



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Abbreviated Analysis

HEARING DATE: JULY 25, 2013

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* July 18, 2013  
*Case No.:* **2012.0395D**  
*Project Address:* **2529 - 2533 POST STREET**  
*Permit Application:* 2012.0327.6976  
*Zoning:* RH-3 (Residential, House, Three-Family)  
40-X Height and Bulk District  
*Block/Lots:* 1081/049-051  
*Project Sponsor:* Kevin Weil and Christopher Dougherty (owners)  
2531 & 2533 Post Street  
San Francisco, CA 94115  
Andrew Morrall (agent/architect)  
Andrew Morrall Architects  
2730 Mission Street  
San Francisco, CA 94110  
*Staff Contact:* Sharon M. Young – (415) 558-6346  
sharon.m.young@sfgov.org  
*Recommendation:* **Do Not Take Discretionary Review and approve**

### PROJECT DESCRIPTION

The proposal is removal and replacement of existing decks and exit stairs at the rear of the three-story, three-family dwelling. The proposed rear decks will be set back approximately 13'-6" from the east property line and will abut the west property line with a one hour fire-rated wall with a height of approximately 28' above grade. The new rear exit stairs will be set back approximately 5' from the east and south property lines.

This proposal required Rear Yard and Noncomplying Structure Variances because the proposed replacement rear decks and exit stairs will extend entirely into the required rear yard and expand an existing building that is a legal noncomplying structure. The public hearing for the Variance (Case No. 2012.0395V) was held on July 25, 2012 and the variance was granted with conditions on November 15, 2012. The variance decision was appealed to the Board of Appeals (Appeal No. 12-148V) which considered the appeal in a public hearing on February 20, 2013. The variance decision was upheld by the Board of Appeals.

### SITE DESCRIPTION AND PRESENT USE

The project site is located at 2529 - 2533 Post Street, on the south side of Post Street between Baker and Lyon Streets; Lots 049 - 051 in Assessor's Block 1081 in an RH-3 (Residential, House, Three-Family) Zoning District and a 40-X Height and Bulk District. The subject lot contains approximately 3,025 square feet and measures 27.50 feet wide and 110 feet deep. The subject building is an approximately 40-foot-tall, three-story, three-family residential building constructed circa 1890. The existing building is listed in

the Planning Department’s 1976 Architectural Survey (AS survey) but not in the National or California Registers as having architectural significance.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The subject property is located in the Western Addition neighborhood. The neighborhood is within a RH-3 Zoning District with a mix of single and multi-family residential buildings. The subject and opposite blocks consists of buildings one-to-four stories in height. Some of the buildings on the block were constructed circa 1900.

**BUILDING PERMIT NOTIFICATION**

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	April 2, 2013	May 1, 2013	July 25, 2013	85 days

**HEARING NOTIFICATION**

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	July 15, 2013	July 15, 2013	10 days
Mailed Notice	10 days	July 15, 2013	July 15, 2013	10 days

**PUBLIC COMMENT**

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	1 (DR Requestor)	--
Other neighbors on the block or directly across the street	--	--	--
Neighborhood groups	--	--	--

**DR REQUESTOR**

**Alice Lam**, owner and resident of 2543 Post Street, directly adjacent and west of the project site.

**DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES**

See attached *Discretionary Review Application*, dated May 1, 2013.

**PROJECT SPONSOR’S RESPONSE TO DR APPLICATION**

See attached *Response to Discretionary Review*, dated July 10, 2013.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

## **RESIDENTIAL DESIGN TEAM REVIEW**

The Residential Design Team (RDT) reviewed the request for Discretionary Review and found that the project does not create exceptional or extraordinary circumstances. The RDT noted that the horizontal addition at the rear of the subject building is proposed against the DR Requestor’s blank east wall which will have no effects on the DR Requestor’s light or privacy, and which is consistent with the Residential Design Guidelines.

**Under the Commission’s pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

<b>RECOMMENDATION:</b> <b>Do Not Take Discretionary Review and approve the project</b>
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### **Attachments:**

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
DR Application  
Response to DR Application  
Reduced Plans  
Variance Decision  
Board of Appeals Decision

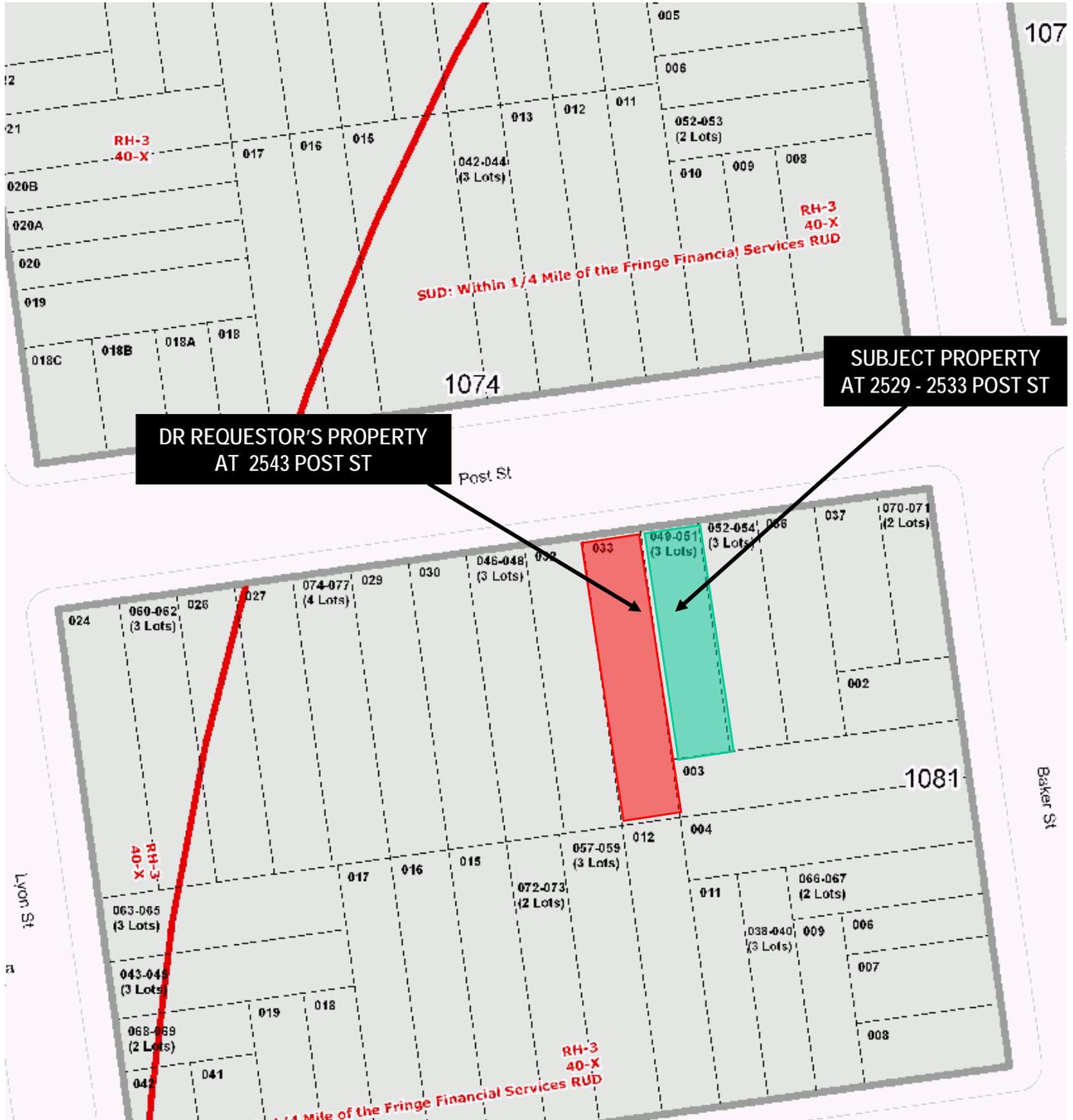
# Zoning Map



Discretionary Review Hearing  
Case Number 2012.0395D  
2529 - 2533 Post Street



# Parcel Map



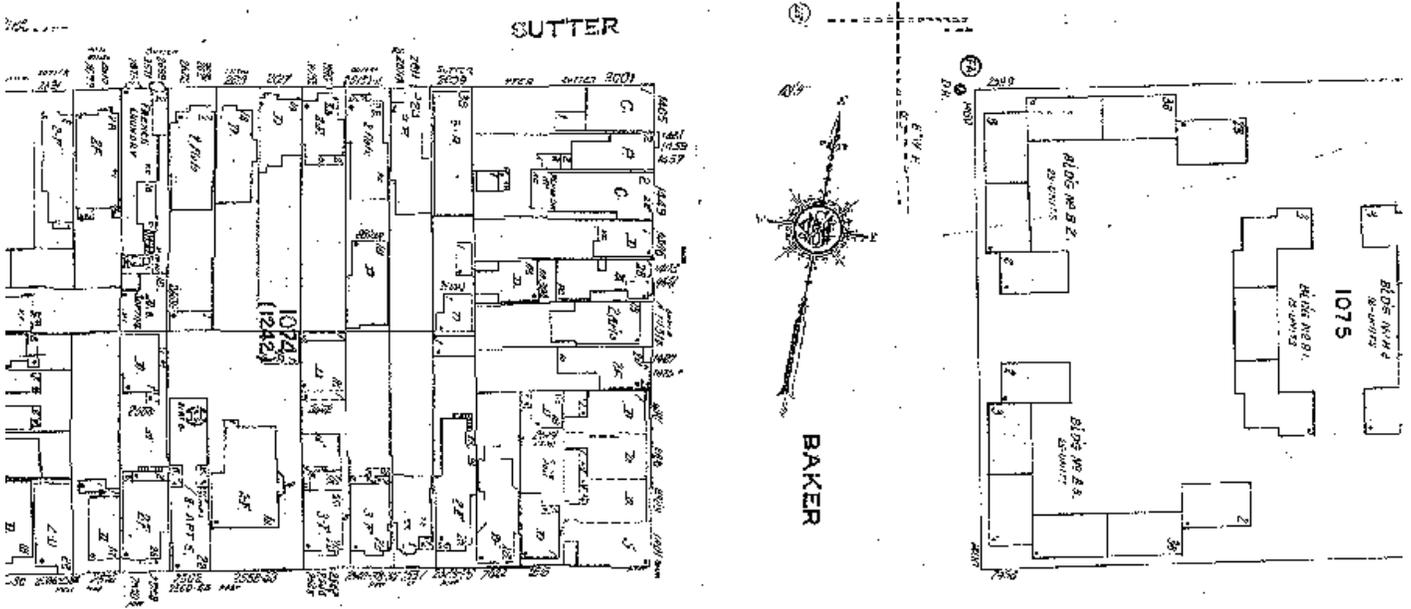
**DR REQUESTOR'S PROPERTY  
AT 2543 POST ST**

