



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use

HEARING DATE: FEBRUARY 9, 2012

*Date:* February 2, 2012  
*Case No.:* **2011.1434C**  
*Project Address:* **1050 SOUTH VAN NESS AVENUE**  
*Zoning:* Residential, Transit Oriented, Mission Neighborhood (RTO-M)  
50-X Height and Bulk District  
*Block/Lot:* 3615/053  
*Project Sponsor:* Christina Marchiel  
41 Hill Street #1  
San Francisco, CA 94110  
*Staff Contact:* Diego R Sánchez – (415) 575-9082  
[diego.sanchez@sfgov.org](mailto:diego.sanchez@sfgov.org)  
*Recommendation:* **Approval with Conditions**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The Project proposes to expand an existing child care facility (d.b.a. Mission Kids Day Care) providing less than 24 hour care for 13 or more children by 825 square feet to service up to 33 children in total. Currently the child care facility serves up to 20 children. The total proposed floor area is 1,820 square feet.

The expansion will allow the inclusion of a new classroom, food preparation area, a restroom and an isolation area. The outdoor courtyard will be improved by adding new fences, guardrails and handrails for accessibility reasons.

### SITE DESCRIPTION AND PRESENT USE

The Project is located on the west side of South Van Ness Avenue, between 21st and 22nd Streets. The expanded child care facility is proposed to be located within an adjunct building of the St. Mary and St. Martha Lutheran Church. The space is currently used as a child care facility and was entitled under Case 2009.0834C to provide child care to 13 or more children. The facility currently serves up to 20 children. The site provides off-street parking for its congregation at the opposite side of the lot from where the child care facility is proposed.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The properties that surround the project along South Van Ness Avenue are generally three- and four-story multi-family residences, with instances of two- and five-story buildings as well. This pattern also holds along the opposite side of South Van Ness. The zoning districts that surround the site are

Residential, Mixed Moderate Density (RM-2), Residential, Transit Oriented, Mission Neighborhood (RTO-M) and Neighborhood Commercial Cluster (NC-1).

The Mission District neighborhood is a relatively densely populated area with higher levels of pedestrian traffic than many other San Francisco neighborhoods. This is also an area of vibrant commercial activity, being two blocks from Mission Street. Individuals tend to either walk or ride public transit to the area.

## ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	January 20, 2012	January 20, 2012	20 days
Posted Notice	20 days	January 20, 2012	January 20, 2012	20 days
Mailed Notice	10 days	January 30, 2012	January 20, 2012	20 days

## PUBLIC COMMENT

- To date, the Department has received one letter in support of the Project.

## ISSUES AND OTHER CONSIDERATIONS

- The Planning Commission heard a related proposal to expand the childcare facility to serve up to 20 children under Case No. 2009.0834C. The Planning Commission approved the expansion under Motion 17989. The current request is for a further expansion of the facility area as well as the number of children the facility may serve.

## REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization to allow, pursuant to Planning Code Sections 178, 209.3(f) and 303, the expansion of an existing child care facility (d.b.a. Mission Kids Day Care) providing less than 24 hour care for 13 or more children by 825 square feet to service up to 33 children within the RTO-M (Residential, Transit Oriented, Mission Neighborhood) Zoning District.

## BASIS FOR RECOMMENDATION

- The proposed project will expand a space currently used as a child care facility and will increase the number of children served, creating a more beneficial use for the surrounding area.
- The project sponsor has improved the proposed facility space to meet the open space, activity area and restroom requirements of the State of California Child Care Center General Licensing Requirements and has the proper licenses from the State.

- The proposed project will provide a service that is in demand within the neighborhood and one that is located in a natural center of community activity.
- The proposed project is a commercial activity that the City of San Francisco should seek to attract and is also one that positively informs the decisions of businesses and their employees to locate to San Francisco.
- The project meets all applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.

<b>RECOMMENDATION:</b> <b>Approval with Conditions</b>
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**Attachments:**

Block Book Map

Sanborn Map

Aerial Photographs

Project Sponsor Submittal, including:

- Site Photographs

- Reduced Plans

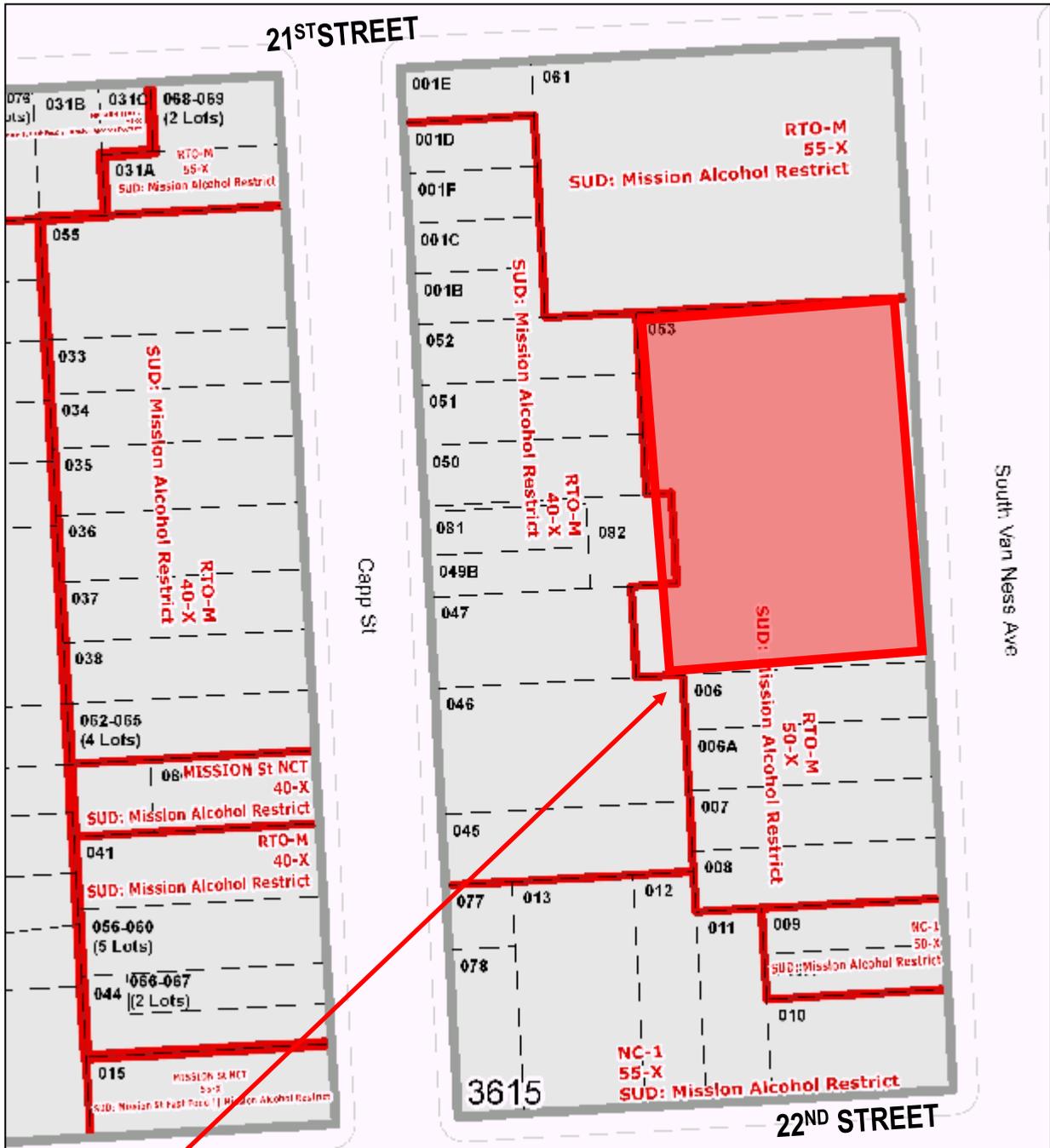
Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project sponsor submittal                                 |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Existing Conditions</u>  |
| <input type="checkbox"/> Environmental Determination    | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u>   |
| <input checked="" type="checkbox"/> Height & Bulk Map   | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Parcel Map          | <input type="checkbox"/> Health Dept. review of RF levels                                     |
| <input checked="" type="checkbox"/> Sanborn Map         | <input type="checkbox"/> RF Report  |
| <input checked="" type="checkbox"/> Aerial Photo        | <input type="checkbox"/> Community Meeting Notice   |
| <input checked="" type="checkbox"/> Context Photos      | <input type="checkbox"/> Inclusionary Affordable Housing Program:<br>Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos         |   |

