOUNTED FLUORESCENT 4-BULB FIXTURE; CENTER IN ROOM

NOTE: NEW PARTITION WALLS ARE SHOWN SHADED; TYPICAL

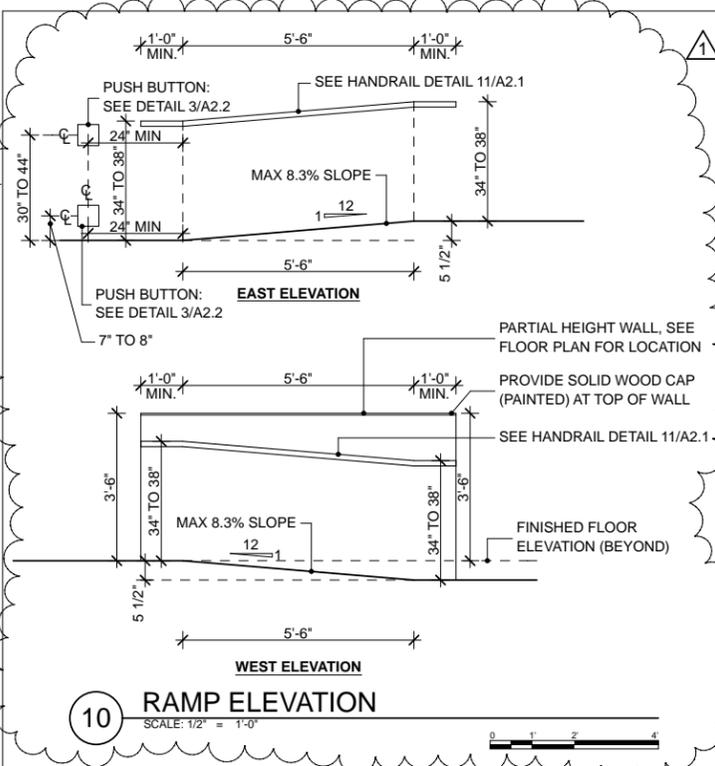
NEW SURVEILLANCE CAMERAS; TYP.

EXISTING BEAM TO BE PAINTED, TYP.

EXISTING CEILING MOUNTED FLUORESCENT 4-BULB FIXTURE TO REMAIN

GENERAL NOTES:
 1.) NOTE: ALL NEW ELECTRICAL SWITCHES AND CONTROLS SHALL BE INSTALLED AT 48" MAX AFF AND OPERABLE WITHOUT THE NEED TO PINCH OR GRASP. ALL NEW ELECTRICAL OUTLETS SHALL BE 15" MIN AFF AS MEASURED TO THE BOTTOM OF THE BOX. (CBC 1117B.6)

(WHOLE SHEET UPDATED)



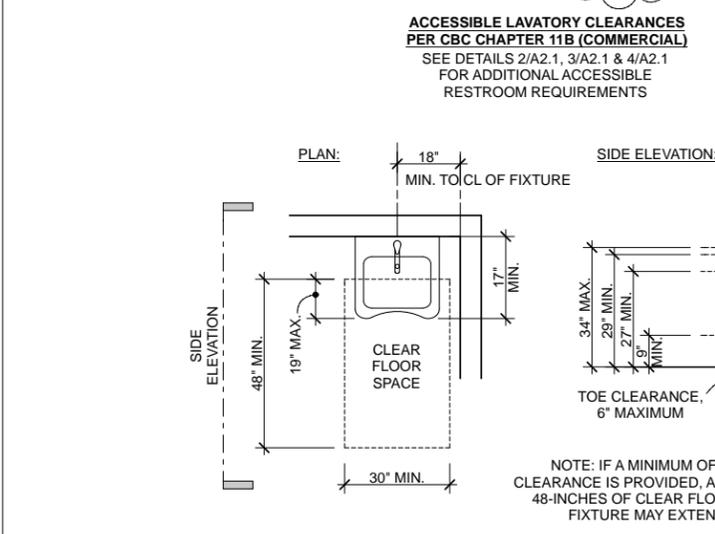
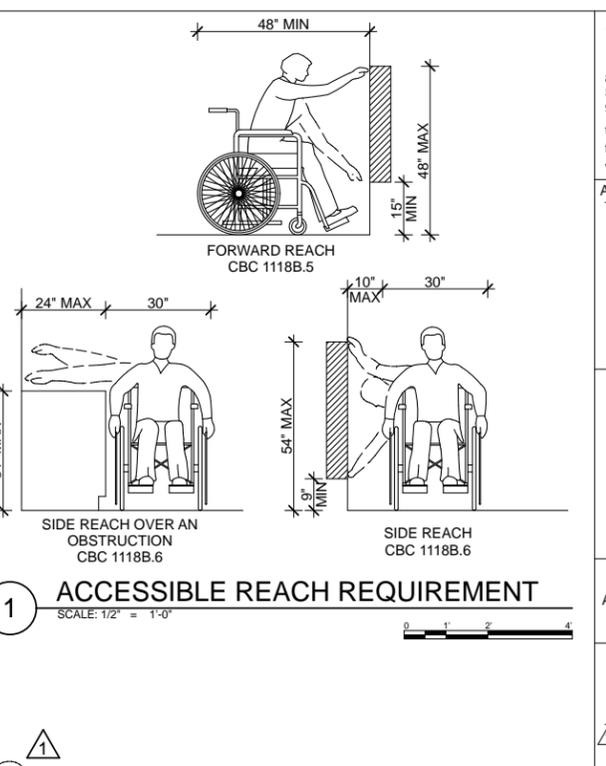
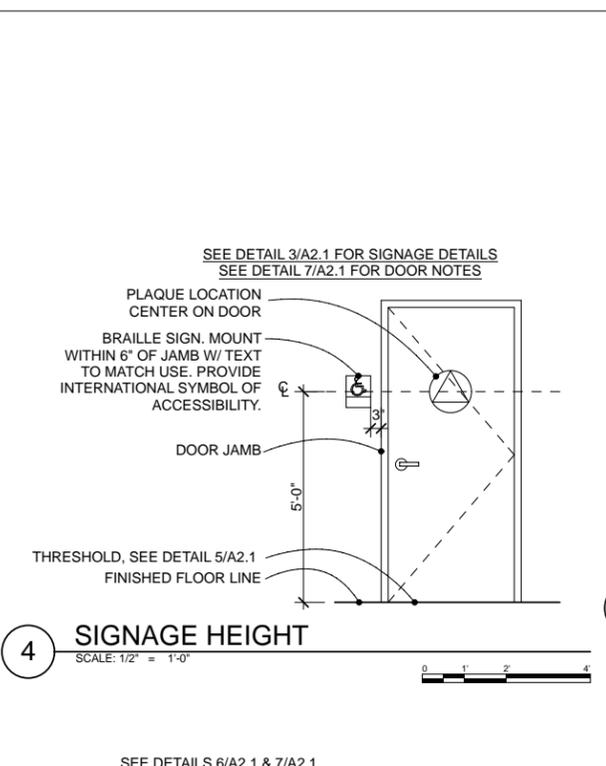
7 ACCESSIBLE DOOR NOTES
SCALE: 1/4" = 1'-0"

GENERAL NOTES REGARDING ACCESSIBLE DOORS PER CHAPTER 11B (COMMERCIAL)

- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR & INTERIOR DOORS (SUCH AS PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS & AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS). AUTOMATIC DOOR OPERATORS MAY BE USED TO MEET THIS REQUIREMENT. WHEN FIRE DOORS ARE REQUIRED, THE MAX. EFFORT TO OPERATE THE DOOR MAY BE INCREASED BUT SHALL NOT EXCEED 15 POUNDS. (CBC 1133B.2.5)
- IF DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3-INCHES FROM THE LATCH, MEASURED TO THE LANDING EDGE OF THE DOOR. (CBC 1133B.2.5.1)
- HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30-INCHES & 44-INCHES ABOVE THE FLOOR. (CBC 1133B.2.5.2)
- LATCHING & LOCKING DOORS THAT ARE HAND-ACTIVATED & WHICH ARE IN THE PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EGRESS DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION. (CBC 1133B.2.5.2)
- THE BOTTOM 10-INCHES OF ALL DOORS (EXCEPT AUTOMATIC & SLIDING DOORS) SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. (CBC 1133B.2.6)

