



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Abbreviated Analysis

HEARING DATE: FEBRUARY 16, 2012

*Date:* February 9, 2012  
*Case No.:* **2011.0944DV**  
*Project Address:* **1921 VALLEJO STREET**  
*Permit Application:* 2011.06.01.7223  
*Zoning:* RH-2 (Residential House, Two-Family)  
105-D Height and Bulk District  
*Block/Lot:* 0567/021  
*Project Sponsor:* James A. Reuben  
Reuben & Junius LLP  
One Bush Street, Suite 600  
San Francisco, CA 94104  
*Staff Contact:* Christine Lamorena – (415) 575-9085  
christine.lamorena@sfgov.org  
*Recommendation:* **Do not take DR and approve as proposed**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The proposal is to construct a one-story horizontal addition, approximately 9 feet wide by 5 feet deep, at the rear of the four-story-over-garage, two-unit building. The proposed addition would be located between an existing one-story extension that extends beyond the main rear building wall and the western side property line. Various interior alterations are also proposed. The proposal to construct the one-story horizontal addition would encroach into the required rear yard as well as enlarge an existing noncomplying structure and therefore, is subject to rear yard and noncomplying structure variances pursuant to Planning Code Sections 134 and 188.

### SITE DESCRIPTION AND PRESENT USE

The project site contains a four-story-over-garage, two-unit building constructed circa 1900 on an approximately 23-foot wide by 108-foot deep lot with an area of approximately 2,446 square feet. The subject lot is located on the south side of Vallejo Street between Laguna Street and Octavia Street in the Pacific Heights Neighborhood. Due to the upward slope of the property, the building's existing rear wall is three stories above grade at the rear.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

On the subject block-face, most of the buildings are three- to four-story-over-garage, multiple-unit buildings. Across the street, the character of the block-face is more varied with a mixture of two-story-over-garage, two-unit buildings and several apartment buildings of 10 to 12 stories in height. The subject block-face is zoned RH-2 while the opposite block-face is zoned RH-2, RM-1, and RM-2.

The property immediately adjacent to the west at 1923 Vallejo Street is owned and occupied by the DR Requestor and is a four-story-over-garage, two-unit building while the property immediately adjacent to the east at 1919 Vallejo Street is a four-story-over-garage, single-family dwelling. The subject building and the immediately adjacent buildings have main rear walls that line up, each with modest one- or two-story extensions into their respective rear yards.

**BUILDING PERMIT NOTIFICATION**

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	October 12, 2011 – November 10, 2011	November 10, 2011	February 16, 2012	98 days

**HEARING NOTIFICATION**

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	February 6, 2012	January 27, 2012	20 days
Mailed Notice	10 days	February 6, 2012	February 6, 2012	10 days

**PUBLIC COMMENT**

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	1 (Property Owners, 1919 Vallejo St.)	1 (DR Requestor, 1923 Vallejo St.)	X
Other neighbors on the block or directly across the street	X	X	X
Neighborhood groups	X	X	X

**DR REQUESTOR**

Hardeep Rai, owner of 1923 Vallejo Street, a four-story-over-garage, two-unit building adjacent and to the west of the project site.

**DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES**

See attached *Discretionary Review Application*, dated November 10, 2011.

**PROJECT SPONSOR’S RESPONSE TO DR APPLICATION**

See attached *Response to Discretionary Review*, dated January 26, 2011.

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reason:

- The proposed one-story horizontal addition is moderately-sized and similar in height to a Code-complying fence. The project does not result in any unusual impacts to the neighboring properties' light (RDG p. 16).

**Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

<b>RECOMMENDATION:</b> <b>Do not take DR and approve project as proposed</b>
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### Attachments:

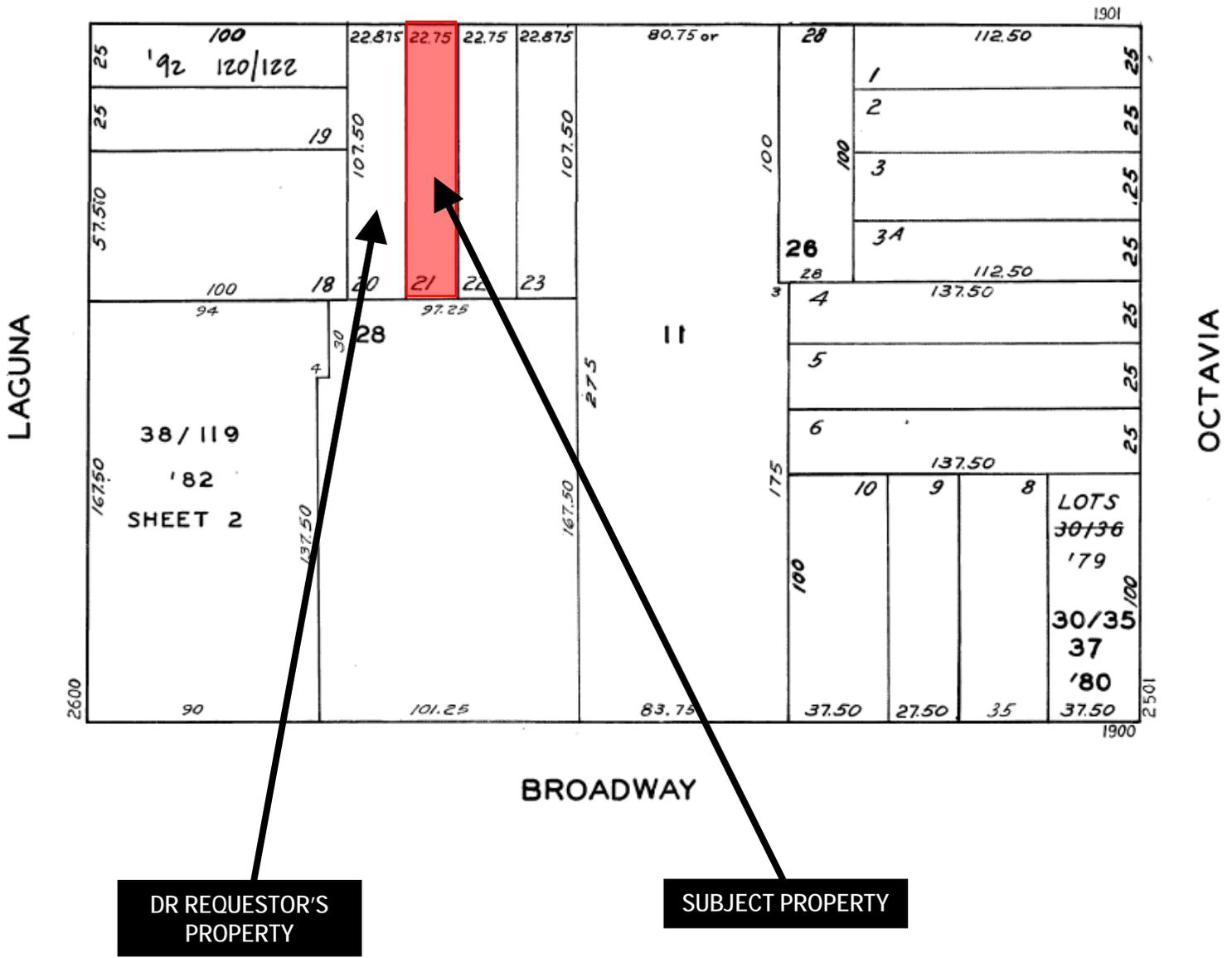
Parcel Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Site Photographs  
Section 311 Notice  
DR Application  
Response to DR Application dated January 26, 2011  
    Reduced Plans  
    Light/Shadow Renderings  
    Letter of Support – Property Owner, 1919 Vallejo St.

CL: G:\DOCUMENTS\2011\DRs\2011.0944\1921 Vallejo St\_Abbreviated Analysis.doc

# Parcel Map

VALLEJO

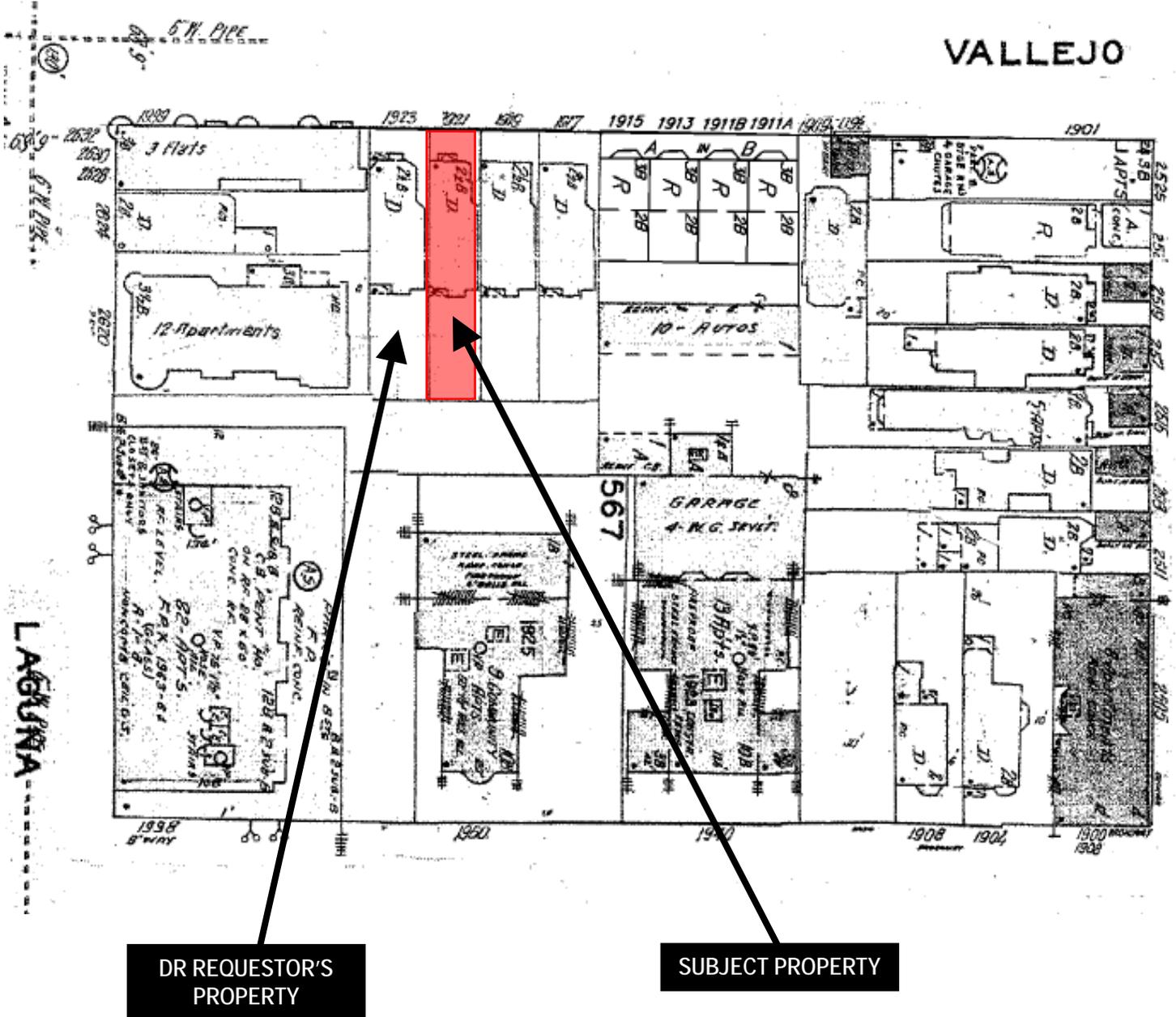
1  
S



Discretionary Review Hearing  
 Case Number 2011.0944D  
 1921 Vallejo Street  
 Block/Lot 0567/021



# Sanborn Map\*

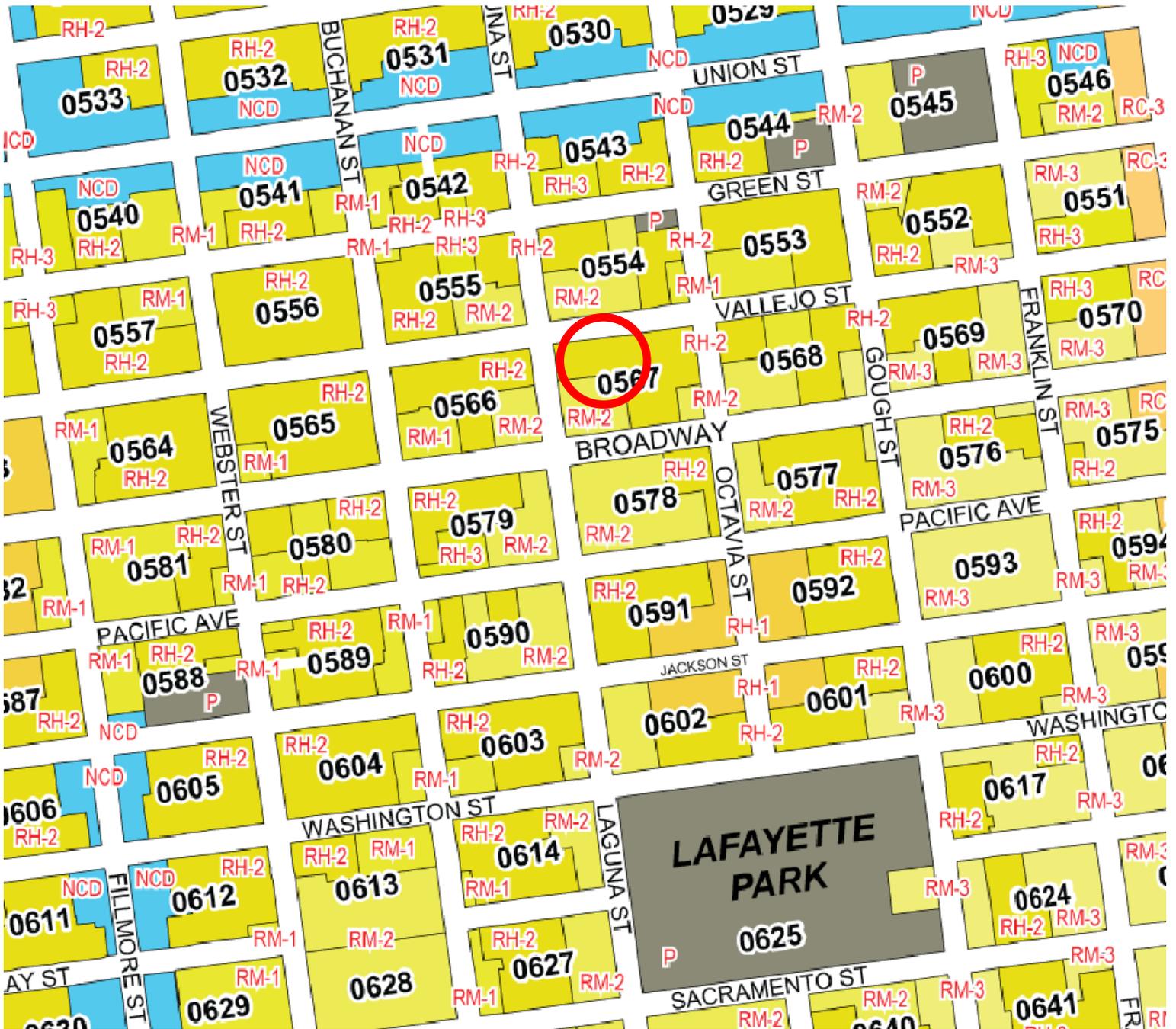


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



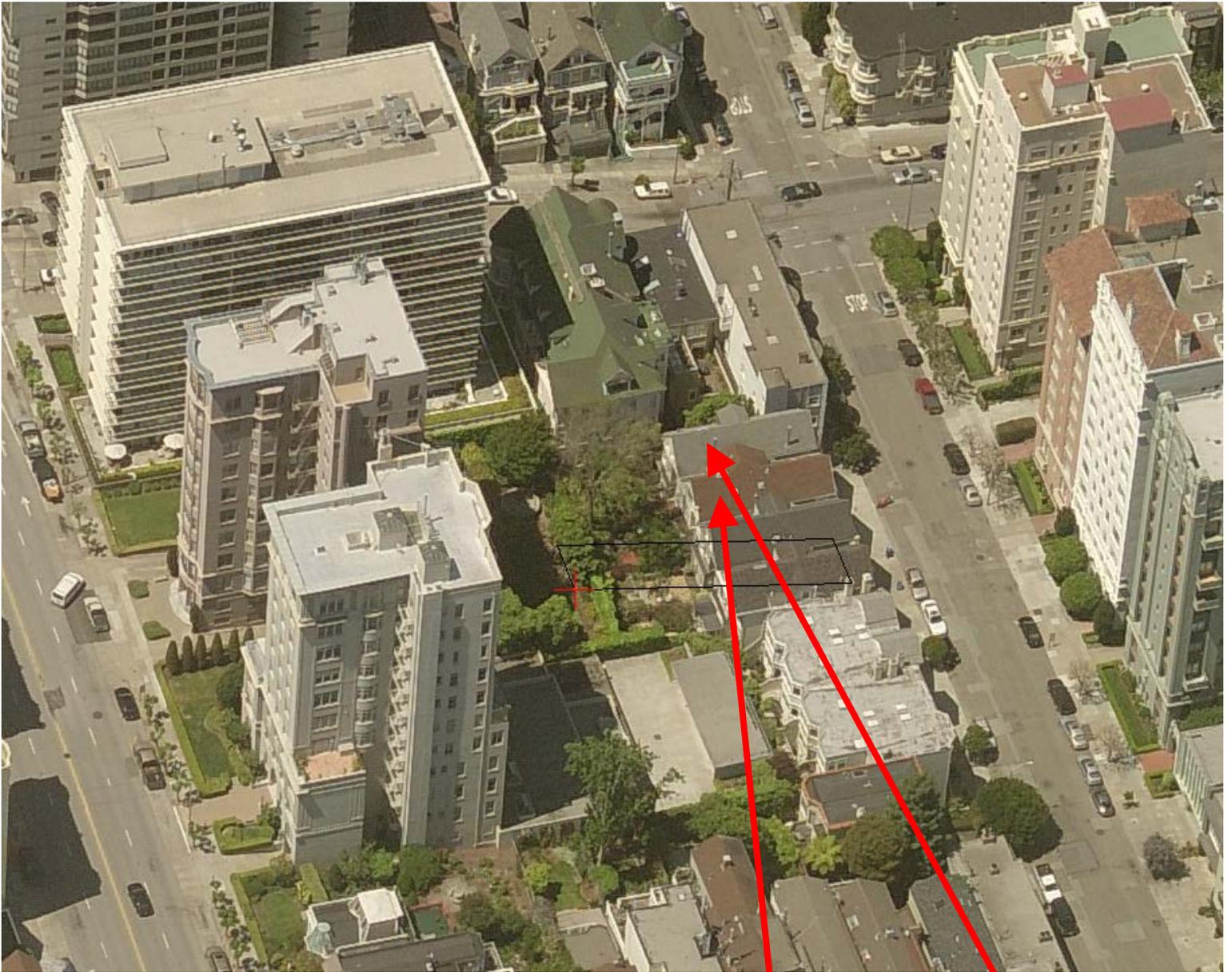
Discretionary Review Hearing  
Case Number 2011.0944D  
1921 Vallejo Street  
Block/Lot 0567/021

# Zoning Map



Discretionary Review Hearing  
Case Number 2011.0944D  
1921 Vallejo Street  
Block/Lot 0567/021

# Aerial Photo (looking west)



SUBJECT PROPERTY

DR REQUESTOR'S  
PROPERTY



Discretionary Review Hearing  
Case Number 2011.0944D  
1921 Vallejo Street  
Block/Lot 0567/021

# Aerial Photo



DR REQUESTOR'S  
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2011.0944D  
1921 Vallejo Street  
Block/Lot 0567/021

# Site Photo

DR Requestor, 1923 Vallejo St.



