



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis

Dwelling Unit Merger HEARING DATE OCTOBER 20, 2011

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: October 13, 2011
Case No.: **2011.0497D**
Project Address: **650 2nd STREET**
Permit Application: **2011.01.14.8412 / 2011.01.14.8416**
Zoning: MUO (Mixed Use, Office)
65-X Height and Bulk District
Block/Lot: 3788/059 & 060
Project Sponsor: Patrick Otellini
A.R. Sanchez-Corea & Associates
301 Junipero Serra Blvd, Suite 270
San Francisco, CA 94127
Staff Contact: Ben Fu – (415) 558-6613
Ben.fu@sfgov.org
Recommendation: **Do not take Discretionary Review and approve the application**

PROJECT DESCRIPTION

The proposal is to merge two live-work units into one unit within a 25-unit, six-story building. The proposal will involve interior renovations unrelated to the merger as the space has always been operated and owned as a single unit since the building conversion in 1996 from warehouse to live-work units.

SITE DESCRIPTION AND PRESENT USE

The subject site is located on the west side of 2nd Street between Brannan and Townsend Streets in the South of Market neighborhood. The site has approximately 64 feet of lot frontage with a lot depth of approximately 160 feet. The building is six stories and 72 feet tall and nearly full lot coverage.

The building is located within the South End Historic District and has a 2D National Register Status Code (contributor to a district determined eligible for National Register). The building is commonly known as the "B.F. Goodrich Rubber Company" building. It was constructed circa 1923 by Herman C. Bauman as an original office and warehouse building.

The building was converted to 25 live-work units in 1996. Previous owner in December 2008 filed Building Permit Application No. 2008.1211.8353 to merge the two units. The permit was withdrawn at applicant's request in January 2009. The current owner (project sponsor) purchased the already merged unit in 2009 and continued to occupy it as a single unit. The existing 2,950 square-foot unit will remain owner occupied.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located within the South of Market neighborhood and within the South End Historic District. The subject site is zoned MUO, which is described in the Planning Code as designed to encourage office uses and housing, as well as small-scale light industrial and arts activities. A pattern of mid-rise residential, industrial and office buildings exists in the neighborhood one block away from the AT&T Park. The overall density of dwelling units are high, buildings are larger scaled and units or groups of units have separate entrances.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	October 11, 2011	October 07, 2011	12 days
Mailed Notice	10 days	October 11, 2011	October 07, 2011	12 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	NA	NA	
Other neighbors on the block or directly across the street	NA	NA	
Neighborhood groups	NA	NA	

The Department has received no public input on the project at the date of this report.

PROJECT ANALYSIS

DWELLING UNIT MERGER CRITERIA

Below are the five criteria to be considered by the Planning Commission in evaluating dwelling unit mergers, per Planning Code Section 317:

1. Removal of the unit(s) would only eliminate owner occupied housing, and if so, for how long the units proposed to be removed have been owner occupied;

Project Meets Criteria

According to Planning Department records, the subject property was purchased in 2009 by the project sponsor. The unit, since its conversion from warehouse to live-work, has always been occupied as a single unit without demising walls. The unit has been and will continue to be owner occupied.

2. Removal of the unit(s) and the merger with another is intended for owner occupancy.

Project Meets Criteria

The unit has been owner occupied by the project sponsor since it was purchased in 2009.

3. Removal of the unit(s) will bring the building closer into conformance with the prevailing density in its immediate area and the same zoning.

Project Does Not Meet Criteria

The prevailing density in the area is mixed. The density of the subject block ranges from high density apartment buildings to office and warehouse buildings. Within the same zoning district of MUO in the immediate area, the building across the street at 699 2nd Street has one of the highest densities with 111 dwelling units constructed/added in 2006.

4. Removal of the unit(s) will bring the building closer into conformance with prescribed zoning.

Criteria Not Applicable

The subject property is zoned MUO, which has no residential density limits.

5. Removal of the unit(s) is necessary to correct design or functional deficiencies that cannot be corrected through interior alterations.

Project Does Not Meet Criteria

While the existing units have been purchased and occupied as one single unit since the building's conversion to live-work in 1996, there are no "functional deficiencies".

GENERAL PLAN COMPLIANCE:

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 2

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.4:

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.7:

Respect San Francisco's historic fabric, by preserving landmark buildings and ensuring consistency with historic districts.

While the subject property is authorized for two units, it has been used as a single-unit since the building's conversion from warehouse to live-work in 1996.

EAST SOMA AREA PLAN

Historic resources

Objectives and Policies

OBJECTIVE 8.2

PROTECT, PRESERVE, AND REUSE HISTORIC RESOURCES WITHIN THE EAST SOMA AREA PLAN

Policy 8.2.1:

Protect individually significant historic and cultural resources and historic districts in the East SoMa area plan from demolition or adverse alteration.

OBJECTIVE 8.3

ENSURE THAT HISTORIC PRESERVATION CONCERNS CONTINUE TO BE AN INTEGRAL PART OF THE ONGOING PLANNING PROCESSES FOR THE EAST SOMA PLAN AREA AS THEY EVOLVE OVER TIME

Policy 8.3.3:

Prevent destruction of historic and cultural resources resulting from owner neglect or inappropriate actions.

The project preserves the existing historic resource and the proposal will include internal upgrades.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

This is not applicable since the property is a live/work use.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

While the subject property is authorized for two units, it has been used as a single-unit since the building's conversion from warehouse to live-work in 1996.

3. That the City's supply of affordable housing be preserved and enhanced.

This is not applicable since the existing unit has not been an affordable unit.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The proposal will not impede MUNI service or overburden streets or neighborhood parking. Public transit lines are available nearby on King, Mission and Market Streets.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

This is not applicable since the property is a live/work use.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposal will comply with applicable code standards.

7. Landmarks and historic buildings be preserved.

The building is located within the South End Historic District and has a 2D National Register Status Code (contributor to a district determined eligible for national register). The building is also commonly known as the "B.F. Goodrich Rubber Company" building and constructed circa 1923 by Herman C. Bauman as an original office and warehouse building. The proposal does not involve any exterior improvements to the existing building.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The proposal will not affect any existing parks or open spaces.

ENVIRONMENTAL REVIEW

The project is categorically exempt from the environmental review process under Section 15061(b)(3) of the State CEQA Guidelines, pursuant to Title 14 of the California Administrative Code.

BASIS FOR RECOMMENDATION

- The project complies with the applicable requirements of the Planning Code.
- The project is consistent with the objectives and policies of the General Plan.
- The project is in a mixed density area with no density limit; however, the proposal will bring the unit into conformance with the existing use.