SEE DETAILS 5/A2.1 & 6/A2.1 FOR ADDITIONAL DOOR REQUIREMENTS

30" TO 44" AFF. SEE NOTE #3



5 ACCESSIBLE THRESHOLD
SCALE: 3" = 1'-0"

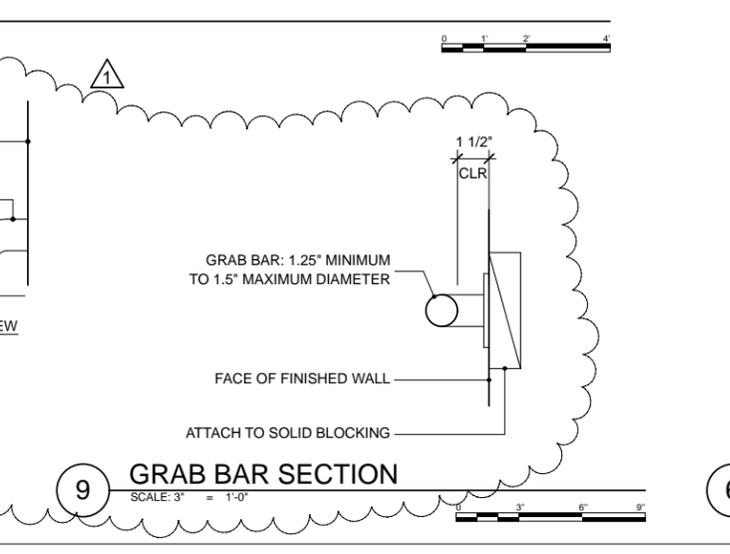
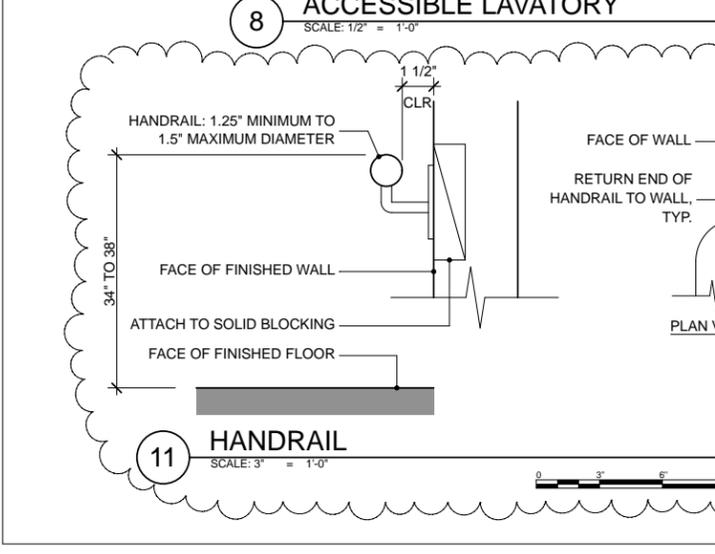
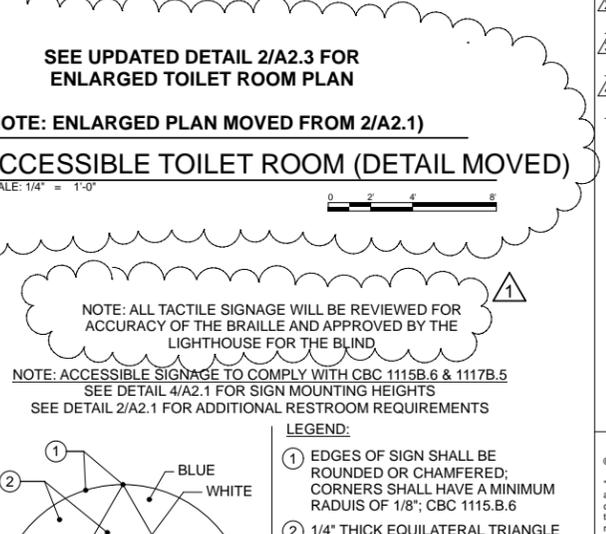
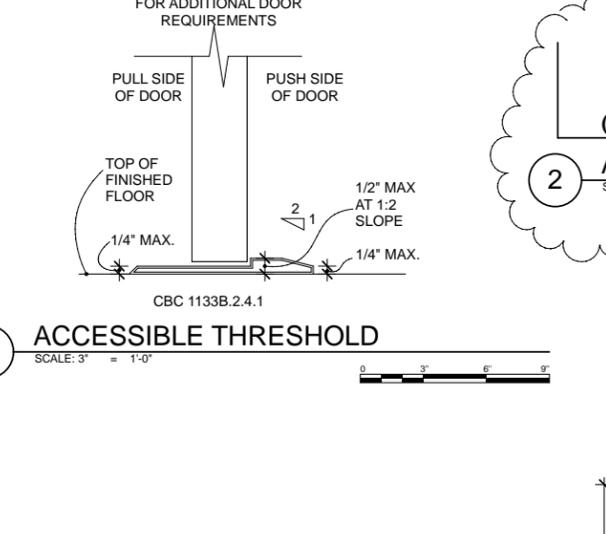
SEE DETAILS 6/A2.1 & 7/A2.1 FOR ADDITIONAL DOOR REQUIREMENTS

PULL SIDE OF DOOR
PUSH SIDE OF DOOR

TOP OF FINISHED FLOOR
1/4" MAX.
1/2" MAX AT 1:2 SLOPE
1/4" MAX.

CBC 1133B.2.4.1

DIAGRAM FOR CLEARANCES ONLY; SEE PLANS FOR LAYOUT



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APP. #TBD

2095 Market Street The Apothecary

Tenant Improvement MCD

LICENSED ARCHITECT
IAN T. O'BANION
No. C 30512
REN. 08/2011
STATE OF CALIFORNIA

ACCESSIBLE DETAILS

DATE & STATUS

SEPT.7.2010
MOD REVIEW SET
SEPT.23.2010
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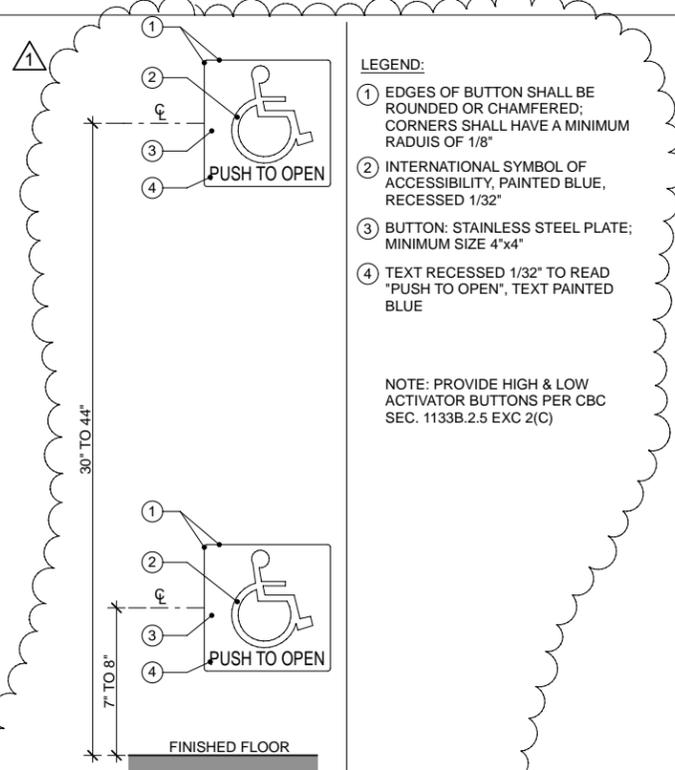
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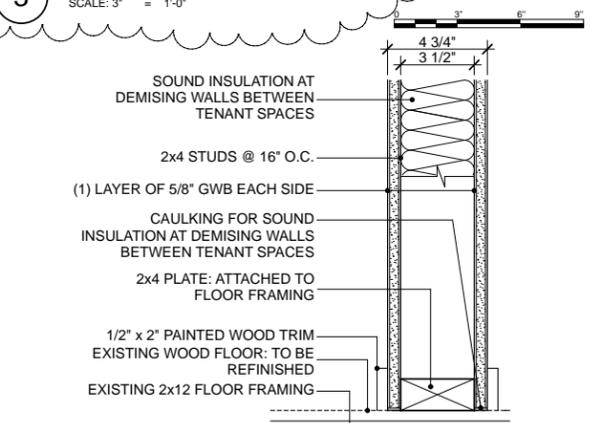
6 OF 8 SHEETS



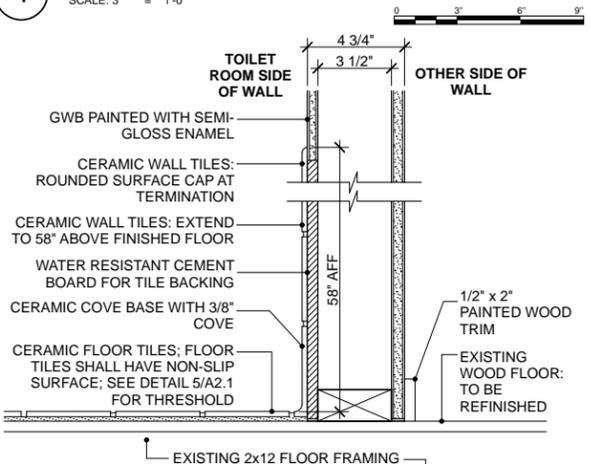
- LEGEND:**
- EDGES OF BUTTON SHALL BE ROUNDED OR CHAMFERED; CORNERS SHALL HAVE A MINIMUM RADIUS OF 1/8"
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY, PAINTED BLUE, RECESSED 1/32"
 - BUTTON: STAINLESS STEEL PLATE; MINIMUM SIZE 4"x4"
 - TEXT RECESSED 1/32" TO READ "PUSH TO OPEN", TEXT PAINTED BLUE

NOTE: PROVIDE HIGH & LOW ACTIVATOR BUTTONS PER CBC SEC. 1133B.2.5 EXC 2(C)

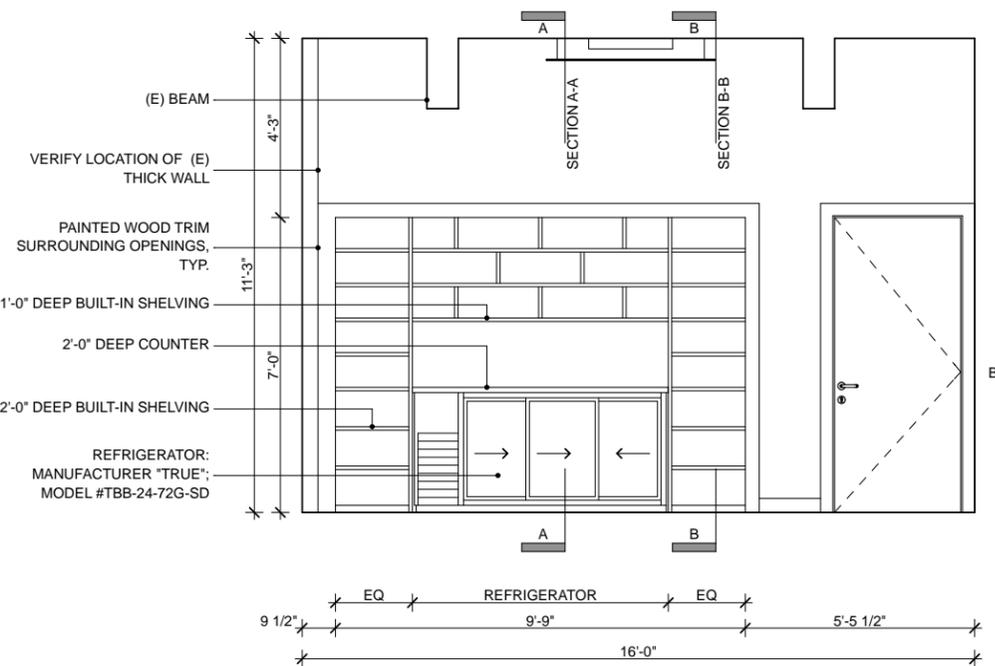
3 PUSH BUTTON
SCALE: 3" = 1'-0"