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_  
Planner's Initials

# Parcel Map

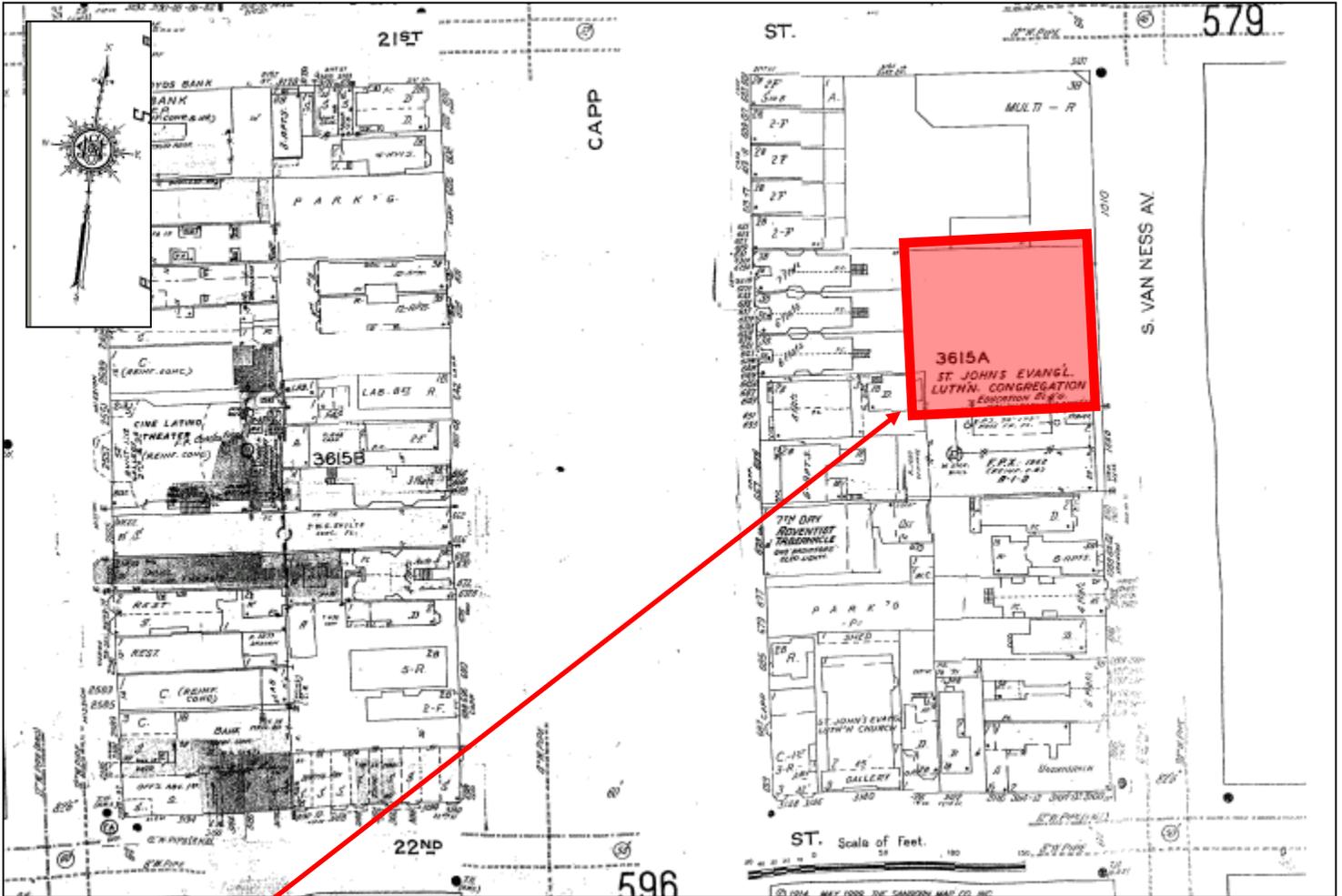


**SUBJECT PROPERTY**



Conditional Use Hearing  
 Case Number 2011.1434C  
 Child Care Facility Expansion  
 1050 South Van Ness Avenue

# Sanborn Map\*



**SUBJECT PROPERTY**

\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Conditional Use Hearing  
Case Number 2011.1434C  
Child Care Facility Expansion  
1050 South Van Ness Avenue

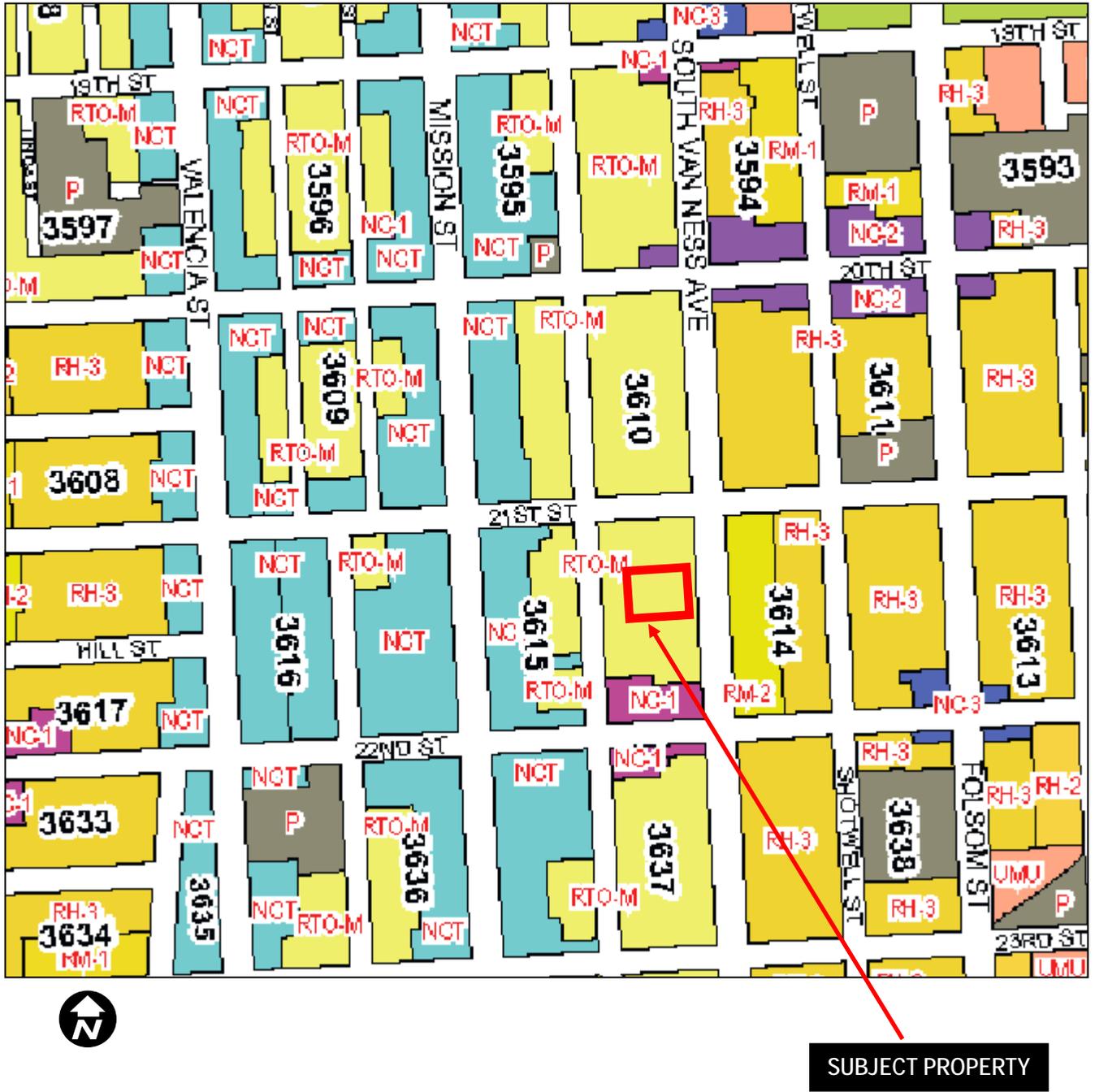
# Aerial Photo



SUBJECT PROPERTY

Conditional Use Hearing  
Case Number 2011.1434C  
Child Care Facility Expansion  
1050 South Van Ness Avenue

# Zoning Map



Conditional Use Hearing  
Case Number 2011.1434C  
Child Care Facility Expansion  
1050 South Van Ness Avenue

# Site Photo



Conditional Use Hearing  
Case Number 2011.1434C  
Child Care Facility Expansion  
1050 South Van Ness Avenue



# SAN FRANCISCO PLANNING DEPARTMENT

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Subject to: (Select only if applicable)

- |  |  |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)           | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)            | <input type="checkbox"/> Other                             |

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## Planning Commission Draft Motion

HEARING DATE: FEBRUARY 9, 2012

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*Case No.:* **2011.1434C**  
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[diego.sanchez@sfgov.org](mailto:diego.sanchez@sfgov.org)

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 178, 209.3(f) AND 303 OF THE PLANNING CODE TO EXPAND AN EXISTING CHILD CARE FACILITY (D.B.A. MISSION KIDS DAY CARE) PROVIDING LESS THAN 24 HOUR CARE FOR 13 OR MORE CHILDREN BY 825 SQUARE FEET TO SERVICE UP TO 33 CHILDREN WITHIN THE RTO-M (RESIDENTIAL, TRANSIT ORIENTED, MISSION NEIGHBORHOOD) DISTRICT AND A 50-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On December 22, 2011 Christina Marchiel (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 178, 209.3(f) and 303 to expand an existing child care facility (d.b.a. Mission Kids Day Care) providing less than 24 hour care for 13 or more children by 825 square feet to service up to 33 children in total within the RTO-M (Residential, Transit Oriented, Mission Neighborhood) District and a 50-X Height and Bulk District.

On February 9, 2012, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2011.1434C.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2011.1434C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project is located on the west side of South Van Ness Avenue, between 21st and 22nd Streets. The expanded child care facility is proposed to be located within an adjunct building of the St. Mary and St. Martha Lutheran Church. The space is currently used as a child care facility and was entitled under Case 2009.0834C to provide child care to 13 or more children. The facility currently serves up to 20 children. The site provides off-street parking for its congregation at the opposite side of the lot from where the child care facility is proposed.
3. **Surrounding Properties and Neighborhood.** The properties that surround the project along South Van Ness Avenue are generally three- and four-story multi-family residences, with instances of two- and five-story buildings as well. This pattern also holds along the opposite side of South Van Ness. The zoning districts that surround the site are Residential, Mixed Moderate Density (RM-2), Residential, Transit Oriented, Mission Neighborhood (RTO-M) and Neighborhood Commercial Cluster (NC-1).

The Mission District neighborhood is a relatively densely populated area with higher levels of pedestrian traffic than many other San Francisco neighborhoods. This is also an area of vibrant commercial activity, being two blocks from Mission Street. Individuals tend to either walk or ride public transit to the area.

4. **Project Description.** The Project proposes to expand an existing child care facility (d.b.a. Mission Kids Day Care) providing less than 24 hour care for 13 or more children by 825 square feet to service up to 33 children in total. Currently the child care facility serves up to 20 children. The total proposed floor area is 1,820 square feet.

The expansion will allow the inclusion of a new classroom, food preparation area, a restroom and an isolation area. The outdoor courtyard will be improved by adding new fences, guardrails and handrails for accessibility reasons.

