



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: SEPTEMBER 20, 2012

Date: September 13, 2012
Case No.: **2011.0277CE**
Project Address: **2750 JACKSON STREET**
Zoning: RH-2 (Residential, House, Two-Family) District
40-X Height and Bulk District
Block/Lot: 0978/018
Project Sponsor: Town School for Boys
2750 Jackson Street
San Francisco, CA 94115
Staff Contact: Mary Woods – (415) 558-6315
mary.woods@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project is a renovation and addition to the Town School for Boys. The proposal includes the excavation of approximately 14,500 square feet beneath the school's lower athletic field for a new below-grade multi-purpose room, and a three-story, approximately 3,700 square feet, 40-foot tall, horizontal addition at the western portion of the building, while another 1,200 square feet is in the form of a four-foot horizontal expansion at the front of the building, for a total increase of approximately 19,000 square feet. Upon completion, the school will contain approximately 74,000 square feet. The existing classroom count will increase from 29 to 36. The existing student population of up to 400 students will remain unchanged.

The proposed project will be built in three phases to accommodate the academic calendar and fund-raising. A brief description of the three phases of construction is as follows:

- (i) Phase 1 includes window replacement at the north façade, interior renovations, and foundation/seismic upgrades. A Building Permit (Permit No. 2011.11.22.1168S) was approved by the Planning Department on February 10, 2012 as part of the Phase I scope of work. Phase 1 construction started in summer 2012.
- (ii) Phase 2 includes excavation for the new multi-purpose room and new classrooms, demolition of the existing building core and construction of the new modernized academic core. Phase 2 construction is anticipated in 2013 through 2015.

- (iii) Phase 3 includes the energy efficiency upgrades to and relocation of the existing glazing on the east and south facades. Phase 3 construction is anticipated in 2018 through 2021.

SITE DESCRIPTION AND PRESENT USE

The project is located at the northwest corner of Jackson and Scott Streets, Block 0978, Lot 018. The site occupies approximately 70 percent of the block's frontage on Jackson Street, bounded by Divisadero Street to the west, Pacific Avenue to the north, and Scott Street to the east. The property is located in an RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District.

The property is developed with an approximately 54,000 square feet, two to three-story school building with a partial basement. The existing boys only school serves Kindergarten through Grade 8 with a current enrollment of 400 students. The site currently has two outdoor athletic fields used for physical education and recreational activities. The "lower athletic field" is located behind the two-story portion of the school building at the northwest corner of the project site, while the "upper athletic field" is located above the roof of the corner, three-story portion of the school building. The building's existing height ranges from 37 feet to 51 feet in the location of the legal non-conforming gym roof. The project site contains no off-street parking; however, a white zone fronting on Jackson Street is provided to accommodate pick-up and drop-off of students.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Pacific Heights neighborhood, surrounded by three to four-story residential properties. The site slopes up towards the northwest, and the rear yards of the neighboring properties are level with the roof-top elevation of the school. The existing school was constructed into the hillside and the north wall of the school (parallel to Jackson Street and perpendicular to Scott Street) acts as a two-story retaining wall. The site is diagonally across from the Alta Plaza Park.

ENVIRONMENTAL REVIEW

On August 8, 2012, a Preliminary Mitigated Negative Declaration (PMND) for the project was published and was available for public comment until August 28, 2012. No appeal of the PMND was filed with the Planning Department.

On August 30, 2012, the Planning Department reviewed and considered the Final Mitigated Negative Declaration (FMND) and found that the contents of said report and the procedures through which the FMND was prepared, publicized, and reviewed complied with the California Environmental Quality Act (California Public Resources Code Sections 21000 et seq.) (CEQA), Title 14 California Code of Regulations Sections 15000 et seq. (the "CEQA Guidelines"), and Chapter 31 of the San Francisco Administrative Code ("Chapter 31"). The Department found the FMND was adequate, accurate and objective, reflected the independent analysis and judgment of the Department, and approve the FMND for the project in compliance with CEQA, the CEQA Guidelines and Chapter 31.

Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP), setting forth measures to reduce potential environmental effects. These mitigation measures reduce all potential significant impacts to less than significant levels and are set forth in entirety in the MMRP attached to the Draft Motion as Exhibit C.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	August 24, 2012	August 24, 2012	20 days
Posted Notice	20 days	August 24, 2012	August 24, 2012	27 days
Mailed Notice	20 days	August 24, 2012	August 24, 2012	20 days

PUBLIC COMMENT

- The Department has not received any correspondence in support of or in opposition to the project. The project sponsor has held community meetings and discussions with neighbors on several occasions about the proposed project. Most neighbors are in support of the project and appreciative of the outreach by the school. Nonetheless, the neighbors encouraged the project sponsor to extend the school's white zones in order to allow quicker drop-offs and pick-ups in front of the school building.

ISSUES AND OTHER CONSIDERATIONS

- The General Plan encourages the retention and enhancement of educational services in the City in order to maximize the City's social and cultural base.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization to authorize a Planned Unit Development to allow modifications to the rear yard and parking requirements for the expansion of a private elementary and middle school (Town School for Boys) within an RH-2 (Residential, House, Two-Family) District.

BASIS FOR RECOMMENDATION

The Department believes that this project is necessary and/or desirable for the following reasons:

- It will add new educational space and modernize existing spaces, such as classrooms, the library, central circulation, and providing a handicapped accessible elevator to the new rooftop learning garden. Other improvements include new landscaping along Jackson Street and at the rear of the property, window replacement, a new cooling tower, and new bicycle and trash storage sheds.
- The project would ensure the viability of a long-term educational institution established over 74 years ago.

RECOMMENDATION: Approval with Conditions

Attachments:

Draft Motion

Zoning/Parcel Map

Sanborn Map

Aerial Photographs

Zoning Map

Project Sponsor Submittal, including:

- Reduced Plans (EXHIBIT B)
- Site Photographs

Mitigation Monitoring and Reporting Program (EXHIBIT C)

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Draft Motion

HEARING DATE: SEPTEMBER 20, 2012

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 209.3(G), 209.9(B), 303(C) AND 304 OF THE PLANNING CODE TO AUTHORIZE A PLANNED UNIT DEVELOPMENT TO ALLOW THE EXPANSION OF A PRIVATE ELEMENTARY AND MIDDLE SCHOOL (TOWN SCHOOL FOR BOYS), CONSISTING OF EXCAVATION FOR A NEW MULTI-PURPOSE ROOM AND THE RENOVATION OF EXISTING FACILITIES, IN AN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. THE PROJECT REQUIRES MODIFICATIONS TO THE REAR YARD AND PARKING REQUIREMENTS OF THE PLANNING CODE.

PREAMBLE

On April 12, 2011, Town School for Boys (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 209.3(g), 209.9(b), 303(c) and 304 to authorize a Planned Unit Development (PUD) to allow the expansion of a private elementary and middle school (Town School for Boys), consisting of excavation for a new multi-purpose room and the renovation of existing facilities, in an RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District. The Project requires modifications to the rear yard and parking requirements of the Planning Code.

On September 20, 2012, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.0277CE.

On August 8, 2012, a Preliminary Mitigated Negative Declaration (PMND) for the Project was published and was available for public comment until August 28, 2012. No appeal of the PMND was filed with the Department.

On August 30, 2012, the Department reviewed and considered the Final Mitigated Negative Declaration (FMND) and found that the contents of said report and the procedures through which the FMND was prepared, publicized, and reviewed complied with the California Environmental Quality Act (California Public Resources Code Sections 21000 et seq.) (CEQA), Title 14 California Code of Regulations Sections 15000 et seq. (the "CEQA Guidelines"), and Chapter 31 of the San Francisco Administrative Code ("Chapter 31"). The Department found the FMND was adequate, accurate and objective, reflected the independent analysis and judgment of the Department, and approve the FMND for the Project in compliance with CEQA, the CEQA Guidelines and Chapter 31.

The Department is the custodian of records, located in the File for Case No. 2011.0277E, at 1650 Mission Street, Fourth Floor, San Francisco, California.

Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP), setting forth measures to reduce potential environmental effects. These mitigation measures reduce all potential significant impacts to less than significant levels and are set forth in entirety in the MMRP attached to the Draft Motion as Exhibit C.

These materials were made available to the public and this Commission for this Commission's review, consideration and action.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, the Commission hereby authorizes the Conditional Use requested in Application No. 2011.0277CE, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project is located at the northwest corner of Jackson and Scott Streets, Block 0978, Lot 018. The site occupies approximately 70 percent of the block's

frontage on Jackson Street, bounded by Divisadero Street to the west, Pacific Avenue to the north, and Scott Street to the east. The property is located in an RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District.

The property is developed with an approximately 54,000 square feet, two to three-story school building with a partial basement. The existing boys only school serves Kindergarten through Grade 8 with a current enrollment of 400 students. The site currently has two outdoor athletic fields used for physical education and recreational activities. The “lower athletic field” is located behind the two-story portion of the school building at the northwest corner of the Project site, and the “upper athletic field” is located above the roof of the corner, three-story portion of the school building. The building’s existing height ranges from 37 feet to 51 feet in the location of the legal non-conforming gym roof. The Project site contains no off-street parking; however, a white zone fronting on Jackson Street is provided to accommodate pick-up and drop-off of students.

3. **Surrounding Properties and Neighborhood.** The Project site is located in the Pacific Heights neighborhood, surrounded by three to four-story residential properties. The Project site slopes up towards the northwest, and the rear yards of the neighboring properties are level with the roof-top elevation of the school. The existing school was constructed into the hillside and the north wall of the school (parallel to Jackson Street and perpendicular to Scott Street) acts as a two-story retaining wall. The site is diagonally across from the Alta Plaza Park.
4. **Project Description.** The Project is a renovation and addition to the Town School for Boys. The proposal includes the excavation of approximately 14,500 square feet beneath the school’s lower athletic field for a new below-grade multi-purpose room, and a three-story, approximately 3,700 square feet, 40-foot tall, horizontal addition at the western portion of the building, while another 1,200 square feet is in the form of a four-foot horizontal expansion at the front of the building, for a total increase of approximately 19,000 square feet. Upon completion, the school will contain approximately 74,000 square feet. The existing classroom count will increase from 29 to 36. The existing student population of up to 400 students will remain unchanged.

The proposed Project will be built in three phases to accommodate the academic calendar and fund-raising. A brief description of the three phases of construction is as follows:

- (i) Phase 1 includes window replacement at the north façade, interior renovations, and foundation/seismic upgrades. A Building Permit (Permit No. 2011.11.22.1168S) was approved by the Department on February 10, 2012 as part of the Phase I scope of work. Phase 1 construction started in summer 2012.
- (ii) Phase 2 includes excavation for the new multi-purpose room and new classrooms, demolition of the existing building core and construction of the new modernized academic core. Phase 2 construction is anticipated in 2013 through 2015.

- (iii) Phase 3 includes the energy efficiency upgrades to and relocation of the existing glazing on the east and south facades. Phase 3 construction is anticipated in 2018 through 2021.

The proposal requires Section 311-neighborhood notification which was conducted in conjunction with the Conditional Use Authorization process.

- 5. **Public Comment.** The Department has not received any correspondence in support of or in opposition to the proposed Project. The Project Sponsor has held community meetings and discussions with neighbors on several occasions about the proposed project. Most neighbors were in support of the Project and appreciative of the outreach by the school. Nonetheless, the neighbors encouraged the Project Sponsor to extend the school's white zones in order to allow quicker drop-offs and pick-ups in front of the school building.
- 6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Floor Area Ratio (FAR).** Planning Code Section 123 establishes basic FAR for all zoning districts. FAR is the ratio of the gross floor area of all the buildings on a lot to the total area of the lot. Under Table 124, the FAR for RH-2 District is 1.8 to 1. With corner lots, the FAR premium is increased by 25 percent.

With a corner lot area of approximately 35,000 square feet, approximately 79,000 non-residential gross square feet can be developed on the Project Site. The entire school facilities, after the proposed addition and renovations, will contain approximately 74,000 square feet.

- B. **Rear Yard.** Planning Code Section 134 establishes rear yard requirements, which apply to every building in residential districts. These requirements are intended to assure the protection and continuation of established mid-block, landscaped open spaces, and maintenance of a scale of development appropriate to each district, consistent with the location of adjacent buildings. In an RH-2 District, the basic requirement is for a rear yard equal to 45 percent of the lot depth to be provided for all structures.

The existing school site is unusual in that it is so large and irregularly shaped that it does not lend itself to the concept of rear yard measurement typically used in residential districts. The Project therefore is seeking modification to the rear yard requirements under the PUD process pursuant to Planning Code Section 304. PUDs are intended for projects on sites of one-half acre or larger, developed as integrated units and designed to produce an environment of stable and desirable character, which will benefit occupants, the neighborhood, and the City as a whole. The proposed modification is appropriate in light of the unique nature of the Project Site.

The proposed excavation for the multi-purpose room occupies the entire required rear yard area, albeit underground and not visible to the street. The existing building is L-shaped such that a portion of the existing building already encroaches into the required setback. Based on the 45 percent rear yard requirement, approximately 11,000 square feet of rear yard open space needs to be provided at the site.

The current site provides approximately 23,000 square feet of comparable open space in terms of outdoor courts and a court yard distributed throughout the site rather than situated in a single large open space at the rear of the property. With the proposed Project, approximately 24,000 square feet of comparable open space would be maintained at the site.

- C. **Parking.** Planning Code Section 151 requires elementary schools to provide one off-street parking space for every six classrooms.

The school does not currently provide off-street parking on site. The proposed Project will add seven new classrooms; as such, one off-street parking space is required to be provided at the site. The Project, therefore, is seeking modification to the off-street parking requirements under the PUD process pursuant to Planning Code Section 304. A 7-car white zone, fronting Jackson Street, is currently available for morning drop-offs between the hours of 7:45 a.m. and 8:30 a.m. and afternoon pick-ups between 1:30 p.m. and 3:30 p.m., of which 4 of these spaces were added in February 2012 to meet community requests. Also, a 3-car white zone, fronting Scott Street, is currently available for afternoon pick-ups between 1:30 p.m. and 3:30 p.m. The proposed modification is appropriate in light of the unique nature of the Project site.

- D. **Use.** Planning Code Section 209 sets forth the permitted uses in "R" Districts. Section 209.3(g) establishes that elementary schools, either public or private, are conditionally permitted uses in all residential districts. Section 209.9(b) permits a PUD (Section 304) as a Conditional Use in all residential districts. Section 304 permits the Commission to authorize, as a Conditional Use, a PUD.

The Project Sponsor is requesting modifications from Planning Code standards under Section 304, the PUD process, for rear yard requirements (Section 134) and off-street parking requirements (Section 151).

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed additions (approximately 19,400 square feet) is in keeping with other surrounding properties. A majority of the proposed addition will occur below grade. The Project will excavate approximately 14,500 square feet beneath the existing lower athletic field for a new below-grade multi-purpose room. Approximately 3,700 square feet is in the form of a horizontal addition at the western portion of the building, while another 1,200 square feet is in the form of a four-foot horizontal expansion at the front of the building. Upon completion, the school will contain approximately 74,000 square feet. The existing classroom count will increase from 29 to 36. The existing student population of up to 400 students will remain unchanged.

The Project is necessary and desirable because it will add new educational space and modernize existing spaces, such as classrooms, the library, central circulation, and adding a handicapped accessible elevator to the new roof garden. Other improvements include new landscaping along Jackson Street and at the rear of the property, window replacement, a new cooling tower, and new bicycle and trash storage sheds.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

Most of the proposed addition is a multi-purpose room and educational spaces in an excavated area below an existing athletic field. After excavation and construction, the existing field will be restored to its original roof height with minor improvements, such as skylights and benches along its north side (far side from Jackson Street). The remaining additions will be in keeping with the height and bulk of the existing building.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The school does not currently provide off-street parking at the site. There are eight on-site bicycle parking spaces. A 10-car white zone, fronting on both Jackson and Scott Streets, is currently available for morning drop-offs between the hours of 7:45 a.m. and 8:30 a.m. and afternoon pick-ups between 1:30 p.m. and 3:30 p.m. The proposed Project will add seven new classrooms; as such, one off-street parking space is required to be provided at the site. The Project, therefore, is seeking modification to the off-street parking requirements under the PUD process pursuant to Planning Code Section 304. The Project Sponsor will seek additional white zone space, as suggested by neighbors at community outreach meetings, fronting on Jackson and Scott Streets to accommodate nine additional vehicles.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project would not be expected to generate noise, glare, dust or odor since a majority of the proposed addition is below grade. The proposed renovations at the entry, which include a two-story high glass wall above the entry doors would be designed to minimize glaze and in compliance with bird-safe standards. Existing trash storage would be moved from the sidewalk to new trash storage sheds.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project includes a two-story high "green wall" at the main entry, as well as new landscaping and benches, on Jackson Street. Existing open spaces and outdoor courts would be maintained and a new roof garden provided. No off-street parking is currently provided at the site; however, curbside drop-offs and pick-ups are available at the existing white zone at the intersection of Jackson and Scott Streets. MUNI lines (#s: 3 and 24) are also available near the Project site on Jackson Street. With regard to lighting, new lighting will be provided at the renovated exit court on Scott Street. Emergency lighting will be provided as required. New signage is proposed at the main entry on Jackson Street.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project would enhance the quality of the existing school facilities and improve a use that is already present on the site. It would comply with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

8. **Planned Unit Development.** Planning Code Section 304 allows modifications through a Planned Unit Development (PUD). The project requires modification of the Planning Code standards for rear yard and off-street parking requirements. The modifications are appropriate in light of the unique nature of the Site. The Project meets the criteria for a PUD established under Section 304(d), as described below:

- (a) Affirmatively promote applicable objectives and policies of the General Plan. The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

Government, Health and Educational Services

Objectives and Policies

OBJECTIVE 7:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENT, HEALTH AND EDUCATIONAL SERVICES.

Policy 7.2:

Encourage the extension of needed health and educational services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

Policy 7.3:

Promote the provision of adequate health and educational services to all geographical districts and cultural groups in the City.

A majority of the proposed addition would occur below grade and would not be visible from the public right-of-way. The Project would enhance the quality of the existing school facilities and improve a use that is already present on the site for over 74 years.

COMMUNITY SAFETY ELEMENT

Hazard Mitigation

OBJECTIVE 2:

REDUCE STRUCTURAL AND NON-STRUCTURAL HAZARDS TO LIFE SAFETY, MINIMIZE PROPERTY DAMAGE AND RESULTING SOCIAL, CULTURAL AND ECONOMIC DISLOCATIONS RESULTING FROM FUTURE DISASTERS.

As part of the Project, foundation and seismic upgrades are proposed to ensure life safety in case of future disasters.

URBAN DESIGN ELEMENT

City Pattern

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Organization and Sense of Purpose

Policy 1.6:

Make centers of activity more prominent through design of street features and by other means.

New landscaping and bench improvements are proposed along the Jackson Street frontage, providing a more human scale to the streetscape while accommodating students who wait to be picked up or gather for after-school activities.

CONSERVATION

Richness of Past Development

Policy 2.5:

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

Much of the existing facades will be maintained with the exception of the proposed modernized entry and four-foot horizontal expansion at the front of the building. The new entry includes a two-story high "green wall" and the glass wall above the entry doors would be designed to minimize glare and in compliance with bird-safe standards, softening and complementing the existing mid-1960s concrete structure.

MAJOR NEW DEVELOPMENT

Height and Bulk

Policy 3.6:

Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.

Most of the proposed addition is a multi-purpose room and educational spaces in an excavated area below an existing athletic field. After excavation and construction, the existing field will be restored to its original roof height with minor improvements, such as skylights and benches along its north side (far side from Jackson Street). The remaining additions will be in keeping with the height and bulk of the existing building.

NEIGHBORHOOD ENVIRONMENT

Visual Amenity

Policy 4.12:

Install, promote and maintain landscaping in public and private areas.

New landscaping and bench improvements are proposed along the Jackson Street frontage, as well as maintaining existing landscaping on Scott Street. The Project will also create a new rooftop learning garden.

(b) Provide off-street parking adequate for the occupancy proposed;

The school does not currently provide off-street parking at the site. There are eight on-site bicycle parking spaces. A 7-car white zone, fronting Jackson Street, is currently available for morning drop-offs between the hours of 7:45 a.m. and 8:30 a.m. and afternoon pick-ups between 1:30 p.m. and 3:30 p.m., of which 4 of these spaces were added in February 2012 to meet community requests. Also, a 3-car white zone, fronting Scott Street, is currently available for afternoon pick-ups between 1:30 p.m. and 3:30 p.m. The Project, therefore, is seeking modification to the off-street parking requirements under the PUD process pursuant to Planning Code Section 304. The Project Sponsor has sought and was granted additional white zone spaces in February 2012, as suggested by neighbors at community outreach meetings, fronting on Jackson Street to accommodate four additional vehicles. MUNI lines (#s: 3 and 24) are also available near the project site on Jackson Street.

(c) Provide open space usable by the occupants and, where appropriate, by the general public, at least equal to the open spaces required by this Code;

The existing school site is unusual in that it is so large and irregularly shaped that it does not lend itself to the concept of rear yard measurement typically used in residential districts. The existing building is L-shaped such that a portion of the existing building already encroaches into the required setback. Based on the 45 percent rear yard requirement, approximately 11,000 square feet of rear yard open space needs to be provided at the site. The current site provides approximately 23,000 square feet of comparable open space in terms of outdoor courts and a court yard distributed throughout the site

rather than situated in a single large open space at the rear of the property. With the proposed Project, approximately 24,000 square feet of comparable open space would be maintained at the site.

- (d) Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of the Code for a district permitting a greater density, so that the PUD will not be substantially equivalent to a reclassification of property;

No residential development is proposed.

- (e) In R Districts, include commercial uses only to the extent that such uses are necessary to serve residents of the immediate vicinity, subject to the limitations for NC-1 Districts under this Code, and in RTO Districts include commercial uses only according to the provisions of Section 230 of this Code;

No commercial uses are proposed.

- (f) Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections;

The Project is consistent with the applicable height limit.

- (g) In NC Districts, be limited in gross floor area to that allowed under the floor area ratio limit permitted for the district in Section 124 and Article 7 of this Code;

The Project Site is not in an NC District.

- (h) In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code; and

The Project site is not in an NC District.

- (i) In RTO and NCT Districts, include the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of block size, streets and alleys, and foster beneficial pedestrian and vehicular circulation.

The Project site is not in an RTO or NCT District.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

Existing neighborhood-serving retail uses would not be affected by the Project.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing units in the surrounding neighborhood would not be affected by the Project.

C. That the City's supply of affordable housing be preserved and enhanced,

The supply of affordable housing would not be affected by the Project.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not impede MUNI services or impact the City's streets or neighborhood parking. The existing student population of up to 400 students will remain unchanged.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project would not displace any service or industry establishment as well as any industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.

F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. Phase 1 of the proposed Project involves foundation and seismic upgrades.

G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project Site.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project would not affect parks or open space.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.0277CE** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated September 6, 2012, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. _____. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 20, 2012.