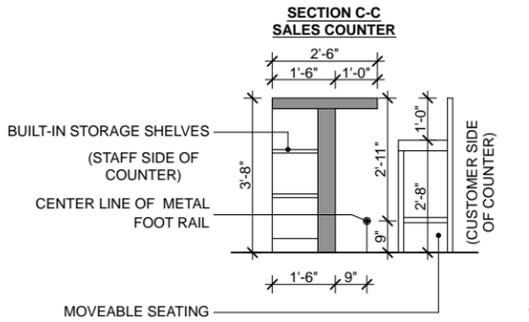
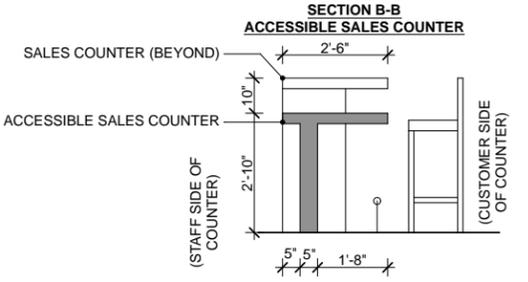
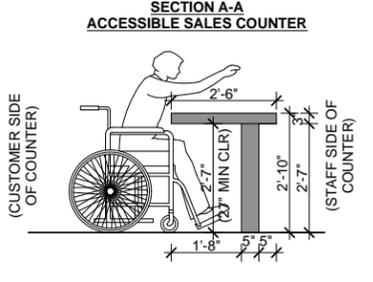
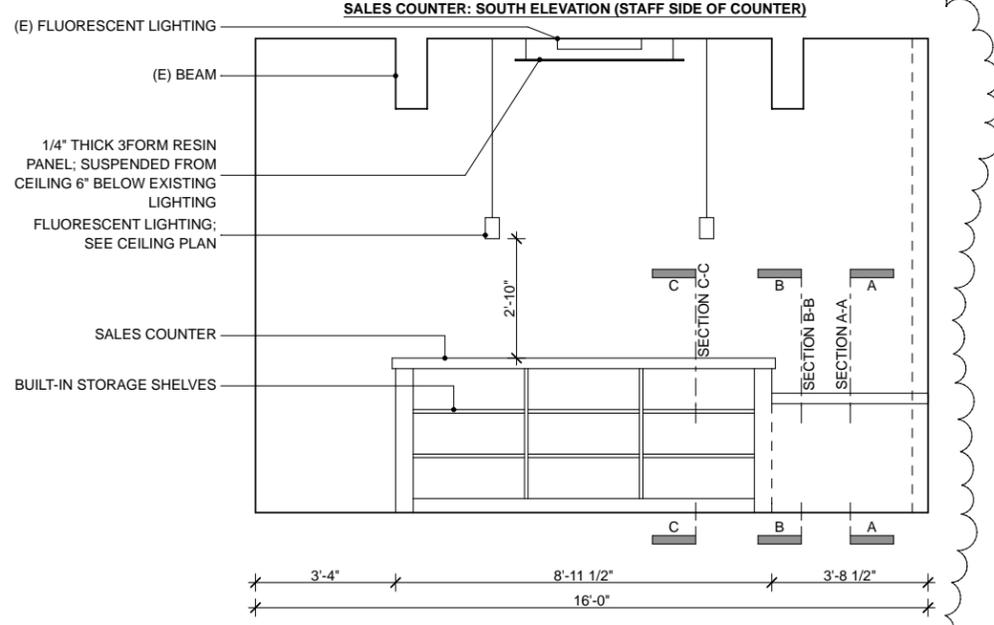
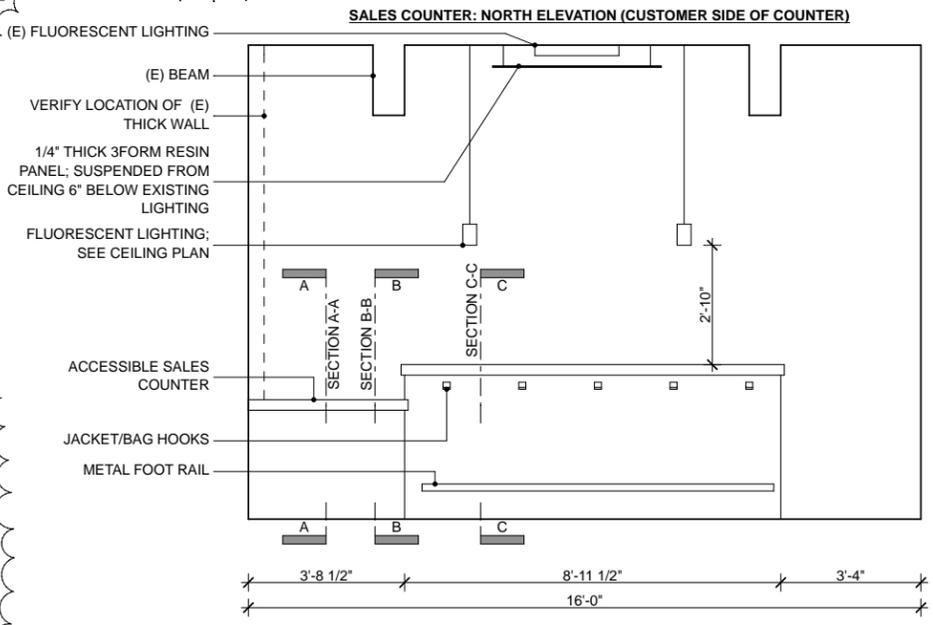
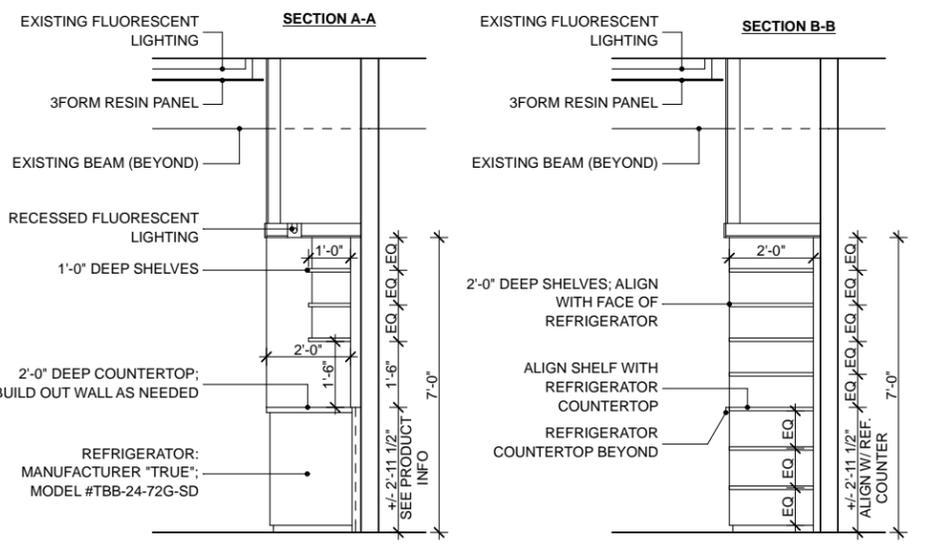
4 NON-RATED WALL
SCALE: 3" = 1'-0"