**SUBJECT PROPERTY  
AT 2529 - 2533 POST ST**

Discretionary Review Hearing  
Case Number 2012.0395D  
2529 - 2533 Post Street

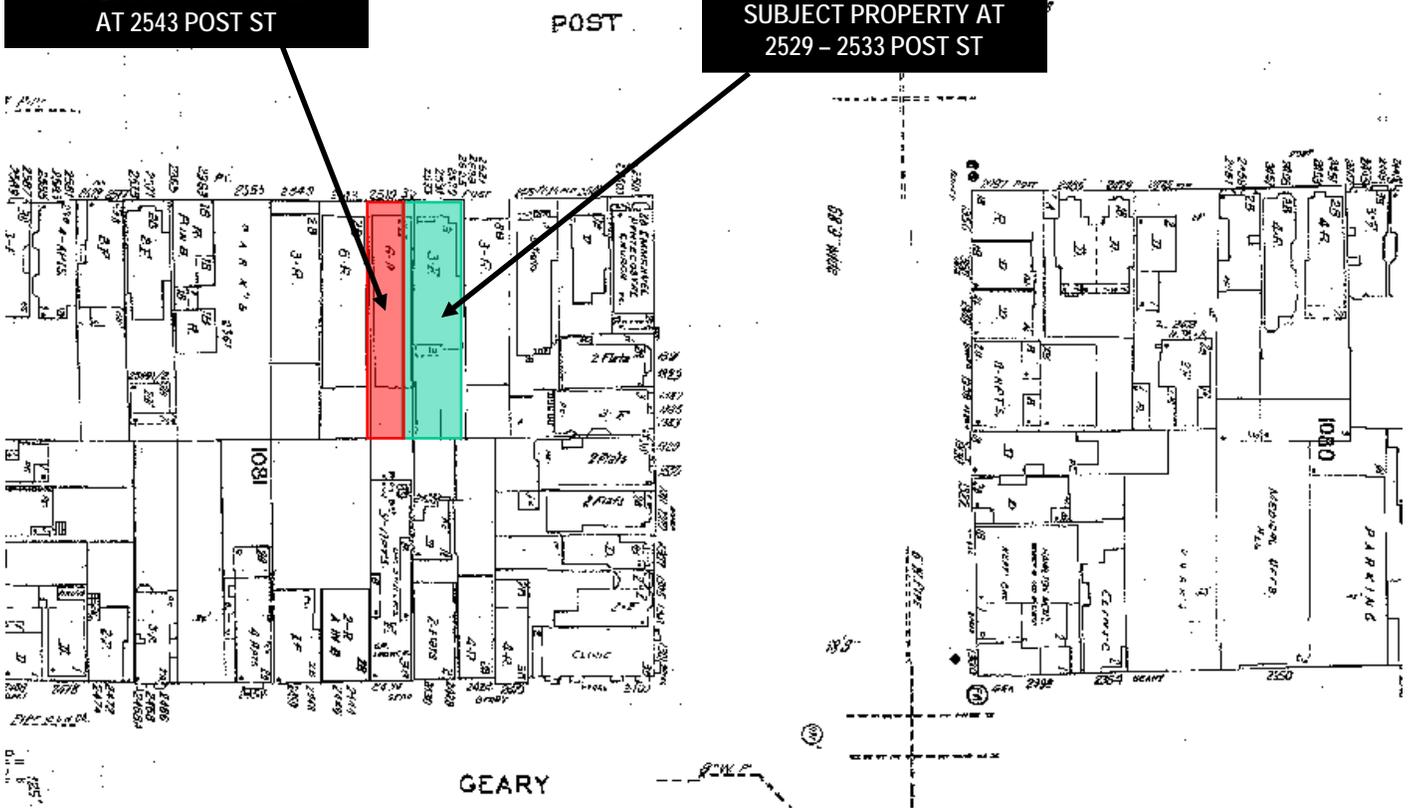


# Sanborn Map\*



DR REQUESTOR'S PROPERTY  
AT 2543 POST ST

SUBJECT PROPERTY AT  
2529 - 2533 POST ST



Discretionary Review Hearing  
Case Number 2012.0395D  
2529 - 2533 Post Street



# Aerial Photo\*



*\*The Aerial Maps reflect existing conditions in May 2012.*

**DR REQUESTOR'S PROPERTY  
AT 2539 POST ST**

**SUBJECT PROPERTY AT  
2529 - 2533 POST ST**



# Aerial Photo



**SUBJECT PROPERTY AT  
2529 - 2533 POST ST**

**DR REQUESTOR'S PROPERTY  
AT 2543 POST ST**



# Aerial Photo



**DR REQUESTOR'S PROPERTY  
AT 2543 POST ST**

**SUBJECT PROPERTY AT  
2529 - 2533 POST ST**



# Aerial Photo

DR REQUESTOR'S PROPERTY  
AT 2543 POST ST



SUBJECT PROPERTY AT  
2529 - 2533 POST ST

Discretionary Review Hearing  
Case Number 2012.0395D  
2529 - 2533 Post Street



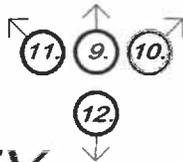
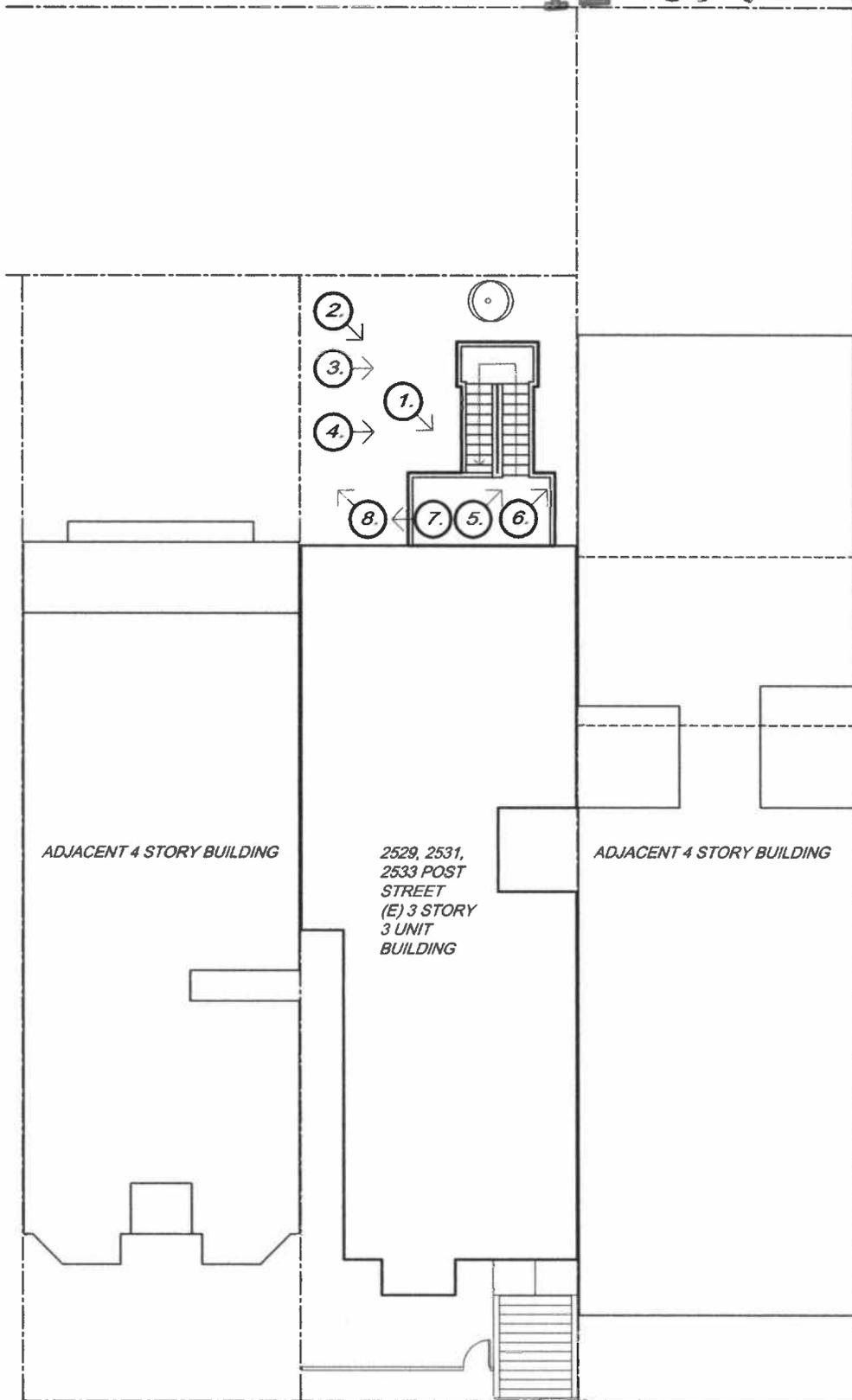
# Site Photo



**SUBJECT PROPERTY AT  
2529 - 2533 POST ST**

**DR REQUESTOR'S  
PROPERTY AT 2543 POST ST**

Discretionary Review Hearing  
**Case Number 2012.0395D**  
2529 - 2533 Post Street



*PHOTO KEY*



12.0395 V

1.



12 0395 v

2.



12-0595 V

3



12.0395 V

4.



12.0395 v 5



12.0395 V 6.



Small white tag with illegible text.

42.0395

7



12.0395 v

9.



12 0395 V

10.



2559

PHOTOGRAPHY

2561

12.0395 V



12.0395 V

12.



12.0395 V

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Alice Lam		
DR APPLICANT'S ADDRESS: 2543 Post Street, #5, San Francisco, Ca	ZIP CODE: 94115	TELEPHONE: (415 )682-6683 <i>cell (415) 676-7032</i>
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Mr. & Mrs. Benjamin Murphy, Scott Murphy, Mr. & Mrs. Kevin Weil & Mr. & Mrs. Christopher Dougherty		
ADDRESS: 2529/2531/2533 Post Street	ZIP CODE: 94115	TELEPHONE: ( )
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS: alice.88.lam@gmail.com		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 2525/2531/2533 Post Street		ZIP CODE: 94115
CROSS STREETS: Baker		
ASSESSORS BLOCK/LOT: 1081/ /051	LOT DIMENSIONS: 27.5x110	LOT AREA (SQ.FT): 3025 sf
ZONING DISTRICT: RH3		HEIGHT/BULK DISTRICT: 40-X

## 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other Additions to Building: Rear  Front  Height  Side Yard 

Present or Previous Use: 3 units Condo

Proposed Use: 3 Units Condo

Building Permit Application No. 201203276976

Date Filed: 3/27/2012

## 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

I tried to discuss my concern in writing and drop off the attached letters to the subject property each unit owners and copy to planning staff Ms. Sharon Young, however I did not get any respond from them.

# Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The project basically does not meet the minimum standards of the Planning code due to the proposed new stairway and decks will intrude into the required rear set back area. It will only have 5'-0" set back from rear property line after the new stairway constructed. Per Planning codes Section 134 for rear yard requirements is a minimum of 25% of lot depth, but no less than 15 feet. However, Variance was granted even as I filed for an appeal.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The rear decks at 2nd and 3rd level are approximate 14'-2" x 13'-10" and it will be built adjacent to my property with only one hour rated fire wall (42" high above 3rd level deck) for separation. I am very worried about if there is a BBQ party at the deck , it will create noise and fire hazard to my property and the nearby neighbors .

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Maintain the existing 2'-2" separation from the property line identical to the present existing deck or extend the one hour fire rated wall 3'-0" above my property along the property line and the proposed deck at 3rd level.

# Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: 5/1/13

Print name, and indicate whether owner, or authorized agent:

Alice Lam  
 Owner /  Authorized Agent (circle one)

Alice Lam  
2543 Post Street, #5  
San Francisco, Ca 94115

Mr. & Mrs. Benjamin Murphy  
Mr. Scott Murphy  
2529 Post Street,  
San Francisco, Ca 94115

April 9, 2013

Re: 2529 – 2533 Post Street, San Francisco, CA  
Permit Application # 2012.03.27.6976

Dear Mr. & Mrs. Murphy, Mr. Murphy,

I am Alice Lam the property owner at 2539 Post Street. I have received a notice of building permit application (Section 311) for the removal and replacement of the existing deck and exit stairs located at the rear of 2529 – 2533 Post Street, San Francisco on April 3, 2013.

I am extremely concerned and worried about the fire safety for the proposed new rear decks which will be built directly adjacent to my property without any separation. I am aware that there will be a one-hour rated firewall constructed along the property line, however the wall is only 42" above the top level deck and continues down to the foundation. I am worried that if a fire start at their proposed 3rd level deck while they are having a barbeque on their deck, it would put my building in danger of being damaged or destroyed.

I am sincerely requesting the subject property's owners reconsider setting back the proposed deck to maintain the same distance separation to my property as the current existing deck is. If we cannot reach an agreement, I will file a discretionary review and appeal to deny such building permit if issued.

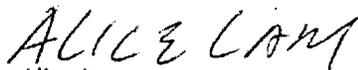
I hope we can compromise. Please review / accept my suggestion as follow:

1. Maintain the existing 2'-2" separation from the property line identical to the exiting deck, and I will not file any appeal.
2. In my opinion, the proposed new decks and stairs only benefit the 3<sup>rd</sup> (top) level occupant. The second level and ground level kitchen will be darkened by the proposed 3rd level deck which depth is 14'-2" (14'-2"x13'-10"). In addition, the solid fire rated wall and the huge wood stair will block the natural light to the lower level kitchens especially to the ground level unit. I believe

this will affect the quality of life and satisfaction to the 2<sup>nd</sup> floor and ground level occupants who will also anticipate larger energy consumption due to the need to constantly have the lights on. The current 2'-2" gap is enough to provide natural light to the 2<sup>nd</sup> and ground level units. I am aware of the shadow study however I do not agree with the results. I suggest the present owners, especially the ground level unit owners, hire a contractor to use a piece of plywood to simulate the effects of the proposed deck.

3. Extend the one hour fire rated wall 3'-0" above my property along the property line if the subject property's owners insisted to have the decks without setback from my property.

Sincerely yours,

  
Alice Lam

CC: Sharon M. Young  
San Francisco Planning Department

Alice Lam  
2543 Post Street, #5  
San Francisco, Ca 94115

Mr. & Mrs. Kevin Weil  
2531 Post Street,  
San Francisco, Ca 94115

April 9, 2013

Re: 2529 – 2533 Post Street, San Francisco, CA  
Permit Application # 2012.03.27.6976

Dear Mr. & Mrs. Weil,

I am Alice Lam the property owner at 2539 Post Street. I have received a notice of building permit application (Section 31 I) for the removal and replacement of the existing deck and exit stairs located at the rear of 2529 – 2533 Post Street, San Francisco on April 3, 2013.

I am extremely concerned and worried about the fire safety for the proposed new rear decks which will be built directly adjacent to my property without any separation. I am aware that there will be a one-hour rated firewall constructed along the property line, however the wall is only 42" above the top level deck and continues down to the foundation. I am worried that if a fire start at their proposed 3rd level deck while they are having a barbeque on their deck, it would put my building in danger of being damaged or destroyed.

I am sincerely requesting the subject property's owners reconsider setting back the proposed deck to maintain the same distance separation to my property as the current existing deck is. If we cannot reach an agreement, I will file a discretionary review and appeal to deny such building permit if issued.

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3. Extend the one hour fire rated wall 3'-0" above my property along the property line if the subject property's owners insisted to have the decks without setback from my property.

Sincerely yours,

Handwritten signature of Alice Lam in black ink.

Alice Lam

CC: Sharon M. Young  
San Francisco Planning Department

Alice Lam  
2543 Post Street, #5  
San Francisco, Ca 94115

Mr. & Mrs. Christopher Dougherty  
2533 Post Street,  
San Francisco, Ca 94115

April 9, 2013

Re: 2529 – 2533 Post Street, San Francisco, CA  
Permit Application # 2012.03.27.6976

Dear Mr. & Mrs. Dougherty,

I am Alice Lam the property owner at 2539 Post Street. I have received a notice of building permit application (Section 311) for the removal and replacement of the existing deck and exit stairs located at the rear of 2529 – 2533 Post Street, San Francisco on April 3, 2013.

I am extremely concerned and worried about the fire safety for the proposed new rear decks which will be built directly adjacent to my property without any separation. I am aware that there will be a one-hour rated firewall constructed along the property line, however the wall is only 42" above the top level deck and continues down to the foundation. I am worried that if a fire start at their proposed 3rd level deck while they are having a barbeque on their deck, it would put my building in danger of being damaged or destroyed.

I am sincerely requesting the subject property's owners reconsider setting back the proposed deck to maintain the same distance separation to my property as the current existing deck is. If we cannot reach an agreement, I will file a discretionary review and appeal to deny such building permit if issued.

I hope we can compromise. Please review / accept my suggestion as follow:

1. Maintain the existing 2'-2" separation from the property line identical to the exiting deck, and I will not file any appeal.
2. In my opinion, the proposed new decks and stairs only benefit the 3<sup>rd</sup> (top) level occupant. The second level and ground level kitchen will be darkened by the proposed 3rd level deck which depth is 14'-2" (14'-2"x13'-10"). In addition, the solid fire rated wall and the huge wood stair will block the natural light to the lower level kitchens especially to the ground level unit. I believe

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3. Extend the one hour fire rated wall 3'-0" above my property along the property line if the subject property's owners insisted to have the decks without setback from my property.

Sincerely yours,

A handwritten signature in black ink that reads "ALICE LAM". The letters are in all caps and have a cursive, slightly slanted appearance.

Alice Lam

CC: Sharon M. Young  
San Francisco Planning Department



# SAN FRANCISCO PLANNING DEPARTMENT

2012.0395D

## RESPONSE TO DISCRETIONARY REVIEW

Case No.: 12,0935D  
Building Permit No.: 201203216976  
Address: 2529-2533 POST

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

Project Sponsor's Name: ANDREW MORRALL

Telephone No.: 415-282-0616 (for Planning Department to contact)

- Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

REFER TO ATTACHED

- What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

REFER TO ATTACHED

- If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

REFER TO ATTACHED

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit –additional kitchens count as additional units) .....	<u>3</u>	<u>3</u>
Occupied stories (all levels with habitable rooms) ...	<u>3</u>	<u>3</u>
Basement levels (may include garage or windowless storage rooms) .....	<u>∅</u>	<u>∅</u>
Parking spaces (Off-Street) .....	<u>∅</u>	<u>∅</u>
Bedrooms .....	<u>6</u>	<u>6</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas....	<u>5,085</u>	<u>5,085</u>
Height .....	<u>40'-0"</u>	<u>40'-0"</u>
Building Depth .....	<u>74'</u>	<u>74'</u>
Most recent rent received (if any) .....	_____	_____
Projected rents after completion of project .....	_____	_____
Current value of property .....	_____	_____
Projected value (sale price) after completion of project (if known) .....	_____	_____

I attest that the above information is true to the best of my knowledge.

Andrew Morrall

Signature

7/10/13

Date

ANDREW MORRALL

Name (please print)

February 19, 2013

San Francisco Board of Appeals  
1650 Mission, Room 304□  
San Francisco, CA 94103

Re: Proposed Deck Rebuild: 2529-2531-2533 Post Street, San Francisco, CA

San Francisco Board of Appeals:

My family owns the property at 2517 Post Street, which is the property one door down from 2529-2531-2533 Post Street.

I have no problem with their deck rebuild and said rebuild will have no effect on my privacy, light or air space. We welcome the new addition to the neighborhood and wish them the best of luck with their efforts.

Sincerely,

Victor Ume  
2517 Post Street

---

**kevin**

---

**From:** Christopher <crd@madisonstreetpress.com>  
**Sent:** Tuesday, February 05, 2013 6:34 PM  
**To:** kevin@shallwego.net  
**Cc:** laurae@shallwego.net  
**Subject:** Email from Lisa in back about deck rebuild

----- Original Message -----

**Subject:** deck  
**Date:** 2013-02-05 17:05  
**From:** lisa <lisaannika@gmail.com>  
**To:** Christopher <crd@madisonstreetpress.com>

My name is Lisa Nowell and my family owns the property at 1387 Baker Street which borders 2529-2533 Post Street, to the south. I have no problem with their deck rebuild and said rebuild will have no effect on my privacy, light or air space. We welcome the new addition to the neighborhood and wish them the best of luck with their efforts.

Regards,  
Lisa Nowell

--

As of this year, Madison Street Press has been in business for 103 years! Referrals from clients like you are a big part of our success.

Please pass our good name along. Thanks!

Christopher Dougherty  
VP, Sales

Madison Street Press - 614 Madison Street - Oakland, CA 94607

T: 510.451.4775 F:510.451.5039 [www.madisonstreetpress.com](http://www.madisonstreetpress.com)

By Hand Delivery

July 8, 2013

President Rodney Fong  
San Francisco Planning Department  
1650 Mission Street, Room 400  
San Francisco, CA 94103

Regarding:  
2529-2533 Post Street - Discretionary Review Response  
permit no. 201203276976

Dear President Fong:

I am the Architect representing the Owners Kevin Weil, Laura Pearson, Chris Dougherty, Rachel Brown, Benjamin Murphy and Anna Morozovsky at 2529 - 2533 Post Street (The Owners). A Variance was granted by the Zoning Administrator, Mr. Scott Sanchez after the Owners met with Alice Lam, the adjacent neighbor at 2539 (The neighbor) and offered her a solution to the concerns she voiced at the variance hearing on July 25, 2012. Please refer to exhibit A. Ms. Lam subsequently filed an appeal to the Appeals Board for the granting of the variance. The hearing was held on February 20, 2013. The Board of Appeals voted to deny the appeal and uphold the variance on the basis that the Zoning Administrator did not err or abuse his discretion. The project has gone through (2) separate neighborhood notifications. The notification for the Variance occurred first. The notification for the 311 Site Permit occurred after the Variance notice and after Ms. Lam's appeal was denied by the Board of Appeals. It is our understanding that no additional comments or complaints were filed with the Planner, other than Ms. Lam's and a tenant in her building. The Owner's have several letters of support for adjacent neighbors for their project.

Currently the property is improved with a 3 unit, 3 story residential building and a dilapidated rear deck which is the focus of this building permit.