5. **Public Comment.** The Department received one letter of support for the Project.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Institutions – Child Care Facility.** Planning Code Sections 209.3(f) requires Conditional Use authorization for child care facilities providing less than 24 hour care for 13 or more children by licensed personnel and meeting the open space and other requirements of the State of California within the Residential, Transit Oriented, Mission Neighborhood (RTO-M) District.

*The Project Sponsor intends to expand a child care facility providing less than 24 hour care for more than 13 children within the Residential, Transit Oriented, Mission Neighborhood (RTO-M) District and is seeking Conditional Use authorization.*

- B. **Parking.** Planning Code Section 151.1 allows up to one off-street parking space for each 25 children to be accommodated at any one time and does not require a minimum amount.

*Although the use is not required to provide off-street parking, there exist off-street parking spaces on the site. The existing Lutheran Church provides in excess of 20 parking spaces for its congregational members. The hours of operation of the proposed child care facility will not conflict with the peak use hours of the existing parking facility on the part of the congregational members.*

- C. **Conditional Uses: Enlargements or Alterations.** Planning Code Section 178 states that a permitted Conditional Use may not be significantly altered, enlarged, or intensified, except upon approval of a new Conditional Use application.

*The Project proposes to add approximately 825 square feet to an existing 995 square foot child care facility. This represents an 83 percent increase in the existing use, constitutes an enlargement of a permitted Conditional Use and requires a new Conditional Use authorization. The Project Sponsor is seeking Conditional Use authorization for this enlargement.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed Project will be desirable and compatible with the surrounding neighborhood as the Project intends to use an existing facility to expand and provide a service that is needed within the neighborhood. The Project will not expand the existing building envelope and will not create any further physical impacts upon light, air or midblock open space. The use is desirable for any neighborhood as child care is generally a service in demand.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed project is not detrimental to the area as there is no physical expansion of the building and the use is one that is socially beneficial and without significant physical impacts upon the surrounding area.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*While the Planning Code does not require that the proposed project provide off-street parking, the existing Lutheran Church does have an ample amount of off-street parking which can be used in the operation of the proposed project.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed use is inherently free of noxious or offensive emissions.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*Ample space for passenger loading will be maintained on site. There is no landscaping, lighting or signage as a part of this proposal.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## COMMERCE AND INDUSTRY ELEMENT

### Objectives and Policies

#### OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

#### Policy 1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

*The project would enhance the City living and working environment by providing needed child care services for residents and workers within the City. Additionally, the project would comply with State licensing requirements for child care facilities, minimizing possible undesirable consequences from such an operation.*

#### OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

#### Policy 1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

#### Policy 3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

*The proposed project complements important commercial activity the City should seek to attract. Furthermore, the provision of this service is key to maintaining and attracting businesses and workers to the City as it enhances the social and cultural climate. The provision of child care is an integral component to the quality of life and location decisions of businesses and their employees.*

## COMMUNITY FACILITIES

### Objectives and Policies

#### OBJECTIVE 3:

ASSURE THAT NEIGHBORHOOD RESIDENTS HAVE ACCESS TO NEEDED SERVICES AND A FOCUS FOR NEIGHBORHOOD ACTIVITIES.

#### Policy 4:

Locate neighborhood centers so they are easily accessible and near the natural center of activity.

**Policy 7:**

Program the centers to fill gaps in needed services, and provide adequate facilities for ill-housed existing services.

*The proposed project is on the grounds of an existing church, which is a natural center of activity within both the spiritual and physical community. The site is accessible by public transit as it is two blocks from Mission Street and is also accessible by foot, given its urban location. Child care is in demand within the neighborhood and this project would help fill the gap in needed services.*

**MISSION AREA PLAN**

**Objectives and Policies**

**OBJECTIVE 7.1:**

PROVIDE ESSENTIAL COMMUNITY SERVICES AND FACILITIES.

**Policy 7.1.2:**

Recognize the value of existing facilities, including recreational and cultural facilities, and support their expansion and continued use.

**Policy 7.1.3:**

Ensure childcare services are located where they will best serve neighborhood workers and residents.

*The proposed Project will expand an existing childcare facility so that it may better serve the current users of the facility as well as to increase the number of community members served by the facility. The Project is located in an area that is both residential and near commercial activity, thereby reducing the time spent by parents going to and from daycare.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*No neighborhood-serving retail use would be displaced and the proposed project can serve as a place of employment for area residents.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*Because there is no physical expansion of any facilities, housing and neighborhood character will not be adversely affected. Furthermore, the addition of child care facilities further enhances the family oriented character of the surrounding area.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The project would have no adverse impact on affordable housing in the vicinity.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*Due to the nature of the project there are no anticipated adverse effects upon MUNI service or on neighborhood parking.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project would cause no displacement of industrial and service sector activity and in fact has the potential to enhance the service sector by providing a service needed by workers of that sector.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.*

- G. That landmarks and historic buildings be preserved.

*No landmarks or historic buildings would be affected by the project.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project will have no adverse impact on parks or open space, or their access to sunlight or vistas.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2011.1434C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated August 8, 2011, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on February 9, 2012.

Linda D. Avery  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: February 9, 2012

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to allow the expansion of an existing child care facility (d.b.a. Mission Kids Day Care) located at 1050 South Van Ness Avenue, Lot 53 in Assessor's Block 3615 pursuant to Planning Code Section(s) 178, 209.3(f) and 303 within the RTO-M (Residential, Transit Oriented, Mission Neighborhood) Zoning District and a 50-X Height and Bulk District; in general conformance with plans, dated August 8, 2011, and stamped "EXHIBIT B" included in the docket for Case No.2011.1434C and subject to conditions of approval reviewed and approved by the Commission on February 9, 2012 under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on February 9, 2012 under Motion No XXXXXX.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).*

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

### MONITORING

3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

### OPERATION

4. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*





GENERAL DEMOLITION NOTES

- The Contractor shall coordinate demolition and removal of debris with the Mission Kids Representative. All debris shall be removed in a timely manner. Contractor shall comply with City of San Francisco.
- Items to be demolished or removed are typically indicated by a dashed line UON. If electrical elements are not shown to be demolished, notify the architect for written acceptance of demolition. Demolition and removal work includes capping and disconnection of abandoned services.
- Any asbestos or known materials containing asbestos are to be removed, the Contractor will be responsible to coordinate with the Building Owner, as required for the removal of these conditions, prior to the beginning of this project. If the Contractor participates in any portion of the removal process in his coordination with the Building Owner, then the Contractor will provide the Building Owner with a written statement releasing the Building Owner of any future liability from the Contractor, his employees and any subcontractors hired by the Contractor related to this work. These drawings do not represent an assessment of the presence or absence of any toxic or hazardous materials on this project site. The Building Owners are solely responsible for such an assessment and should be consulted for any questions therein. If the Contractor discovers any toxic or hazardous materials, as defined by the appropriate governing authorities, in the course of his work, he must notify the Building Owners in writing, as per the guidelines of all governing ordinances. The Contractor will resolve all applicable regulations and procedures with the Building Owner at the time of discovery.
- Demolition work includes cutting back existing work required for installation of new work. See floor plan for dimensions. The exact extent of cutting and patching required to perform work shall be determined by the Contractor.
- Patch attachment holes and surfaces which become exposed when items are removed to match surrounding surface. Whenever it is possible to visually distinguish patch work from surrounding materials, the patch shall be rectangular or match a modular unit in modular materials.
- Perform all work necessary to complete the project in full compliance with the intended results described by the drawings and specifications. Partitions as noted on plan to be removed include outlets and switches, casework, glass, doors, piping and frames within partition.
- Contractors shall take care not to damage existing construction and shall protect all work to remain. Damage shall be repaired with material, workmanship, and finishes matching existing work with new, at no cost to the owner.
- All remaining construction adjacent to demolition shall be braced in compliance with the requirements of all applicable seismic and building codes, if necessary. Where existing construction is scheduled to remain, patch and repair as required for installation of new work.
- The Contractor shall verify all dimensions and existing conditions in the field and notify the Architect, in writing, of any discrepancies prior to start of work.
- Any unused utility services within demolition areas shall be disconnected, removed, and capped. Locations of disconnected utilities shall be marked and shall be indicated on record documents. See MEP drawings.
- Where existing construction is scheduled to remain, patch and repair as required for installation of new work.
- Contractor is to coordinate with the Mission Kids representative for salvaged equipment to be returned to the Co-op. Contractor shall be responsible for all such materials, fittings fixtures, etc., and shall use the utmost care in their removal, so as to insure the least possible damage to the same, or surrounding work.

MISSION KIDS COOP TENANT IMPROVEMENTS

1050 SOUTH VAN NESS  
SAN FRANCISCO, CA 94110

DEMOLITION PLAN KEY NOTES

- REMOVE (E) PARTITIONS WHERE NOTED AND INDICATED BY A DASHED LINE. PATCH AND REPAIR (E) FLOOR WITH SIMILAR FLOORING MATERIAL
- REMOVE (E) DOOR AND FRAME WHERE NOTED AND INDICATED BY A DASHED LINE
- REMOVE (E) WINDOW & CMU WALL BELOW WINDOW AS INDICATED FOR NEW DOOR, SIDELITE AND TRANSOM. SEE INT ELEV FOR CONFIGURATION. SAWCUT CMU TO PROVIDE A UNIFORM FLUSH SURFACE
- REMOVE (E) GYP BOARD FINISH ON BOTH SIDES AND WOOD FRAMING FOR NEW DOOR OPENING
- REMOVE (E) GYP BOARD FINISH ON ONE SIDE AT PROPOSED RESTROOM FOR FULL HEIGHT OF WALL SEE 1/2.1 & INTERIOR ELEVATIONS FOR EXTENTS. (E) WOOD STUDS TO REMAIN
- REMOVE (E) SINK. KEEP (E) POINT-OF-USE WATER HEATER, SANITARY SEWER, WATER, AND VENT LINES IN WALL CAVITY TO FOR CONNECTION TO (N) SINK.
- REMOVE (E) GYP BD FINISH ON FACE OF WALL BEHIND SINK FOR 5'-0" AFF. (E) WOOD STUDS TO REMAIN. REMOVE (E) MINERAL BOARD
- REMOVE (E) WALL HEATERS, PATCH WALL WITH SIMILAR MATERIALS
- REMOVE (E) BOOKSHELF AND CABINET
- REMOVE (E) CURTAINS AND WINDOW BLINDS
- (E) CERAMIC TILE TO REMAIN IS A HARD SURFACE THAT IS SLIP RESISTANT W/ A COEFFICIENT OF FRICTION OF .6 OR BETTER
- REMOVE (E) CERAMIC TILE WHERE INDICATED IN (E) STORAGE ROOM. PROVIDE (N) CERAMIC TILE TO MATCH PROPERTIES & COLOR OF (E) TILE IN THE NEW CLASSROOM. MATCH (E) TILE MODULE