Discretionary Review Hearing  
Case Number 2011.0944D  
1921 Vallejo Street  
Block/Lot 0567/021

# Site Photo

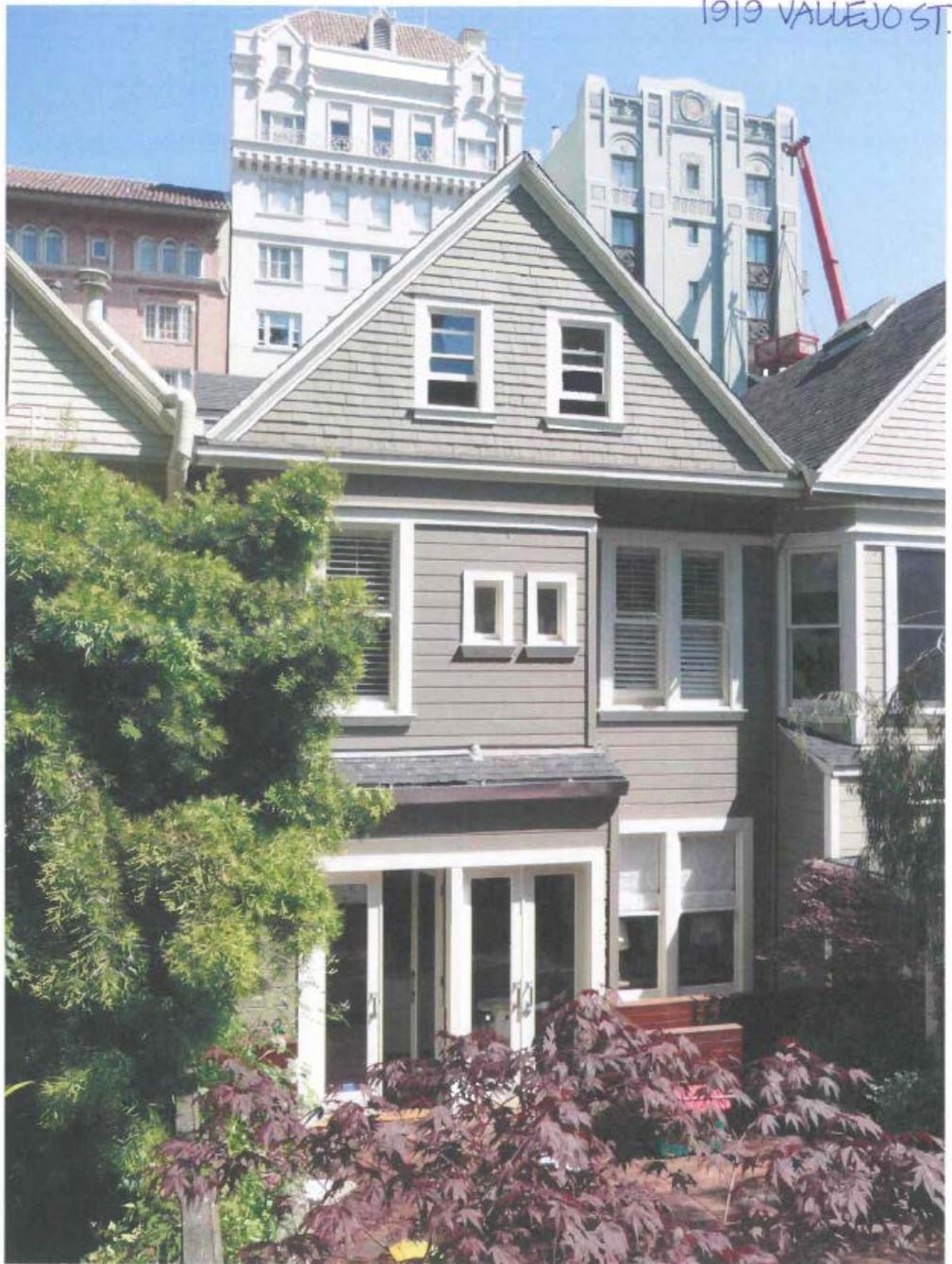
**Subject Property, 1921 Vallejo St.**



Discretionary Review Hearing  
**Case Number 2011.0944D**  
1921 Vallejo Street  
Block/Lot 0567/021

# Site Photo

Neighbor, 1919 Vallejo St.



Discretionary Review Hearing  
Case Number 2011.0944D  
1921 Vallejo Street  
Block/Lot 0567/021



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On June 1, 2011, the Applicant named below filed Building Permit Application No. 2011.06.01.7223 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Javier Solorzano	Project Address:	1921 Vallejo Street
Address:	3288 21 <sup>st</sup> Street #49	Cross Streets:	Laguna & Octavia Streets
City, State:	San Francisco, CA 94110	Assessor's Block /Lot No.:	0567/021
Telephone:	(415) 724-5240	Zoning Districts:	RH-2/40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE .....	Residential .....	No Change
FRONT SETBACK .....	None .....	No Change
SIDE SETBACKS .....	None .....	No Change
BUILDING DEPTH .....	approx. 68 feet .....	No Change
REAR YARD .....	approx. 46 feet .....	approx. 41 feet
HEIGHT OF BUILDING .....	approx. 53 feet .....	No Change
NUMBER OF STORIES .....	4 over garage .....	No Change
NUMBER OF DWELLING UNITS .....	2 .....	No Change
NUMBER OF OFF-STREET PARKING SPACES .....	2 .....	No Change

### PROJECT DESCRIPTION

The proposal is to construct a one-story horizontal addition, approximately 9 feet wide by 5 feet deep at the rear of the four-story over garage two-family building. The project also includes interior improvements. The proposal is subject to rear yard and non-complying structure variances (Case No. 2011.0944V). A variance hearing has been tentatively scheduled for October 26, 2011. Please see the attached plans for additional information.

PLANNER'S NAME: Christine Lamorena  
 PHONE NUMBER: (415) 575-9085  
 EMAIL: christine.lamorena@sfgov.org

DATE OF THIS NOTICE:  
 EXPIRATION DATE:

10-12-11  
 11-10-11

accepted (R) 11/10/11 3:21pm.

RECEIVED

Application for Discretionary Review

NOV 10 2011  
CASE NUMBER:

For Staff Use only  
CITY & COUNTY OF  
DEPT. OF CITY PLANNING  
PIC

## APPLICATION FOR

# Discretionary Review Application

### 1. Owner/Applicant Information

DR APPLICANT'S NAME: Hardeep Rai

DR APPLICANT'S ADDRESS: 1923 Vallejo Street ZIP CODE: 94123 TELEPHONE: 415-693-9131

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:  
Marion Peters

ADDRESS: 1921 Vallejo Street ZIP CODE: 94123 TELEPHONE: 415-345-9036

CONTACT FOR DR APPLICATION: Same as Above.

ADDRESS: ZIP CODE: TELEPHONE:

E-MAIL ADDRESS: Rai@hsrai.com

### 2. Location and Classification

STREET ADDRESS OF PROJECT: 1921 Vallejo Street ZIP CODE: 94123

CROSS STREETS: Laguna and Octavia

ASSESSORS BLOCK/LOT: LOT DIMENSIONS: LOT AREA (SQ FT): ZONING DISTRICT: HEIGHT/BULK DISTRICT:  
/0567/021 107.5 X 22.75 2445.63 RH-2/105D

### 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other X

Additions to Building: Rear  Front  Height  Side Yard

Present or Previous Use: Residential

Proposed Use: Same

Building Permit Application No.

Date Filed:

2011.06.01.7223—June 1, 2011 & 2011.0944V August 27, 2011

### 4. Actions Prior to a Discretionary Review Request

#### Prior Action

Have you discussed this project with the permit applicant?

YES NO

X

Did you discuss the project with the Planning Department permit review planner?

X

Did you participate in outside mediation on this case?

X

### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

None. Requested setback or reduction in height to limit impacts but no changes made

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None. Requested setback or reduction in height to limit impacts but no changes made

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The Project cannot be built without a variance to the rear yard. The variance in and of itself requires a finding of "exceptional and extraordinary" circumstances and the ZA has indicated he is "inclined" to grant the variance and allow an extension into the rear yard. Because of the need for a variance, obviously the project does not meet the minimum standards of the Planning Code and is at odds with the General Plan. The project involves the expansion of a non-conforming structure into the rear yard and the policy concepts behind the Code and the General Plan are to avoid the expansion of any such uses and to eventually abate all such uses, not increase such uses. The non-conforming structure at issue appears to have been constructed without permits. There is also an extraordinary and exceptional circumstance at the property that results in blockage of nearly all-direct sunlight on this row of homes. The Project Sponsor has an extraordinarily large rear yard tree and there are three very tall high-rise structures at 1940, 1960 and 1998 Broadway south of the subject site which combine with the tree to block nearly all direct sunlight. The proposed variance structure is proposed to be built to the property line and would block the small amount of sunlight that finds the rear of the building. (Continued on Attached)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Because the project is solely based on a variance from the Planning Code, no impacts on neighbors are acceptable. The application for the variance(s) needed in this case falls far short of providing ANY justification or compelling facts which would satisfy the code requirements for "exceptional and extraordinary" circumstances or "hardship," or "difficulty" or "loss of a property right" or "that do not apply generally to other property or uses in the same class or district.

The variance application is not legally sufficient and makes no sense. It does not even bother to articulate any circumstance that might justify a variance. The variance application states that the "exceptional and extraordinary circumstances applying to the property ...that do not apply to other properties" is that, "(t)he addition does not extent (sic) beyond the existing non-conforming addition. It is to the side and aligned with the adjacent property."

This does not address the findings required, makes little sense and is actually an incorrect statement of the factual circumstance present at the site. The properties are *currently* aligned and

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the requested extension by variance would move the buildings out of alignment. Continued on Attached)

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The Proposed addition is obtrusive and harms the neighbors in large part because it is too close to the property line. The neighbors oppose the expansion and point to the pattern of the entire row, which is no extension at the rear of these buildings. However, if an expansion is to be permitted, it should be moved three feet from the property line, reduced in height and conditioned by a Notice of Special Restriction forbidding additions in the future or of an elevated deck. With such conditions and restrictions, many of the potential impacts would be resolved and it would soften its appearance a great deal if it were redesigned in this manner.

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Hardeep Rai Date: 11/09/11

Print name, and indicate whether owner, or authorized agent:

Hardeep Rai

Owner / Authorized Agent (circle one)

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## Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	X
Address labels (original), if applicable	X
Address labels (copy of the above), if applicable	X
Photocopy of this completed application	X
Photographs that illustrate your concerns	X
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	X
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

### NOTES:

- Required Material.
- Optional Material.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

### For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_ Date: \_\_\_\_\_

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**ATTACHMENT**  
**TO**  
**APPLICATION REQUESTING DISCRETIONARY REVIEW (D.R.)**

PROPERTY ADDRESS: 1921 Vallejo Street  
ASSESSOR'S PARCEL NO: Block 0567, Lot 021  
ZONING DISTRICT RH-2/105D  
PERMIT APPLICATION NO. 2011.06.01.7223 & 2011.0944V

We are asking the Commission to take discretionary review in this instance because we believe that the proposed variance and expansion of the non-conforming structure is inconsistent with the City's *Residential Design Guidelines* as well as the Planning Department's Variance Application and Guides and the General Plan.

**B. DISCRETIONARY REVIEW REQUEST**

**1. Reasons for Requesting Discretionary Review**

We object to the variance as a matter of law and policy. Further, there are some serious shortcomings and misrepresentations in the plans and the application that cannot be ignored. The Section 311 Notice was not correct and misidentifies the height and bulk district as 40X when it is 105D. The Plans and supporting applications and documents are not accurate and depict the neighboring buildings incorrectly.

THE PLANS, SUN-STUDY AND VARIANCE APPLICATION ARE NOT ACCURATE, NEIGHBOR'S "POP-OUT" TWO FEET SHORTER THAN DEPICTED

Part of the "justification" for the Project offered by the Project Sponsors is that they want to expand their rear wall only as far out as our house and as far as the building to the east. The plans show the planned addition as 5' 4.5" (five feet four and one-half inches) deep into the required rear yard. The Plans and the Sun Studies also show our home to the west at 1923 Vallejo as having a "pop-out" of the same depth of 5' 4.5". This is not accurate. Our doorway "pop out" is 42"--forty-two inches or 3' 6" (three feet six inches) almost two feet shorter than is the subject building.

As the first two photos (Photo 1 & 2) attached show, the subject pop-out is approximately 2 feet deeper into the rear yard than ours. I also do not believe the neighbor to the east of the site at 1919 Vallejo has an extension as deep as the subject site, but I have not measured it. The submitted plans, sun studies etc..., and the variance application are inaccurate and do not correctly depict our home. On that basis alone, the project should be denied and returned to the Dept to be accurately and correctly re-noticed to the surrounding neighborhood. The variance application is incorrect in its assertion that the project would "align with the adjacent property." In fact, the proposed new addition would extend two feet past the adjacent neighboring property.

THE WINDOWS TO BE BLOCKED BY THE ADDITION ARE OUR ONLY  
SOURCE OF DIRECT LIGHT IN THE LIVING AREA –THE PROJECT  
WOULD MATERIALLY INJURE OUR PROPERTY

As we attempted to explain at the variance hearing, our home does not receive much direct sunlight. This is true for several reasons. First although the rear yard is our southern exposure, the homes fronting Broadway which have rear yards that back up to our rear yards are on a steep hill straight up from our yards with an elevation rise that I estimate at 30-40 feet, perhaps more. Additionally, the buildings on Broadway, in particular 1948, 1960 and 1998 Broadway are very tall (and wide) building 10-12 stories (Photo 3) in height which sit way up the hill and tower over us and block nearly all sunlight. The Project Sponsor also has a massive tree on their property with a large canopy that also blocks light which filters between the large buildings on Broadway. It is very hard to capture on film because of the steepness, but I have attached photos (Photo 4) which show the tree and the rear of the buildings which front on Broadway and Laguna which are also far above us. There is one small open "pocket" east of the buildings and east of the tree which allows direct sunlight into the window on the east side of our home in the morning. I have attached a photo (Photo 5) looking at that open pocket from the window, but it is hard to depict. These windows receive direct morning sunlight and the rest of the day the entire back of the building is blocked by the neighbor's trees and large uphill buildings on Broadway.

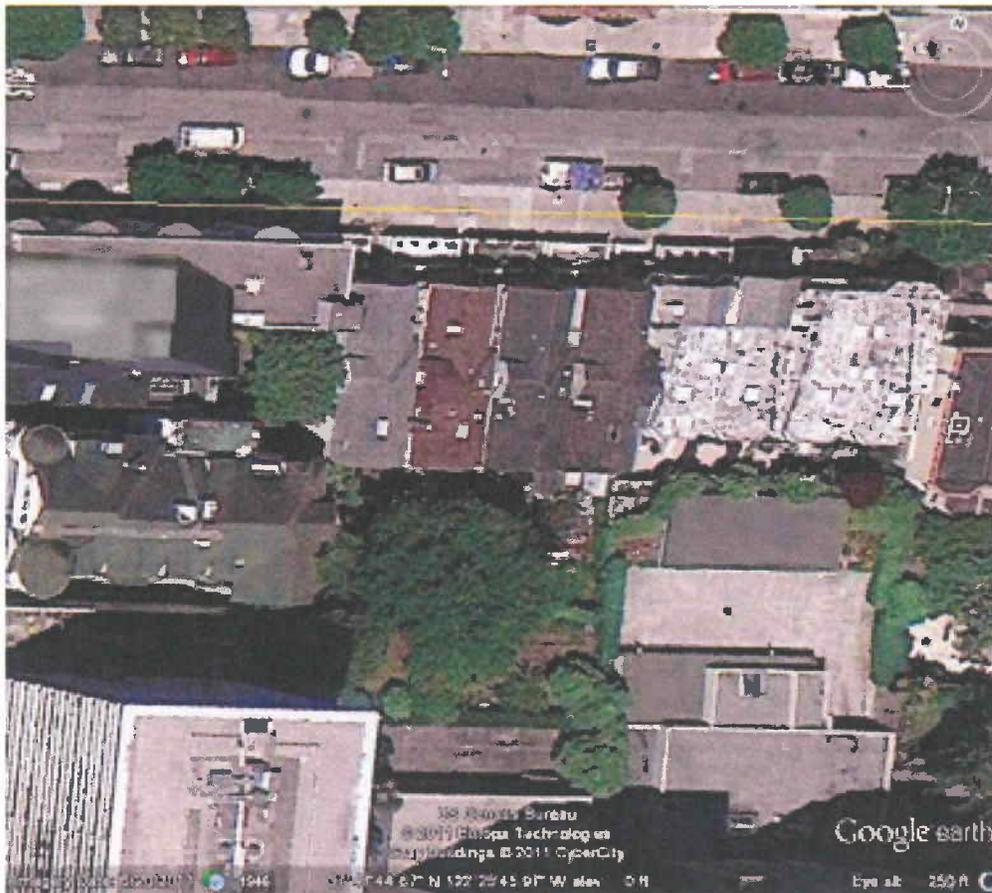
We urge the Commission to take Discretionary Review because this is an exceptional and extraordinary circumstance where the project is not in compliance with the rear yard limits, the submitted plans are inaccurate, the resulting new building, would permanently and negatively impact the sunlight which is permitted to reach the rear window of the home at 1923 Vallejo Street. This is further an exceptional and extraordinary circumstance in that the plan is to build a rear yard addition and expand the non-conforming (and we believe illegally constructed) "pop-out" addition to the west property line, at the south west corner of the building at 1921 Vallejo Street. The property at 1923 Vallejo Street will be the most affected and impacted parcel if the proposed project is approved.