5 CERAMIC TILES IN TOILET ROOM
SCALE: 3" = 1'-0"



1 DISPLAY WALL
SCALE: 1/2" = 1'-0"



2 SALES COUNTER
SCALE: 1/2" = 1'-0"

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APP. #TBD

**2095 Market Street
The Apothecary**

Tenant Improvement
MCD



INTERIOR ELEVATIONS
& DETAILS

DATE & STATUS

SEPT.7.2010
MOD REVIEW SET
SEPT.23.2010
MOD REVISION

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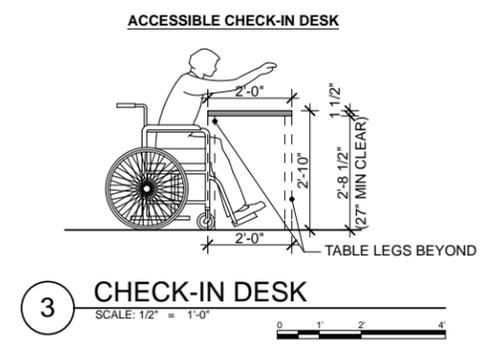
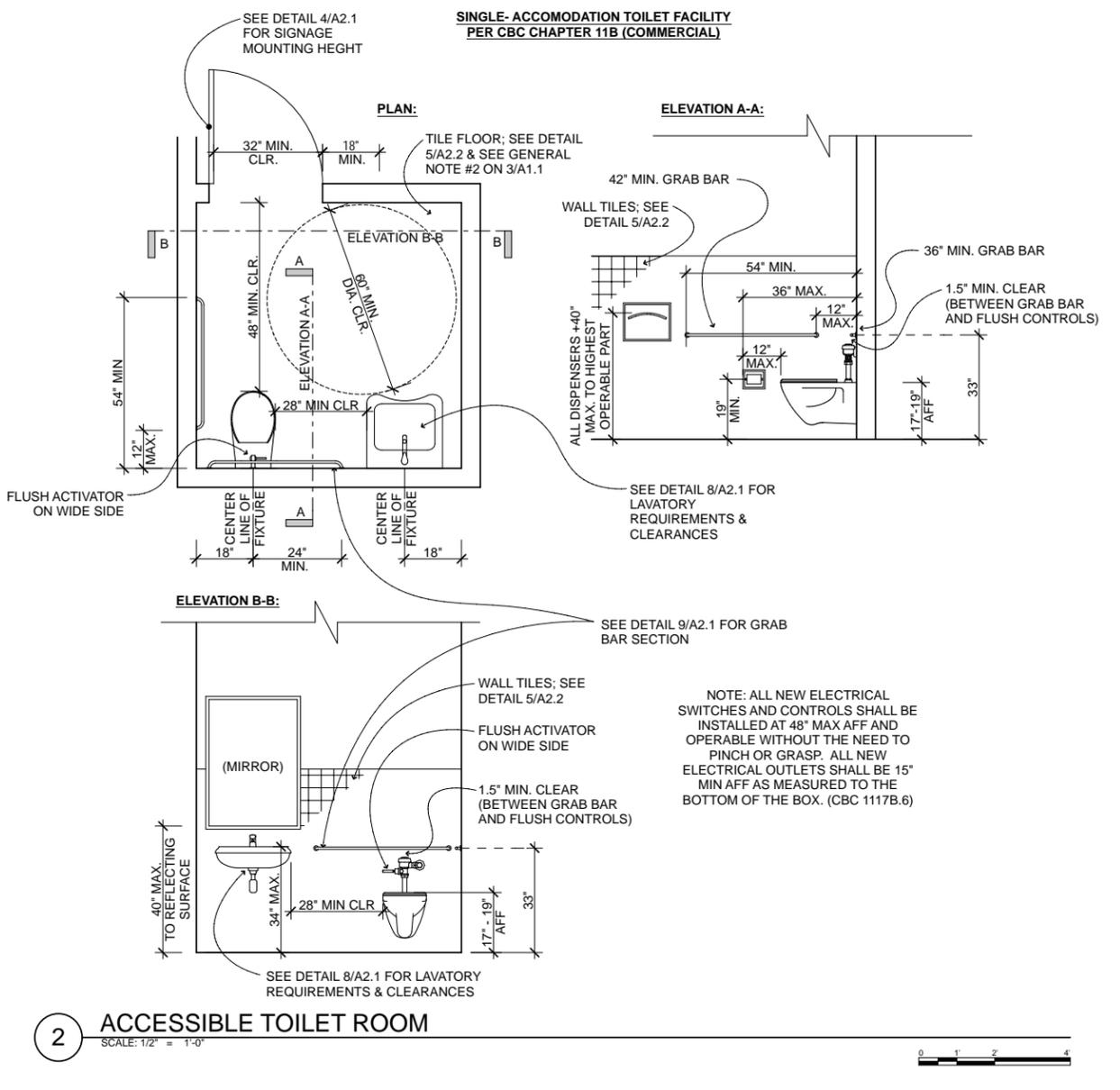
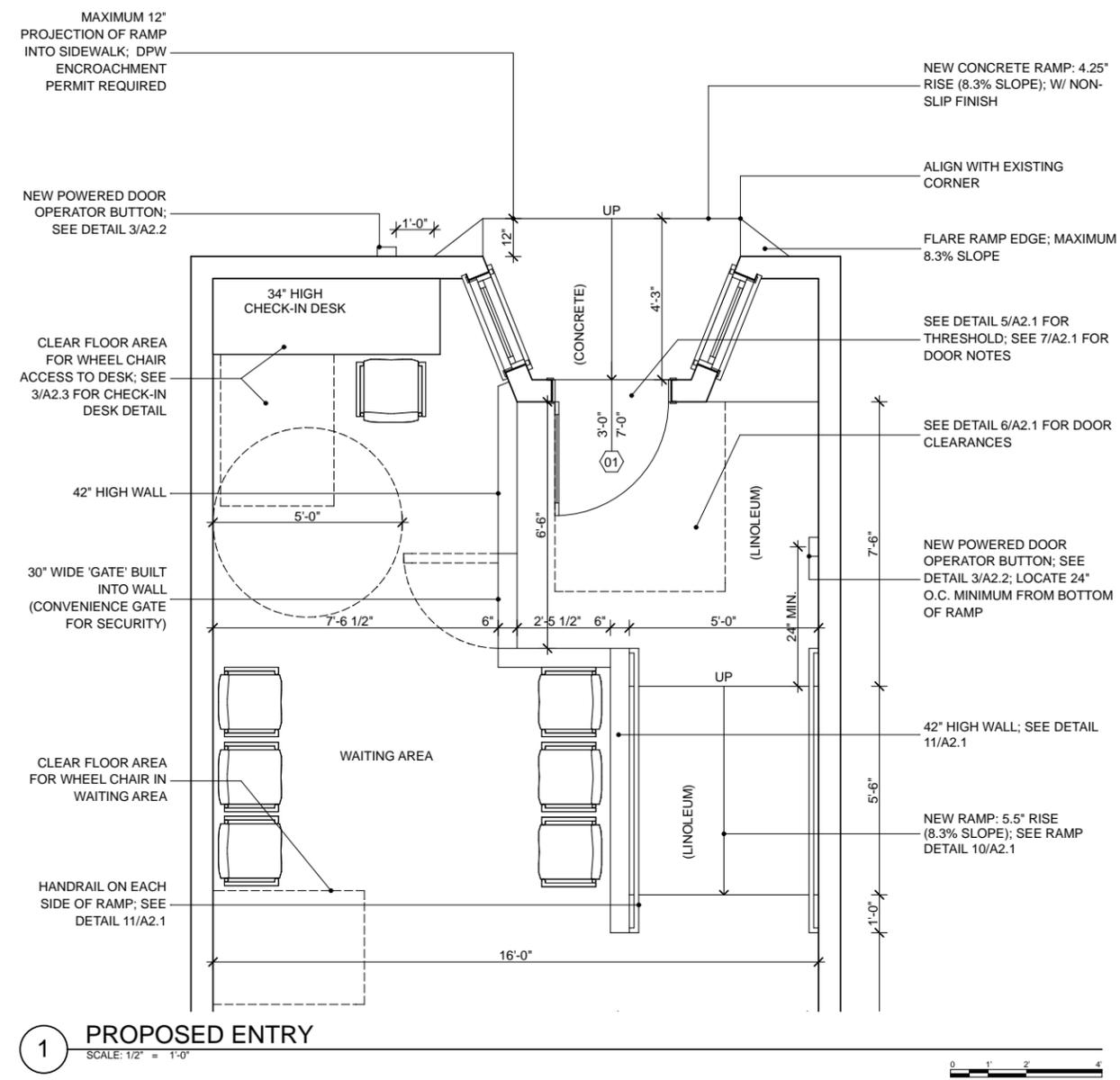
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SHEET:
A2.3
 8 OF 8 SHEETS



Jan, 20th, 2011

DPH APPLICATION FOR MCD - SUPPLEMENTAL INFORMATION

SECURITY SYSTEM

Description of existing or proposed security/lighting system for MCD. This should include a diagram on 8.5 by 11 inch paper of the facility with all security devices and lighting identified. Security devices include: motion detectors, alarms, video cameras, solid core doors, electric door openers, safes, exterior lighting, etc.

Security

We have consulted with Detective Kenneth N. Kushner, a California Peace Officer to help us craft our security protocols. Our protocol will include but is not limited to the following:

- We will have an ADT security system, which will include motion detectors and 12 to 16 surveillance cameras. The cameras will surveil every room of the dispensary, including every point of sale, every entrance and exterior cameras facing in 180 degrees on the Market St sidewalk. Every patron's face will be recorded as they enter. In addition to the surveillance cameras, we will have a 24/7 alarm system for after-hours monitoring as well as a silent alarm mounted under our sales counter.
- There will always be at least two security guards on site at all times. The first guard will be primarily responsible to monitor the exterior and manage access to the club at the front door from the outside. The other guard will be primarily located at the security desk evaluating the surveillance camera feeds, member data, etc. Thus, there will be security personal on both the interior and exterior of the MCD.
- As discussed, the front entry - the only available entry - will have a posted security guard. The front door will remain locked at all time from the exterior, and it will only be able to be opened by the exterior security personal via a numeric key pad lock or from a release button at the head security officers desk located inside. Additionally, patron's bags will be searched for prohibited items by uniformed, trained security personnel.
- Monies collected throughout the day will be collected from the register once the amount exceeds \$500 and transferred to a Honeywell commercial-grade safe, located in our back office and not visible to any patron.
- The door at the front access will be a solid core door with a reinforced door frame.
- The door to access the back office where the safe and inventory will be stored will have a solid state door and a reinforced door frame. This door will have a numeric key lock which will require anyone opening the door to enter the pass code.

- The front street facing windows will be transparent glass, along with a wood or wood-clad window sash.
- All security personal will have wireless communication devices to help in the management of customer flow and any other security issues.
- All members of the collective who wish to sell medicine to Apothecary will be processed by security personal with a hand held metal detector.