BASE BID REFLECTED CEILING PLAN DEMOLITION KEY NOTES

- REMOVE (E) ASBESTOS SPRAYED CEILING MATERIALS IN CLASSROOM 101, STORAGE, LIBRARY AND SICK ROOM. SEE DEMO GENERAL NOTE 3 ABOVE.
  - REMOVE (E) LIGHT FIXTURE SHOWN DASHED
  - (E) LIGHT FIXTURES TO REMAIN IN CLASSROOM 101 AND CLASSROOM 104.
  - REMOVE (E) GYP BD CEILING. (E) LIGHT FIXTURES TO REMAIN
- BID ALTERNATE 1 REFLECTED CEILING PLAN DEMOLITION KEY NOTES
- NOTE: PROVIDE SEPARATE LINE ITEM FOR ADD ALTERNATE 1 WORK FOR CLASSROOM 101 AND CLASSROOM 104 CEILING LIGHTING
- REMOVE (E) LIGHT FIXTURES IN CLASSROOM 101 AND CLASSROOM 104.

Sheet Title  
DEMOLITION ENLARGED FLOOR/ REFLECTED CEILING PLANS

DESCRIPTION	DATE
MOD. PG. 1	10/15/11
MOD. PG. 2	11/28/11

Date August 8, 2011

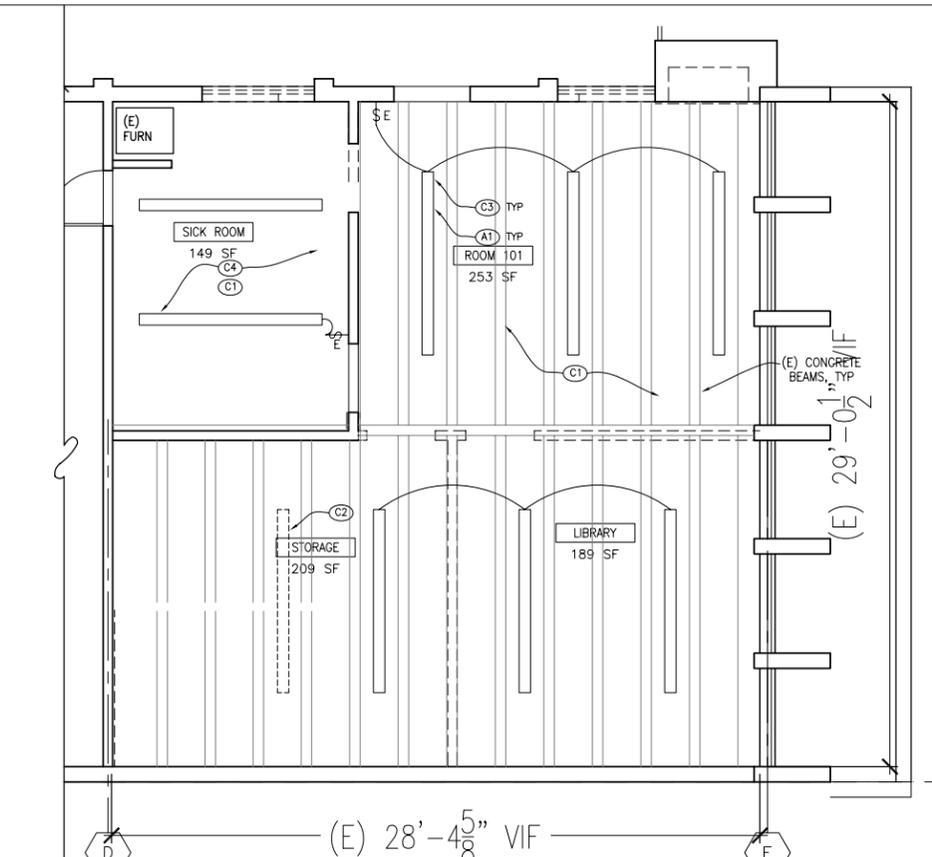
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Job Project # 1101

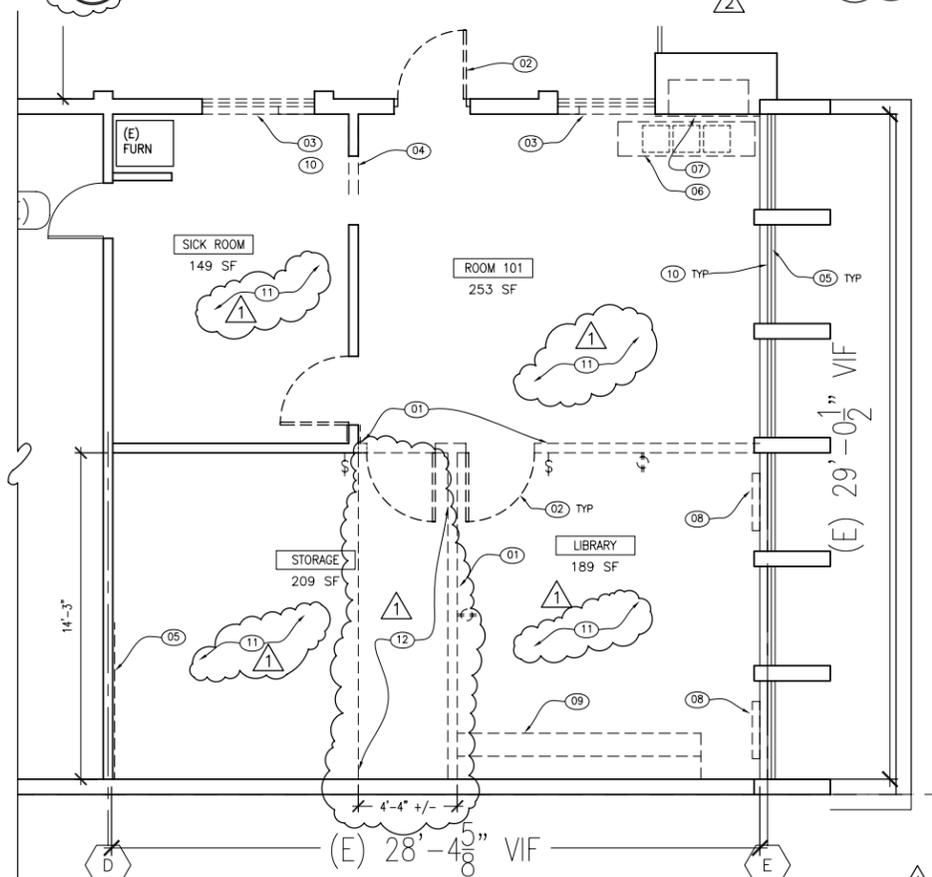
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A1.1

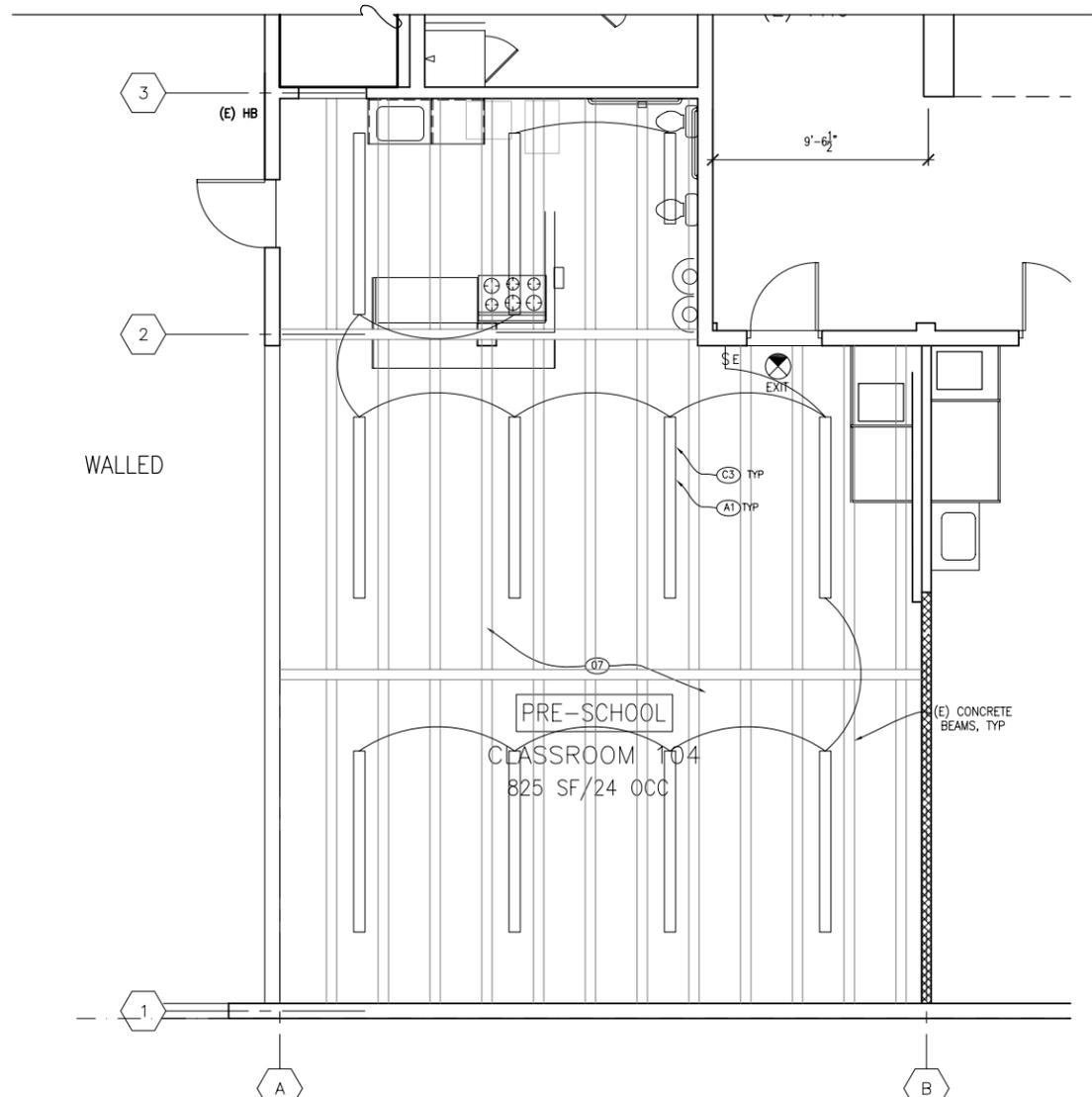
3 of 9 Sheets



2 NEW CLASSROOM 101 FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



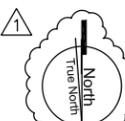
1 NEW CLASSROOM FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"