Linda D. Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: September 20, 2012

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to authorize a Planned Unit Development with modifications to the rear yard and parking requirements to allow the expansion of a private elementary and middle school (Town School for Boys) located at 2750 Jackson Street, Assessor's Block 0978, and Lot 018 pursuant to Planning Code Sections 209.3(g), 209.9(b), 303(c) and 304 within an RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District; in general conformance with plans, dated September 6, 2012, and stamped "EXHIBIT B" included in the docket for Case No. 2011.0277CE and subject to conditions of approval reviewed and approved by the Commission on September 20, 2012 under Motion No. _____. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on September 20, 2012 under Motion No. _____.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the "Exhibit A" of this Planning Commission Motion No. _____ shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building Permit Application for the Project. The Index Sheet of the construction plans shall reference the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a Building Permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for the duration of the phased development as described above under Finding No. 4 - Project Description until 2021. A Building Permit from the Department of Building Inspection to construct the Project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed Project and conveys no independent right to construct the Project or to commence the approved use. The Commission may, in a public hearing, consider the revocation of the approvals granted if a Site or Building Permit has not been obtained within the timeline of the phased development of the date of the Motion approving the Project. Once a Site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a Building Permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

MITIGATION MONITORING AND REPORTING PROGRAM (MMRP)

2. **Mitigation Measures.** Mitigation measures described in the MMRP attached as EXHIBIT C are necessary to reduce potential environmental effects, and have been agreed to by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

ENROLLMENT

3. **Maximum student enrollment.** The maximum number of students permitted shall be 400 at any given time.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

DESIGN

4. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

SIGNAGE

5. **New signage.** All Project signage shall be consistent with the controls of Article 6 of the Planning Code and shall be reviewed and approved by the Planning Department.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

MONITORING

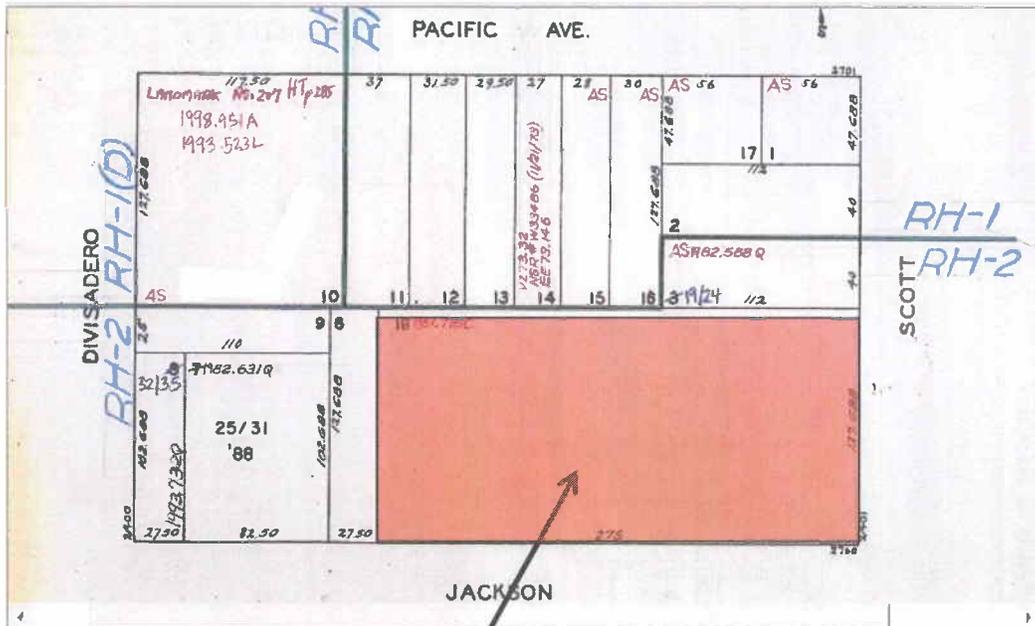
6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of the Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other City departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

7. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>*

Zoning / Parcel Map



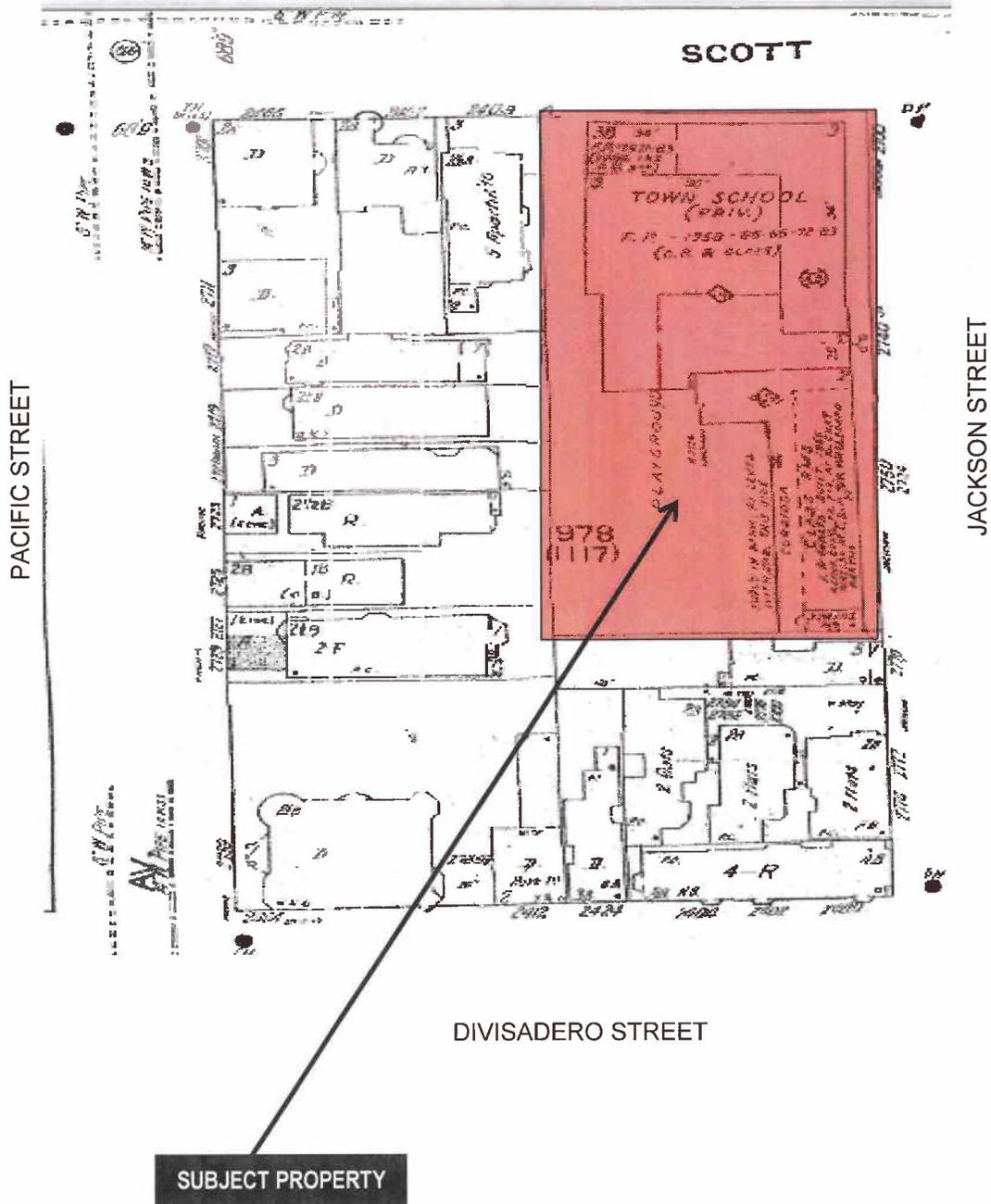
SUBJECT PROPERTY



Conditional Use Hearing
 Case Number 2011.0277CE
 2750 Jackson Street

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Hearing
Case Number 2011.0277CE
2750 Jackson Street



Aerial Photo

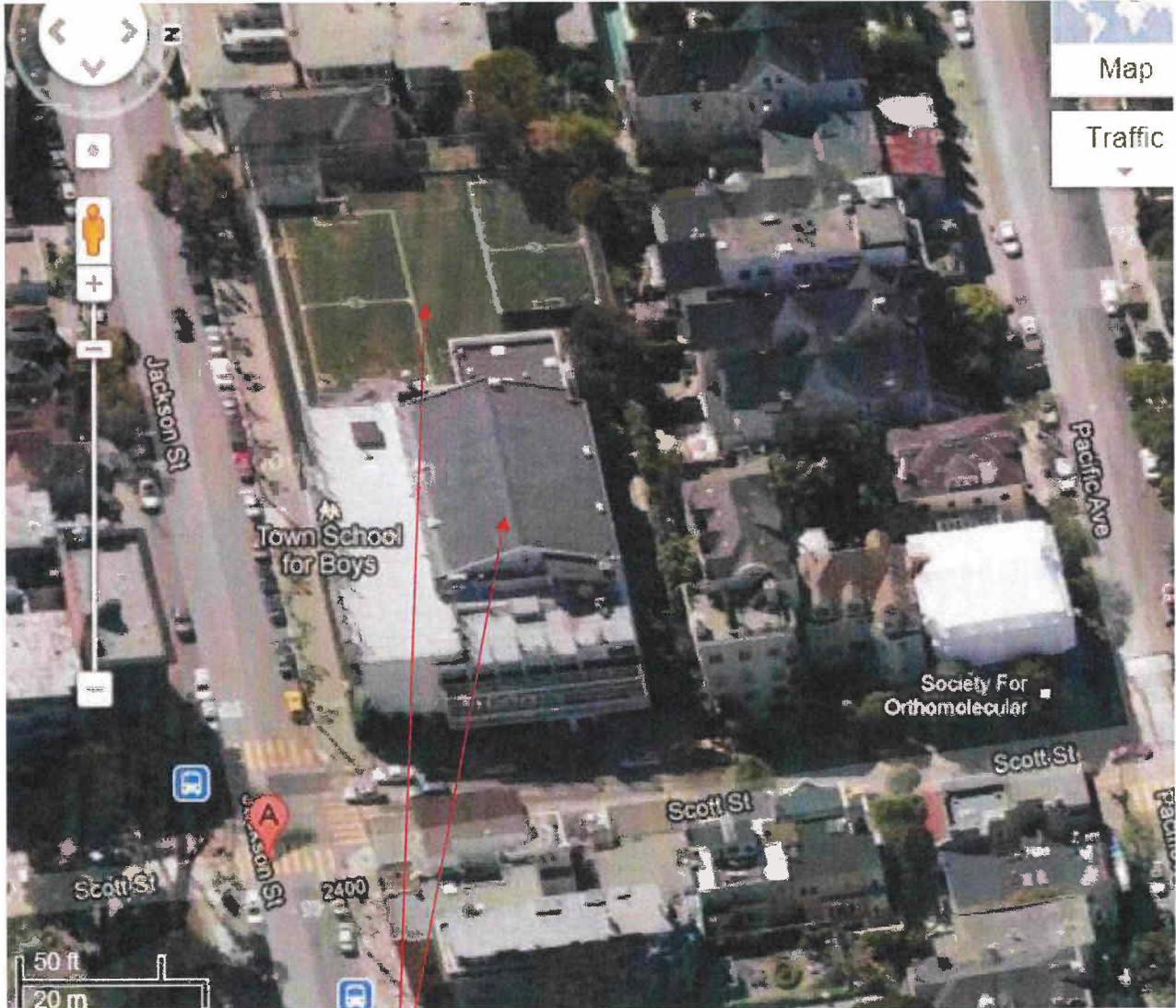


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0277CE
2750 Jackson Street

Aerial Photo

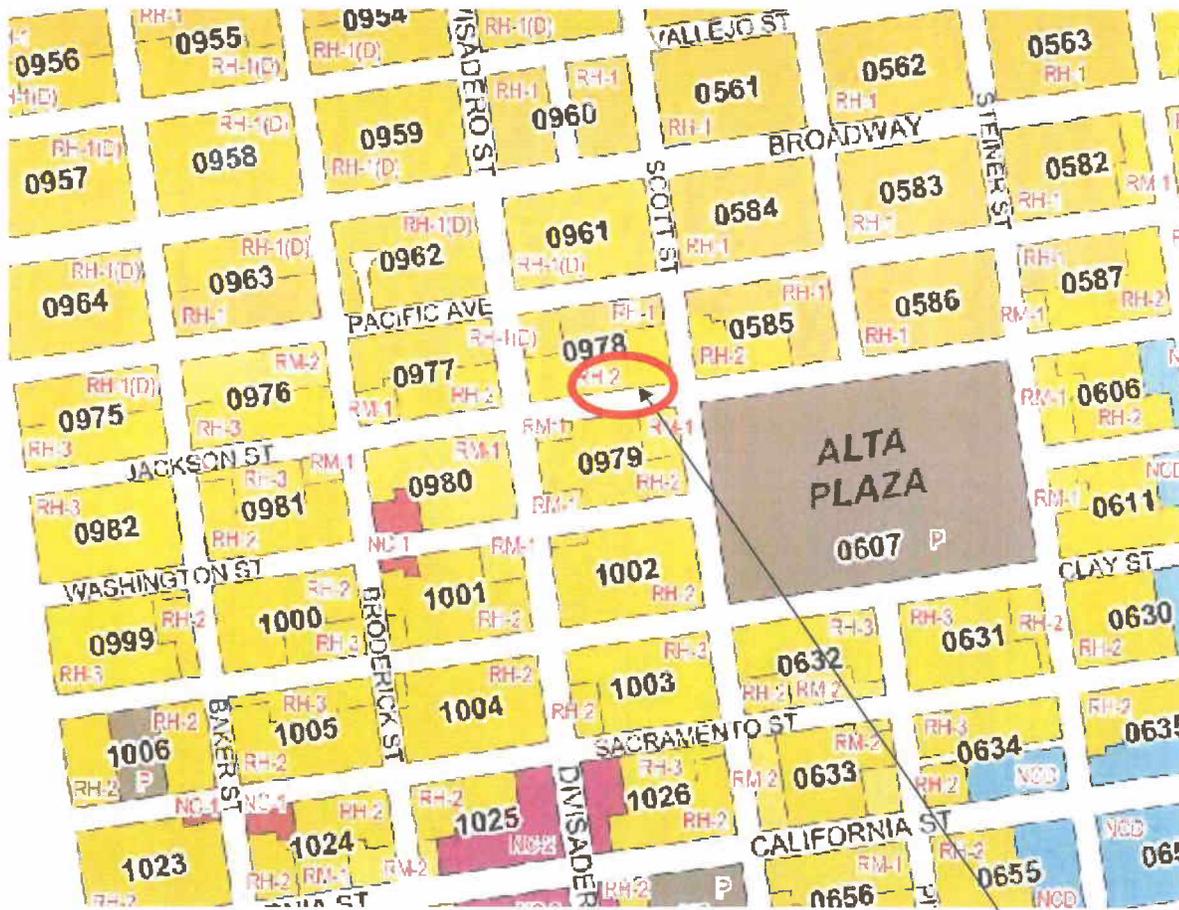


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2011.0277CE
2750 Jackson Street

Zoning Map



ZONING USE DISTRICTS

RESIDENTIAL, HOUSE DISTRICTS

RH-1(D) RH-1 RH-1(S) RH-2 RH-3

RESIDENTIAL, MIXED (APARTMENTS & HOUSES) DISTRICTS

RM-1 RM-2 RM-3 RM-4

NEIGHBORHOOD COMMERCIAL DISTRICTS

NC-1 NC-2 NC-3 NCD NC-S

SOUTH OF MARKET MIXED USE DISTRICTS

SPD RED RSD SLR SLI SSO

COMMERCIAL DISTRICTS

C-2 C-3-S C-3-G C-3-R C-3-O C-3-O(SD)

INDUSTRIAL DISTRICTS

C-M M-1 M-2

CHINATOWN MIXED USE DISTRICTS

CRNC CVR CCB

RESIDENTIAL-COMMERCIAL DISTRICTS

RC-3 RC-4

REDEVELOPMENT AGENCY DISTRICTS

MB-RA HP-RA

DOWNTOWN RESIDENTIAL DISTRICTS

RH-DTR TB-DTR

MISSION BAY DISTRICTS

MB-OS MB-O

PUBLIC DISTRICT

P

PROJECT SITE



Conditional Use Hearing
Case Number 2011.0277CE
2750 Jackson Street

Design Intent

Our intent is to use the building as a teaching tool and express the process of making the new building in the final form. Ideas such as earth, landscape, sun and sky will drive the selection and placement of materials and building elements.

Form

The project is comprised of 3 primary elements that will be visible from the exterior; the west wing, the east wing and the central core. The massing is designed to respect the neighborhood scale and is in accordance with height and PUD requirements of the San Francisco Planning Code. The east and west wings will be expanded on the Jackson Street frontage, capturing more classroom area by relocating the glazing to the existing slab edge. New sunshading at the east and west wings will enhance the classroom environment by maximizing interior daylighting. The core will be designed as a new unifying insertion into the building and site, creating aesthetic cohesion with the west (lower) and east (higher) wings on Jackson Street and expressed through the materials described below.

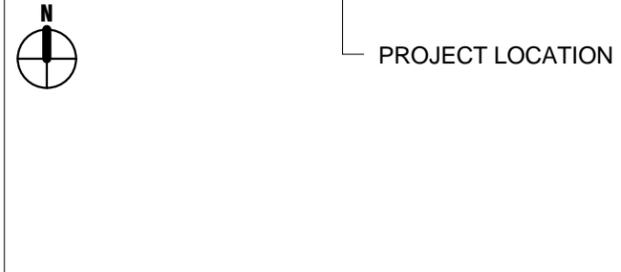
Materials

In general, natural feeling materials will be selected which will potentially include stone, wood and plantings. The building will encourage engagement with these materials through integrated places for sitting at the sidewalk level and balconies and lookout windows at the upper levels.

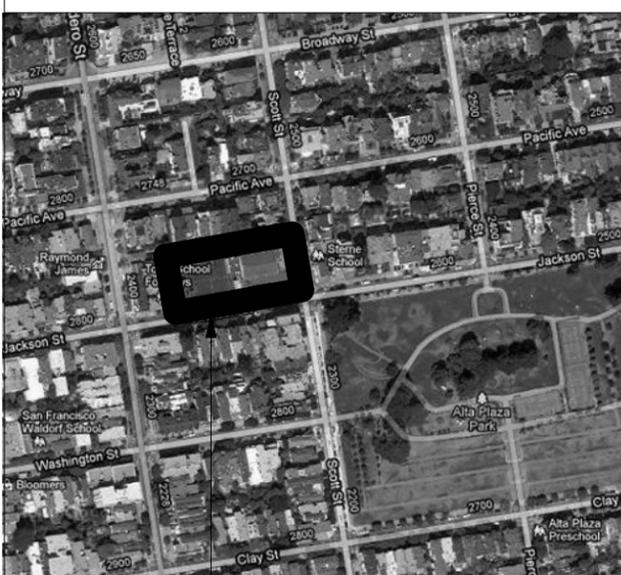
New glazing above the main entry will be expressed as a teaching tool and may incorporate a sundial designed in accordance to the San Francisco Bird Safe Guidelines.

The composition of materials will vary based on the building's relationship to the earth. Stone may be used to articulate a strong building base. Planting and plant toned materials may be used moving up the building.

SITE LOCATION MAP



AERIAL SITE PHOTO



PROJECT INFORMATION

	EXISTING	PROPOSED	
USE	PRIVATE K-8 BOYS SCHOOL	NO CHANGE	
OCCUPANCY	"E" EDUCATION	NO CHANGE	
OCCUPANT LOAD	400 STUDENTS PER 1981 CONDITIONAL USE PERMIT	NO CHANGE	
CONSTRUCTION TYPE	1-B	NO CHANGE	
NUMBER OF STORIES	3 + BASEMENT	3 + BASEMENT/ ROOFTOP MECHANICAL	
CLASSROOM COUNTS			
	EXISTING	PROPOSED	
	K-5	6-8	
BASEMENT	0	0	
FIRST FLOOR	8	8	
SECOND FLOOR	5	8	
THIRD FLOOR	2	5	
ROOF	0	0	
TOTAL	15	18	
APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)			
	EXISTING AREA	ADDITIONAL AREA	TOTAL PROPOSED AREA
BASEMENT	1,843 SF	248 SF	2,091 SF
FIRST FLOOR	19,174 SF	11,343 SF	30,517 SF
SECOND FLOOR	19,171 SF	6,424 SF	25,595 SF
THIRD FLOOR	14,352 SF	1,445 SF	15,774 SF
ROOF	0 SF	0 SF	0 SF
TOTAL	54,540 SF	19,460 SF	74,000 SF

SHEET INDEX

A1-00	PROJECT INFORMATION	A2-31	3RD FLOOR PLAN - PROPOSED
A1-01	CODE COMPLIANCE	A2-40	ROOF PLAN - EXISTING
A1-02	ZONING ANALYSIS	A2-41	ROOF PLAN - PROPOSED
A1-10	PROPOSED LANDSCAPE PLAN	A2-42	ROOF PLANS - SFPC SEC 102.12 AND 206 MEASUREMENT REQUIREMENTS
A1-20	SITE PLAN - EXISTING	A2-50	STREETSCAPE PLAN - PROPOSED
A1-30	SITE PLAN - PROPOSED	A3-00	PROPOSED & EXISTING SOUTH ELEVATION
A1-40	OVERALL AXON NEW AND EXISTING	A3-10	PROPOSED & EXISTING EAST ELEVATION
A2-00	BASEMENT FLOOR PLAN - EXISTING	A3-20	PROPOSED & EXISTING NORTH ELEVATION
A2-01	BASEMENT FLOOR PLAN - PROPOSED	A3-30	PROPOSED & EXISTING WEST ELEVATION
A2-10	1ST FLOOR PLAN - EXISTING	A3-40	ELEVATIONS- MATERIALS
A2-11	1ST FLOOR PLAN - PROPOSED	A6-10	DETAILS AT FRONT ENTRY
A2-20	2ND FLOOR PLAN - EXISTING	A6-20	DETAILS AT EXIT COURT
A2-21	2ND FLOOR PLAN - PROPOSED		
A2-30	3RD FLOOR PLAN - EXISTING		

Architects:

MKTHINK

Roundhouse One, 1500 Sansome Street, San Francisco, CA 94111
415 402 0888 mkthink.com

Project:

2750 JACKSON STREET PLANNING SET

Owner / Client:

Town School for Boys
2750 Jackson Street
San Francisco, CA 94115

Issued Date: 09/06/2012

Scale: 3/64" = 1'-0"

Drawing Name:

PROJECT INFORMATION

Sheet Number:

A1-00
EXHIBIT B

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	0	0	0	0
Hotel Rooms	0	0	0	0
Parking Spaces	0	0	0	0
Loading Spaces	0	0	0	0
Number of Buildings	1	1	1	1
Height of Building(s)	VARIES; 51' MAX	VARIES; 51' MAX	VARIES; 40' MAX + EXEMPTIONS	VARIES; 51' MAX
Number of Stories	3+BASEMENT	3+BASEMENT	3	3+BASEMENT
Bicycle Spaces	8	8	TBD	TBD
GROSS SQUARE FOOTAGE (GSF)				
Residential	0	0	0	0
Retail	0	0	0	0
Office	0	0	0	0
Industrial/PDR <i>Production, Distribution, & Repair</i>	0	0	0	0
Parking	0	0	0	0
Other (Specify Use)	54,540 (SCHOOL)	54,540 (SCHOOL)	APPROX 19,460 (SCHOOL)	APPROX 74,000(SCHOOL)
TOTAL GSF	54,540	54,540	APPROX 19,460	APPROX 74,000

Please describe any additional project features that are not included in this table:
(Attach a separate sheet if more space is needed)

PROJECT PHASE DESCRIPTION

The proposed project for 2750 Jackson is anticipated to commence in phases due to the need for construction to accommodate the academic calendar and the time needed for fund-raising. Because the City has requested that all projects perceived in the next 5-10 years be included, a brief description is provided here.

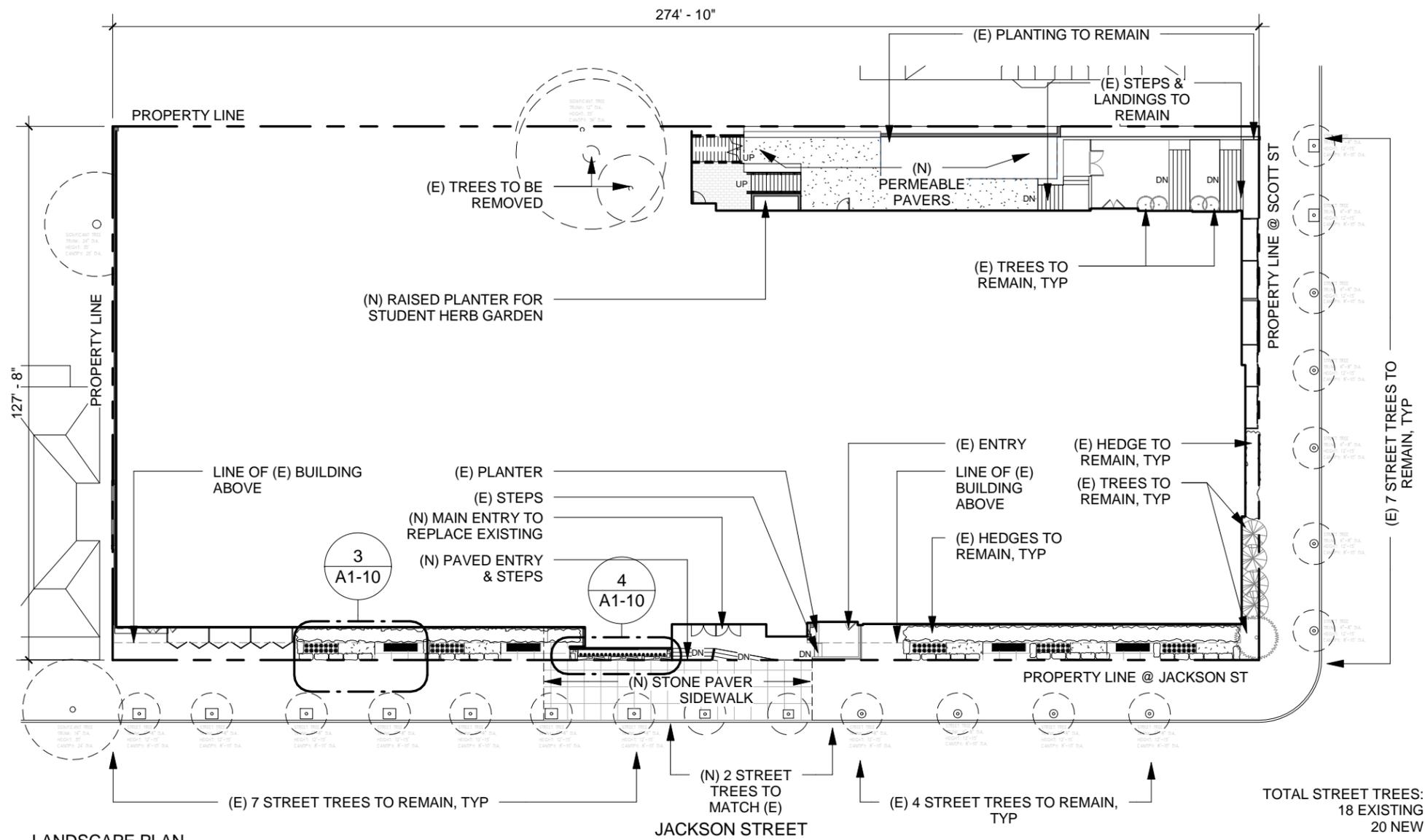
Phase 1 includes interior renovation in east & west wings, in-kind window replacement at the north elevation, foundation work in existing Theater, and raising the existing low roof at the northeast corner within the height limit to match the existing adjacent roof height. Phase 1 construction is anticipated in summer 2012.

Phase 2 includes excavation for the new Multi-Purpose Room & new classrooms, demolition of the existing building core and construction of the new modernized academic core. Based on fundraising, Phase 2 may optionally construct the Multi-Purpose room as a storage area. Phase 2 construction is anticipated in 2013-2015.