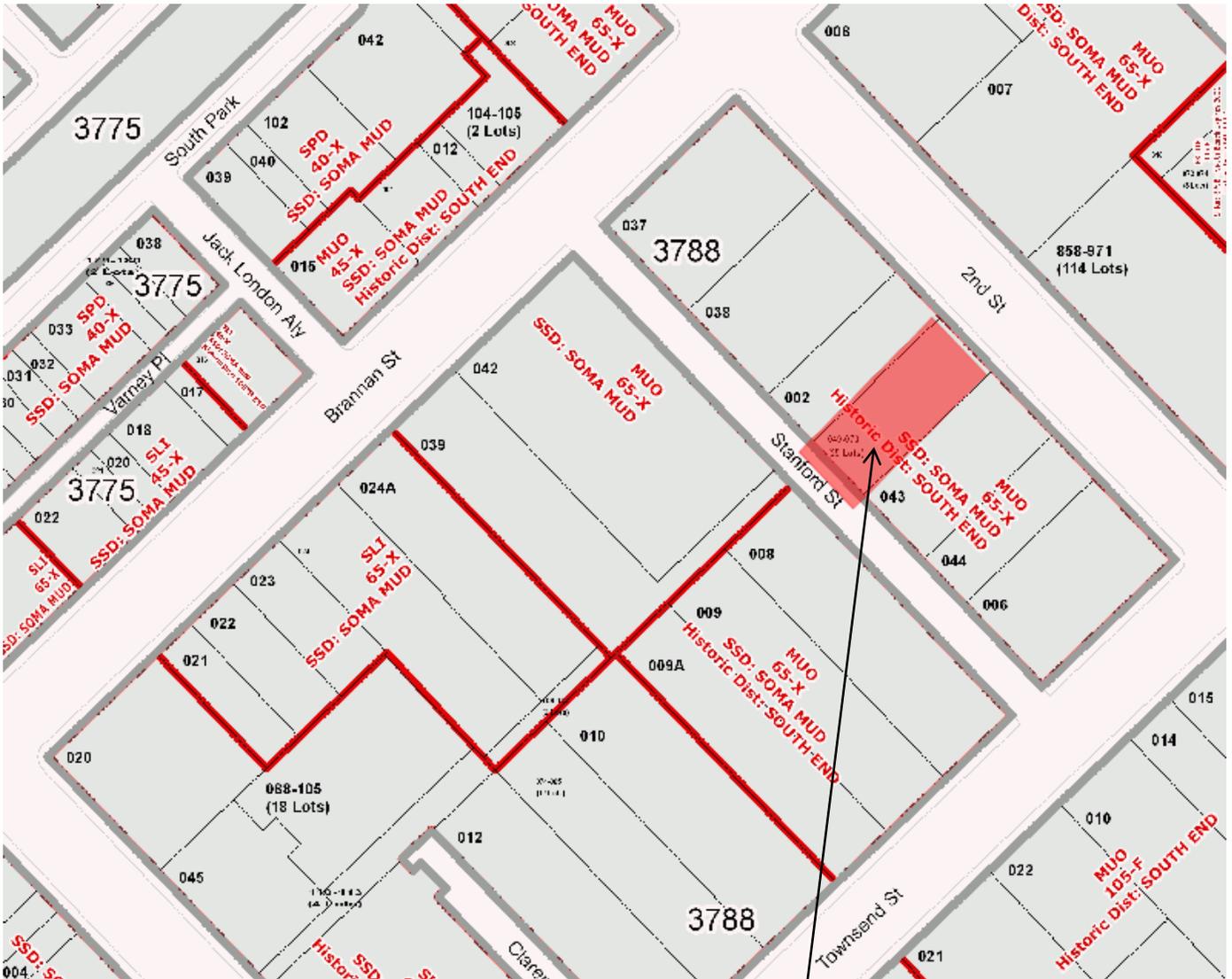
RECOMMENDATION: Do not take Discretionary Review and approve the application

Attachments:

Parcel Map
Sanborn
Zoning Map
Aerial Photographs
Section 311 Notice
Reduced Plans

BF: G:\DOCUMENTS\DR\DU Removal\2nd_650_20110497D\DR Analysis for DUM.doc

Parcel Map

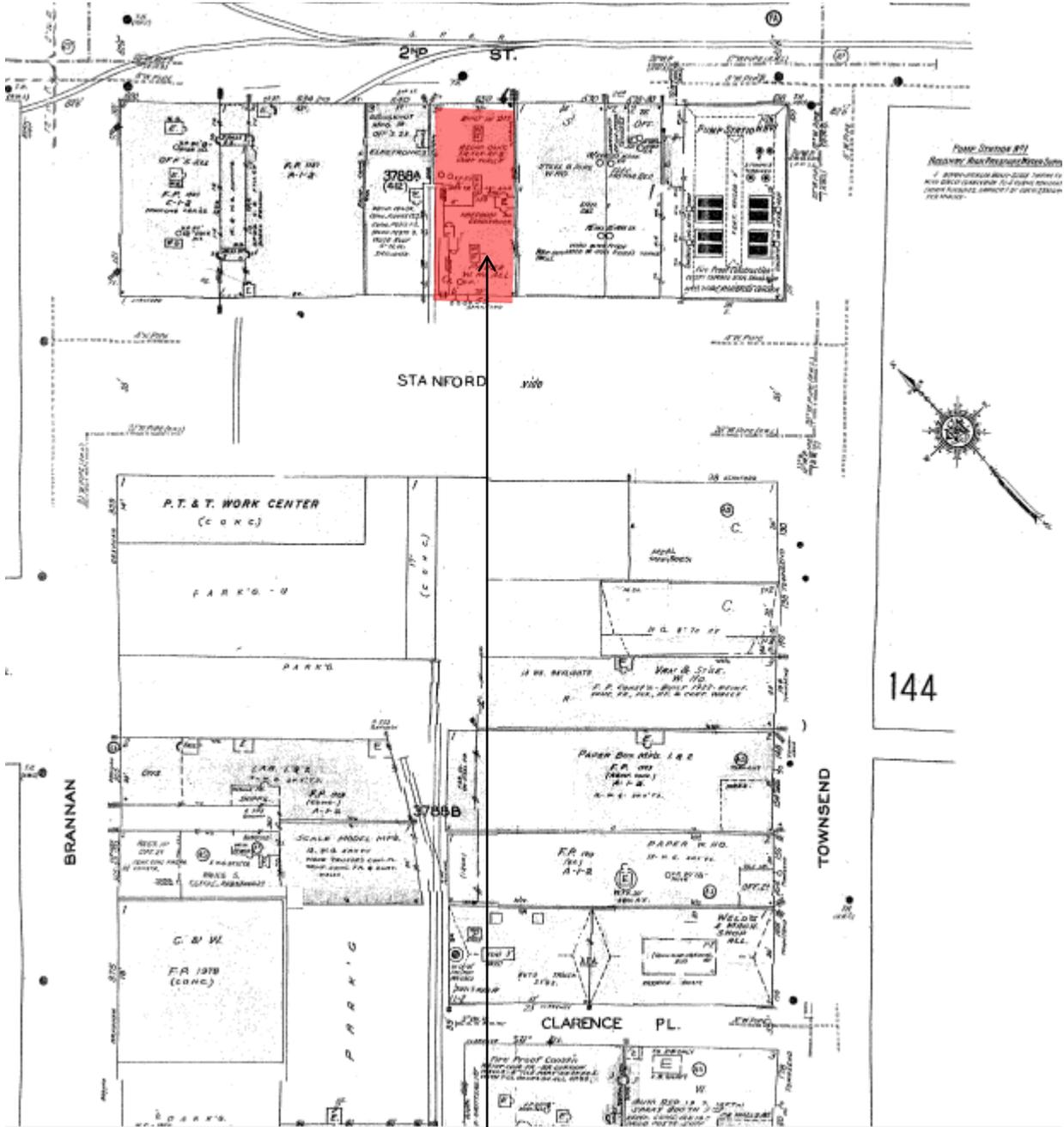


SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2011.0497D
650 2nd Street

Sanborn Map*



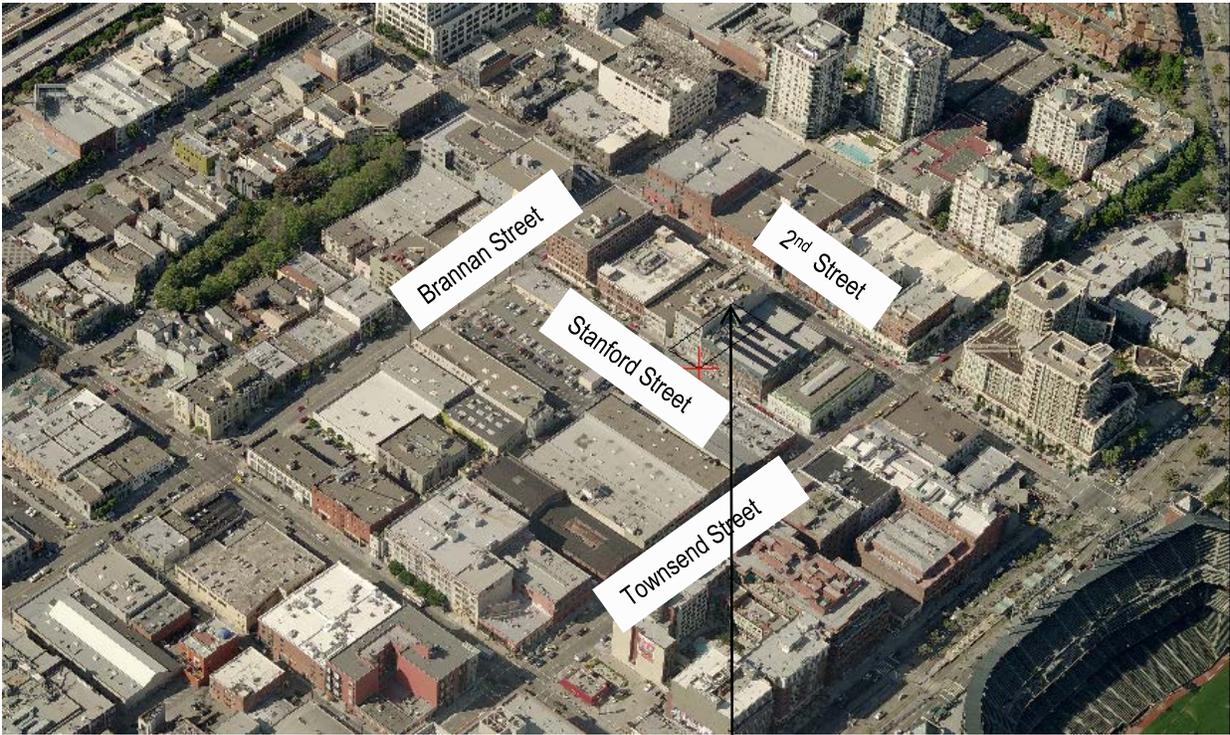
SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