The Owners Chris Dougherty, and his wife Rachel Brown have lived at the 3rd Level Unit, 2533 for over 20 years, they have 2 children. It is their intent to Live in their home and raise their 2 children. The 3rd Level Deck as Granted will provide required open space which is immediately adjacent and accessible to their home . The 3rd Level Deck as Granted will allow the Dougherty's children to play while being directly supervised from the main Family and Kitchen Area and Master Bedroom. Mr. Dougherty and his wife are full time professionals and the 3rd Level Deck as Granted will allow both direct supervision and supervision of the children while attending to household tasks and attending to professional tasks while at home. The 3rd Level

Deck as Granted will also allow for family enjoyment. The Owners, Kevin Weil and Laura Pearson have lived at the 2nd Level Unit, 2531 for over 9 years. The 2nd Level Deck as Granted will also provide required open space which is immediately adjacent and accessible to their home. The Owners, Benjamin Murphy and Anna Morozovsky, have recently moved in at the Ground Level Unit, 2529. The Deck as Granted will allow for a large unobstructed area with more light and air for the Ground Level at the South East corner for their private open space. This direct access to required private open space is enjoyed by numerous adjacent neighbors. Please refer to Exhibit B. Without this direct access to the required private open space, Chris Dougherty and Rachel Brown would not be able to raise their children while living in their home. Denying the Owner's direct access to required open space would be a burden of undue hardship that is not enforced on adjacent neighbors.

The Deck as granted features a reconfigured deck located more towards the West of the Owner's property, abutting Ms. Lam's property which consists of a 30'-0" high solid blank wall extending 20'-6" beyond the Owner's building, and which will still extend approximately 6'-6" past the reconfigured Deck as granted. The Deck as granted features a terraced design, stepping down towards the Southeast of the Owner's property. This terraced Deck design will reduce the impact of Ms. Lam's tall blank wall, which casts a significant shadow on the Owner's property. The reconfigured deck will significantly increase the usable open space and allow an increase of light and air for the Owners.

By reconfiguring the Deck and positioning towards the Northwest corner of the Owner's Rear Yard, adjacent to Ms. Lam's blank wall :

1. It will orientate the terraced deck's towards the Owner's South East corner. This will allow additional light and air, provide an unobstructed corner at the Southeast corner for open space at the ground level and provide for more consolidated and direct open space for the 2 units above. Please refer to attachment C.
2. It will have no impact on Ms. Lam's property, the reconfigured deck casts no shadow on Ms. Lam's property. Please refer to attachment C and Existing deck photo, last page of Exhibit A.
3. It will have an improved effect on the adjacent neighbor's who would be impacted. The reconfigured deck will be consolidated towards the Northwest tall blank wall and terrace downward towards the adjacent Southeast rear yards which the deck faces. This will improve the mid block open space of the adjacent neighbors to the South and East.
4. The reconfigured deck has significantly less mass. This will be achieved by using an open spiral staircase for the upper stair which will have much less mass and obstruction than the conventional wood framed stair that it will replace and positioning the lower switchback stair at a 45 degree, making this stair the lowest mass towards the Southeast corner. Please refer to exhibit C. (Please note the cylindrical mass represented in the shadow study is an open spiral staircase and will cast little or no shadow)
5. The current deck has only a 2'-2" space between the deck and Ms. Lam's blank wall. This sliver of space proves awkward and useless. In addition if the Owner's were to reconfigure and rebuild the deck as Ms. Lam suggests, the deck would require a 28'-0" tall free standing fire wall with a 2'-2" wide void space between Ms.

Lam's blank wall. This would prove an undue hardship, creating a cavernous dark void space that could not be accessed by OSHA standards to build or maintain. The 2'-2" width would not provide the clearance required for the placement of tall ladders or scaffolding.

### **A. Neighborhood Outreach and Design Development**

As mentioned in the opening statement The Owners have worked hard and in good faith to consult with the neighbor Ms. Lam.

Ms. Lam's initial concern, as stated at the Variance Hearing of July 25, 2012, was that a perceived prowler would gain access to her roof top via the Deck as Granted.

On August 08, 2012 the Owner's held a meeting with the Ms. Lam and offered the comprehensive solution of providing a locked steel gate at the second level stair landing, thus preventing the possibility of a perceived prowler gaining access to the third level Deck, climbing atop the Decks 42" high firewall and gaining access to her roof.

Ms. Lam flatly rejected this offer. She responded that the only solution she would accept is the current configuration of the Existing Deck, even though the Existing Deck has no security gate that would prevent a perceived prowler from gaining access to the Existing Third Level Deck, climb atop the Existing Deck's Guardrail positioned only 2'-2" away from her roof, and gain access to her roof. It would be further added that a perceived prowler could never gain direct access to the Owner's back yard, since there is a solid locked door at the Ground Level passage way that leads to the public way.

Ms. Lam's current concern as stated in her DR request is for fire safety. Our response is that the reconfigured deck would offer increased fire safety by providing a 1 hour rated 28'-0" tall wall abutting her solid blank wall separating the 2 properties and extend 42" above the 3rd level deck. The current deck does not have a fire rated separation and has an open rail 2'-2" away from Ms. Lam's solid blank wall. The Owner's and myself as the Architect do not agree or understand how the current configuration provides a safer condition, since there is currently an open rail with no separation as compared with the 28'-0" high fire wall that will be installed with the new reconfigured deck.

By Ms. Lam's unwillingness to consider reasonable and effective solutions offered to her for her concerns, and insisting the only solution is for the deck to be re-built with the current side yard setback of 2'-2", (which as previously stated would require a 28'-0" tall free standing solid fire wall, please refer to item 5 on the previous page) she is placing undue and unnecessary hardship on the Owner's of 2529-2533 Post street. She would be denying their property rights to use and enjoyment consistent with adjacent neighbors. She would be denying the Owner's property rights for what seems to be no apparent reason.

## **B. The Reconfigured Deck and Stair as granted complies with the Residential Design Guidelines.**

The position of the reconfigured deck abutting Ms. Lam's Blank wall is consistent with the neighborhood context as stated on page 15 of the Design Guidelines for Side Spacing Between Buildings. Ms. Lam's building currently directly abuts the Owner's building entire length minus the Owner's 8'-0" lightwell. This condition of abutting walls at the property line is prevalent and the norm for the neighborhood.

The reconfigured deck is consistent with the Design Guidelines for Light and Air as stated on page 16. The reconfigured Deck is orientated and terraced down towards the Southeast corner where the greatest opportunity for light occurs. There is less of an impact on the adjacent neighbors because the reconfigured deck is positioned in the far Northwest corner, thus casting little or no shadow on the adjacent properties. The reconfigured deck casts no shadow on Ms. Lam's property.

The reconfigured deck is consistent with the Design Guidelines for privacy as stated on page 17. By positioning the reconfigured deck in the far northwest corner, the privacy for the adjacent neighbors to the South and the East is maintained and enhanced while maintaining the privacy for Ms. Lam, since the reconfigured deck abuts a blank wall and is set back 6'-6" behind Ms. Lam's rear wall and setback.

The reconfigured deck is consistent with the Design Guidelines for Mid-Block Open Space as stated on page 25-28. The reconfigured deck maintains and enhances the Mid-Block Open Space to the South and the East while having no impact on Ms. Lam's Open Space.

## **C. Comparison of Existing Deck and Stair Area to Reconfigured Deck and Stair as Granted Area**

The Existing 2nd Level Deck and Stair area = 202 square feet.

The 2nd Level Deck and Stair as Granted area = 267 square feet.

The Existing 3rd Level Deck and Stair area = 202 square feet.

The 3rd Level Deck and Stair as Granted area = 202 square feet.

The combined footprints of the Existing Deck and Stair area = 404 square feet.

The combined footprints of the Deck as Granted area = 469 square feet.

The Deck as granted is essentially the same size as the existing Deck.

#### **D. Findings for the granting of the Variance**

As stated in the variance findings submitted and upheld by the Zoning Administrator, Mr. Scott Sanchez, the existing building already extends into the required rear yard, therefore it is required that the Deck as Granted which provides the required private open space and the required means of egress be located in the required rear yard. This condition occurs elsewhere on the block and with immediate adjacent neighbors. Please refer to exhibit B.

#### **E. Improved Fire Safety and Egress, Stairs exit to a Public Way**

The Reconfigured Deck and Stairs as Granted provides a spiral staircase within the dwelling unit 2533 per section 1009.9 of the California Building Code (CBC). At the level of unit 2531, A stairway serving both dwelling units 2533 and 2531 is provided that complies with section 1009 of the CBC. The stair discharges at grade. The path of exit then continues through an existing 3'-0" wide passageway and discharges directly to the public way. Please refer to Exhibit E. The exit discharge components comply with section 1027.3 of the CBC. The Deck as Granted provides a continuous 1 hour firewall per table 720.1(2) at the property line common with the Ms Lam's building. The Existing Deck has no firewall and does not provide any fire protection between the Owner's and the Ms. Lam's building. It would not be possible to provide the continuous 1 hour firewall required with the Existing Deck's configuration and placement. The Existing Deck is placed 2'-2" away from property line common with the Ms. Lam's building. In order for the Existing Deck to be rebuilt in it's current location and configuration and meet current code fire safety requirements, A 20'-0" long 28'-0" high solid wall would need to be built opposite the 20'-6" long, 30'-0" high solid blank wall of the Appellant neighbor's building. This would create a narrow chasm as previously stated, 2'-2" wide and 28'-0" high between the Appellant neighbor's building and be prohibited by OSHA construction and maintenance code requirements. With a space this narrow and tall it would be impossible, dangerous and unlawful to gain access to service and maintain the free standing required 28'-0" tall fire wall. In addition, this would create an unprecedented and undue hardship on the Owner, creating an unhealthy condition where stagnant water, vermin and garbage could accumulate. No adjacent neighbor on the block endures such a condition. Based on section 602, table 602, section 705, table 705.8, section 720, table 720.1, section 1009 and section 1027 of the CBC the Deck as Granted is a substantial improvement over the Existing Deck and is in accordance with the 2010 California Building Code.

#### **F. The Existing Deck is dilapidated**

The Existing Deck is dilapidated and would require demolition. It would then need to be brought up to current Building Code standards and be reconfigured.

**Summary of the Project and Request that the Request for Discretionary Review be denied and the Project move forward**

The Reconfigured Deck and Stairs as Granted amounts to a minor reconfiguration to the Existing Deck and Stairs. The Existing Deck and Stairs is 404 square feet in area. The Reconfigured Deck and Stairs as Granted is 469 square feet in area. The Deck and Stairs as Granted provides superior required open space directly accessible to the Owner's homes. This direct access to required open space is enjoyed by many adjacent neighbors. Many adjacent neighbors, including the Appellant neighbor, extend significantly into their rear yard. (Please refer to Exhibit B and Exhibit C) The Deck and Stairs as Granted better preserves the mid-block open space than the Existing Deck. The Deck and Stairs as Granted has less of an impact on the adjacent neighbors and does more to provide privacy to the adjacent neighbors than the Existing Deck. The Deck and Stairs as Granted has little or no impact whatsoever to the Ms. Lam's adjacent building. (Please refer to Exhibit C) The Deck and Stairs as Granted improves fire safety for the Owner's building, the neighbor's Ms. Lam's adjacent building, and surrounding adjacent buildings. The Deck and Stairs as Granted will meet the 2010 California Building Code requirements for Fire, Egress and Life Safety and be built to current construction and Engineering standards, including seismic safety. We respectfully request that the Planning Commission Deny the request for Discretionary Review and allow this project to move forward. Thank You for your consideration.

Sincerely Submitted,

Andrew Morrall, Architect

CC:

Vice President Cindy Wu  
Commissioner Michael Antonini  
Commissioner Gwen Borden  
Commissioner Rich Hillis  
Commissioner Kathrin Moore  
Commissioner Hisashi Sugaya  
Linda Avery - Commissioner Secretary  
Sharon Young - Neighborhood Planner  
Kevin Weil - Owner and Owner's representative



# SAN FRANCISCO PLANNING DEPARTMENT

## Variance Decision

*Date:* November 15, 2012  
*Case No.:* 2012.0395V  
*Project Address:* 2529 - 2533 POST STREET  
*Zoning:* RH-3 (Residential, House, Three-Family)  
40-X Height and Bulk District  
*Block/Lot:* 1081/049-051  
*Applicants:* Kevin Weil and Christopher Dougherty (owners)  
2531 & 2533 Post Street  
San Francisco, CA 94115  
Andrew Morrall (agent/architect)  
Andrew Morrall Architects  
2730 Mission Street  
San Francisco, CA 94110  
*Staff Contact:* Sharon M. Young – (415) 558-6346  
sharon.m.young@sfgov.org

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

### DESCRIPTION OF VARIANCE – REAR YARD AND NONCOMPLYING STRUCTURE VARIANCES SOUGHT:

The proposal is the removal and replacement of existing decks and exit stairs at the rear of the three-story, three-family dwelling. The proposed rear decks will be set back approximately 13'6" from the east property line and will abut the west property line with a one hour fire-rated wall with a height of approximately 28' above grade. The new rear exit stairs will be set back approximately 5' from the north and east property lines.

**Section 132 of the Planning Code** requires a rear yard in an RH-3 Zoning District to be equivalent to 45 percent of the total lot depth, or when using averaging, no less than 25 percent of the lot depth or 15 feet, whichever is greater. The subject property, with a lot depth of approximately 110 feet, has a required rear yard of 27'6". The new rear deck and exit stairs will extend entirely into the required rear yard to within 5 feet of the rear property line.

**Section 188 of the Planning Code** prohibits the expansion or replacement of a noncomplying structure. Because a portion of the existing building already encroaches into the required rear yard, it is considered a legal noncomplying structure. Therefore, the proposed replacement and expansion requires a variance from Section 188 of the Planning Code.

### PROCEDURAL BACKGROUND:

1. The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1(a)-Existing Facilities categorical exemption.
2. The Zoning Administrator held a public hearing on **Variance Application No. 2012.0395V** on **July 25, 2012**.
3. Neighborhood notification, pursuant to Planning Code Section 311 will be done separately under Building Permit Application No. 2012.03.27.6976.

**DECISION:**

**GRANTED**, in general conformity with the plans on file with this application, shown as EXHIBIT A, for the removal and replacement of existing decks and exit stairs at the rear of the three-story, three-family dwelling, subject to the following conditions:

1. Any future physical expansion, even in the buildable area, shall be reviewed by the Zoning Administrator to determine if the expansion is compatible with existing neighborhood character and scale. If the Zoning Administrator determines that there would be a significant or extraordinary impact, the Zoning Administrator shall require either notice to adjacent and/or affected property owners or a new Variance application be sought and justified.
2. The proposed project must meet these conditions and all applicable City Codes. In case of conflict, the more restrictive controls apply.
3. Minor modifications as determined by the Zoning Administrator may be permitted.
4. The owner of the subject property shall record on the land records of the City and County of San Francisco the conditions attached to this Variance decision as a Notice of Special Restrictions in a form approved by the Zoning Administrator.
5. This Variance Decision and the recorded Notice of Special Restrictions shall be reproduced on the Index Sheet of the construction plans submitted with the Site or Building Permit Application for the Project. This Index Sheet of the construction plans shall reference the Variance Case Number.

**FINDINGS:**

Section 305(c) of the Planning Code states that in order to grant a variance, the Zoning Administrator must determine that the facts of the case are sufficient to establish the following five findings:

**FINDING 1.**

That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other properties or uses in the same class of district.

**Requirement Met.**

- A. The existing building was constructed circa 1890 prior to the rear yard requirements of the Planning Code and has a building depth of approximately 70'6" and an existing rear yard of 26'9". The building is listed in the Planning Department's 1976 Architectural Survey, but is not listed in the National or California Registers as having architectural significance. Because a portion of the existing building is a noncomplying structure which extends approximately 2' into the required rear yard, the rearmost portion of the building cannot be expanded without the granting of the rear yard and noncomplying structure variances.
- B. The proposed new rear decks on the 2<sup>nd</sup> and 3<sup>rd</sup> levels (approximately 14' wide by 14' deep) will be set back approximately 13'6" from the east property line and will abut the south property line with a one hour fire-rated wall with a height of approximately 28' above grade. The new rear exit stairs will be set back approximately 5' from the north and east property lines. According to the project sponsor, the rear decks cannot be reconstructed with the same footprint as the existing rear decks and exit stairs maintaining a 2'

set back from the south property line to meet the current Building Code requirements. The existing decks are dilapidated and past repair and cannot be replaced "in-kind" because the current Building Code requirements would not allow an open rail 2' away from the neighbors' property and would require a solid three-story firewall and the new stairs need to be enlarged since the existing stairs riser height and width does not meet current Building Code requirements. The replacement rear decks will provide usable open space for the subject property and the exit stairs will provide access from the 2<sup>nd</sup> and 3<sup>rd</sup> levels of the building to the rear yard.

**FINDING 2.**

That owing to such exceptional and extraordinary circumstances the literal enforcement of specified provisions of this Code would result in a practical difficulty or unnecessary hardship not created by or attributed to the applicant or the owner of the property.