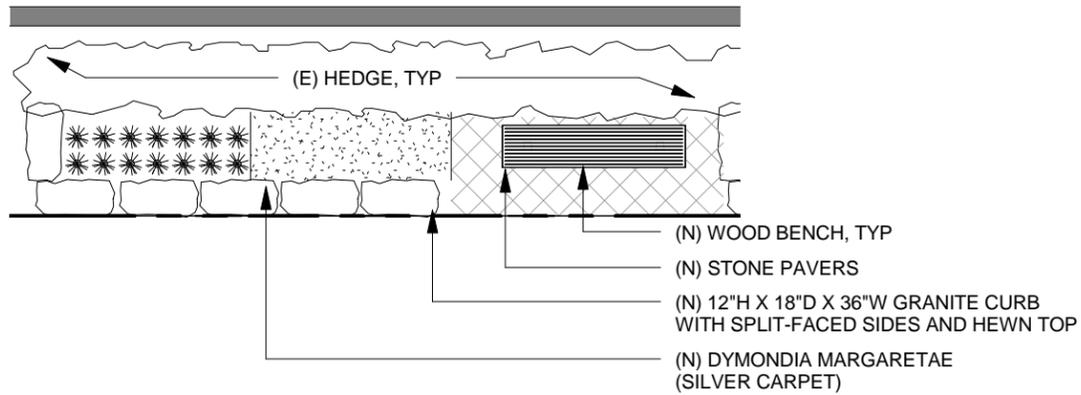
Phase 3 includes the energy efficiency upgrades to and relocation of the existing glazing at the east & west wings. Phase 3 construction is anticipated in 2018-2021 after issuance of the Conditional Use Permit.

Zoning Analysis (San Francisco Planning Code with 2011 Ordinances)					
Address: 2750 Jackson, San Francisco					
Block/ Lot: 0978-018					
Code Ref.	Item	Code Requirements	Existing	Existing Compliant	Proposed
Ref. Map ZN02	Zoning District	RH-2	--	--	--
Floor Area & FAR					
Sec 102.9	Floor Area, Gross	Includes basements (except dedicated storage/mech), balconies, elevator shafts, stairwells, exit enclosures and smokeproof enclosures, at each floor; penthouses for mech, elevator, if at the roof	approx 54,540 sf	--	approx 74,000
Sec 102.10	Floor Area, Occupied	Gross Area minus nonaccessory parking, loading & driveways, exterior walls, mechanical equipment appurtenances & areas, restrooms, areas for building operation & maintenance, incidental convenience storage	approx 48,000 sf	--	approx 69,600
Sec. 121	Lot Width and Area	25 feet;	275 feet;	COMPLIES	No change
		2,500 sq. ft.	35,113 sq. ft.		
Sec. 124	FAR	1:1.8 = 63,203 sf	55,000 sf	COMPLIES	approx 74,000
Sec 125	FAR Premium	25% increase for corner lot			
		63,203 x 1.25 = 79,004 sf			
Sec 102.15	Corner Lot Definition	2 public streets bounding property			
Setbacks/Yards					
Sec 132 (d)(1)	Front Yard Setback Planned Unit	For Corner lot, 1/2 the setback of adjacent building Adjacent Front Yard Setback = 0	8 feet	COMPLIES	Varies
Sec 132 (g)	1.0 Greening of Front Setback Areas	50% of Front Yard to be permeable, may be waived by SFPUC	N/A	N/A	Front Yard Landscape > 50%
(Applicable Sections)	3.0 Street Trees	Provide (1) tree for every 20ft of street frontage		Legal Non-Complying	
		Lot dim @ Jackson Street = 127'-8"/20' = 13	Jackson = 11		Jackson = 13
		Lot dim @ Scott Street = 275'/20' = 7	Scott = 7		Scott St = 7
Sec 133	Side Yard Setback	None Required for RH-2	N/A	N/A	N/A
Sec 134 (a)(2)	Rear Yard Setback	45% of lot depth, with possible reductions	Varies from 20'-2" to 84'-8"	Legal Non-Complying Structure (PUD)	(PUD) Modification for rear yard
Sec 135	Open Area	Not req'd for non-residential	N/A	N/A	N/A
Sec 138.1	6.1 Street Trees	Provide (1) tree for every 20ft of street frontage = 20	18 Trees	Legal Non-Complying	20 Trees
Streetscape & Pedestrian Improvements in Public Right of Way					
(Applicable Sections of Better Streets Policy)	6.1 Sidewalk Planters	Consider landscaping in frontage zone.	N/A	N/A	Planter w/in Jackson St P.L.
	6.1 Landscaping	Incorporate raised planter beds @ seating areas	N/A	N/A	Natural Stone Pavers @ Core
					Benches w/in Jackson St P.L.
	6.4 Special Paving	Limit standard scored concrete @ sidewalks	N/A	N/A	N/A
	6.5 Site Furnishings	Encourage site furnishings	N/A	N/A	Benches w/in Jackson St P.L.

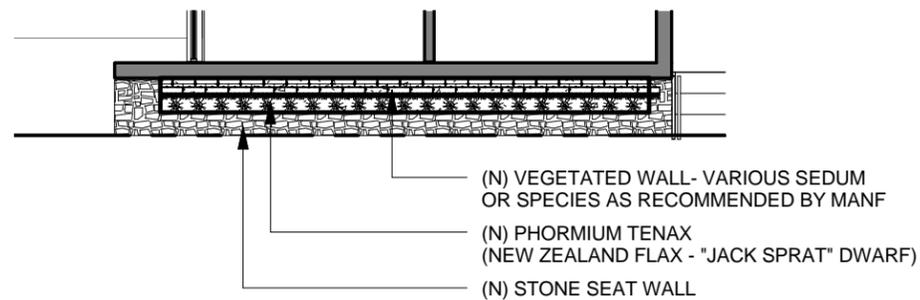
Parking/Loading					
Sec 141	Rooftop Screening	Required of mech systems over 1 foot in height, in major alterations	Partial	Partial	10'-0" above roof line
Sec 151	Off-Street Parking	Classroom count: 29 total existing / 36 total proposed = 7 total new classrooms 1 space for every 6 classrooms = 1 space required	0	Legal Non-Complying	(PUD) Modification for offstreet parking. Added 4 new white zone stalls in Feb. 2012.
Sec 152	Off-Street Loading	0-100,000 sq. ft. = 0 req'd	None	N/A	No change
Sec 155.3	Shower & Locker Facilities	Not required for elementary/secondary schools.	Provided	N/A	Provided
Sec 155.4	Bicycle Parking	Not required for elementary/secondary schools.	8	N/A	No change
Sec 209.3	Conditional Uses	Primary/Secondary Education	K-8	Conditional	No change
Bulk and Height					
Ref. Map ZN02	Bulk District	40-X (40' limit), no bulk req't for non-residential	N/A	N/A	N/A
Sec 270					
Sec 102.12 & 260	Height Limit	40 feet measured at the midpoint of the building steps, per Sec 102.12	Varies: 29'-0" at west wing to 51'-0" gym roof	Legal Non-Complying	No Change
Sec 260 (b)(1)(A)	Permitted Exceptions	Rare exceptions. Reference Section.			
		Elevator Penthouse allowed to be up to 16 feet above roof	3'-0"	COMPLIES	16'-0"
		Stair, mechanical penthouses up to 10 feet above roof	10'-0"	COMPLIES	10'-0"
Sec 261	Additional Height				
Miscellaneous					
Sec 139	Bird-Safe Standards	No more than 10% untreated glazing where required.	More than 10% untreated glazing exists	Legal Non-Complying	New south & east glazing to comply; Not req'd at north & west glazing.



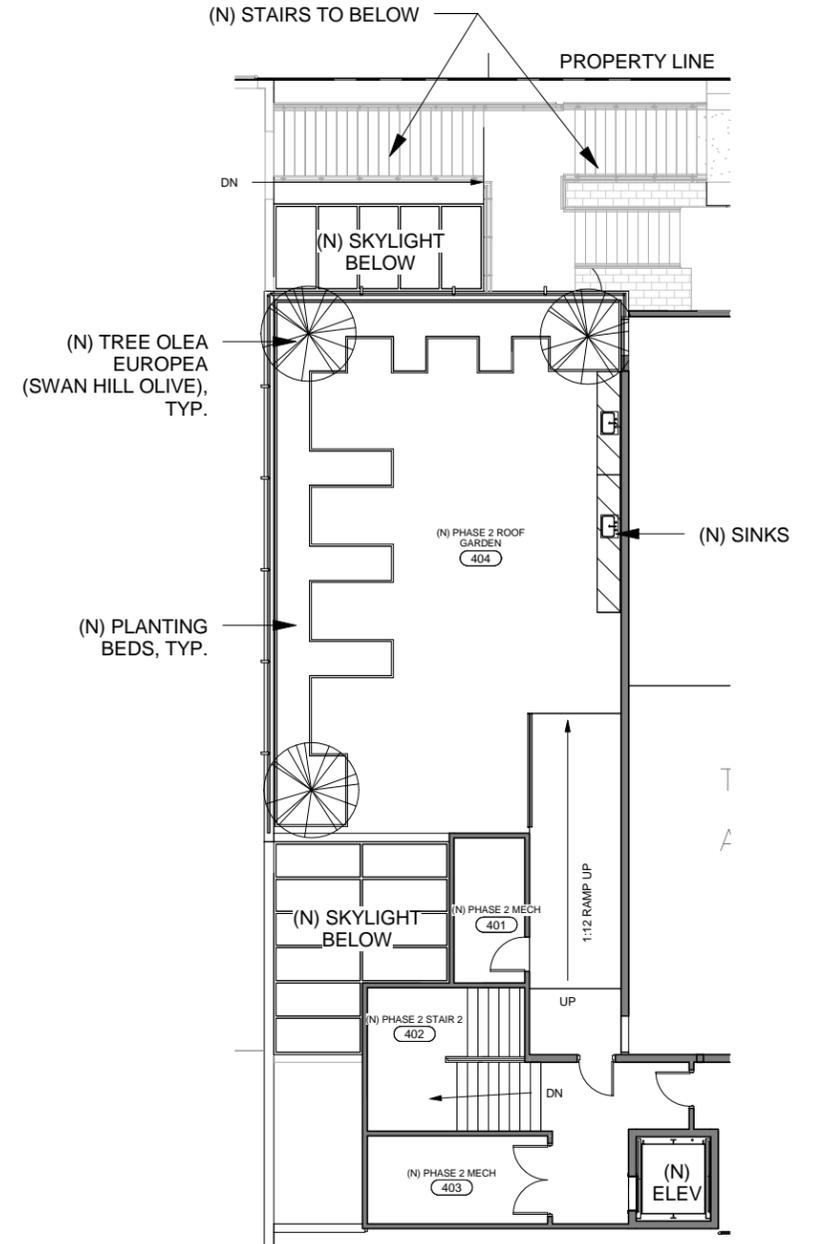
2 LANDSCAPE PLAN
1/32" = 1'-0"



3 ENLARGED DETAIL @ JACKSON ST
1/8" = 1'-0"

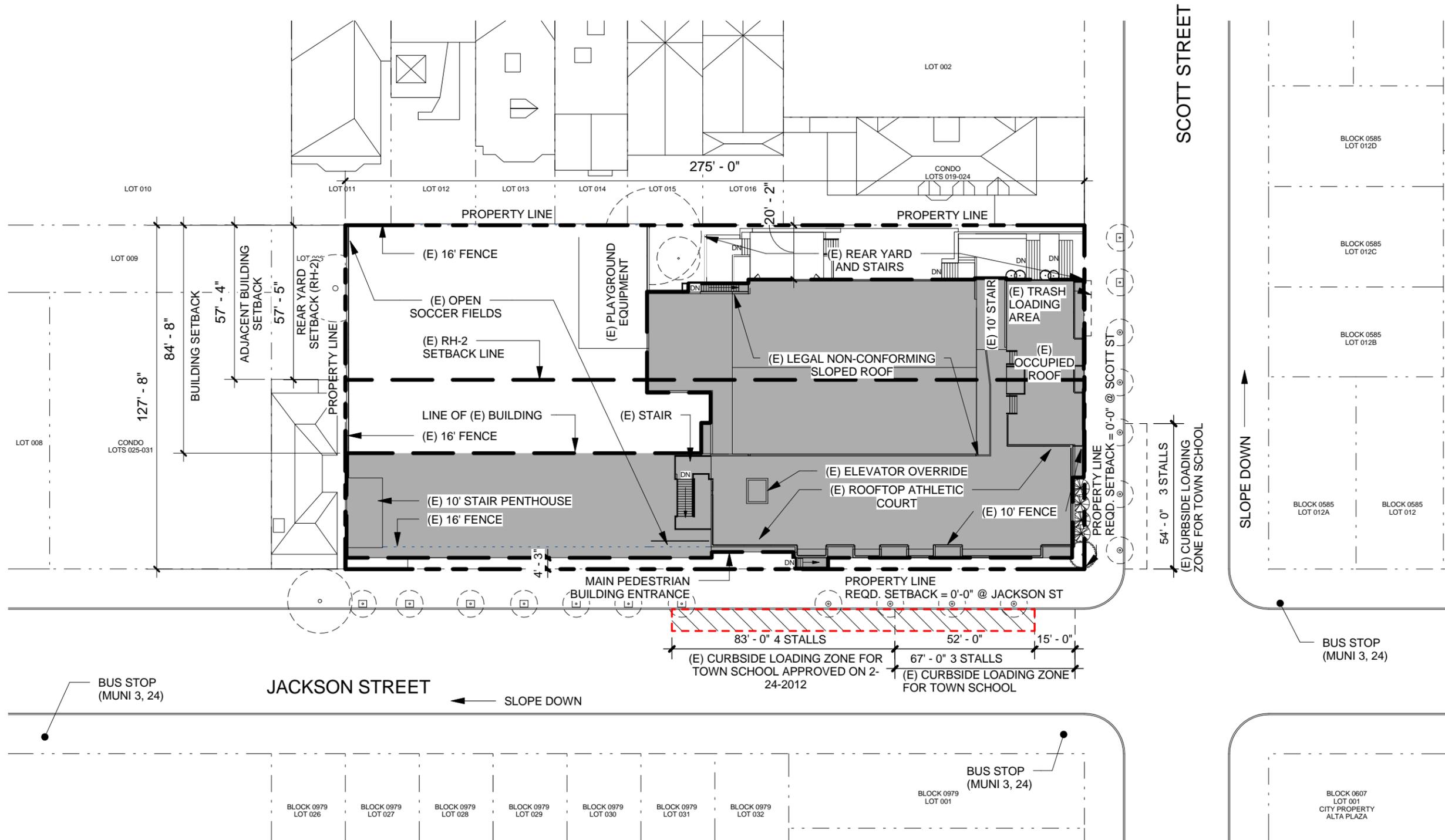


4 ENLARGED DETAIL @ VEGETATED SEAT WALL
1/8" = 1'-0"



1 LANDSCAPING @ ROOF
1/16" = 1'-0"





SCOTT STREET

JACKSON STREET

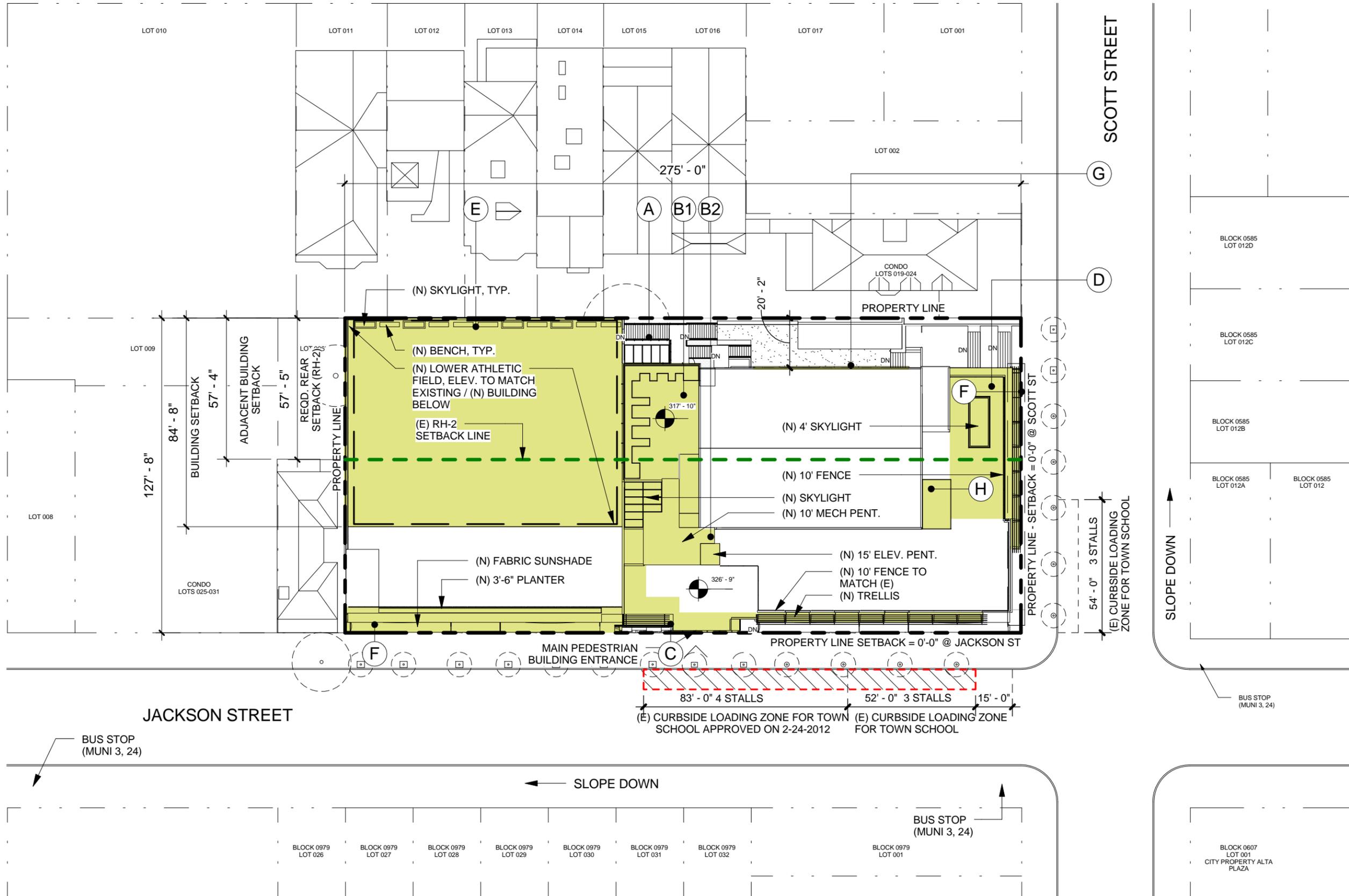
SLOPE DOWN

SLOPE DOWN

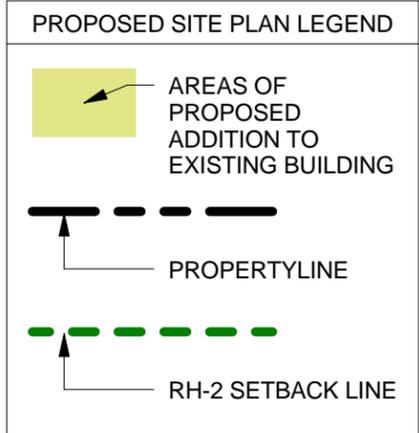
BUS STOP (MUNI 3, 24)

BUS STOP (MUNI 3, 24)

BLOCK 0607 LOT 001 CITY PROPERTY ALTA PLAZA



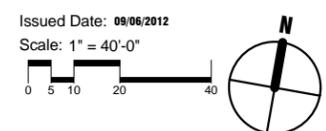
- A NEW EXTERIOR STAIR FOR EGRESS FROM 2ND FLOOR AND LOWER ATHLETIC FIELD
 - B1 BUILDING CORE:
 - RENOVATE EXISTING 3-STORY FACILITY (1-STORY ABOVE EXISTING LOWER ATHLETIC FIELD)
 - EXCAVATE @ FIRST LEVEL FOR UNDERGROUND ADDITION
 - B2 BUILDING CORE:
 - NEW 15' ELEV. PENTHOUSE FOR ADA COMPLIANT ELEVATOR & STAIR ROOF ACCESS
 - C NEW ADDITION AT FRONT FACADE: AREA OF EXPANSION WITHIN PROPERTY LINE.
 - D RAISE ROOF CORNER TO BE FLUSH WITH EXISTING SURROUNDING ROOF; ADDED SKYLIGHT
 - E EXCAVATION UNDER EXISTING LOWER ATHLETIC FIELD FOR NEW UNDERGROUND MULTI-PURPOSE ROOM. FINAL CONDITIONS TO RESTORE EXTERIOR TO PREVAILING EXISTING CONDITIONS EXCEPT AS NOTED OTHERWISE
 - F HORIZONTAL ADDITION FOR STORAGE AT GROUND LEVEL (SEE ELEVATIONS)
 - G REPAIR/REPLACE (E) GLASS WITH DOUBLE PANED GLAZING TO MATCH EXISTING.
 - H NEW 10' MECHANICAL ENCLOSURE
 - * CURBSIDE LOADING ZONE
- EXISTING CURBSIDE PASSENGER ZONES ON JACKSON STREET IN EFFECT ON SCHOOL DAYS FROM THE HOURS OF 7:45 AM - 8:30 AM & 1:30PM - 3:30PM. AND SCOTT STREET ON SCHOOL DAYS FROM THE HOURS OF 1:30PM - 3:30PM.



Architects:
MKTHINK
 Roundhouse One, 1500 Sansome Street, San Francisco, CA 94111
 415 402 0888 mkthink.com

Project:
2750 JACKSON STREET PLANNING SET

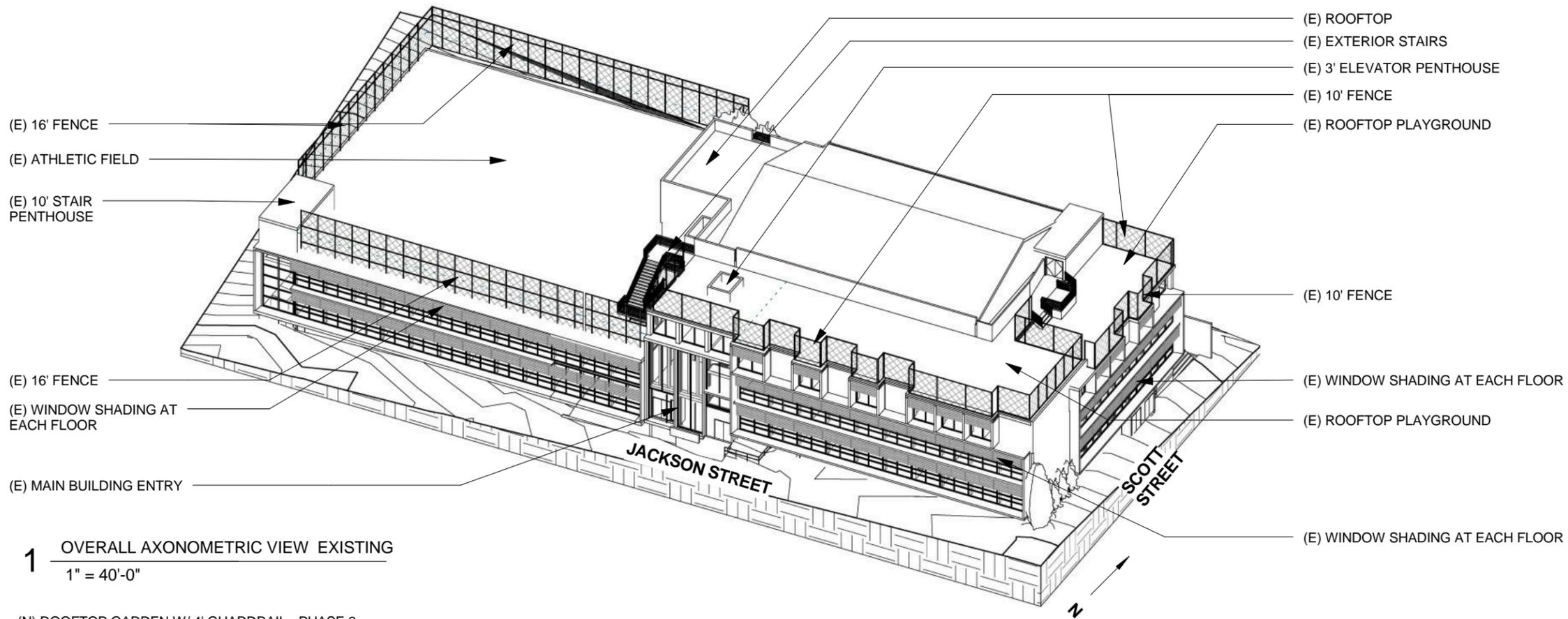
Owner / Client:
Town School for Boys
 2750 Jackson Street
 San Francisco, CA 94115