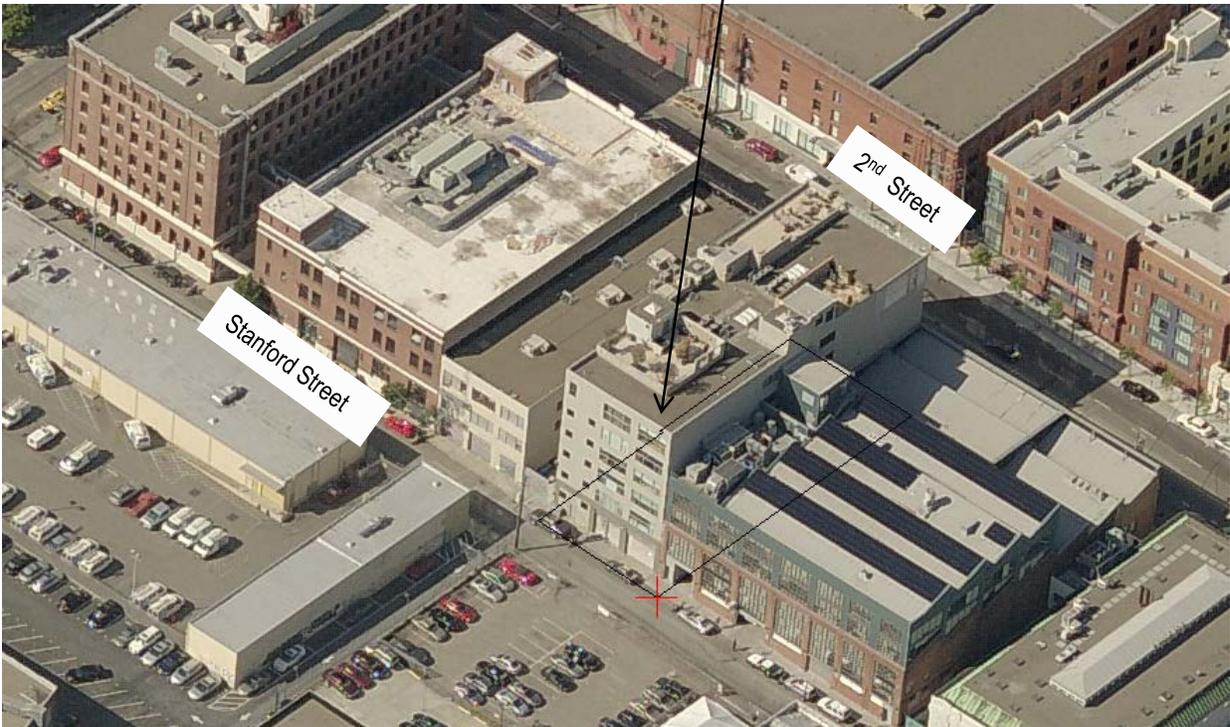


Planning Commission Hearing
Case Number 2011.0497D
650 2nd Street

Aerial Photo

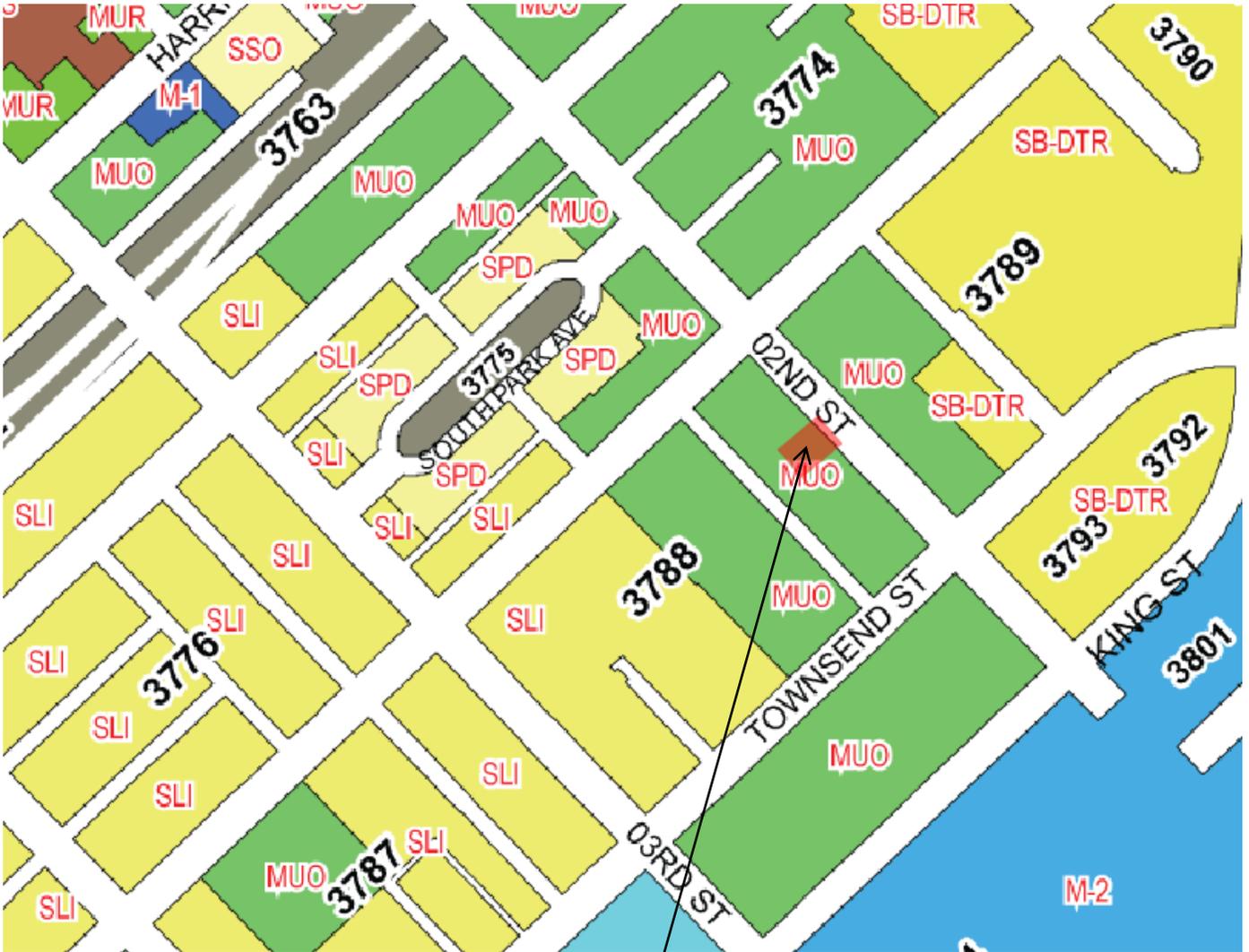


SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2011.0497D
650 2nd Street

Zoning Map



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2011.0497D
650 2nd Street



August 16, 2011

City of San Francisco Planning Department
Zoning Administrator
1650 Mission Street, Ste 400
San Francisco, CA 94103

Bruce and Naomi Mann
650 2nd Street, Unit 401 and 402
San Francisco, CA

RE: Petition for Merging of Units – 650 – 2nd Street

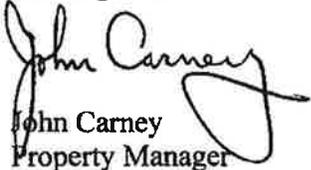
Dear Planning Department,

CitiScape Property Management Group has been the managing agent for this homeowners association since 1999. This letter is to state that CitiScape Property Management supports approval of the petition on behalf of Bruce and Naomi Mann to merge units 401 and 402 at 650 2nd Street in San Francisco.

These two units have been a single unit with one kitchen and no demising wall since the original conversion of the building to live-work units in 1996. The two units were purchased by the Mann's as a joined single unit in June of 2009.

Please let me know if I can be of further assistance. I can be contacted a 415-920-2035 or by email at jcarney@citiscapesf.com.