## **2. Adverse Effects on the Neighborhood**

The ONLY justification supplied by the applicant is that, "This unit has a small kitchen which is not functional and the only area to expand is to the side." This statement is nearly laughable in that the subject home is in excess of 3600 square feet, has six bathrooms and five levels of occupied floors. If the owner wished, an entire floor could be devoted to a new and expanded kitchen, it is certainly not necessary to invade the minimum rear yard or to expand the unpermitted "pop-out" shown above. The illegally constructed extension should be removed, not expanded. This application is wholly inadequate.

There are no special circumstances that physically differentiate the project site from its neighbors. It is one of four identically configured historic homes in a row on this portion of Vallejo Street. Further, there is no perceivable "unnecessary hardship" that would result from these circumstances in the event that a variance was not approved.

Approval of the variance in these circumstances "would [amount] to the kind of 'special privilege' explicitly prohibited by Government Code section 65906." (*Orinda Association v. Board of Supervisors*) The applicants are not seeking a variance from the Code to allow them to enjoy a privilege the neighbors already have, the applicants seek to obtain a special privilege.



Note the near perfect symmetry of the rear walls of 1917-1921 Vallejo Street. The subject property is the brown roof building second from the left.

As can be seen from the photographs, the proposal to construct a rear yard extension directly at the property line will be incredibly disruptive to the neighbors at 1923 Vallejo Street. This proposed construction would introduce new issues of invasion of privacy and shadowing which do not exist at any of the other neighboring buildings in the entire row. A rear addition is out of character and would directly harm and injure the neighboring properties.

Further, because the entire proposed structure will fall directly at the property line, it is anticipated that the applicant would soon seek to place an elevated deck on top of the new structure or to expand the bedroom the same distance. A new deck could be placed on a

flat roof without neighborhood notification. The drawings are nearly impossible to read and do not present an accurate depiction of the conditions at the site. It is impossible to determine impacts of the Project for the Discretionary Review request unless the actual configuration is clearly depicted now.

A review of the permit history for the site does not reveal any permit that could have resulted in the currently non-complying structure that is attached to the rear of the subject site. It appears to have been constructed illegally without the benefit of permits or neighborhood notice into the required rear yard. The neighbors do not know when it was constructed, but it should not be expanded, it should be removed or left as it is currently configured. Expanding such a structure by variance without significant justification sends the wrong message and cannot be justified under State law applicable to variance applications.

### **3. Suggested Changes to the Proposed Project**

The neighbors would not object to a reasonable development. This current plan is not reasonable for the above-stated reasons.

If permitted, the New Structure Should be Moved Away from the Property Line and Restricted to Forbid Future Elevated Decks. The Proposed addition is obtrusive and harms the neighbors in large part because it is too close to the property line. The neighbors oppose the expansion and point to the pattern of the entire row, which is no extension at the rear of these buildings. However, if an expansion is to be permitted, it should be moved three feet from the property line, reduced in height and conditioned by a Notice of Special Restriction forbidding additions in the future or of an elevated deck. With such conditions and restrictions, many of the potential impacts would be resolved and it would soften its appearance a great deal if it were redesigned in this manner.

PHOTO 1

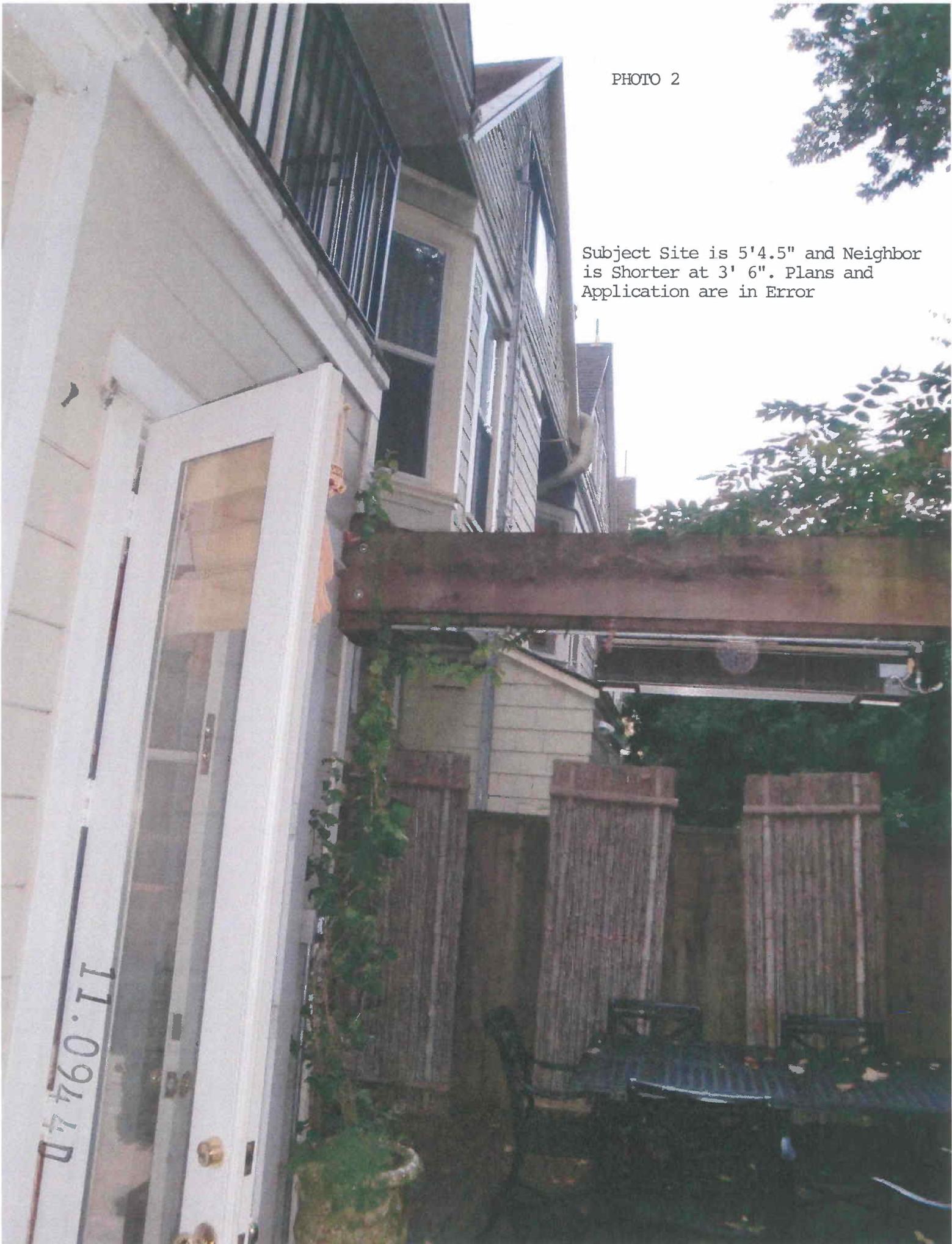
Subject Site Has Deeper "Pop-Out"  
Plans are ~~Incorrect~~

11.0944D



PHOTO 2

Subject Site is 5'4.5" and Neighbor is Shorter at 3' 6". Plans and Application are in Error



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PHOTO 3

1948, 1960 & 1998 Broadway are Directly up-hill and Behind (South) of the Subject Site. These Tall Buildings Block Nearly All Direct Sunlight to the Site.

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1:09:40

PHOTO 4



PHOTO 5

January 26, 2012

## Delivered by Hand

Mr. Ron Miguel, President  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 1921 Vallejo Street, Proposed Kitchen Addition**  
**Discretionary Review: 11.0944D**  
**Hearing Date: February 16, 2012**  
**Our File No.: 7088.01**

Dear President Miguel and Commissioners:

Our office represents Dr. Marion Peters and Mr. Eric Brown, owners of 1921 Vallejo Street. Dr. Peters and Mr. Brown have proposed a minor addition to their kitchen at the rear of their home, which proposal prompted their adjacent neighbor to the west, Hardeep Rai (1923 Vallejo Street), to request Discretionary Review (“DR”). As described below in greater detail, the DR request has no merit; the proposed addition is quite modest at one story and approximately 45 square feet, it complies with the City’s Residential Design Guidelines, it is consistent in scale and form with similar rear yard additions to the adjacent homes (including Mr. Rai’s), it is supported by other affected neighbors, and it will have no cognizable impact on Mr. Rai’s home. As such, we respectfully request that the Commission deny the DR request.

As part of his DR request, Mr. Rai has expressed his opposition to a variance sought by Dr. Peters and Mr. Brown. As the Commission presumably is aware, Mr. Rai’s concerns about the variance are irrelevant to the DR request and will be separately considered by the Zoning Administrator. Under the Planning Code, the Commission’s review for a DR request concerns only the proposal’s compliance with the City’s Residential Design Guidelines and “the compatibility of the proposal with the neighborhood”. (San Francisco Planning Code § 311.)

### **A. The Kitchen Addition Complies with the Residential Design Guidelines**

As stated, Dr. Peters and Mr. Brown are seeking a one-story, approximately 45-square foot kitchen addition at the rear of their home. The addition would expand an existing “pop-out” that extends out from the main rear wall of the home by 5’4 ½”, and is 6’ wide. The proposed addition would widen the existing pop-out towards Mr. Rai’s property line by 8’10”, and renovate the space, converting it from a pantry to living space. (See project plans, Exhibit A.) The addition would not extend any further out from the rear wall of the house than the existing 5’4 ½”.

Mr. Rai's only relevant and substantive complaint about the kitchen addition is that it will impact his home's access to sunlight. The applicable legal standard in the Residential Design Guidelines for rear yards and sunlight impacts is as follows:

In areas with a dense building pattern, *some reduction of light to neighboring buildings can be expected with a building expansion.* However, there may be situations where a proposed project will have a greater impact on neighboring buildings. In these situations, the following design modifications can minimize impacts on light; other modifications may also be appropriate depending on the circumstances of a particular project:

- Provide setbacks on the upper floors of the building.
- Include a sloped roof form in the design.
- Provide shared lightwells to provide more light to both properties.
- Incorporate open railings on decks and stairs.
- Eliminate the need for parapet walls by using a fire-rated roof.

(Residential Design Guidelines, p. 16 [*emphasis added*].)

The Design Guidelines make clear that "some reduction of light to neighboring buildings can be expected with a building expansion." In the present case, the reduction of light to Mr. Rai's property is negligible. As shown by the attached solar/shade study, the kitchen addition will have a minor shading impact on one window of Mr. Rai's home for one to two early morning hours in winter. (See Exhibit B.) The addition will have no other shade impact during the day in winter, or at any time of day during the remainder of the year. This minimal impact surely fits well within the "some reduction of light" allowed by the Design Guidelines.

Mr. Rai makes the light impact out to be very dramatic, but most of the impact he describes is caused by the tall buildings located across the rear yards on Broadway. The heights of these buildings are made worse by the upslope of the block from Vallejo Street to Broadway. Dr. Peters' and Mr. Brown's modest proposal and very minor contribution to these shade impacts should not be made responsible for these much more significant impacts over which they have no control.

The proposal is consistent with the rear yard Design Guidelines in other ways. As suggested by the Guidelines, the roof of the addition is sloped and the addition is limited to the one-story height of the existing pop-out to reduce light impacts. The remaining light-reduction measures suggested by the Guidelines are not applicable here. Finally, the kitchen addition affects only Mr. Rai's access to light and does not impact Mr. Rai's privacy in any way.

**B. The Kitchen Addition Is Compatible with the Neighborhood**

The kitchen addition is compatible with the neighborhood in that it is consistent in scale and form with similar pop-outs in the rear yard of other adjacent homes. All four of the similarly situated homes on the block have rear pop-outs. Mr. Rai's home has a rear pop-out approximately 5' wide and 3'6" deep, and also has a balcony atop the pop-out.

The neighbor directly adjacent to the east (1919 Vallejo Street) has a pop-out approximately 13' wide by 4' deep and abuts the property line of the proposed kitchen addition, therefore having similar light impacts on Dr. Peters' and Mr. Brown's home as the proposed kitchen addition would have on Mr. Rai's home. The owner of 1919 Vallejo Street has written a letter of support of the kitchen addition. (See Exhibit C.)

The fourth home (1917 Vallejo Street), located directly adjacent to 1919 Vallejo Street to the east, has the largest pop-out of all at approximately 12' wide by 10' deep, therefore having even greater light impacts on 1919 Vallejo Street than the proposed kitchen addition would have on Mr. Rai's home.

In other words, all of the homes have similar pop-outs and similar light impacts on neighbors as the proposed kitchen addition.

**C. The Remainder of the DR Request Is Either Irrelevant or Unreasonable**

As stated above, much of the DR request focuses on the variance application and the legal standards applicable to the variance, but the Commission has no jurisdiction over the variance. The Zoning Administrator independently determines whether or not to grant the variance. The legal question relevant to the DR request is whether the proposal complies with the Residential Design Guidelines and compatible with the neighborhood.

Another criticism of Mr. Rai is that the kitchen addition is unnecessary because Dr. Peters' and Mr. Brown's home is large and if "[they] wished, an entire floor could be devoted to a new and expanded kitchen." (DR Request Attachment, p. 2.) This criticism borders on the absurd considering the extraordinary effort and expense that would be required to relocate the kitchen and its entire plumbing and other infrastructure, and reconfigure the remainder of the home, merely to avoid the almost non-existent impacts on Mr. Rai's home.

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Finally, Mr. Rai makes much of the allegation, without providing *any* evidentiary substantiation, that the existing pop-out at Mr. Peters' and Mr. Brown's home was constructed without permits. Mr. Rai's allegation may or may not be true – the property's permit history is inconclusive. However, more importantly, what Dr. Peters and Mr. Brown are attempting to do with this process is eliminate any question about the pop-out's legal compliance with a legally authorized renovation. Part of the reason for the project is to update the pop-out's substandard construction.

For all of the foregoing reasons, we respectfully request that the Commission deny the DR request. Dr. Peters and Mr. Brown have proposed a very modest kitchen addition that complies with the Residential Design Guidelines and is consistent with the homes of the adjacent neighbors, including the DR requestor. Thank you for your consideration.