**Requirement Met.**

- A. Literal enforcement of the Planning Code would preclude the owners from developing their property in the manner proposed and would result in an unnecessary hardship with no compensating public benefit without the granting of the rear yard and noncomplying structure variances to reconstruct the rear decks and exit stairs which provide open space to the three-family dwelling and access to the rear yard. Literal enforcement of the Planning Code in this case, would preclude the owners from meeting reasonable development goals.

**FINDING 3.**

That such variance is necessary for preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district.

**Requirement Met.**

- A. Several properties within the immediate neighborhood contain buildings with rear decks and stairs that encroach into the required rear yards on their lots. The subject property has a shorter lot depth than the adjacent property to the south which has a lot depth of approximately 137.50 feet and a building depth which extends beyond the rear building wall of the subject property.
- B. The granting of these variances will allow the owners to construct new rear decks providing larger usable open space at the main living level for each dwelling unit and a second means of egress to the rear of the property from the second and third levels.

**FINDING 4.**

That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity.

**Requirement Met.**

- A. The Planning Department received public comment from adjacent neighbors to the south at 2539 Post Street (a five-unit apartment building) in opposition to the proposed configuration of the rear decks abutting the south side property line. Generally, the neighbors are concerned that the replacement decks will be enlarged, increasing the building's nonconformity and abutting the south property line.

The neighbors in opposition expressed concern that the replacement decks abutting the south property line could cause water/rain leakage, trap moisture forming mold and mildew between the two buildings, and affect their safety by providing easier access for burglars to cross from the new decks and stairs onto their roof and from building to building within the neighborhood.

In addition, the neighbors in opposition are concerned about potential noise from parties on the deck and having objects (cigarette butts, beer cans and bottles, leftover fireworks) left on their roof top. The neighbors expressed concern that the existing decks and stairs do not appear to be depilated beyond repair and that the granting of the rear yard and noncomplying variances would set a negative precedent for other properties to follow.

At the July 25<sup>th</sup> Variance hearing, the Zoning Administrator instructed the project sponsor to schedule a meeting with the neighbors to hear their concerns. The project sponsor held the meeting on August 8, 2012, and in response to their security concerns, the project sponsor proposed a locked steel gate at the stair landing of the 2<sup>nd</sup> level flight of stairs which would limit access to the neighbor's roof from the subject property. The replacement decks will be configured to be tiered with the upper deck smaller than the lower deck and positioned abutting the west side property line and the neighbor's solid property line wall rather than in the middle of the lot to provide more usable open space for the subject property and to create less of a shadow effect for the neighboring properties to the south and east. The project sponsor indicated that the existing and proposed rear decks and stairs are similar in size; the existing decks and stairs total 404 square feet and the proposed decks and stairs will total 469 square feet. As such, granting the rear yard and noncomplying structure variances would improve the livability of the subject property and will not be materially detrimental to the public welfare or materially injurious to the neighboring properties.

**FINDING 5.**

The granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the General Plan.

**Requirement Met.**

- A. This development is consistent with the generally stated intent and purpose of the Planning Code to promote orderly and beneficial development. Planning Code Section 101.1 establishes eight priority-planning policies and requires review of variance applications for consistency with said policies. The project meets all relevant policies, including conserving neighborhood character, and maintaining housing stock.
  - 1. Existing neighborhood retail uses will not be adversely affected by the proposed project.
  - 2. The proposed project will be in keeping with the existing housing and neighborhood character. The proposal will preserve the existing residential building on the property.
  - 3. The proposed project will have no effect on the City's supply of affordable housing.
  - 4. The proposed project does not adversely affect neighborhood parking or public transit.
  - 5. The project will have no effect on the City's industrial and service sectors.

6. The proposed project will have no effect on the City's preparedness to protect against injury and loss of life in an earthquake.
7. The project will have no effect on the City's landmarks or historic buildings.
8. The project would not affect any existing or planned public parks or open spaces.

The effective date of this decision shall be either the date of this decision letter if not appealed or the date of the Notice of Decision and Order if appealed to the Board of Appeals.

Once any portion of the granted variance is utilized, all specifications and conditions of the variance authorization became immediately operative.

The authorization and rights vested by virtue of this decision letter shall be deemed void and cancelled if (1) a Building Permit has not been issued within three years from the effective date of this decision; or (2) a Tentative Map has not been approved within three years from the effective date of this decision for Subdivision cases; or (3) neither a Building Permit or Tentative Map is involved but another required City action has not been approved within three years from the effective date of this decision. However, this authorization may be extended by the Zoning Administrator when the issuance of a necessary Building Permit or approval of a Tentative Map or other City action is delayed by a City agency or by appeal of the issuance of such a permit or map or other City action.

**APPEAL:** Any aggrieved person may appeal this variance decision to the Board of Appeals within ten (10) days after the date of the issuance of this Variance Decision. For further information, please contact the Board of Appeals in person at 1650 Mission Street, 3<sup>rd</sup> Floor (Room 304) or call 575-6880.

Very truly yours,



Scott F. Sanchez  
Zoning Administrator

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THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OCCUPANCY. PERMITS FROM APPROPRIATE DEPARTMENTS MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

SMY:WP51\Northwest\Variance\2012.0395V – 2529 - 2533 Post Street - Granted

Copy to I:\Decision Documents\Variance Decision Letters\2012\2012.0395V – 2529 - 2533 Post Street – Granted

ARCHITECT ANDREW MORRALL

415-  
282-0616  
P.O.  
BOX 99 37  
SAN FRANCISCO  
CA 94110

February 23, 2012

Addressed to:  
Planning Department  
City and County of San Francisco  
1640 Mission Street, San Francisco, CA 94103

Regarding:  
Variance Findings for 32529, 2531, 2533 Post St.

## VARIANCE APPLICATION FORM

### Variance Findings

1. There are exceptional or extraordinary circumstances applying to the property involved or the intended use of the property that do not apply generally to other property or uses in the same class of district.  
Specifically:  
The existing house was built in 1890 and extends into the Rear Yard approximately 18'-0". The existing dilapidated deck and stair being replaced already exists within the Rear Yard.
2. That owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Planning Code would result in partial difficulty or unnecessary hardship not created or attributable to the applicant or owner of the property.  
Specifically:  
Therefore it is required to build within the existing Rear Yard in order to update and replace the existing Rear Deck and Stair.
3. That the variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by the other property in the same class of district.  
Specifically:  
The Owners currently enjoy the similar privileges of adjacent neighbors, i.e. Open Space provided by Rear Decks immediately accessible and access to their Rear Yard from an existing set of Stairs.

4. That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity.  
Specifically:  
The Proposed Improvement will have no adverse effect on the immediate adjacent properties. The two immediate Adjacent Properties Buildings already extend into their Rear Yards to the height of 3 stories. Our proposed Reconfigured Deck and Stair will not adversely effect the Light and Air of the Adjacent Properties. In fact, it will improve the immediate neighbors access to light and air by reconfiguring the existing Deck and Stair to be positioned in the Southwest corner of the Rear Yard adjacent to the existing adjacent building's 3 story blank wall. The newly reconfigured Deck and Stair then terraces down in scale and mass towards the Northeast corner of the Rear Yard, allowing more light and air to the existing adjacent neighbors.
  
5. That the granting of such variance will be in harmony with the general purpose and intent of this Planning Code and will not adversely affect the General Plan.  
Specifically:  
The intent of the Planning Code is to ensure Rear yard Space and to allow open space for Residential units while ensuring harmonious development in regard to adjacent properties. The proposed Deck and Stair achieves all of the criteria and is an improvement in regard to these criteria in comparison to the existing Deck and Stair to be demolished. The proposed reconfigured Deck and Stair will be positioned to allow more open Rear Yard with a larger unimpeded Rear Yard footprint. (i.e., the existing Deck and Stair was positioned in the middle of the Rear Yard, making the usable dimensions much smaller and obstructed. By positioning the proposed reconfigured Rear Deck and Stair towards one corner of the existing Rear Yard, adjacent to the adjacent Building's 3 story blank wall, more light and air will be available for the Rear Yard and Adjacent Neighbors.

#### **PRIORITY GENERAL PLAN POLICIES FINDINGS**

1. Does not apply because we are proposing to Demolish and Reconfigure an existing Stair and Deck in the existing Rear Yard.
2. The existing housing and neighborhood character will be conserved and protected by creating more usable Open Space, a more open rear Yard, and more light and air for adjacent neighbors
3. Does not apply since the Existing Residential Units are. market rate.
4. Does not apply because we are proposing to Demolish and Reconfigure an existing Stair and Deck in the existing Rear Yard.
5. Does not apply because we are proposing to Demolish and Reconfigure an existing Stair and Deck in the existing Rear Yard.

6. The Proposed Project would Structurally Strengthen and Improve the Existing Deck's Structural integrity. The Proposed Project would Improve Life Safety by providing a 1 hour wall at the South Property line and Egress Stairs according to the most current Building Code.
7. The proposed Reconfigured Deck and Stair is at the Rear Yard and will not be visible from the street. The existing Building will not be altered.
8. Does not apply because we are proposing to Demolish and Reconfigure an existing Stair and Deck in the existing Rear Yard.



***EXISTING DECK***



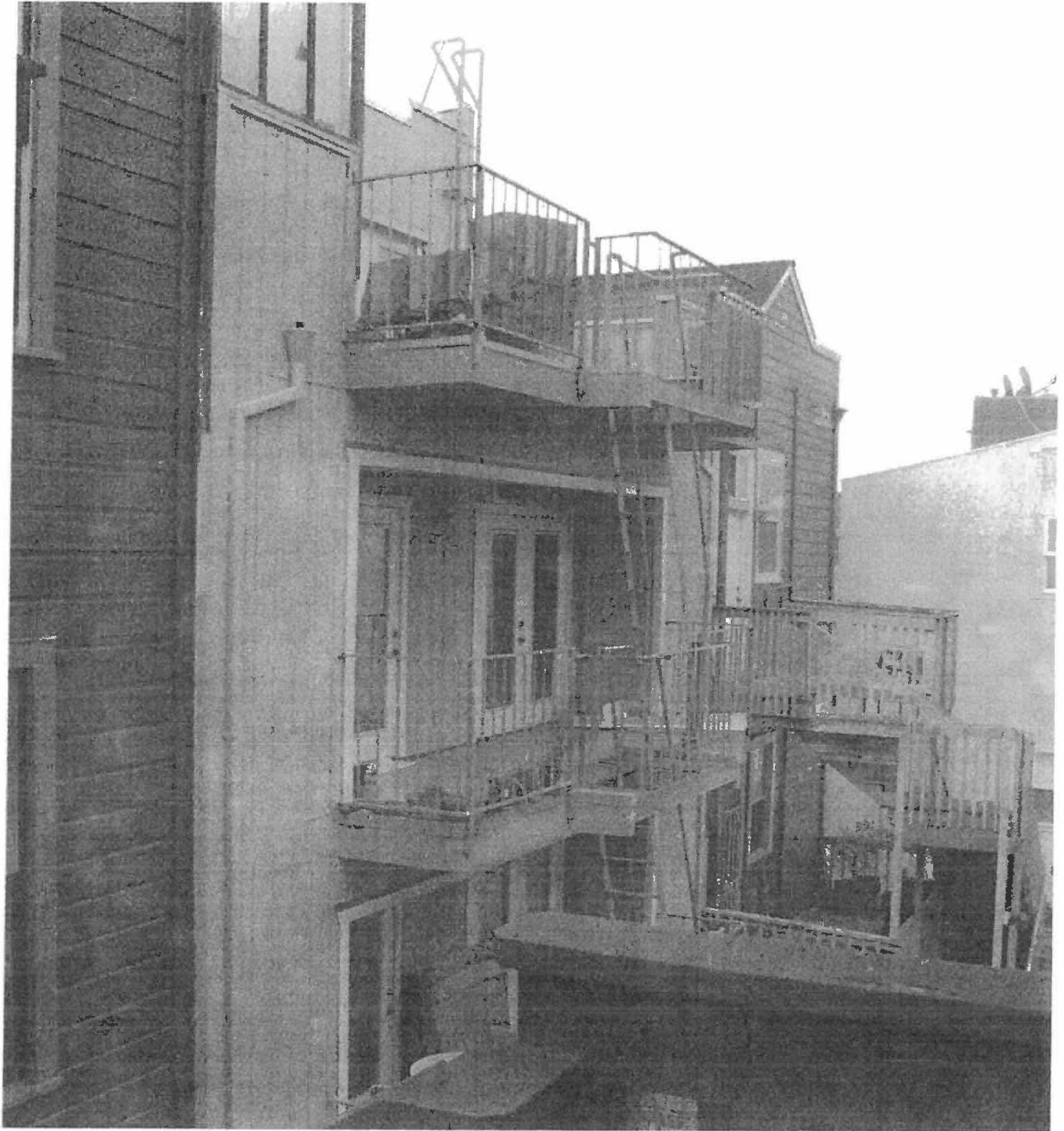
**EXISTING DECK**





***ADJACENT NEIGHBOR  
WITH DIRECT ACCESS TO PRIVATE  
OPEN SPACE  
EXTENDS INTO REAR YARD***

***DECK A***



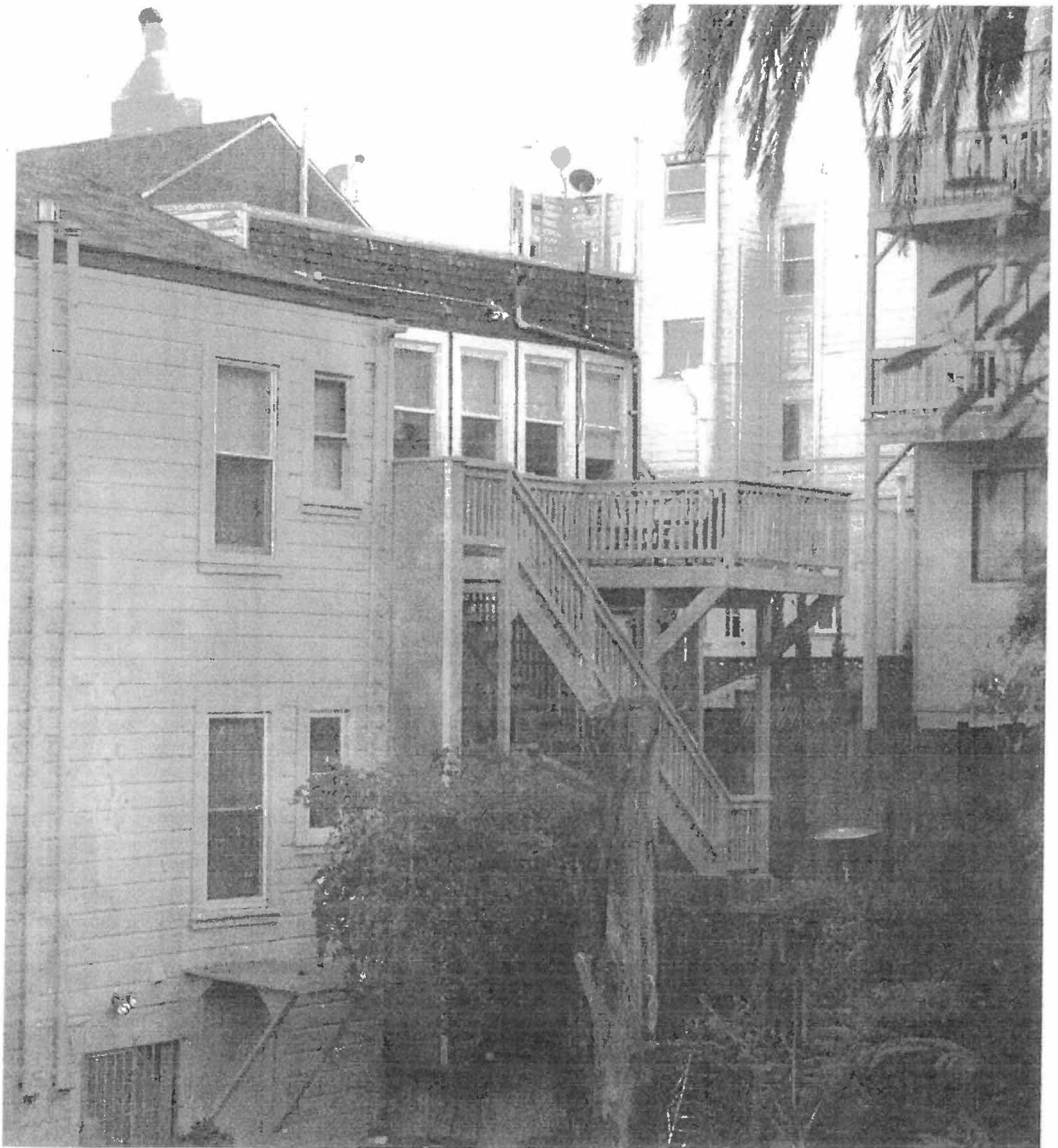
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WITH DIRECT ACCESS TO PRIVATE  
OPEN SPACE  
EXTENDS INTO REAR YARD***

