



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: MAY 5, 2011

Date: April 28, 2011
Case No.: **2011.0126C**
Project Address: **680 VALENCIA STREET**
Zoning: Valencia Street NCT (Neighborhood Commercial Transit)
55-X Height and Bulk District
Block/Lot: 3577 / 007
Project Sponsor: Charles Thompson
Thompson Planning & Design
244 Magnolia Avenue
Larkspur, CA 94939
Staff Contact: Erika S. Jackson – (415) 558-6363
erika.jackson@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
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PROJECT DESCRIPTION

The Proposed Project is to convert a vacant commercial space to a new Full-Service Restaurant & Bar Establishment (dba *Amber India Restaurant*) that exceeds the use size limitation of 3,000 square feet for the Zoning District. The Project is approximately 5,225 square feet. The Project also proposes an approximately 330 square foot rear yard addition to enclose maintenance spaces necessary to the restaurant use. The restaurant proposes 204 seats indoors and 12 seats outdoors along the front facade. The proposed use is an independent and locally owned business. The proposed use is not a Formula Retail use. A Section 312 Neighborhood Notification was conducted in conjunction with the Conditional Use Authorization process.

SITE DESCRIPTION AND PRESENT USE

The Project site is located on the west side of Valencia Street, between 17th and 18th Streets, within the Valencia Street Neighborhood Commercial Transit District and a 55-X Height and Bulk District. The Proposed Project is located on a 5,000 square foot lot containing a two-story commercial and residential building. There is one residential unit on the second floor. The commercial space on the ground floor has been vacant for approximately 10 years. The previous use was a retail grocery and specialty food store.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project site is located toward the center of the thirteen block Valencia Street Neighborhood Commercial District. A number of neighborhood serving uses including bars, eating establishments,

general grocery stores, liquor stores, automobile-related uses, professional and personal service uses and retail sales and services uses characterize this neighborhood commercial district. In general, residential uses are found on the upper floors in the immediate vicinity. Properties in the vicinity are located within the RTO-M (Residential, Transit-Oriented, Mission Neighborhood), NC-1 (Neighborhood Commercial, Cluster) and P (Public Use) Districts. The site is well served by transit.

Immediately to the north of the subject parcel is a senior citizen housing project, and further north on the same block is the Mission Station Police Station. To the south on the same block are two other mixed-use buildings containing a restaurant, and vacant storefront. Across the street from the subject parcel are more mixed-use buildings with residential units above commercial storefronts. The 18th Street and Valencia Street intersection contains one parking lot and a mixed use building on the opposite corners. Residential lots abut the 680 Valencia Street along the rear property line. Buildings in the area are generally three to four stories tall.

ENVIRONMENTAL REVIEW

The Project was determined by the Department to be Categorical Exempt from the California Environmental Quality Act ("CEQA") as a Class 1a exemption under CEQA Guidelines as described in the determination contained in the Planning Department files for this project. The Commission has reviewed and concurs with said determination.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	April 15, 2011	April 15, 2011	20 days
Posted Notice	20 days	April 15, 2011	April 15, 2011	20 days
Mailed Notice	20 days	April 15, 2011	April 14, 2011	21 days

PUBLIC COMMENT

The Department has received two emails and one phone call from neighbors with questions and concerns regarding the Project. Concerns focused primarily on noise generated by the restaurant, particularly from the proposed seating on the sidewalk in front of the building.

ISSUES AND OTHER CONSIDERATIONS

- There is a concern with the potential over-concentration of food-service establishments. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage." Planning staff has performed a site survey of the Valencia Street NCT District that contains the proposed building. With the proposed restaurant use, approximately 15% of the frontage of the Valencia Street NCT District would be attributed to eating and drinking establishments.

- The proposed use is an independent use and locally owned, which has been encouraged throughout San Francisco. The proposed use is not a Formula Retail use. A Section 312 Neighborhood Notification was conducted in conjunction with the Conditional Use Authorization process.
- On May 22, 2003, the Planning Commission approved a Conditional Use Authorization (Case No. 2002.1175C, Motion No. 16585) for two new Full-Service Restaurants & Bar Establishments that exceed the size limitation of 3,000 square feet for the Zoning District. The Project was never completed.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use Authorization under Planning Code Sections 121.2, 303, 316, and 726.41, to convert a vacant building to a new Full-Service Restaurant & Bar Establishment (dba *Amber India Restaurant*) that exceeds the use size limitations for the Zoning District. The project is located within the Valencia Street Neighborhood Commercial Transit District (Valencia NCT), a 55-X Height and Bulk District, and the Mission Alcoholic Beverage Special Use Subdistrict.

BASIS FOR RECOMMENDATION

The Department believes this project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The project promotes small-business ownership.
- The District is well served by transit, therefore customers should not effect traffic.
- The proposed Project meets all applicable requirements of the Planning Code.
- The Valencia NCT is a vibrant and intense cluster of businesses and dwellings. Other neighborhood serving uses would continue to locate in the Valencia NCT; approval of the Proposed Project would not preclude this. The proposal supports the intention of the neighborhood commercial zoning districts in that it would promote the growth of an existing small business. The existing business operates one other restaurant location within San Francisco.
- The proposed development will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. Further, the Project Site is located within a Neighborhood Commercial Transit District and is thus consistent with activities in the commercial land use plan.
- The Proposed Project is consistent with the stated purposed of the Valencia Street NCT District in that the intended use is located at the ground floor, will provide a compatible convenience service for the immediately surrounding neighborhoods and will contribute to the street's mixed-

use character and activity in the evening hours. Parking is not required in the Valencia Street NCT District. Finally, the Valencia Street NCT District is intended to encourage pedestrian-oriented ground floor uses and serve a wider trade area.

- The Proposed Project will provide employment opportunities, including entry-level employment opportunities, for the area's unskilled and semi-skilled workers.
- This Project has historically had a food related use. The previous use was a retail grocery and specialty food store.
- The Project will revitalize a commercial space that has been vacant for approximately 10 years.

RECOMMENDATION: Approval with Conditions
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ATTACHMENT CHECKLIST

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input checked="" type="checkbox"/> Neighbor Letters |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Aerial Photos | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Context Photos | |

Exhibits above marked with an "X" are included in this packet

Planner's Initials

ESJ: G:\DOCUMENTS\Projects\CU\Valencia 680\ExecutiveSummary.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Motion No. XXXXX

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ADOPTING FINDINGS RELATING TO CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 121.2, 303, 316 AND 726.41, TO CONVERT A VACANT BUILDING TO A NEW FULL-SERVICE RESTAURANT & BAR ESTABLISHMENT THAT EXCEEDS THE USE SIZE LIMITATION OF 3,000 SQUARE FEET FOR THE ZONING DISTRICT. THE PROPOSED PROJECT IS LOCATED WITHIN THE VALENCIA STREET NEIGHBORHOOD COMMERCIAL TRANSIT DISTRICT (VALENCIA NCT), A 55-X HEIGHT AND BULK DISTRICT, AND THE MISSION ALCOHOLIC BEVERAGE SPECIAL USE SUBDISTRICT.

PREAMBLE

On February 10, 2011, Charles Thompson (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 121.2, 303, 316, and 726.41, to convert a vacant building to a new Full-Service Restaurant & Bar Establishment (dba *Amber India Restaurant*) that exceeds the use size limitation of 3,000 square feet for the Zoning District. The project is located within the Valencia Street Neighborhood Commercial Transit District (Valencia NCT), a 55-X Height and Bulk District, and the Mission Alcoholic Beverage Special Use Subdistrict.

On May 5, 2011, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0126C.

The Project was determined by the Department to be Categorical Exempt from the California Environmental Quality Act ("CEQA") as a Class 1a exemption under CEQA Guidelines as described in the determination contained in the Planning Department files for this project. The Commission has reviewed and concurs with said determination.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2011.0126C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project site is located on the west side of Valencia Street, between 17th and 18th Streets, within the Valencia Street Neighborhood Commercial Transit District and a 55-X Height and Bulk District. The Proposed Project is located on a 5,000 square foot lot containing a two-story commercial and residential building. There is one residential unit on the second floor. The commercial space on the ground floor has been vacant for approximately 10 years. The previous use was a retail grocery and specialty food store.
3. **Surrounding Properties and Neighborhood.** The Project site is located toward the center of the thirteen-block Valencia Street Neighborhood Commercial District. A number of neighborhood serving uses including bars, eating establishments, general grocery stores, liquor stores, automobile-related uses, professional and personal service uses and retail sales and services uses characterize this neighborhood commercial district. In general, residential uses are found on the upper floors in the immediate vicinity. Properties in the vicinity are located within the RTO-M (Residential, Transit-Oriented, Mission Neighborhood), NC-1 (Neighborhood Commercial, Cluster) and P (Public Use) Districts. The site is well served by transit.

Immediately to the north of the subject parcel is a senior citizen housing project, and further north on the same block is the Mission Station Police Station. To the south on the same block are two other mixed-use buildings containing a restaurant, and vacant storefront. Across the street from the subject parcel are more mixed-use buildings with residential units above commercial storefronts. The 18th Street and Valencia Street intersection contains one parking lot and a mixed

use building on the opposite corners. Residential lots about the 680 Valencia Street along the rear property line. Buildings in the area are generally three to four stories tall.

4. **Project Description.** The Proposed Project is to convert a vacant commercial space to a new Full-Service Restaurant & Bar Establishment (dba *Amber India Restaurant*) that exceeds the use size limitation of 3,000 square feet for the Zoning District. The Project is approximately 5,225 square feet. The Project also proposes an approximately 330 square foot rear yard addition to enclose maintenance spaces necessary to the restaurant use. The restaurant proposes 204 seats indoors and 12 seats outdoors along the front facade. The proposed use is an independent and locally owned business. The proposed use is not a Formula Retail use. A Section 312 Neighborhood Notification was conducted in conjunction with the Conditional Use Authorization process.
5. **Prior Commission Action.** On May 22, 2003, the Planning Commission approved a Conditional Use Authorization (Case No. 2002.1175C, Motion No. 16585) for two new Full-Service Restaurants & Bar Establishments that exceed the size limitation of 3,000 square feet for the Zoning District. The Project was never completed.
6. **Public Comment.** The Department has received two emails and one phone call from neighbors with questions and concerns regarding the Project. Concerns focused primarily on noise generated by the restaurant, particularly from the proposed seating on the sidewalk in front of the building.
7. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Outdoor Activity Area.** Planning Code Section 726.24 states that a Conditional Use Authorization is required for an Outdoor Activity Area in any location other than the front, as defined by Planning Code Section 790.70.

The proposal includes an outdoor seating area with 12 seats located along the front facade. An outdoor activity area is principally permitted by right in the front.
 - B. **Bar Use.** Planning Code Section 726.41 requires a Conditional Use Authorization for a Bar use within the Valencia Street NCT Zoning District. A Full-Service Restaurant that is operating with a Type 47 Liquor License is also classified as a Bar use under Planning Code Section 790.92.

The proposal is for one new Full-Service Restaurant & Bar Establishment (dba Amber India Restaurant) that is 5,225 square feet in area. A bar serves spirits in addition to beer and wine.
 - C. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that NC Districts containing specific uses have at least ½ the total width of the new or altered structure at the commercial street frontage devoted to entrances to commercially used space, windows or display space at the pedestrian eye-level. Such windows shall use clear, un-tinted glass, except for decorative or architectural accent. Any decorative railings

or decorated grille work, other than wire mesh, which is placed in front or behind such windows, shall be at least 75 percent open to perpendicular view and no more than six feet in height above grade.

The subject commercial space has approximately 50 feet of frontage on Valencia Street with approximately 40 feet devoted to either the restaurant entrance or window space. The windows are clear and unobstructed. There are existing street trees along the site frontage.

D. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department.

8. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the Proposed Project does comply with said criteria in that:

A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed use is in keeping with other storefronts on the block face. The proposed full-service restaurant and bar is not anticipated to adversely effect traffic or parking in the District. The use will compliment the mix of goods and services currently available in the district and contribute to the economic vitality of the neighborhood by removing and revitalizing a vacant storefront. The Police Department is aware of the Proposed Project and has no opposition to the proposed use.

B. The Proposed Project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the Proposed Project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The only proposed enlargement to the existing building is to extend the first floor into the rear yard to enclose maintenance spaces necessary to the restaurant use. The proposed work will not alter the existing appearance or character of the Project vicinity.

ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading in the Valencia Street NCT. The proposed use should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide because the neighborhood is well served by public transit.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed use is subject to the standard conditions of approval for full-service restaurants and bars, as outlined in Exhibit A. Conditions of Approval 8, 11, 18, and 19, as outlined in Exhibit A, specifically obligates the Project Sponsor to alleviate odor and noise generated by the restaurant use.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Department shall review all lighting and signs proposed for the new business in accordance with Conditions of Approval 6, 7, and 22, as outlined in Exhibit A. There are existing street trees along the site frontage.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Proposed Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The Proposed Project is consistent with the stated purpose of the Valencia Street NCT District in that the intended use is located at the ground floor, will provide a compatible convenience service for the immediately surrounding neighborhoods and will contribute to the street's mixed-use character and activity in the evening hours. Parking is not required in the Valencia Street NCT District. Finally, the Valencia Street NCT District is intended to encourage pedestrian-oriented ground floor uses and serve a wider trade area.

- 9. **Use Size.** Planning Code Section 121.2 requires a Conditional Use Authorization for a non-residential use that is larger than 3,000 square feet within the Valencia Street NCT Zoning District. This applies both to the square footage of the entire project or the square footage of one use. The Proposed Project will be 5,225 square feet in size. Planning Code Section 121.2 sets forth additional criteria which the Commission shall consider in addition to those of Section 303 when reviewing an application for a non-residential use size in excess of that which is permitted as-of-right:

- a. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

The Valencia NCT is a vibrant and intense cluster of businesses and dwellings. Other neighborhood serving uses would continue to locate in the Valencia NCT; approval of the Proposed Project would not preclude this. The intent of the neighborhood commercial zoning

districts, to promote the growth of small business, is consistent with the proposal. A mix of neighborhood serving uses continues to populate the Valencia corridor.

- b. The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.

The proposed restaurant, by its food-serving nature, is one that would serve neighborhood residents and business-people. Furthermore, in order to accommodate the needs of an efficient and code-compliant modern kitchen, and to provide for the volume of customers necessary to make such a kitchen feasible, a larger use size that which is permitted as-of-right is appropriate. The proposed restaurant is being located in an existing tenant space, which was previously used as a retail grocery and specialty foods store.

- c. The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

The only proposed enlargement to the existing building is to extend the first floor into the rear yard to enclose maintenance spaces necessary to the restaurant use. Therefore, the scale and pattern of existing development will be respected and retained. The existing building is a two story building that respects the scale of development in the district that ranges from two to four stories in height.

- 10. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

General/Citywide

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed development will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. Further, the Project Site is located within a Neighborhood Commercial Transit District and is thus consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The subject property contains a vacant commercial space, which was previously used as a retail grocery and specialty foods store. Therefore, the Proposed Project will not displace an existing commercial or industrial activity. The addition of the proposed uses will enhance the diverse economic base of the City.

OBJECTIVE 3: PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

Policy 3.2:

Promote measures designed to increase the number of San Francisco jobs held by San Francisco residents.

The Proposed Project will provide employment opportunities, including entry-level employment opportunities, for the area's unskilled and semi-skilled workers.