3 (E) CLASSROOM FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

PROPERTY LINE

PROPERTY LINE





**GENERAL ELECTRICAL (DESIGN BUILD REQUIREMENTS)**

**1. Codes and Standards:**

A. All work included under this section shall conform with governing federal, state and local codes and regulations including but not limited to the latest edition of the National Electric Code (NEC) with local amendments, the requirements of the Local Building Official, the rules and regulations of PG& E where applicable and the Building Owner.

B. All required materials, products and equipment including components shall be Underwriter's Laboratories approved, new and of the highest residential quality.

**2. Permits, Documents and Fees**

A. The Contractor shall obtain all permits, pay all fees, file all notices, file all necessary plans, prepare all documents, and obtain all required approvals as required for completion of Work included under this section.

B. All Work shall be inspected, tested and approved, as required before being concealed or placed into operation.

C. Inspections required by local authorities shall be arranged by the Contractor, including any required payments for related fees.

**3. Work included:**

A. The Work under this section shall include all labor and materials noted, required or necessary for the design and required modification to the existing electrical system in order to provide a complete and fully functional classroom electrical system, described herein and as shown in part on the drawings. The Contractor will be responsible to select an appropriate item for fixtures, components and equipment, which are required but not identified in the drawings.

**B. This work includes, but is not limited to:**

- i. The required modifications to the existing electrical distribution system, in order to provide a complete system of distribution for the utilization for light and power.
- ii. The installation of new lighting fixtures and lamps, as well as the required changes and alterations to existing lighting fixtures and lamps.
- iii. The required rough-in and final connections to any new mechanical equipment, as well as the required changes and alterations for electrical connections to the existing mechanical equipment required to maintain operation.

**4. Design and Responsibility:**

A. The electrical system shall be designed, fabricated and installed by skilled and experienced Suppliers/ Subcontractors specializing in the design, manufacture and installation of the specified systems with at least five years experience, respectively, in the type of work indicated and specified.

B. Contractor or Specialist Subcontractor shall design the respective specified systems complete in all their components and in accordance with industry design criteria appropriate for high quality commercial installation and the requirements of the design intent shown on the drawings, these specifications and all applicable codes.

C. The following is a list of some specific minimum requirements:

- i. Insure that adequate operating or servicing space is maintained for all items. Include such requirements with design/build submittal.
- ii. Conduit where required shall be rigid IMC or EMT (thin wall) according to code requirements. 3/4-inch minimum size. Where conduit is exposed, paint to match wall color.
- iii. Use only copper conductors. Aluminum conductors are not permitted.
- iv. Include all incidental work, material, structural supports necessary for the secure mounting of equipment under this division.
- v. Coordinate installation of smoke detectors locations and types with Owner.
- vi. Provide for and include connections to the mechanical equipment as required.
- vii. Switches for all devices as required and indicated in plans.

- viii. Receptacles as required and as indicated in plans.
- ix. Wall device and cover plates as required.
- x. Provide GFI safety and disconnect switches as required by code, including all receptacles in restroom and food prep areas.
- xi. Junction boxes, pull boxes and outlet boxes as required with approved accessibility. All new or moved electrical switches and outlets shall comply with accessible mounting heights required by code, allowing for reach over obstructions.
- xii. Label all functional distribution panels, lighting panels, time clocks and disconnect switches, where required, with bakelite name plates showing appropriate names or other information.
- xiii. Dimensions are to centerline of outlets. Outlets not dimensioned on the plan and shown near the center of walls are to be centered on that wall.
- xiv. Switches if shown, and lighting fixtures are shown for location only. Drawings for circuiting and exact number required are to be submitted by the contractor for permit and approvals.
- xv. Cover plates and devices installed to match building standard in style and color, or, white at light finished wall and brown at dark walls.
- xvi. Lighting fixtures shown for location only. Contractor to prepare electrical drawings as required to obtain permits necessary for performance of the work and shall verify points of connection to building electrical panels.

1. Provide GFI safety and disconnect switches as required by code, including all receptacles in restroom and food prep areas.

2. Junction boxes, pull boxes and outlet boxes as required with approved accessibility. All new or moved electrical switches and outlets shall comply with accessible mounting heights required by code, allowing for reach over obstructions.

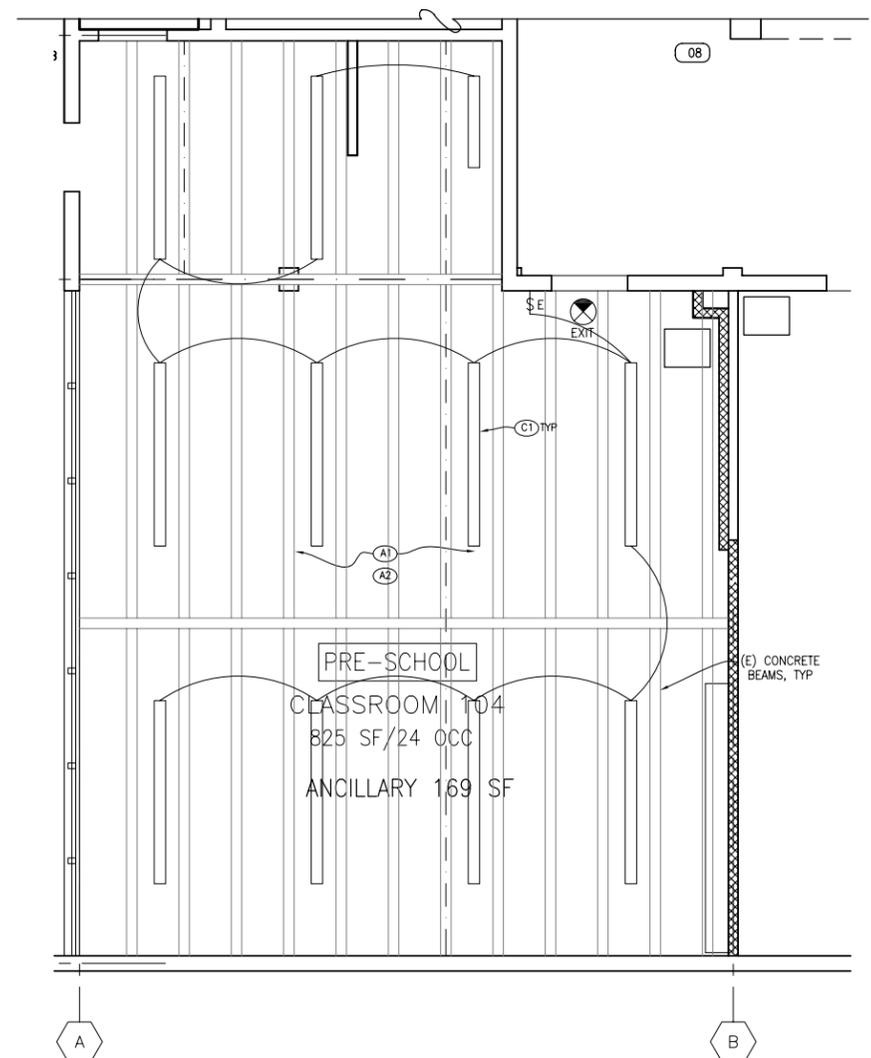
3. Label all functional distribution panels, lighting panels, time clocks and disconnect switches, where required, with bakelite name plates showing appropriate names or other information.

4. Dimensions are to centerline of outlets. Outlets not dimensioned on the plan and shown near the center of walls are to be centered on that wall.

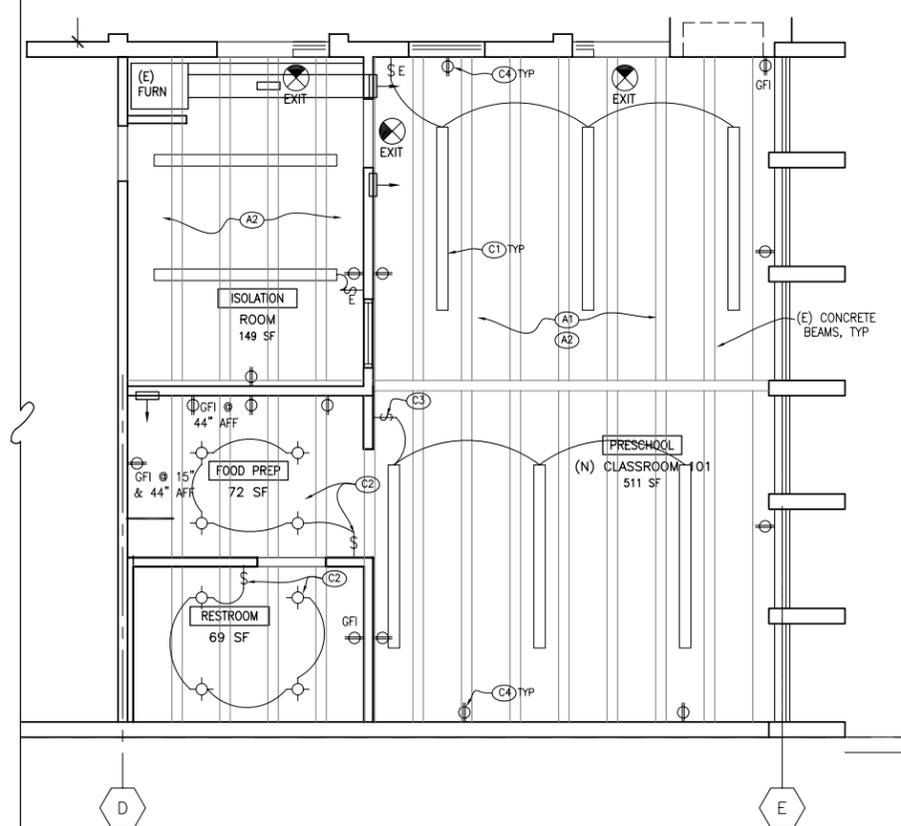
5. Switches if shown, and lighting fixtures are shown for location only. Drawings for circuiting and exact number required are to be submitted by the contractor for permit and approvals.