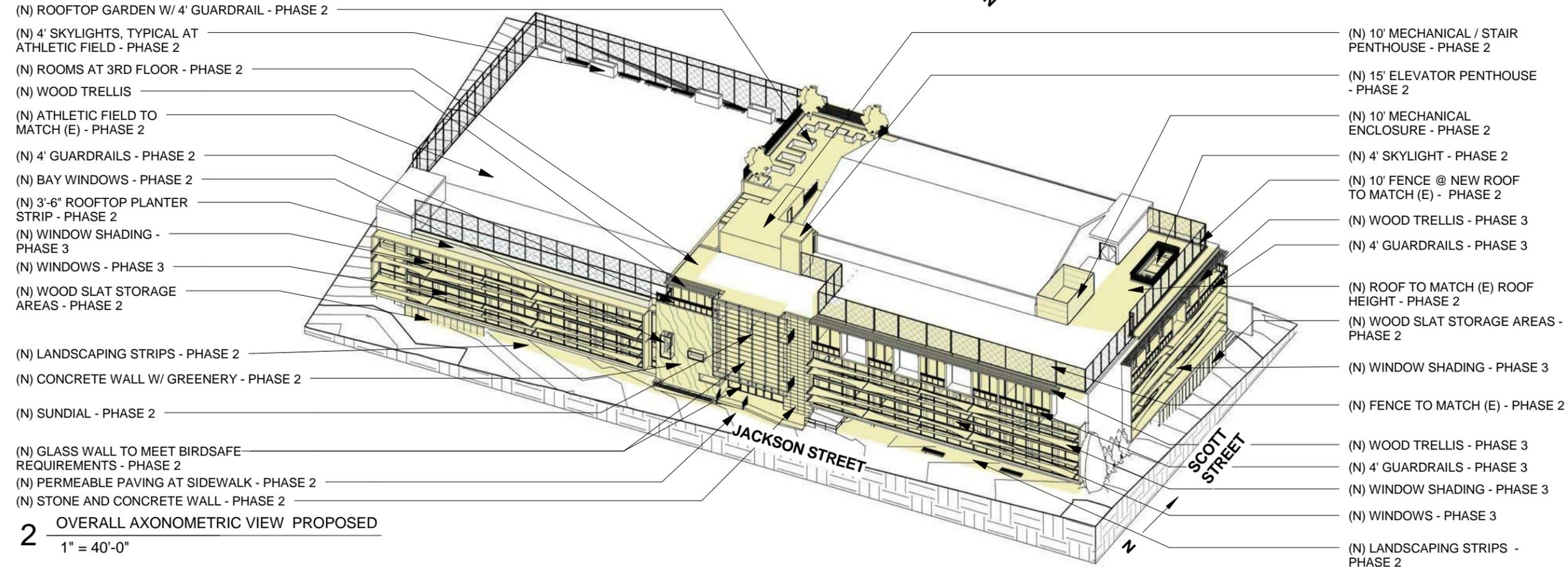
Drawing Name:
SITE PLAN - PROPOSED

Sheet Number:
A1-30
EXHIBIT B

9/11/2012 3:49:49 PM



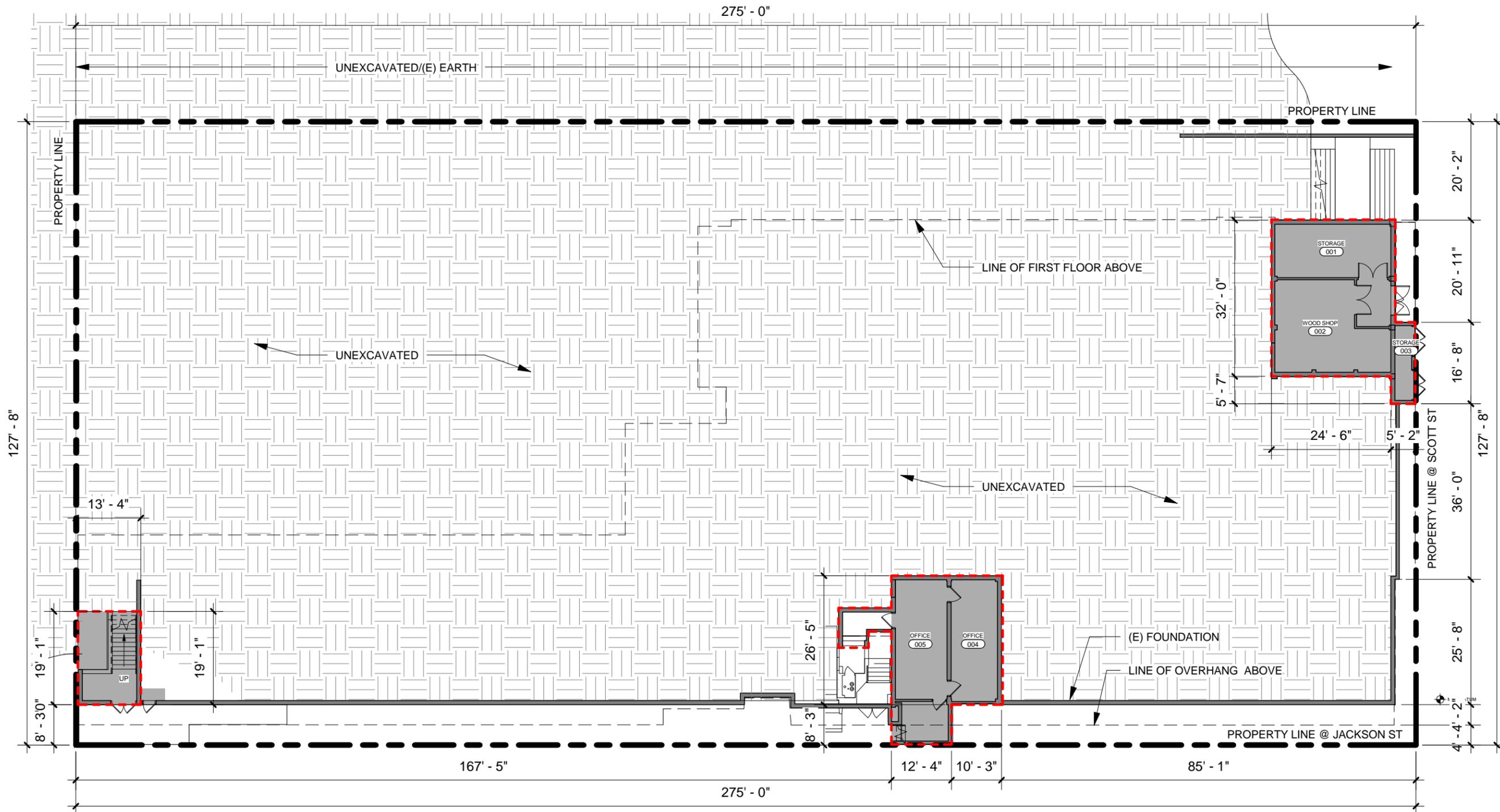
1 OVERALL AXONOMETRIC VIEW EXISTING
1" = 40'-0"



2 OVERALL AXONOMETRIC VIEW PROPOSED
1" = 40'-0"

NOTE:
SEE SHEET A1-01 FOR PHASE
DESCRIPTION AND TIMES

OVERALL AXONOMETRIC VIEW LEGEND	
	PROPOSED AREA OF WORK



EXISTING BUILDING PLAN LEGEND	
	AREA OF EXISTING BUILDING
	LINE OF EXISTING BUILDING PERIMETER
	PROPERTYLINE

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)			
LEVEL	EXISTING AREA	ADDITIONAL AREA	TOTAL PROPOSED AREA
BASEMENT	1,843 SF	248 SF	2,091 SF
FIRST FLOOR	19,174 SF	11,343 SF	30,517 SF
SECOND FLOOR	19,171 SF	6,424 SF	25,595 SF
THIRD FLOOR	14,352 SF	1,445 SF	15,774 SF
ROOF	0 SF	0 SF	0 SF
TOTAL	54,540 SF	19,460 SF	74,000 SF

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Owner / Client:
Town School for Boys
 2750 Jackson Street
 San Francisco, CA 94115

Issued Date: 09/06/2012
 Scale: 3/8" = 1'-0"

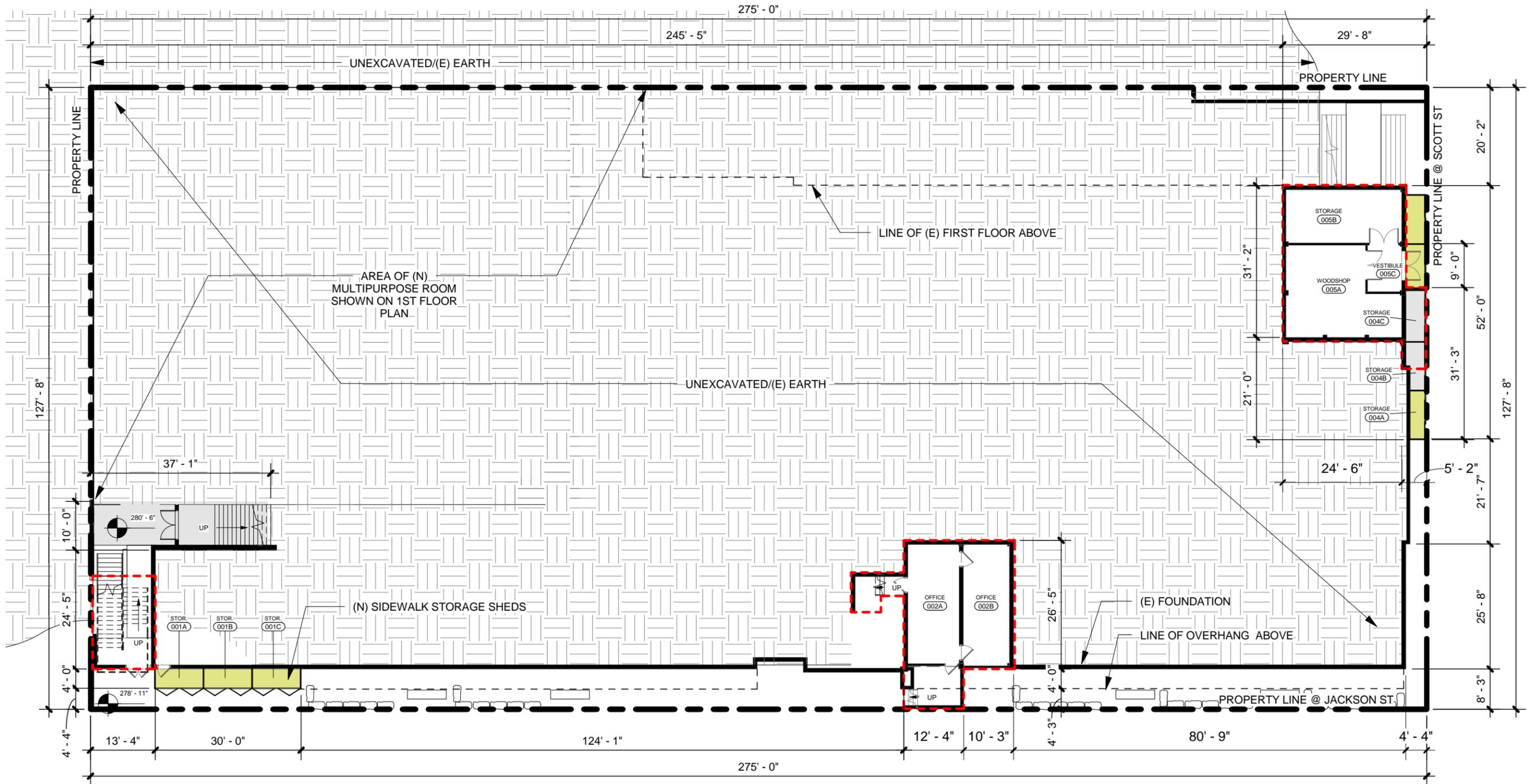


Drawing Name:
BASEMENT FLOOR PLAN - EXISTING

Sheet Number:

A2-00
EXHIBIT B

9/7/2012 11:50:52 AM



PROPOSED BUILDING PLAN LEGEND	
	LINE OF BELOW GRADE (N) BUILDING PERIMETER
	LINE OF (E) BUILDING PERIMETER
	PROPERTY LINE
	AREAS OF RENOVATION OF EXISTING BUILDING
	AREAS OF PROPOSED ADDITION TO EXISTING BUILDING

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)				
LEVEL	EXISTING AREA	ADDITIONAL AREA	TOTAL PROPOSED AREA	
BASEMENT	1,843 SF	248 SF	2,091 SF	
FIRST FLOOR	19,174 SF	11,343 SF	30,517 SF	
SECOND FLOOR	19,171 SF	6,424 SF	25,595 SF	
THIRD FLOOR	14,352 SF	1,445 SF	15,774 SF	
ROOF	0 SF	0 SF	0 SF	
TOTAL	54,540 SF	19,460 SF	74,000 SF	

Architects:
MKTHINK
 Roundhouse One, 1500 Sansome Street, San Francisco, CA 94111
 415 402 0888 mkthink.com

Project:
2750 JACKSON STREET PLANNING SET

Owner / Client:
Town School for Boys
 2750 Jackson Street
 San Francisco, CA 94115

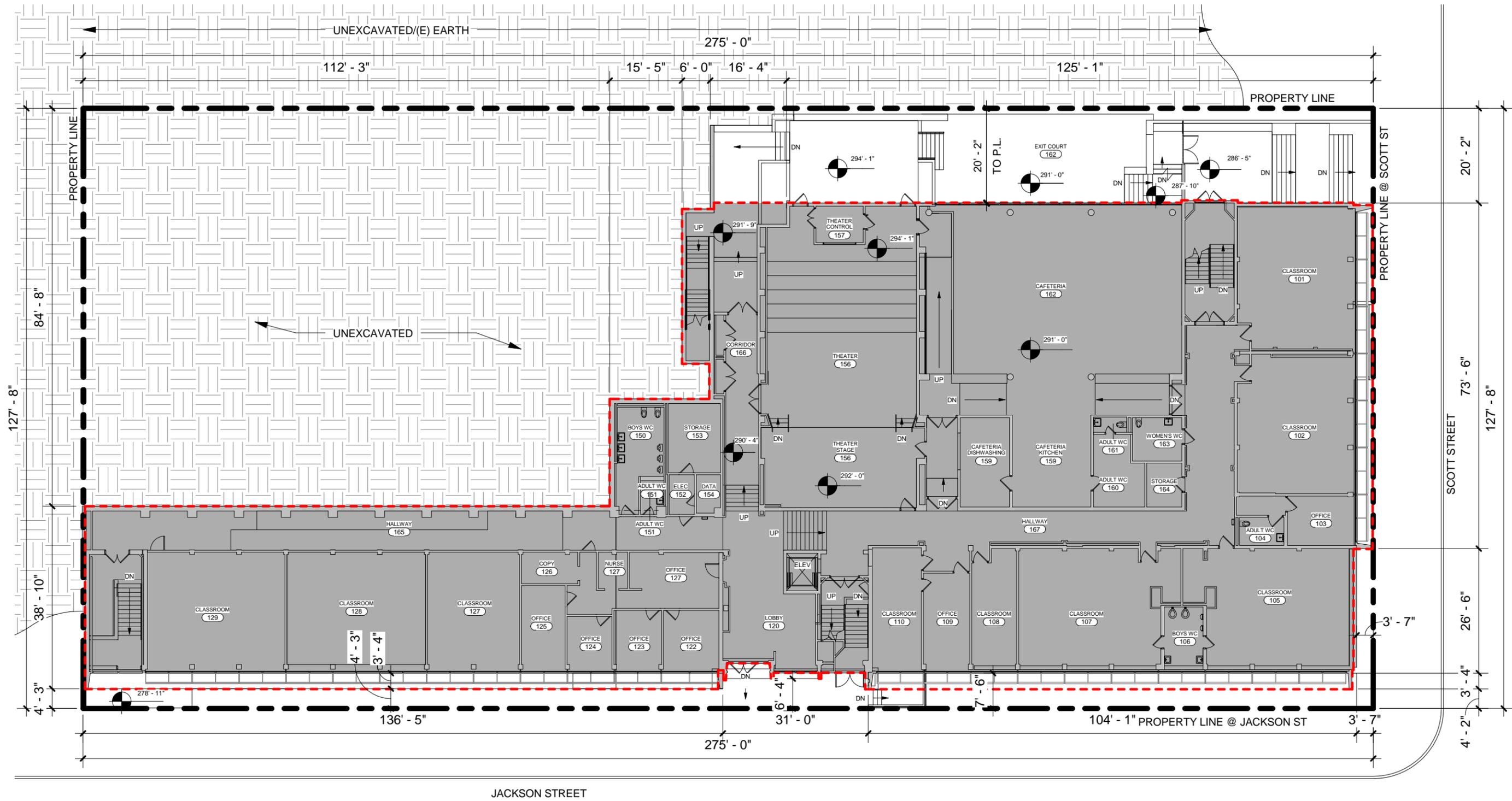
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 Scale: 1'-0" = 3/64"



Drawing Name:
BASEMENT FLOOR PLAN - PROPOSED

Sheet Number:
A2-01
EXHIBIT B

9/7/2012 11:50:53 AM



EXISTING BUILDING PLAN LEGEND	
	AREA OF EXISTING BUILDING
	LINE OF EXISTING BUILDING PERIMETER
	PROPERTYLINE

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)			
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THIRD FLOOR	14,352 SF	1,445 SF	15,774 SF
ROOF	0 SF	0 SF	0 SF
TOTAL	54,540 SF	19,460 SF	74,000 SF

CLASSROOM COUNTS				
LEVEL	EXISTING K-5	EXISTING 6-8	PROPOSED K-5	PROPOSED 6-8
BASEMENT	0	0	0	0
FIRST FLOOR	8	0	8	0
SECOND FLOOR	5	9	8	13
THIRD FLOOR	2	5	2	5
ROOF	0	0	0	0
TOTAL	15	14	18	18

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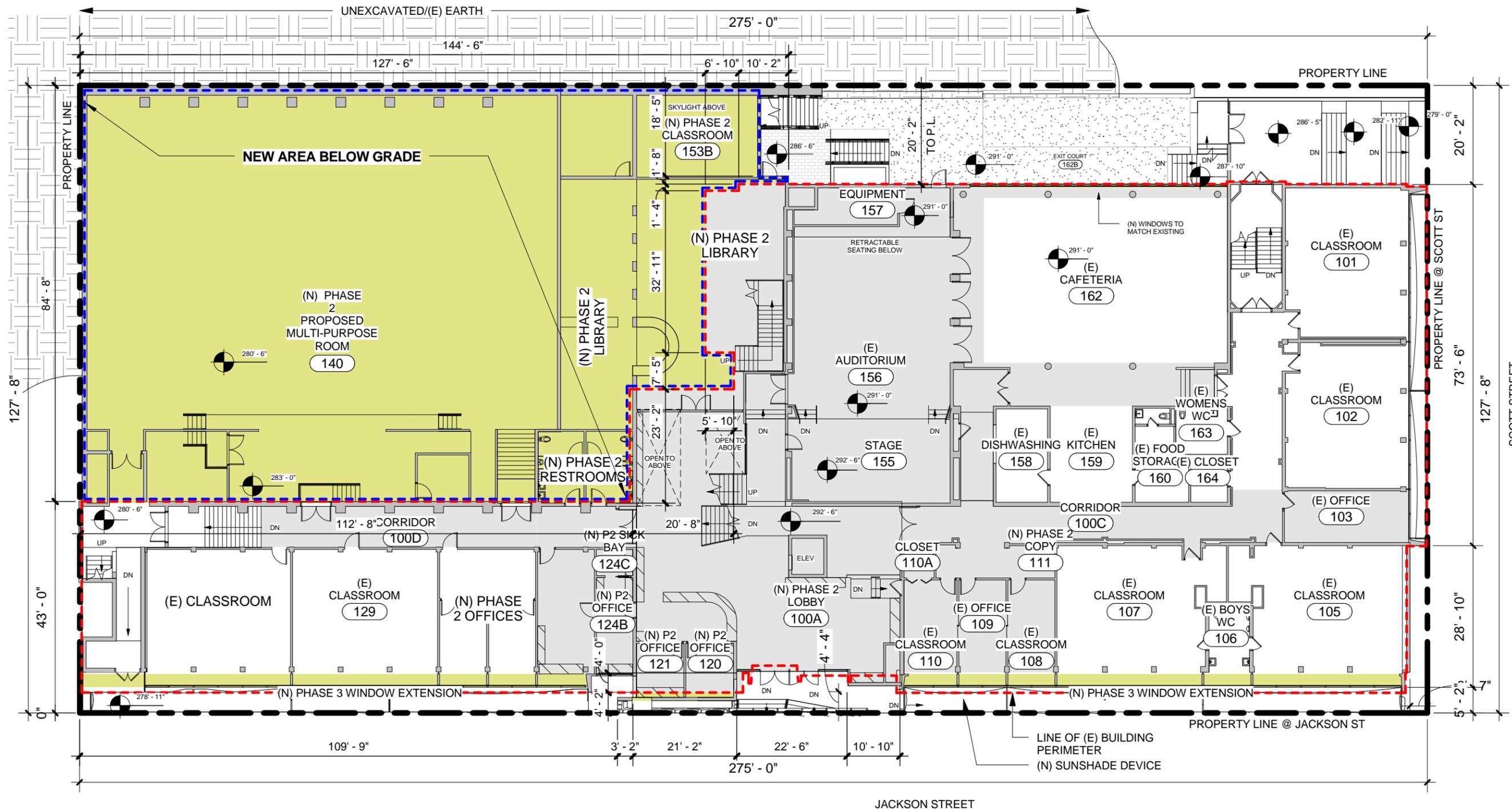
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Drawing Name:
1ST FLOOR PLAN - EXISTING

Sheet Number:
A2-10
EXHIBIT B

9/7/2012 11:50:55 AM



PROPOSED BUILDING PLAN LEGEND	
	LINE OF BELOW GRADE (N) BUILDING PERIMETER
	LINE OF (E) BUILDING PERIMETER
	PROPERTYLINE
	AREAS OF RENOVATION OF EXISTING BUILDING
	AREAS OF PROPOSED ADDITION TO EXISTING BUILDING

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)			
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THIRD FLOOR	2	5	2	5
ROOF	0	0	0	0
TOTAL	15	14	18	18

NOTE:
SEE SHEET A1-01 FOR PHASE DESCRIPTION AND TIMES

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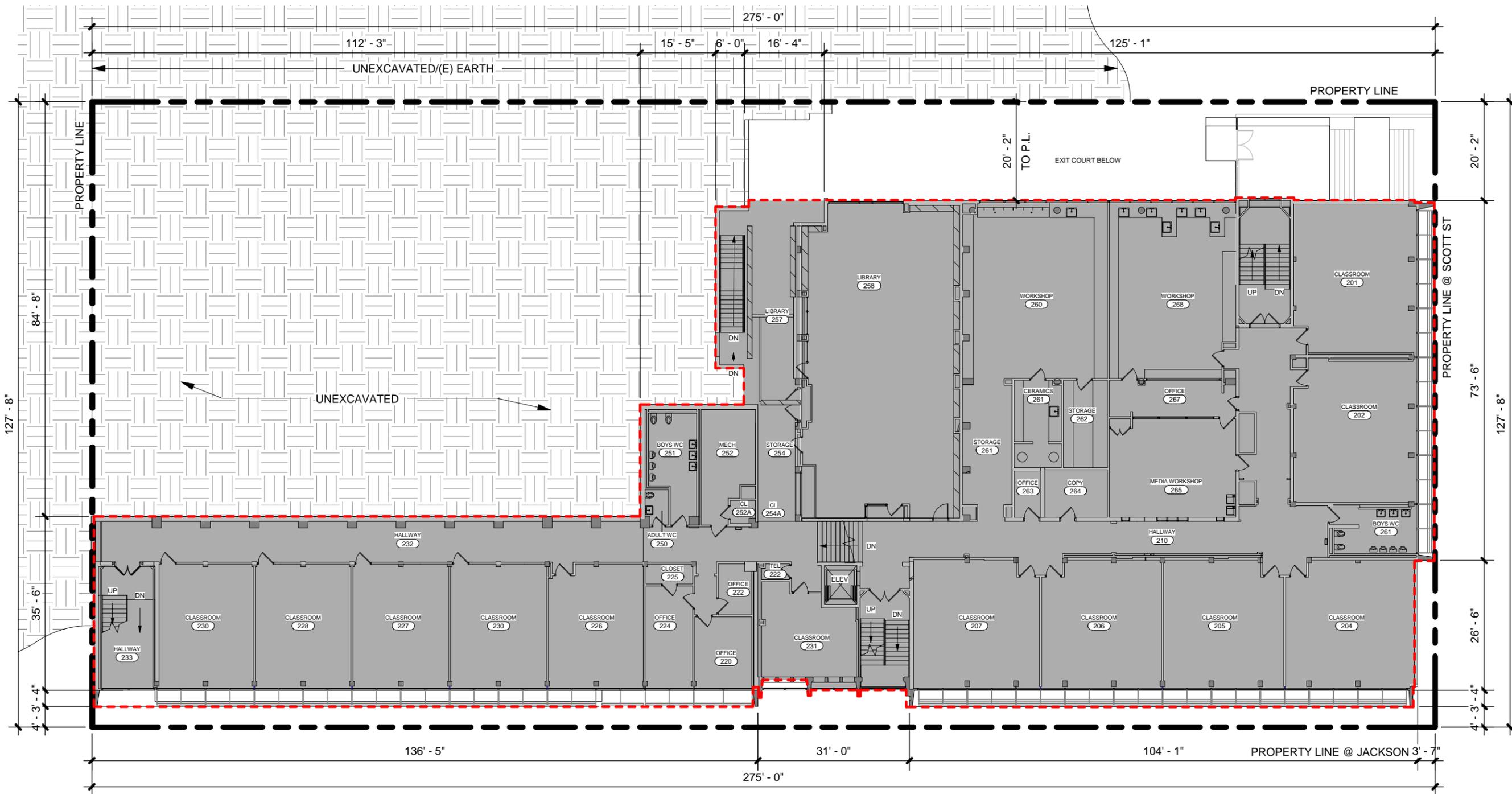
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Drawing Name:
1ST FLOOR PLAN - PROPOSED