Neighborhood Commerce

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced and the Proposed Project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood. The existing

tenant space was previously used as a retail grocery and specialty foods store and has been vacant for several years.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Eating and Drinking Establishments:

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses, which can serve similar functions and create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.
- The regulation of eating and drinking establishments should consider the following:
 - Balance of retail sales and services;
 - Current inventory and composition of eating and drinking establishments;
 - Total occupied commercial linear frontage, relative to the total district frontage;
 - Uses on surrounding properties;
 - Available parking facilities, both existing and proposed;
 - Existing traffic and parking congestion; and
 - Potential impacts on the surrounding community.

There is a concern with the potential over-concentration of food-service establishments. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage." Planning staff has performed a site survey of the Valencia Street NCT District that contains the proposed building. With the proposed restaurant use, approximately 15% of the frontage of the Valencia Street NCT District would be attributed to eating and drinking establishments.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

An independent entrepreneur is sponsoring the proposal. The proposed use is a neighborhood serving use. This is not a Formula Retail use.

MISSION AREA PLAN

Objectives and Policies

Land Use

OBJECTIVE 1.5:

MINIMIZE THE IMPACT OF NOISE ON AFFECTED AREAS AND ENSURE GENERAL PLAN NOISE REQUIREMENTS ARE MET.

Policy 1.5.1:

Reduce potential land use conflicts by providing accurate background noise-level data for planning.

Policy 1.5.2:

Reduce potential land use conflicts by carefully considering the location and design of both noise generating uses and sensitive uses in the Mission.

The Project Sponsor shall operate the proposed uses such that noise is kept at reasonable levels so as not to unduly disturb neighboring businesses and residents. Conditions of Approval 8, 11, 18, and 19, as outlined in Exhibit A, specifically obligates the Project Sponsor to alleviate odor and noise generated by the restaurant use.

OBJECTIVE 1.8:

MAINTAIN AND STRENGTHEN THE MISSION'S NEIGHBORHOOD COMMERCIAL AREAS.

Policy 1.8.2:

Ensure that the Mission's neighborhood commercial districts continue to serve the needs of residents, including immigrant and low-income households.

No commercial tenant would be displaced and the Proposed Project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood.

11. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the Proposed Project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposal would enhance the district by providing a full-service restaurant in an area that is not over concentrated by restaurants. The business would be locally owned and it creates more employment opportunities for the community. The Proposed Project will provide employment opportunities, including entry-level employment opportunities, for the area's unskilled and semi-skilled workers.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing dwelling units in the surrounding neighborhood would not be adversely affected.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is removed for this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The site is on Valencia Street and is well served by public transit. It is presumable that the employees would commute by transit thereby alleviating possible effects to street parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Proposed Project will not displace any service or industry establishment. The Proposed Project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by the Proposed Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Proposed Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not affect the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Proposed Project will have no negative effect on existing parks and open spaces.

12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

13. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.0126C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans filed with the Application dated March 25, 2011 and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on May 5, 2011.

Linda D. Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: May 5, 2011

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a Full-Service Restaurant & Bar Establishment (d.b.a. **Amber India Restaurant**) located at 680 Valencia Street, Block 3577, Lot 007 pursuant to Planning Code Section(s) **121.2, 303, 316, AND 726.41** within the **Valencia Street Neighborhood Commercial Transit Zoning** District and a **55-X** Height and Bulk District; in general conformance with plans, dated **March 25, 2011**, and stamped "EXHIBIT B" included in the docket for Case No. **2011.0126C** and subject to conditions of approval reviewed and approved by the Commission on **May 5, 2011** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **May 5, 2011** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN – COMPLIANCE AT PLAN STAGE

3. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

4. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

5. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit

application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

6. **Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department approval of the building / site permit application.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

7. **Signage.** The Project Sponsor shall develop a signage program for the Project which shall be subject to review and approval by Planning Department staff before submitting any building permits for construction of the Project. All subsequent sign permits shall conform to the approved signage program. Once approved by the Department, the signage program/plan information shall be submitted and approved as part of the site permit for the Project. All exterior signage shall be designed to compliment, not compete with, the existing architectural character and architectural features of the building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

8. **Noise.** Plans submitted with the building permit application for the approved project shall incorporate acoustical insulation and other sound proofing measures to control noise.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

9. **Street Trees.** Pursuant to Planning Code Section 428 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

10. **Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The

size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

11. **Odor Control Unit.** In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the project is operational, the building permit application to implement the project shall include air cleaning or odor control equipment details and manufacturer specifications on the plans. Odor control ducting shall not be applied to the primary façade of the building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

PARKING AND TRAFFIC

12. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation impacts during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

13. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

14. **Monitoring.** The Project requires monitoring of the conditions of approval in this Motion. The Project Sponsor or the subsequent responsible parties for the Project shall pay fees as established under Planning Code Section 351(e) (1) and work with the Planning Department for information about compliance.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

15. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

16. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org/>.
17. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>.
18. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.
*For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org.
For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org.
For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-1012 or 415-5530123, www.sf-police.org*
19. **Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.
For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
20. **Community Liaison.** Prior to issuance of a building permit application to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report

to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

21. **Notices Posted at Bars and Entertainment Venues.** Notices urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to not litter or block driveways in the neighborhood, shall be well-lit and prominently displayed at all entrances to and exits from the establishment.

For information about compliance, contact the Entertainment Commission, at 415 554-6678, www.sfgov.org/entertainment.

22. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

23. **Hours of Operation.** The subject establishment is limited to the following hours of operation: from 11:30 a.m. to 12:00 a.m. Sunday through Thursday and from 11:30 a.m. to 2:00 a.m. Friday through Saturday.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map



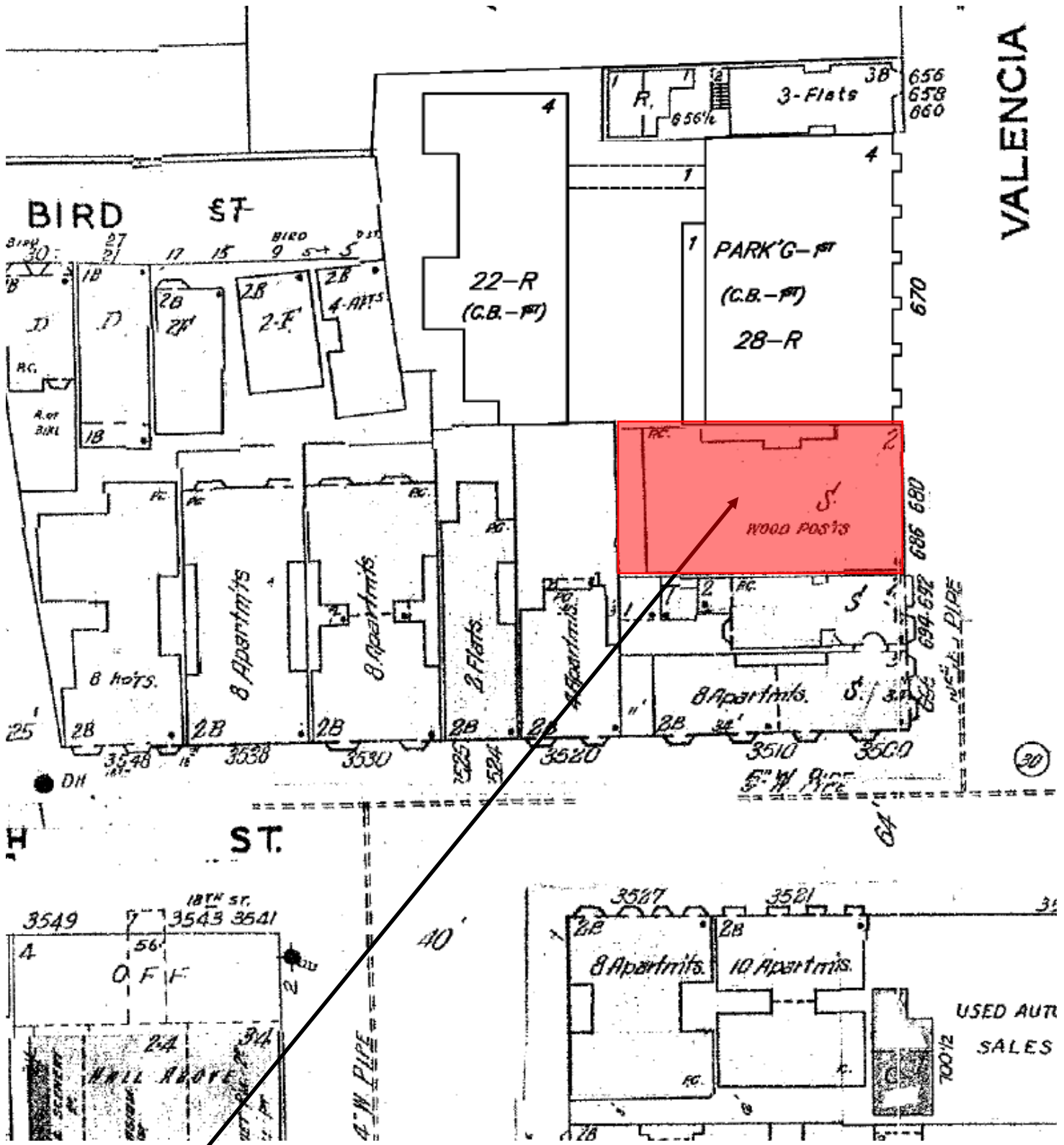
SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