6. Cover plates and devices installed to match building standard in style and color, or, white at light finished wall and brown at dark walls.

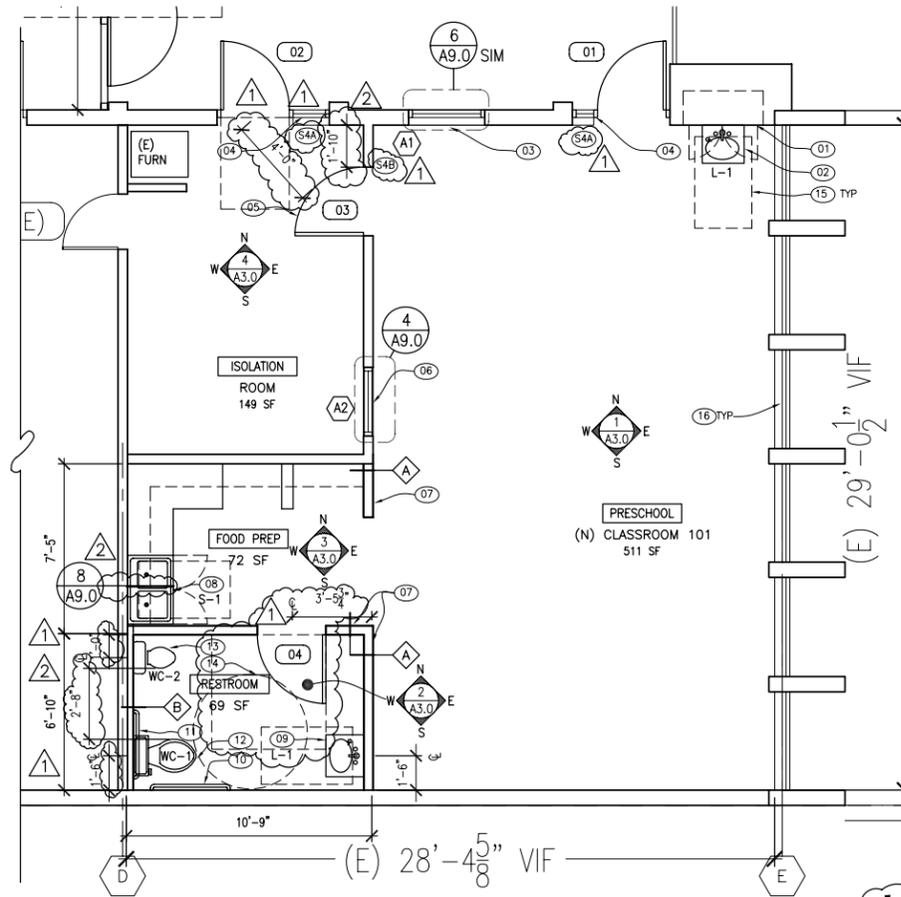
7. Lighting fixtures shown for location only. Contractor to prepare electrical drawings as required to obtain permits necessary for performance of the work and shall verify points of connection to building electrical panels.



**3 (E) CLASSROOM 104 FIRST FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**2 NEW CLASSROOM 101 FIRST FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**1 NEW CLASSROOM 101 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SHEET NOTES**

- 1. VERIFY PLAN LAYOUT AND DIMENSIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT ALL AREAS AFFECTED BY NEW WORK PRIOR TO CONSTRUCTION.
- 2. SEE SHEET A9.0 FOR PARTITION DETAILS.
- 3.

**Dimensioning Rules**

- 1. All horizontal and vertical dimensions shall be to face of stud or to center line of openings UON..
- 2. Dimensions noted "clear" or "CLR" must be precisely maintained.
- 3. Dimensions are not adjustable without approval of the Architect other than when noted (\*).
- 4. Vertical Dimensions are from top of floor slab unless otherwise noted.
- 5. Do not scale drawings. If any item of work cannot be located, do not proceed with the work without the architect's approval.
- 6. Dimensions marked "V.I.F." or "Verify" shall be verified by the contractor prior to the start of construction.
- 7. Verify all rough opening dimensions for fabricated items with the manufacturer prior to proceeding with construction. The contractor will verify the rough-in dimensions and requirements from the appropriate manufacturer or fabricator for doors, windows, equipment, cabinetry, plumbing fixtures, appliances and any other devices before proceeding to layout areas where such items are located.

**FLOOR PLAN KEY NOTES**

- 01 PROVIDE NEW CABINET DOORS AT LOWER WALL. PROVIDE 5/8" WATER PROOF GYP BD UP TO 5'-0" AFF SEE INTERIOR ELEVATION
- 02 NEW ACCESSIBLE WALL HUNG SINK L-1. TIE INTO (E) WATER, SANITARY SEWER, VENT LINES, & (E) WATER HEATER SEE 9/A9.0 FOR CLEARANCES
- 03 (N) WALL INFILL AND ALUMINUM WINDOW IN (E) DOOR OPENING. SEE INTERIOR ELEVATIONS
- 04 (N) DOOR, SIDE LITE, AND TRANSOM. SEE INTERIOR ELEVATIONS
- 05 (N) EXIT DOOR AND PANIC HARDWARE IN (E) OPENING DOOR DOES NOT LOCK FROM PUSH SIDE
- 06 (N) FIXED WINDOW HOLLOW CORE FRAME. SEE INTERIOR ELEVATIONS
- 07 (N) 5/8" GYP BD ON (N) WOOD STUD FRAMING EA SIDE
- 08 (N) 2 BOWL STAINLESS STEEL ACCESSIBLE SINK & CABINET S-1. SEE 8/A9.0. PROVIDE 30" WIDE CLEAR KNEE SPACE AT CABINET DOORS IN OPEN POSITION
- 09 NEW ACCESSIBLE WALL HUNG SINK L-1. TIE INTO (E) SANITARY SEWER LINE. PROVIDE CONNECTION TO (N) WATER AND VENT LINES. SEE 9/A9.0 FOR CLEARANCES
- 10 (N) 42" GRAB BAR, SEE DETAIL 12/A9.0 SIM
- 11 (N) 36" GRAB BAR, SEE DETAIL 12/A9.0
- 12 (N) ACCESSIBLE FLOOR MOUNTED ADULT WATER CLOSET WC-1
- 13 (N) FLOOR MOUNTED CHILD WATER CLOSET WC-2
- 14 60" DIA TURNING RADIUS
- 15 30" X 48" CLEAR AREA
- 16 REPAIR AND REPLACE (E) WINDOW HARDWARE TO RESTORE WINDOW'S OPERABILITY. PROVIDE POLE TO ACCESS HIGH WINDOWS

**BASE BID REFLECTED CEILING PLAN KEY NOTES**

- C1 (E) FLUORESCENT LIGHT FIXTURES. PROVIDE (N) LIGHT BULBS WHERE BURNT OUT.
- C2 PROVIDE (N) COMPACT FLUORESCENT LIGHT FIXTURES, CONDUIT AND SWITCHES AT FOOD PREP AND RESTROOM. ELCO-EL27HE26ICA, 6" HOUSING -ELS30, TRIM GEF2, LAMP 6TBX/841/ECCO
- C3 PROVIDE (N) LIGHT SWITCHES AS REQUIRED TO POWER (E) FIXTURES IN CLASSROOM 101
- C4 PROVIDE (N) OUTLETS AT WALL. OUTLETS SHALL BE SPACED NO GREATER THAN 12'-0" ON CENTER IN CLASSROOM 101

**BID ALTERNATE 1 REFLECTED CEILING PLAN KEY NOTES**

NOTE: PROVIDE SEPARATE LINE ITEM FOR BID ADD ALTERNATE 1 WORK FOR CLASSROOM 101 AND CLASSROOM 104 WOOD CEILING AND LIGHTING. PROVIDE SEPARATE LINE ITEM FOR EACH CLASSROOM.