Very truly yours,

REUBEN & JUNIUS, LLP



James A. Reuben

Enclosures

cc: Commissioner Michael Antonini  
Commissioner Gwyneth Borden  
Commissioner Kathrin Moore  
Commissioner Hisashi Sugaya  
Commissioner Rodney Fong  
Linda Avery, Commission Secretary  
John Rahaim, Planning Director  
Christine Lamorena, Planner  
Marion Peters and Eric Brown

# Peters Residence Remodel

## Construction Set / 15 SEP 2011

### ABBREVIATIONS

AFF. Above Finish Floor	JAN. Janitor
ACOUS. Acoustical	KIT. Kitchen
A.B. Anchor Bolt	K.D. Klin Dried
A.O. Area Drain	LAV. Lavatory
A.C.P. Asbestos Cement Pipe	LAM. Laminare
ACS. Accessible	LIN. Linoleum
AC TILE Acoustical Tile	L.T. Light
ADJ. Adjustable	MAT. Material
AGGR. Aggregate	MAX. Maximum
ALUM. Aluminum	M.B. Machine Bolt
A.P. Acoustical Panel	M.C. Medicine Cabinet
ARCH. Architectural	MDF. Main Distribution Frame
ASB. Asbestos	MECH. Mechanical
ASPH. Asphalt	MTL. Metal
BM. Beam	MEMB. Membrane
BLG. Blocking	MFG. Manufacturer
BLOG. Building	M.H. Man Hole
BD. Board	MIC. Microwave
BTUM. Bituminous	MIR. Mirror
BOT. Bottom	MIN. Minimum
CAB. Cabinet	M.O. Masonry Opening
CPT. Carpet	MTD. Mounted
C.A.H. Clear All Heat	MISC. Miscellaneous
C.B. Cash Basin	MULL. Mullion
C.E.M. Cement	NEW. New
C.T. Ceramic Tile	N.C. Not in Contract
C.I. Cast Iron	NO. Number
C.G. Ceiling	N.T.S. Not to Scale
C.L. Centerline	O. Over
C.O. Closet	OBS. Obscure
CLR. Clear	O.C. On Center
CONC. Concrete	O.D. Overflow Drain
CONN. Connection	O.F.C.L. Owner Furnished, Contractor Installed
CONT. Continues	OP. Opening
CORR. Corridor	O.P.H. Opposite Hand
C.P. Concrete Pipe	PART. Partition
CTSK. Countersink	P.D. Plumbing Drawing
CNTR. Counter	PL. Plate
C.H. Construction Heat	PLAS. Plaster
DBL. Double	P.LAM. Plastic Laminare
DEPT. Department	P.WD. Plywood
DTL. Detail	FDL. Polished
D.F. Douglas Fir or	PR. Pair
Drinking Fountain	PT. Paint
DIA. Diameter	RAD. Radius
DIM. Dimension	R.C.P. Reflected Ceiling Plan or
DSP. Dispenser	Reinf. Conc. Pipe
DD. Ditto	REINFOR. Reinforced
DN. Down	REFG. Refrigerator
DR. Door	REQD. Required
D.S. Downspout	RESIL. Resilient
DRW. Drawing	RM. Room
DWG. Dishwasher	R.O. Rough Opening
DW. Each	R.D. Roof Drain
EA. Exhaust Fan	REINWD. Reinforced
EF. Expansion Joint	R.W.L. Rain Water Leader
E.J. Electric	Round Head
ELEV. Elevation	Machine Screw
EMER. Emergency	See Architectural Drawings
ENCL. Enclosure	S.C. Schedule
E.P.B. Equal	SCHED. Scheduling
EQT. Equipment	SH. Sheet
E.W. Each Way	SHL. Shower
E.W.C. Electric Watercooler	SHWR. Shower
EX. Exposed	SIM. Similar
EXT. Exterior	S.M.S. Sheet Metal Screw
F.A. Fire Alarm	S.O.V. Shut Off Valve
F.D. Floor Drain	SPEC. Specification
F.H.W.S. Flat Head Wood Screw	SQ. Square
FIN. Finish	S.S. Stainless Steel
FLASH. Flashing	S.S.D. See Structural Dwg.
FL. Floor	STD. Standard
F.O.C. Face of Concrete	STL. Steel
F.O.F. Face of Finish	S.T.S.M.S. Self Tapping Sheet
F.O.M. Face of Masonry	Storage
F.O.S. Face of Stud	STRUC. Structural
F.E. Fire Extinguisher	STRUCT. Structure
FND. Foundation	SUSP. Suspended
FEC. Fire Extinguisher Cabinet	T&G. Tongue and Groove
FHC. Fire Hose Cabinet	T.C. Top of Curb
FT. Foot	TEL. Telephone
FTG. Footing	TEMP. Temporarily
FLUR. Furring	TERR. Terrace
GA. Gauge	T.O.P. Top of Beam
GALV. Galvanized	T.O.P. Top of Plane
GL. Galvanized Iron or Steel	T.O.S. Top of Sheathing or Steel
GND. Ground	TRD. Tread
GYP.BD. Gypsum Board	T.B. Towel Bar
GRD. Grade	Tel. Terminal Board
G.V. Gravity Vent	T.O.W. Top of Wall
HDWL. Hardware	T.S. Tube Steel
HW. Unless Otherwise Noted	TYP. Typical
HR. Hour	UNF. Unfinished
HB. Hose Bibb	U.O.N. Unless Otherwise Noted
H.C. Hollow Core	VAR. Varies
HM. Hollow Metal	VERT. Vertical
HORIZ. Horizontal	V.G. Vertical Grain
H.P. House Panel	V.I.F. Verify in Field
HT. Height	V.T.R. Vent Through Roof
I.D. Interior Drawing	W. With
INSUL. Insulation	W/O. Without
INV. Invert	W.C. Water Closet
INT. Interior	WSC. Wainscot
	WD. Wood
	WH. Water Heater
	WP. Waterproof

### GENERAL NOTES

- THE CONTRACTOR SHALL PERFORM ALL WORK WITH PROPER PERMITS ISSUED BY THE PROPER REGULATORY AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL LAWS, CODES, ORDINANCES, RULES, AND REGULATIONS OF ALL GOVERNING AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND FOR CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH THE CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO COMPLETE THE PROJECT UNLESS SPECIFIED OTHERWISE.
- THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING WORKING HOURS AGREED TO WITH THE OWNER UNLESS OTHERWISE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL KEEP SITE CLEAN, INSIDE AND OUT, AND FREE OF DEBRIS AND GARBAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING WORK AREAS AND MATERIALS FROM THEFT, VANDALISM, FIRE AND OTHER LOSSES.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION WILL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
- CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL KNOWN UTILITY LINES AND STUBS TO THE BUILDING PRIOR TO THE COMMENCEMENT OF THE WORK.
- CONTRACTOR SHALL ENSURE THAT THE ARCHITECT RECEIVES COPIES OF ALL CHANGES TO BUILDING DESIGN WHICH ARE MADE IN THE COURSE OF CONSTRUCTION. ALL CHANGES AND REVISIONS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE EXECUTION OF SAID WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, STRUCTURAL, AND MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), SECURITY, PLUMBING, AND SPRINKLER WORK SO AS TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED. WHERE CONFLICTS OCCUR, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ANY AND ALL INSPECTIONS REQUIRED FOR THE COMPLETION AND OCCUPANCY OF THE WORK.
- CONTRACTOR TO BE RESPONSIBLE FOR PROTECTING ALL SURFACES NOT TO RECEIVE PAINT. THESE SURFACES SHALL INCLUDE BUT ARE NOT LIMITED TO FLOORS, DOOR HARDWARE, OUTLETS, SWITCHES, FRAMES AND GLASS. CONTRACTOR SHALL CLEAN OR REPLACE AT HIS OWN EXPENSE ANY SURFACE DEFACED OR DAMAGED.
- INSTALLED WORK THAT IS SUBJECT TO DAMAGE BECAUSE OF OPERATIONS ADJACENT THERETO, SHALL BE COVERED, BOARDED UP AND PROTECTED.
- REPAIR ALL DAMAGED SURFACES TO MATCH ADJACENT SURFACES TO AVE SATISFACTION AND INSURE CLEAN TIGHT JOINTS ALL AROUND.
- CONTRACTOR SHALL PREPARE AND SUBMIT A CONSTRUCTION SCHEDULE FOR THE WORK, GIVING APPROXIMATE ON-SITE DELIVERY DATES FOR CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF SPECIFIED PRODUCTS.
- SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST, ESTABLISHED PRACTICE OF THE INDUSTRY STANDARD FOR THE TRADES INVOLVED.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT, NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- CONTRACTOR SHALL INSTALL PRODUCTS AND APPLY FINISHES IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND SPECIFICATIONS, UNLESS DIRECTED OTHERWISE BY ARCHITECT.
- ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY AND FREE OF VIBRATION. SEE MANUFACTURERS' RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONSTRUCTION METHODS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MISCELLANEOUS CLEANING OF WALLS, FIXTURES, SWEEPING OF FLOORS AND WASHING OF FLOORS, PATCHING AND PAINTING TOUCHUP, DEBRIS REMOVAL, AND ANY OTHER WORK REQUIRED TO LEAVE ALL WORK, INCLUDING WORK PERFORMED UNDER SEPARATE CONTRACTS, CLEAN AND READY FOR OCCUPANCY. ALL CLEANING WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER.
- ALL DIMENSIONS ARE TO FACE OF WALLBOARD, TYPICAL. FOR MINIMUM ACCESSIBLE CLEARANCES, DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- SEAL TIGHT AND PROTECT WITH FIRE RATING SLEEVES AT OPENINGS THROUGH FIRE RATED PARTITIONS.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKBOARDS, ELECTRICAL OUTLETS, CONDURTS, ETC. AS REQUIRED BY THE OWNER'S TELEPHONE COMPANY, TO ACCOMMODATE THEIR INSTALLATION.

### VICINITY MAP



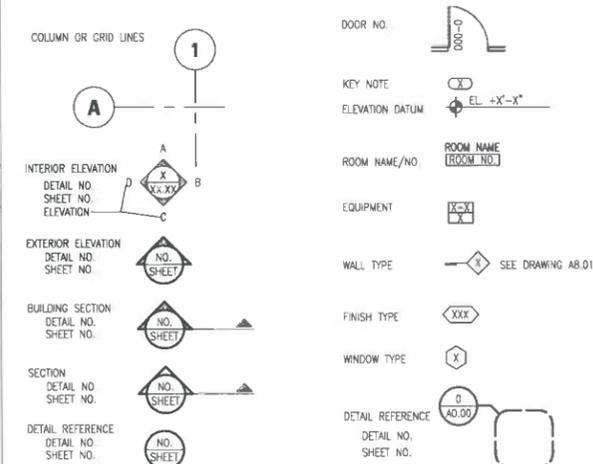
### PROJECT SCOPE OF WORK

- DEMOLITION PER PLANS (INCLUDING BUT NOT LIMITED TO REMOVAL OF CASEWORK, WALLS, ROOF, ELECTRICAL AND PLUMBING CONNECTIONS TO EXISTING APPLIANCES OR FIXTURES, COLLAPSIBLE EGRESS LADDER)
- PROVIDE INTERIM SUPPORT AND PROTECTION OF EXISTING STRUCTURE AND FINISHES ADJACENT TO DEMOLISHED AREAS
- CONSTRUCT NEW CONTINUOUS FOOTING AT KITCHEN EXTENSION
- NEW CONSTRUCTION PER PLANS (INCLUDING BUT NOT LIMITED TO FRAMING, WALL, PARTITION, FLOOR AND ROOF CONSTRUCTION)
- INSTALLATION AND CONNECTION OF APPLIANCES AND SINK INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONNECTIONS
- INSTALLATION OF CAESERSTONE COUNTERTOPS PER MFG SPECIFICATIONS AND RECOMMENDATIONS
- EXTENSION OF HEATING DUCT TO REGISTER IN BASEBOARD OF NEW CASEWORK (CASEWORK NIC)
- INSTALLATION OF NANAWALL BIFOLD DOOR PER MFG SPECIFICATIONS AND RECOMMENDATIONS
- REVERSE SWING OF DOOR TO POWDER ROOM. INSTALL NEW DOOR TO MATCH EXISTING
- INSTALLATION OF NEW PRECAST CONCRETE PIERS, PRESSURE TREATED FRAMING AS NECESSARY AND IPE DECKING
- INSTALLATION OF NEW DECK RAIL NEAR BBQ AREA
- INSTALLATION OF NEW ELECTRICAL OUTLETS PER DRAWINGS AND CODES. COORDINATE LOCATIONS WITH ARCHITECT
- INSTALLATION OF NEW OAK FLOORING TO MATCH EXISTING PRIOR TO CASEWORK INSTALLATION (CASEWORK INSTALLATION BY OTHERS)
- REFINISH ALL WOOD FLOORS ON 1ST LEVEL SO THAT NEW FLOOR AND EXISTING FLOOR HAVE SAME FINISH. TEST FIRST SO THAT A UNIFORM FINISH IS ACHIEVED THROUGHOUT FIRST FLOOR
- PAINT ALL NEW GYPSUM BOARD WALLS AND REPAIR AFFECTED EXISTING WALLS IN KITCHEN, POWDER ROOM AND DINING ROOMS. SEE FINISH SCHEDULES.

### FINISHES COORDINATE WITH SCHEDULES

- PAINT**
  - PVA PRIMER AND 2 COAT ACRYLIC - MFG TO BE BENJAMIN MOORE
  - COLORS TO BE SELECTED
  - SEMI-GLOSS FINISH AT KITCHEN
  - EGGSHELL/SATIN FINISH AT POWDER ROOM AND DINING ROOM
- WOOD TRIM AND BASE**
  - MATCH PROFILE AND THICKNESS OF EXISTING TRIM
  - PAINT WITH GLOSS ENAMEL - COLOR TO BE SELECTED
- COUNTERTOP**
  - 1 INCH THICK CAESERSTONE AS SHOWN ON DRAWINGS
- BACKSPLASH**
  - CAESERSTONE TO MATCH COUNTERTOPS
- DECK**
  - 2X6 IPE (IRONWOOD) BOARDS
  - ALL FRAMING TO BE PRESSURE TREATED
- HARDWARE**
  - MATCH FINISH OF EXISTING HARDWARE
- NANAWALL**
  - INSTALL PER DRAWINGS AND NANAWALL SPECIFICATIONS
  - COLOR/FINISH TO BE SELECTED
- EXTERIOR CLADDING**
  - EXTERIOR WOOD SHINGLES TO MATCH EXISTING
- ROOF**
  - COMPOSITION SHINGLES - COLOR TO BE SELECTED
  - MFG BY CERTAINTED, GAF OR ARMSTRONG
- GLASS CANOPY**
  - 5/8" TEMPERED GLASS

### LEGENDS & SYMBOLS



### CODE SUMMARY

APPLICABLE CODES:  
 CALIFORNIA BUILDING CODE - 2010 EDITION  
 CALIFORNIA GREEN BUILDING CODE - 2008 EDITION  
 BUILDING OCCUPANCY: R-3 (PRIMARYLY RESIDENTIAL, 2 DWELLING UNITS)

CONSTRUCTION TYPE: TYPE 5B

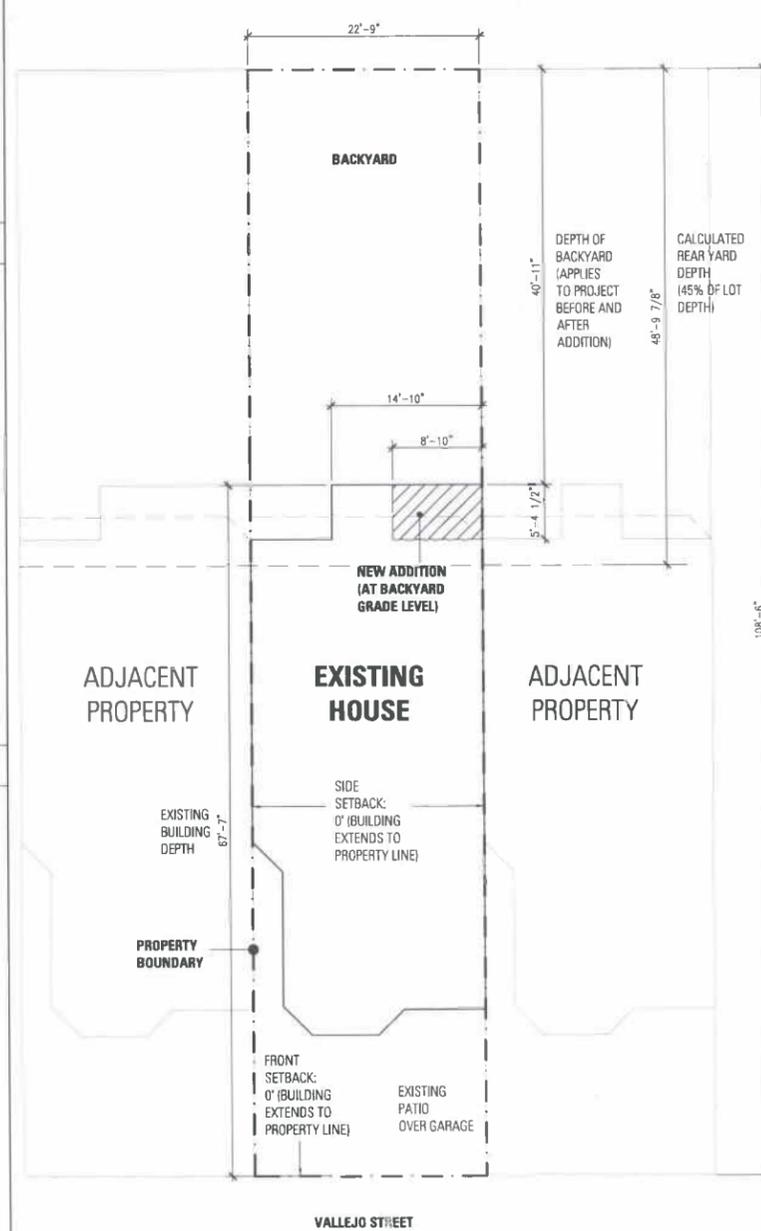
PROJECT ADDRESS: 1921 VALLEJO STREET, SAN FRANCISCO, CA

LOT SQUARE FOOTAGE: 2,446  
 STORIES: 4  
 YEAR BUILT: 1900

### SHEET INDEX

- A0.01 - Notes, Information
- D2.01 - Floor Plan and RCP (Demolition)
- A2.01 - Floor Plan and RCP (New), Finish Schedule
- A3.01 - Exterior Elevations and Existing Building Documentation
- ~~A5.01 - Interior Elevations - NOT INCLUDED IN THIS SET~~
- A6.01 - Framing and Foundation Plans
- A8.01 - Details
- A8.02 - Details
- A9.01 - Details
- E2.01 - Electrical Plan and Schedules

### SITE PLAN SCALE: 1/8" = 1'-0"



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## Peters Residence

### Kitchen Remodel and Extension

### San Francisco, CA

NOTE: If this drawing is not 36"x24" it has been revised from its original size. Scale noted on drawing/details are no longer applicable.  
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Rev. Date Remarks

### - CONSTRUCTION SET -

Date: 15 SEP 2011  
 Scale: NTS  
 KH Project Name: Peters Residence  
 San Francisco, CA  
 KH Project No. 10011.00

### Notes, Information

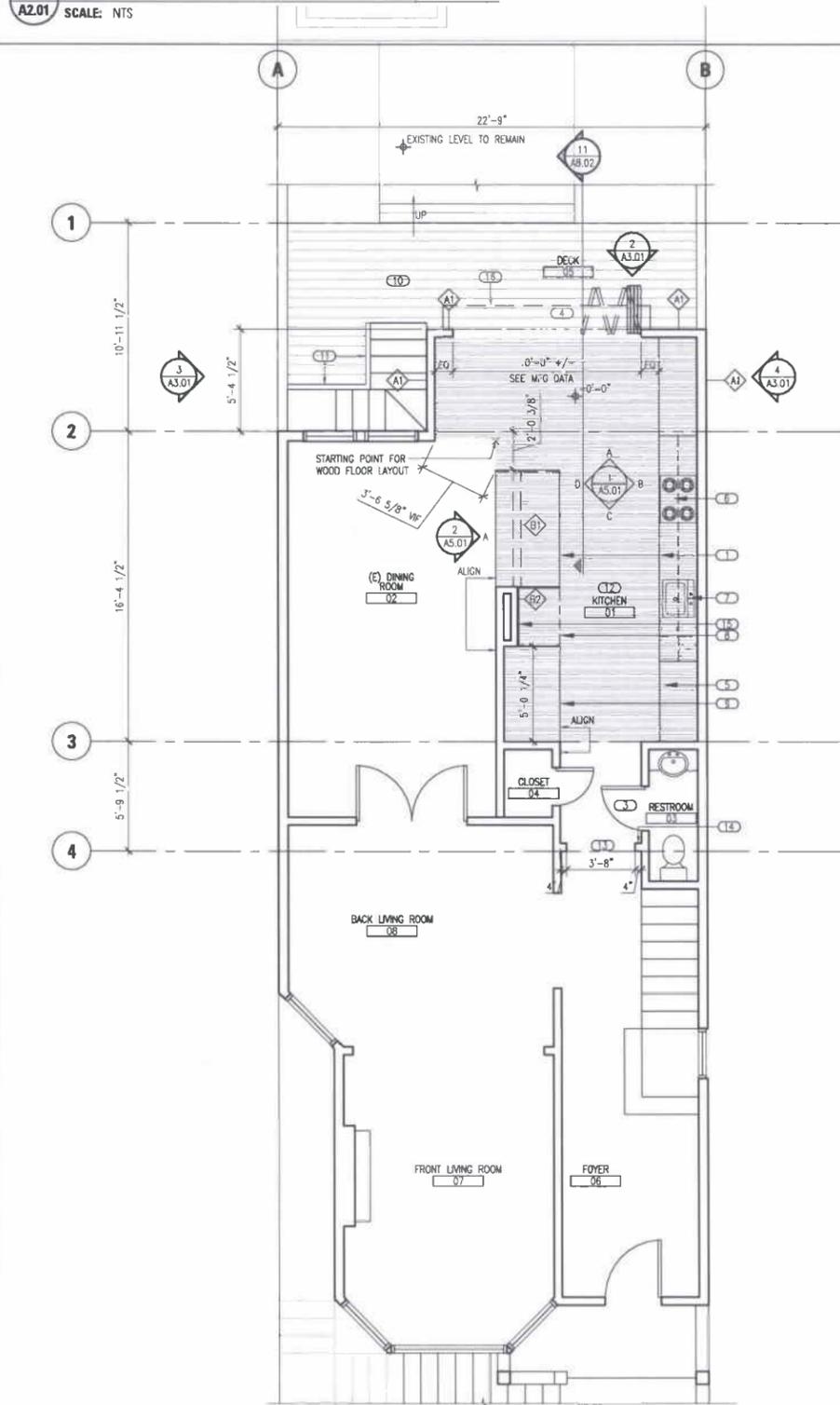
Sheet No.