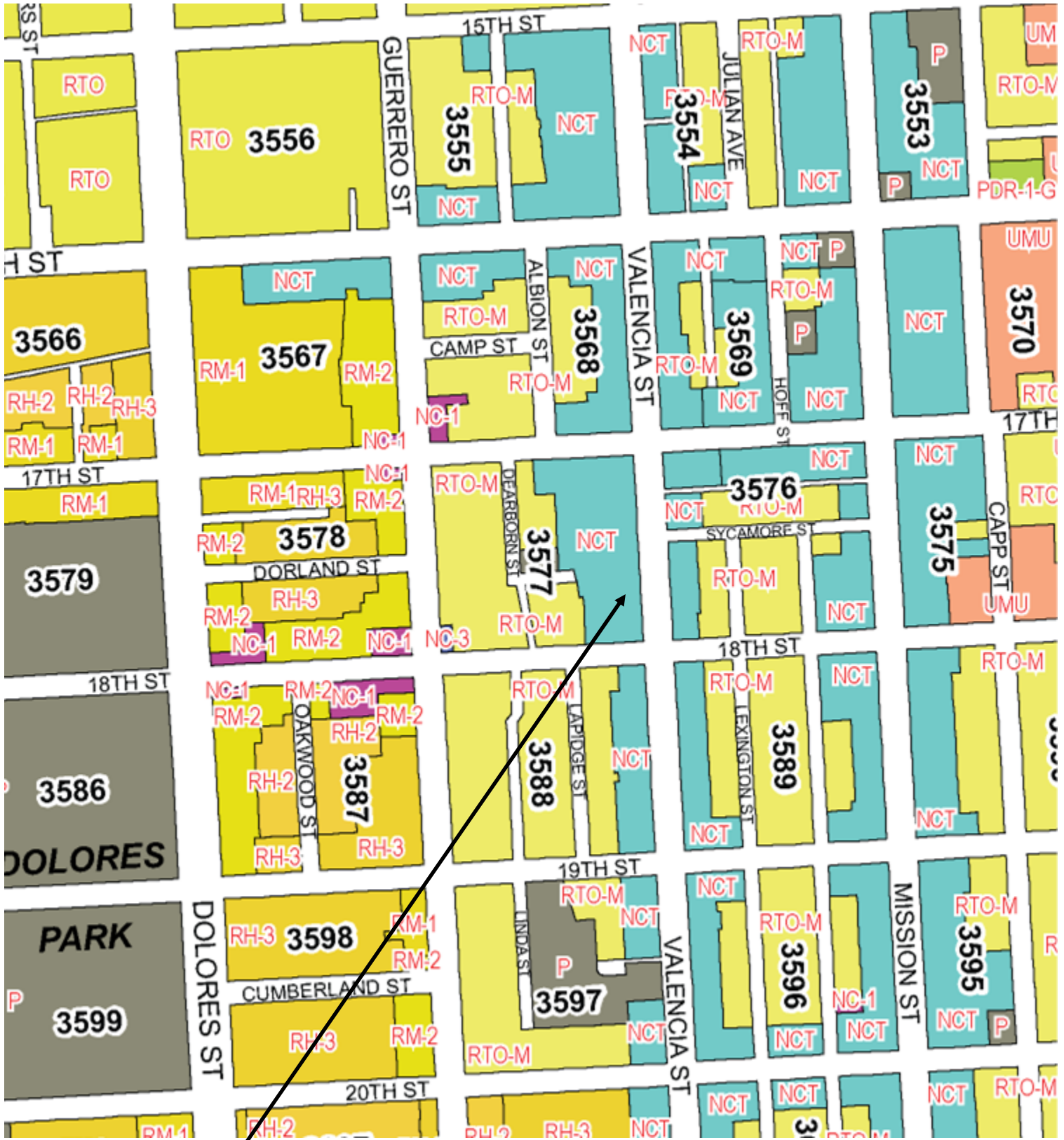


SUBJECT PROPERTY



Conditional Use Hearing
 Case Number 2011.0126C
 680 Valencia Street
 3577 / 007

Zoning Map

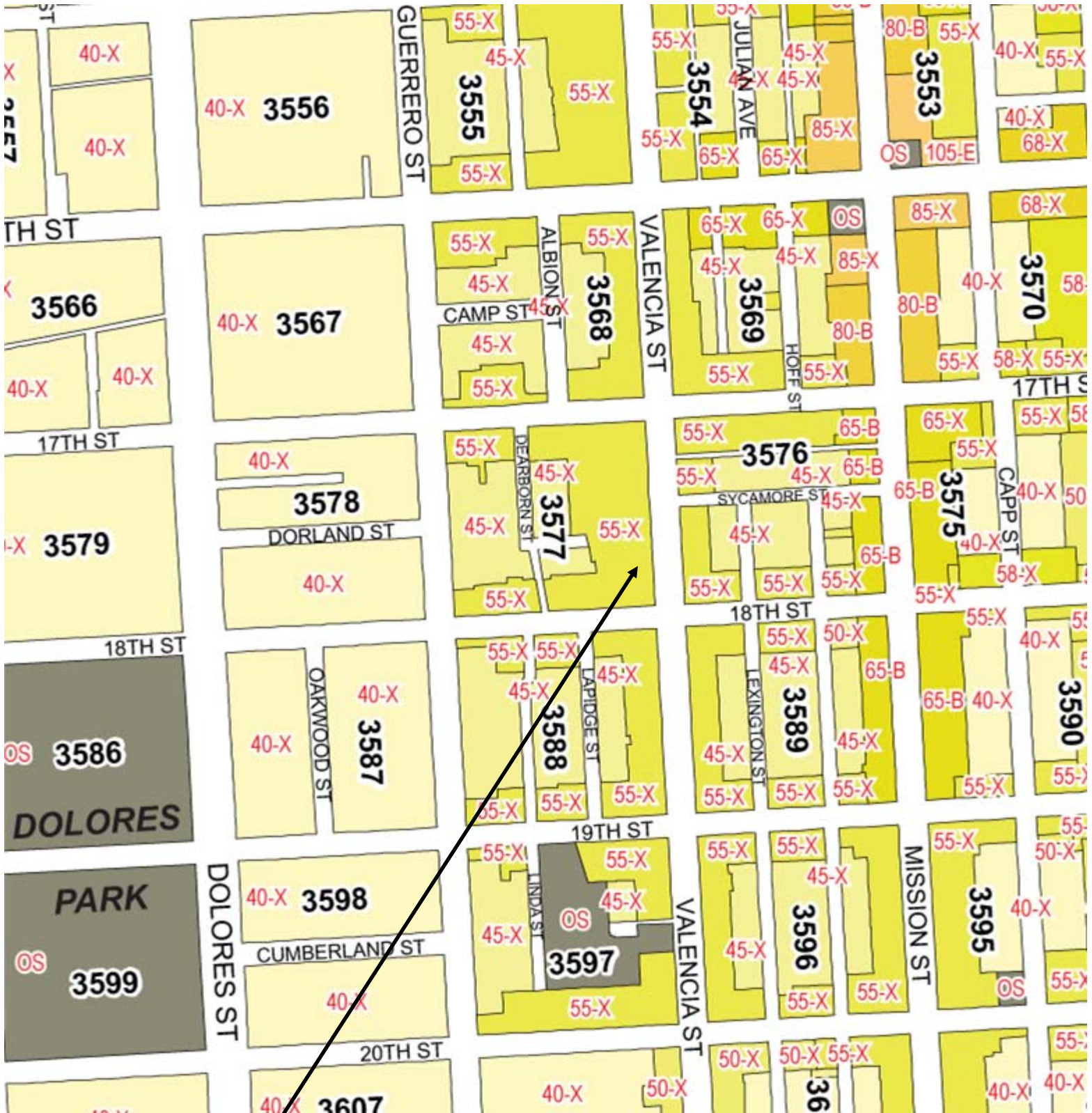


SUBJECT PROPERTY



Conditional Use Hearing
 Case Number 2011.0126C
 680 Valencia Street
 3577 / 007

Height & Bulk Map

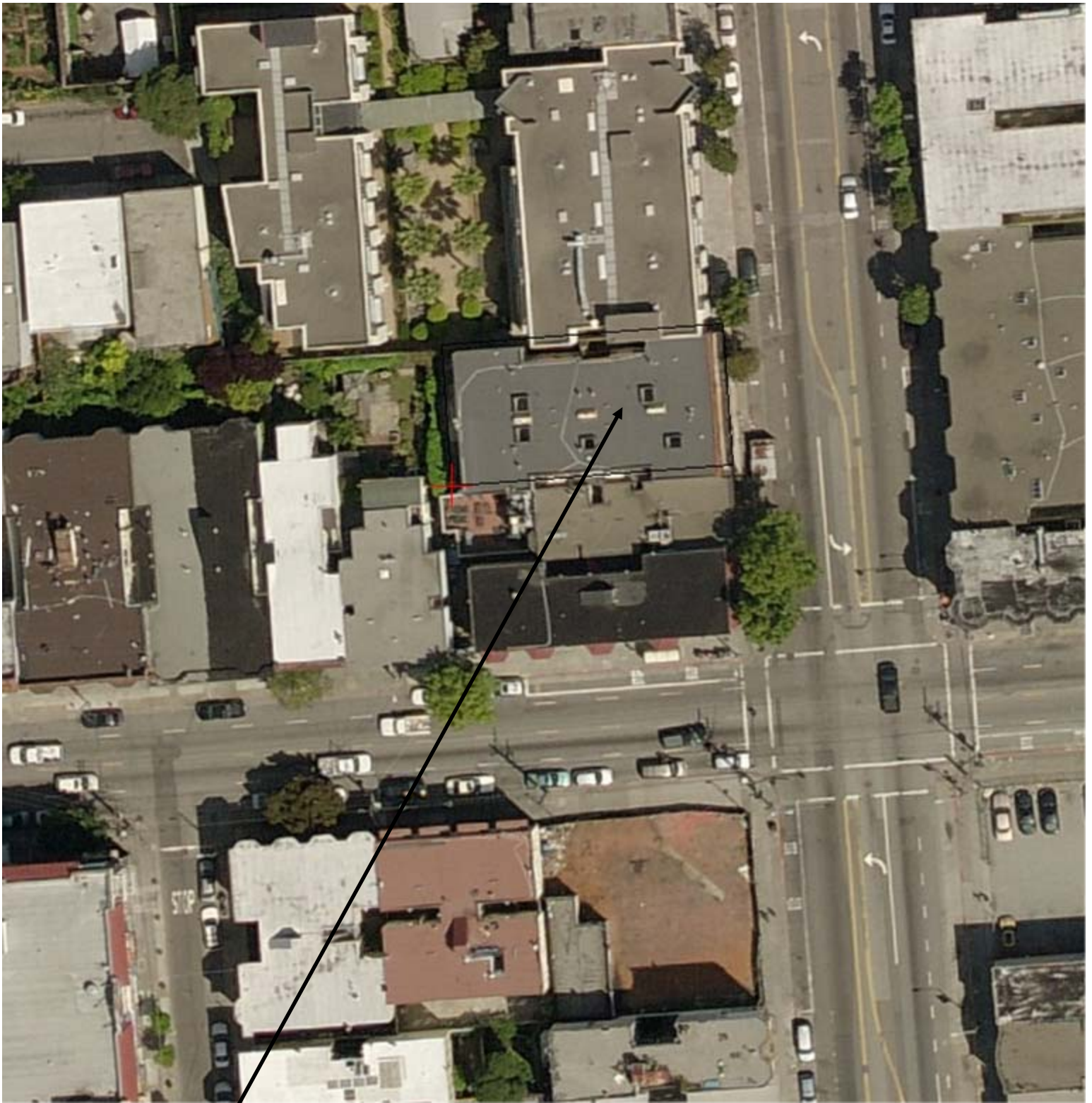


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007

Aerial Photograph – Site View

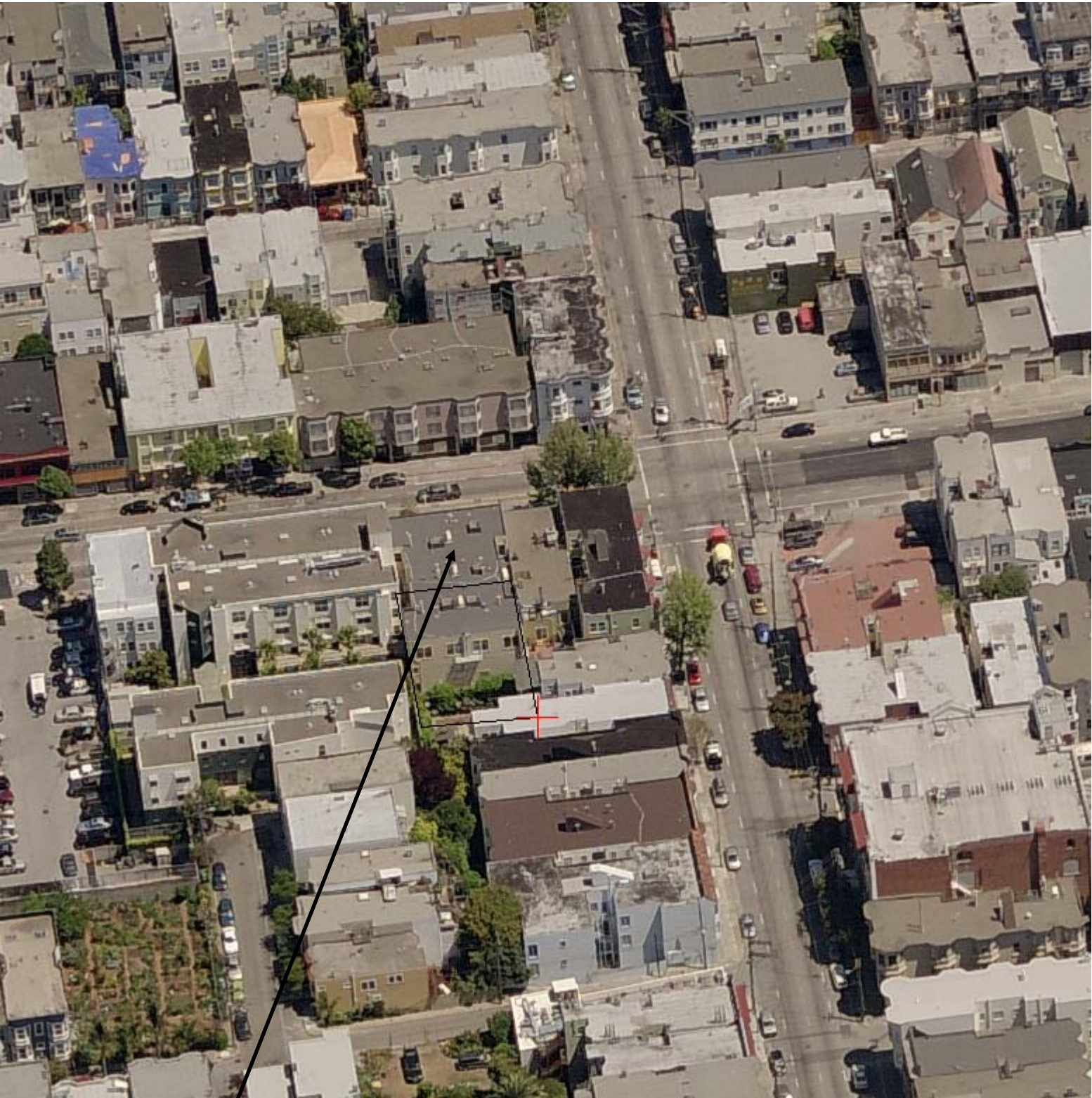


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007

Aerial Photograph – Looking East

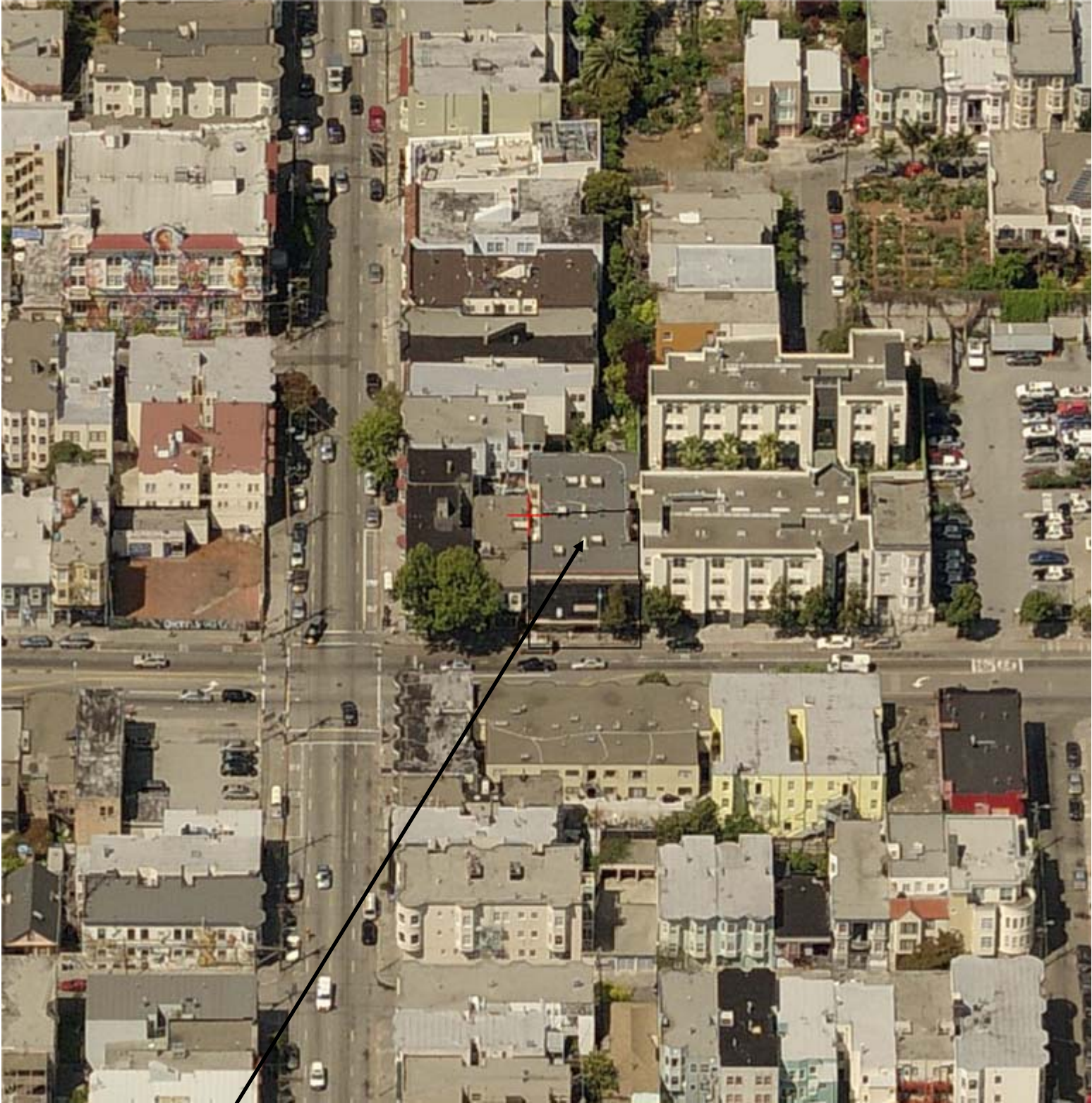


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007

Aerial Photograph – Looking West

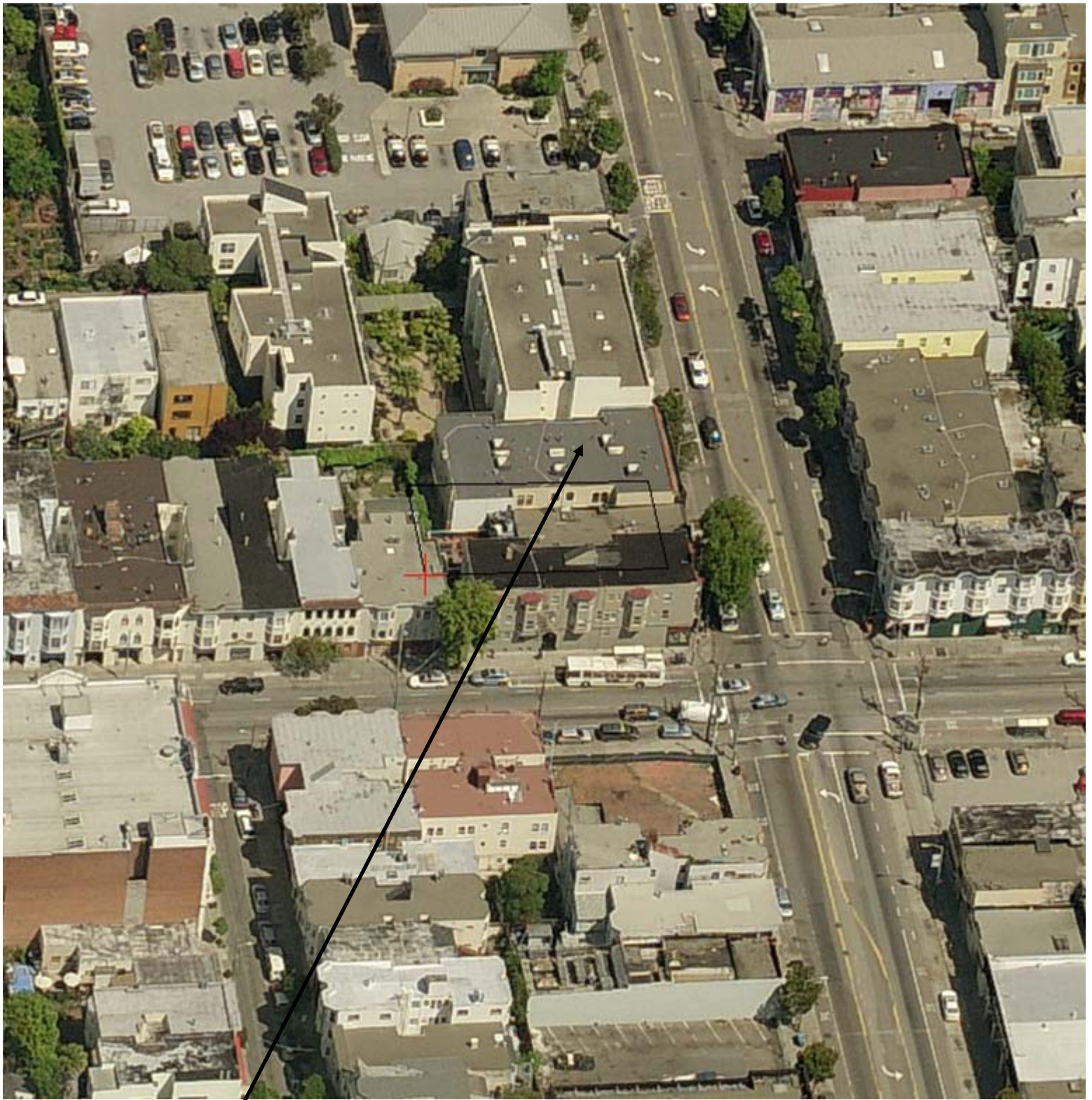


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007

Aerial Photograph – Looking North

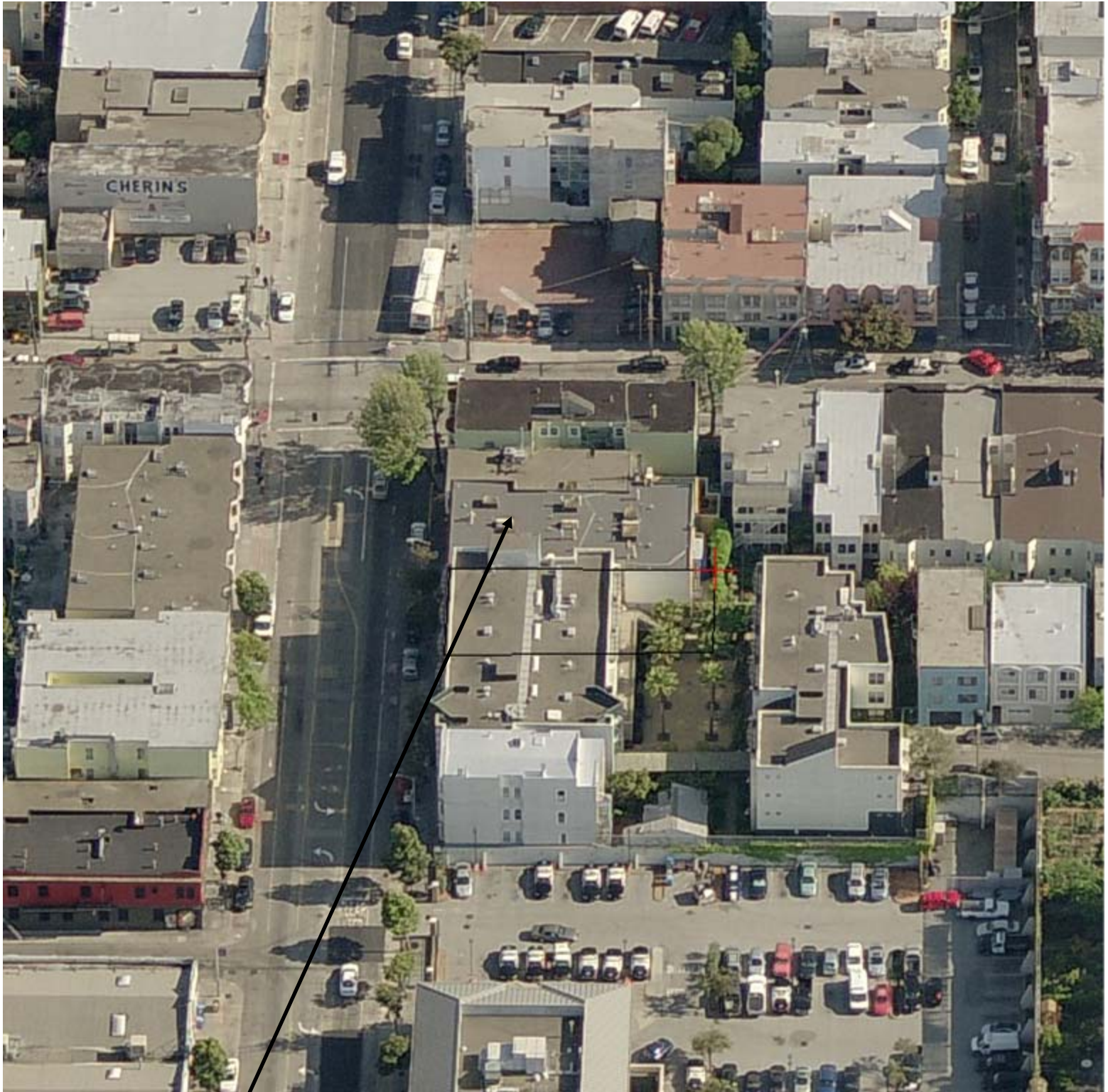


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007

Aerial Photograph – Looking South



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007

Site Photographs



Conditional Use Hearing
Case Number 2011.0126C
680 Valencia Street
3577 / 007



Mickey Davis
<micdavis@berkeley.edu>
04/18/2011 09:44 AM

To erika.jackson@sfgov.org
cc
bcc
Subject case no 2011.0126

History:  This message has been forwarded.

To Whom It May Concern:

The 18th St. and Valencia area has seen a rapid growth in destination bars and restaurants without adequate traffic and parking abatement. A largely residential neighborhood has become noisy in the evenings. People out drinking urinate on my home on a near nightly basis. Thankfully, the rear of my apartment remains relatively quiet.

The proposed restaurant will share a backyard with several large residential buildings, including a facility for seniors. I and several of my neighbors are quiet concerned about increases in noise levels and cooking fumes. During refurbishing of the building the rear area of the building became a shop with power tools running constantly. Given that this business will likely have its busiest times during evenings and weekends it is likely to create a large noise disturbance for residents of this block. How will this business ensure that it will not negatively affect the quality of life of those residents on this block with noise (and odor)?


Sincerely,
Dr. Michael Davis
3524 18th St.
SF CA 94110



AJ Gilbert
<ajgilb@gmail.com>
04/25/2011 03:49 PM

To "erika.jackson@sfgov.org" <erika.jackson@sfgov.org>
cc
bcc

Subject 680 Valencia

History:  This message has been replied to and forwarded.

I am interested in know more about this application. I live a few doors down and am concerned about the number of restaurants. Have you received any complaints?

GENERAL REQUIREMENTS

- 1. CONSTRUCTION SHALL CONFORM WITH THE DRAWINGS AND SPECIFICATIONS AS WELL AS ALL APPLICABLE CODES, LAWS, REGULATIONS AND ORDINANCES.
- 2. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO STARTING THE WORK. THE GENERAL CONTRACTOR SHALL CONDUCT AN ONSITE WALK THROUGH WITH ALL PERTINENT SUB-CONTRACTORS. PRICING, BIDS AND SCHEDULE SHALL BE BASED ON THE ONSITE CONDITIONS AND FINDINGS AS IS, AT THE TIME OF THE WALK THROUGH. THE EXISTING AS-BUILT BUILDING SHELL CONDITIONS, THESE DRAWINGS, AND RELATED BILL OF QUANTITIES WITH RELATED O.F.C.I. DRAWINGS COMPRISE THE TOTAL ARCHITECTURAL INFORMATION FOR BIDDING PURPOSES. IF IN THE EVENT ADDITIONAL DOCUMENTATION IS REQUIRED, SUCH INQUIRIES SHALL BE DIRECTED TO THE ARCHITECT IN WRITING PRIOR TO SUBMITTING FINAL BIDS.
- 3. ARCHITECTURAL DRAWINGS SHALL GOVERN ALL ENGINEERING DRAWINGS U.O.N. COORDINATION WITH THE ARCHITECTURAL DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 4. DETAILS ARE INTENDED TO SHOW THE METHOD AND MANNER OF ACCOMPLISHING THE WORK. IF MINOR MODIFICATIONS ARE REQUIRED TO SUIT JOB CONDITIONS OR DIMENSIONS, THEY SHALL BE INCLUDED AS PART OF THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- 5. ANY CONFLICTS OR DISCREPANCIES IN OR BETWEEN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CORRECTING ANY WORK PERFORMED IN ADVANCE OF NOTIFYING THE ARCHITECT.
- 6. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CODE VIOLATIONS OR INCORRECT CONSTRUCTION IN THE EXISTING BUILDING.
- 7. RESOLUTION OF ALL QUESTIONS OR VARIANCES SHALL BE AS DIRECTED BY THE ARCHITECT BY WRITTEN NOTICE, CHANGE ORDER, ETC. PHONE CONVERSATIONS ALONE ARE NOT ACCEPTABLE.
- 8. WRITTEN DIMENSIONS TAKE PRECEDENCE--DO NOT SCALE DRAWINGS.