Best regards,



John Carney
Property Manager

650 2nd Street Homeowners Association

**Ben A. Fu, City Planner
Planning Department
City and County of San Francisco
1650 Mission Street #400
San Francisco, CA 94103**

Application to Merge Units 401 and 402, 650 2nd Street

Dear Mr. Fu:

In 1996 650 2nd Street was converted from a warehouse to live/work condominiums. Although the application to convert the building provided that 401 and 402 would be two separate units, they were sold to a single owner prior to build out and never occupied as separate units. There has never been a demising wall between the units, there has been only one kitchen, and the property has been continuously occupied by a single owner.

In 2008-9 the property was advertised and marketed by two successive real estate firms as “a 2 bedroom, 3 full bathroom live/work loft within 2,950 sq ft of living space.” We bought the property in 2009. We relied on written representations by the prior owner (who has moved from San Francisco) that a single unit was being sold, that he was not aware of any alterations to the unit without necessary permits, that he had combined units 401 and 402 for single use, that he had complied with all building codes and that he had filed one or more permit applications for work on the Property and that “in each case” the permit(s) were issued and “an inspector approved the work in writing after completion.”

Following purchase of the property, we obtained a building permit to renovate the property. The plans submitted to the City showed that the property had been and would continue to be a single unit. Our contractor then completed the renovation and received all necessary plumbing, electrical and other signoffs required from the City until the District Building Inspector, at the time of the final inspection, issued a Notice of Violation for a unit merger without a permit. This came as a complete surprise to our architect, contractor and us, and we would have never purchased or renovated the apartment if we had known that it was not legally a single residence.

Letters supporting our application have been written by owners of 17 of the 25 units. The merger would not remove any existing housing. Moreover, the fair market value of the units is in excess of \$3,100,000, well above the definition of affordable housing Section 317 was adopted to protect.

Photographs submitted with the application show that requiring us to create two units in a space that was a single residence for over 13 years before we purchased it is not economically feasible and would result in great economic loss to us.

Very truly yours,

Bruce and Naomi Mann

CCS ARCHITECTURE

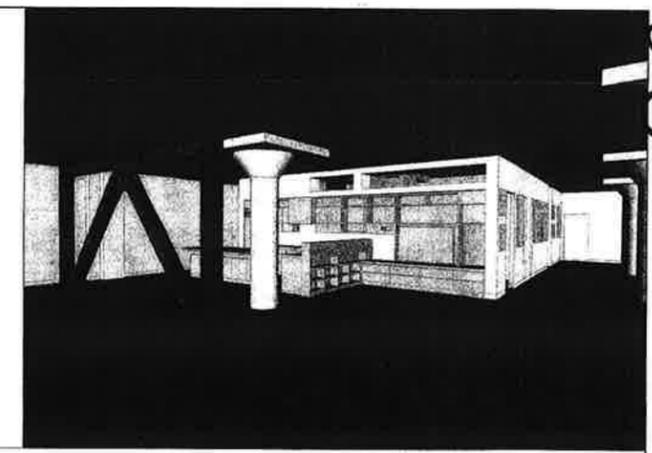
Call #1-800-667-6676 for additional instructions for building, electrical and / or plumbing. This application is approved without site inspection, detailed plumbing or electrical plan review and does not constitute an approval of the building. Work authorized here is done in strict accordance with all applicable codes. Any electrical or plumbing work shall require appropriate separate permits.

NO ALTERATION TO OR RECONSTRUCTION OF CITY RIGHT OF WAY UNDER THIS PERMIT.

By BC 4-13-10
Berhane T. Galmo, DPW/BSM

M
MOHAMMAD SHAIKH, DBI
FEB 22 2010

By CHA
TOM C. HUI, DBI
FEB 22 2010



HOA / PERMIT SET 01.07.10

PLEASE NOTIFY FIRE INSPECTOR AT THE START OF WORK 556-3300

PERMIT NUMBER	SUBMIT THE FOLLOWING ITEMS ON SEPARATE APPLICATION:
REVIEWED	ARCHITECTURAL
For Compliance with City and County Ordinances and State Codes. The stamping of this permit and these instructions SHALL NOT be held to permit or to be an approval of the violation of any City and County ordinance or State Law.	MECHANICAL <input checked="" type="checkbox"/>
Approval is subject to the inspection by the Fire Department.	FIRE ALARM <input checked="" type="checkbox"/>
These plans must be kept on file in accordance with the Fire Department and the Inspector at all times.	SPRINKLES <input checked="" type="checkbox"/>
	STANDPIPE <input checked="" type="checkbox"/>
	HOOD AND DUCT FIRE SUPPRESSION SYSTEM <input type="checkbox"/>
	EMERGENCY GENERATOR <input type="checkbox"/>
	SMOKE CONTROL <input type="checkbox"/>

APPROVED
Dept of Building Insp.
APR 13 2010
Vivian L. Day
VIVIAN L. DAY
DIRECTOR OF BUILDING INSPECTION
DEPT. OF BUILDING INSPECTION

RECEIVED
FEB 22 2010
DEPT. OF BUILDING INSPECTION
STANDARD PERMIT OFFICE
ACCEPTED

2010-02-22. 6890

ABBREVIATIONS

ADJ	ADJUSTABLE	(N)	NEW
ALUM	ALUMINUM	NIC	NOT IN CONTRACT
ARCH	ARCHITECTURE	NO OR #	NUMBER
ASPH	ASPHALT		
BD	BOARD	O/	OVER
BDLG	BUILDING	OC	ON CENTER
BLK	BLOCK	OD	OUTER DIAMETER
BLKG	BLOCKING	OFCl	OWNER FURNISHED, CONTRACTOR INSTALLED
BM	BEAM	OFCl	OWNER FURNISHED, OWNER INSTALLED
B.O.	BOTTOM OF	OPNG	OPENING
BU	BUILT-UP		
CLG	CEILING	PL	PLATE
CLR	CLEAR	PLYWD	PLYWOOD
CONC	CONCRETE	FT	PRESSURE TREATED
CONT	CONTINUOUS		
CTR	CENTER		
DBL	DOUBLE	R	RADIUS
DF	DOUGLAS FIR	RA	RETURN AIR
DIM	DIMENSION	RDWD	REDWOOD
DN	DOWN	REF	REFERENCE
DP	DOUBLE POLE	REG	REGISTER
DS	DOWNSPOUT	REQ	REQUIRED
DWG	DRAWING	RET	RETURN
		RM	ROOM
(E)	EXISTING	S	SOUTH
E	EAST	SA	SUPPLY AIR
EA	EACH	SAD	SEE ARCHITECTURAL DRAWING
ELEC	ELECTRICAL	SED	SEE ELECTRICAL DRAWING
ELEV	ELEVATION	SF	SUBFLOOR
EQ	EQUAL	SHT	SHEET
EXP	EXPOSED	SHTG	SHEATHING
EXT	EXTERIOR	SKD	SEE KITCHEN DRAWING
FDN	FOUNDATION	SLD	SEE LIGHTING DRAWING
FF	FINISH FLOOR	SMD	SEE MECHANICAL DRAWING
FIN	FINISH	SP	SINGLE POLE
FL	FLOOR	SPD	SEE PLUMBING DRAWING
FOC	FACE OF CONCRETE	SQ	SQUARE
FOF	FACE OF FINISH	SS	SINGLE SHELF
FOS	FACE OF STUD	SSD	SEE STRUCTURAL DRAWING
FOP	FACE OF PLYWOOD	STD	STANDARD
FURN	FURNACE	T&G	TONGUE AND GROOVE
GA	GAUGE	TO	TOP OF
GALV	GALVANIZED	TOFF	TOP OF FINISH FLR
GND	GROUND	TOS	TOP OF SLAB
GYP BD	GYPSPUM BOARD	TOW	TOP OF WALL
		TP	TOILET PAPER HOLDER
HB	HOSE BIB	TR	TOWEL RACK
HC	HOLLOW CORE	TYP	TYPICAL
HDR	HEADER	UON	UNLESS OTHERWISE NOTED
HR STL	HOT-ROLLED STEEL		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	VERT	VERTICAL
HW	HOT WATER HEATER	VIF	VERIFY IN FIELD
ICPV	INTEGRAL COLOR PLASTER VENEER	W	WEST
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
LAM	LAMINATE	WC	WATER CLOSET
LT	LIGHT	WD	WOOD
MANUF	MANUFACTURER	WIND	WINDOW
MAX	MAXIMUM	WP	WATERPROOF
MC	MEDICINE CHEST		
MECH	MECHANICAL		
MEMB	MEMBRANE		
MIN	MINIMUM		
MTL	METAL		