- A1 INSTALL STANDARD RECESS LIGHT FIXTURES AND STANDARD SINGLE POLE DECORA SWITCH IN EXPOSED CONDUIT IN CLASSROOM 101 AND CLASSROOM 104. FIXTURE ALLOWANCE: ELCO-EL27HE26ICA, 6" HOUSING -ELS30, TRIM GEF2, 6TBX/841/ECCO CLASSROOM 104 - 41 FIXTURES
- A2 INSTALL 2X4 DOUGLAS FIR LUMBER 16" OC TO EXISTING CONCRETE BEAMS WITH 1/4" X3-1/4" TAPCON CONCRETE SCREWS OR APPROVED EQUAL. INSTALL TONGUE AND GROOVE FINISH FLOORING MATERIAL (5" WIDE IN LENGTHS OF 8'-0" OR GREATER) FASTENED TO THE 2X4 MEMBERS. CLASSROOM 101 - 801SF CLASSROOM 104 - 1021SF

ELECTRICAL LEGEND	
	CF CEILING FIXTURE
	(E) FLUORESCENT
	(E) DIFFUSER
	SWITCH
	RECEPTACLE/OUTLET
	PHOTOLUMINESCENT EXIT SIGN

**MISSION KIDS COOP TENANT IMPROVEMENTS**

1050 SOUTH VAN NESS  
SAN FRANCISCO, CA 94110

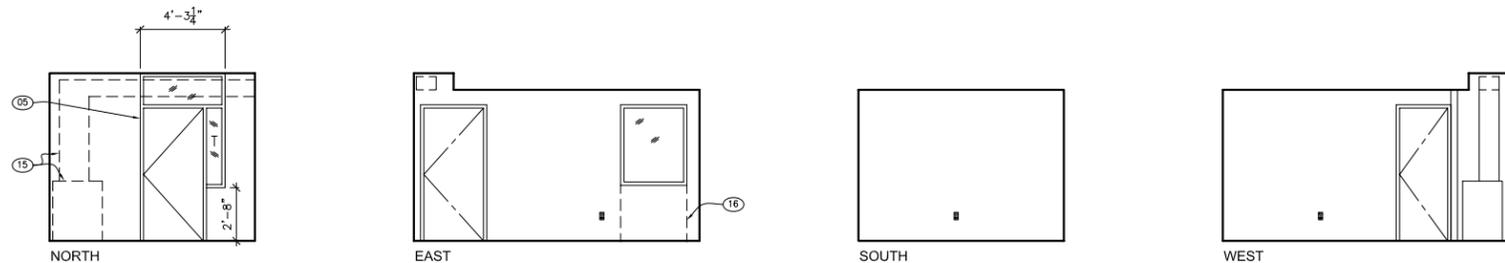
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**PROPOSED ENLARGED FLOOR/REFLECTED CEILING PLANS**

DESCRIPTION	DATE
MOD_PC1	10/15/11
MOD_PC2	11/28/11

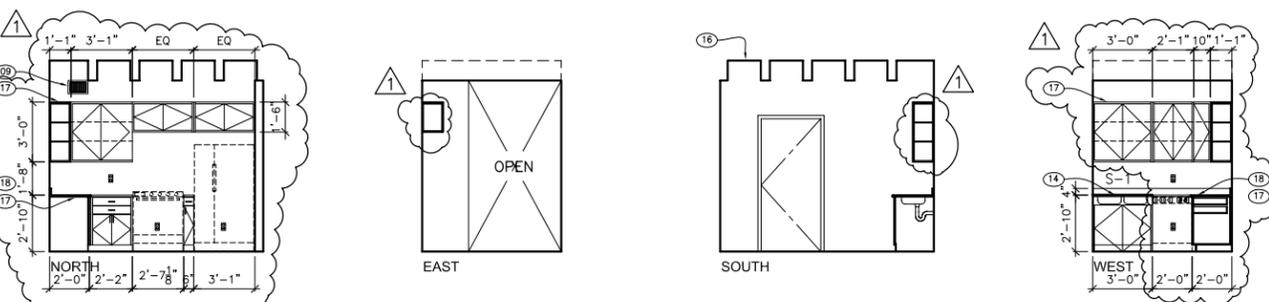
Date August 8, 2011  
Drawn DP  
Job Project # 1101

Sheet No.  
**A2.1**

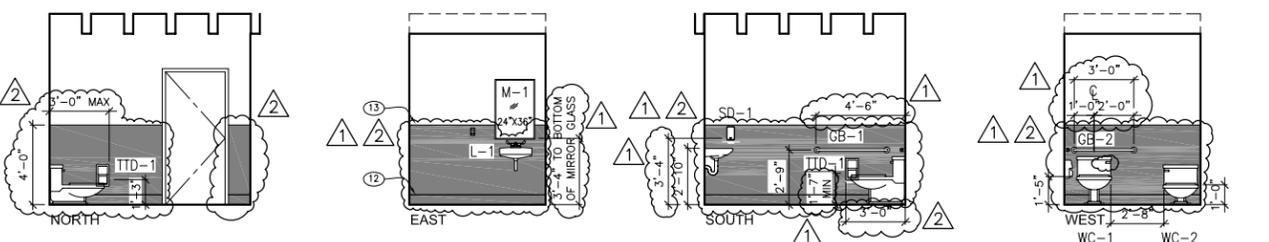




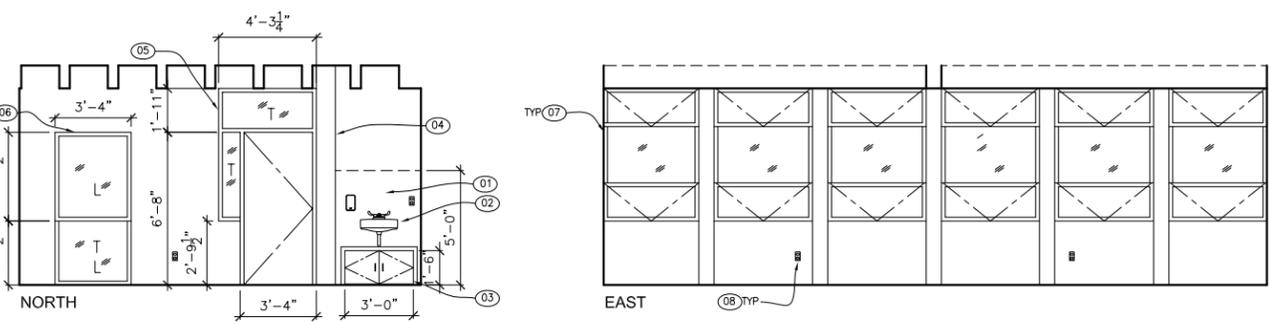
**4 ISOLATION ROOM INTERIOR ELEVATION**  
 A3.0 SCALE: 1/4" = 1'-0"



**3 FOOD PREP INTERIOR ELEVATION**  
 A3.0 SCALE: 1/4" = 1'-0"



**2 RESTROOM INTERIOR ELEVATION**  
 A3.0 SCALE: 1/4" = 1'-0"



**1 CLASSROOM 101 INTERIOR ELEVATION**  
 A3.0 SCALE: 1/4" = 1'-0"

**INTERIOR ELEVATION KEY NOTES**

- 01 (N) 5/8" WATER RESISTANT GYP BD PAINTED WITH GLOSS PAINT UP TO 5'-0" AFF. PAINTING WILL BE DONE BY MISSION KIDS
- 02 (N) WALL MOUNTED ACCESSIBLE SINK
- 03 (N) MDF CABINET DOORS AT WALL WITH HINGES AND WIRE D-PULL HANDLES (CABINET DOORS SHALL NOT OBSTRUCT THE 30" WIDE REQUIRED KNEE SPACE)
- 04 (E) COLUMN
- 05 (N) DOOR, SIDELITE AND TRANSOM. PROVIDE TEMPERED LAMINATED GLASS WHERE INDICATED BY "T" AND/OR "L"
- 06 (N) HOLLOW METAL FRAME FIXED WINDOW. PROVIDE WHERE INDICATED TEMPERED GLASS BY "T" AND LAMINATED GLASS "L".
- 07 (E) STEEL WINDOWS HOPPER/FIXED/HOPPER. REPAIR AND REPLACE HARDWARE TO RESTORE WINDOW OPERABILITY.
- 08 (N) WALL OUTLETS MOUNTED AT 15" AFF. UON. SEE 2/A2.1 FOR ADDITIONAL INFORMATION.
- 09 (E) WALL DIFFUSERS TO REMAIN
- 10 (N) FIXED HOLLOW METAL FRAME WINDOW
- 11 (N) EXIT DOOR WITH PANIC HARDWARE. DOOR DOES NOT LOCK FROM PUSH SIDE
- 12 (N) 6" SPEEDCOVE PRECAST COVE BASE BY SOLID ROCK INDUSTRIES OR APPROVED EQUAL
- 13 (N) FRP PANELS WAINSCOT AT 4'-0" AFF. COLOR TO BE SELECTED BY MISSION KIDS
- 14 (N) STAINLESS STEEL SINK AND WOOD CABINET WITH GRANITE COUNTER. PROVIDE 30-IN WIDE MIN. CLEAR KNEE SPACE WHEN CABINET DOORS ARE OPEN
- 15 (E) FURNACE AND DUCTS TO REMAIN
- 16 (N) GYP BOARD INFILL. PATCH TO MATCH (E).
- 17 (N) CABINETS, SEE CASEWORK NOTES
- 18 (N) GRANITE COUNTERS

**SHEET NOTES**

1. CLEAN ALL SURFACES TO REMOVE DIRT AND GRIME
2. VERIFY DIMENSIONS OF ALL DOORS AND WINDOWS IN EXISTING OPENINGS PRIOR TO ORDERING.
3. "LABEL" SHALL MEAN RATED "FIRE ASSEMBLY" AS DEFINED IN SECTION 715.4.7.3 CALIFORNIA BUILDING CODE 2010 EDITION. ALL RATED DOORS SHALL BE POSITIVE LATCHING AND SELF CLOSING. THE MAXIMUM EFFORT TO OPERATE SUCH DOORS SHALL BE AS FOLLOWS:  
 A) INTERIOR DOORS = 5 LBS  
 B) EXTERIOR DOORS AND GATES = 5 LBS  
 C) FIRE DOORS = UP TO 15 LBS MAX. AS SET BY THE AUTHORITY HAVING JURISDICTION
4. ALL FIRE RATED ASSEMBLIES TO RECEIVE AN APPROVED SMOKE GASKET. INSTALL TO PROVIDE A CONTINUOUS SEAL WHERE THE DOOR MEETS THE STOP ON THE HEAD AND BOTH JAMBS.
5. FIRE RATED DOOR FRAMES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THESE INSTRUCTIONS SHALL BE MADE AVAILABLE TO INSPECTING AUTHORITIES.
6. ALL FIRE RATED DOORS SHALL HAVE FIRE-RATED HARDWARE LISTED AND LABELED. VERIFY EXISTING HARDWARE AT FIRE-RATED DOORS AS BEING FIRE RATED - IF NOT PROVIDE AS PART OF THIS PROJECT SCOPE.
7. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL EFFORT OR KNOWLEDGE OR ABILITY TO GRASP THE OPENING HARDWARE.
8. FLOOR STOPS TO BE A MAXIMUM OF 4" AWAY FROM THE WALL.
9. NO ATTEMPT IS MADE TO NOTE DOOR AND WINDOW DETAILS FOR OPPOSITE SIDE HAND CONDITIONS. REFER TO FLOOR PLANS FOR CORRECT ORIENTATION.
10. CONTRACTOR TO SUBMIT DOOR SIGNAGE SCHEDULE TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
11. ALL DOORS TO CONFORM TO CLEARANCE AND CONSTRUCTION DIMENSIONS AS DETAILED
12. SEE 11/A9.0 FOR SIGNAGE DETAILS
13. (E) DENOTES EXISTING DOOR TO REMAIN
14. SEE 11/A9.0 FOR ACCESSIBLE RESTROOM SIGNAGE
15. SEE 9/A9.1 FOR CLEARANCES AT DOORS AND GATES