ACCESSIBILITY COMPLIANCE

Entry: We have submitted our proposed renovation to the San Francisco Mayor's Office of Disability ("MOD"). The MOD has given preliminary approval to the proposed renovation-- see email from Carla Johnson attached hereto as Exhibit A. The proposed layout addresses the following: The existing entry contains two steps and the existing front door is recessed slightly from the face of the building with walls on either side of the entry. Due to these existing constraints and given that the premises is a potential historic building - constructed in 1906 - the existing entry cannot be altered to the extent that it will comply with new construction standards. But the entry will be renovated to be as accessible as possible using equivalent facilitation and a hardship request form will be submitted along with the appropriate Local Equivalency forms. As part of the renovation an exterior ramp with a compliant 1:12 slope will be constructed at the entry and a push button powered door system will be provided in lieu of a level landing on the exterior side of the door per Local Equivalency AB-012. Due to the location of the existing walls on either side of the recessed entry, the powered door operator will be provided in lieu of exterior door side clearance per Local Equivalency AB-011. A code complying level landing will be provided on the interior side of the entry door. An interior ramp with a 1:12 slope will be provided on the interior of the building to provide access from the interior level landing to the main floor.

Toilet Room: The existing single occupancy unisex toilet room is very small and does not meet any of the clearances required for an accessible toilet room nor does it contain any grab bars. The proposed renovation will provide a fully code compliant unisex toilet room that contains a toilet and sink with appropriate clearances, appropriate fixture heights, grab bars, and appropriate door width.

Service Area: The proposed renovation project will provide an accessible service area including an accessible reception counter, an accessible sales counter and access aisle to the employee workspace behind it. Please see the attached drawing documenting in detail the above. In addition, a meeting with the MOD and subsequent communication with their office has led to initial approval of the proposed accessibility plan.

EXISTING VENTILATION

The existing commercial space does not contain a mechanical ventilation system. The existing operable windows provide fresh air to the small space, which is approximately 1,000 square feet. No new mechanical ventilation system is proposed since there will be no on-site smoking or food consumption at the site.

FOOD PREPARATION & SALES

There will be no food preparation on-site. Food will be prepared off-site and prepackaged off-site. Commercial refrigeration will be utilized to store all perishable food per the suggestion of the food vendor.

January 24, 2011

BY HAND DELIVERY

Ron Miguel, President
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: The Apothecary 2095 Market Street MCD; January 27, 2011 Hearing

Dear President Miguel and Commissioners:

We represent Ryan Hudson and Michael Thomsen, the owners of RHMT LLC and the project sponsors for The Apothecary a Medical Cannabis Dispensary (“MCD”) to be located at the ground floor at 2095 Market Street in an existing 3-story building which is at the southeast corner of Church Street and Market Street. The commercial space that they are leasing is approximately 1,100 square feet and formerly housed a video rental store. The commercial space will be improved with interior renovations including a new accessible entry and a new accessible restroom. The Apothecary will not allow smoking on site and there will be no growing of cannabis on site. The project sponsors have applied for a permit from the Department of Public Health for the MCD.

The City’s Health Department cannot approve until the Planning Commission has approved the use. The project sponsors have also applied for an alteration permit from the Building Department in order to renovate the existing commercial space to create the proposed MCD. Attached is the proposed floor plan (Exhibit A) which is part of building permit application 2010.09.29.1894. As further stated below, the Proposal meets all the requirements in Planning Code Section 790.141 for Medical Cannabis Dispensaries.

I. THE SITE HAS BEEN CAREFULLY CHOSEN

The location conforms to all of the three “relevant proximity guidelines” as specified by the Planning Code.

- (1) The proposed location was identified by the Planning Department as a “probable permitted area” in their Guidelines for New Medical Cannabis Dispensaries. A “probable permitted area” is defined as an area which is zoned appropriately and which complies with proximity restrictions for schools (a distance of 1000 feet or more).

Planning Commission
January 24, 2011
Page Two

- (2) The proposed location also complies with the proximity distance requirements (a distance of 1000 feet or more) from recreation buildings and community facilities that primarily serve persons under 18 years of age. The Market Street 24-Hour Fitness gym is located nearby, but an exercise gym is not defined as a "recreation building" in the Planning Code.¹
- (3) The proposed location does not contain substance abuse treatment facilities on the property.

The proposed site is located in the Upper Market neighborhood on the southeast corner of the intersection of Church Street and Market Street. This site located at the nexus of significant public transit routes, including the Church St. BART stop and streetcar line, and all the Market Street buses and trolleys, all of which will give patients who rely on public transportation convenient access to the site. Since it is located on Market Street in a line of retail spaces, the use will contribute to the existing neighborhood retail context. Attached as (Exhibit B) are photos of the site and surrounding context.

It is important that the Upper Market, Upper Castro, Inner Mission, Duboce Triangle, Eureka Valley areas have an MCD, since there are many citizens who live in the area with debilitating diseases and painful disabilities, and the area is particularly known for showing compassion for the sick and disabled and disenfranchised. There used to be an MCD facility across the street at 194 Church Street. But because that dispensary could not meet the requirements of San Francisco's 2005 Medical Cannabis Act, it had to shut down, leaving patients in most of this area without any MCD access nearby.

II. THE PROJECT BENEFITS THE COMMUNITY

The Apothecary will serve chronically ill and disabled patients in the neighborhood and provide these patients with safe and convenient access to medication for their ailments. The proposed project is for a dispensary only; no on site smoking will be allowed. The proposed site does not contain substance abuse services; and there will be no alcohol for sale on the site. There will be no food preparation on site; the only food sold will be that which is prepared off-site and prepackaged in accordance with the Department of Public Health's Medical Cannabis Dispensary regulations for preparation of edible cannabis products.

Compassion Program

¹ An Official Interpretation of Section 218 dated 11/86 states that, *a health spa, steam room, bathhouse, aerobics and nautilus exercise gyms are included in the "personal services" designation rather than in the "recreation building" designation.*

Planning Commission
January 24, 2011
Page Three

Dr. Alice Charap, a specialist in the field of chiropractic healing methods, will be assisting in the creation of the "Compassion Program" whereby adjunct care will be provided for patients via professional medical organizations and medical professionals such as Dr. Charap.

Accessible Access

The proposed renovation will make the commercial space accessible for all users of the facility. We have been told that the Mayor's Office of Disability is to be using this project as an example for other potential MCD applicants of how others can properly make their retail spaces more accessible, as they have found the design for accessibility upgrades in this existing building to be more creative than many. Exhibit C indicates the exact techniques being used.

Security Measures

The project sponsors have consulted with a California Peace Officer to help them craft their security protocols. Their protocol will include but is not limited to a camera surveillance system installed by the well-known ADT Security. The cameras will cover each room of the dispensary, every point of sale, and every entrance. Exterior cameras will be focused on the Market Street sidewalk to the east and west. Every patient's face will be recorded as they enter. In addition to the surveillance system, our clients will install a 24-hour alarm system for after-hours monitoring and a silent alarm mounted under the sales counter. Additionally, patients' bags will be searched for prohibited items by uniformed, trained security personnel. Monies collected throughout the day will be collected from the register once the amounts exceeds \$200 and transferred to a Honeywell commercial-grade safe, located in the back office and not visible to any patron.

Since there is a bus/trolley stop nearby around the corner on Church Street where people will congregate, the facility's security guard will be asked to periodically visit that location (particularly during early morning and evening hours) to make sure that no transactions are taking place.

Giving back to the Community

Our clients are planning on giving back to the community through donations using the "profits" from the business.² They are in the process of setting up a Philanthropic Advisory Board which will determine which organizations they will donate to. Alan Beach, the president

² The word "profit" has a special meaning. Section 3308 of the San Francisco Health Code states: The medical cannabis dispensary shall operate on a **not for profit** basis. It shall receive only compensation for the reasonable costs of operating the dispensary including reasonable compensation incurred for services provided to qualified patients or primary caregivers to enable that person to use or transport cannabis pursuant to California Health and Safety Code Section 11362.7 et seq., or for payment for reasonable out-of-pocket expenses incurred in providing those services, or both. Reasonable out-of-pocket expenses may include reasonable expenses for patient services, rent or mortgage, utilities, employee costs, furniture, maintenance and reserves. Sale of medical cannabis to cover anything other than reasonable compensation and reasonable out-of-pocket expenses is explicitly prohibited.

Planning Commission
January 24, 2011
Page Four

of the Eureka Valley Neighborhood Association, has already agreed to be a member of the Philanthropic Advisory Board.

The project sponsors are anticipating hiring 12 to 17 employees for The Apothecary. They plan to hire locally and would like their employees to include disabled persons and others who reflect the diverse local community that they are serving.

III. THE PROJECT HAS A GREAT DEAL OF PUBLIC SUPPORT

Prior to the code-required neighborhood notification, the project sponsors Ryan and Michael sent out their own separate 300-foot neighborhood notification and invited their neighbors to attend two meetings at the site (Exhibit D). The meetings were well attended and the feedback received from the neighbors in attendance was generally very positive. Attached (Exhibit E) are signatures and letters of support obtained at these open houses and at other recent events in the area. Additionally the project sponsors have met with many of the local neighborhood organizations, including those listed on Exhibit F. They have received a letter of support from the Merchants of Upper Market and Castro (MUMC), attached as Exhibit G. None of the above listed organizations have expressed opposition.