PROJECT DIRECTORY

UNIT OWNER
Bruce & Naomi Mann
850 Second Street, #402
San Francisco, CA 94107
Tel. 415.821.2411

PROPERTY MANAGEMENT
Cliscape Property Management Group
3450 3rd Street, Suite 1-A
San Francisco, CA 94124-1444
Tel. 415.401.2000
Fax: 415.865.2889
Jack Gallagher
Direct. 415.401.2076

ARCHITECT
CCS Architecture
44 McLea Court
SF CA 94103
Tel. 415.864.2800
Fax: 415.854.2850
Caas Smith X309
Sean Kennedy X308

CONTRACTOR
To be determined

BUILDING OWNER
650 2nd Street Owner's Association
650 2nd Street
San Francisco, CA 94702

PROJECT INFORMATION

PROJECT ADDRESS: 650 SECOND STREET, UNIT #402, SAN FRANCISCO, CA 94107

TYPE OF CONSTRUCTION: TYPE II 1HR (FULLY SPRINKLED)

NUMBER OF STORIES: 6

OCCUPANCY TYPE: R-2 RESIDENTIAL (PROJECT OCCUPANCY)
B-3 MERCANTILE
S-3 PARKING GARAGE

BLOCK / LOT: 3788 / 2A

CONSTRUCTION AREA: 2776 SF

UNIT SIZE: 82'-6" X 41'-6"

APPLICABLE CODES: 2007 CALIFORNIA BLDG. CODE & S.F. AMENDMENTS
2007 CALIFORNIA ENERGY CODE & S.F. AMENDMENTS
2007 CALIFORNIA ELECT. CODE & S.F. AMENDMENTS
2007 CALIFORNIA MECH. CODE & S.F. AMENDMENTS
2007 CALIFORNIA PLMBG. CODE & S.F. AMENDMENTS
2007 CALIFORNIA FIRE CODE & S.F. AMENDMENTS
2007 S.F. HOUSING CODE

PROJECT DESCRIPTION: The project is an interior residential remodel existing condo unit at 650 2nd Street. The work scope includes demolition of existing non-structural partition walls, replacing existing HVAC, installing new hardwood flooring, painting, custom millwork, modification of existing HVAC, revising power and data locations, updating and renovation of lighting in kind, updating bathrooms in place and relocation of existing kitchen. **NO EXTERIOR WORK.** Fire sprinkler system to remain as is, u.o.n. All modifications to be under separate design / build permit. The design and workmanship is intended to be completed in compliance with the 650 2nd Street Owners Association's "Architectural Modification & Construction Requirements."

SHEET INDEX

ARCHITECTURAL

COVER

A0.00 PROJECT DATA

A1.50 DEMOLITION PLAN

A2.00 FLOOR PLAN

A3.00 REFLECTED CEILING PLAN - LIGHTING AND MECHANICAL

A6.00 FINISH FLOOR PLAN

A8.00 POWER / DATA PLAN

MANN LOFT

650 SECOND STREET
UNIT #402
SAN FRANCISCO
CA, 94107

APPROVED
Dept. of Building Insp.

APR 13 2010

Vivian L. Day
DIRECTOR/CHIEF BUILDING OFFICIAL
DEPT. OF BUILDING INSPECTION

VICINITY MAP



CCS ARCHITECTURE

314 KIDDER COURT
SAN FRANCISCO, CA 94103
TEL: 415.864.2800
FAX: 415.864.2850
WWW.CCS-ARCHITECTURE.COM



PROJECT NAME
650 SECOND STREET
UNIT #402
SAN FRANCISCO
CA 94107

ISSUED DESCRIPTION
01.07.10 : HOA / PERMIT SET

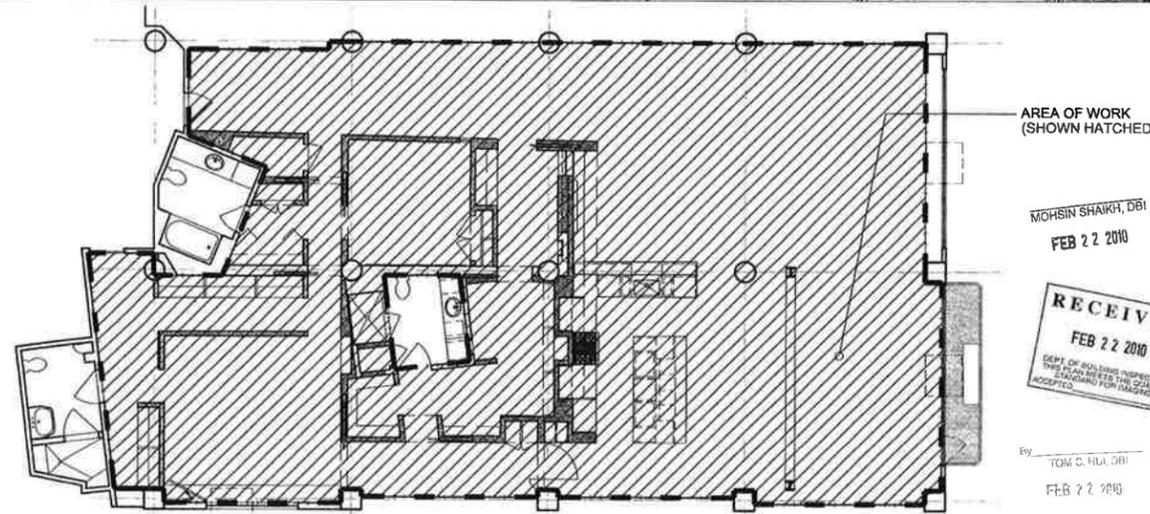
SHEET TITLE
PROJECT DATA

FILE 1.09155-A0.00.dwg
BY CCS
SCALE NA
SHEET

A0.00

SYMBOLS

	1HR RATED FULL HEIGHT WALL		DETAIL, SECTION, ELEVATION MARKER
	2HR RATED FULL HEIGHT WALL		INTERIOR ELEVATION MARKER
	(N) INTERIOR PARTITION WALL		INTERIOR ELEVATION MARKER
	LANDLORD PARTITION WALL		GRID LINE MARKER
	CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS. NOTE: "CLR." NOTATION ON DIMENSION STRING.		ELEVATION POINT MARKER
	CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS.		DATUM POINT MARKER
	LINE BELOW OR HIDDEN LINE		DOOR TAG
	LINE ABOVE		WINDOW TAG
	CENTER LINE		ROOM ID TAG
	PROPERTY LINE		KEYNOTE TAG
	DIMENSION TO FACE OF STUD ALL DIMENSIONS ARE TO FACE OF STUD U.O.N.		REVISION NUMBER TAG
	DIMENSION TO CENTERLINE		