# A0.01

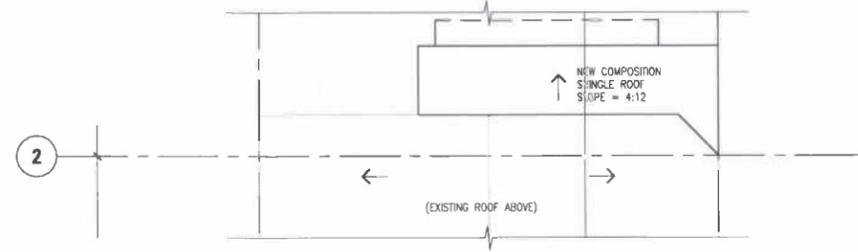


ROOM	ROOM NAME	WALL FINISH	MANUFACTURER	COLOR/STYLE	FLOOR FINISH	CEILING FINISH	NOTES
01	KITCHEN	PAINTED GYP BD	BENJAMIN MOORE	ECO-SPEC WB	HARDWOOD - MATCH EXISTING COLOR/SIZE	PAINTED GYP BD	
02	(E) DINING ROOM	PROTECT/PATCH TO MATCH (E)	N/A	N/A	PROTECT/PATCH TO MATCH (E)	PROTECT/PATCH TO MATCH EXISTING	
03	RESTROOM	PROTECT/PATCH TO MATCH (E)	N/A	N/A	PROTECT/PATCH TO MATCH (E)	PROTECT/PATCH TO MATCH EXISTING	
04	CLOSET	PROTECT/PATCH TO MATCH (E)	N/A	N/A	PROTECT/PATCH TO MATCH (E)	PROTECT/PATCH TO MATCH EXISTING	
05	DECK	N/A	N/A	N/A	PE		ALL WOOD UNDER DECK TO BE PRESSURE TREATED

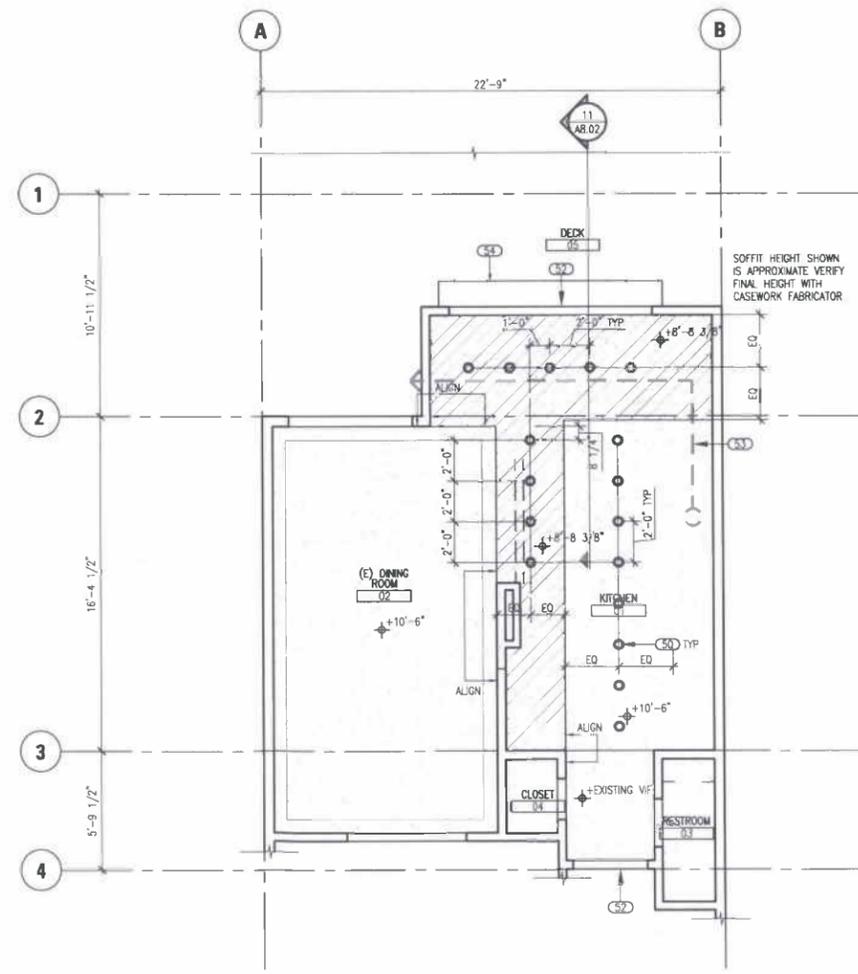
**3 Finish Schedule**  
A2.01 SCALE: NTS



**1 Floor Plan (New)**  
A2.01 SCALE: 1/4" = 1'-0"



**3 Roof Plan (New)**  
A2.01 SCALE: 1/4" = 1'-0"



**2 Reflected Ceiling Plan (New)**  
A2.01 SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- FOR ALL WALL TYPES SEE SHEET A8.01
- ALL CEILINGS SHALL BE PAINTED GYPSUM BOARD UNO
- CONTRACTOR TO REFINISH ALL WOOD FLOORS ON 1ST LEVEL. FINAL FINISH OF NEW AND EXISTING FLOORS TO MATCH

**SHEET NOTES (FLOOR PLAN)**

- (1) NEW CASEWORK
- (2) NOT USED
- (3) NEW DOOR TO MATCH (E)
- (4) NEW BI-FOLD DOOR PAIR
  - NANAWALL WD-66 SERIES
  - LA CANTINA
  - SIERRA PACIFIC
- (5) NEW ELECTRIC OVEN AND WARMING DRAWER
- (6) NEW 36" INDUCTION COOKTOP
- (7) NEW SS SINK
- (8) NEW REFRIGERATOR
- (9) NEW APPLIANCE BARN
- (10) NEW DECK - SEE A8.01
- (11) NEW GUARDRAIL - SEE A9.01
- (12) NEW OAK FLOOR TO MATCH (E)
- (13) WIDEN CASED OPENING
- (14) (E) LIGHT SWITCH TO REMAIN
- (15) OFFSET IN WALL - SEE 7/A8.01
- (16) EDGE OF GLAZED CANOPY ABOVE - SEE A8.02

**SHEET NOTES (RCP)**

- (17) NEW RECESSED LIGHT FIXTURE
- (18) NOT USED
- (19) NEW HEADER - SEE A6.01
- (20) EXHAUST VENT PATH
- (21) GLAZED CANOPY - SEE A8.02

**LEGEND**

- HEADER
- X'-X" HEIGHT
  - FLOOR LEVEL ON FLOOR PLAN
  - CEILING LEVEL ON RCP
- PAINTED GYPSUM BOARD CEILING
- SOFFIT
- AREA OF NEW FLOORING
- WALL TYPE - SEE A8.01
- CEILING LIGHTING FIXTURE - SEE LIGHTING SCHEDULE



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**Peters Residence**

**Kitchen Remodel and Extension**

**San Francisco, CA**

NOTE: If this drawing is not 36"x24" it has been revised from its original size. Scale noted on drawing/details are no longer applicable.

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Rev. Date Remarks

**- CONSTRUCTION SET -**

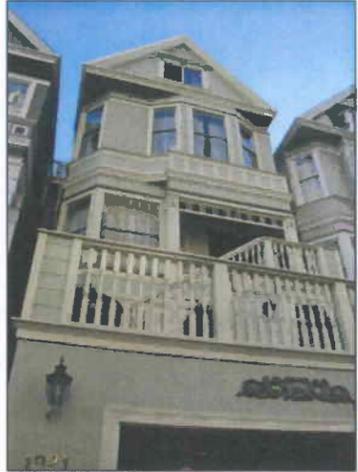
Date: 15 SEP 2011  
Scale: 1/4" = 1'-0"  
KH Project Name: Peters Residence  
KH Project No: San Francisco, CA 10011.00

Drawing Title:  
**Floor Plan (New)**  
**RCP (New)**

Sheet No.

**A2.01**

**EXISTING BUILDING DOCUMENTATION**



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

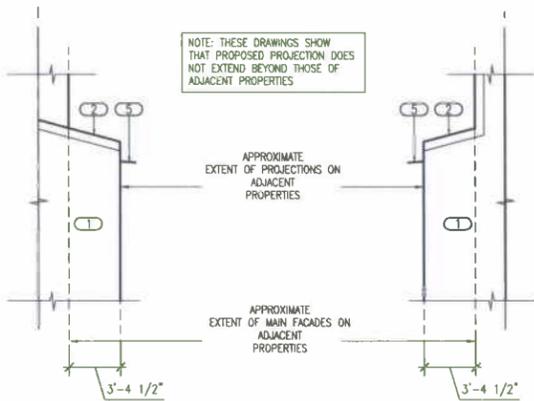


REAR ELEVATION - ADJACENT BLDG (WEST SIDE)



REAR ELEVATION - ADJACENT BLDG (EAST SIDE)

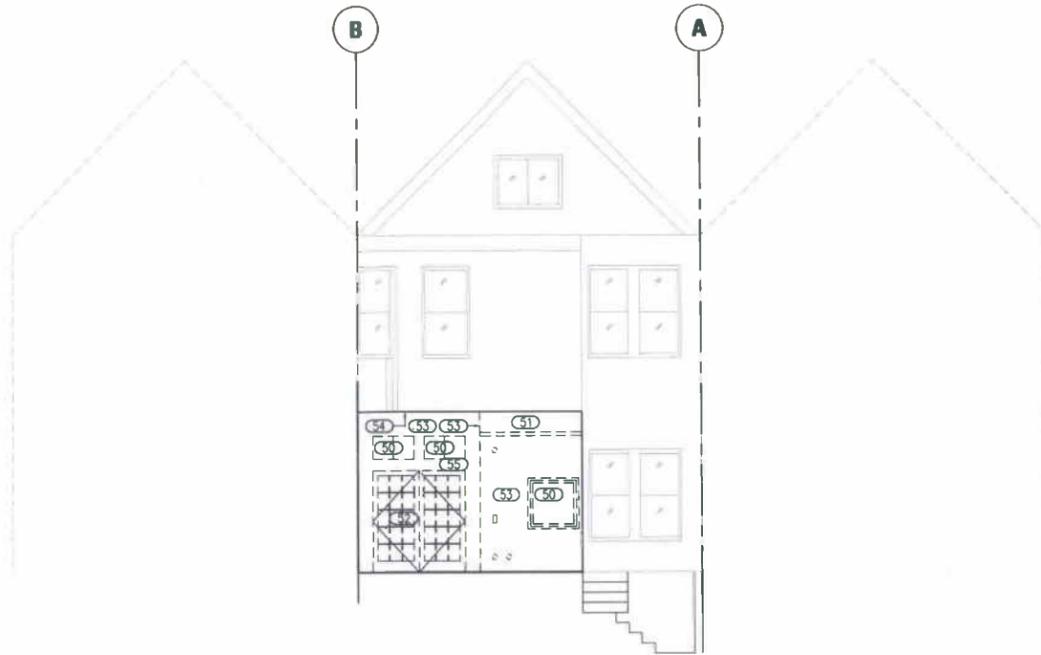
NOTE: PHOTOS OF ADJACENT BUILDINGS SHOW SIMILAR PROJECTIONS TO THAT PROPOSED FOR SUBJECT PROPERTY



**4 Ext West Elevation (New)**  
A3.01 SCALE: 3/16" = 1'-0"

**3 Ext East Elevation (New)**  
A3.01 SCALE: 3/16" = 1'-0"

**2 Ext South Elevation (New)**  
A3.01 SCALE: 3/16" = 1'-0"



**1 Exterior Elevation (Demo)**  
A3.01 SCALE: 3/16" = 1'-0"



**GENERAL NOTES**

- 1. WHERE WALLS OR SOFFITS ARE BEING DEMOLISHED CONTRACTOR SHALL ALSO REMOVE ANY HOSE BIBS, LIGHTS OR ELECTRICAL CONNECTIONS

**SHEET NOTES (NEW)**

- (N1) NEW WALLS - SEE WALL TYPES
- (N2) NEW ROOF - SEE A8.02
- (N3) NEW BIFOLD DOOR PAIR
- (N4) LIGHTING FIXTURE
- (N5) GLAZED CANOPY - SEE A8.02

**SHEET NOTES (DEMO)**

- (S1) DEMOLISH WINDOW
- (S2) DEMOLISH EXISTING ROOF
- (S3) DEMOLISH EXISTING DOORS
- (S4) DEMOLISH WALL
- (S5) DEMOLISH SOFFIT
- (S6) DEMOLISH EXISTING COLLAPSIBLE LADDER

**LEGEND**

--- DEMOLISH



**Owner**  
Marion Peters and Eric Brown  
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Marion.Peters@ucsf.edu

**Architect**  
Kwan Henmi  
456 Montgomery Street  
Suite 300  
San Francisco, CA 94104  
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F: (415) 777-5102  
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joseph.chance@kwanhenmi.com



**Peters Residence**

**Kitchen Remodel and Extension**

**San Francisco, CA**

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Rev. Date Remarks

**- CONSTRUCTION SET -**

Date: 15 SEP 2011  
Scale: VAMES  
KH Project Name: Peters Residence  
San Francisco, CA  
KH Project No. 10611.00

Drawing Title:  
**Exterior Elevations  
(E) Building Documentation**

Sheet No.  
**A3.01**



**Peters Residence**  
**Kitchen Remodel and Extension**  
 San Francisco, CA

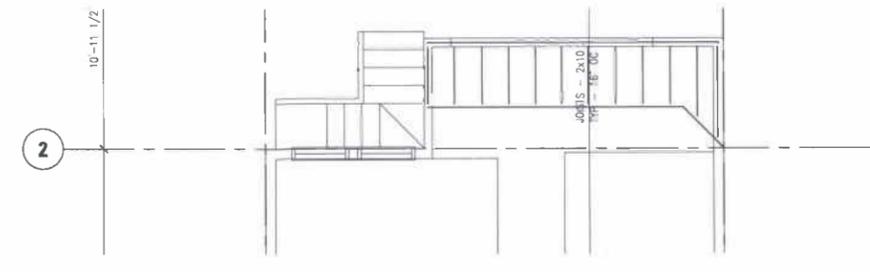
NOTE: If this drawing is not 36"x24" it has been revised from its original size. Scale noted on drawing/details are no longer applicable.  
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**- CONSTRUCTION SET -**