Sheet Number:
**A2-11
EXHIBIT B**

9/7/2012 11:50:58 AM



EXISTING BUILDING PLAN LEGEND	
	AREA OF EXISTING BUILDING
	LINE OF EXISTING BUILDING PERIMETER
	PROPERTYLINE

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)			
LEVEL	EXISTING AREA	ADDITIONAL AREA	TOTAL PROPOSED AREA
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CLASSROOM COUNTS				
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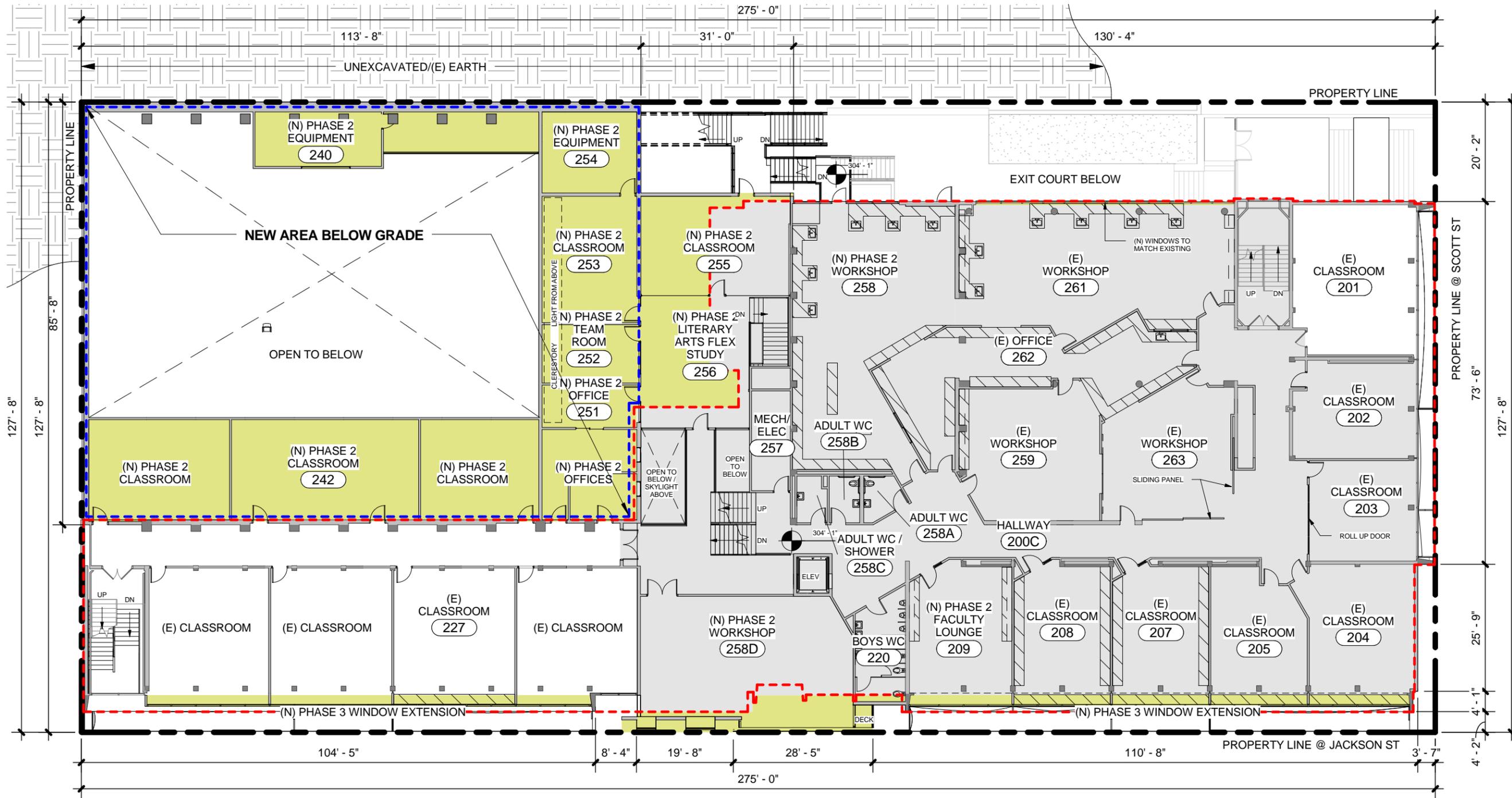
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Drawing Name:
2ND FLOOR PLAN - EXISTING

Sheet Number:
A2-20
EXHIBIT B

9/7/2012 11:51:02 AM



PROPOSED BUILDING PLAN LEGEND

	LINE OF BELOW GRADE (N) BUILDING PERIMETER		AREAS OF RENOVATION OF EXISTING BUILDING
	LINE OF (E) BUILDING PERIMETER		AREAS OF PROPOSED ADDITION TO EXISTING BUILDING
	PROPERTYLINE		

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)

LEVEL	EXISTING AREA	ADDITIONAL AREA	TOTAL PROPOSED AREA
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NOTE:
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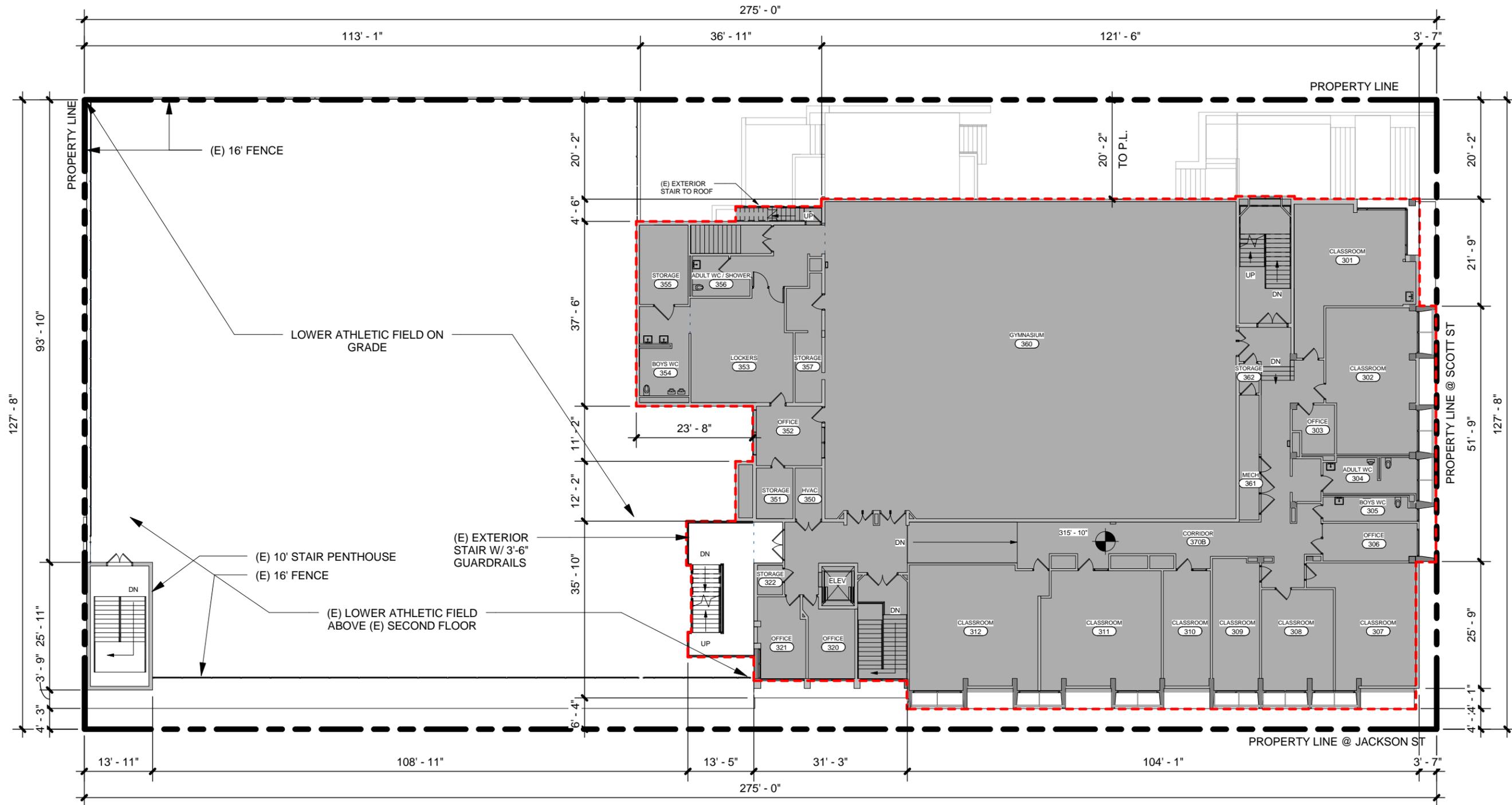
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Drawing Name:
2ND FLOOR PLAN - PROPOSED

Sheet Number:
A2-21
EXHIBIT B

9/7/2012 11:51:07 AM



EXISTING BUILDING PLAN LEGEND	APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)	CLASSROOM COUNTS																																																															
	<table border="1"> <thead> <tr> <th>LEVEL</th> <th>EXISTING AREA</th> <th>ADDITIONAL AREA</th> <th>TOTAL PROPOSED AREA</th> </tr> </thead> <tbody> <tr> <td>BASEMENT</td> <td>1,843 SF</td> <td>248 SF</td> <td>2,091 SF</td> </tr> <tr> <td>FIRST FLOOR</td> <td>19,174 SF</td> <td>11,343 SF</td> <td>30,517 SF</td> </tr> <tr> <td>SECOND FLOOR</td> <td>19,171 SF</td> <td>6,424 SF</td> <td>25,595 SF</td> </tr> <tr> <td>THIRD FLOOR</td> <td>14,352 SF</td> <td>1,445 SF</td> <td>15,774 SF</td> </tr> <tr> <td>ROOF</td> <td>0 SF</td> <td>0 SF</td> <td>0 SF</td> </tr> <tr> <td>TOTAL</td> <td>54,540 SF</td> <td>19,460 SF</td> <td>74,000 SF</td> </tr> </tbody> </table>	LEVEL	EXISTING AREA	ADDITIONAL AREA	TOTAL PROPOSED AREA	BASEMENT	1,843 SF	248 SF	2,091 SF	FIRST FLOOR	19,174 SF	11,343 SF	30,517 SF	SECOND FLOOR	19,171 SF	6,424 SF	25,595 SF	THIRD FLOOR	14,352 SF	1,445 SF	15,774 SF	ROOF	0 SF	0 SF	0 SF	TOTAL	54,540 SF	19,460 SF	74,000 SF	<table border="1"> <thead> <tr> <th>LEVEL</th> <th>EXISTING K-5</th> <th>EXISTING 6-8</th> <th>PROPOSED K-5</th> <th>PROPOSED 6-8</th> </tr> </thead> <tbody> <tr> <td>BASEMENT</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>FIRST FLOOR</td> <td>8</td> <td>0</td> <td>8</td> <td>0</td> </tr> <tr> <td>SECOND FLOOR</td> <td>5</td> <td>9</td> <td>8</td> <td>13</td> </tr> <tr> <td>THIRD FLOOR</td> <td>2</td> <td>5</td> <td>2</td> <td>5</td> </tr> <tr> <td>ROOF</td> <td>0</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>TOTAL</td> <td>15</td> <td>14</td> <td>18</td> <td>18</td> </tr> </tbody> </table>	LEVEL	EXISTING K-5	EXISTING 6-8	PROPOSED K-5	PROPOSED 6-8	BASEMENT	0	0	0	0	FIRST FLOOR	8	0	8	0	SECOND FLOOR	5	9	8	13	THIRD FLOOR	2	5	2	5	ROOF	0	0	0	0	TOTAL	15	14	18	18
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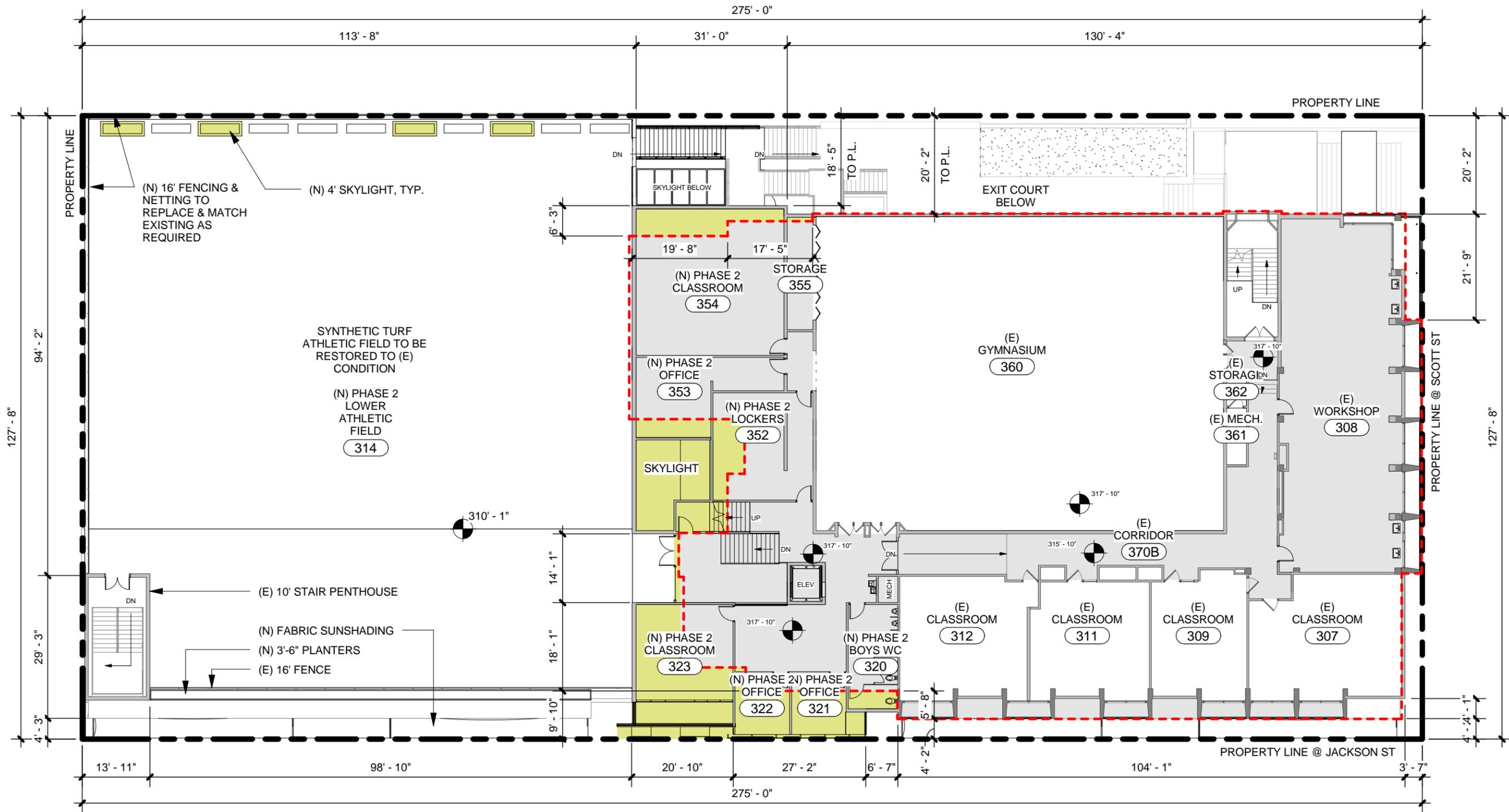
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Drawing Name:
3RD FLOOR PLAN - EXISTING

Sheet Number:
A2-30
EXHIBIT B

9/7/2012 11:51:10 AM



PROPOSED BUILDING PLAN LEGEND

	LINE OF BELOW GRADE (N) BUILDING PERIMETER		AREAS OF RENOVATION OF EXISTING BUILDING
	LINE OF (E) BUILDING PERIMETER		AREAS OF PROPOSED ADDITION TO EXISTING BUILDING
	PROPERTYLINE		

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)

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CLASSROOM COUNTS

LEVEL	EXISTING K-5	EXISTING 6-8	PROPOSED K-5	PROPOSED 6-8
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TOTAL	15	14	18	18

NOTE:
SEE SHEET A1-01 FOR PHASE DESCRIPTION AND TIMES

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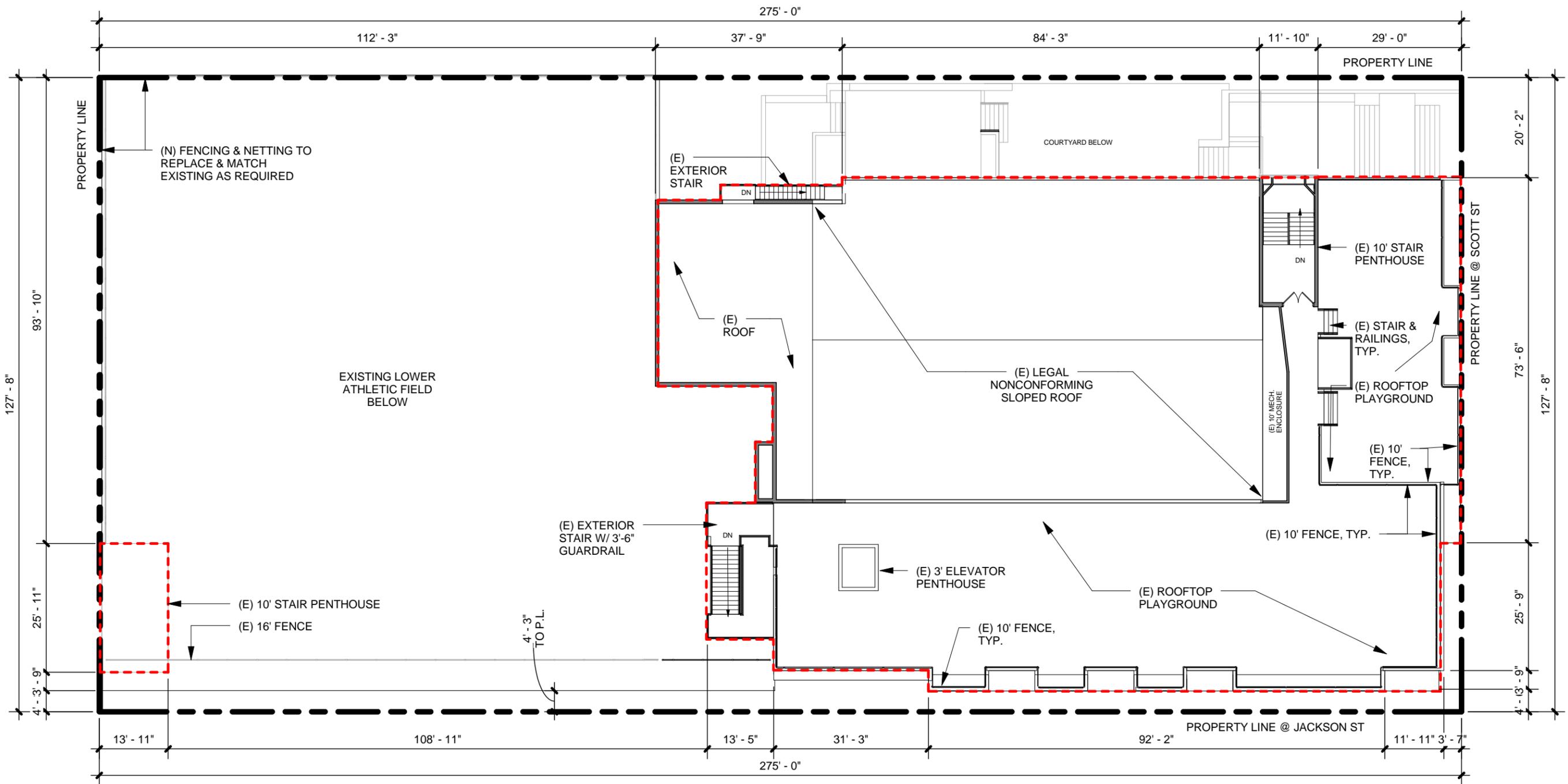
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Drawing Name:
3RD FLOOR PLAN - PROPOSED

Sheet Number:
A2-31
EXHIBIT B

9/7/2012 11:51:14 AM



EXISTING BUILDING PLAN LEGEND

- AREA OF EXISTING BUILDING
- LINE OF EXISTING BUILDING PERIMETER
- PROPERTYLINE

APPROX. GROSS FLOOR AREAS (PER SFPC SEC. 102.9)

LEVEL	EXISTING AREA	ADDITIONAL AREA	TOTAL PROPOSED AREA
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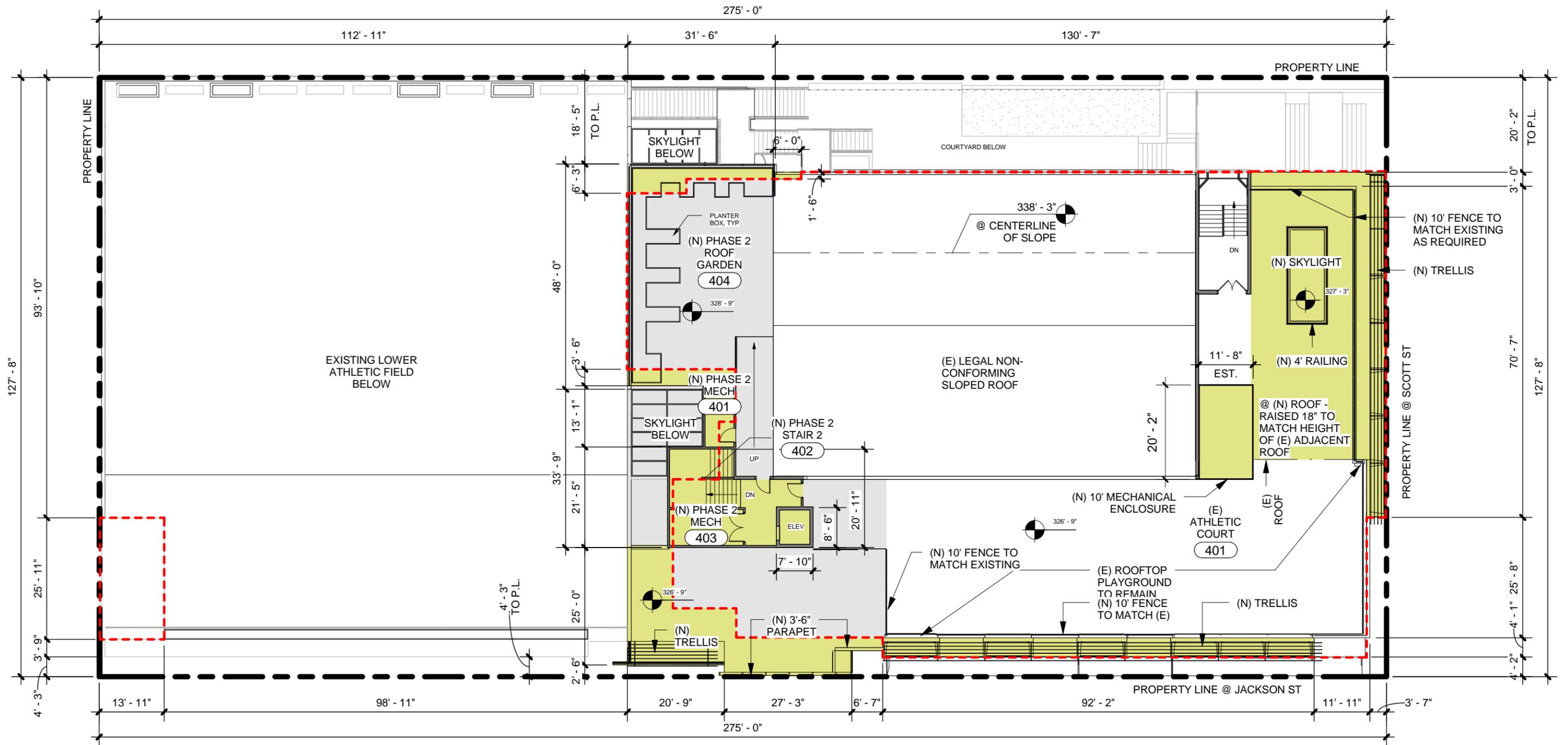
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Drawing Name:
ROOF PLAN - EXISTING

Sheet Number:
A2-40
EXHIBIT B

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PROPOSED BUILDING PLAN LEGEND