KEY PLAN - PARTIAL FLOOR 4

LEGEND

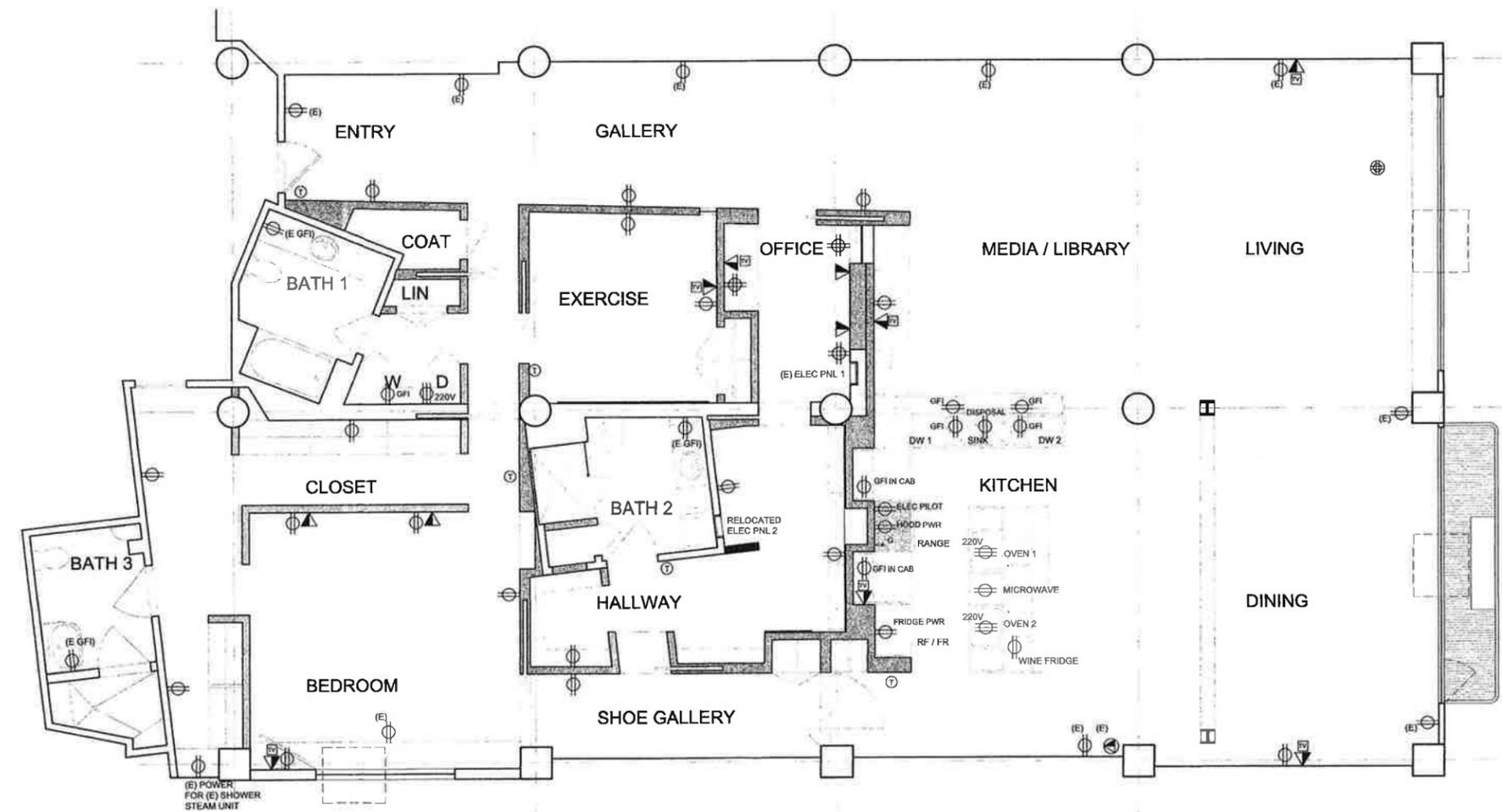
- (E) WALL
- (N) WALL
- (N) PARTITIONAL WALL
- DEMOLISHED WALL

GENERAL NOTES

- 1 INT DIMENSIONS ARE TO FACE OF FINISH MATERIAL
- 2 MOUNTING LOCATIONS OF SPEAKERS AND CONTROLS AND DIMENSIONS GIVEN SHALL BE VERIFIED IN FIELD WITH ARCHITECT AND OWNER.
- 3 PROVIDE CABLING OR WIRING IN CONDUITS, MINIMIZE EXPOSED CONDUIT RUNS. NOTIFY ARCHITECT OF LOCATION OF EXPOSED CONDUIT PRIOR TO FINAL INSTALLATION.
- 4 COORDINATE ALL AV EQUIPMENT REQUIREMENTS WITH CONTRACTOR AND CONTRACTOR'S SUBS.
- 5 AV SUB TO MEET ON SITE WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION OF AV EQUIPMENT. DURING THE COURSE OF CONSTRUCTION, AV SUB TO NOTIFY ARCHITECT OF ANY CHANGES PRIOR TO FINAL INSTALLATION OF ANY EQUIPMENT
- 6 REFER TO AS08 FOR SWITCHING LOCATIONS AND FOR HVAC AND MECHANICAL INFORMATION.
- 7 GAS SHUT-OFF VALVE, TO BE LOCATED WITHIN 6' OF APPLIANCE AND ACCESSIBLE, SHALL NOT BE LOCATED BEHIND APPLIANCE PER CPC 1212.4.
- 8 NOTE: ALL ACOUSTICAL ENGINEERING ON FLOORS TO BE MINIMUM 58 STC RATED PER HOMEOWNERS CONSTRUCTION REQUIREMENTS.

POWER LEGEND

	DUPLEX RECEPTACLE 110V, 12" AFF, UON
	DUPLEX, GROUND FAULT INTERRUPTER
	220 V RECEPTACLE
	DUPLEX, WATERPROOF, GFI
	DUPLEX, SWITCHED
	4-PLEX RECEPTACLE 110V
	TELEPHONE/DATA OUTLET, PROVIDE CONDUIT TO 4" ABOVE CLG, RAISE COVER, +18" AFF. TYP. U.O.N. IN 3/4" CONDUIT TO ABOVE CEILING
	POS JACK (HOME RUN TO OFFICE)
	TV LOCATION, HOME RUN ALL TO MAIN CABLE IN MECH. RM
	THERMOSTAT
	HOSE BIB
	GAS VALVE
	WATER
	ELECTRIC WALL HEATER
	ELECTRIC BASE BOARD HEATER
	MOTOR
	FLOOR DUPLEX RECEPTACLE
	CEILING OR WALL MOUNTED EXIT SIGN & OUTLET, SHADING INDICATES LETTERED FACE.
	FLOOR COMMUNICATION OUTLET
	JUNCTION BOX, WALL OR CEILING MOUNTED, S INDICATES SIGNAL
	FUSED SAFETY DISCONNECT SWITCH, AF = 30A FUSE BF = 60A FUSE CF = 100A FUSE DF = 200A FUSE EF = 400A FUSE
	COMBINATION STARTER, NUMBER INDICATES NEMA SIZE
	PACKAGE CONTROLLER
	FIRE SMOKE DAMPER
	LIGHTING CONTROL OVERRIDE SWITCH
	CARD READER
	POWER/PHONE/DATA W/PS, COORDINATE WITH FURNITURE VENDOR
	DUPLEX POWER RECEPTACLE IN FLOOR MONUMENT
	COMBINATION DATA/TELEPHONE OUTLET IN FLOOR MONUMENT



CCS ARCHITECTURE
 11401 FAUCETT
 SAN FRANCISCO
 CALIFORNIA 94113
 Tel: 415.861.7807
 Fax: 415.864.2835
 www.ccs-architecture.com



PROJECT NAME
**650 SECOND STREET
 UNIT #402
 SAN FRANCISCO
 CA 94107**

ISSUED	DESCRIPTION
01.07.10	HOA / PERMIT SET

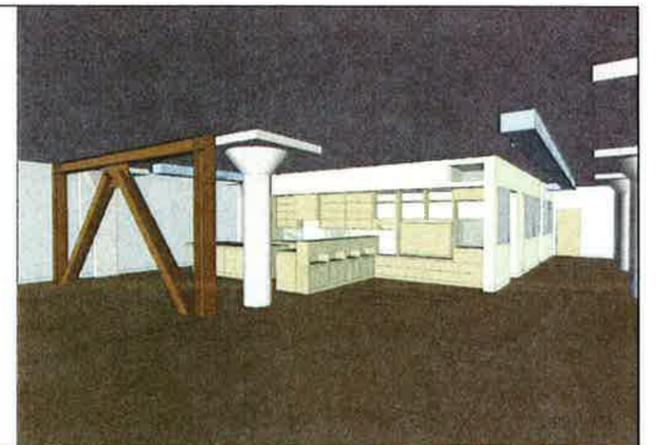
SHEET TITLE
POWER AND SIGNAL PLAN

FILE	1.09155-A8.00.dwg
BY	BJS
SCALE	1/4" = 1'
SHEET	

APPROVED
 Dept. of Building Insp.
 APR 13 2010
Vivian L. Day
 VIVIAN L. DAY
 DIRECTOR/CHIEF BUILDING OFFICIAL
 DEPT. OF BUILDING INSPECTION

RECEIVED
 FEB 22 2010
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MARKING
 ACCEPTED