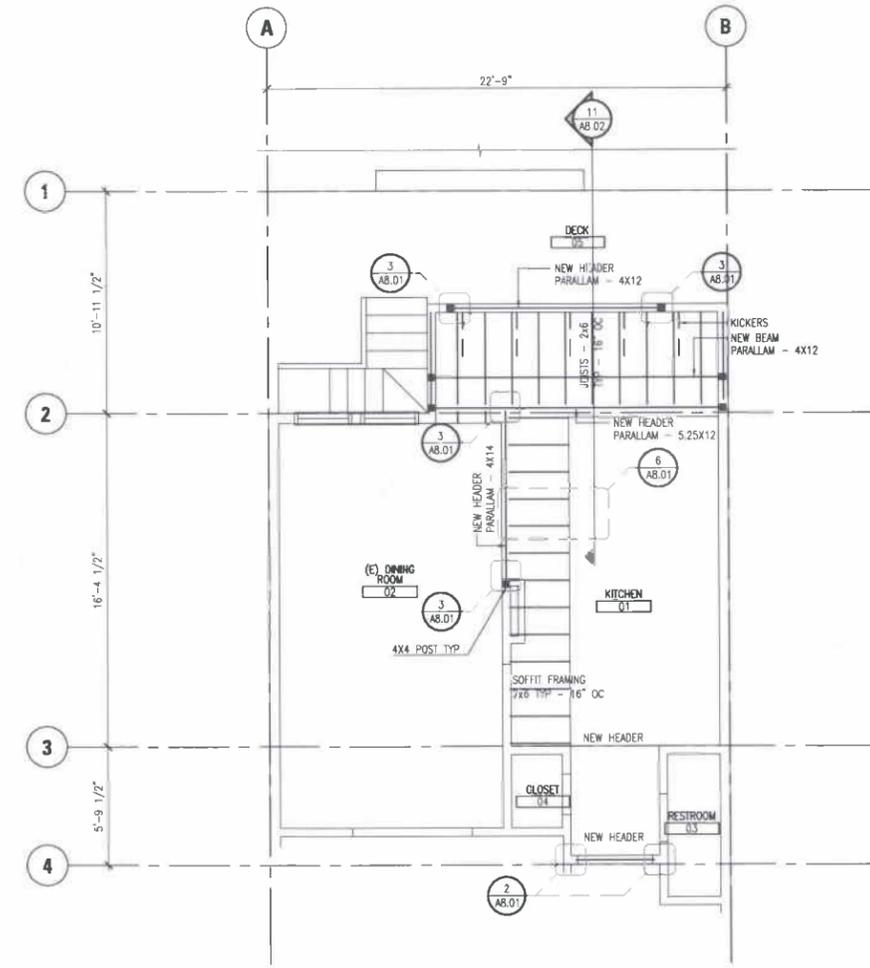
Date: 15 SEP 2011  
 Scale: 1/4" = 1'-0"  
 KH Project Name: Peters Residence  
 San Francisco, CA  
 KH Project No. 10011.00

Drawing Title:  
**Foundation Plan**  
**Framing Plan**

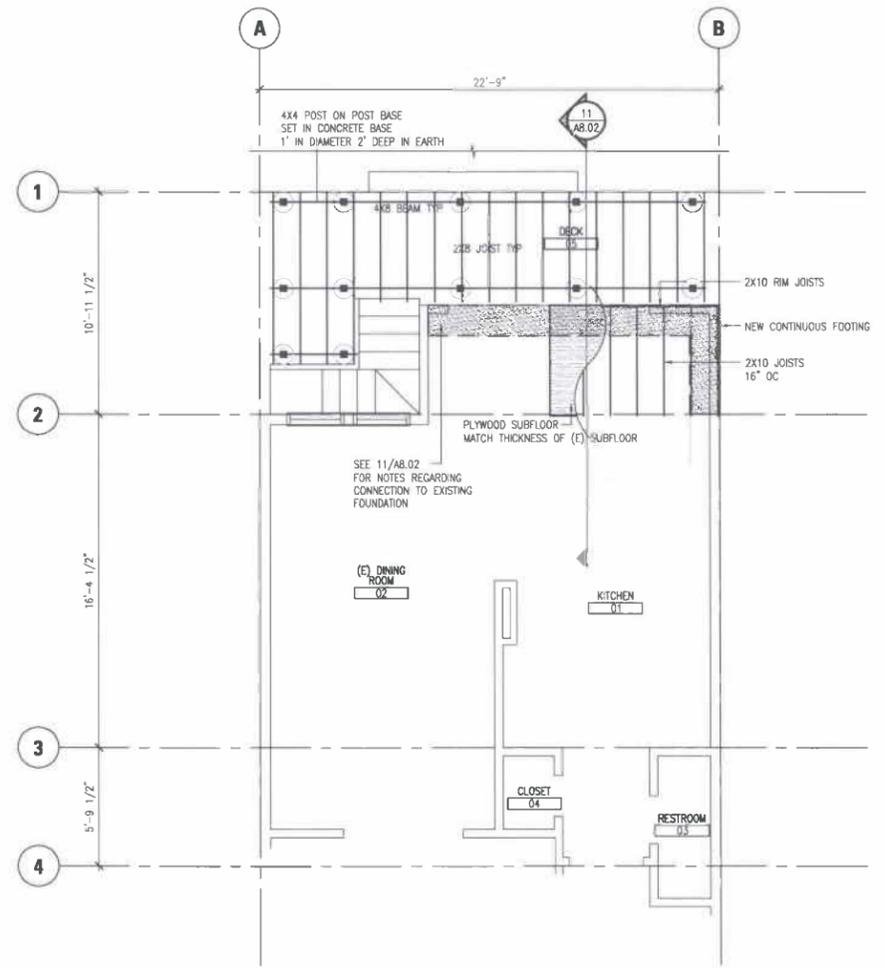
Sheet No.  
**A6.01**



**3 Framing Plan (Roof)**  
 A6.01 SCALE: 1/4" = 1'-0"



**2 Framing Plan (Ceiling)**  
 A6.01 SCALE: 1/4" = 1'-0"



**1 Foundation Plan**  
 A6.01 SCALE: 1/4" = 1'-0"



**Peters Residence**  
**Kitchen Remodel and Extension**  
**San Francisco, CA**

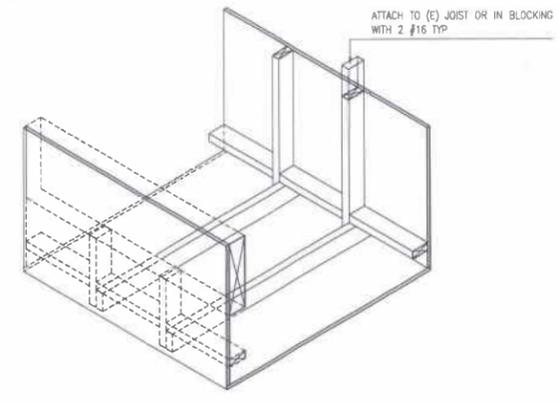
NOTE: If this drawing is not 36"x24" it has been revised from its original size. Scale noted on drawing/details are no longer applicable.  
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 Rev. Date Remarks

**- CONSTRUCTION SET -**

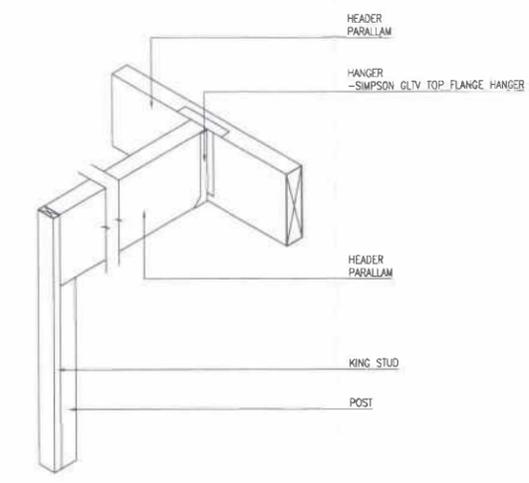
Date: 15 SEP 2011  
 Scale:  
 KH Project Name: **Peters Residence**  
 San Francisco, CA  
 KH Project No. 10011.00

Drawing Title:  
**Details - Interior**

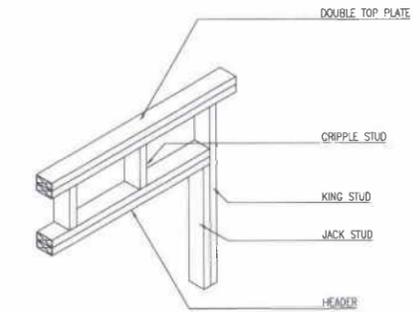
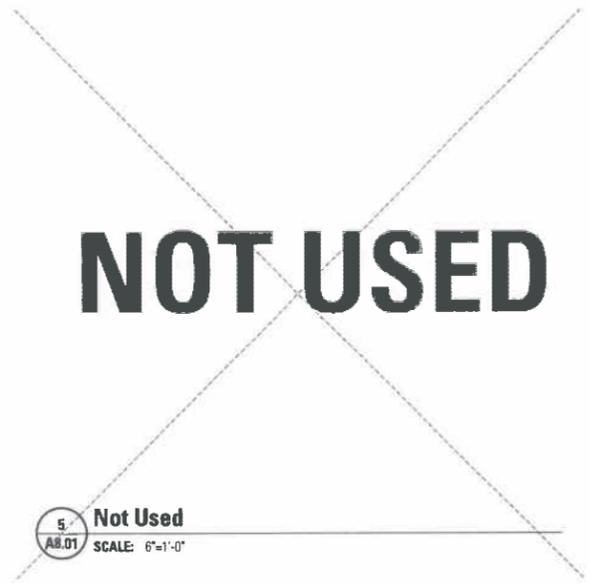
Sheet No.  
**A8.01**



**6 Soffit Framing**  
 A8.01 SCALE: 3/4" = 1'-0"

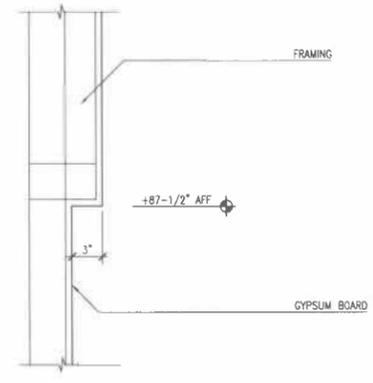


**3 Header Support and Connection**  
 A8.01 SCALE: 3/4" = 1'-0"

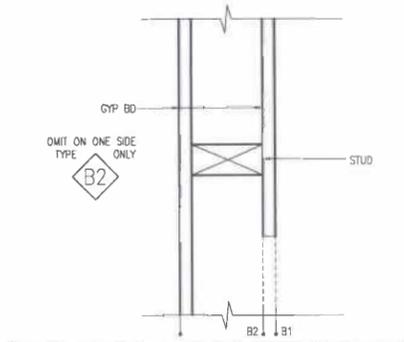


**2 Door Header Detail - Short Span**  
 A8.01 SCALE: 3/4" = 1'-0"

**5 Not Used**  
 A8.01 SCALE: 6" = 1'-0"

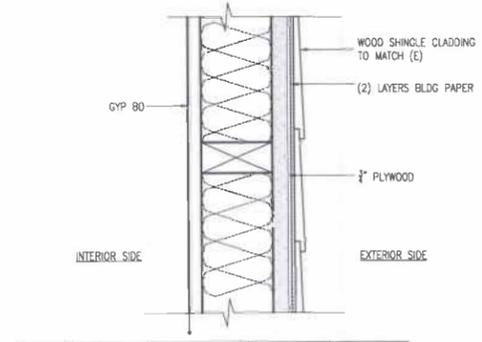


**7 Wall Offset**  
 A8.01 SCALE: 1 1/2" = 1'-0"



WALL TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN
B1	2x4	4 3/4"	-	-
B2	2x4	4 1/8"	-	-

**4 Interior Wall**  
 A8.01 SCALE: 3" = 1'-0"



WALL TYPE	STUD SIZE	OVERALL DIMENSION	STC RATING	UL DESIGN
A1	2x4	-	-	-

**1 Exterior Wall**  
 A8.01 SCALE: 3" = 1'-0"





**Peters Residence**

**Kitchen Remodel and Extension**

**San Francisco, CA**

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Rev. Date Remarks

**- CONSTRUCTION SET -**

Date: **15 SEP 2011**

Scale:

KH Project Name: **Peters Residence**

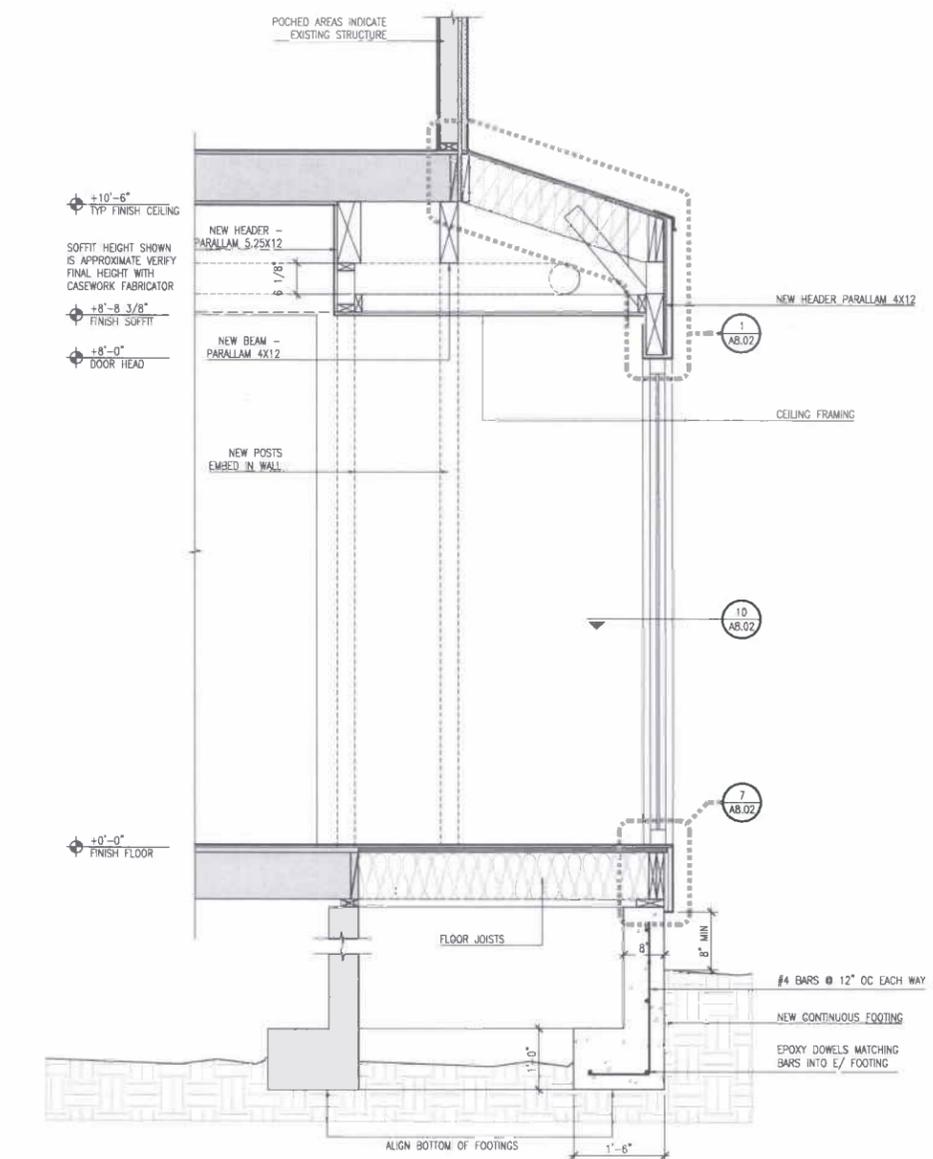
KH Project No.: **San Francisco, CA 10011.00**

Drawing Title:

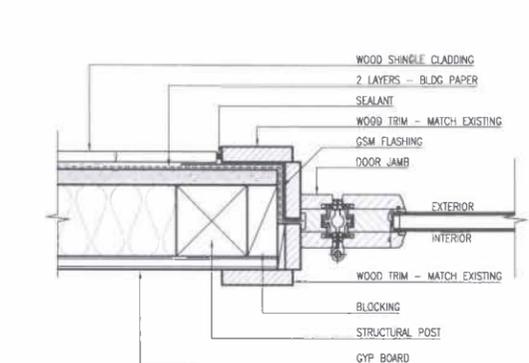
**Details**

Sheet No.

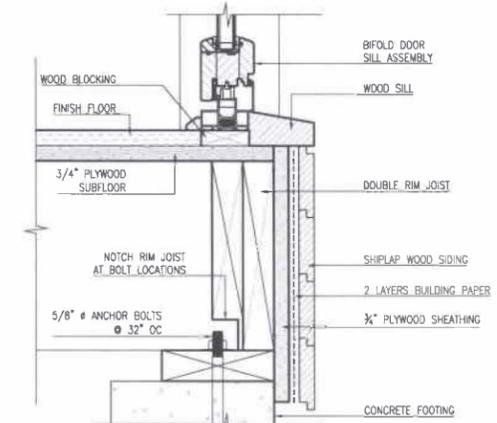
**A8.02**



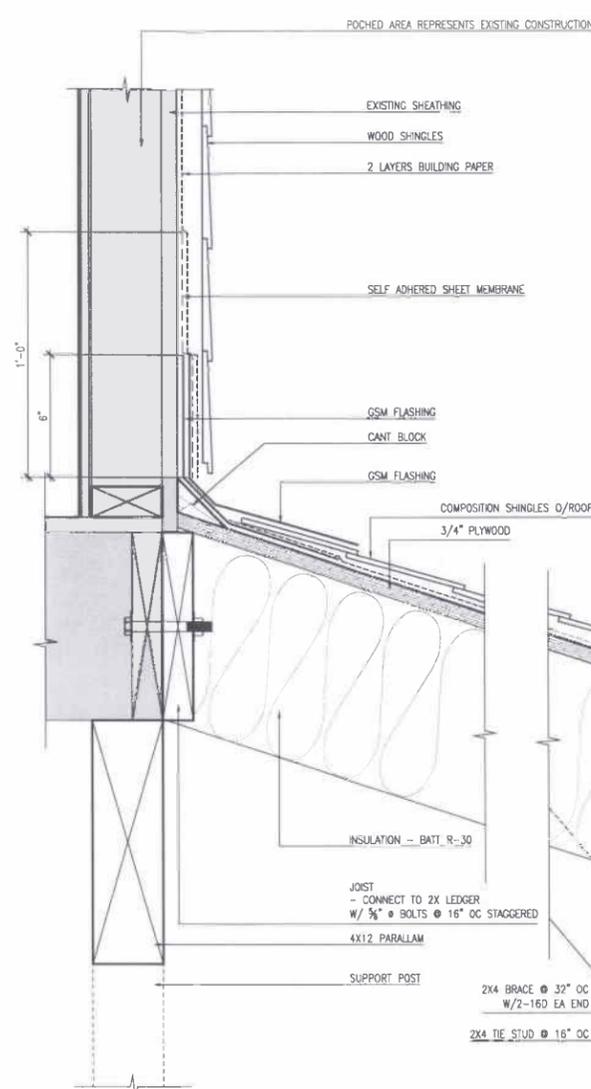
**11 Wall Section**  
 A8.02 SCALE: 3/4" = 1'-0"