- 9. DIMENSIONS ARE TAKEN FROM FACE OF FINISH, U.O.N.
- 10. ALL CLEAR DIMENSIONS ARE TO BE EXACT WITHIN 1/8"± ALONG THE FULL HEIGHT AND LENGTH OF WALLS.
- 11. VERIFY LOCATION AND SIZE OF ALL OPENINGS WITH DRAWINGS AND WITH MANUFACTURED ITEMS WHERE APPLICABLE.
- 12. VERIFY INSERTS AND EMBEDDED ITEMS WITH ALL APPLICABLE DWGS. AND SPECIFICATIONS PRIOR TO POURING CONCRETE.
- 13. PROVIDE ALL REQUIRED BACKING AND FRAMING FOR WALL AND CEILING MOUNTED LIGHT FIXTURES, WALL HUNG ACCESSORIES, CABINETS, SHELVING, DECORATIVE ELEMENTS AND ALL OTHER ITEMS REQUIRING SAME.
- 14. UNLESS SHOWN OTHERWISE, DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED BETWEEN WALLS OR SHALL BE LOCATED SIX INCHES (6") FROM THE ADJACENT FINISH WALL TO THE EDGE OF THE DOOR OPENING.
- 15. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL MISCELLANEOUS PERMITS AND FEES REQUIRED TO COMPLETE THE PROJECT UNLESS INSTRUCTED OTHERWISE BY THE OWNER.
- 16. THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, COUNTER, CABINETS AND SPECIALTIES FOR THE ARCHITECT'S APPROVAL. SHOP DRAWINGS SHOWING THE LAYOUT AND DETAILS OF ALL STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL ALSO BE SUBMITTED FOR THE ARCHITECT'S APPROVAL.
- 17. THE GENERAL CONTRACTOR SHALL SUBMIT CATALOG CUTS (IN TRIPlicate) FOR LIGHT FIXTURES, HARDWARE, ACCESSORIES, MISCELLANEOUS EQUIPMENT, PLUMBING FIXTURES, FINISHES AND TOILET ACCESSORIES FOR THE ARCHITECT'S APPROVAL.
- 18. THE GENERAL CONTRACTOR SHALL PROVIDE LATERAL BRACING FOR PARTITIONS, SUSPENDED CEILING, DUCTWORK, PIPING AND ALL OTHER ITEMS AS REQUIRED BY THE CODE. CONTRACTOR SHALL PROVIDE SAFETY WIRES FOR LIGHTING, DIFFUSERS AND ANY OTHER ITEMS REQUIRED BY CODE.
- 19. THE GENERAL CONTRACTOR SHALL VERIFY TO THE ARCHITECT IN WRITING THAT ALL MATERIALS HAVE BEEN ORDERED AND WILL ARRIVE ON THE JOB SITE AT LEAST TWO WEEKS PRIOR TO INSTALLATION, U.O.N.
- 20. SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ACCEPTED ONLY IF SUBMITTED TO THE ARCHITECT IN A TIMELY MANNER AND SUBSEQUENTLY APPROVED IN WRITING BY THE ARCHITECT AND THE OWNER. ALL SUBSTITUTIONS MUST BE IN THE JUDGEMENT OF THE ARCHITECT OF AT LEAST EQUAL QUALITY, DESIGN AND PERFORMANCE AS COMPARED TO THE ORIGINALLY SPECIFIED PRODUCT. THE GENERAL CONTRACTOR SHALL BE LIABLE FOR REPLACEMENT, REPAIR OR DELAYS CAUSED BY UNAUTHORIZED SUBSTITUTIONS. ALL REQUESTS FOR SUBSTITUTIONS SHALL INCLUDE THE NAME OF THE PROJECT, DESCRIPTION OF THE ITEM, REASON FOR THE SUBSTITUTION AND COMPLETE DRAWINGS AND SPECIFICATIONS AS REQUIRED FOR THE ARCHITECT TO EVALUATE THE REQUESTED SUBSTITUTION. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY SUBSTITUTION, REVISION OR CHANGE.
- 21. THE GENERAL CONTRACTOR SHALL PROTECT THE BUILDING AND GROUNDS FROM ANY DAMAGE RESULTING FROM THE WORK UNDER THIS CONTRACT. IF ANY DAMAGES DO OCCUR, THE CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY FOR ALL CORRECTIVE WORK.
- 22. MATERIALS, EQUIPMENT, ETC. SHALL BE INSTALLED PER THE MANUFACTURERS INSTRUCTIONS, U.O.N.
- 23. AT CARPET AND/OR AREA RUGS, UNDERCUT DOORS TO CLEAR TOP OF CARPET BY 1/8".
- 24. ALL WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE GENERAL CONTRACTOR. THE PREMISES SHALL BE LEFT COMPLETELY CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT. THIS SHALL INCLUDE THE CLEANING OF FABRICS, GLASS, STONE, MILLWORK AND FLOOR COVERINGS.
- 25. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REGULATIONS RELATED TO ENERGY CONSERVATION. THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT ALL REQUIRED CALCULATIONS AND FORMS UNLESS INSTRUCTED OTHERWISE BY THE OWNER.
- 26. PROVIDE CONTINUOUS APPROVED SEALANTS AND CAULKING AROUND ALL KITCHEN EQUIPMENT, FIXTURES, WALLS AND SHELVING AS REQUIRED.
- 27. LOCATIONS FOR ALL THERMOSTATS AND HVAC ZONE SENSOR DEVICES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION. UNLESS OTHERWISE APPROVED BY THE ARCHITECT, ALL SUCH DEVICES SHALL BE OBSCURED FROM PUBLIC VIEW.
- 28. ACCOMPANYING THE FOOD SERVICE EQUIPMENT DRAWINGS ARE THE RELATED PRODUCT DATA AND TECHNICAL SPECIFICATIONS. THESE SHALL BE A PART OF THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL REQUIREMENTS FOR LINE SIZING, CONNECTION REQUIREMENTS, ARRANGEMENT OF RELATED WORK AND SEQUENCE OF INSTALLATION PRIOR TO PERFORMING THE WORK.
- 29. ALL BEER, SODA, CONDENSATE, PLUMBING AND OTHER PIPES OR LINES SHALL BE ENCLOSED IN THE ADJACENT BAR OR COUNTER DIE WALLS. THIS INCLUDES ANY OTHER WALL WITH SIMILAR CONDITIONS.
- 30. PROVIDE AND INSTALL SOAP AND TOWEL DISPENSERS AT ALL HAND WASH SINKS.