ABBREVIATIONS

ADJ	ADJUSTABLE	(N)	NEW
ALUM	ALUMINUM	NIC	NOT IN CONTRACT
ARCH	ARCHITECTURE	NO OR	NUMBER
ASPH	ASPHALT	F	
BD	BOARD	O/	OVER
BOLG	BUILDING	OC	ON CENTER
BULK	BLOCK	OD	OUTER DIAMETER
BLKG	BLOCKING	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
BM	BEAM	OFOI	OWNER FURNISHED, OWNER INSTALLED
B.O.	BOTTOM OF	OPNG	OPENING
BU	BUILT-UP		
CLG	CEILING	PL	PLATE
CLR	CLEAR	PLYWD	PLYWOOD
CNTL	CONTROL	PT	PRESSURE TREATED
CONC	CONCRETE		
CONT	CONTINUOUS		
CTR	CENTER	R	RADIUS
		RA	RETURN AIR
DBL	DOUBLE	RDWD	REDWOOD
DF	DOUGLAS FIR	REF	REFERENCE
DIM	DIMENSION	REG	REGISTER
DN	DOWN	REQ	REQUIRED
DP	DOUBLE POLE	RET	RETURN
DS	DOWNSPOUT	RM	ROOM
DWG	DRAWING	S	SOUTH
(E)	EXISTING	SA	SUPPLY AIR
E	EAST	SAD	SEE ARCHITECTURAL DRAWING
EA	EACH	SED	SEE ELECTRICAL DRAWING
ELEC	ELECTRICAL	SF	SUBFLOOR
ELEV	ELEVATION	SHT	SHEET
EQ	EQUAL	SHTG	SHEATHING
EXP	EXPOSED	SKD	SEE KITCHEN DRAWING
EXT	EXTERIOR	SLD	SEE LIGHTING DRAWING
FDN	FOUNDATION	SMD	SEE MECHANICAL DRAWING
FF	FINISH FLOOR	SP	SINGLE POLE
FIN	FINISH	SPD	SEE PLUMBING DRAWING
FL	FLOOR	SS	SQUARE
FOC	FACE OF CONCRETE	SSD	SEE STRUCTURAL DRAWING
FOF	FACE OF FINISH	STD	STANDARD
FOS	FACE OF STUD	T&G	TONGUE AND GROOVE
FOP	FACE OF PLYWOOD	TO	TOP OF
FURN	FURNACE	TOFF	TOP OF FINISH FLR
GA	GALVE	TOP	TOP OF PLATE
GALV	GALVANIZED	TOS	TOP OF SLAB
GND	GROUND	TOW	TOP OF WALL
GYP BD	GYPSUM BOARD	TP	TOILET PAPER HOLDER
HB	HOSE BIB	TR	TOWEL RACK
HC	HOLLOW CORE	TYP	TYPICAL
HDR	HEADER	UON	UNLESS OTHERWISE NOTED
HR STL	HOT-ROLLED STEEL	VERT	VERTICAL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	VIF	VERIFY IN FIELD
HW	HOT WATER HEATER	W	WEST
ICPV	INTEGRAL COLOR PLASTER VENEER	W/	WITH
INSUL	INSULATION	W/O	WITHOUT
INT	INTERIOR	WC	WATER CLOSET
LAM	LAMINATE	WD	WOOD
LT	LIGHT	WIND	WINDOW
MANUF	MANUFACTURER	WP	WATERPROOF
MAX	MAXIMUM		
MC	MEDICINE CHEST		
MECH	MECHANICAL		
MEMB	MEMBRANE		
MIN	MINIMUM		
MTL	METAL		

PROJECT DIRECTORY

UNIT OWNER
Bruce & Naomi Mann
650 Second Street, #402
San Francisco, CA 94107
Tel. 415.891.2411

PROPERTY MANAGEMENT
Ciliscapa Property Management Group
3450 3rd Street, Suite 1-A
San Francisco, CA 94124-1444
Tel. 415.401.2000
Fax. 415.655.2599
Jack Gallagher
Direct. 415.401.2076

ARCHITECT
CCS Architecture
44 McLean Court
SF CA 94103
Tel. 415.864.2800
Fax. 415.864.2850
Cass Smith X309
Sean Kennedy X308

CONTRACTOR
Van Der Siere Construction
634 Oak Street
San Francisco, CA 94117
415.252.8510

BUILDING OWNER
650 2nd Street Owner's Association
650 2nd Street
San Francisco, CA 94702

MANN LOFT

650 SECOND STREET
UNIT #402
SAN FRANCISCO
CA, 94107

CCS ARCHITECTURE

44 MCLEAN COURT
SAN FRANCISCO
CALIFORNIA 94103
tel. 415 864 2800
fax. 415 864 2850
www.ccsarch.com

PROJECT INFORMATION

PROJECT ADDRESS: 650 SECOND STREET, UNIT #402, SAN FRANCISCO, CA 94107

TYPE OF CONSTRUCTION: TYPE II 1HR (FULLY SPRINKLED)

NUMBER OF STORIES: 6

OCCUPANCY TYPE: R-3 RESIDENTIAL (PROJECT OCCUPANCY)
M - MERCANTILE
S-3 PARKING GARAGE

BLOCK / LOT: 3786 / 2A

CONSTRUCTION AREA: 2776 SF

UNIT SIZE: 92'-6" X 41'-6"

APPLICABLE CODES: 2007 CALIFORNIA BLDG. CODE & S.F. AMENDMENTS
2007 CALIFORNIA ENERGY CODE & S.F. AMENDMENTS
2007 CALIFORNIA ELECT. CODE & S.F. AMENDMENTS
2007 CALIFORNIA MECH. CODE & S.F. AMENDMENTS
2007 CALIFORNIA PLUMB. CODE & S.F. AMENDMENTS
2007 CALIFORNIA FIRE CODE & S.F. AMENDMENTS
2007 S.F. HOUSING CODE

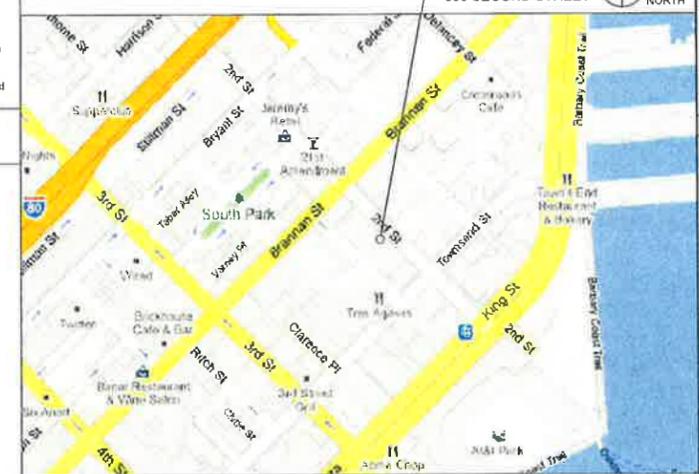
PROJECT DESCRIPTION: The project is an interior residential remodel of existing condo unit at 650 2nd Street. The work scope includes demolition of existing non-structural partition walls, replacing hardwood flooring with new hardwood flooring, painting, custom millwork, modification of existing HVAC, revising power and data locations, updating and renovation of lighting in kind, updating bathrooms in place and relocation of existing kitchen. Fire sprinkler system to remain as is, u.o.n. All modifications to be under separate design / build permit. The design and workmanship is intended to be completed in compliance with the 650 2nd Street Owners Association's "Architectural Modification & Construction Requirements."

SHEET INDEX

ARCHITECTURAL

- COVER
- A0.00 PROJECT DATA
- A1.50 DEMOLITION PLAN
- A2.00 FLOOR PLAN
- A3.00 REFLECTED CEILING PLAN - LIGHTING AND MECHANICAL
- A8.00 POWER / DATA PLAN