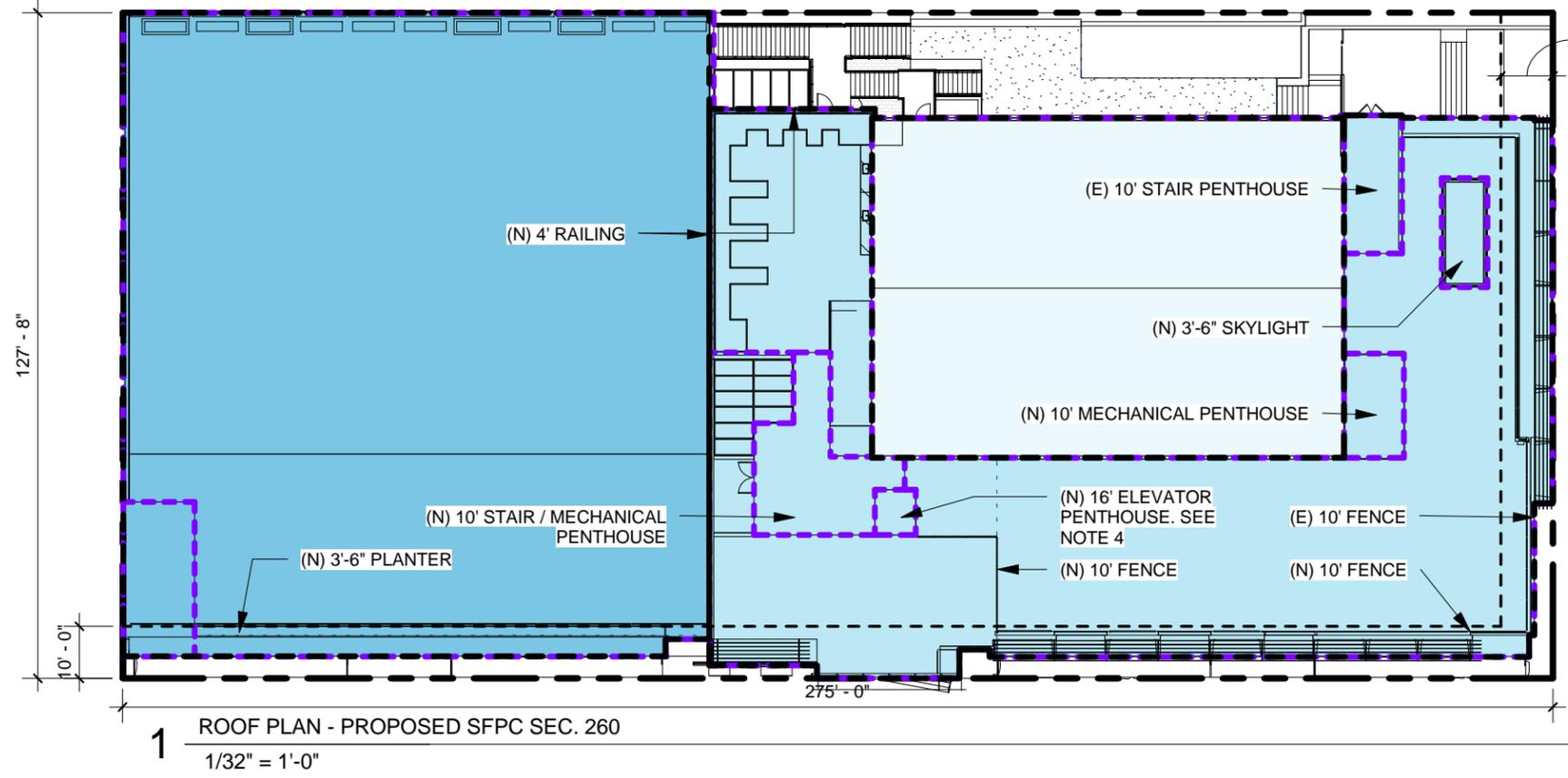
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NOTE:
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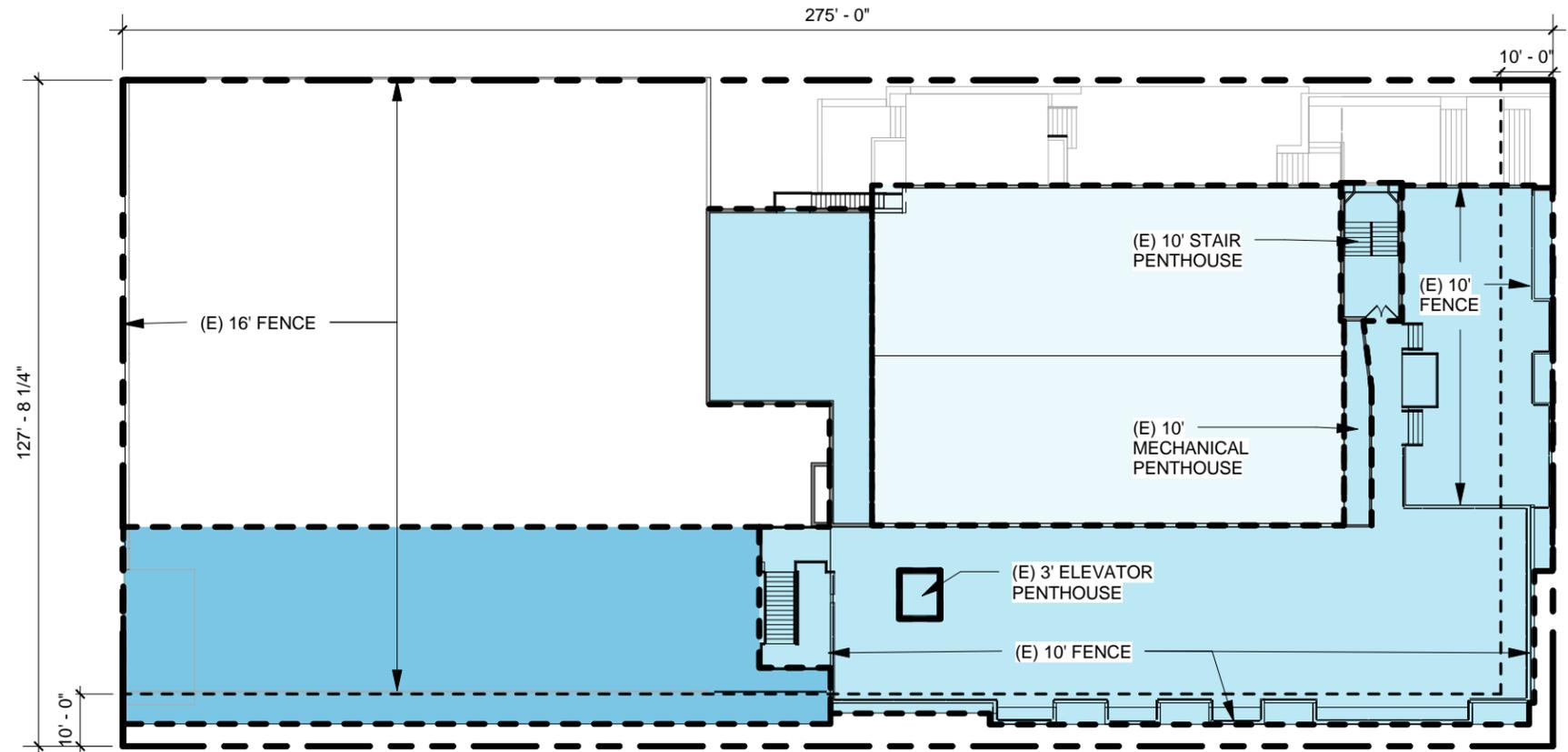




(N) ROOF	TOTAL AREA	PENTHOUSE AREA ABOVE 40'	PENTHOUSE % PROVIDED	PENTHOUSE % ALLOWED
LOWER ROOF	13,496 SF	0 SF	0%	20%
UPPER ROOF	10,935 SF	1,352 SF	12.4%	20%
GYM ROOF	5,920 SF	0 SF	0%	20%

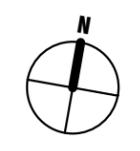
- NOTES
1. ALL NEW FENCES MEET REQUIREMENTS SET FORTH IN EXEMPTION SFPC SEC. 260 (b)(2)(C)
 2. ALL NEW RAILINGS AND PARAPETS MEET REQUIREMENTS SET FORTH IN EXEMPTION SFPC SEC. 260 (b)(2)(A)
 3. ALL NEW PLANTERS MEET REQUIREMENTS SET FORTH IN EXEMPTION SFPC SEC. 260 (b)(2)(E)
 4. SFPC EXEMPTS ELEVATOR PENTHOUSES UP TO 16' ABOVE THE ROOF LINE

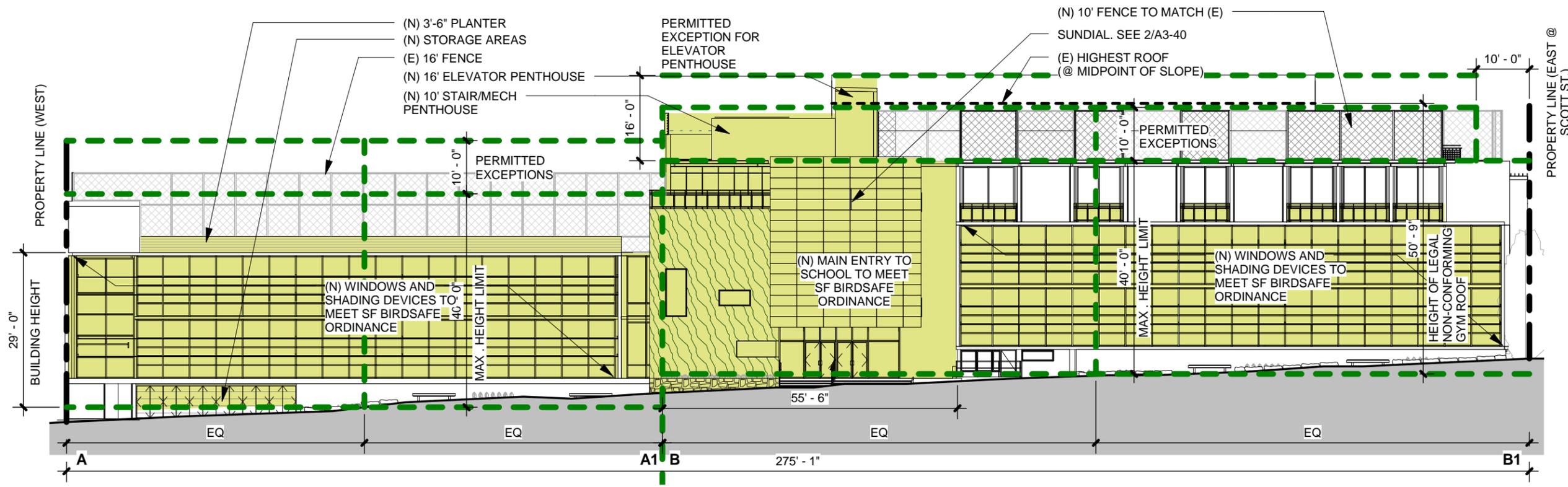
1 ROOF PLAN - PROPOSED SFPC SEC. 260
1/32" = 1'-0"



(E) ROOF	TOTAL AREA	PENTHOUSE AREA ABOVE 40'	PENTHOUSE % PROVIDED	PENTHOUSE % ALLOWED
LOWER ROOF	4,769 SF	0 SF	0%	20%
UPPER ROOF	9,496 SF	584 SF	6.1%	20%
GYM ROOF	5,920 SF	0 SF	0%	20%

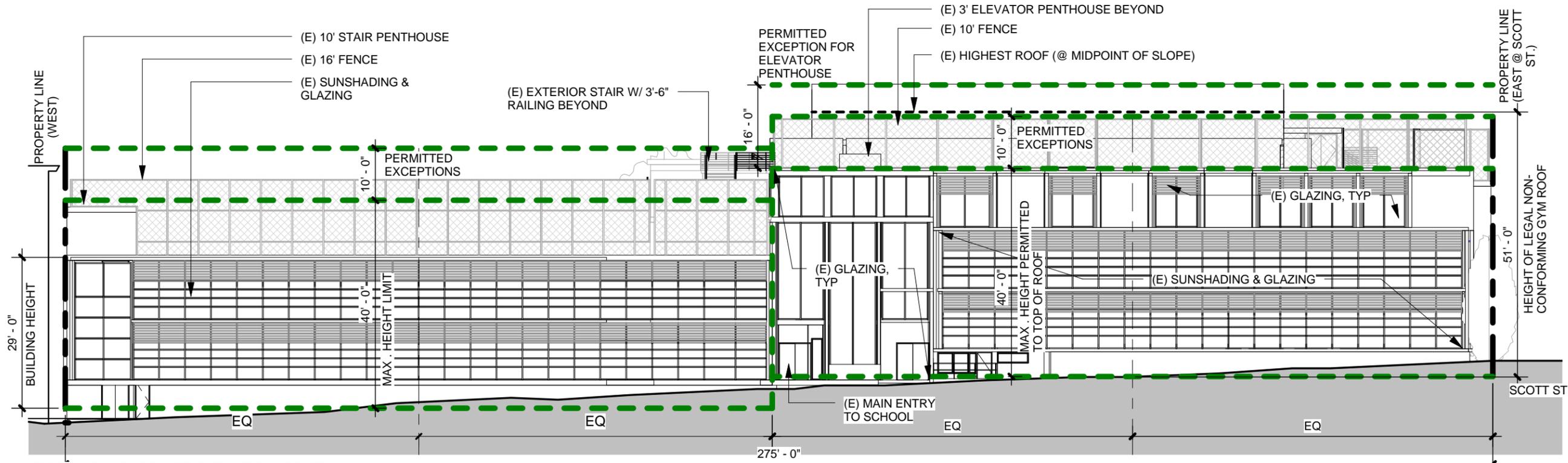
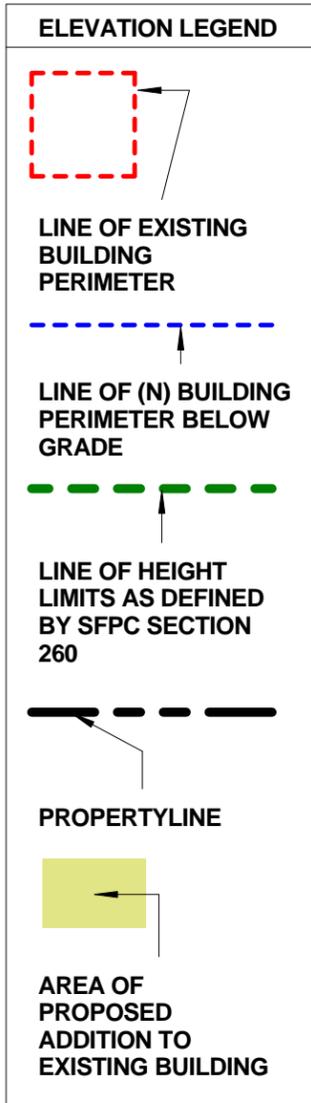
2 ROOF PLAN EXISTING - SFPC SEC. 260
1/32" = 1'-0"





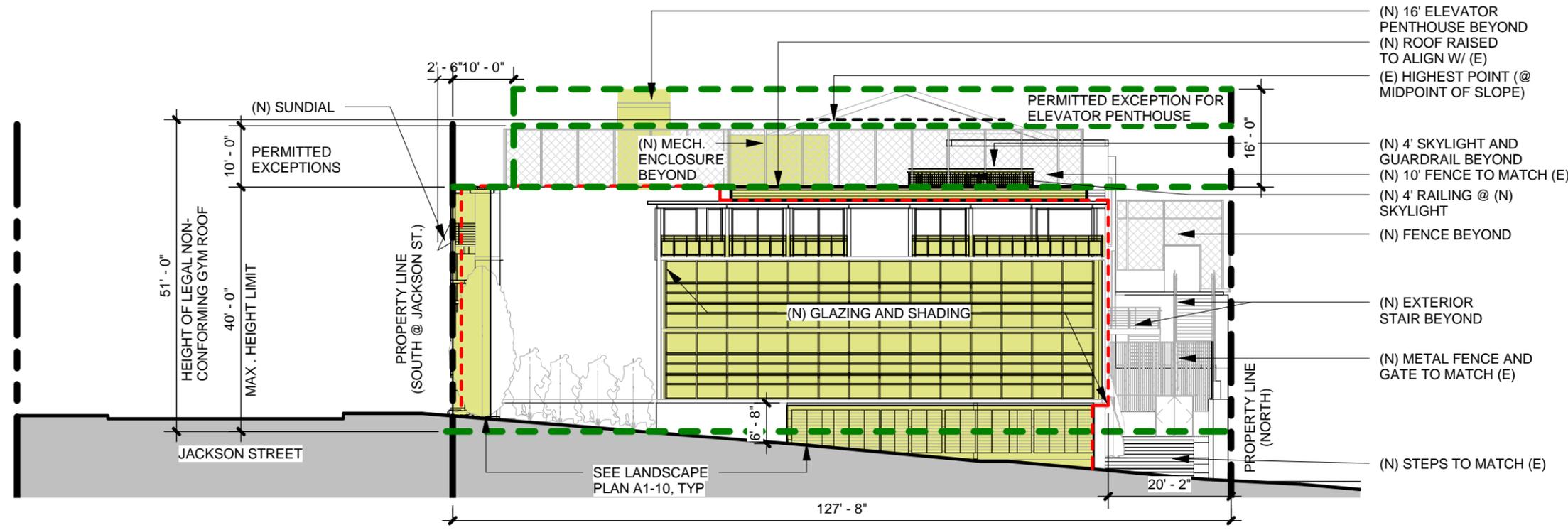
1 PROPOSED JACKSON ST ELEVATION (SOUTH.)

3/64" = 1'-0"



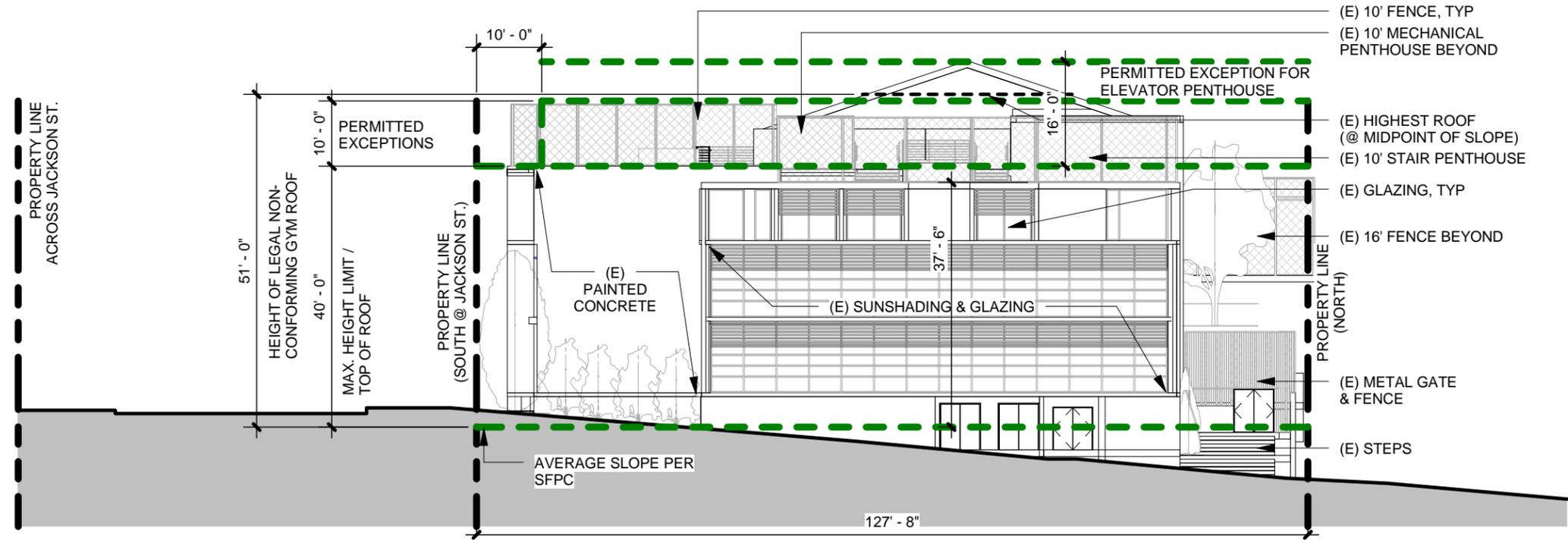
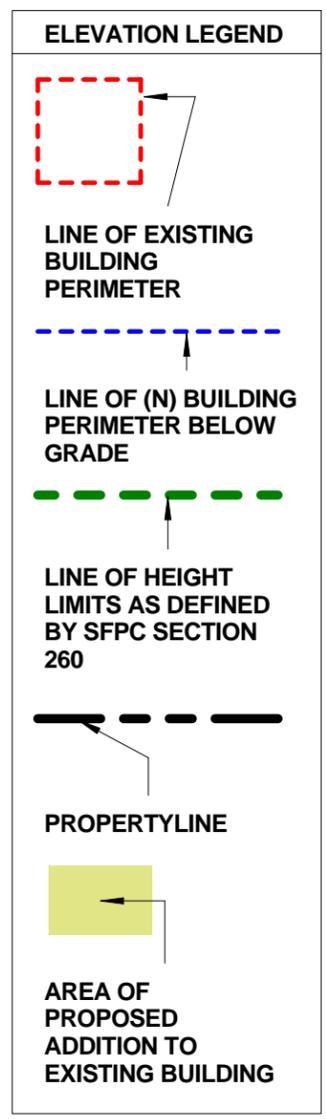
2 EXISTING JACKSON ST ELEVATION (SOUTH)

3/64" = 1'-0"



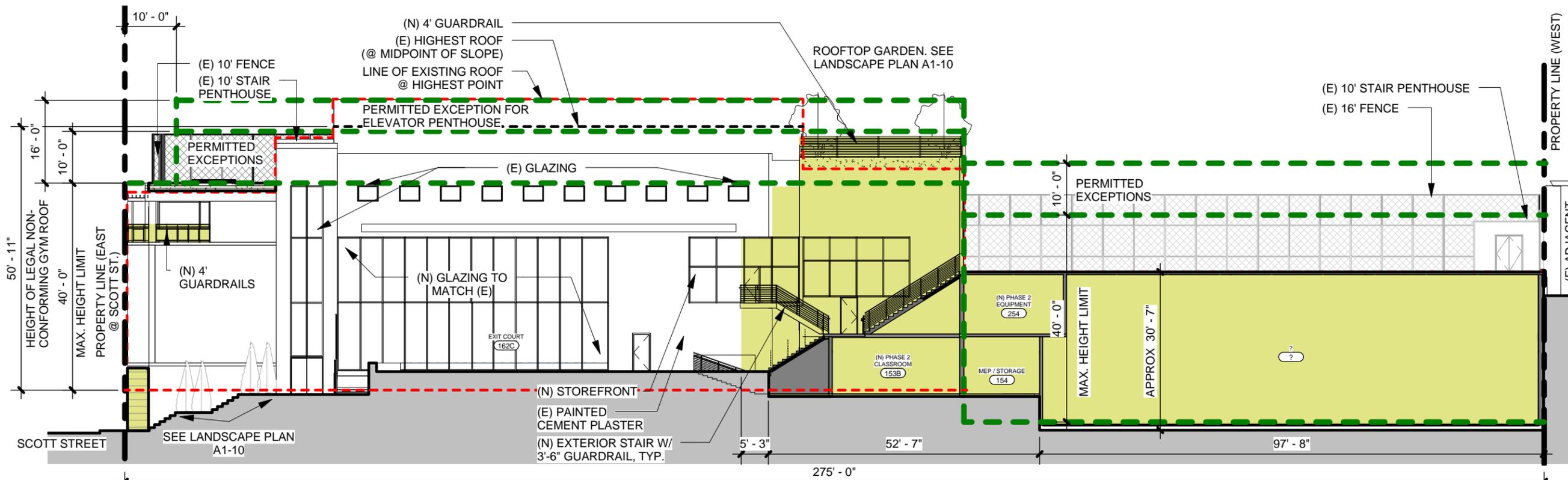
1 PROPOSED SCOTT ST ELEVATION (EAST)

3/64" = 1'-0"



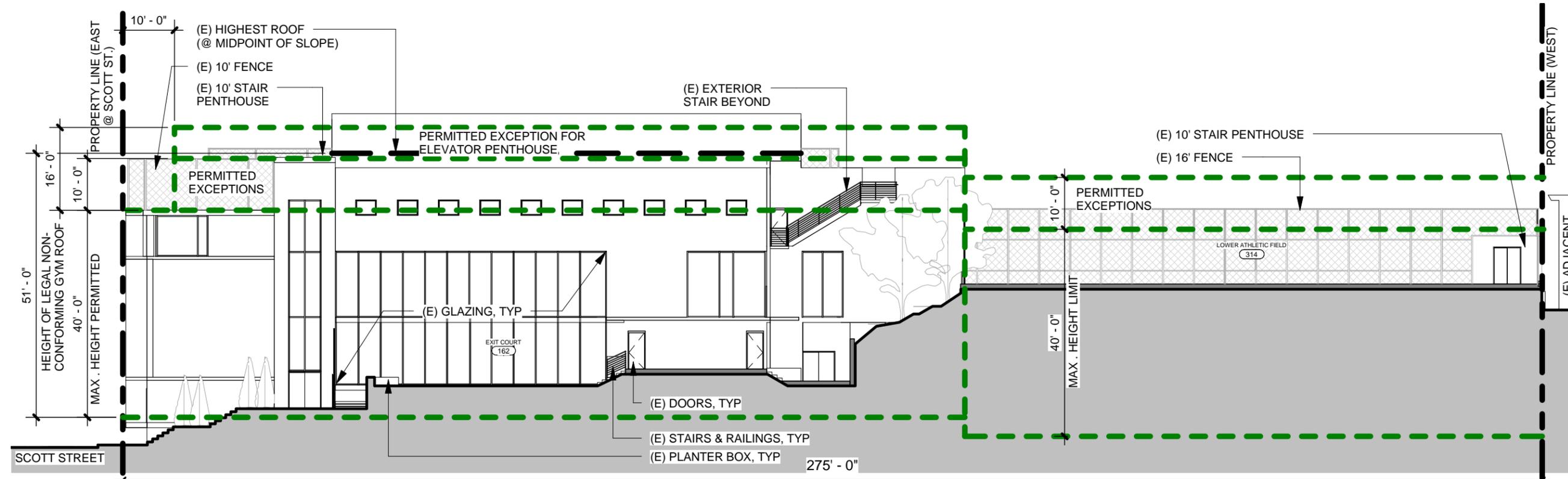
2 EXISTING SCOTT ST ELEVATION (EAST)

3/64" = 1'-0"



1 PROPOSED NORTH ELEVATION/ E-W SECTION

3/64" = 1'-0"