***DECK B***



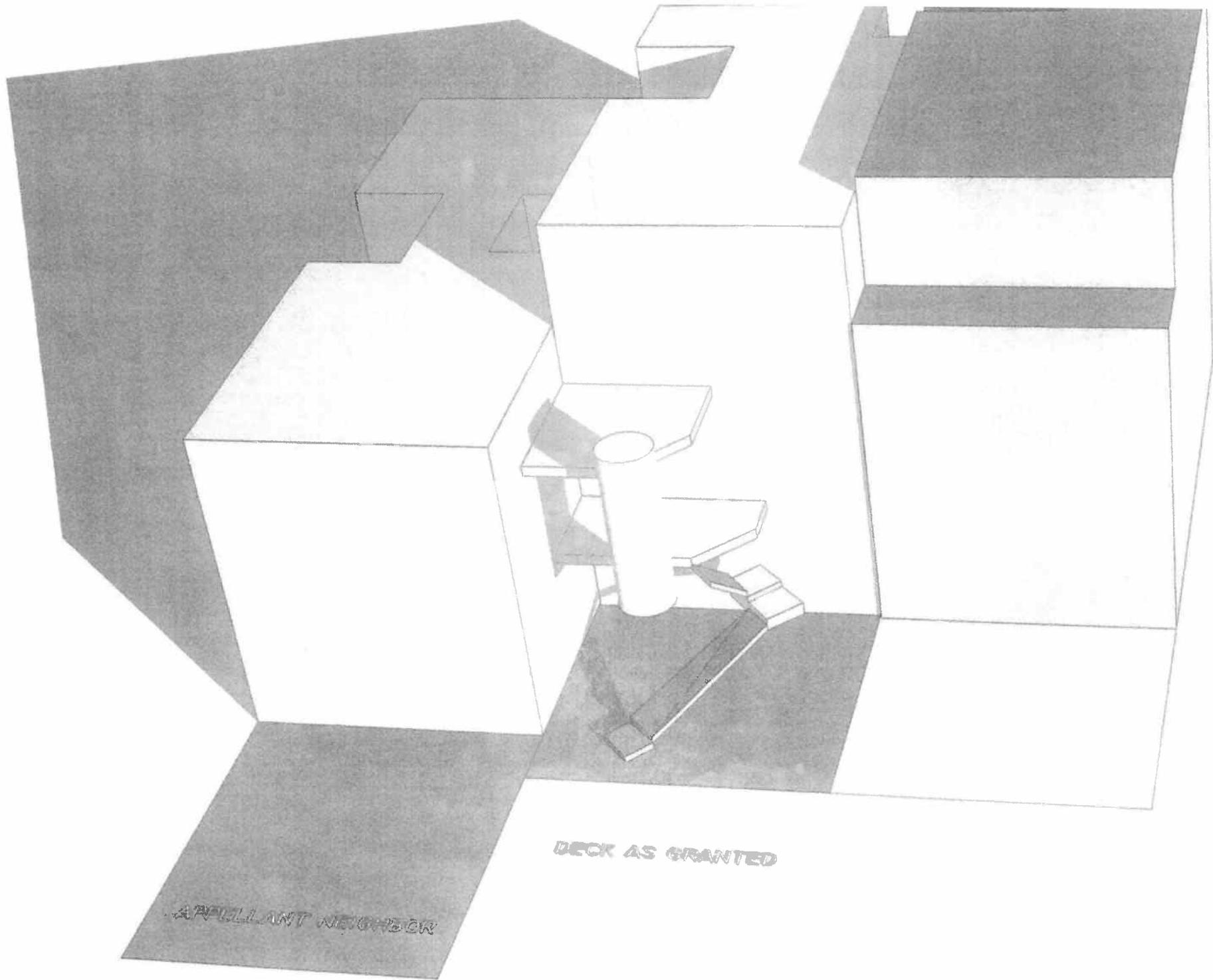
***ADJACENT NEIGHBOR  
WITH DIRECT ACCESS TO PRIVATE OPEN SPACE***

***DECK C***



***ADJACENT NEIGHBOR  
WITH DIRECT ACCESS TO PRIVATE OPEN SPACE  
EXTENDS INTO REAR YARD***

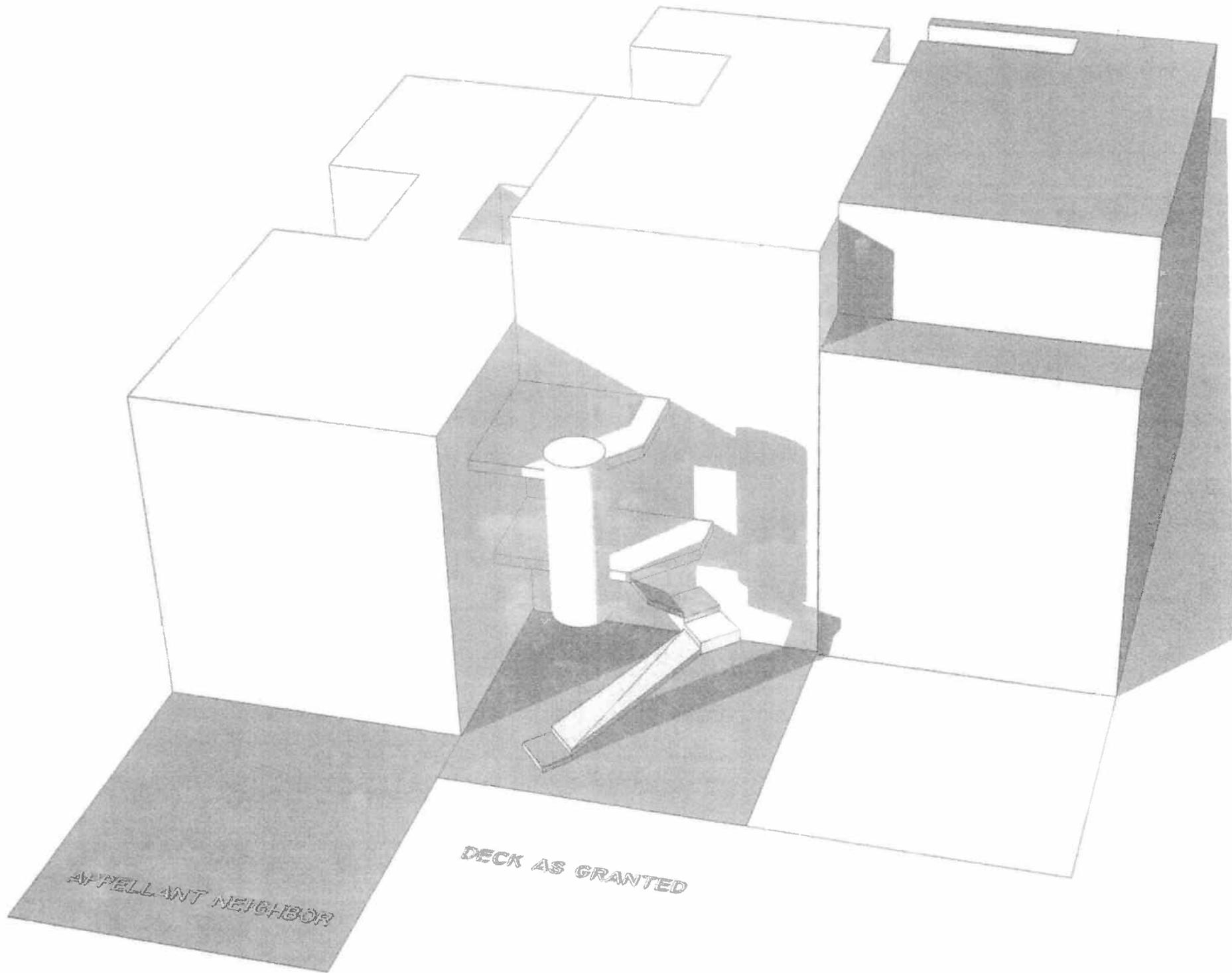
***DECK D***



DECK AS GRANTED

APPELLANT NEIGHBOR

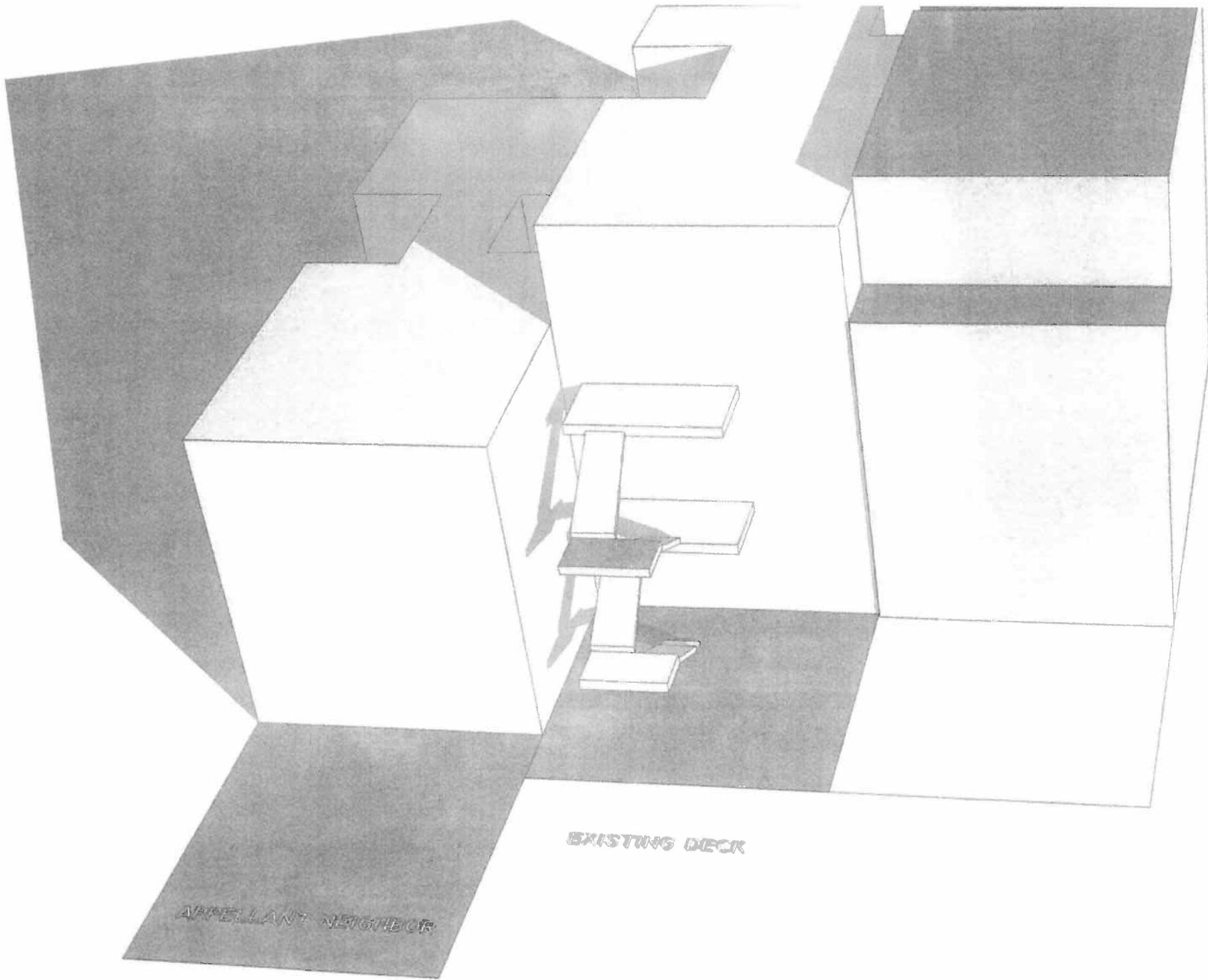
DECEMBER 7, 2000



APPELLANT NEIGHBOR

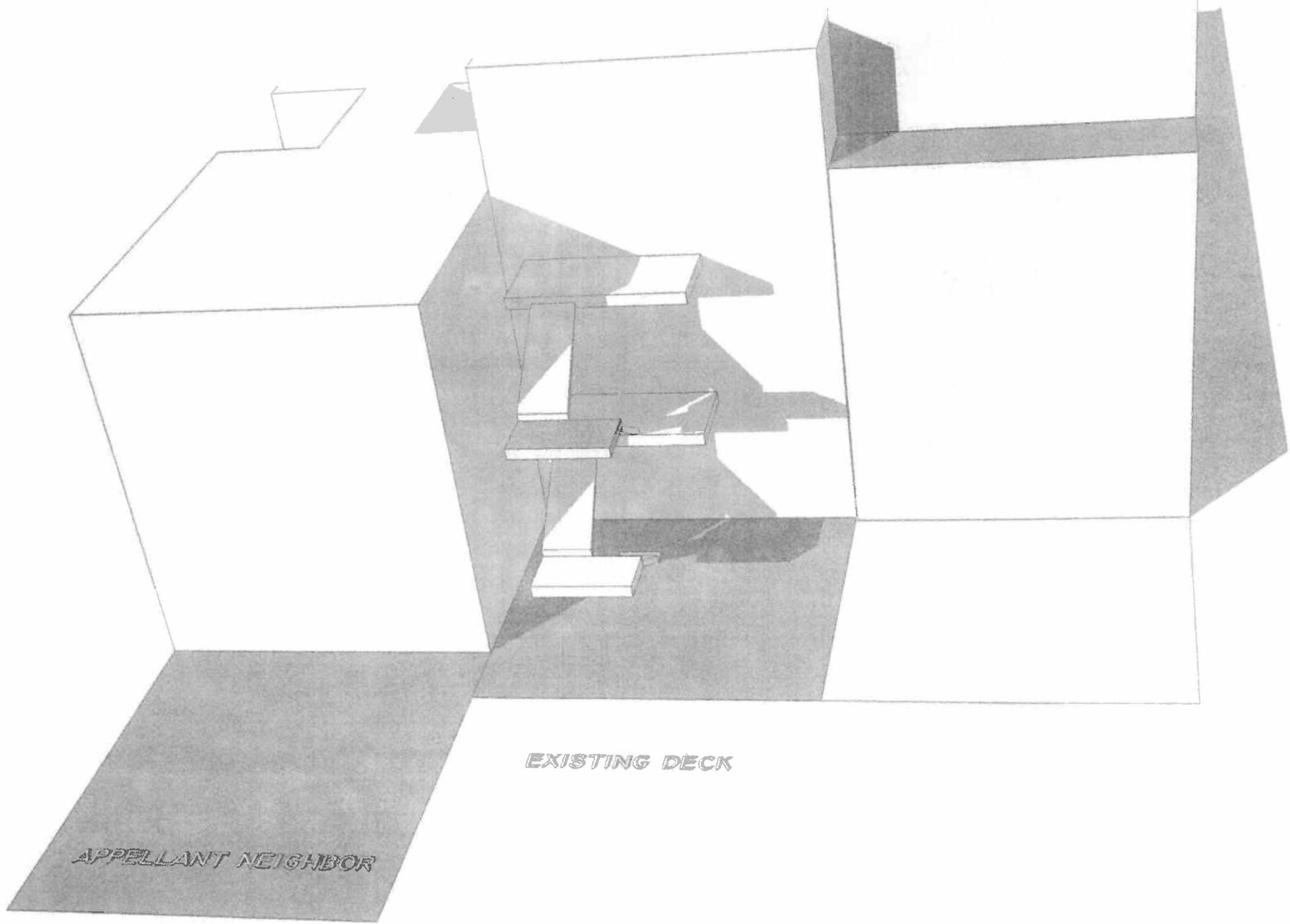
DECK AS GRANTED

DECEMBER, 4:30 PM



EXISTING DECK

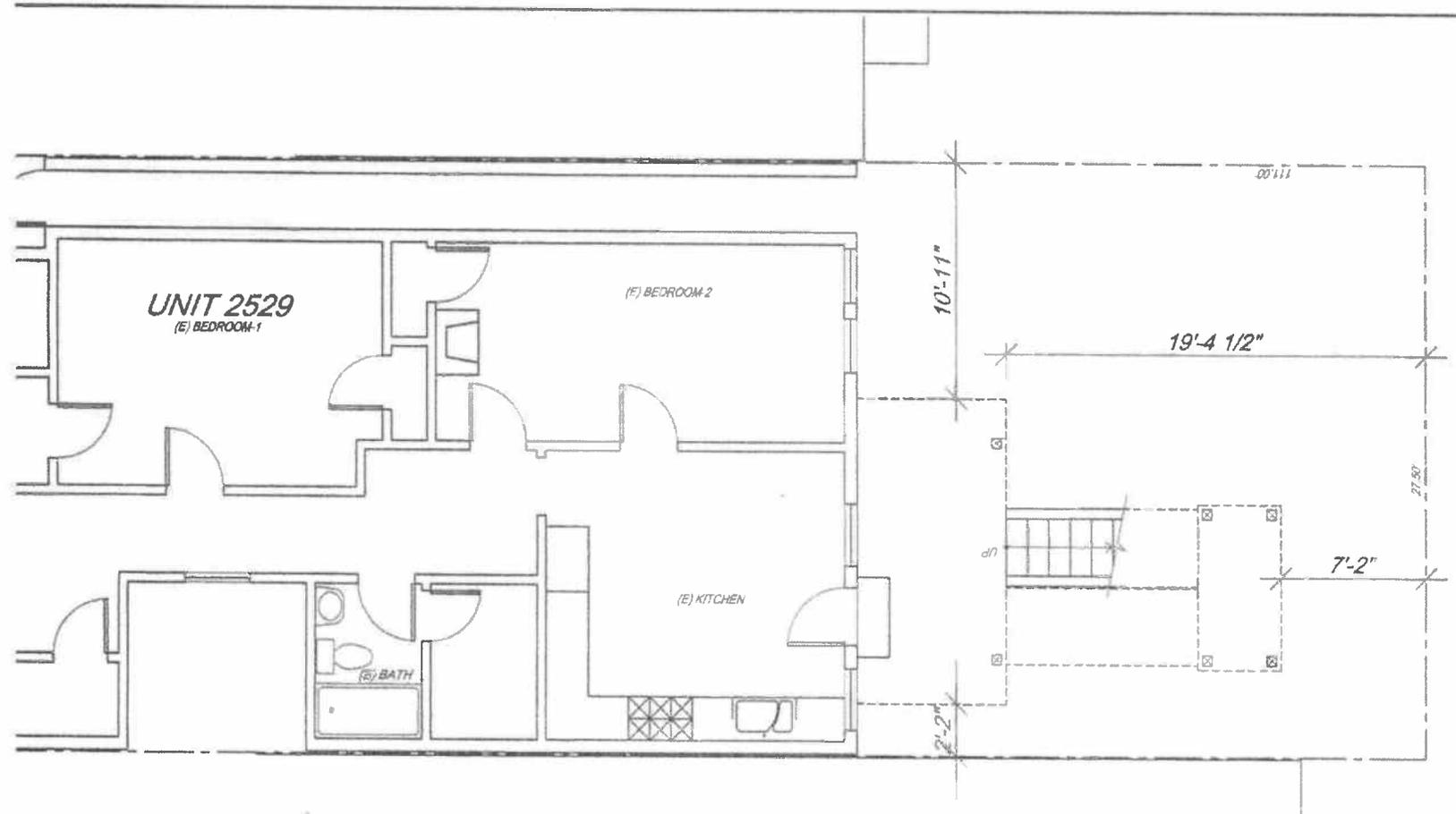
APPELLANT NEIGHBOR



*EXISTING DECK*

*APPELLANT NEIGHBOR*

*DECEMBER, 4:30 PM*



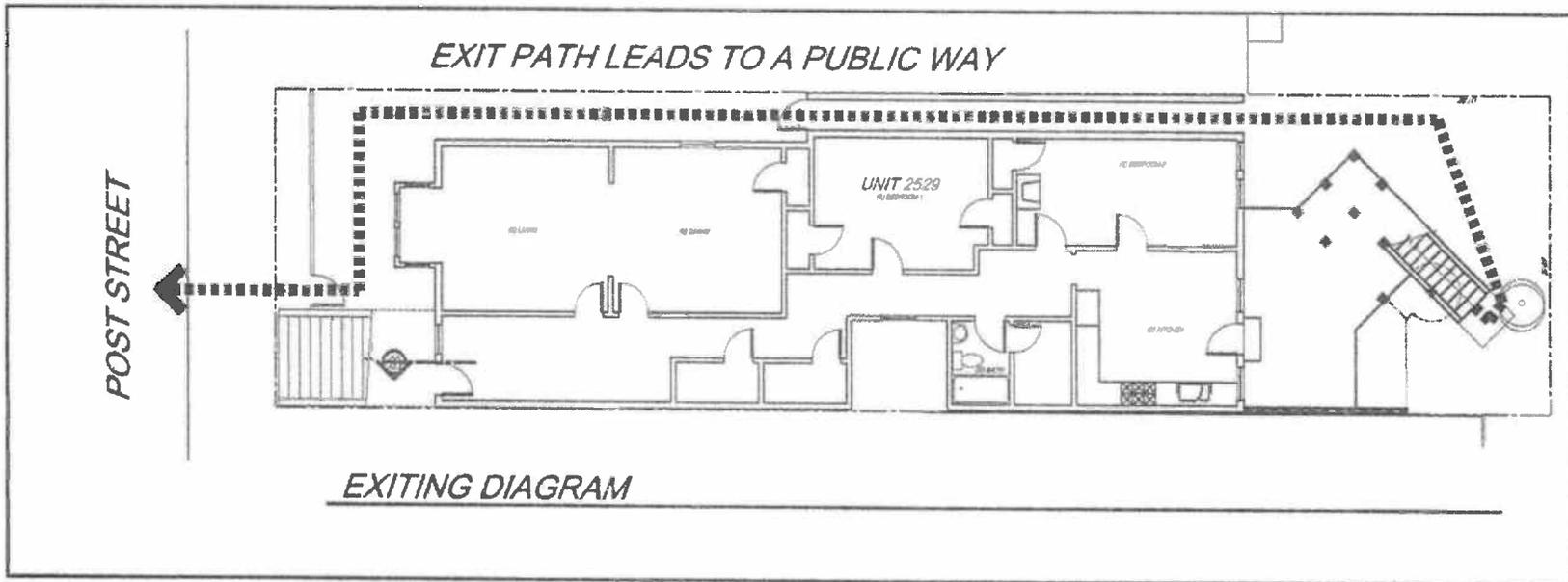
EXISTING GRADE LEVEL REAR DECK

1/4" = 1'-0"

SHEET TITLE:

EXISTING GRADE &  
SECOND LEVEL DECK

**EGRESS HAS  
DIRECT ACCESS  
TO PUBLIC WAY**



ANDREW MORRALL ARCHITECT

1770 WASHINGTON STREET  
SAN FRANCISCO, CA 94118  
PHONE: 415-398-0214

ARCHITECTS FOR THE RESIDENCE OF  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115

SHEET TITLE



**ACCESS TO  
PUBLIC WAY**



**Report of Residential Building Record (3R)**  
(Housing Code Section 351(a))

**BEWARE:** This report describes the current legal use of this property as compiled from records of City Departments. There has been no physical examination of the property itself. This record contains no history of any plumbing or electrical permits. The report makes no representation that the property is in compliance with the law. Any occupancy or use of the property other than that listed as authorized in this report may be illegal and subject to removal or abatement, and should be reviewed with the Planning Department and the Department of Building Inspection. Errors or omissions in this report shall not bind or stop the City from enforcing any and all building and zoning codes against the seller, buyer and any subsequent owner. The preparation or delivery of this report shall not impose any liability on the City for any errors or omissions contained in said report, nor shall the City bear any liability not otherwise imposed by law.

**COPY**

**3R REPORT  
EXPIRED**

Address of Building 2529 POST ST

Block 1081

Lot 049

Other Addresses 2529 -2533 POST ST

1. A. Present authorized Occupancy or use: THREE FAMILY DWELLING
- B. Is this building classified as a residential condominium? Yes  No
- C. Does this building contain any Residential Hotel Guest Rooms as defined in Chap. 41, S.F. Admin. Code? Yes No
2. Zoning district in which located: RH-3
3. Building Code Occupancy Classification: R-2
4. Do Records of the Planning Department reveal an expiration date for any non-conforming use of this property? Yes No   
If Yes, what date? The zoning for this property may have changed. Call Planning Department, (415) 558-6377, for the current status.
5. Building Construction Date (Completed Date): UNKNOWN
6. Original Occupancy or Use: UNKNOWN
7. Construction, conversion or alteration permits issued, if any:

Application #	Permit #	Issue Date	Type of Work Done	Status
→ 266428	238645	Jun 19, 1962	REPAIR STAIRS	C
360310	323531	Aug 23, 1968	REPAIR FIRE DAMAGE	C
→ 8508923	536317	Sep 11, 1985	REPAIR REAR STAIRS	C
8609707	553862	Sep 05, 1986	REPAIR FIRE DAMAGE TO SIDING, WINDOWS, REPLACE SHEETROCK	X
8813044	595291	Aug 31, 1988	NEW KITCHEN CABINETS, REPAIR DAMAGED SHEETROCK & MOULDING	C
→ 8818412	601046	Nov 18, 1988	COMPLY WITH PHYSICAL INSPECTION 3R-REPORT #1535 - CFC 3FD	C
9015235	649241	Aug 01, 1990	RE-ROOFING	X
→ 9019798	654299	Sep 27, 1990	TERMITE CONTROL	C
200109269263	949420	Sep 26, 2001	UNIT# 2529 - REPLACE 4 WINDOWS SIZE FOR SIZE	C

8. A. Is there an active Franchise Tax Board Referral on file? Yes No
- B. Is this property currently under abatement proceedings for code violations? Yes No
9. Number of residential structures on property? 1
10. A. Has an energy inspection been completed? Yes  No B. If yes, has a proof of compliance been issued? Yes  No

**3R REPORT  
EXPIRED**

Address of Building 2529 POST ST

Block 1081

Lot 049

Other Addresses 2529 -2533 POST ST

Date of Issuance: 21 OCT 2011

Date of Expiration: 21 OCT 2012

By: NOREEN MURPHY

Report No: 201110136472

Patty Herrera, Manager, Records Management Division

*Pamela J. Levin*

Pamela J. Levin, Deputy Director  
Department of Building Inspection

THIS REPORT IS VALID FOR ONE YEAR ONLY.

The law requires that, prior to the consummation of the sale or exchange of this property, the seller must deliver this report to the buyer and the buyer must sign it.

(For Explanation of terminology, see attached **COPY**)

BLOC. FORM

No. 23868  
3 APPLICATION OF Albert J. Gadin

FOR PERMIT TO MAKE ADDITIONS, ALTERATIONS or REPAIRS TO BUILDING

Location 2529 TO 2533

Part of 500 - L.P.H. 1/2

Total Cost \$ 3,000

Filed 11/14 1962

APPROVED:

**APPROVED**  
D. L. Public Works  
JUN 18 1962  
W. C. Long  
SUPERINTENDENT  
BUREAU BUILDING INSPECTION

Superintendent, Bureau of Building Inspection

Permit No. 23868

Issued 6-19 1962

REFER TO:

- Bureau of Engineering
- BBI Struct. Engineer
- Boiler Inspector
- Art Commission
- Dept. of Public Health
- Dept. of Electricity
- Redevelopment Agency
- Parking Authority

Approved 6/6 1962

Provided the following conditions are complied with:

- Rebuild rear stairs with 2" material, bottom step of pine under support of masonry.
- Raise top of footing rear section East wall.
- Remove shed in rear yard.
- \* For maintenance only. (see D.P.H. work order)

E. C. Hillman  
Building Inspector, Bureau of Building Inspection

I agree to comply with all conditions or stipulations of the various Bureaus or Departments noted hereon.

Albert J. Gadin  
Owner or Owner's Authorized Agent

6-15-62 - For work stated in  
waterproof bath & toilet floors,  
fire proof passageway

Approved:

Ellis D. Sox  
ELLIS D. SOX  
Department of Public Health

Approved:

Department of Electricity

Approved:

Art Commission

Approved:

Boiler Inspector

Approved:

Redevelopment Agency

Approved:

Parking Authority

No portion of building or structure or scaffolding used during construction to be closer than 6'9" to any wire containing more than 750 volts. See Sec. 385 California Penal Code.

Approved:

Zone \_\_\_\_\_

CFC Sathada  
To expedite the application, the zoning classification has not been checked. Approval is for the work described only and is not to be considered approval of the present or proposed use as stated in the application.

Approved for single family use only  
Approved for maintenance only

JUN 7 1962 Neil Nielsen  
Department of City Planning

Stam Stipulation  
Approved: Building Inspector

APPROVAL OF THIS APPLICATION AND ISSUANCE OF THE PERMIT APPLIES TO THE SPECIFIED WORK ON Y AND DOES NOT CONSTITUTE AN APPROVAL OF THE ENTIRE BUILDING.

J. B. Driscoll 6-8-62  
Bureau of Fire Prevention & Public Safety

Approved:

Civil Engineer, Bureau of Building Inspection

Approved:

Bureau of Engineering

OFFICIAL COPY



CENTRAL PERMIT BUREAU 341

Write in Ink—File Two Copies

CITY AND COUNTY OF SAN FRANCISCO

DEPARTMENT OF PUBLIC WORKS  
BLDG. FORM

CENTRAL PERMIT BUREAU

APPLICATION FOR BUILDING PERMIT  
ADDITIONS, ALTERATIONS OR REPAIRS

3

Application is hereby made to the Department of Public Works of San Francisco for permission to build in accordance with the plans and specifications submitted herewith and according to the description and for the purpose hereinafter set forth:

- (1) Location 2589-31-33 West Street
- (2) Total Cost (\$) 2500 (3) No. of Stories 3 (4) Basement or Cellar —
- (5) Present Use of building 3 story hotel (6) No. of families 3
- (7) Proposed Use of building 3 story hotel (8) No. of families 3
- (9) Type of construction wood frame (10) Proposed Building Code Classification 1, 2, 3, 4, or 5
- (11) Any other building on lot no (must be shown on plot plan if answer is yes.)
- (12) Does this alteration create an additional story to the building? no
- (13) Does this alteration create a horizontal extension to the building? no
- (14) Does this alteration constitute a change of occupancy no
- (15) Electrical work to be performed no (16) Plumbing work to be performed no
- (17) Automobile runway to be altered or installed no
- (18) Sidewalk over sub-sidewalk space to be repaired or altered no

(19) Write in description of all work to be performed under this application:  
(Reference to plans is not sufficient)  
Repairing stairs as requested by the Health Dept. (Mr. C. G. ...)

- (20) Supervision of construction by unknown Address —
- (21) General Contractor — California License No. —  
Address —
- (22) Architect or Engineer (for design) — California Certificate No. —  
Address —
- (23) Architect or Engineer (for construction) — California Certificate No. —  
Address —

(24) I hereby certify and agree that if a permit is issued for the construction described in this application, all the provisions of the permit and all laws and ordinances applicable thereto will be complied with. I further agree to save San Francisco and its officials and employees harmless from all costs and damages which may accrue from use or occupancy of the sidewalk, street or sub-sidewalk space or from anything else in connection with the work included in this permit. The foregoing covenant shall be binding upon the owner of said property, the applicant, their heirs, successors and assigns.

- (25) Owner A. M. ... (Phone. 1 x 9716)  
Address 3836 ...  
By A. M. ... Address 3836 ...

Owner's Authorized Agent to be Owner's Authorized Architect, Engineer or General Contractor.  
CERTIFICATE OF FINAL COMPLETION AND/OR PERMIT OF OCCUPANCY MUST BE OBTAINED ON COMPLETION OF WORK OR ALTERATION INVOLVING AN ENLARGEMENT OF THE BUILDING OR A CHANGE OF OCCUPANCY PURSUANT TO SEC. 808 AND 809, SAN FRANCISCO BUILDING CODE, BEFORE BUILDING IS OCCUPIED.

Pursuant to Sec. 304, San Francisco Building Code, the building permit shall be posted on job. Owner is responsible for approved plans and application being kept at building site.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATION. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED.

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

CONTRACT DISTRICT INSPECTOR NAMED ON FACE OF APPLICATION AT START OF WORK (TELEPHONE NO. 558-8015) THE APPLICATION IS APPROVED WITHOUT SITE INSPECTION. THIS DOES NOT CONSTITUTE AN APPROVAL OF THE BUILDING WORK AUTHORIZED MUST BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODE.