IV. CONCLUSION

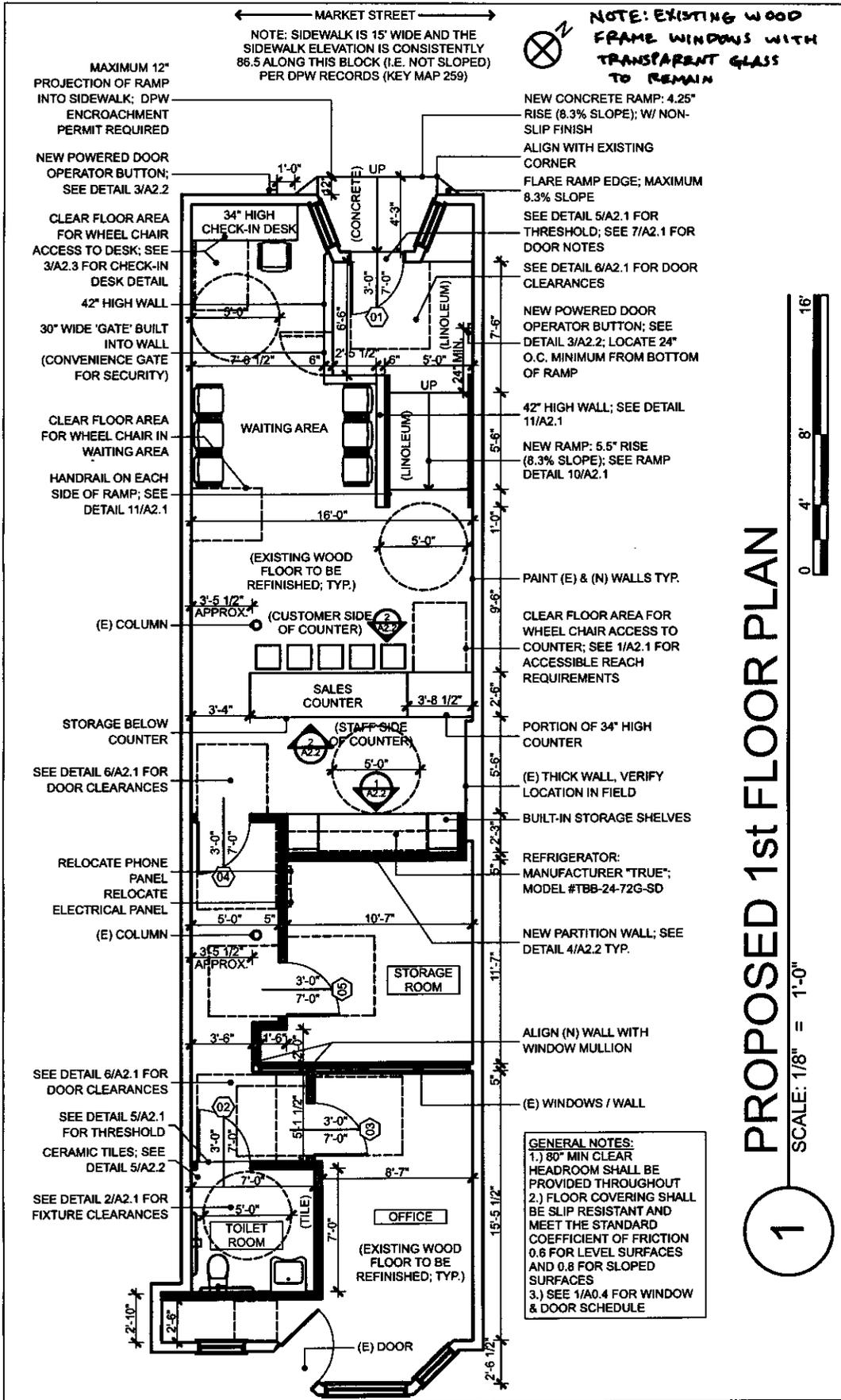
The Apothecary MCD complies with all the standards and requirements of the Planning Code and advances the objectives of the city's General Plan. There is significant public support for this project and the project will provide a significant benefit to the community. The chronically ill and disabled patients that will be served by this dispensary are in great need of this type of medical service. The site has been carefully chosen so that it is located on several major public transportation lines, so it will be easy for patients to reach the site. The interior renovation has been carefully designed in order to make the existing commercial space much more accessible, which will greatly benefit the patients. We ask that you approve the Medical Cannabis Dispensary application for The Apothecary at 2095 Market Street.

Very Truly Yours,

A handwritten signature in black ink, appearing to be "M. Brett Gladstone", written over a horizontal line.

M. Brett Gladstone

Enclosures



**STUDIO
S ā N**

828 BALBOA STREET
SAN FRANCISCO, CA
94118

tel 415.722.0561
fax 510.597.0980
www.Studio-San.com

**2095 Market Street
The Apothecary**

Tenant Improvement
MCD

PROPOSED FIRST
FLOOR PLAN

BUILDING PERMIT
#2010.09.29.1894

SHEET 3 OF 3

DATE & STATUS
DEC.8.2010
312 NOTIFICATION

Market Street Facade of Subject Property



Storefront in Subject Property: 2095 Market Street

IMAGE 1 - BUILDINGS ON SAME SIDE OF MARKET STREET AS THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)

Market Street Facade of Subject Property

Church Street Facade of Subject Property



Storefront in Subject Property: 2095 Market Street

IMAGE 2 - BUILDINGS ON SAME SIDE OF CHURCH STREET AS THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)

14th Street

Church Street



Market Street

IMAGE 4 - BUILDINGS ACROSS THE STREET(S) FROM THE SUBJECT PROPERTY

Subject Property: 2095 Market Street (Block 3544 / Lot 065)

Church Street



Market Street

IMAGE 5 - VIEW TO THE EAST OF THE SUBJECT PROPERTY
Subject Property: 2095 Market Street (Block 3544 / Lot 065)

STUDIO S ā N

828 BALBOA STREET
SAN FRANCISCO, CA
94118

tel 415.722.0561

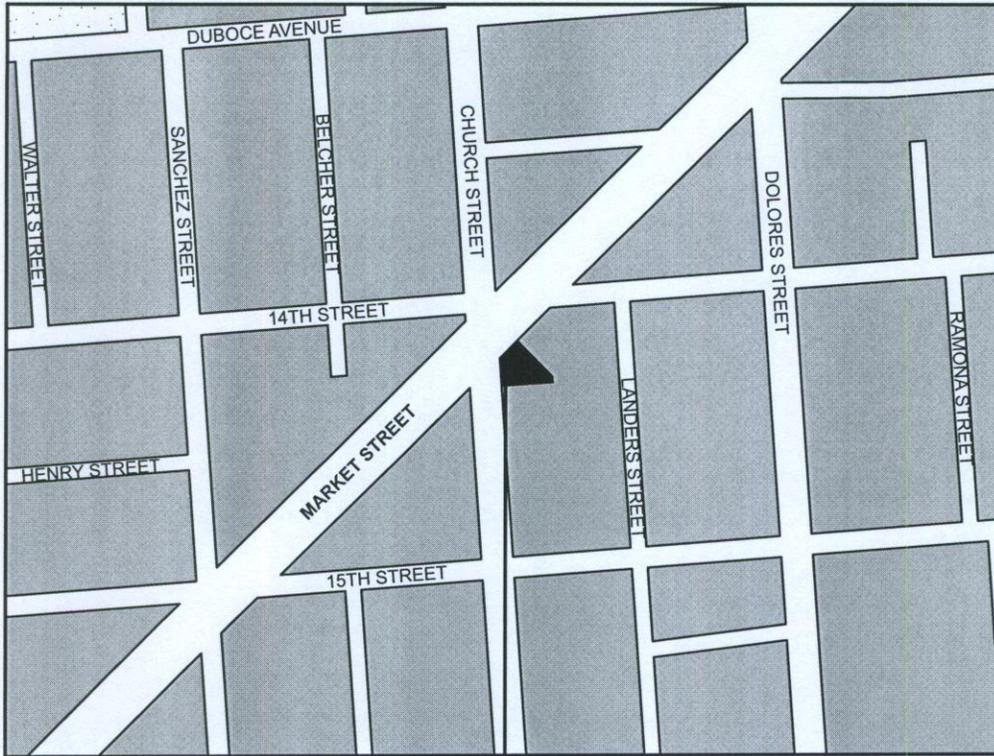
fax 510.597.0980

www.Studio-San.com

2095 Market Street The Apothecary

Tenant Improvement
MCD

SITE PLAN



SUBJECT PROPERTY:
2095 MARKET STREET
SAN FRANCISCO, CA



BUILDING DATA:

ADDRESS: 2095 Market Street

BLOCK / LOTS: 3544 / 065

ZONING DISTRICT: UPR MARKET NCT ; 40-X / 85-X

LOT SIZE: IRREGULAR; APPROXIMATELY 8,432 SQ. FT.

SFBC OCCUPANCY: "M" MERCANTILE

COMMERCIAL UNIT: APPROXIMATELY 1,100 SQ. FT.

TYPE OF CONSTRUCTION: TYPE V-B, NON-RATED; NOT SPRINKLERED

BUILDING PERMIT
#2010.09.29.1894

SHEET 1 OF 3

DATE & STATUS

DEC.8.2010

312 NOTIFICATION

Mayor's Office on Disability

DISABILITY ACCESS COMPLIANCE APPROVAL



Gavin Newsom
Mayor

Susan Mizner,
Director

PROJECT: **The Apothecary**

Number: FY2008: _____

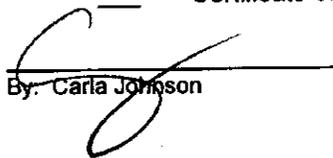
Project Address: 2095 Market Street

THE MAYOR'S OFFICE ON DISABILITY HAS REVIEWED AND APPROVED:

Site Permit Plans
 Final Construction Plans

ACCESSIBILITY COMPLIANCE AT THE SITE HAS BEEN APPROVED IN THE FOLLOWING FORM:

Temporary Certificate of Occupancy (TCO)
 Final Signoff
 Certificate of Final Completion (CFC)


By: Carla Johnson

September 28, 2010
Date:

Rev: February 14, 2005 401 Van Ness, Suite 300 San Francisco, CA 94102

415.554.6789 415.554.6159 Fax
415.554.6799 TTY MOD@sfgov.org

DPH APPLICATION FOR MCD - SUPPLEMENTAL INFORMATION

ACCESSIBILITY COMPLIANCE

Entry: The existing entry contains two steps and the existing front door is recessed slightly from the face of the building with walls on either side of the entry. Due to these existing constraints and given that the building is a potential historic resource (it was constructed in 1906) the existing entry cannot be altered to the extent that it will comply with new construction standards. However, the entry will be renovated to be as accessible as possible using equivalent facilitation and a hardship request form will be submitted along with the appropriate Local Equivalency forms. As part of the renovation an exterior ramp of 1:12 slope will be provided at the entry and a powered door operator will be provided in lieu of a level landing on the exterior side of the door per Local Equivalency AB-012. Due to the location of the existing walls on either side of the recessed entry, the powered door operator will be provided in lieu of exterior door side clearance per Local Equivalency AB-011. A code compiling level landing will be provided on the interior side of the entry door. An interior ramp of 1:12 slope will be provided on the interior of the building to provide access from the interior level landing to the elevation of the main floor.