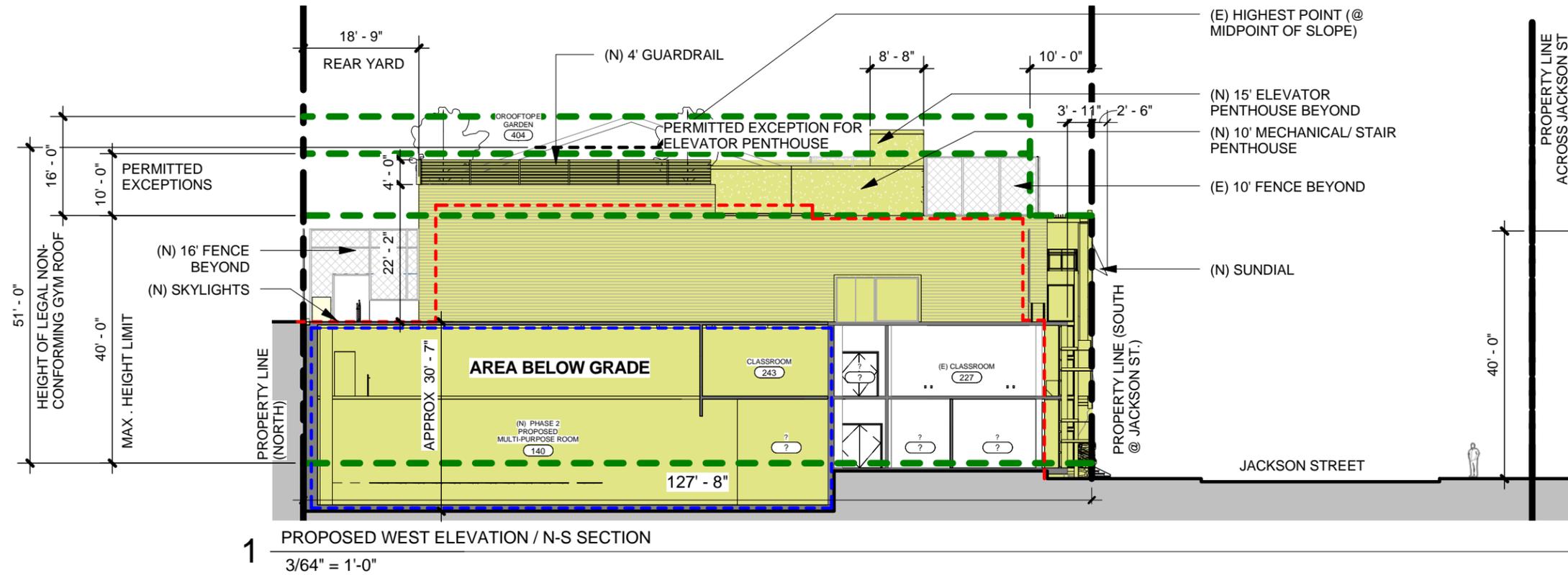


2 EXISTING NORTH ELEVATION/ E-W SECTION

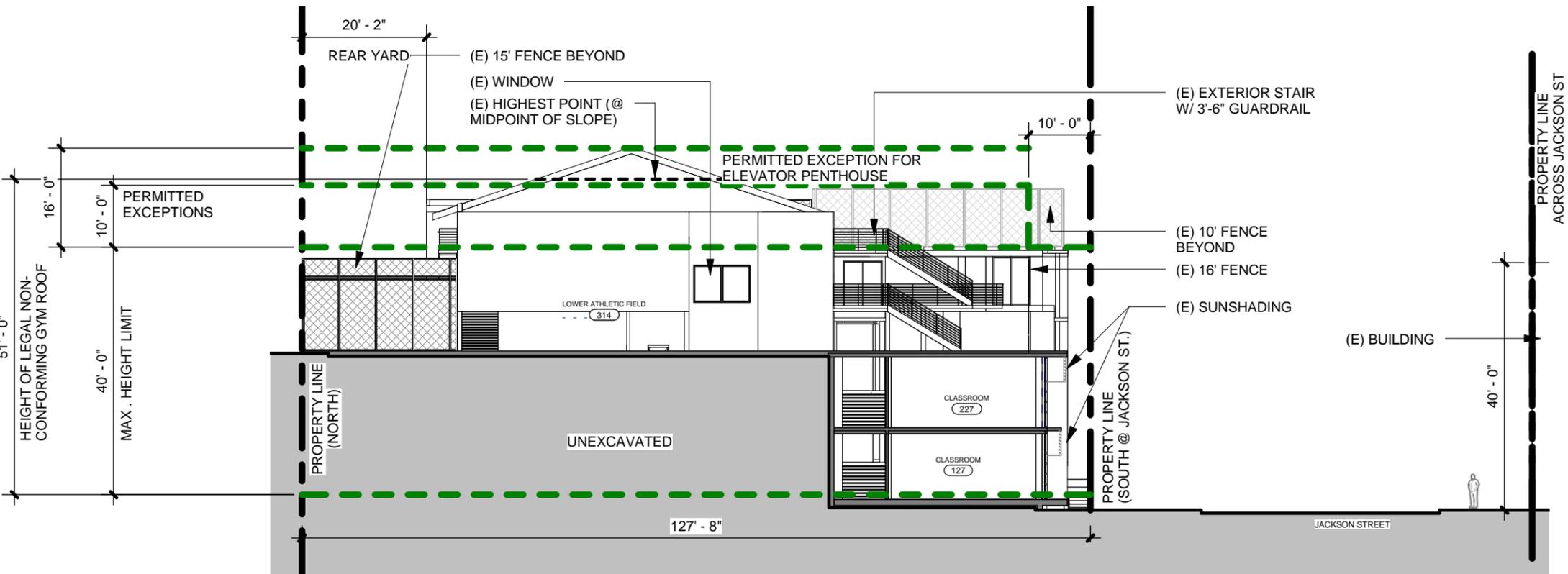
3/64" = 1'-0"

ELEVATION LEGEND

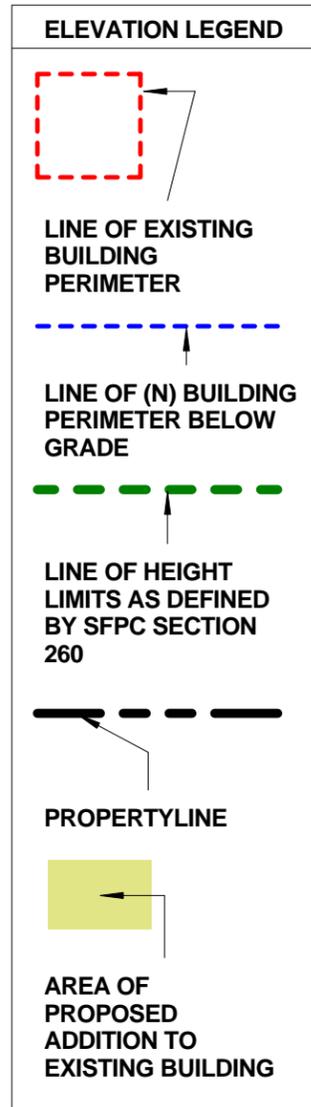
- LINE OF EXISTING BUILDING PERIMETER
- LINE OF (N) BUILDING PERIMETER BELOW GRADE
- LINE OF HEIGHT LIMITS AS DEFINED BY SFPC SECTION 260
- PROPERTYLINE
- AREA OF PROPOSED ADDITION TO EXISTING BUILDING

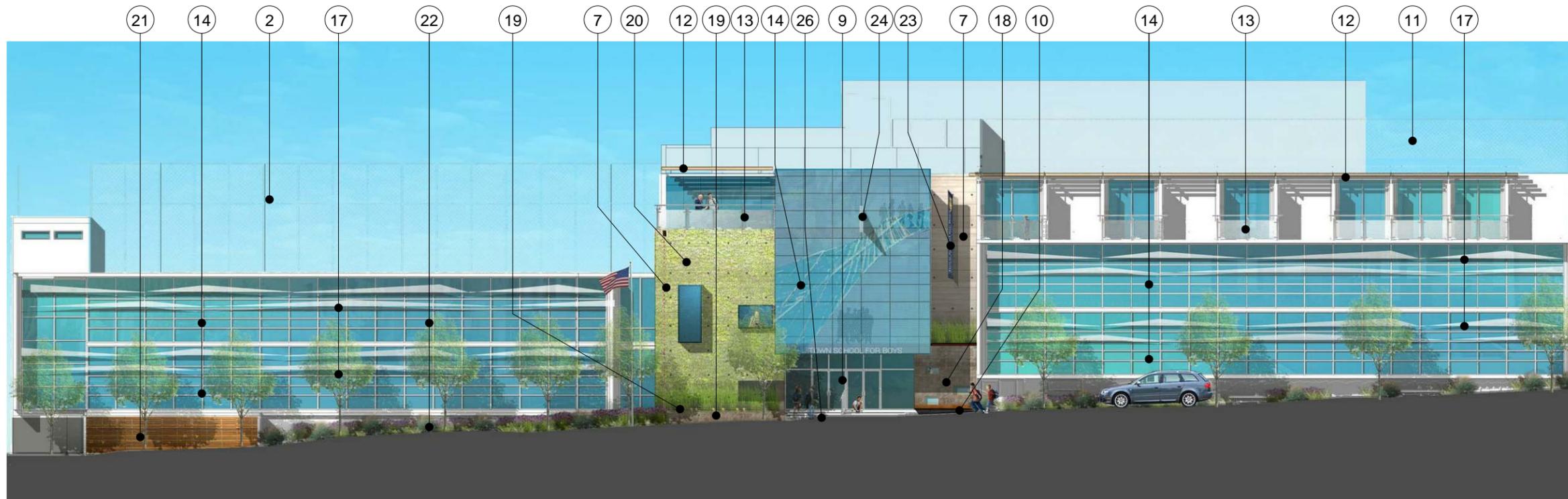


1 PROPOSED WEST ELEVATION / N-S SECTION
3/64" = 1'-0"



2 EXISTING WEST ELEVATION / N-S SECTION
3/64" = 1'-0"



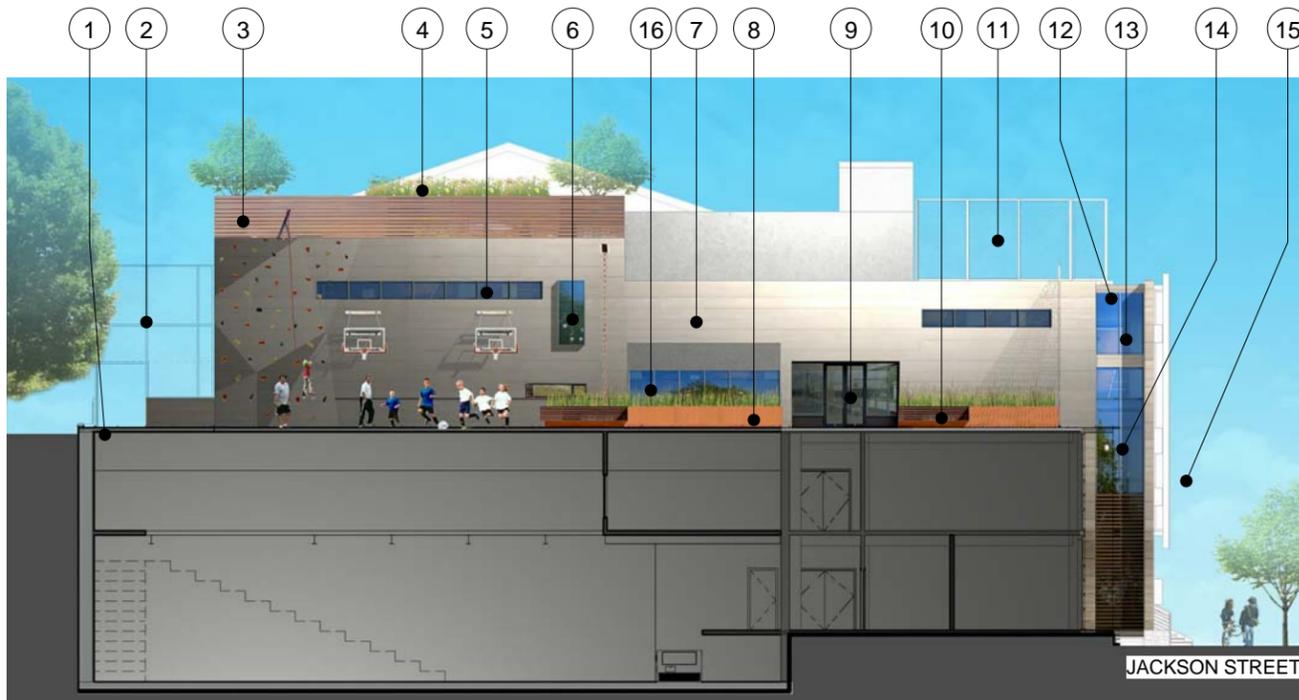


- 1 (N) SKYLIGHTS
- 2 (N) 16' FENCE TO MATCH (E)
- 3 (N) 4' TALL WOOD SLAT GUARDRAIL
- 4 (N) ROOFTOP GARDEN BEYOND
- 5 (N) STOREFRONT CLERESTORY
- 6 (N) CLR. GLASS BAY WINDOW
- 7 (N) BOARD FORMED CONC. WALL
- 8 (N) COR-TEN STEEL PLANTER
- 9 (N) ALUMINUM AND CLR. GLASS STOREFRONT ENTRYW/ FRITTED PATTERNS TO MEET BIRDSAFE REQS.
- 10 (N) WOOD SLAT BENCH
- 11 (N) 10' FENCE TO MATCH (E)
- 12 (N) WOOD AND STEEL TRELIS
- 13 (N) 4' STEEL RAILING
- 14 (N) ALUMINUM AND CLR. GLASS STOREFRONT WINDOWS W/ FRITTED PATTERNS TO MEET BIRDSAFE REQS.
- 15 (E) FLAG POLE MOVED TO NEW LOCATION
- 16 (N) SKYLIGHT BEYOND
- 17 (N) FABRIC SHADING DEVICE
- 18 (N) STONE WALL
- 19 (N) STONE PLANTER
- 20 (N) VEGETATED WALL AREA
- 21 (N) WOOD SLAT WALL
- 22 (N) LANDSCAPED AREA
- 23 (N) VERTICAL BANNER
- 24 (N) SUN DIAL
- 25 (N) STAIRS TO MATCH (E)
- 26 (N) PERMEABLE PAVING

PROPOSED JACKSON ST ELEVATION (SOUTH) - MATERIALS

2

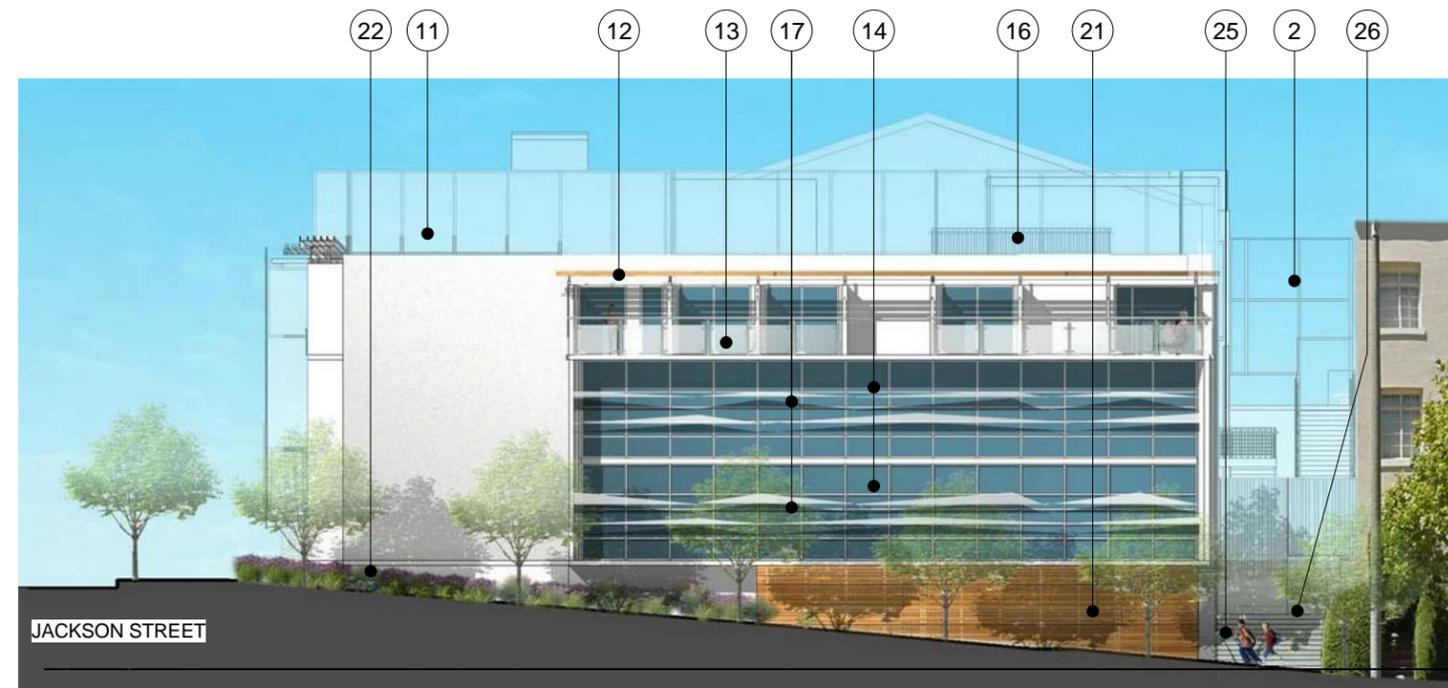
3/64" = 1'-0"



PROPOSED WEST ELEVATION / N-S SECTION - MATERIALS

1

3/64" = 1'-0"



PROPOSED SCOTT ST ELEVATION (EAST) - MATERIALS

3

3/64" = 1'-0"



7 FABRIC SUNSHADING
NTS



4 PLANTED WALL IMAGE
NTS



9 GUARDRAIL
NTS



6 STOREFRONT
NTS



3 FRITTED GLASS IMAGE
NTS



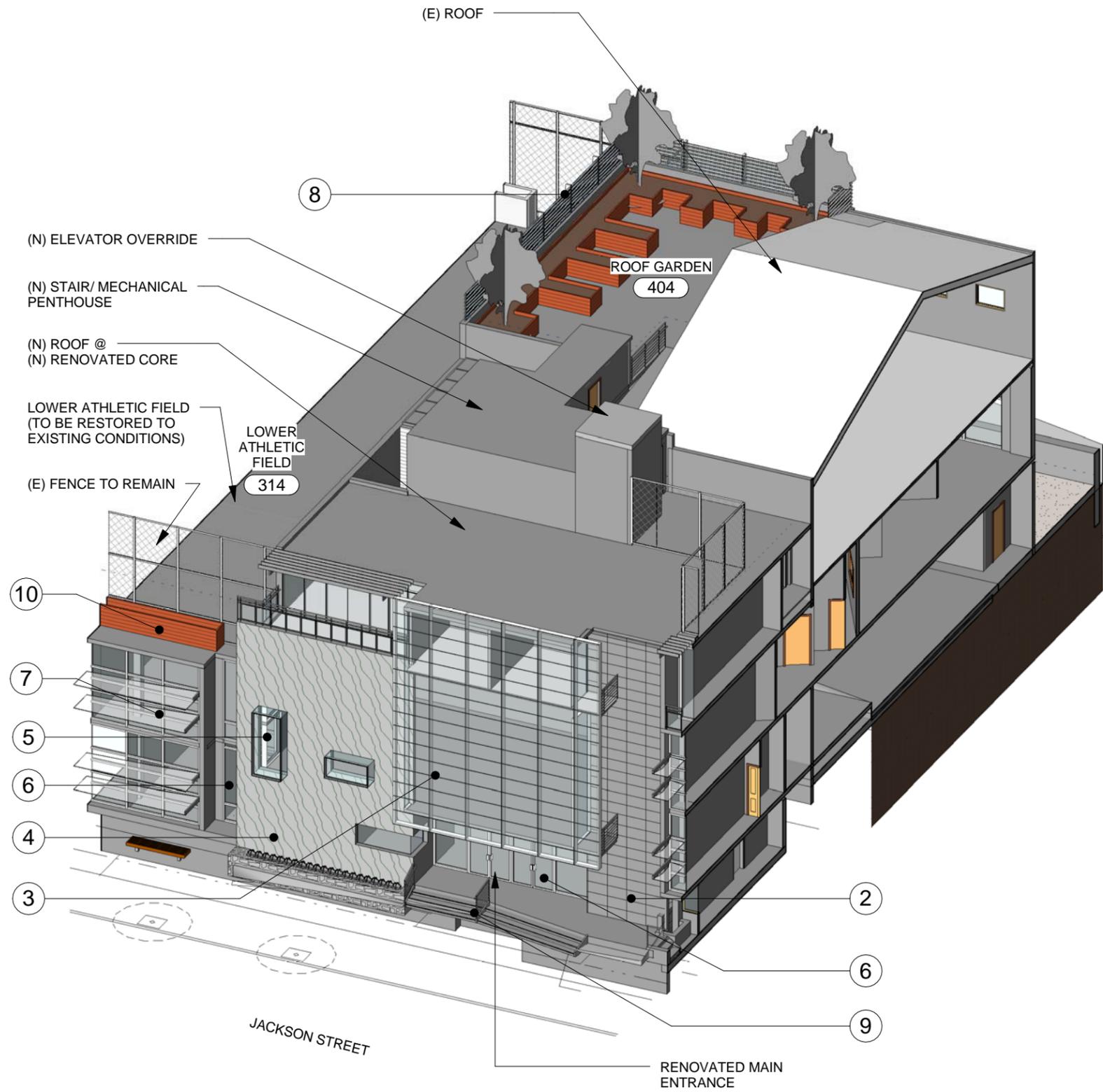
8 WOOD FENCE
NTS



5 BOX WINDOW
NTS



2 STONE WALL IMAGE
NTS



1 PROPOSED ENTRY - AXON VIEW

EXAMPLES OF SAMPLE MATERIALS



7 WOOD AND STEEL TRELLIS
NTS



6 TRANSPARENT GUARDRAIL
NTS



4 FABRIC SUN SHADING
NTS



5 CEMENT PLASTER FINISH
NTS



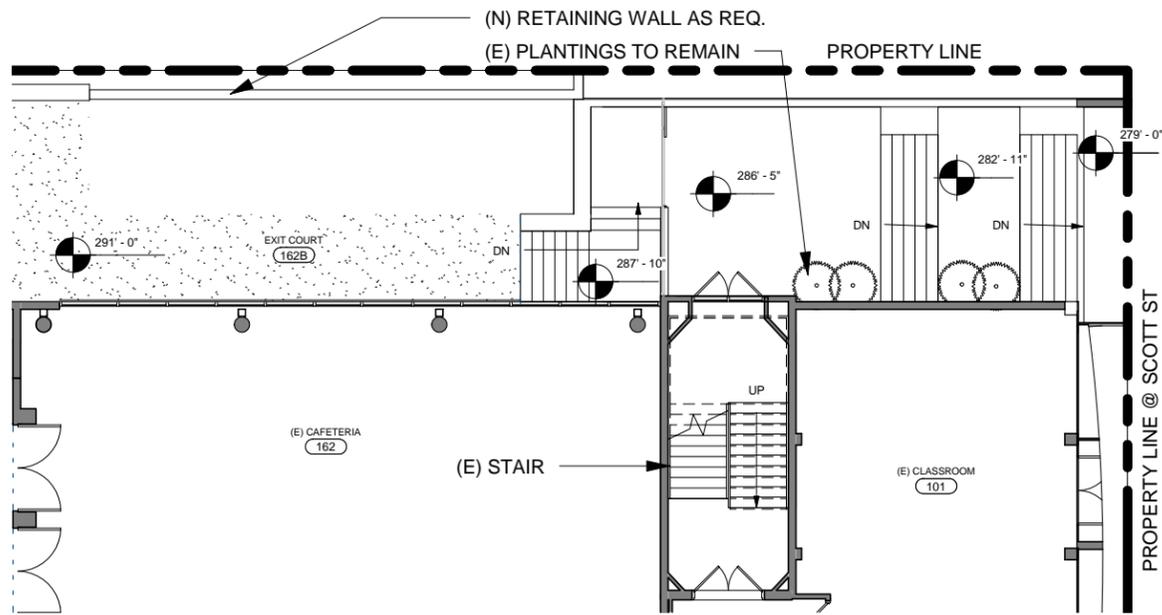
3 WOOD SLAT
NTS

7

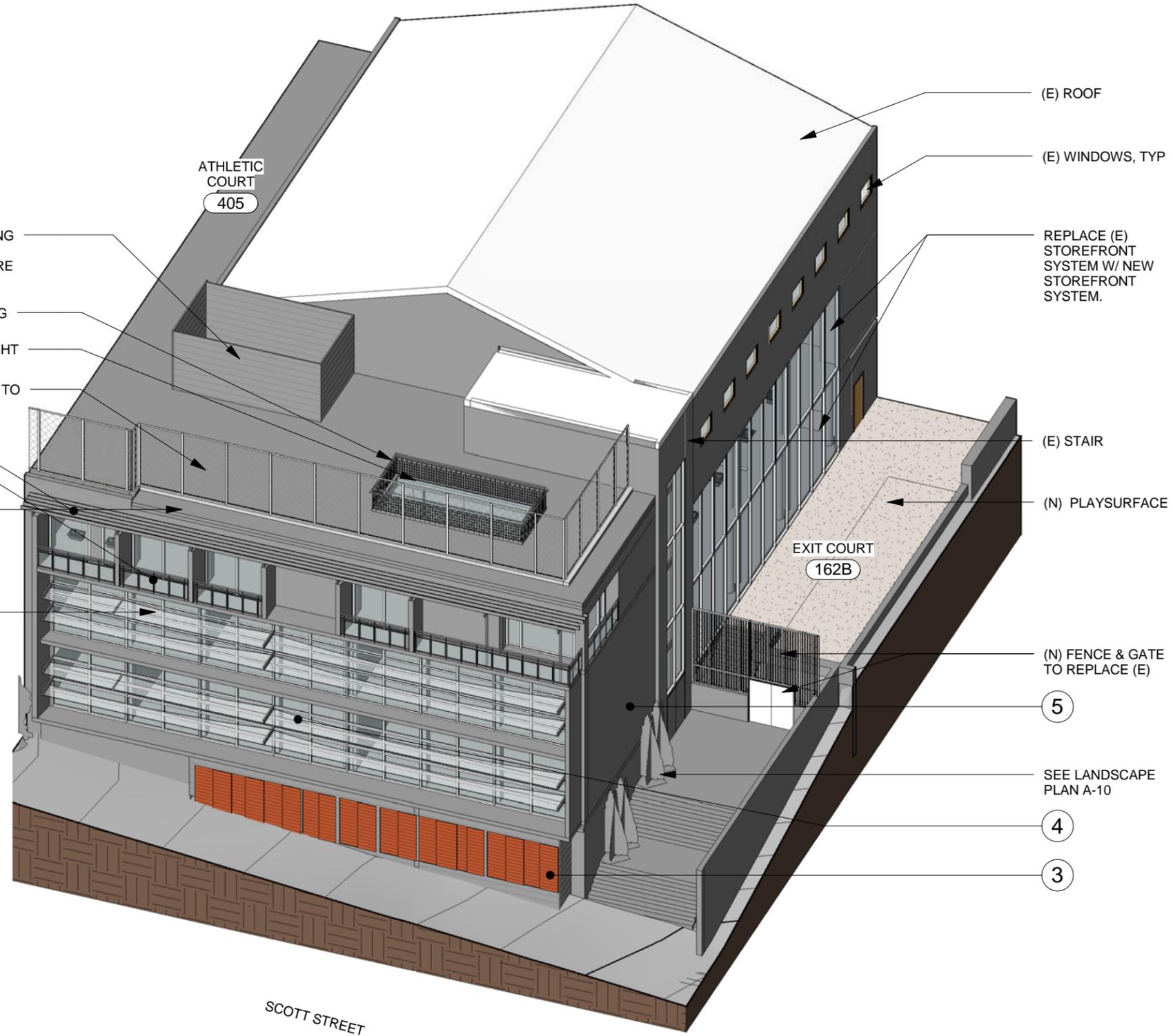
6

(N) RAISED ROOF
TO MATCH (E)
ROOF HEIGHT

(N) SUNSHADING
& GLAZING



2 PARTIAL PLAN @ COURTYARD/ SIDE ENTRY
1/16" = 1'-0"



1 AXON @ COURTYARD/ SIDE ENTRY

Current Photographs



JACKSON STREET EXISTING ELEVATION



JACKSON STREET EXISTING MAIN ENTRY

MKTHINK

Roundhouse One, 1500 Sansome Street, San Francisco, CA 94111
mkthink.com 415 402 0888