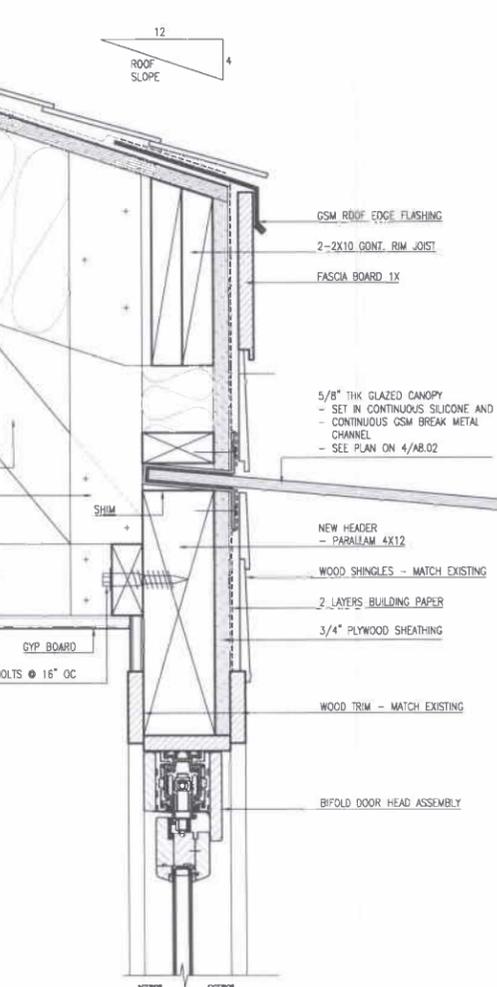
**10 Bifold Door Jamb**  
 A8.02 SCALE: 3/4" = 1'-0"



**7 Bifold Door Threshold**  
 A8.02 SCALE: 3/4" = 1'-0"



**4 Glazed Canopy Plan**  
 A8.02 SCALE: 1/2" = 1'-0"



**1 Enlarged Section**  
 A8.02 SCALE: 3/4" = 1'-0"



## Peters Residence

### Kitchen Remodel and Extension

#### San Francisco, CA

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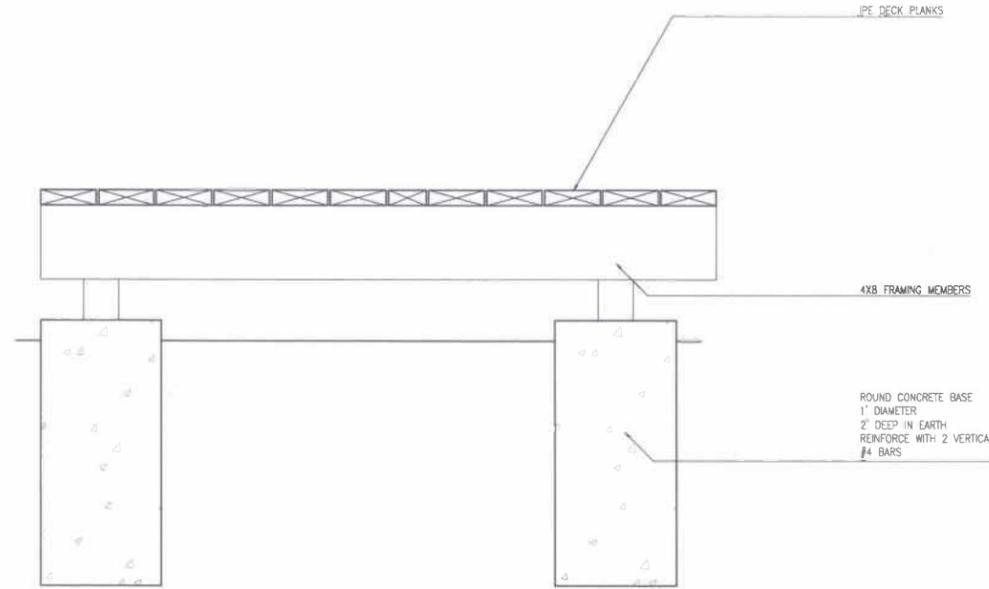
### - CONSTRUCTION SET -

Date: 15 SEP 2011  
 Scale: 1/4" = 1'-0"  
 KH Project Name: Peters Residence  
 San Francisco, CA  
 KH Project No. 10011.00

Drawing Title:  
**Details - Exterior**

Sheet No.

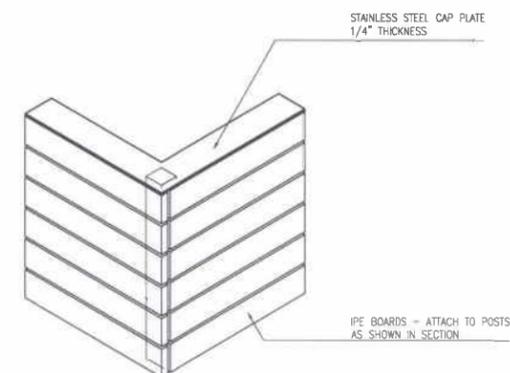
# A9.01



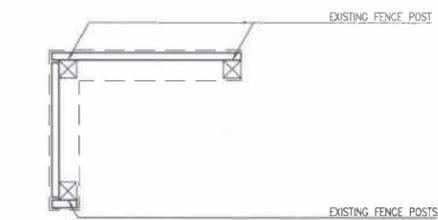
**11 Typ Deck Framing Section**  
 A9.01 SCALE: 3/4" = 1'-0"

#### GUARDRAIL:

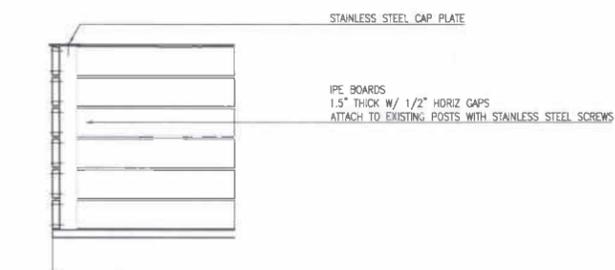
1. REMOVE TOP RAIL AND INTERMEDIATE MEMBERS FROM EXISTING GUARDRAIL POSTS.
2. INSPECT EXISTING POSTS AND VERIFY STRUCTURAL SOUNDNESS. IF MEMBERS ARE NOT SOUND CONSULT WITH ARCHITECT AND REINFORCE OR REPLACE AS NEEDED.
3. NEW IPE BOARDS TO MATCH DECK SHALL BE ATTACHED TO EXISTING POSTS WITH STAINLESS STEEL SCREWS. VERIFY LENGTHS OF ALL BOARDS IN FIELD.
4. NEW STAINLESS STEEL CAP PLATE TO BE INSTALLED ON TOP OF EXISTING POSTS. CONNECT CAP PLATE SECTIONS TO EACH OTHER WITH WELDED MITRE JOINT TO BE GROUND SMOOTH.



**A 3-D VIEW**



**C PLAN**



**B SECTION**

**10 Deck Guardrail**  
 A9.01 SCALE: 3/4" = 1'-0"



**Owner:** Marion Peters and Eric Brown  
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 Marion.Peters@ucsf.edu

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**Peters Residence**

**Kitchen Remodel and Extension**

**San Francisco, CA**

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**- CONSTRUCTION SET -**

Date: 15 SEP 2011  
 Scale: 1/4" = 1'-0"  
 KH Project Name: Peters Residence  
 San Francisco, CA  
 KH Project No. 10011.00

Drawing Title:  
**Electrical Plan (New) Schedules**

Sheet No.  
**E2.01**

**GENERAL NOTES**

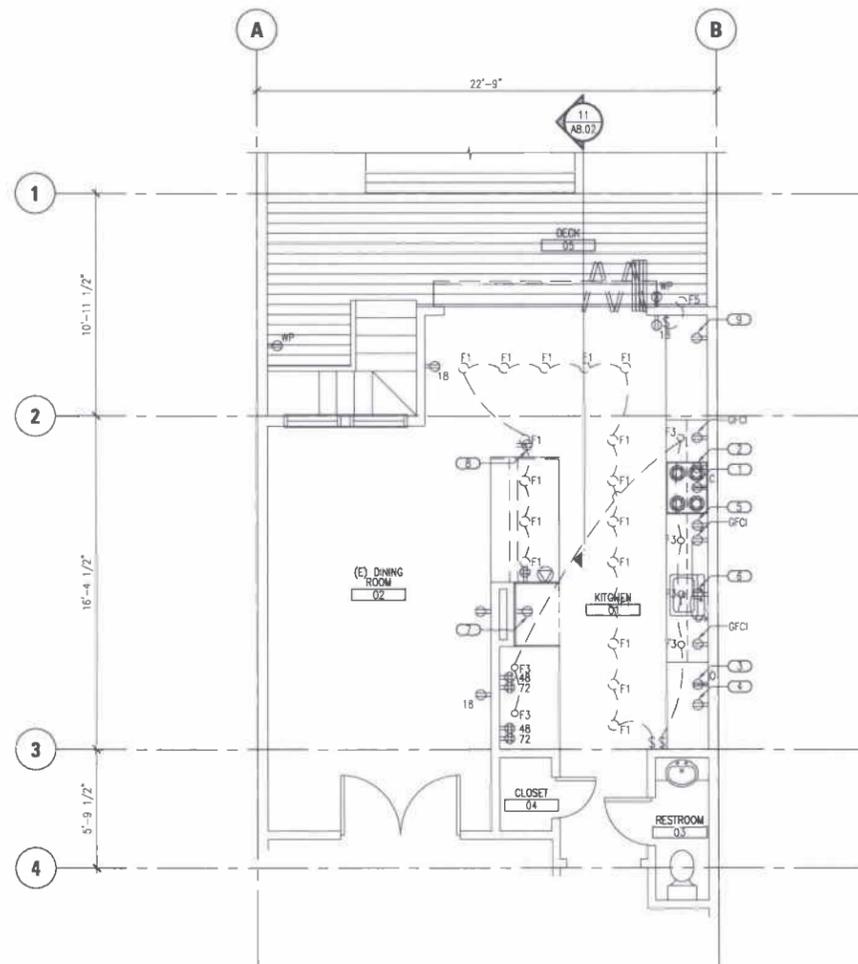
- 1. X
- 2. X
- 3. X

**SHEET NOTES (ELEC PLAN)**

- Ⓛ CONNECT POWER TO COOKTOP
- Ⓜ CONNECT POWER TO EXHAUST HOOD
- Ⓝ CONNECT POWER TO OVEN
- Ⓞ CONNECT POWER TO WARMING DRAWER
- Ⓟ CONNECT POWER TO DISHWASHER
- Ⓠ OUTLET FOR GARBAGE DISPOSAL
- Ⓡ OUTLET FOR REFRIGERATOR
- Ⓢ OUTLET FOR WINE COOLER
- Ⓣ OUTLET INSIDE PANTRY CABINET

**LEGEND**

- Ⓛ OUTLET - DUPLEX
- ⓁⓄ OUTLET - DUPLEX - GFCI
- ⓁⓅ OUTLET - DUPLEX - WATERPROOF
- ⓁⓆ OUTLET - QUAD
- ⓁⓇ OUTLET - COOKTOP/OVEN
- Ⓢ SWITCH
- Ⓣ OUTLET - PHONE
- ⓁⓇ LIGHT FIXTURE



**1 Electrical Plan (New)**  
 E2.01 SCALE: 1/4" = 1'-0"

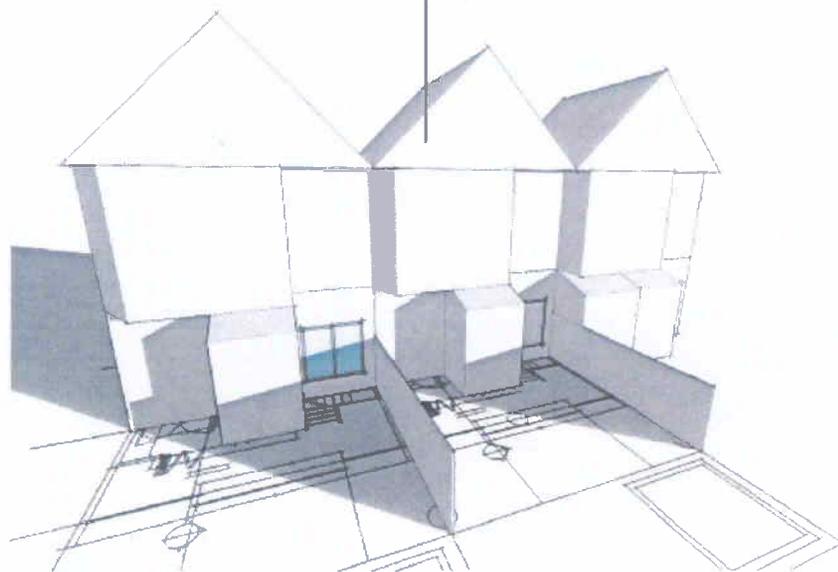
APPLIANCE	MANUFACTURER	MODEL	NOTES
COOKTOP	MFG	MODEL	
EXHAUST HOOD	MIELE	DA-3190	
OVEN	MFG	MODEL	
WARMING DRAWER	MFG	MODEL	
DISHWASHER	MFG	MODEL	
GARBAGE DISPOSAL	MFG	MODEL	
REFRIGERATOR	MFG	MODEL	
WINE COOLER	MFG	MODEL	

**3 Appliance Schedule**  
 E2.01 SCALE: NTS

FIXTURE	TYPE	MANUFACTURER	MODEL	NOTES
F1	RECESSED	MFG	MODEL	
F2	NOT USED			
F3	UNDERCABINET	MFG	MODEL	
F4	INTEGRATED	SEE EXHAUST HOOD MFG	SEE EXHAUST HOOD MODEL	
F5	OUTDOOR	MFG	MODEL	

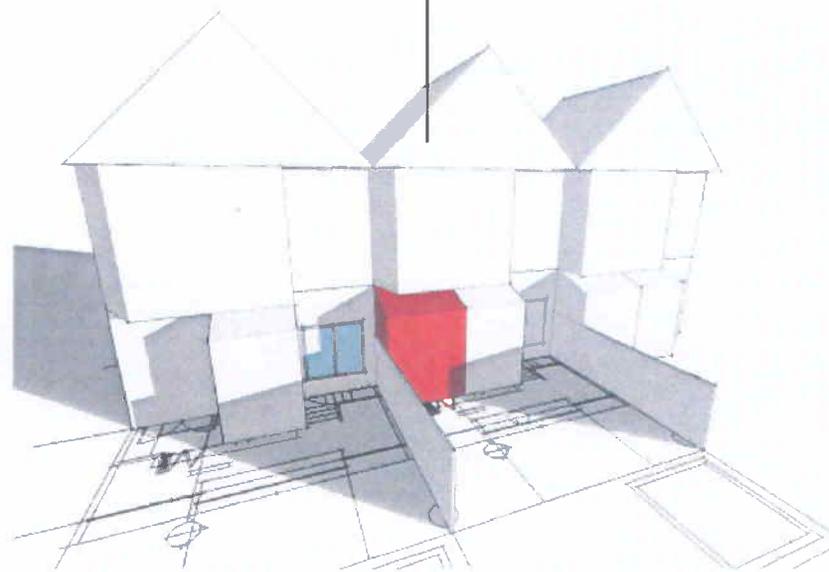
**2 Lighting Schedule**  
 E2.01 SCALE: NTS