**FIXTURE SCHEDULE**

1. ALL PLUMBING FIXTURES SHALL BE ADA COMPLIANT MOUNTED AT ACCESSIBLE HEIGHTS.
- L-1 ACCESSIBLE WALL MOUNTED SINK AND ACCESSIBLE FAUCET
- S-1 ADA COMPLIANT STAINLESS STEEL SURFACE TO MOUNT SINK BY ELKAY OR APPROVED EQUAL (& ACCESSIBLE FAUCET)
- WC-1 ADA COMPLIANT ADULT WATER CLOSET
- WC-2 ADA COMPLIANT CHILD TOILET

**ACCESSORY LEGEND**

1. ALL RESTROOM ACCESORIES SHALL BE MOUNTED AT ACCESSIBLE HEIGHTS.
- GB-1 42" STAINLESS STEEL GRAB BAR 1 1/2" DIAMETER
- GB-2 36" STAINLESS STEEL GRAB BAR 1 1/2" DIAMETER
- SD-1 SOAP DISPENSER
- TTD-1 TOILET TISSUE DISPENSER
- M-1 BOBRICK B-165 MIRROR OR APPROVED EQUAL

**CASEWORK NOTES**

1. CABINETS SHALL BE PER AWI STANDARDS; CONSTRUCTION TYPE A FRAMELESS
2. ECONOMY GRADE; 3/4" PLYWOOD WITH EXPOSED MAPLE WOOD VENEER
3. CABINET AND DRAWER PULLS SHALL BE 4" U-PULLS
4. DRAWER SLIDES SHALL MEET ANSIBHMA STANDARDS, GRADE 2 REQUIREMENTS
5. PROVIDE MAGNETIC CATCHES
6. VERIFY ALL DIMENSIONS
7. ALL CABINETS SHALL BE SECURELY ATTACHED TO THE STRUCTURE
8. INTERCONNECT ADJACENT CABINETS AT FOUR CORNERS
9. APPLIANCES ARE SHOWN FOR LOCATION AND ARE NOT PART OF THIS CONTRACT. PROVIDE ELECTRICAL OUTLETS WHERE INDICATED. ALLOW FOR REACH OVER OBSTRUCTIONS PER CODE.
10. PROVIDE GRANITE COUNTERS
11. PROVIDE SHOP DRAWINGS FOR KITCHEN CASEWORK & COUNTER TOP

**DOOR HARDWARE GROUPS**

HARDWARE GROUP 1	EACH TO HAVE:	58B1HW 4.5 X 4.5 NRP	630IVE
3 EA HINGE	98EO	626VON	989LCN
1EA PANIC HARDWARE	CO-100-993R-70-KP-RHO-PD	826SCE	830IVE
1EA ELECTRONIC EXIT TRIM	4040XP EDA	889LCN	626IVE
1EA SURFACE CLOSER	8400 10" X 2" LDW	630IVE	CHA NGP
1EA KICK PLATE	F343	CL NGP	AL NGP
1EA FLOOR STOP & HOLDER	S5050C		
1 SET SEAL	35VA		
1EA DOOR BOTTOM	PER DETAIL		
1EA THRESHOLD			

**HARDWARE GROUP 2**

EACH TO HAVE:	58B1 4.5 X 4.5 NRP	652IVE
3 EA HINGE	98L 996L-06	626VON
1EA PANIC HARDWARE	20-057	626SCH
1EA RIM CYLINDER	4040XP EDA	889LCN
1EA SURFACE CLOSER	8400 10" X 2" LDW	630IVE
1EA KICK PLATE	F341	626IVE
1EA FLOOR STOP & HOLDER	S5050C	CHA NGP
1 SET SEALS		

**HARDWARE GROUP 3**

EACH TO HAVE:	58B1 4.5 X 4.5	652IVE
3 EA HINGE	ND40S RHO	626SCH
1EA PRIVACY SET	4041 DEL	889LCN
1EA SURFACE CLOSER	8400 10" X 2" LDW	630IVE
1EA KICK PLATE	WS4070CV	630IVE
1EA WALL STOP	S5050C	CHA NGP
1 SET SEALS		

**GATE HARDWARE GROUPS**

HARDWARE GROUP: 04	GATE NUMBER: 05(E)	EACH PAIR TO HAVE:	REUSE EXISTING	626VON
EA HINGE	98L 996L-06	20-057	626SCH	
1EA PANIC HARDWARE				
1EA RIM CYLINDER				
1EACANE BOLT				

**GATE HARDWARE GROUPS CONTINUED**

HARDWARE GROUP: 05	GATE NUMBER: 06(E)	EACH TO HAVE:	REUSE EXISTING	626VON
EAHINGE	98L 996L-06	20-057	626SCH	
1EA PANIC HARDWARE				
1EA RIM CYLINDER				

**HARDWARE GROUP: 06**

GATE NUMBER: 07, 08	EACH PAIR TO HAVE:	951	602STA
4 EA STRAP HINGE	ND94PD RHO (VERIFY GATE THICKNESS)	1009 18"	602STA
1EA CLASSROOM LOCK	2EACANE BOLT	1273	602STA
2EA ANTI-SAG KIT			

**HARDWARE GROUP: 07**

GATE NUMBER: 09, 11	EACH TO HAVE:	951602STA	626VON
2 EA STRAP HINGE	ND94PD RHO (VERIFY GATE THICKNESS)	1009 18"	602STA
1EA CLASSROOM LOCK	1EA CANE BOLT	1273	602STA
1EA ANTI-SAG KIT			

**HARDWARE GROUP: 08**

GATE NUMBER: 10	EACH TO HAVE:	EA HINGE	REUSE EXISTING HARDWARE

DOOR & GATE SCHEDULE	DOOR/GATE TYPE	SIZE (W X H)	THK	DOOR MAT'L	DOOR FINISH	FRAME			LABEL	HARDWARE GROUP	ROOM ID	SIGNAGE	NOTES
						HEAD	JAMB	THRESHOLD					
DOOR 01	10/A9.0	3'-0" X 6'-8"	1 3/4"	HM	PAINT	7/A9.0	6/A9.0	7/A9.0	-	01	CLASSROOM 101	S1,S4A	SEE 10/A9.0
DOOR 02	10/A9.0	3'-0" X 6'-8"	1 3/4"	HM	PAINT	7/A9.0	6/A9.0	7/A9.0	-	01	ISOLATION RM	S1,S4A	SEE 10/A9.0
DOOR 03	10/A9.0	3'-0" X 6'-8"	1 3/8"	HM	PAINT	5/A9.0	4/A9.0	-	-	02	CLASSROOM 101	S4B	SEE 10/A9.0
DOOR 04	10/A9.0	3'-0" X 6'-8"	1 3/8"	HM	PAINT	5/A9.0	4/A9.0	-	-	03	RESTROOM	S1,S2,S3	SEE 10/A9.0 SIM
GATE 05 (E)	3/A9.1	6'-0" X 7'-5" PR	1 3/8"	W.IRON	PAINT	-	-	-	-	04	FRONT ENTRY	S5	SEE 3/A9.1
GATE 06 (E)	14/A9.0	3'-0" X 8'-0" PR	1 1/4"	W.IRON	PAINT	-	-	-	-	05	UPPER COURT	S5	SEE 14/A9.0
GATE 07	13/A9.0	3'-0" X 6'-0" PR	1 1/2"	REDWD	CLEAR	-	-	-	-	06	COURTYARD	-	SEE 13/A9.0
GATE 08	10/A9.1	3'-0" X 6'-0" PR	1 1/2"	REDWD	CLEAR	-	-	-	-	06	COURTYARD	-	SEE 13/A9.0
GATE 09	13/A9.0	3'-0" X 3'-0"	1 1/2"	REDWD	CLEAR	-	-	-	-	07	COURTYARD	-	SEE 10/A9.1
GATE 10 (E)	-	4'-0" X 7'-0"	1 1/2"	W.IRON	PAINT	-	-	-	-	08	TRASH ENCLOSURE	-	TRASH AREA NOT ACCESSIBLE
GATE 11	11/A9.1	2'-10" X 3'-0"	1 1/2"	REDWD	CLEAR	-	-	-	-	07	(E) GAS METER	-	SEE 11/A9.1

**MISSION KIDS COOP TENANT IMPROVEMENTS**

1050 SOUTH VAN NESS  
 SAN FRANCISCO, CA 94110

Sheet Title  
**INTERIOR ELEVATIONS AND DOOR SCHEDULE**

DESCRIPTION	DATE
MOD. PC. 1	10/15/11
MOD. PC. 2	11/28/11

Date August 8, 2011  
 Drawn DP  
 Job Project # 1101

Sheet No.  
**A3.0**

West Side of South Van Ness Avenue



22nd Street

1096 South Van Ness Avenue

1050 South Van Ness Avenue  
Permit Address



1050 South Van Ness Avenue  
Permit Address

1010 South Van Ness Avenue

21st Street



East Side of South Van Ness Avenue



21st Street

Limon Restaurant  
1001 South Van Ness



1099 South Van Ness

22nd Street

NORTH