These drawings, specifications or other documents have been provided by Thompson Planning & Design (TP&D) in CAD electronic file format (DATAL). The DATA represents instruments of professional service and TP&D retains all proprietary rights, including the copyright. The DATA shall be used only for the construction and occupancy of Amber India Restaurant, 680 Valencia Street, San Francisco, California, in accordance with the terms of the Agreement between TP&D and Amber Foods Enterprises Inc. The DATA may not be used on other projects or modified for use on this project without the express written consent of Thompson Planning & Design.

Architect

Charles Glenn Thompson

Thompson Planning & Design

244 Magnolia Avenue, Larkspur, California 94939

tel. (415) 927-9772 fax (415) 927-9771

cthompson@tp-d.com

Architect Registration



Project Name



680 Valencia Street, San Francisco, California 94110

Owner

Amber Foods Enterprises, Inc.

2290 West El Camino Real

Mountain View, CA 94040

Sheet Description

Title Sheet with Project Notes

Issues and Revisions

CONDITIONAL USE AUTHORIZATION	DECEMBER 10, 2010
CONDITIONAL USE AUTHORIZATION - REVISED	MARCH 25, 2011

Scale

Sheet Number

AO.1

GENERAL REQUIREMENTS, CONTINUED

- 31. ALL GYPSUM BOARD IN THE KITCHEN, TOILETS, ADJACENT TO COOKING AND BAR AREA AND ANY OTHER AREAS WHERE WATER MAY BE PRESENT SHALL BE WATER-RESISTANT "GREEN BOARD" TYPE.
- 32. THE GENERAL CONTRACTOR SHALL PROVIDE ALL LIFE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY CODE AND/OR THE LOCAL AUTHORITY INCLUDING, BUT NOT LIMITED TO, SOUND SYSTEMS, STROBE LIGHTS AND EMERGENCY LIGHTING. CONTRACTOR SHALL REVIEW ALL COMPONENTS OF SUCH SYSTEMS WITH THE ARCHITECT PRIOR TO PLANNING, ENGINEERING OR INSTALLATION.
- 33. THE GENERAL CONTRACTOR SHALL COMPLY IN FULL WITH ANY ADDITIONAL NOTATIONS AND REQUIREMENTS STATED IN THE PERMIT DRAWINGS AND SHALL INCLUDE SUCH CONDITIONS OF APPROVAL AS A PART OF THIS WORK.
- 34. UPON SUBSTANTIAL COMPLETION OF THE WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL PREPARE A "PUNCH LIST" OF CORRECTIONS REQUIRED. FINAL ACCEPTANCE OF THE "PUNCH LIST" BY THE ARCHITECT SHALL BE CAUSE FOR FINAL PAYMENT UNDER TERMS OF THE OWNER-CONTRACTOR AGREEMENT, U.O.N.
- 35. IN THE EVENT THAT "PUNCH LIST" ITEMS ARE NOT COMPLETED BY THE GENERAL CONTRACTOR IN A TIMELY MANNER, THE OWNER RESERVES THE RIGHT TO SUB-CONTRACT SUCH WORK DIRECTLY AND TO DEDUCT THE COST OF SUCH WORK FROM ANY FINAL PAYMENT DUE TO THE GENERAL CONTRACTOR.
- 36. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, ASSEMBLY, MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR FROM THE DATE OF THE FINAL PAYMENT BY THE OWNER TO THE GENERAL CONTRACTOR.
- 37. ALL BOOTHS, BANQUETTES AND SETTEES SHALL BE WRAPPED IN HEAVY DUTY (3 MIL MINI) PLASTIC BY THE MANUFACTURER AND SHALL REMAIN WRAPPED DURING SHIPPING, INSTALLATION AND UNTIL COMPLETION OF THE WORK.
- 38. THE GENERAL CONTRACTOR SHALL SUPPLY ANY STRUCTURAL ENGINEERING SERVICES SUPPLEMENTAL TO THE STRUCTURAL DRAWINGS AS REQUIRED FOR THE INSTALLATION AND ATTACHMENT OF ALL FEATURES AND COMPONENTS DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- 39. IT IS THE SOLE RESPONSIBILITY OF THE THE GENERAL CONTRACTOR TO DESIGN ALL MISCELLANEOUS STEEL AND SUPPORTING MEMBERS U.O.N. THIS RESPONSIBILITY SHALL INCLUDE THE ENGINEERING OF ALL SUSPENSION SYSTEM COMPONENTS FOR ALL HUNG CEILINGS. THE GENERAL CONTRACTOR SHALL RETAIN A STRUCTURAL ENGINEER TO CHECK THE ADEQUACY OF THE EXISTING STRUCTURE TO CARRY THE IMPOSED LOADS. THE GENERAL CONTRACTOR SHALL SUBMIT THE FOLLOWING:
 - A. ANCHORAGE DETAILS FOR ALL HANGERS AND OTHER SUPPORT MEMBERS.
 - B. THE LOAD CARRIED BY EACH HANGER
 - C. THE LOCATION OF EACH HANGER.MATERIALS AND METHODS OF CEILING SUSPENSION SYSTEMS SHOWN ON THE DRAWINGS OR DESCRIBED IN NOTES ARE ONLY SUGGESTIONS AND SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF THE RESPONSIBILITY TO ENGINEER ALL CEILINGS AS STATED ABOVE.
- 40. ALL TRADES INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL AND ELECTRICAL, SHALL PROVIDE AND/OR PAY FOR ALL PATCH AND REPAIR WORK CAUSED BY ACCOMPLISHING THE WORK. PATCH AND REPAIR WORK AREAS INCLUDE ALL AFFECTED BUILDING SHELL AND TENANT IMPROVEMENT CONDITIONS. PATCH AND REPAIR WORK SHALL BE CARRIED OUT IN A TIMELY MANNER SO AS TO NOT AFFECT THE PROJECT SCHEDULE.
- 41. THE GENERAL CONTRACTOR SHALL REFER TO GENERAL NOTES AS DESCRIBED ON EACH DRAWING SHEET AND INCORPORATE AS A PART OF THIS SCOPE OF WORK.
- 42. THE GENERAL CONTRACTOR SHALL FURNISH ONE EMPTY DUMPSTER AT STORE TURNOVER TO OWNER FOR STORE'S DISPOSAL OF CARDBOARD, TRASH, ETC.
- 43. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- 44. PRIOR TO START OF CONSTRUCTION, GENERAL CONTRACTOR SHALL CONTACT BUILDING MANAGEMENT TO OBTAIN GUIDELINES FOR CONSTRUCTION INCLUDING DISPOSAL OF DEBRIS, AND HOURS OF DAY WHEN WORK CAN TAKE PLACE. GENERAL CONTRACTOR IS TO PROVIDE CONSTRUCTION BARRICADES, IF REQUIRED, AND SECURE THE CONSTRUCTION SITE AS INSTRUCTED BY THE BUILDING MANAGEMENT.

ACCESSIBILITY REQUIREMENTS

- 1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES PROVIDING FOR ACCESS AND USE OF THIS FACILITY BY PERSONS WITH DISABILITIES.
- 2. PRIMARY ENTRANCES TO THE TENANT SPACE OCCUPIED BY THIS PROJECT SHALL BE ACCESSIBLE BY PERSONS IN WHEELCHAIRS.
- 3. THE FLOOR ON THE INSIDE AND OUTSIDE OF EACH DOORWAY WHICH PROVIDES ENTRY OR EXIT FOR HANDICAPPED PERSONS SHALL BE LEVEL FOR A DISTANCE OF FIVE FEET IN THE DIRECTION OF THE DOOR SWING AND FOR A DISTANCE OF NOT FEWER THAN ONE FOOT BEYOND EACH SIDE OF THE DOOR.
- 4. DOORS SHALL BE OPENABLE BY A SINGLE EFFORT WITHOUT A KEY OR ANY SPECIAL KNOWLEDGE.
- 5. FLOORS SHALL HAVE A SLIP RESISTANT FINISH.
- 6. PATHS OF TRAVEL FROM THE PROPERTY LINE TO PRIMARY ENTRANCES SHALL MEET ACCESSIBILITY REQUIREMENTS.
- 7. PROVIDE CODE COMPLYING SIGNS ON RESTROOM DOORS. COORDINATE w/ THE ARCHITECT.
- 8. GRAB BARS SHALL BE CAPABLE OF SUPPORTING A LOAD OF 250 LBS. APPLIED IN ANY DIRECTION. PROVIDE FASTENERS AND WALL REINFORCEMENT AS REQUIRED.
- 9. MAINTAIN 18" CLEARANCE AT THE INTERIOR AND 24" CLEARANCE AT THE EXTERIOR STRIKE SIDE OF ACCESSIBLE DOORS AND 12" CLEARANCE AT THE OPPOSITE SIDE OF ACCESSIBLE DOORS.
- 10. PROVIDE AT LEAST 5% AND A MINIMUM WIDTH OF 36" OF EACH TABLE/COUNTER WORK SURFACE AND/OR STATION IN EMPLOYEE WORK AREAS. HAVE A SURFACE BETWEEN 28" TO 34" ABOVE THE FLOOR, PER CBC 1122B. ALSO, PROVIDE A MINIMUM 36" CLEAR WIDE AISLE THROUGHOUT EMPLOYEE COMMON WORK AREAS PER CBC 1123B.
- 11. PROVIDE ONE (1) WHEELCHAIR-SEATING SPACE FOR EVERY 20 SEATS, WITH AT LEAST ONE PER FUNCTIONAL AREA. SUCH SPACES SHALL BE ACCESSIBLE VIA A 36" WIDE CLEAR AISLE AND SHALL PROVIDE A TABLE OR COUNTER HEIGHT OF 28" TO 34" ABOVE THE FLOOR WITH A 27" HIGH x 30" WIDE x 19" DEEP KNEE SPACE UNDERNEATH, PER CBC 1104B.5.4 & 1122B.
- 12. PROVIDE TACTILE EXIT SIGNAGE THAT COMPLIES WITH CBC 1117B.5.A.2 AT EACH GRADE LEVEL EXTERIOR EXIT DOOR, AND THAT READS "EXIT".
- 13. PROVIDE 1 1/4" - 1 1/2" GRIPPABLE AND UNINTERRUPTED I/E. BY NEWEL POSTS OR SIMILAR HANDRAILS WHICH DO NOT ROTATE WITHIN THEIR FITTINGS AND SHALL NOT BE LISTED INDIVIDUALLY AND SEPARATELY IN THE DRAWINGS.
- 14. THE ORIENTATION OF AT LEAST ONE HANDRAIL SHALL BE IN THE DIRECTION OF THE RUN OF THE STAIR AND PERPENDICULAR TO THE DIRECTION OF THE STAIR NOSING AND SHALL NOT REDUCE THE MINIMUM REQUIRED WIDTH OF THE STAIRS, PER CBC 1133B.4.2.6.2.
- 15. AT INTERIOR STAIRS PROVIDE 2" WIDE CLEARLY COLOR-CONTRASTING STRIPING FOR THE VISUALLY IMPAIRED AT THE NOSING OF THE UPPER APPROACH AND LOWER TREAD, PER CBC 1133B.4.4.

FIRE SUPPRESSION AND EXITING REQUIREMENTS

- 1. ALL REQUIRED EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT SPECIAL EFFORT AND WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL.
- 2. EXIT DOORS SHALL HAVE PANIC HARDWARE OR BE OPEN WITHOUT ANY LATCHING DEVICES AT ALL TIMES DURING BUSINESS HOURS.
- 3. ALL CONCEALED WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED BY AN APPROVED PRESSURE TREATMENT METHOD.
- 4. FIRE SUPPRESSION AND CONTROL SYSTEMS ARE UNDER A SEPARATE CONTRACT AND PERMIT. PROVIDE SHOP DRAWINGS FOR PERMIT AND DESIGN APPROVAL BY THE ARCHITECT.
- 5. SUBMIT PLANS FOR FIXED FIRE EXTINGUISHING SYSTEM TO THE FIRE PREVENTION BUREAU FOR APPROVAL, PRIOR TO INSTALLATION AND OPERATION.
- 6. ALL COOKING EQUIPMENT WHICH GENERATES GREASE-LADEN VAPORS SHALL BE PROTECTED BY A HOOD AND BY A DUCT FIRE EXTINGUISHING SYSTEM COMPLYING WITH N.F.P.A. No. 96 AND OTHER APPLICABLE CODES AND ORDINANCES.
- 7. PROVIDE ONE 2A-10B-C RATED FIRE EXTINGUISHER FOR EACH 75 FEET OF TRAVEL, U.O.N. ON THE DRAWINGS, AND FOR EACH 1500 SQ. FT. OF KITCHEN, 3,000 SQ. FT. OF PUBLIC AREA AS REQUIRED. PROVIDE CLASS "K" EXTINGUISHERS IN KITCHEN.
- 8. PORTABLE FIRE EXTINGUISHER(S) SHALL BE FULLY CHARGED AND HUNG NO MORE THAN FIVE FEET HIGH IN LOCATION AS DESIGNATED ON THE DRAWINGS AND BY THE LOCAL FIRE DEPARTMENT. THEY SHALL BE IN NORMAL PATH OF TRAVEL AND SIGNS SHALL BE CONSPICUOUS.
- 9. ALL FURNISHINGS TO CONFORM TO FLAMMABILITY STANDARDS SET FORTH BY THE FIRE MARSHALL.
- 10. PROVIDE EXIT SIGNS ABOVE EXITS WITH MIN. 3/4" X 6" LETTERS ON CONTRASTING BACKGROUND AS REQUIRED BY FIRE MARSHALL.
- 11. PROVIDE ROOM CAPACITY SIGN(S) AS REQUIRED BY FIRE MARSHALL.
- 12. PROVIDE EXIT LIGHTING GIVING A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL.
- 13. MAINTAIN MIN. 44" AISLES TO EXIT OR PUBLIC WAY.
- 14. INTERIOR WALL AND CEILING FINISHES FOR PUBLIC ASSEMBLY AREAS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING OF 20.
- 15. PROVIDE FIRE DAMPERS WHERE AIR DUCTS PENETRATE FIRE RATED ENCLOSURES, WALLS OR CEILINGS.
- 16. QUANTITIES OF HAZARDOUS MATERIALS STORED OR USED IN THE BUILDING SHALL NOT EXCEED THE QUANTITIES ALLOWED BY THE CODE.
- 17. FIRE BLOCKING AND DRAFT STOPPING SHALL BE INSTALLED PER THE CALIFORNIA STATE BUILDING CODE TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN THE UPPER LEVEL AND THE FLOOR ABOVE AND ALL ATTIC AND OTHER INTERSTITIAL SPACES AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED. FIRE BLOCKS SHALL OCCUR IN ALL CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT TEN-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- 18. ALL DRAPES, HANGINGS, CURTAINS, DROPS AND ALL OTHER DECORATIVE MATERIAL SHALL BE MADE OF A NONCOMBUSTIBLE OR FIRE-RESISTIVE MATERIAL OR MAINTAINED IN A FLAME-RETARDANT CONDITION BY MEANS OF A FLAME RETARDANT SOLUTION OR PROCESS APPROVED BY THE CALIFORNIA STATE FIRE MARSHALL.
- 19. WOOD MAY BE USED PROVIDED IT IS FIRE RETARDANT PRESSURE TREATED AND MEETS UL TESTING STANDARDS AND APPROVED BY BLDG. DEPT. AND FIRE DEPTS. TESTING RESULTS OR CERTIFICATES MAY BE REQUIRED.
- 20. DEFERRED SUBMITTALS FOR THE FOLLOWING FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED BY THE LICENSED CONTRACTORS TO THE FIRE PREVENTION BUREAU FOR APPROVAL AND PERMITTING PRIOR TO INSTALLATION OF THE SYSTEMS:
 - 1. AUTOMATIC FIRE SPRINKLER SYSTEM.
 - 2. EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM (FIRE ALARM SYSTEM).
 - 3. KITCHEN HOOD AUTOMATIC FIRE-EXTINGUISHING SYSTEM.
- 21. THIS TENANT SPACE SHALL BE PROTECTED BY A COMPLETE EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM, WITH SMOKE DETECTORS AND FIRE ALARM NOTIFICATION APPLIANCES PROVIDED THROUGHOUT THE FINISHED, OCCUPIABLE AND STORAGE AREAS.