P. Redmond

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

FORM 8 OTHER AGENCIES REVIEW REQUIRED FORM 8 OVER-THE-COUNTER ISSUANCE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF PUBLIC WORKS OF THE CITY AND COUNTY OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

NUMBER OF PLAN SETS 8-1-89

APPLICATION NUMBER 0818412

ISSUE APPROVAL NOTED APPROVAL NUMBER

PERMIT NO. 11-18-88, ROAD RECEIPT NO., STREET ADDRESS OF JOB 4529 1/2 531 Post St., BLOCK & LOT 1081-34, PERMIT NO. 601046, ISSUED 11-18-88, ESTIMATE COST OF JOB 2700.00, REVISED COST, DATE

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

(1) TYPE OF CONSTRUCTION SN, (2) NO. OF STORIES OF OCCUPANCY 5, (3) NO. OF ELEVATORS AND CHLARS 0, (4) PROPOSED USE Residential, (5) OCCUP. CLASS R1, (6) NO. OF BUILDING UNITS 3, (7) TYPE OF CONSTRUCTION SN, (8) NO. OF STORIES OF OCCUPANCY 3, (9) NO. OF ELEVATORS AND CHLARS 0, (10) PROPOSED USE Residential, (11) OCCUP. CLASS R1, (12) NO. OF DWELING UNITS 3

(13) IS ABOVE BUILDING TO BE CONSTRUCTED OR ALTERED YES, (14) GENERAL CONTRACTOR Frank Ferguson Const. 3315 Argonaut St. 376-9731 9/89, (15) CONTRACTOR'S ADDRESS 3533 Post St. S.F. Ca. 94115, (16) PHONE FOR CONTRACT IN BUREAU 921-7536

(17) PERMITS IN CONNECTION WITH THIS APPLICATION (SEE INSTRUCTIONS) Permit to Comply with 30 Report #1535 Condominium Conversion

ADDITIONAL INFORMATION - FORM 3 APPLICANTS ONLY

(18) DOES THIS ALTERATION CREATE ADDITIONAL EXITS TO BUILDING NO, (19) WILL BEING DONE SUBSEQUENT SPACE BE REPAIRED OR ALTERED YES, (20) ARCHITECT'S OR ENGINEER'S DESIGNATION ARCHITECT, (21) DOES THIS ALTERATION CREATE ADDITIONAL EXITS TO BUILDING NO, (22) ANY EXISTING BLDG ON SITE IS FTL. SHOWN ON FLOOR PLANS NO, (23) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY NO, (24) CASP, CERTIFICATE NO.

IMPORTANT NOTICES: No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Planning Code. My portion of building or structure or remodeling work during construction, to be done under "A" in any case containing more than 750 volts. See Sec. 333, California Penal Code. Permitted to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site. Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, sets and file together with complete details of retaining walls and wall footings required must be submitted to this bureau for approval. ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEARED. BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED. APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WORKS OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WORK AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (20) or (24). THIS IS NOT A BUILDING PERMIT, NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED. In drawings of building materials shall have a glossiness of not less than two inches from all electrical wires or equipment. CHECK APPLICANT'S BOX: OWNER, ARCHITECT, ENGINEER, LICENSED, AGENT WITH POWER OF ATTORNEY, CONTRACTOR, ATTORNEY IN FACT.

NOTICE TO APPLICANT: HOLD HARMLESS CLAUSE: The Permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to defend the defense of the City and County of San Francisco against all such claims, demands and actions. In conformity with the provisions of Section 2800 of the Labor Code of the State of California, the applicant shall have on file, or file with the Central Permit Bureau, either Certificate (I) or (II) or (III) designated below or shall indicate item (IV) or (V) or (VI) below, whichever is applicable. If however, item (VI) is checked then item (V) must be checked as well. Mark the appropriate method of compliance below: I. Certificate of Consent to Self-insure issued by the Director of Industrial Relations. II. Certificate of Workmen's Compensation Insurance issued by an admitted insurer. III. An exact copy or duplicate of (I) certified by the Director or (II) certified by the insurer. IV. The cost of the work to be performed is \$100 or less. V. I certify that the performance of the work for which this Permit is issued, I shall not employ any person in any manner so as to become subject to the workmen's compensation laws of California. I further acknowledge that I understand, in the event that I should become subject to the workmen's compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 2800 of the Labor Code, that the Permit herein applied for shall be deemed revoked. VI. I certify as the owner (or the agent of the owner) that in the performance of the work for which this Permit is issued, I will employ a contractor who complies with the workmen's compensation laws of California and who has on file, or files with the Central Permit Bureau evidence that workmen's compensation insurance is carried.

Applicant's Signature: Glen J. ... Date: 11/18/88





CONDITIONS AND STIPULATIONS

REFER TO <input type="checkbox"/> APPROVED:  <input type="checkbox"/> APPROVED:  <input type="checkbox"/> APPROVED:  <input type="checkbox"/> APPROVED:  <input type="checkbox"/> APPROVED:  <input type="checkbox"/> APPROVED:  <input type="checkbox"/> APPROVED:	BUILDING INSPECTOR, BUR. OF BLDG. INSP.	DATE: _____ REASON: _____  NOTIFIED MR. _____
	DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____  NOTIFIED MR. _____
	BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____  NOTIFIED MR. _____
	CIVIL ENGINEER, BUR. OF BLDG. INSPECTION	DATE: _____ REASON: _____  NOTIFIED MR. _____
	BUREAU OF ENGINEERING	DATE: _____ REASON: _____  NOTIFIED MR. _____
	DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____  NOTIFIED MR. _____
	REDEVELOPMENT AGENCY	DATE: _____ REASON: _____  NOTIFIED MR. _____
	HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____  NOTIFIED MR. _____

HOLD SECTION — NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and admitted statements of conditions or stipulations which are hereby made a part of this application.

Number of attachments  \_\_\_\_\_ OWNER'S AUTHORIZED AGENT \_\_\_\_\_

OFFICIAL COPY



LINGRUEN ASSOCIATES  
TERMITE AND DRY ROT CONTROL

TELEPHONE 822-2324 1555 YOSEMITE #5A SAN FRANCISCO, CA. 94124

PCVD  
8-2  
START  
8-27

STRUCTURAL PEST CONTROL WORK AUTHORIZATION CONTRACT

REPORT NUMBER 23004 DATE 4-3-90 Price quotation valid for

Per Phone Call  
David Bier  
7-30-90

PROPERTY ADDRESS 2529-33 Post, San Francisco The undersigned hereby authorizes Lingruen Associates to perform chemical application and repair services recommended below.

1A & 1B	\$	200.00	TOTAL PAYMENT DUE	\$13,400.00
3A - 3A3		11,000.00 - 13,000.00	DOWN PAYMENT	\$2,000.00
4A		200.00	DUE UPON COMPLETION	\$11,400.00

(Until full payment is received, same shall be a lien upon above described property.)

The prices agreed herein includes all labor, materials, transportation and permits. All employees are fully covered by Workmen's Compensation Insurance. All operations are fully covered by Public Liability Insurance. Repairs and chemical treatment performed by Lingruen Associates is guaranteed for one year from date of completion. No guarantees are given on secondary substandard repairs or chemical treatment.

In the event suit is brought to collect any sums due to Lingruen Associates pursuant to this agreement, the undersigned further promises to pay Lingruen Associates a reasonable attorney's fee in the amount to be fixed by the court, as well as court costs.

In the event payment in full is not made within 15 days after completion of work, a late charge of 1% of the unpaid balance or prevailing legal amount may be added. A charge of 10% of contract price will be made in case of cancellation.

Notice: Under the Mechanics Lien Law California Code of Civil Procedures, Section 1181, et. seq., any Contractor, subcontractor, laborer, supplier or other person who helps to improve your property, but is not paid for his work or supplies, has a right to enforce a claim against your property. This means that, after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your own contractor in full, if the subcontractor, laborer, or supplies remains unpaid.

If money for the above listed charges is held in escrow, the undersigned authorizes release of said funds upon receipt of notice of completion by the escrow company.

As a precaution we recommend all pictures and delicate objects on interior walls when we are working on adjoining exterior walls be removed during the course of repairs as Lingruen Associates cannot guarantee responsibility for breakage.

I HAVE RECEIVED AND READ CHEMICAL INFORMATION NOTICE.

TO AUTHORIZE WORK, PLEASE SIGN AND RETURN ONE COPY.

Signature Joseph Stokola Phone # 921-7536 Date 7-31-90  
 Name JOSEPH STOKOLAE Address 2533 Post City SAN FRANCISCO  
 Title Co. (if any) 7280-983-2 SN Address 182 L Sacramento St  
 Escrow # X Founders Title Close of Escrow 9-15-90  
 Person to contact for access to property Joseph Stokola  
 Address \_\_\_\_\_ Home phone \_\_\_\_\_ Work phone \_\_\_\_\_

This contract shall not be binding upon Lingruen Associates until accepted by its home office.

Accepted by David Bier 8-  
 Please return copy of this form to my company's head office  
 Per Phone Consultation to David Bier 7-31-90  
 Work shall commence on Monday August 27th  
 if weather permits this date 8-27-90 and complete in  
 2 weeks by Sept. 10, 1990. all money for the work  
 \$13,400.00 will be paid by the Escrow account.

OFFICIAL COPY



WOOD DESTROYING PESTS OR ORGANISMS
This is an inspection report only - not a Notice of Completion.

Form with fields for ADDRESS OF PROPERTY INSPECTED, DATE OF INSPECTION, FIRM NAME AND ADDRESS, and LICENSE NO.

Affix stamp here on Board copy only
A LICENSED PEST CONTROL OPERATOR IS AN EXPERT IN HIS FIELD. ANY QUESTIONS RELATIVE TO THIS REPORT SHOULD BE REFERRED TO HIM

Inspection Ordered by (Name and Address) Frank Sears, Vincent, Frifa & Co., Report Sent to (Name and Address) Same as above

Table with columns YES, CODE, SEE DIAGRAM BELOW for various wood conditions like Subterranean Termites, Dry Wood Termites, etc.

- 1. SUBSTRUCTURE AREA (soil conditions, accessibility, etc.) Dry soil - see 1A and 1B
2. Was Stall Shower water tested? None
3. FOUNDATIONS (Type, Relation to Grade, etc.) Brick - see 3A - 3A3
4. PORCHES, STEPS, PATIOS Wood - see 4A and 4B
5. VENTILATION (Amount, Relation to Grade, etc.) Appears adequate
6. ABUTMENTS (Stucco walls, columns, arches, etc.) None
7. ATTIC SPACES (Accessibility, Insulation, etc.) Not Inspected
8. GARAGES (Type, accessibility, etc.) None
9. OTHER See below

DIAGRAM AND EXPLANATION OF FINDINGS (This report is limited to structure or structures shown on diagram)

General Description Three story three unit building with wood exterior, crawl space below, no garage
Inspection Tag Posted (location) beneath front stairs

THIS REPORT IS A VISUAL INSPECTION OF AREAS OF THE STRUCTURE OR PORTION THEREOF, WOOD DESTROYING ORGANISMS... THE FOLLOWING ARE AS ARE CONSIDERED SUCCESSFUL FOR INSPECTION AND FURTHER INSPECTION IS NOT CONSIDERED NECESSARY...

ITEM 1 SUBSTRUCTURE
1A. Wood debris is scattered throughout the substructure and has soil contacts and fungus damage and/or evidence of infestation by subterranean termites. We recommend removal of all wood debris rakesize size or larger.
1B. Wood blocks supporting gas/water pipes have soil contacts. We recommend masonry be installed beneath wood blocks to elevate above soil.
ITEM 3 FOUNDATIONS
3A - 3A3. Faulty grades are present at front and rear walls indicated 3A. Damage by fungus is present in the right rear corner and along front walls at 3A1 and 3A3. Evidence of previous infestation by subterranean termites is present along right walls at 3A2 and 3A3. Repairs have been performed by others beneath bathroom, kitchen, and adjacent to livable areas at the lower unit. Fungus damage remains in framing.

We recommend the following: Installing elevated concrete footings and/or elevated curb wall along front and rear at 3A, cutting out and replacing damaged wood from below and resupporting joist as necessary at 3A1 and resupporting the front girder at 3A3. Since repairs have been performed at 3A2 and damage remaining is minimal we recommend a secondary program of local chemical application only in that area. Our bid includes one coat of prime paint over new exterior wood only and repainting disturbed concrete slab to match the existing to the best of our ability. It is important that the homeowner check roofing/flashings between the structures particularly at the right rear area as neighboring footings are above wood framing of the structure and moisture intrusion between the buildings will cause damage in the future. That service is not included with our bid. Other mud sills atop brick footings have stains however there were no other indicators of infestation. Brick appears sound at this time. Any questions regarding brick footings should be

Inspected by Dave G. Filer License No. RC12114 Signature [Handwritten]

FOR AND ENTITLED TO OBTAIN COPIES OF ALL REPORTS AND COMPLETION NOTICES ON THIS PROPERTY FILED WITH THE BOARD DURING THE PREVIOUS...



SECOND PAGE OF THE STANDARD INSPECTION REPORT ON THE PROPERTY LOCATED AT:  
2529-33 POST STREET/SAN FRANCISCO/STAMPA2956175P/CD.REPORT#23004/DATE OF INSPECTION: 4-3-90

directed to a structural engineer.

ITEM 4 PORCHES, STEPS AND PATIOS

4A. Faulty grades, fungus damage, and damage by termites is present at the base of the rear stair well and post base. We recommend installing concrete to eliminate the damaged wood. Other partition bases at the front stairs are in direct contact with concrete. The standard recommendation is to install footings in these areas, however damage exists at the rear well only. Periodic reinspection is recommended. Stairs are present through the stairs and beneath the roof covering above the stairs. We recommend a painting contractor be contacted to maintain stair areas and a roofing contractor should be contacted to inspect all roof areas.

4B. The base of the rear stairs is imbedded in concrete. We recommend the installation of a concrete bottom step, however since no damage is present no bid has been submitted. Periodic reinspection is recommended.

ITEM 9 OTHER

9A. There is evidence of leakage through the meter box covering. The covering should either be painted or roofed over. Please contact a separate contractor in that regard.

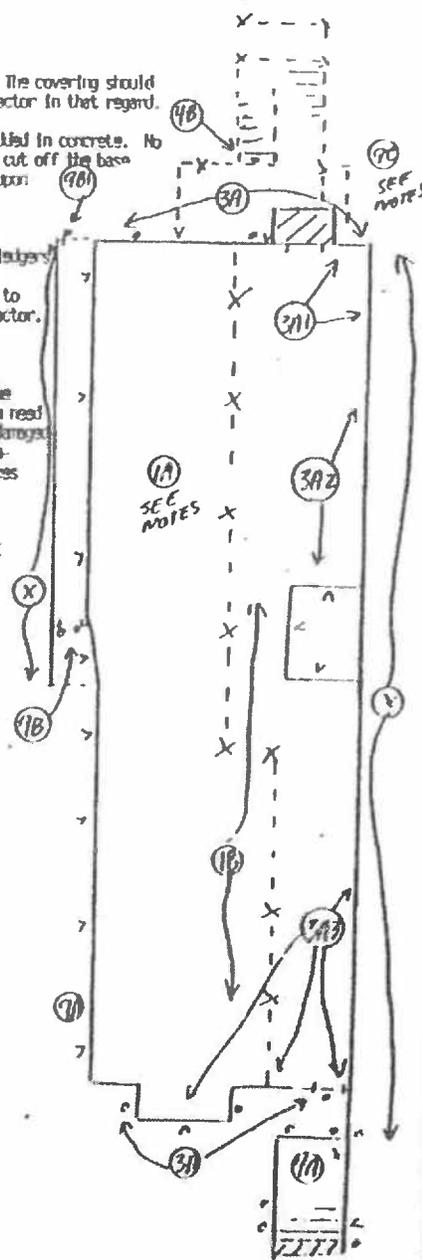
9B. & 9B1. Door jamb and trim bases indicated 9B and 9B1 are imbedded in concrete. No damage is present at this time. The standard recommendation is to cut off the base of the jambs and pack voids with mortar. A bid will be submitted upon request.

9C. Voids are present in siding and right rear corner trim at the rear of the structure. There is evidence of leakage through deck ledgers onto window frames. All areas should be kept properly painted and sealed and flashing of corner trim and deck areas may be necessary to prevent future leakage. We refer this service to a painting contractor.

GENERAL NOTES

Windows are braced in the top unit. At least one at the rear of the structure is fungus damaged and several others are weathered and in need of maintenance. The standard recommendation is to replace fungus damaged windows and maintain others. We refer this service to a window contractor. No bid has been submitted in this regard. Plaster surfaces in the upper unit have cracks. We refer maintenance to a painter/plastering contractor.

THIS INSPECTION IS SPECIFICALLY LIMITED TO THE COMMON AREAS AND THE UPPER UNIT ONLY AS REQUESTED BY FRANK SEARS.