Toilet Room: The existing single occupancy unisex toilet room is very small and does not meet any of the clearances required for an accessible toilet room nor does it contain any grab bars. The proposed renovation will provide a fully code compliant unisex toilet room that contains a toilet and sink with appropriate clearances, appropriate fixture heights, grab bars, and appropriate door width.

Service Area: The proposed renovation project will provide an accessible service area including an accessible reception counter, an accessible sales counter and access aisle to the employee workspace behind it.

Dear Fellow Castro Community Member:

As a member of the Castro District Community, you will be or have already received a notice from the City of San Francisco notifying you that our business, The Apothecary, is filing for a building permit with our hearing before the Planning Commission on January 27th. As these notices can be a bit confusing and less than insightful into the projects they describe, we are reaching out to the community to help inform our neighbors about the project.

If approved, The Apothecary will operate at 2095 Market Street as the only permitted Medical Cannabis Dispensary (MCD) in the Castro. We will be serving our patients in a comfortable, safe and respectful setting. Our services are for patients with a valid medical cannabis recommendation. No one without a valid doctor's recommendation will be allowed entry.

The Apothecary will be fully accessible via ramping at our front door for our patients as well as our employees. It will be a dispensary only; patients will enter after verifying eligibility, pick up their medicine, and be on their way. No medicating, smoking on-site or lounging will be permitted. We will also have zero-tolerance for loitering and double-parking in front of our facility. In addition to our interior security measures, we will have no less than two cameras to monitor the exterior surroundings.

The exterior and interior aesthetic of the shop will be upscale in nature – rest assured no neon or other gaudy attention grabbing signs will be in our windows. All signage will be tasteful and discreet. We aim to be good neighbors and members of the community, and with that comes a responsibility to give back. Per California State law, we may not turn a profit. Therefore, after all expenses are paid, any excess profits will be reinvested into the community via non-profit organizations, assistance to our patients, and other philanthropic endeavors as our board determines, with an emphasis on the local Castro community. We feel that along with providing an important service to patients, our mandate to invest excess profits affords us another great opportunity to positively impact the neighborhood. We hope you will feel the same way.

We understand that there is often trepidation about MCDs. If you have any questions please do not hesitate to communicate those to us via email, a phone call, or by attending our January 19th Open House from 4-8pm. We want to work closely with the community and our immediate neighbors so that this project works for everyone.

Thank you, and again, please do not hesitate to contact us if you have any questions or concerns.

Ryan Hudson
415-300-0961
ryan@apothecarysf.com

COMMUNITY NEWS

Cannabis dispensary seeks mid-Market space

by Matthew S. Bajko

A medical cannabis dispensary is seeking approval to open in a vacant storefront in the mid-Market Street area across from Safeway. The business, called Apothecary SF, hopes to move into 2095 Market Street, where longtime tenant Gramophone Video and DVD had operated until closing earlier this year.

The city's Planning Commission is set to vote on the business' application at the end of January, while its proprietors will be hosting the first of two open houses next week to meet with residents and nearby business owners to answer questions about their plans. The two entrepreneurs, Ryan Hudson and Michael Thomsen, began working on their proposal for Apothecary last fall and spent eight months trying to find a storefront in the Castro area where zoning would allow them to operate.

"It took quite a while to find a location in the zone and had an owner who was okay with our use. That was no small feat," said Hudson.

The dispensary would be the second one to open along the northern boundaries of the city's LGBT Castro District. The Market Street Co-op already operates at 1884 Market Street at Laguna, roughly two blocks north near the LGBT Community Center.

As the *Bay Area Reporter* reported in August, several other proposals to open medical cannabis dispensaries closer to the heart of the Castro neighborhood in storefronts near the intersection of Market and Noe streets have been hampered by the zoning rules restricting where such businesses can operate. Any site within 1,000 feet of

school or youth recreational center is deemed a non-permittable location.

Until two years ago a pot club had operated in a second-floor space on Church Street at 14th kitty-corner to where Apothecary wants to open its doors. Known as the Cannabis Buyers Club, it was the first public medical marijuana dispensary when it opened in February 1994, according to Wikipedia.

It closed in October 2008. A note left on its door said it had done so because it could not comply with city requirements that it install an elevator to make the club wheelchair accessible.

Due to the club's longtime tenure, Castro leaders have long considered that intersection of Market Street an ideal location for a medical cannabis dispensary. During this year's campaign for the District 8 supervisor seat, several of the candidates pointed to the area as being a good fit for such a business.

District 8 Supervisor-elect Scott Wiener plans to meet with Hudson and Thomsen to learn more about their business plan. He told the *B.A.R.* this week that from what he has heard of their proposal so far, "it seems positive."

The majority of the Merchants of Upper Market and Castro members agree, as the business group voted at its December 2 meeting to support Apothecary's application. And the Community Advisory Committee for the Market Octavia Plan, which reports to both the supervisors and planning commissioners about projects proposed within the plan area, reviewed the dispensary's application this month.

"Generally speaking, we think it is an appropriate place to put it," said



Ryan Hudson, one of two partners in the Apothecary Medical Cannabis Dispensary, stands in front of the proposed site for the facility.

Rick Genauer

Neighborhood Association to seek the groups' support prior to going before planning commissioners next month.

They will also be holding two open houses at the storefront from 4 to 8 p.m. on December 15 and on January 19.

"We want to make sure the community has every opportunity to meet us, interface with us, understand our plans, and we want to hear any concerns they may have that would affect our business," said Hudson. "We want to be good neighbors with a positive influence."

They hope to be open by late March or early April. Tentative plans

call for the business to operate seven days a week between the hours of 10 a.m. and 8 p.m.

The 1,000 square foot store will be handicap accessible and only allow people 18 and over with a valid cannabis user card to enter. It would only sell medical pot and not allow the use of its products on-site.

"There will be no smoking and no medicating on-site," Hudson said.

While both Hudson and Thomsen are straight, they said they are determined to hire staff reflective of the Castro community.

"In the same vein, it is a priority of ours to employ local residents from the LGBT community as well as disabled persons," Hudson wrote in an e-mail. "Our goal is to have a workforce that understands our patients needs and is representative of the community."

They plan to hire one or two security guards and will restrict entrance to anyone who double parks in front of the store. Hudson told the merchants last week. As for the look of the store, it is still being discussed.

"The design has yet to be hammered out. It will fit the zeitgeist of the Castro," said Hudson. "We are going for more boutique-y, not seedy."

Laws governing medical cannabis dispensaries restrict the businesses from turning a profit, so Apothecary plans to operate like a nonprofit. Hudson pledged to funnel any profits from the business back into the community.

"We plan to support community organizations," he said.

The Planning Commission is set to hear the Apothecary application at its January 27 meeting. The oversight panel meets in Room 400 at City Hall. ▽

EXHIBIT E

**2095 MARKET STREET
THE APOTHECARY**

THE UNDERSIGNED HAVE SPOKEN TO THE PROJECT SPONSORS OF 2095 MARKET STREET AND VIEWED PLANS DATED SEPTEMBER 23, 2010 CONCERNING THE INTERIOR TENANT IMPROVEMENT TO CREATE A MEDICAL CANNIBAS DISPENSARY ("MCD") LOCATED AT 2095 MARKET STREET. THE UNDERSIGNED SUPPORT THE MCD PROJECT AT 2095 MARKET STREET.

NAME	ADDRESS AND PHONE NUMBER OR EMAIL
David Goldman	dcgoldman@yahoo.com
Jason Sine	waterleafcollective@gmail.com
Michael Woods McCausland	Cannabiscontrol@yahoo.com
M. Williams	MICHAELWILLIAMS94124@yahoo.com
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Lydia Heather Blumberg	Lydia976@yahoo.com
Warner Ross	warnerross@yahoo.com
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Ilyssa Williams	a.love170@gmail.com
Alex Hannon	alex-hannon@yahoo.com

**2095 MARKET STREET
THE APOTHECARY**

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NAME

**ADDRESS AND PHONE NUMBER
OR EMAIL**

<u>Chae Carter</u>	<u>(107) 349 3720 (chae.carter@gmail.com)</u>
<u>TOM CARTER</u>	<u>TNC SUPPLY @ SBC GLOBAL INC</u>
<u>Tanya Chandler</u>	<u>USA 415 678 8964 - 11423rd</u>
<u>Claudia Delacruz</u>	<u>delacruz.claudiaj@gmail.com</u>
<u>Clark Sullivan</u>	<u>freemansullivan@gmail.com</u>
<u>Rev. Steven Paul Fortier</u>	<u>SteeLANPOPE@YAHOO.COM</u>
<u>Diana Moritz</u>	<u>diana_3580@ymoo.com</u>
<u>Emily Salt</u>	<u>525th ST SF CA</u>
<u>Wynne Mitchell</u>	<u>(415) 292 7575</u>
Shantane <u>TODD</u>	<u>415-410-8141 stranand@ gmail.com</u>
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<u>Jamie Brullsonel</u>	<u>Gilifera@gmail.com</u>
<u>James Mills</u>	<u>fengchik.taten@yahoo.com</u>
<u>Michael Latvilippe</u>	<u>michael.lativilippe@gmail.com</u>
<u>Mike Hardcastle</u>	<u>415 410 6118</u>
<u>Frank Battwell</u>	<u>(415) 305-1193</u>
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**2095 MARKET STREET
THE APOTHECARY**

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NAME	ADDRESS AND PHONE NUMBER OR EMAIL
Peter Menchini	894-17 th St, SF, CA 94114
Conrad Wade	94108
Jennifer Houghton	jen.houghton@comcast.com
Nicole Hawelwick	nicoleh@loveable.com
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Anne Epperly	aepperly@lcc.com
David Goldman	XXXXXXXXXX dgoldman@yahoo.com
Kenneth M. Koehn	kokoehn@gmail.com
Heidi Egelhoff	egelhoff@gmail.com
Mic Will	MICHAELWILLIAMS94124@yahoo.com
Phillip Ruise	47 GUERRERO St SF CA 94111
Chris Kingery	275 A Church St SF CA 94114
Richard Massey	555 Broadway West #601 SF CA 94117

December 23rd, 2010

Ms. Elizabeth Watty
San Francisco Planning Dept
City & County of San Francisco
1650 Mission Street Suite 400
San Francisco, Ca 94103

Subject: Support for The Apothecary

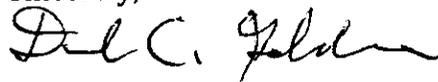
I am writing to you in favor of the proposed medical cannabis dispensary project, The Apothecary, located at **2095 Market Street**, San Francisco.