SAFETY NOTES

- 1. THE GENERAL CONTRACTOR SHALL FURNISH AND MAINTAIN IN SAFE OPERATING CONDITION ALL TOOLS, LADDERS, HOISTS, SCAFFOLDS, STAIRS, RAMPS, ETC. AT THE WORKPLACE. THE GENERAL CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS AND PROVIDE BARRICADES AT ALL FLOOR OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING CERTAIN THAT ALL SUBCONTRACTORS WORKING THE JOB SITE FOLLOW THESE SAME REQUIREMENTS.
- 2. ALL APPARATUS, TOOLS, AND EQUIPMENT USED ON THIS JOB SITE SHALL COMPLY WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS AS ESTABLISHED BY FEDERAL, STATE AND LOCAL AUTHORITIES.
- 3. POST ALL APPLICABLE RULES AS REQUIRED. ADVISE THE OWNER'S CONSTRUCTION ENGINEER/REPRESENTATIVE IMMEDIATELY OF ANY INJURY OF ANY NATURE AND CONFIRM IN WRITING.
- 4. SAFETY MEASURES: AT ALL TIMES THE GENERAL CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS & PROPERTY AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE GENERAL CONTRACTOR'S SAFETY MEASURES. CONSTRUCTION WORK WILL NOT BLOCK HALLWAYS OR OTHER MEANS OF EGRESS.

ACCESSIBILITY REQUIREMENTS, CONTINUED

- 16. SWITCHES/CONTROLS/THERMOSTATS, ETC., SHALL BE INSTALLED AT A RANGE OF 15" TO 48" FOR FORWARD REACH OR 9" TO 54" FOR SIDE REACH ABOVE THE FLOOR, PER CBC 1117B.6.3 AND CEC 380.
- 17. RECEPTACLE OUTLETS SHALL BE INSTALLED AT LEAST 15" ABOVE THE FLOOR, PER CBC 1117B.6.3 AND CEC 210.
- 19. ALL REQUIREMENTS AND REGULATIONS PERTAINING TO THE HANDICAPPED AND OSHA MUST BE INCORPORATED IN THE DRAWINGS, ROOM OR AREA NUMBER BE LISTED INDIVIDUALLY AND SEPARATELY IN THE DRAWINGS.
- 21. SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST;
 - 1) SHALL REQUIRE NO MORE THAN 5-LBS FORCE TO ACTIVATE;
 - 3) SHALL BE LEVER-OPERATED, PUSH-TYPE, ELECTRONICALLY-CONTROLLED OR SIMILAR, PER CBC 1115B.2.16.1.

PROJECT DESCRIPTION

This Tenant Improvement Permit application is for Amber India Restaurant located at the ground level of the existing 3-story building at 680 Valencia Street near 18th Street in San Francisco, California.

Amber India Restaurant is a full service restaurant and bar concept - a public drinking establishment. Total interior lease space is 5225 square feet.

All improvements under this permit application shall be new construction, built on the existing base building slab-on-grade floor and 2nd level within the lease premises envelope. The premises shall be fully demised from the adjoining apartments above.

The East facing storefront is a new glazing system and a part of this permit application.

Use of the tenant space under this permit application includes but is not limited to the following areas: exterior alfresco dining area, interior seating and open dining area, full bar, food pickup, cooklines, prep kitchen and ware wash area, walk-in cooler, dry storage and beverage storage and two single sex, triple occupant public restrooms. An existing service entrance door exits to the existing service corridor.

There is no demolition required under this permit application.

There is a 332 square foot addition to the building shell under this tenant improvement permit application.

The signage shown in this application is for general reference only. The signage permit shall be submitted separately by the tenant's signage vendor.

LIST OF DRAWINGS

ARCHITECTURAL	
A0.1	Title Sheet with Project Notes
A0.2	Site Plan, Vicinity Map & Exterior Elevations
A1.1	Fixture, Power & Signal Plan - Main Level
A1.2	Fixture, Power & Signal Plan - Upper Level
A2.1	Dimension Plan - Main Level
A2.2	Dimension Plan - Upper Level
A3.1	Reflected Ceiling, Lighting Plan - Main Level
A3.2	Reflected Ceiling, Lighting Plan - Upper Level
A4.1	Floor Covering & Drainage Plan - Main Level
A4.2	Floor Covering & Drainage Plan - Upper Level
A5.1	Partial Building Sections
A5.2	Ceiling Details
A6.1	Interior Elevations
A6.2	Interior Elevations
A7.1	Door and Window Types, Schedules & Details
A8.1	Drywall Details
A8.2	Elevator/Lift Details
A9.1	Millwork Details
A9.2	Millwork Details
A10.1	Finishes Schedule

FOOD SERVICE EQUIPMENT

K1.1	Food Service Equipment Floor Plan
K2.1	Food Service Equipment Plumbing Plan
K3.1	Food Service Equipment Electrical Plan

MECHANICAL

- Submitted Separately

PLUMBING

- Submitted Separately

ELECTRICAL

- Submitted Separately

BUILDING SUMMARY - TENANT IMPROVEMENT

RESTAURANT LOCATION: AMBER INDIA RESTAURANT
680 VALENCIA STREET
SAN FRANCISCO, CA 94110




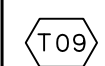



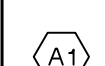



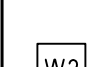



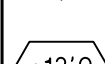



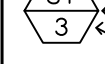
All work done under this contract shall comply with the provisions of the Specifications, Drawings and Construction Criteria, and shall satisfy all applicable codes, ordinances and regulations of all governing bodies involved. Any modifications to the contract work required by such authorities shall be performed by the tenant's contractor(s). All permits and licenses necessary for the execution of the work shall be secured and paid for by the tenant's contractor(s).

Applicable codes include but are not limited to the following:

- THE MOST CURRENT OF THE FOLLOWING:**
- BUILDING & STRUCTURAL: 2010 SAN FRANCISCO BUILDING CODE
 - MECHANICAL: 2010 SAN FRANCISCO MECHANICAL CODE
 - PLUMBING: 2010 SAN FRANCISCO PLUMBING CODE
 - ELECTRICAL: 2010 SAN FRANCISCO ELECTRICAL CODE
 - FIRE PROTECTION: 2010 SAN FRANCISCO FIRE CODE, NATIONAL FIRE PROTECTION STANDARDS: NFPA-13, NFPA-72, NFPA-2B, NFPA-96, NFPA-24, NFPA-14 (CURRENT EDITIONS)
 - HANDICAPPED ACCESS: TITLE 24 CALIF. CODE OF REGULATIONS - CBC AND THE ADA (CURRENT EDITIONS)
 - ENERGY: TITLE 24 CALIF. CODE OF REGULATIONS SAN FRANCISCO GREEN BUILDING REQUIREMENTS

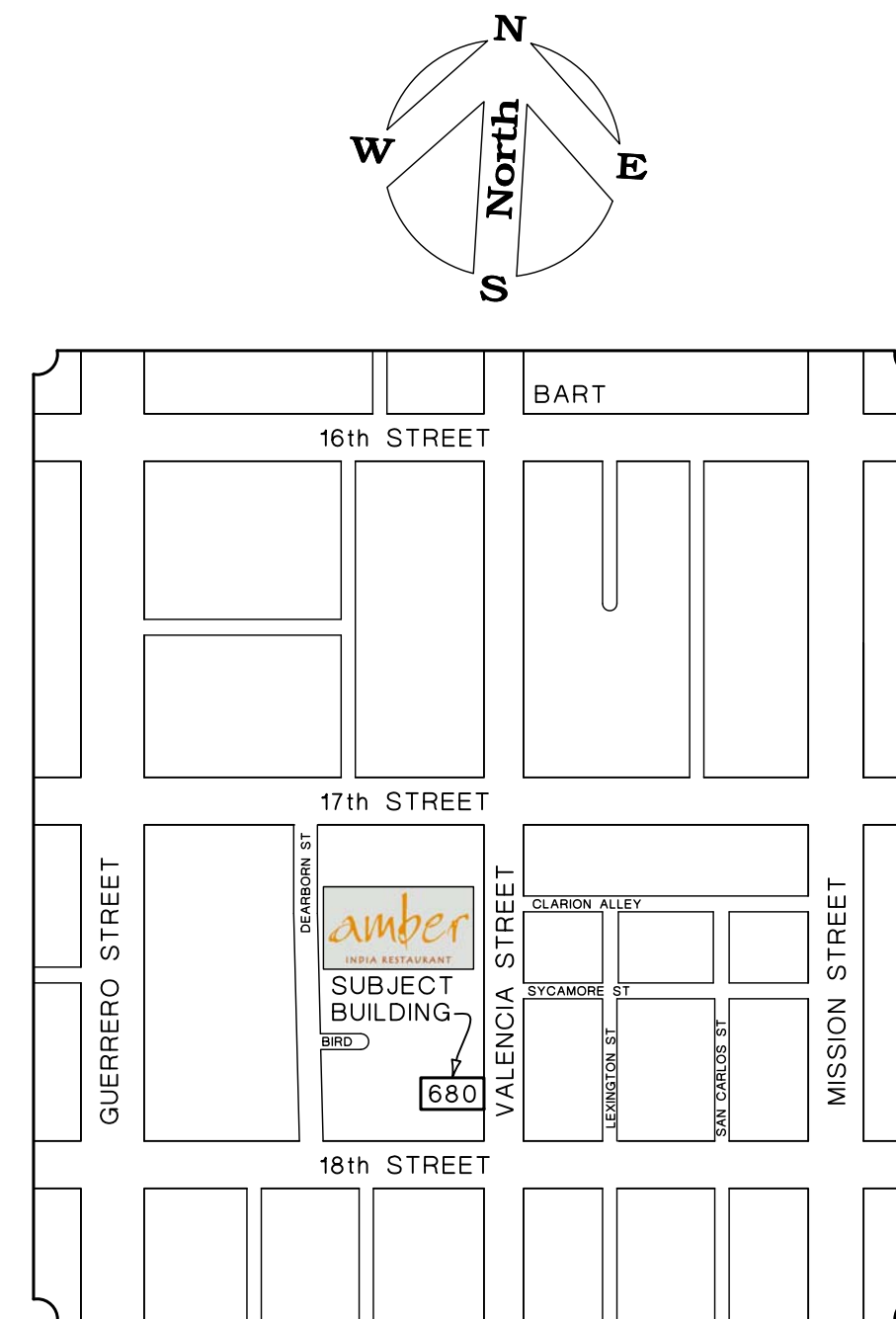
- 1. BUILDING DEPARTMENT: CITY OF SAN FRANCISCO DEPT. OF BUILDING INSPECTION 1660 MISSION STREET, 1ST FLOOR SAN FRANCISCO, CALIFORNIA 94103 TEL 415 558-6505 FAX 415 558-3328
- 2. BUILDING DATA:
 - A. ZONING DISTRICT: VALENCIA N.C.T.
 - B. ASSESSOR'S BLOCK/LOT: BLOCK 3577 LOT 007 ONE BUILDING IN LOT
 - C. CONSTRUCTION CLASSIFICATION: TENANT IMPROVEMENT LOCATED IN A MIXED-USE, 3-STORY LOW RISE STRUCTURE, TYPE II CONSTRUCTION FULLY SPRINKLERED IN TENANT IMPROVEMENT PREMISES ONLY.
 - D. OCCUPANCY CLASS: A-2 ASSEMBLY
 - E. TOTAL AREA: 1386 UPPER LEVEL (IN SQ. FT.) + 4171 MAIN LEVEL TOTAL 5557 SQ. FT.
 - F. TOTAL OCCUPANCY LOAD: 216 PERSONS
 - G. NUMBER OF EXITS REQUIRED: TWO (2) REQ'D/TWO (2) PROVIDED
 - H. SPRINKLER SYSTEM: FULLY SPRINKLERED IN TENANT IMPROVEMENT PREMISES ONLY.
 - I. TOTAL EMPLOYEES: 18 PER SHIFT
 - J. HANDICAPPED TOILET: TWO (2) PROVIDED - 1 EACH PER SEX
 - K. SEISMIC ZONE: CATEGORY 'D'
 - L. BUILDING FLOOR LIVE LOAD: 100 PSF