VICINITY MAP

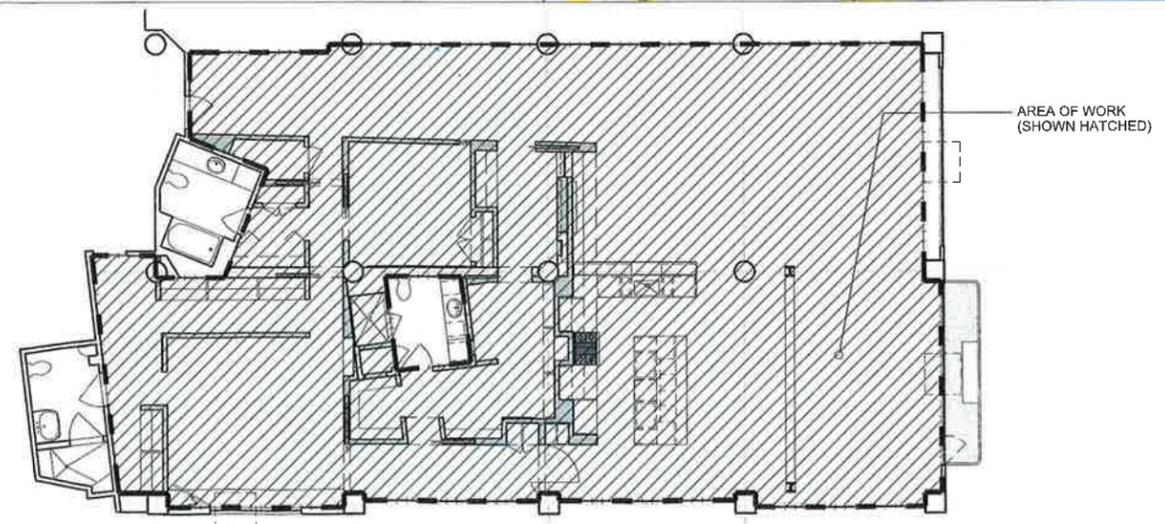


PROJECT NAME
**650 SECOND STREET
UNIT #402
SAN FRANCISCO
CA 94107**

ISSUED	DESCRIPTION
11.13.09	PRICING SET
01.07.10	HOA / PERMIT SET
01.11.11	AS-BUILT

SYMBOLS

	1HR RATED FULL HEIGHT WALL		DETAIL, SECTION, ELEVATION MARKER
	2HR RATED FULL HEIGHT WALL		INTERIOR ELEVATION MARKER
	(N) INTERIOR PARTITION WALL		INTERIOR ELEVATION MARKER
	LANDLORD PARTITION WALL		GRID LINE MARKER
	CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS.		ELEVATION POINT MARKER
	NOTE: "CLR." NOTATION ON DIMENSION STRING. CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS.		DATUM POINT MARKER
	LINE BELOW OR HIDDEN LINE		DOOR TAG
	LINE ABOVE		WINDOW TAG
	CENTER LINE		ROOM ID TAG
	PROPERTY LINE		KEYNOTE TAG
	DIMENSION TO FACE OF STUD		REVISION NUMBER TAG
	ALL DIMENSIONS ARE TO FACE OF STUD U.O.N.		
	DIMENSION TO CENTERLINE		



KEY PLAN - PARTIAL FLOOR 4

SHEET TITLE

PROJECT DATA

FILE 1.09155-A0.00.dwg
BY CCS
SCALE NA
SHEET

A0.00

LEGEND

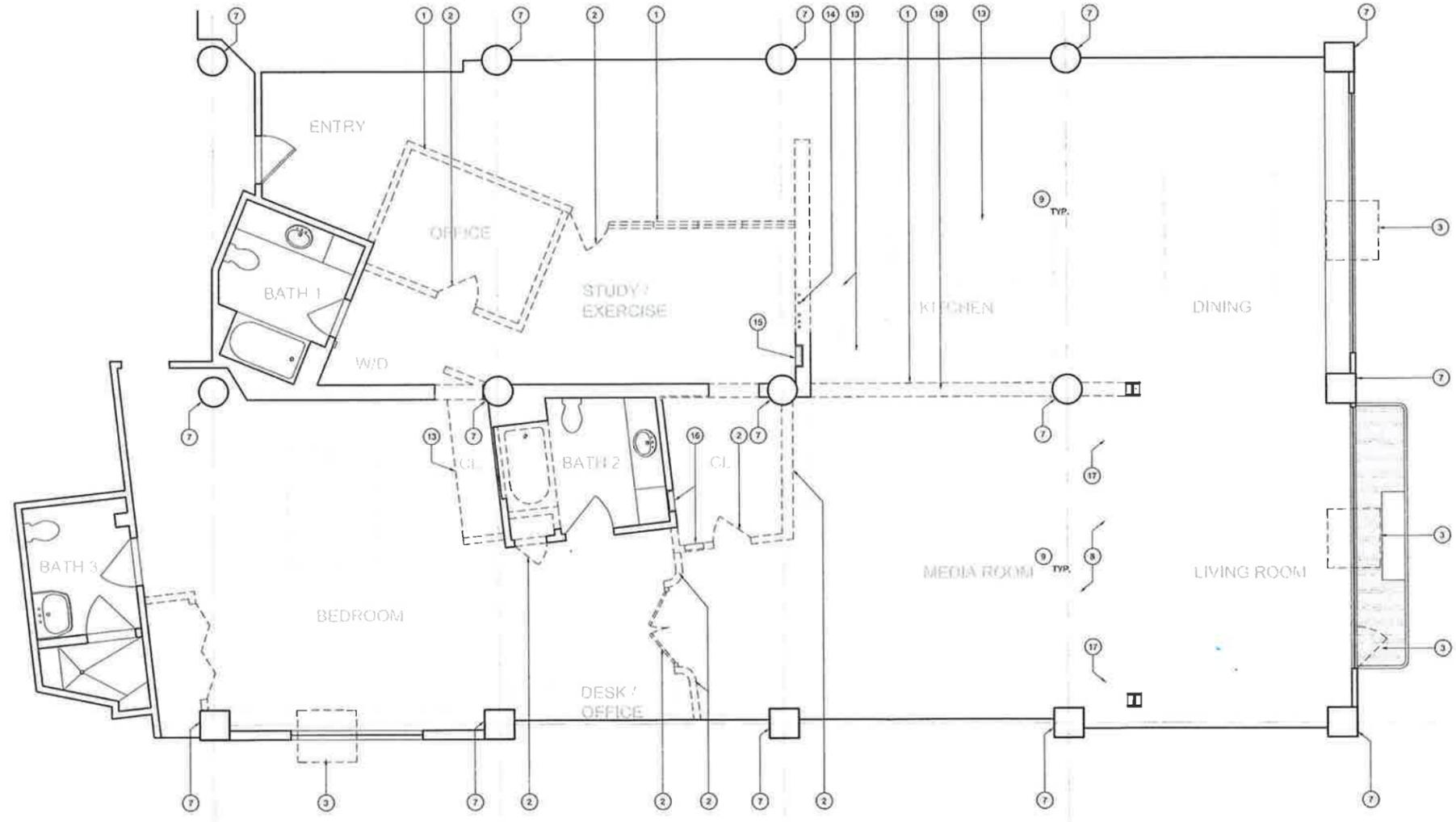
-  (E) WALL
-  DEMOLISHED WALL
-  DEMOLISHED MILLWORK / MISC.

KEYNOTES

- NOTE: NOT ALL NUMBERS WILL APPEAR ON THE SHEET
- 1 DEMO EXISTING PARTITION WALL
 - 2 REMOVE (E) DOOR AND FRAME
 - 3 (E) OPERABLE WINDOW
 - 4 RELOCATE AND REMOVE (E) ELECTRICAL, REFER TO A3.00 FOR ADDITIONAL INFORMATION
 - 5 DEMO EXISTING GLASS BLOCK PARTITION WALL
 - 6 RELOCATE CABLE / DATA. REFER TO A8.00 FOR ADDITIONAL INFORMATION
 - 7 (E) COLUMN TO REMAIN
 - 8 (E) WOOD FLOOR TO BE REMOVED
 - 9 REMOVE AND SALVAGE ALL LIGHT FIXTURES FOR OWNER
 - 10 DEMOLISH (E) MILLWORK
 - 11 REMOVE AND SALVAGE ALL FIXTURES FOR OWNER
 - 12 GAS LINE LATERAL RELOCATED TO (N) RANGE LOCATION
 - 13 DEMO (E) MILLWORK
 - 14 (E) PLUMBING RISER TO REMAIN
 - 15 (E) ELECTRICAL PANEL 1
 - 16 RELOCATE (E) ELECTRICAL PANEL 2
 - 17 REMOVE (E) FLOOR OUTLETS
 - 18 RELOCATE (E) GAS LINE PER DRAWINGS

GENERAL NOTES

- 1 SEE SHEET A0.01 FOR SYMBOL DEFINITIONS
- 2 COMPLETELY REMOVE ALL ABANDONED OR UNUSED UTILITY PIPING, CONDUIT, ETC.
- 3 PREPARE EXISTING WALLS TO REMAIN TO RECEIVE NEW FINISHES, U.O.N.
- 4 VERIFY UTILITY PIPING (E) LAYOUT WITH NEW PARTITION WALLS



PROJECT NAME
**650 SECOND STREET
UNIT #402
SAN FRANCISCO
CA 94107**

ISSUED	DESCRIPTION
01.07.10	HOA / PERMIT SET
01.13.10	DESIGN MEETING
01.22.10	DESIGN MEETING
02.01.10	BID SET
04.06.10	CONSTRUCTION SET
01.11.10	AS-BUILT SET
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SHEET TITLE
DEMOLITION PLAN

FILE 1,09156-A1.50.dwg
BY BJS
SCALE 1/4" = 1'
SHEET