I am a medical cannabis patient and activist. I volunteer a large amount of time as a member of the core leadership team of the San Francisco Chapter of Americans for Safe Access, the nation's oldest and largest medical cannabis advocacy organization. I also sit on the San Francisco Medical Cannabis Task Force as one of two patient advocates. I also am a 32-year resident of the Upper Market neighborhood, taking a strong interest in appropriate planning for the neighborhood.

I am pleased to support this application. Ryan Hudson, one of the two principals, has shown his support for the medical cannabis patient community and his business model includes continued support for same. There has not been a medical cannabis dispensary in the Church-Market location since the closing of the dispensary at 194 Church Street, several years ago. This new dispensary will fill a void in patient access in this neighborhood, home to many of San Francisco's medical cannabis patients.

The project will replace a vacant storefront that is currently blighting our neighborhood. In addition, this project will provide badly needed, good paying jobs with benefits, and tax revenue for our city and neighborhood.

Sincerely,



David C. Goldman
246 Sanchez Street Apt. B
San Francisco, CA. 94114
dgoldman@yahoo.com
415-728-7631

January 4th, 2011

Dear San Francisco Planning Commission,

The purpose of this letter is to show my support for the proposed medical marijuana dispensary at 2095 Market St. I have been a MMJ patient for 3 years and cannabis is the best thing that relieves my chronic back pain therefore allowing me to live a capable, happy life and be a productive citizen of San Francisco.

I frequent the handful of dispensaries in the city and have seen how they positively affect their neighborhoods. Dispensaries increase security on the street and encourage business for the neighboring stores and restaurants. I don't even need to mention the amount of money it will make for SF because it obvious and expected.

When Apothecary opens, I imagine nothing but positive results from its location. It is important to me that there be a dispensary so close to a MUNI station so I can get my medicine easily. I know other patients who physically have a hard time getting around so this will be a very accessible place to get their medicine.

Ryan Hudson's vision of Apothecary is just what I've been searching for. I want to obtain my medicine from a club that has a high standard for excellence and behaves like a boutique rather than a dive-like dispensary.

Please, for my sake and many others, allow Apothecary to exist and thrive.

Sincerely,

A handwritten signature in black ink that reads "Kelly Marie Lawrence". The signature is written in a cursive, flowing style.

Kelly Marie Lawrence

December 22th, 2010

San Francisco Planning Dept
Attn: Elizabeth Watty
City of San Francisco
1650 Mission Street, Ste 400
San Francisco, Ca 94103

Subject: Support for Medical Cannabis Dispensary at 2095 Market

I write to you today to express my support of the proposed project at 2095 Market Street.

The new business would create badly needed jobs with health benefits and occupy a storefront that has been vacant for almost two years and is now nothing but an eyesore in an otherwise very nice area. I attended The Apothecary's open house on December 15 and was able to speak with Mr. Hudson about the dispensary at length. I feel confident he and his partner will make good on their commitments on how they will conduct their business and should be granted their permit.

Very truly yours,



Rod Naber
80A Landers Street
San Francisco, CA 94114

The Apothecary - Outreach Efforts

12/2/10 –

Merchants of Upper Market & Castro Members Meeting

Result: After a presentation, MUMC voted to support the project and have submitted a letter of support to the Planning Dept. (Attached as Exhibit G)

12/3/10 –

Meeting with David C. Goldman, Leader of SF Chapter of ASA (Americans for Safe Access), the nation's largest medical cannabis organization and member of the San Francisco Medical Cannabis Task Force.

Result: The Americans for Safe Access has decided to support the project and David Goldman, its leader, be joining the facility's Philanthropic Advisory Board.

12/14/10 –

Meeting with Dr. Alice Charap, Chiropractor, located at 254 Church St.

Result: Dr. Charap is supporting the use and will be assisting in the creation of the "Compassion Program" whereby adjunct care will be provided for patients via professional medical organizations and medical professionals such as Dr. Charap.

12/15/10 –

Open House #1 at 2095 Market Street Facility Site 4-8pm

Result: This was the first of two open houses held, and approximately 30-35 people attended.

12/17/10 –

Introduction letter sent to all addresses within 300ft (attached as Exhibit D).

Result: Ryan and Michael sent out over 400 pieces of mail to the surrounding community, apprising them of the project, inviting them to the next open house and giving them Ryan's direct phone number and email address.

1/5/11 –

Eureka Valley Neighborhood Association (EVNA)

Result: Ryan and Michael met with and gave a presentation to EVNA After complementing them on their outreach measures; the group decided it would not oppose the new facility. The EVNA Board President, Alan Beach was so impressed with the presentation that he has formally accepted an invitation to become a member of the Philanthropic Advisory Board.

1/12/11 –

Mission Dolores Neighborhood Association (MDNA)

Result: After a presentation to MDNA's board as well as several interested members of the community the board indicated it was impressed by the presentation and advised there would be no opposition from MDNA.

1/17/11 –

Meeting with Supervisor Scott Wiener

Result: He had many questions and some good suggestions. In the end he said he would author a letter stating that he met with us, understands the plans and is supportive of an MCD coming into that part of the District.

**1/19/11 –
Open House #2 at 2095 Market Street 4-8pm**

Result: Approximately 30 people attended.

**1/19/11 –
Meeting with Dennis Richards, President Duboce Triangle Association and Mark Scheuer,
board member.**

Result: Dennis and Mark stated that they are comfortable with Ryan and Michael as operators and Dennis invited the operators to schedule a 3rd open house to host the members of DTNA. It has been scheduled for Jan 26th.

**1/19/11-
Dave Handler – proprietor, Photoworks, our next-door neighbor**

Result: Dave wishes to have the empty storefront occupied and welcomes The Apothecary to the neighborhood.

**1/25/11 –
Meeting with Sergeant Chuck Limbert, SFPD Mission Station**

At this upcoming meeting, Ryan and Michael will be meeting Sergeant Limbert at the project site, and requesting his input and advice on matters of internal and external safety and security.

**1/26/11 –
Open House #3 at 2095 Market Street**

This open house is being held specifically for the Duboce Triangle Association at the request of Dennis Richards, DTNA President.

Additional upcoming outreach sessions:

- 1) Mission Dolores School
- 2) Everett Middle School
- 3) Mission Childcare (754 14th Street)
- 4) St. Francis Church
- 5) Castro Citizen's on Patrol (CCOP)
- 6) Castro - CBD



584 Castro Street, # 333
San Francisco CA 94114-2512
415/835-8720
Email MUMC-SF@earthlink.net

www.CastroMerchants.com

December 21, 2010

Via email and USPS hardcopy
Elizabeth Watty, Staff Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco CA 94103

Re: File No. 2010.09.29.1894, and Mandatory DR Case No. 2010.1024D
Building Permit Application, Mandatory Discretionary Review, and related matters
2095 Market Street – “The Apothecary” Medical Cannabis Dispensary

Dear Ms. Watty,

I am pleased to confirm that the Members of the **Merchants of Upper Market & Castro (MUMC)** voted at their meeting on December 2, 2010, to **SUPPORT** the proposal of Project Sponsors, Ryan Hudson and Michael Thomsen and *RHMT, LLC*, to open “*The Apothecary*,” a Medical Cannabis Dispensary, at 2095 Market Street, San Francisco. We understand that the proposal soon will be considered by the Planning Commission.

We have asked the Project Sponsors to contact **MUMC** regarding our continued support for the Project, in the event that there are subsequent significant and substantial changes to the Proposal as presented to us on December 2. Should our support be withdrawn (which we do not currently anticipate), we would notify your Department.

MUMC is the merchants’ organization serving San Francisco’s Castro-Upper Market area, generally along Market Street from Octavia Blvd. to Castro Street; Castro from Market to 19th Street, and cross streets through that area. **MUMC** currently has over 275 paid Members; there are about 650 merchants and other businesses in our service area. The proposed Project at 2095 Market Street is within **MUMC**’s primary service area.

Please let us know if you have any questions regarding **MUMC**’s support for this Project. Please include this letter in the Project’s permanent file, and assure that it is provided to all Planning Commissioners and any other hearing panels at the time that this Project is considered by them. Thank you for considering our comments.

Respectfully,

Stephen H. Adams, President

cc: Ryan Hudson, Michael Thomsen, *The Apothecary* (email and hardcopy)
District 8 Supervisor Bevan Dufty and staff (email)
District 8 Supervisor-elect Scott Wiener (email)

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