Town School for Boys
Conditional Use Authorization
04-12-2011

Current Photographs



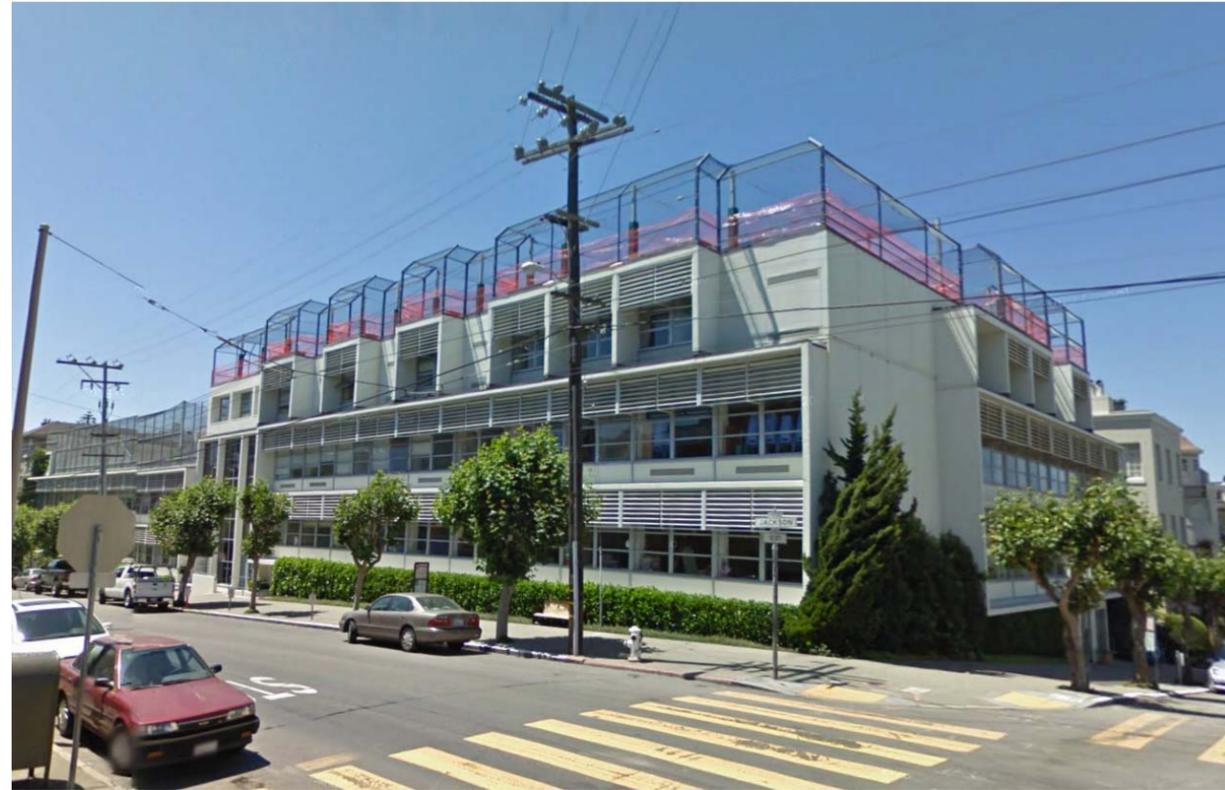
SCOTT STREET EXISTING ELEVATION

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Current Photographs



JACKSON STREET



SCOTT STREET

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04-12-2011

Current Photographs



BUILDING FACADE LOOKING NORTH ON SCOTT STREET

BUILDINGS ON FACING SIDE OF SCOTT STREET

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Town School for Boys
Conditional Use Authorization
04-12-2011

Current Photographs



BUILDINGS ON FACING SIDE OF JACKSON STREET

BUILDING FACADE LOOKING WEST ON JACKSON STREET

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Current Photographs



ADJACENT BUILDINGS TO THE NORTH ON SCOTT STREET

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ADJACENT BUILDINGS TO THE WEST ON JACKSON STREET

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Current Photographs



LOWER ROOF ATHLETIC FIELD



LOWER SCHOOL PLAY STRUCTURE ON LOWER ATHLETIC FIELD

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Current Photographs



EXISTING STAIRS ON SCOTT STREET TO REAR TERRACE



EXISTING REAR TERRACE

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Current Photographs



UPPER ROOF NORTHEAST CORNER



UPPER ROOF ATHLETIC FIELD

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04-12-2011

Historic Photographs

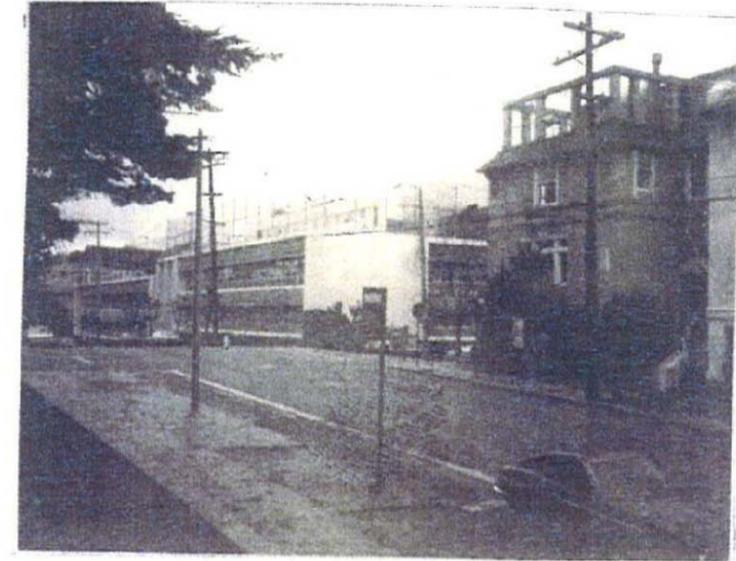
Obtained from 1981 Conditional Use Permit
Façade and Subject Block Face Photographs



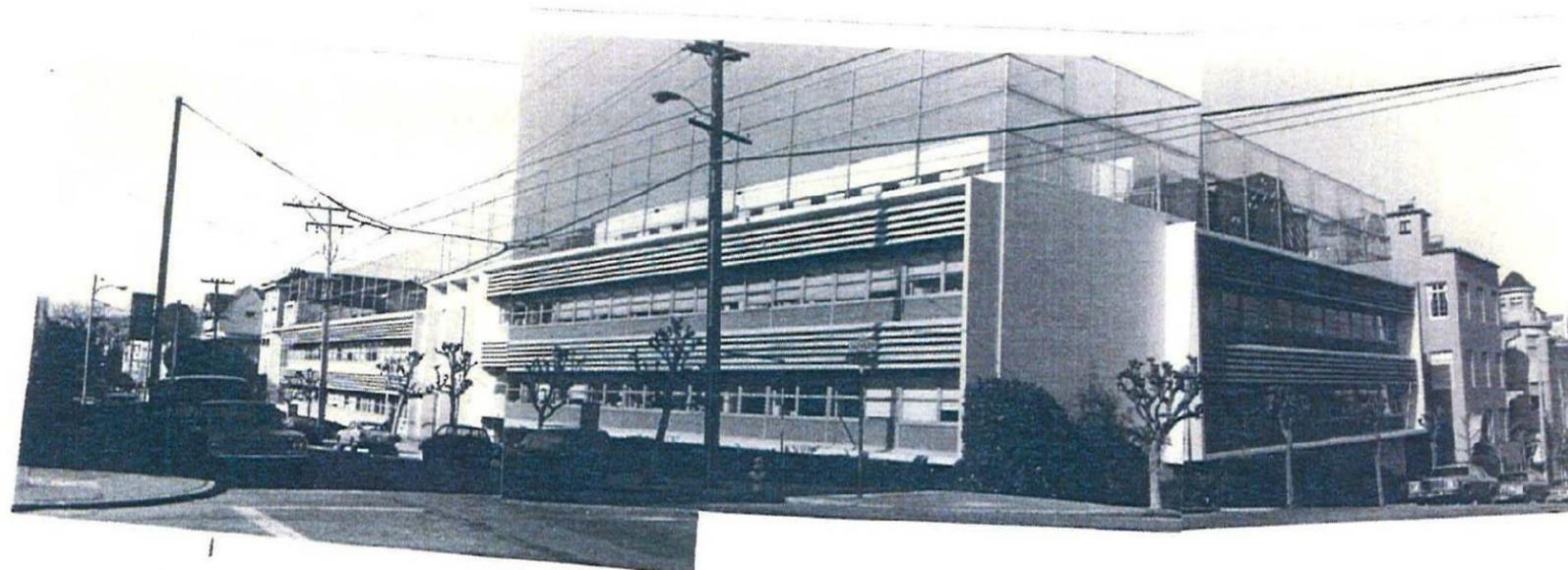
Jackson Street facade from east.



Jackson Street facade from west.

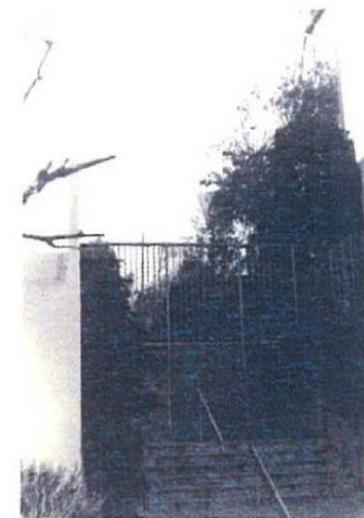


School building from Alta Plaza Park,
showing gymnasium at third floor.



JACKSON ST FAÇADE

SCOTT STREET



Entry gate on Scott Street

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mkthink.com 415 402 0888

Town School for Boys
Conditional Use Authorization
04-12-2011

Historic Photographs

Obtained from 1981 Conditional Use Permit
Architectural Detail and Site Feature Photographs



Jackson Street
rear yard play
area at level 311'



Jackson Street roof top play area at
level 315'-9".
Building at N.E. corner of Jackson and
Scott Streets beyond.

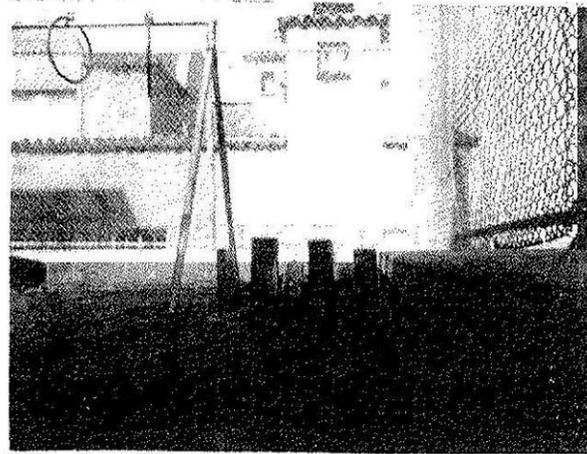
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mkthink.com 415 402 0888

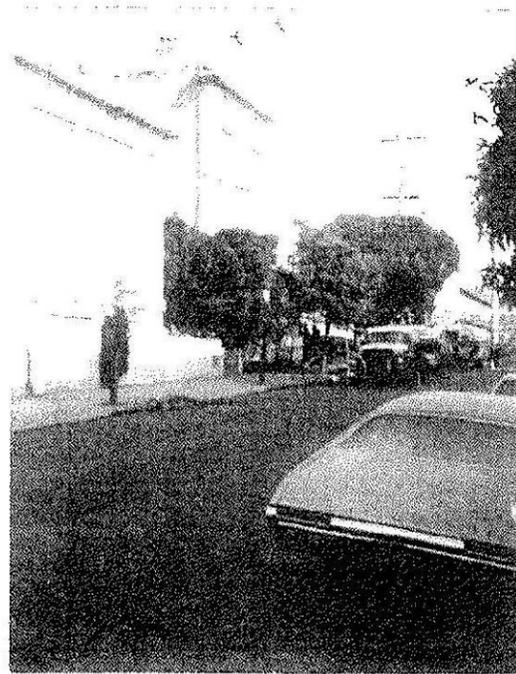
Town School for Boys
Conditional Use Authorization
04-12-2011

Historic Photographs

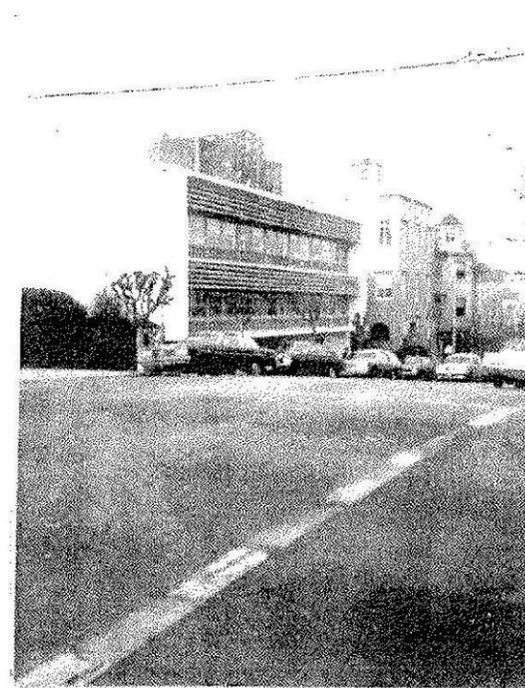
Obtained from 1981 Conditional Use Permit
Adjacent Building Photographs



Scott Street roof top play area at level 315'-9".
Adjacent building to north beyond.



View of adjacent building to west approximately 50' high.



View north on Scott Street.
Adjacent building to north approximately 48' high.



SCHOOL AND ADJOINING-
PROPERTY TO NORTH
ON SCOTT STREET

SHADOW NEAR NOON
WINTER SOLSTICE

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mkthink.com 415 402 0888

Town School for Boys
Conditional Use Authorization
04-12-2011

Historic Photographs

Obtained from 1981 Conditional Use Permit
Facing Building Photographs



OPPOSITE FRONTAGE -- SOUTH SIDE
JACKSON ST



OPPOSITE FRONTAGE -- EAST SIDE SCOT ST



View west on Jackson Street. Building
on left approximately 42' high.



View of building at N.E. corner
of Jackson & Scott Streets ap-
proximately 40' high.

MKTHINK

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mkthink.com 415 402 0888

Town School for Boys
Conditional Use Authorization
04-12-2011

**EXHIBIT 1:
 MITIGATION MONITORING AND REPORTING PROGRAM
 (Includes Text for Adopted Mitigation Measures)**

MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementa-tion	Schedule	Monitoring/Report Responsibility	Status/Date Completed
<i>Cultural Resources Mitigation Measures</i>				
<p>Mitigation Measure M-CP-2 (Accidental Discovery): The following mitigation measure is required to avoid any potential adverse effect from the proposed project on accidentally discovered buried or submerged historical resources as defined in <i>CEQA Guidelines</i> Section 15064.5(a)(c).</p>				
<p>The project sponsor shall distribute the Planning Department archeological resource "ALERT" sheet to the project prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, pile driving, etc. firms); or utilities firm involved in soils disturbing activities within the project site. Prior to any soils disturbing activities being undertaken each contractor is responsible for ensuring that the "ALERT" sheet is circulated to all field personnel including, machine operators, field crew, pile drivers, supervisory personnel, etc. The project sponsor shall provide the Environmental Review Officer (ERO) with a signed affidavit from the responsible parties (prime contractor, subcontractor(s), and utilities firm) to the ERO confirming that all field personnel have received copies of the Alert Sheet.</p>	Project sponsor and construction contractor(s)	Prior to any soils-disturbing activity.	Distribution of "ALERT" sheet among contractors and crew; project sponsor to provide ERO with a signed affidavit.	Prior to any soils-disturbing activity. Considered complete upon ERO approval of affidavit.
<p>Should any indication of an archeological resource be encountered during any soils disturbing activity of the project, the project Head Foreman and/or project sponsor shall immediately notify the ERO and shall immediately suspend any soils disturbing activities in the vicinity of the discovery until the ERO has determined what additional measures should be undertaken.</p>	Head Foreman and project sponsor	During any soils-disturbing activity.	Notification of ERO if any archeological resources encountered.	During any soils-disturbing activity. Considered complete upon notification of ERO.

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<p>If the ERO determines that an archeological resource may be present within the project site, the project sponsor shall retain the services of a qualified archeological consultant. The archeological consultant shall advise the ERO as to whether the discovery is an archeological resource, retains sufficient integrity, and is of potential scientific/historical/cultural significance. If an archeological resource is present, the archeological consultant shall identify and evaluate the archeological resource. The archeological consultant shall make a recommendation as to what action, if any, is warranted. Based on this information, the ERO may require, if warranted, specific additional measures to be implemented by the project sponsor.</p> <p>Measures might include preservation in situ of the archeological resource; an archaeological monitoring program; or an archeological testing program. If an archeological monitoring program or archeological testing program is required, it shall be consistent with the Major Environmental Analysis (MEA) division guidelines for such programs. The ERO may also require that the project sponsor immediately implement a site security program if the archeological resource is at risk from vandalism, looting, or other damaging actions.</p>	Project sponsor and archeological consultant	Before resumption of any soils-disturbing activity (if suspended)	Archeological consultant shall advise the ERO and ERO may require additional measures	Prior to resumption of soils-disturbing activity. Considered complete upon ERO approval of archeological consultant's recommendations.
<p>The project archeological consultant shall submit a Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describing the archeological and historical research methods employed in the archeological monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.</p>	Project sponsor and archeological consultant	Following completion of any required archaeological field program	Archeological consultant submits draft FARR to ERO for approval	Prior to issuance of final certificate of occupancy. Considered complete upon ERO approval of draft FARR
<p>Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Major Environmental Analysis division of the Planning Department shall receive three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest or interpretive value, the ERO may require a different final report content, format, and distribu-</p>	Project sponsor and archeological consultant	Following completion of FARR.	Distribute FARR. Submittal to ERO of affidavit of FARR distribution..	Prior to resumption of soils-disturbing activities. Considered complete upon Planning Department receipt of report.

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MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Schedule	Monitoring/Report Responsibility	Status/Date Completed
tion than that presented above.				
Air Quality Mitigation Measures				
<p>Mitigation Measure M-AQ-5: Construction Emissions Minimization Plan</p> <p>A. <i>Construction Emissions Minimization Plan.</i> Prior to issuance of a construction permit, the project sponsor shall submit a Construction Emissions Minimization Plan (Plan) for the Core Modernization and Expansion Phase to the Environmental Review Officer (ERO) for review and approval by an Environmental Planning Air Quality Specialist. The Plan shall detail project compliance with the following requirements:</p> <ol style="list-style-type: none"> 1. Off-road equipment such as cranes, excavators, backhoes, and off-road trucks utilized during the Core Modernization and Expansion Phase trucks shall meet the following requirements: <ol style="list-style-type: none"> a) All off-road equipment shall have: <ol style="list-style-type: none"> i. Engines that meet or exceed either USEPA or ARB Tier 2 off-road emission standards, and ii. Engines that are retrofitted with an ARB Level 2 Verified Diesel Emissions Control Strategy (VDECS).¹ 2. The project sponsor shall require the idling time for off-road 	Project sponsor and construction contractor	Construction Emissions Minimization Plan shall be submitted to Planning Department and ERO prior to construction and demolition. Equipment shall be used during demolition and construction activities	Project sponsor, Planning Department, and ERO	Following completion of all construction and demolition activities

¹ Equipment with engines meeting Tier 4 Interim or Tier 4 Final emission standards automatically meet this requirement, therefore a VDECS would not be required.

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<p>equipment to be limited to no more than <i>two</i> minutes, except as provided in exceptions to the applicable state regulations regarding idling for off-road equipment. Legible and visible signs shall be posted in multiple languages (English, Spanish, Chinese) in designated queuing areas and at the construction site to remind operators of the two minute idling limit.</p> <p>3. The project sponsor shall require that construction operators properly maintain and tune equipment in accordance with manufacturer specifications.</p> <p>4. The Plan shall include estimates of the construction timeline by phase with a description of all such cranes, excavators, back-hoes, and off-road trucks required for the Core Modernization and Expansion Phase. Off-road equipment descriptions and information may include, but is not limited to: equipment type, equipment manufacturer, equipment identification number, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation. For VDECS installed: technology type, serial number, make, model, manufacturer, ARB verification number level, and installation date and hour meter reading on installation date.</p> <p>5. The Plan shall be kept on-site and available for review by any persons requesting it and a legible sign shall be posted at the perimeter of the construction site indicating to the public the basic requirements of the Plan and a way to request a copy of the Plan. The project sponsor shall provide copies of Plan to members of the public as requested.</p>	<p>Project sponsor and construction contractor</p>	<p>Manufacturing specifications shall be submitted to ERO prior to construction. Certified mechanic shall check equipment prior to, and during, demolition and construction activities and submit affidavit to ERO.</p>	<p>Project sponsor, Planning Department, and ERO</p>	<p>Following completion of all construction and demolition activities</p>

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 MITIGATION MONITORING AND REPORTING PROGRAM
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MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>B. <i>Reporting.</i> Monthly reports shall be submitted to the ERO indicating the construction phase and off-road equipment information used during each phase including the information required in subsection A(4) above. In addition, for off-road equipment using alternative fuels, reporting shall include the actual amount of alternative fuel used.</p> <p>Within six months of the completion of construction activities, the project sponsor shall submit to the ERO a final report summarizing construction activities. The final report shall indicate the start and end dates and duration of each construction phase. For each phase, the report shall include detailed information required in A(4). In addition, for off-road equipment using alternative fuels, reporting shall include the actual amount of alternative fuel used.</p> <p>C. <i>Certification Statement and On-site Requirements.</i> Prior to the commencement of construction activities, the project sponsor must certify (1) compliance with the Plan, and (2) that all applicable requirements of the Plan have been incorporated into contract specifications.</p>	<p>Project sponsor and construction contractor</p>	<p>Monthly reports shall be submitted to the Planning Department and ERO monthly during the construction and demolition period.</p>	<p>Project sponsor, Planning Department, and ERO.</p>	<p>Following completion of Final Monitoring Report.</p>
<p>Noise Mitigation Measures</p>				
<p>Mitigation Measure M-NO-2: Reduction of Construction Noise</p> <p>The following measures would further minimize construction noise impacts on sensitive receptors:</p> <ul style="list-style-type: none"> • Construction equipment shall be properly maintained in accordance with manufacturers' specifications and shall be fitted with the best available noise suppression devices (e.g., mufflers, silencers, wraps). All impact tools shall be shrouded or shielded, and all intake and exhaust ports on power equipment shall be muffled or 	<p>Project sponsor and construction contractor</p>	<p>Construction specifications showing adherence to measure shall be submitted to ERO prior to commencement of activities. Measures shall be implemented during construction.</p>	<p>Project Sponsor, Planning Department and ERO</p>	<p>Following completion of all construction activities</p>

EXHIBIT 1: MITIGATION MONITORING AND REPORTING PROGRAM (Includes Text for Adopted Mitigation Measures)				
MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementa- tion	Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>shielded.</p> <ul style="list-style-type: none"> • Construction equipment shall not idle for extended periods of time near noise-sensitive receptors. • Stationary equipment (compressors, generators, and cement mixers) shall be located as far from sensitive receptors as feasible. Sound enclosures shall be used during noisy operations on-site. • Temporary barriers (noise blankets or wood paneling) shall be placed around the construction site parcels and, to the extent feasible, they should break the line of sight from noise sensitive receptors to construction activities. For temporary sound blankets, the material shall be weather and abuse resistant, and shall exhibit superior hanging and tear strength with a surface weight of at least 1 pound per square foot. Placement, orientation, size, and density of acoustical barriers shall be reviewed and approved by a qualified acoustical consultant. • When temporary barrier units are joined together, the mating surfaces shall be flush with each other. Gaps between barrier units, and between the bottom edge of the barrier panels and the ground, shall be closed with material that would completely close the gaps, and would be dense enough to attenuate noise. 				
<i>Hazardous Materials Mitigation Measures</i>				
<p>Mitigation Measure M-HZ-2a: Removal of Unknown Underground Storage Tank (UST) Should an underground storage tank (UST), other item of environmental concern, or contamination be encountered, work should be suspended and the owner notified. The site owner/project contractor shall notify the San Francisco Department of Public Health of the situation and of the proposed response actions. A UST shall be removed under permit with the San Francisco Department of Public Health-Hazardous Materials Unified Program Agency (HMUPA) and the San Francisco Fire Department. DPH SAM should</p>	Project sponsor or contractor	During excavation activities.	Contractor shall submit a Monitoring Report, detailing survey results and compliance with the specified measure, to SFDPH for approval after construction. Copies of the report shall be	Considered complete upon agency receipt of SFDPH-approved Monitoring Report

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be sent a copy of any documents received from or prepared for HMUPA or the Fire Department.			sent to the Planning Department and ERO	
Mitigation Measure M-HZ-2b (Other Hazardous Building Materials): The project sponsor would ensure that building surveys for PCB- and mercury-containing equipment (including elevator equipment), hydraulic oils, and fluorescent lights are performed prior to the start of renovation. Any hazardous materials so discovered would be abated according to federal, State, and local laws and regulations.	Project sponsor or contractor	Prior to any demolition activities	Project sponsor or contractor shall submit a Monitoring Report, detailing survey results and compliance with the specified measure, to SFDPH for approval after construction. Copies the report shall be sent to the DBI and Planning Department.	Considered complete upon agency receipt of SFDPH-approved Monitoring Report