DRAWING SYMBOLS

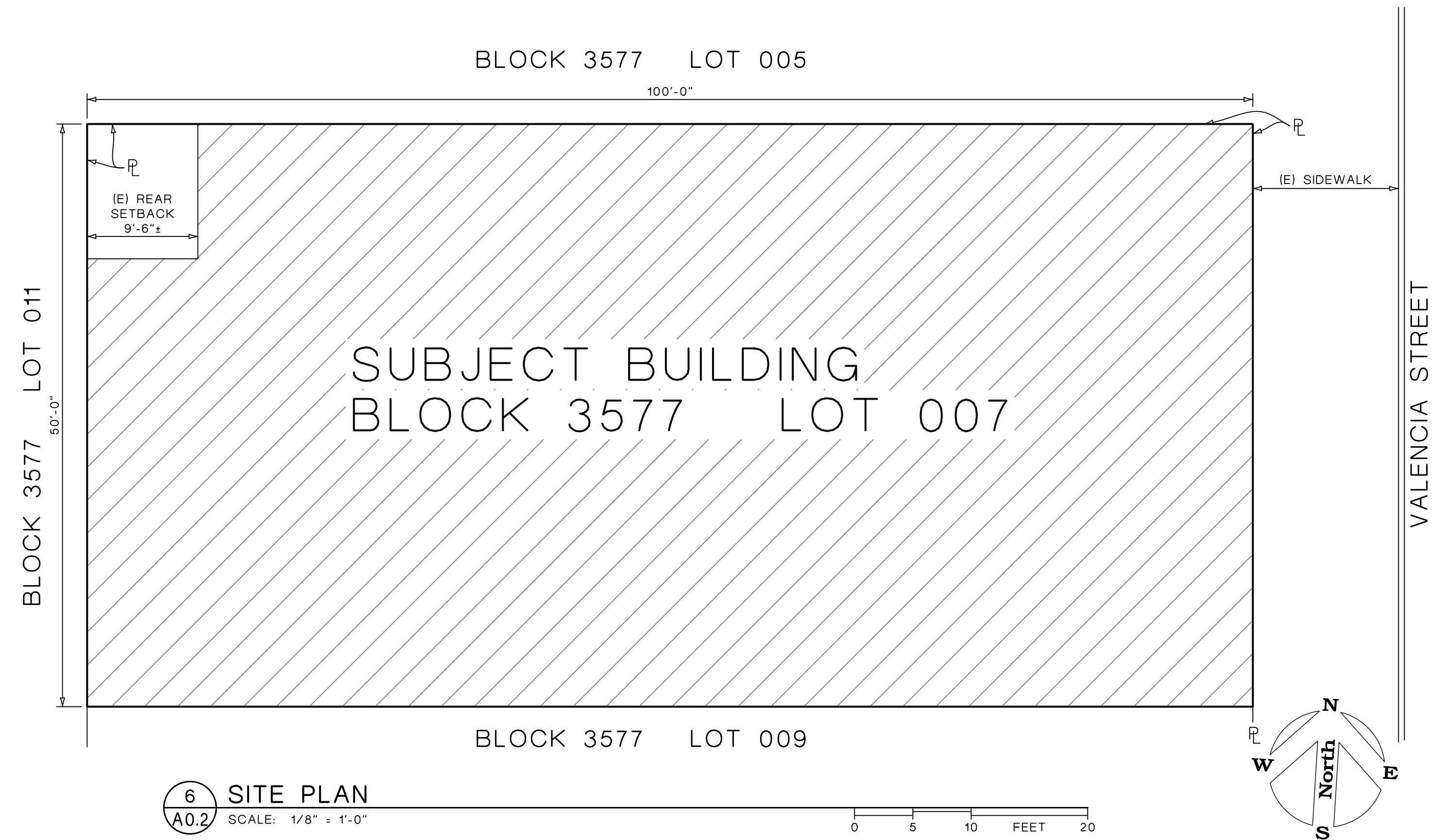
	BUILDING GRID LINE		REVISION NUMBER w/ AREA AFFECTED
	BUILDING SECTION		TABLE NUMBER
	EXTERIOR ELEVATION		BOOTH, BANQUETTE or PULLMAN NUMBER
	INTERIOR ELEVATION		LIGHTING FIXTURE TYPE
	DETAIL REFERENCE		MILLWORK / WOOD MOULDING TYPE
	DATUM-WORK POINT		WALL TYPE
	ROOM OR AREA NUMBER		KEY NOTE
	DOOR NUMBER		CEILING HEIGHT DESIGNATION IN FEET AND INCHES
	WINDOW NUMBER		MATERIAL GROUP FINISH / ACCESSORY DESIGNATION
	FLOOR COVERING TYPE		ITEM NUMBER



4 PHOTOGRAPH OF EXISTING STREET FACADE
A0.2



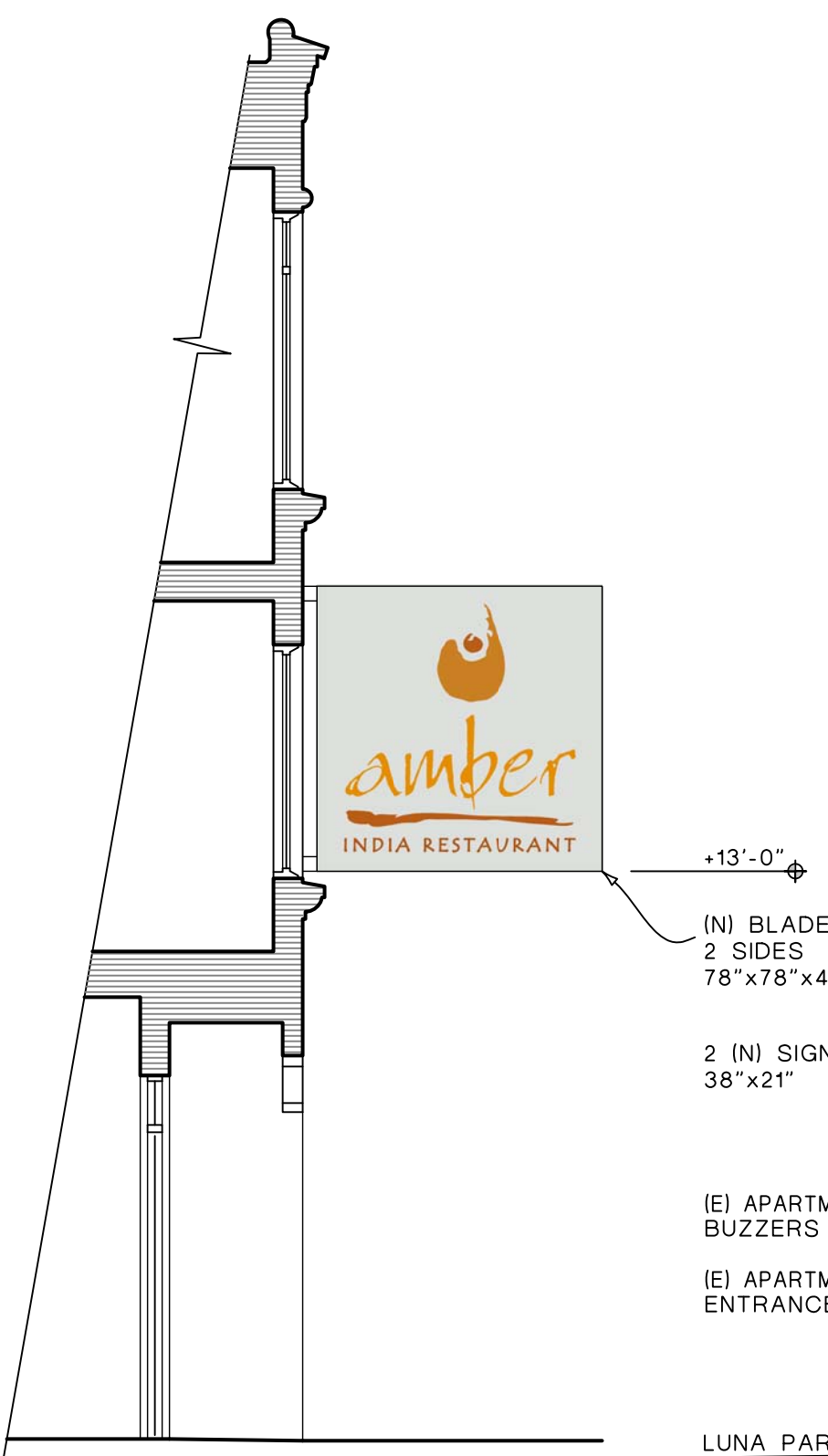
5 VICINITY MAP
A0.2 NOT TO SCALE



6 SITE PLAN
A0.2 SCALE: 1/8" = 1'-0"



1 ELEVATION - EXISTING STREET FACADE
A0.2 SCALE: 1/4" = 1'-0"



2 SECTION AT ENTRY
A0.2



3 PROPOSED RESTAURANT STOREFRONT
A0.2 SCALE: 1/4" = 1'-0"

These drawings, specifications or other documents have been provided by Thompson Planning & Design (TP&D) in CAD electronic file format (DATA). The DATA represents instruments of professional service and TP&D retains all proprietary rights, including the copyright. The DATA shall be used only for the construction and occupancy of Amber India Restaurant, 680 Valencia Street, San Francisco, California, in accordance with the terms of the Agreement between TP&D and Amber Foods Enterprises Inc. The DATA may not be used on other projects or modified for use on this project without the express written consent of Thompson Planning & Design.

Architect
Charles Glenn Thompson
Thompson Planning & Design
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Architect Registration
LICENSED ARCHITECT
CHARLES GLENN THOMPSON
No. C. 23427
5/31/11 RENEWAL DATE
STATE OF CALIFORNIA

Project Name
amber
INDIA RESTAURANT
680 Valencia Street, San Francisco, California 94110

Owner
Amber Foods Enterprises, Inc.
2290 West El Camino Real
Mountain View, CA 94040

Sheet Description
Vicinity Map, Site Plan & Exterior Elevations
Issues and Revisions
CONDITIONAL USE AUTHORIZATION DECEMBER 10, 2010
CONDITIONAL USE AUTHORIZATION - REVISED MARCH 25, 2011

Scale
as noted
Sheet Number
A0.2

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE AND INSTALL INTERIOR MAXIMUM OCCUPANCY SIGNS (BRONZE FINISH, BLACK LETTERS) IN CONSPICUOUS PLACES NEAR THE MAIN ENTRANCE AND ELSEWHERE AS DIRECTED BY THE FIRE MARSHAL. ARCHITECT TO APPROVE SHOP DRAWING. SIGNS SHALL READ: MAXIMUM OCCUPANCY
207 PERSONS
- MOVEABLE TABLES, CHAIRS, PLANTS ARTWORK AND ARTIFACTS ARE PROVIDED AND INSTALLED BY OWNER, UNLESS OTHERWISE NOTED.
- ALL SHELVING, WALL-MOUNTED AND FREE STANDING, SHALL BE PROVIDED BY THE K.E.C. EXCEPT AS SHOWN ON MILLWORK DRAWINGS AND INTERIOR ELEVATIONS, WHICH SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE ALL BACKING IN WALLS, AS REQUIRED.
- IN AREAS SERVING EMPLOYEES ONLY, THE MINIMUM EXIT WIDTH SHALL BE 24 INCHES, BUT NOT LESS THAN THE EXIT WIDTH DETERMINED AS SPECIFIED BY THE C.B.C.
- IN PUBLIC AREAS OF ASSEMBLY OCCUPANCIES WITHOUT FIXED SEATS, THE MINIMUM CLEAR AISLE WIDTH SHALL BE 36 INCHES WHERE SEATS, TABLES, FURNISHINGS, DISPLAYS AND SIMILAR FIXTURES OR EQUIPMENT ARE PLACED ON ONLY ONE SIDE OF THE AISLE AND 44 INCHES WHEN SUCH OBSTRUCTIONS ARE PLACED ON BOTH SIDES OF THE AISLE.
- GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SIGNS THAT READ: "THIS DOOR SHALL REMAIN UNLOCKED DURING BUSINESS HOURS" AT MAIN ENTRY DOORS.

POINT OF SALES REQUIREMENTS

- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OWNER'S P.O.S. REPRESENTATIVE AND INSTALLER, AND PROVIDE ALL CONDUIT, WIRING AND CONNECTIONS AS MAY BE REQUIRED TO FURNISH SYSTEM COMPLETE.
- ALL ELECTRICAL OUTLETS FOR THE P.O.S. SYSTEM COMPONENTS SHALL BE DEDICATED CIRCUITS WITH ISOLATED GROUND.

LOW VOLTAGE

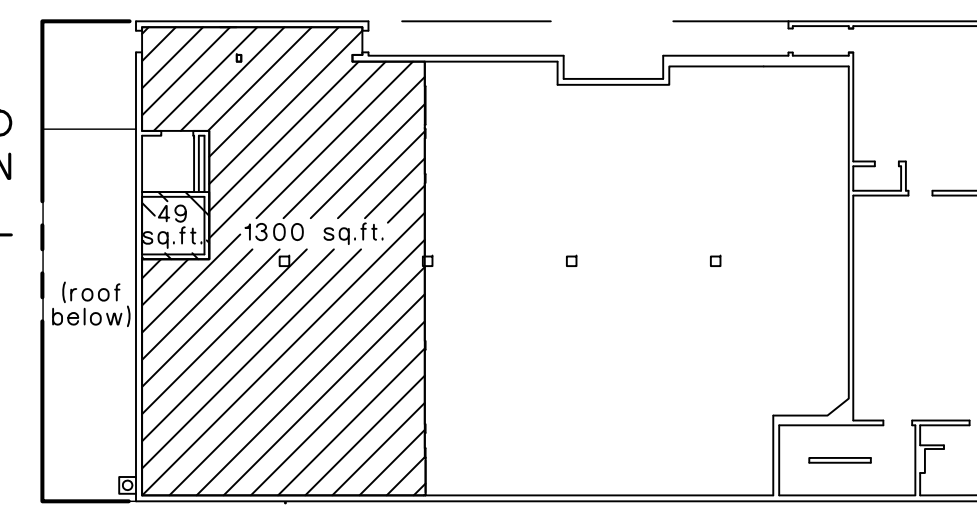
- TEL RECESSED TELEPHONE PANEL WITH LOCK
- TELEPHONE OUTLET, +48" A.F.F., U.O.N.
- DATA/TV CABLE
- P.O.S. SETTLEMENT TERMINAL
- P.O.S. PRINTER - REMOTE
- P.O.S. PRECHECK / CREDIT CARD CHECK
- P.O.S. CASH DRAWER

POWER / SIGNAL LEGEND

- NOTE: SEE SHEET A1.2 FOR POWER & SIGNAL REQUIREMENTS
- SPST SWITCH, 48" A.F.F., U.O.N.
 - PROVIDE TIMER SWITCHES AT ALL STOREROOMS.
 - 15 AMP, 120 VOLT, DUPLEX RECEPTACLE 15" A.F.F., U.O.N. [42 = 42" A.F.F. HORIZONTAL]
 - 15 AMP, 120 VOLT, FOURPLEX RECEPTACLE 15" A.F.F., U.O.N.
 - 15 AMP, 120 VOLT, 3PG FLOOR-RECESSED DUPLEX RECEPTACLE WITH SOLID BRASS COVER PLATE
 - JUNCTION BOX
 - BELL TO OFFICE/KITCHEN, +60" A.F.F., U.O.N.
 - FIRE EXTINGUISHER, +48" A.F.F.
 - RECESSED DIMMER CONTROLS: PANEL BOX w/ LOCK, +54" A.F.F., U.O.N. WITH SOLID BRASS COVER PLATE
 - SEMI-RECESSED ELECTRICAL PANEL WITH LOCK

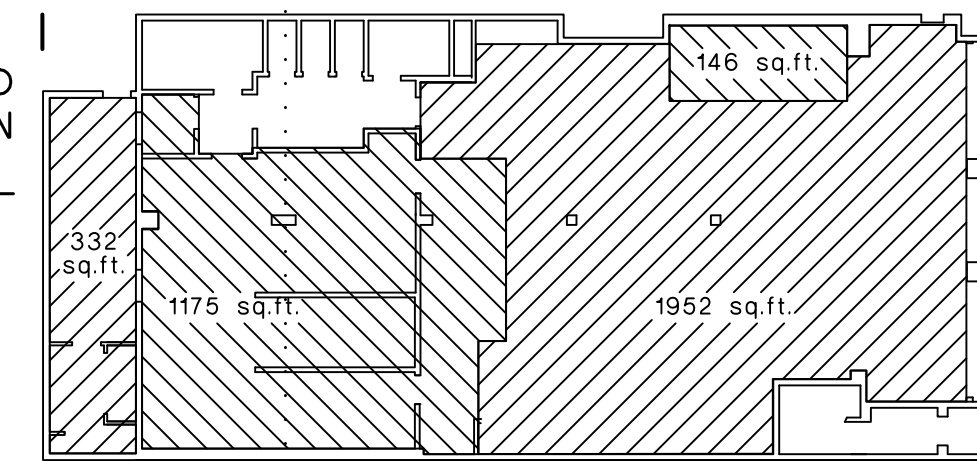
OCCUPANT LOAD CALCULATION PLAN - UPPER LEVEL