PETERS  
RESIDENCE



EXISTING CONDITION

PETERS  
RESIDENCE

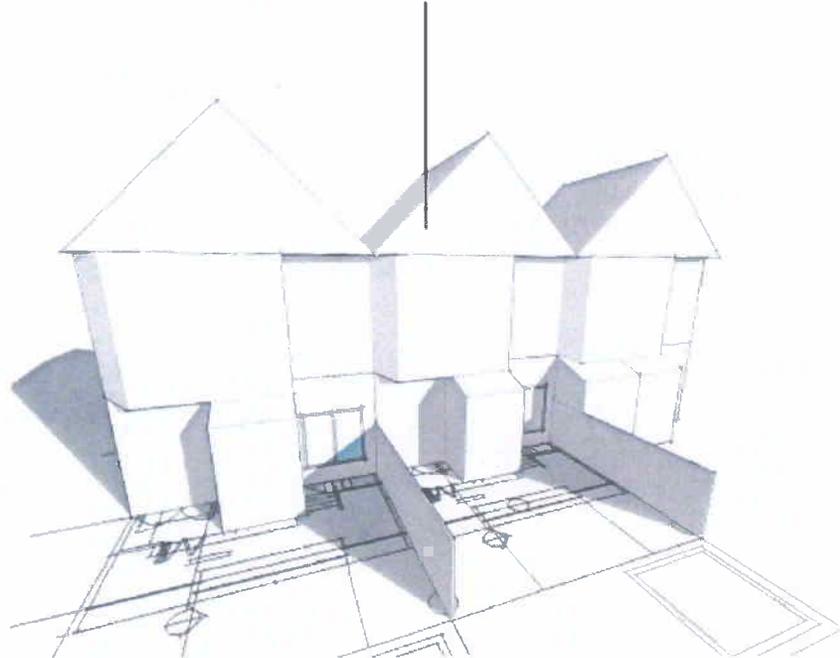


PROPOSED CONDITION

**WINTER/8AM**

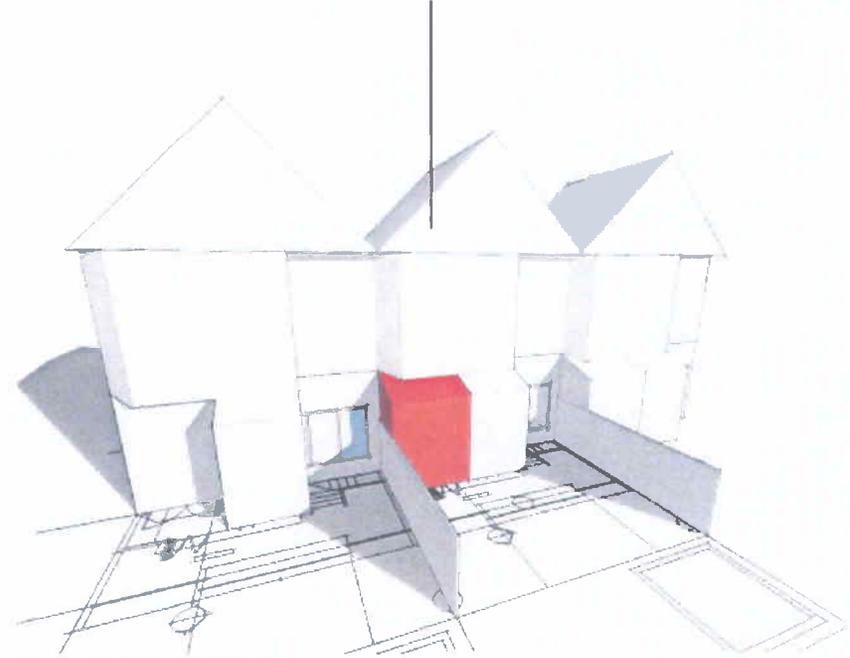


**PETERS  
RESIDENCE**



**EXISTING CONDITION**

**PETERS  
RESIDENCE**



**PROPOSED CONDITION**

**WINTER/930AM**

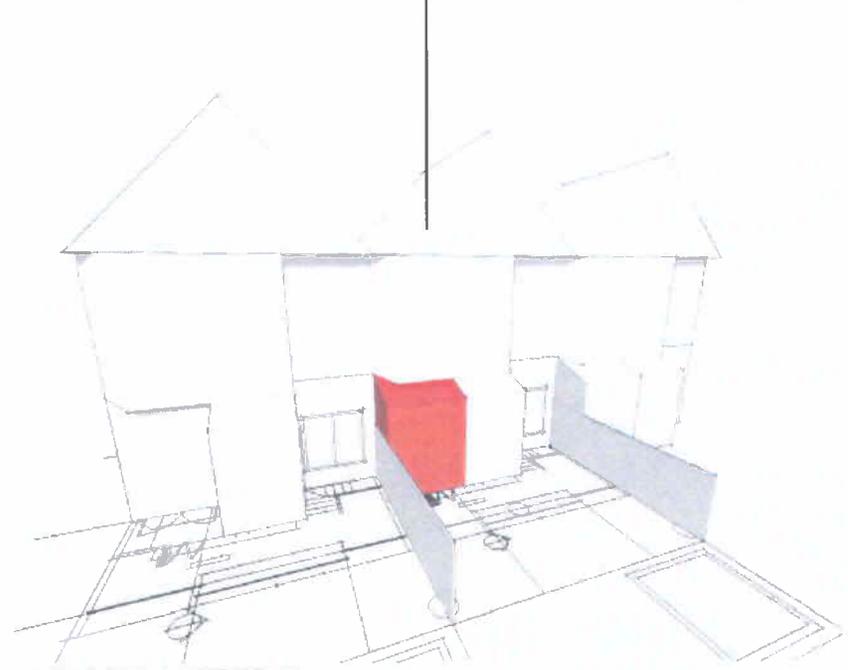


**PETERS  
RESIDENCE**



**EXISTING CONDITION**

**PETERS  
RESIDENCE**

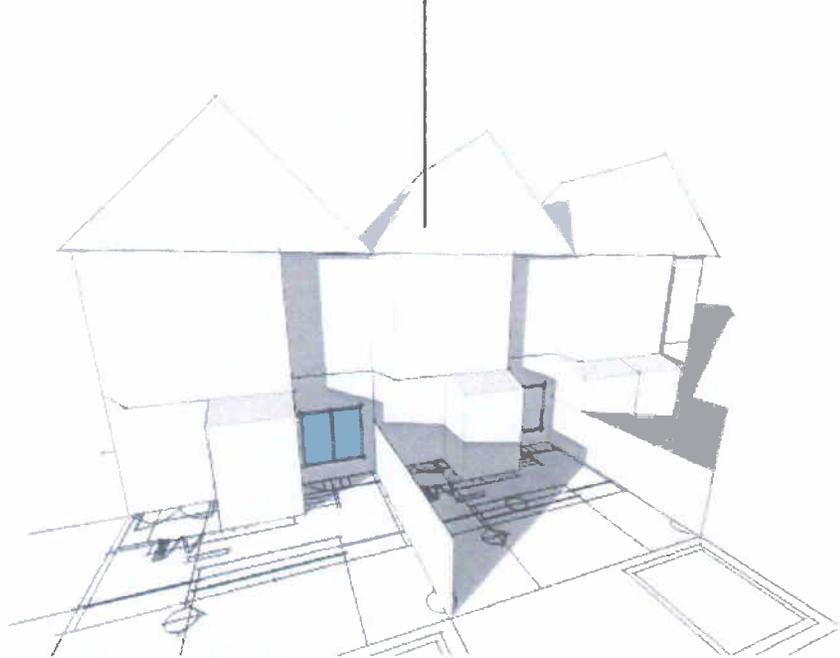


**PROPOSED CONDITION**

**WINTER/12PM**

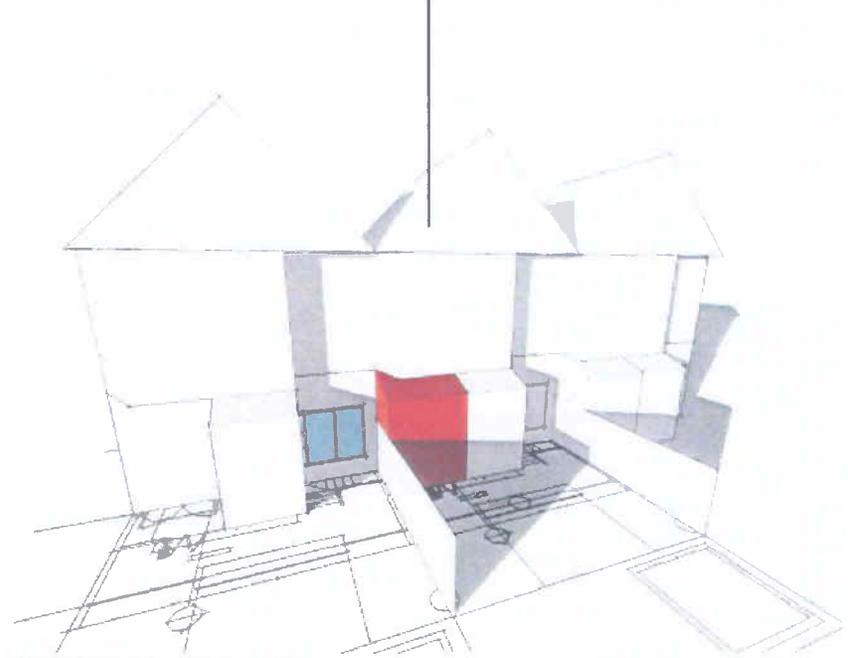


PETERS  
RESIDENCE



EXISTING CONDITION

PETERS  
RESIDENCE

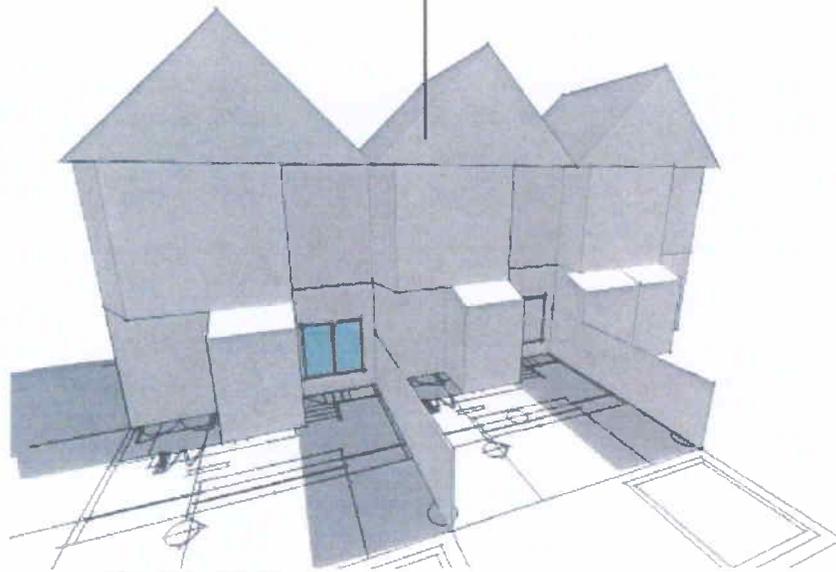


PROPOSED CONDITION

**WINTER/4PM**

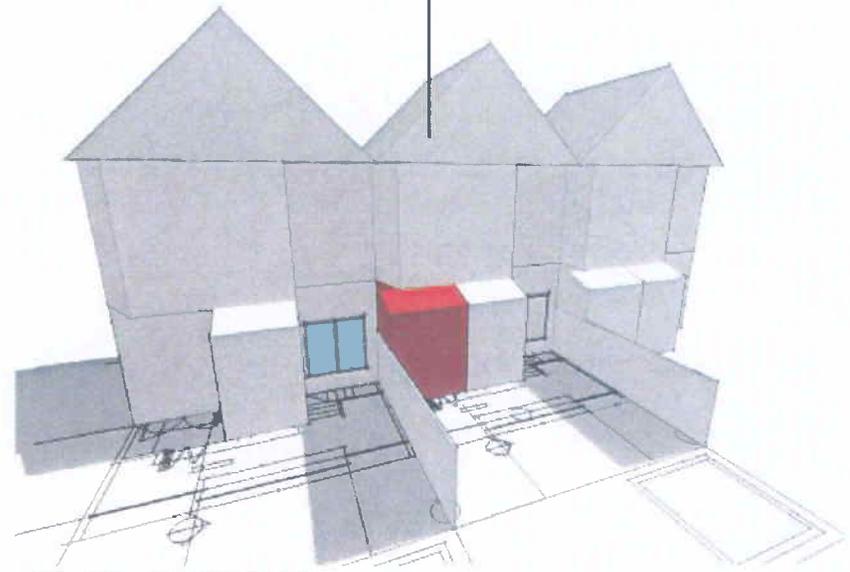


PETERS  
RESIDENCE



EXISTING CONDITION

PETERS  
RESIDENCE

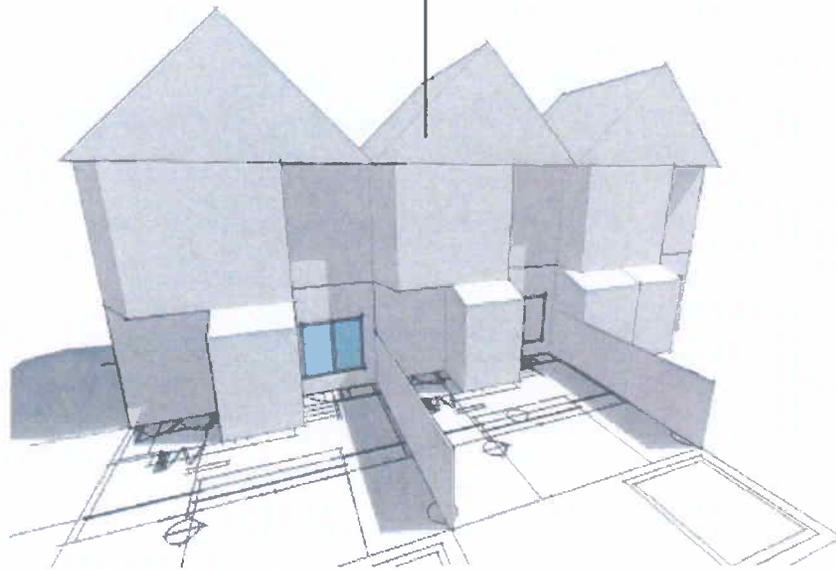


PROPOSED CONDITION

**SUMMER/8AM**

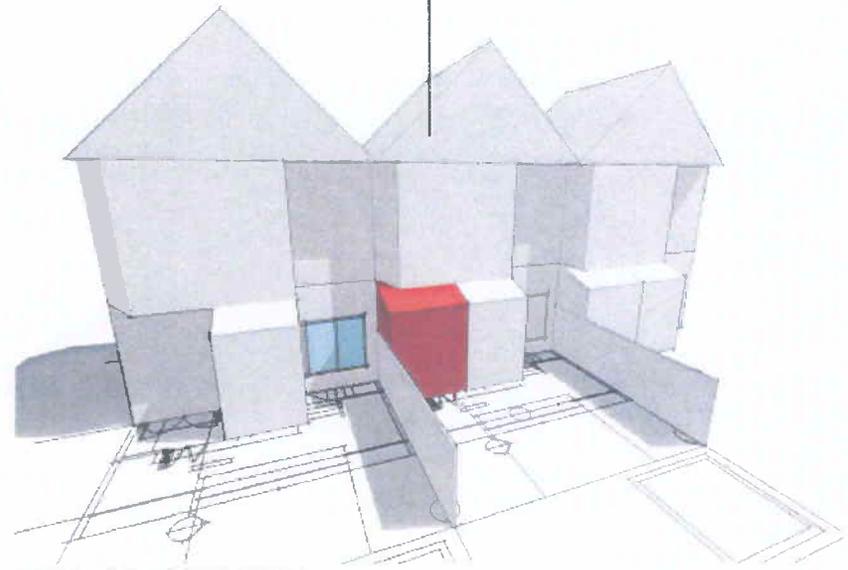


PETERS  
RESIDENCE



EXISTING CONDITION

PETERS  
RESIDENCE



PROPOSED CONDITION

**SUMMER/930AM**



**PETERS  
RESIDENCE**



**EXISTING CONDITION**

**PETERS  
RESIDENCE**

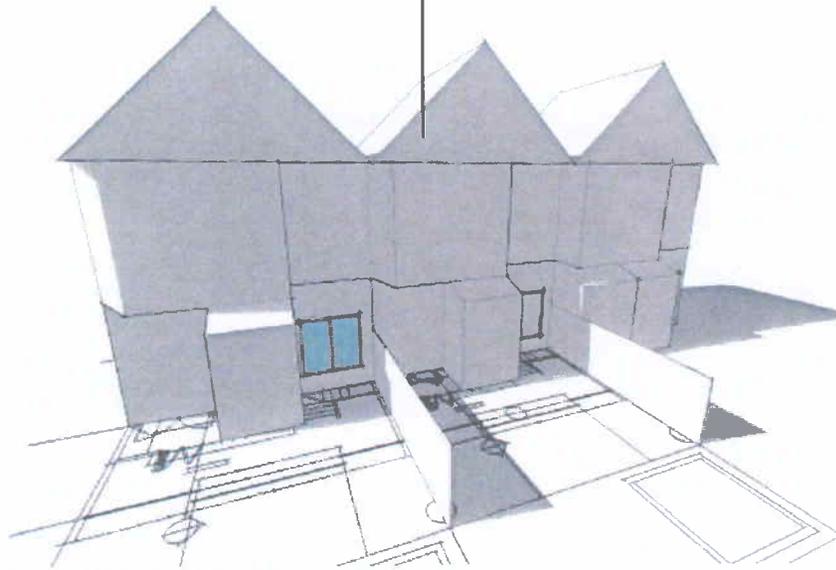


**PROPOSED CONDITION**

**SUMMER/12PM**

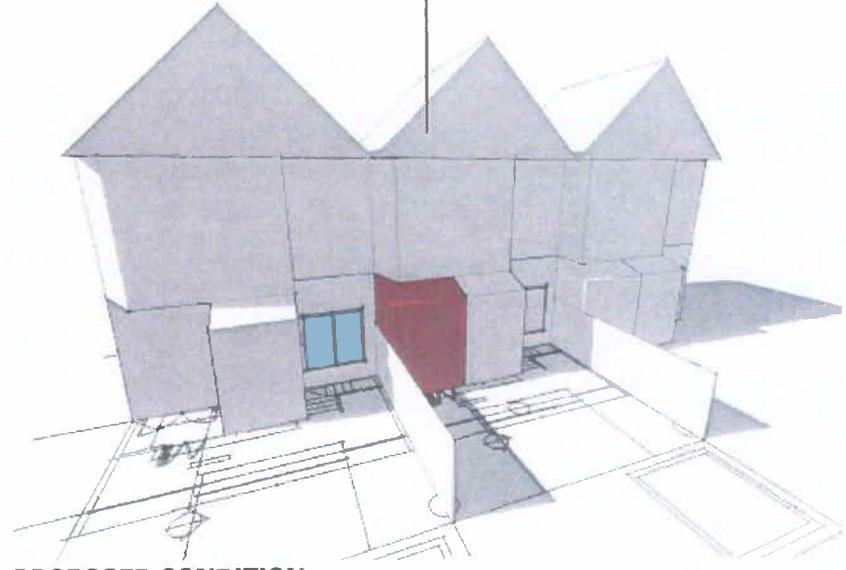


PETERS  
RESIDENCE



EXISTING CONDITION

PETERS  
RESIDENCE



PROPOSED CONDITION

**SUMMER/4PM**



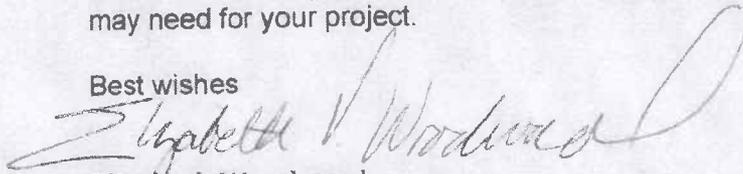
1919 Vallejo St  
San Francisco CA 94123

January 23, 2012

Dear Marion and Eric:

We understand that you are planning to redo your kitchen and slightly widen, but not extend, the existing pop-out into your rear yard. This is important to us as your adjacent neighbor to the east. However, we have reviewed your plans and figures and feel your project will not impact our home adversely in any way. In fact, it will enhance the value of all of our nearby homes. We support the City's granting of whatever approvals you may need for your project.

Best wishes



Elizabeth Woodward