3
A1.1



OCCUPANT LOAD CALCULATION PLAN - STREET LEVEL

2
A1.1



OCCUPANT LOAD CALCULATIONS

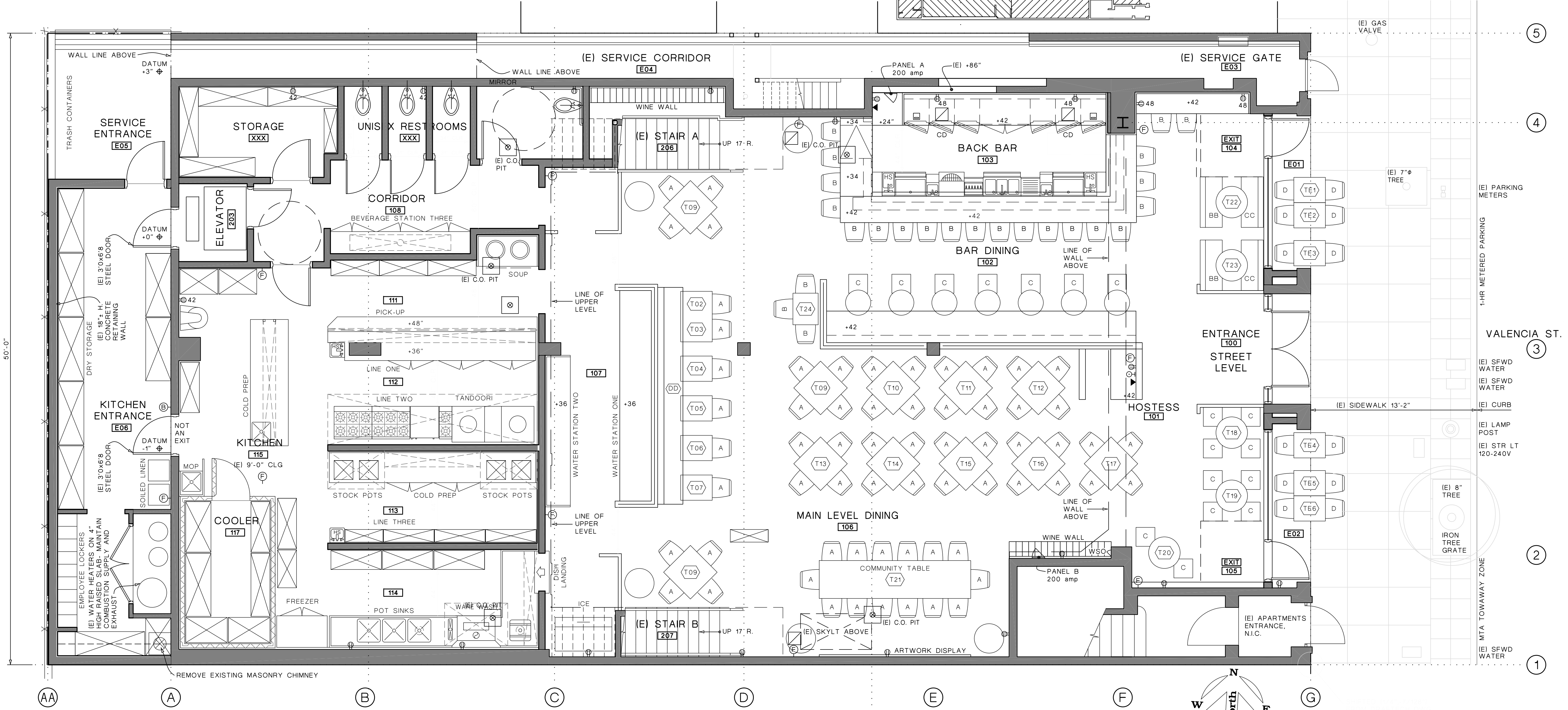
PUBLIC AREA - UPPER LEVEL	1300 sq.ft.
PUBLIC AREA - STREET LEVEL	+1952 sq.ft.
PER PERSON	15 sq.ft. = 217 PERSONS
BACK OF HOUSE: KITCHEN	1175 sq.ft.
BACK BAR	+146 sq.ft.
TOTAL	1321 sq.ft.
PER PERSON	200 sq.ft. = 7 PERSONS
DRY STORAGE	332 sq.ft.
PER PERSON	300 sq.ft. = 2 PERSONS
TOTAL	226 PERSONS

TOILET FIXTURE LOAD CALCULATION

PUBLIC AREA	+3252 sq.ft.
TOTAL	3252 / 30 = 108
	108 / 2 = 54

SEATING COUNT

INTERIOR SEATING COUNT	SEATS
AT THE BAR	21
BAR DINING	26
DINING	72
UPPER LEVEL	85
INTERIOR TOTAL	204
EXTERIOR SEATING COUNT	12
TOTAL	216



1 FIXTURE, POWER & SIGNAL PLAN - STREET LEVEL

A1.1 SCALE: 1/4" = 1'-0"

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Architect Registration

Project Name

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Owner
Amber Foods Enterprises, Inc.
 2290 West El Camino Real
 Mountain View, CA 94040

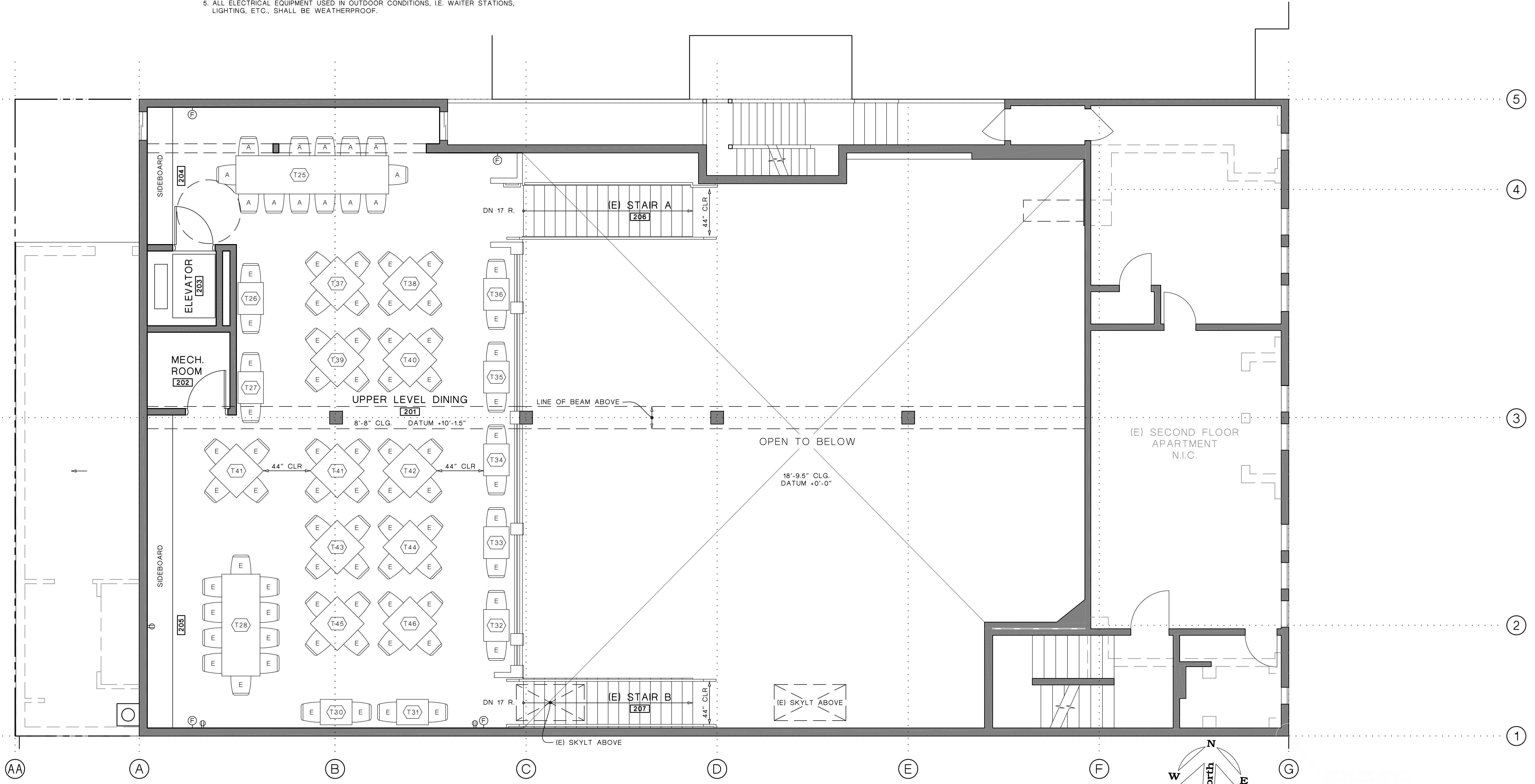
Sheet Description
Fixture, Power, & Signal Plan
Main Level
Issues and Revisions

CONDITIONAL USE AUTHORIZATION	DECEMBER 10, 2010
CONDITIONAL USE AUTHORIZATION - REVISED	MARCH 25, 2011

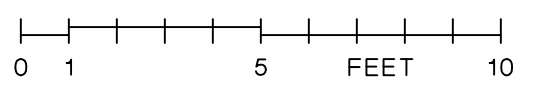
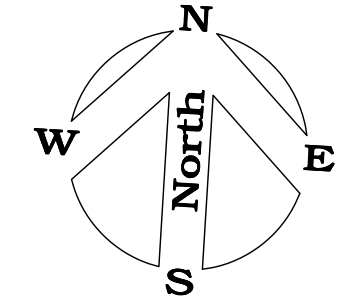
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 1/4" = 1'-0"
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A1.1

POWER & SIGNAL REQUIREMENTS

- VISIT SITE OF THE WORK, COMPARE IT WITH THE DRAWINGS AND SPECIFICATIONS AS TO THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, ASCERTAIN AND CHECK ALL CONDITIONS AND ELEVATIONS AND TAKE ALL MEASUREMENTS WHICH MAY AFFECT THE WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE FOR ANY EXTRA EXPENSE OR CLAIMS DUE TO FAILURE OR NEGLECT UNDER THIS REQUIREMENT TO MAKE SUCH EXAMINATION, INCLUDING EXAMINATION OF RESTRICTED WORKING CONDITIONS OR SUCH OTHER DIFFICULTIES VISUALLY OBSERVED DURING SITE VISIT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR BECOMING COMPLETELY FAMILIAR WITH THE ARCHITECTURAL AND STRUCTURAL CONDITIONS AND LIMITATIONS WHICH WILL EXIST IN THE BUILDING AND TO PROVIDE ALL LABOR, TOOLS AND MATERIALS REQUIRED TO PRODUCE A COMPLETELY CONCEALED INSTALLATION AS INDICATED ON THE PLANS, SPECIFICATIONS, AND REQUIRED BY THE CODE.
- UNLESS OTHERWISE NOTED ALL WORK SHOWN ON DRAWINGS IS NEW AND TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
- WHEN CORD AND PLUG ARE SUPPLIED BY EQUIPMENT MANUFACTURER, PROVIDE ELECTRICAL OUTLET TO MATCH SUPPLIED PLUG.
- ALL ELECTRICAL EQUIPMENT USED IN OUTDOOR CONDITIONS, I.E. WAITER STATIONS, LIGHTING, ETC., SHALL BE WEATHERPROOF.
- FOR ALL EXTERIOR BUILDING PENETRATIONS, COORDINATE AND COOPERATE WITH THE GENERAL CONTRACTOR TO INSURE PROPER SEALING TO PREVENT LEAKS.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING & PATCHING RELATED TO ELECTRICAL WORK, UNLESS NOTED OTHERWISE AND COORDINATED WITH THE GENERAL CONTRACTOR & THE BASE BUILDING CONTRACTOR, AS REQ'D.
- ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGES AND HORSEPOWER OR KW RATING OF ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.
- UNLESS OTHERWISE NOTED, WHERE TWO SWITCHES CONTROL THE LIGHTING FIXTURES IN A ROOM, CONNECT SO THAT ONE SWITCH CONTROLS THE OUTSIDE FLUORESCENT LAMPS AND THE OTHER SWITCH CONTROLS THE CENTER LAMP.
- VERIFY EXACT LOCATIONS, POWER AND CONNECTION REQUIREMENTS OF THE FOLLOWING EQUIPMENT PRIOR TO ROUGH IN:
 - A. MECHANICAL EQUIPMENT
 - B. KITCHEN/BAR EQUIPMENT
 - C. AUDIO EQUIPMENT COMPONENTS
 - D. P.O.S. EQUIPMENT
- MAINTAIN "AS BUILT" RECORDS AT ALL TIMES, SHOWING EXACT LOCATION OF ALL CONCEALED CONDUITS AND SERVICES INSTALLED UNDER THIS CONTRACT, INCLUDING CIRCUIT IDENTIFICATION WHERE APPLICABLE. PROVIDE OWNER WITH A SET OF "AS BUILT" VELLUMS AND C.A.D. FILE. "AS BUILT" COMMENTS SHALL BE WRITTEN IN A LEGIBLE MANNER IN THE SAME STYLE AS THE CONTRACT DOCUMENTS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OWNERS SECURITY SYSTEM INSTALLER AND PROVIDE ALL WIRING AND/OR CONNECTIONS REQUIRED TO FURNISH SYSTEM COMPLETE.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S AUDIO INSTALLERS AND PROVIDE LINES, CONDUIT AND EQUIPMENT AS MAY BE REQUIRED TO FURNISH THE SYSTEMS COMPLETE. VERIFY EXTENT OF THE WORK WITH THE OWNER PRIOR TO BID.
- ELECTRICAL OUTLETS, SWITCHES AND COVER PLATES, ETC. SHALL BE FURNISHED AND INSTALLED IN COLOR TO MATCH FINISH SURFACE LOCATED ON, I.E., DARK BROWN, BEIGE, WHITE OR STAINLESS STEEL.
- ALL JUNCTION BOXES INTENDED FOR EXTERIOR SIGNS SHALL BE DEDICATED CIRCUITS WITH ISOLATED GROUND.



1 FIXTURE, POWER & SIGNAL PLAN - UPPER LEVEL
A1.2 SCALE: 1/4" = 1'-0"



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Sheet Description
Fixture, Power, & Signal Plan
Upper Level

Issues and Revisions

CONDITIONAL USE AUTHORIZATION	DECEMBER 10, 2010
CONDITIONAL USE AUTHORIZATION - REVISED	MARCH 25, 2011

Scale
 1/4" = 1'-0"

Sheet Number
A1.2



18th Street

THEATRE ZINZANNI

LOVE CLOSE DINNER

18TH ST

AM

CINTAS

6HVL809



LUNA
PARK
KITCHEN
&
COCKTAILS

680

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