SAN FRANCISCO  
 DEPARTMENT OF  
 BUILDING INSPECTION

ADDRESS OF JOB		BLOCK/LOT		APPLICATION NO	
2529	POST ST	1081	/034	9019798	
OWNER NAME				TELEPHONE	
JOSEPH STOUKDALE				921-7536	
ESTIMATED COST	FILE DATE	DISPOSITION	DISPOSITION DATE	PERMIT NO	EXPIRE DATE
\$13,400	9/27/90	ISSUED	09/27/90	654299	03/27/91
FORM CONST. TYPE	OCCUPANCY CODES	PLANS	STORIES	UNITS	DISTRICT
8 5	R-1	0	3	3	BID-INSP 16
CONTACT NAME				TELEPHONE	
LINGRUEN ASSOCIATES				822-2324	
STANDARD DESCRIPTION BLDG USE			OTHER DESCRIPTION		
APARTMENTS			REPAIR TERMITE.		
SPECIAL INSPECTIONS?	NO	FIRE ZONE	NO	COMPLIANCE WITH REPORTS	
SPECIAL USE DISTRICT		TYP	NO		
		PENALTY	NO		
NOTES					
PERMIT INSPECTION RECORD DEPARTMENT OF PUBLIC WORKS CITY AND COUNTY OF SAN FRANCISCO BUILDING INSPECTION JOB CARD					
9003-15					



863-5731

TO: OWNER OF 2531

FROM: ALICE CAM

2539 POST. ST

April 6, 2011

**To the owners 2529 - 2533 Post Street:**

I received a phone message at 6:14 PM today from Chris requesting my permission for your painters to access my roof at 2539 Post Street tomorrow for their work on your building .

This is an extreme short notice for me to consider such a request.

Being a good neighbor, I am willing to cooperate with you exceptionally this time subject to the below condition:

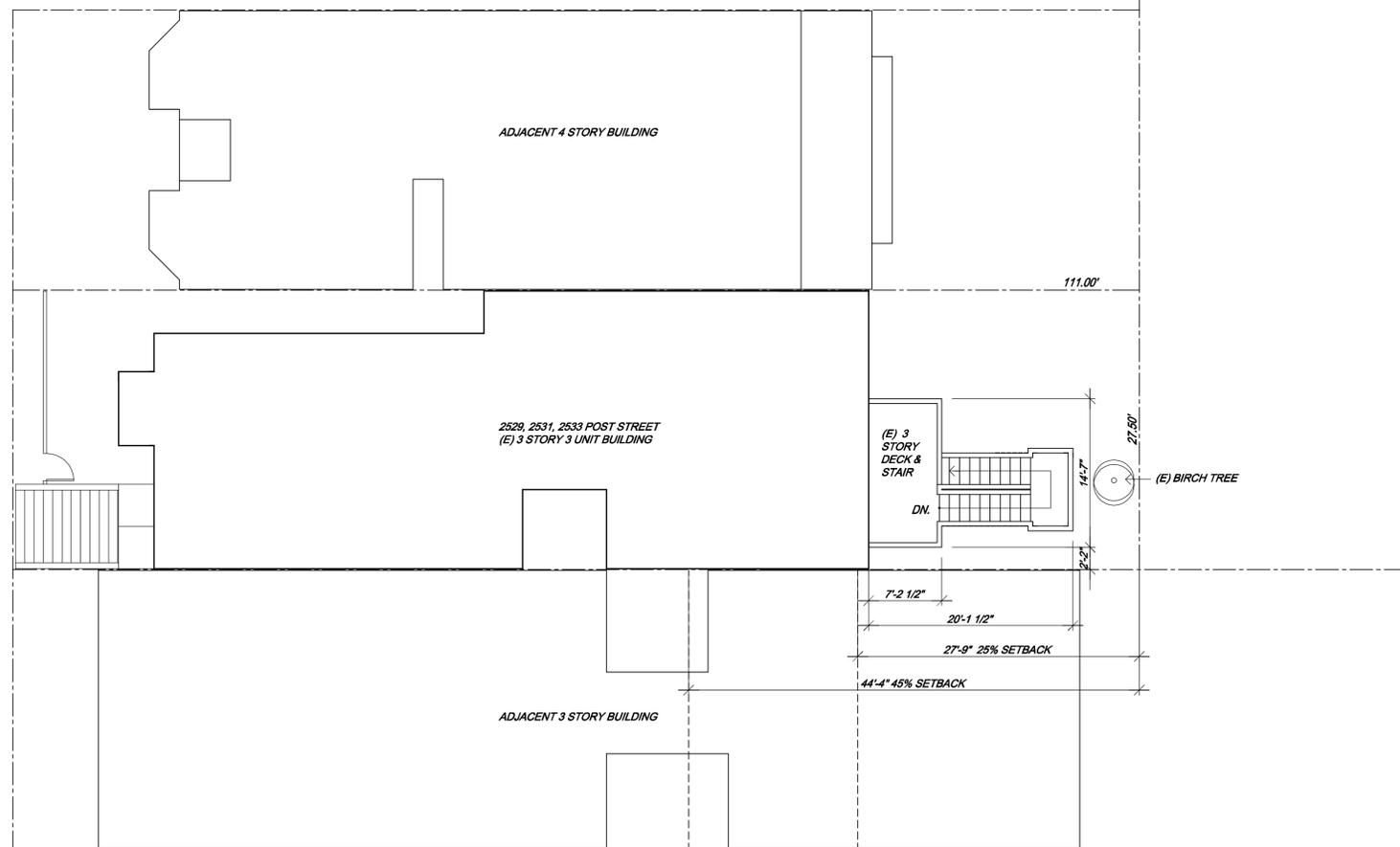
1. Name , address and contractor license number of your painters
2. Written proof of liability insurance
3. Written proof of workmen compensation insurance.
4. what is the procedure for the painter to protect my roof
5. make sure the painter to clean up after the work is done.

Please provide the requested information in written confirmation delivery to my property tomorrow morning with a follow up phone call to me

Highly appreciate for your cooperation.

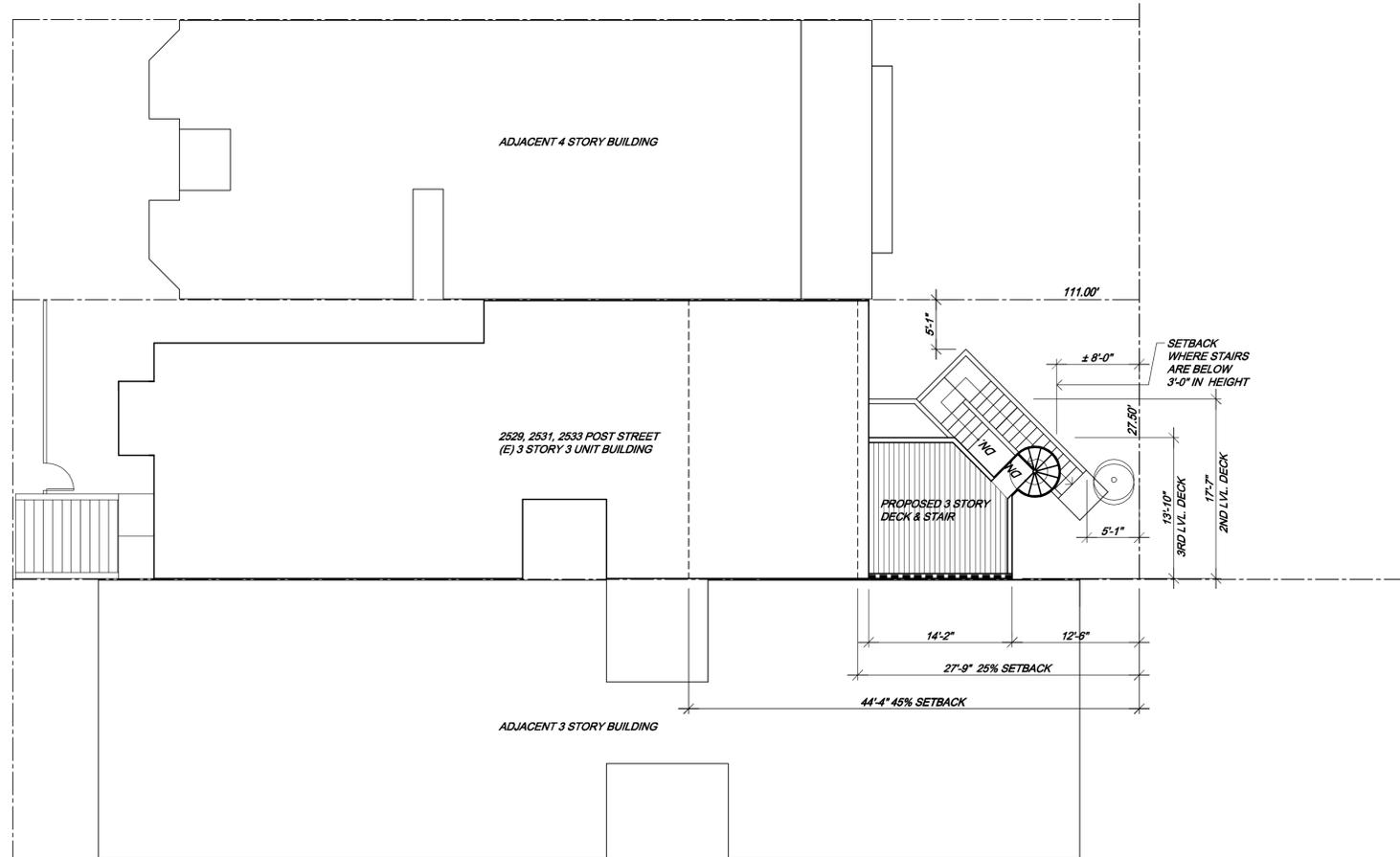
Best regards,

Alice Lam  
Owner of 2539 Post Street



**EXISTING REAR DECK SITE PLAN**

1/8" = 1'-0"



**PROPOSED REAR DECK SITE PLAN**

1/8" = 1'-0"

**PROJECT DATA**

ALL WORK HEREIN SHALL BE ACCORDING TO THE MOST CURRENT CODES, THE 2010 CALIFORNIA BUILDING CODE, ELECTRICAL CODE, PLUMBING CODE, AND MECHANICAL CODE.

PROJECT ADDRESS: 2529, 2531, 2533 POST STREET

ZONING: RH3

BLOCK / LOT NO: 1081/049 - 051

OCCUPANCY TYPE: R2

BUILDING TYPE: V-A

EXISTING SQ. FT.: NA

REVISED SQ. FT.: NA

DESCRIPTION OF PROJECT:  
DEMOLISH EXISTING DILAPIDATED DECK AND STAIR. REPLACE WITH NEW, CODE COMPLIANT DECK AND STAIR.

OWNER CONTACT:

KEVIN WEIL  
2531 POST STREET  
SAN FRANCISCO CA. 94115  
415-351-1856

ARCHITECT:

ANDREW MORRALL  
2730 MISSION STREET  
SAN FRANCISCO CA. 94110  
415-282-0616

**ANDREW MORRALL ARCHITECT**

www.andrewmorrallarchitect.com

2730 MISSION STREET  
SAN FRANCISCO CA. 94110  
PHONE: 415-282-0616

IMPROVEMENTS FOR THE RESIDENCE OF:

**2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115**

**SHEET INDEX**

- A-0.1 PROPOSED & EXISTING SITE PLANS
- A-1.1 PROPOSED GRADE LEVEL & SECOND LEVEL REAR DECK PLANS
- A-1.2 PROPOSED THIRD LEVEL REAR DECK PLAN
- A-2.1 PROPOSED REAR DECK ELEVATIONS
- A-2.2 PROPOSED REAR DECK ELEVATIONS AND SECTION
- A-3.1 EXISTING GRADE LEVEL & SECOND LEVEL REAR DECK PLANS
- A-3.2 EXISTING THIRD LEVEL REAR DECK PLANS & EXISTING REAR DECK ELEVATION
- A-3.3 EXISTING REAR DECK ELEVATIONS

SHEET TITLE:

**PROPOSED & EXISTING  
SITE PLANS**

DATE: ISSUANCE:

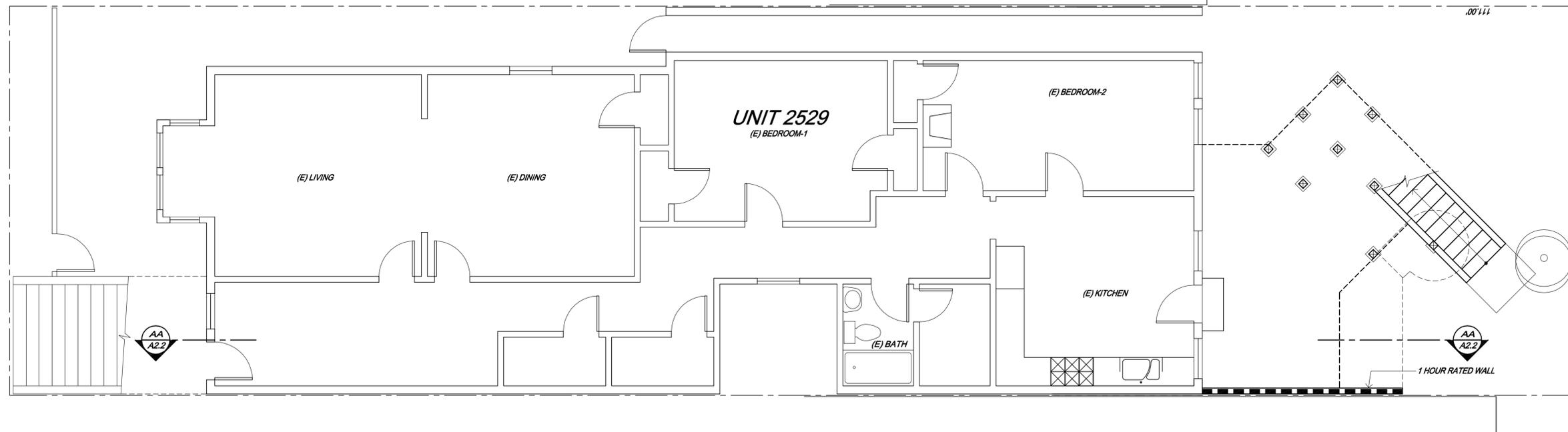
02.23.12 VARIANCE

SHEET NUMBER:

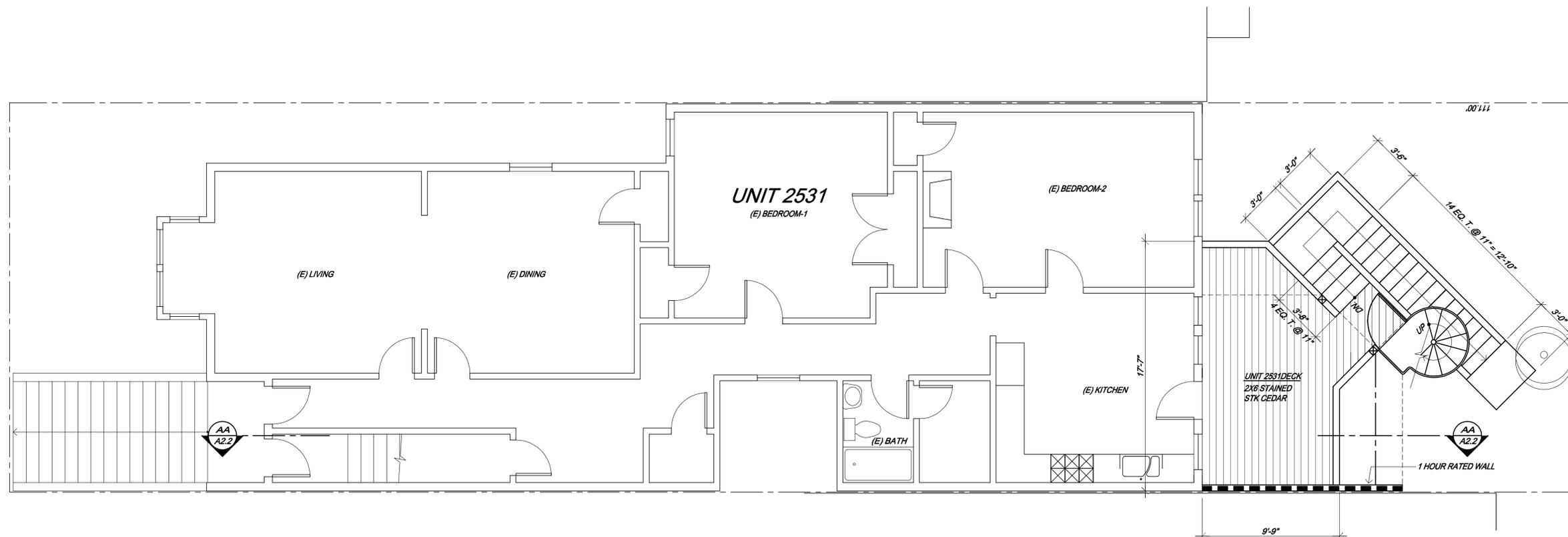
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IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115



**PROPOSED GRADE LEVEL REAR DECK**  
1/4" = 1'-0"



**PROPOSED SECOND LEVEL REAR DECK**  
1/4" = 1'-0"

SHEET TITLE:

**PROPOSED GRADE &  
SECOND LEVEL DECK**

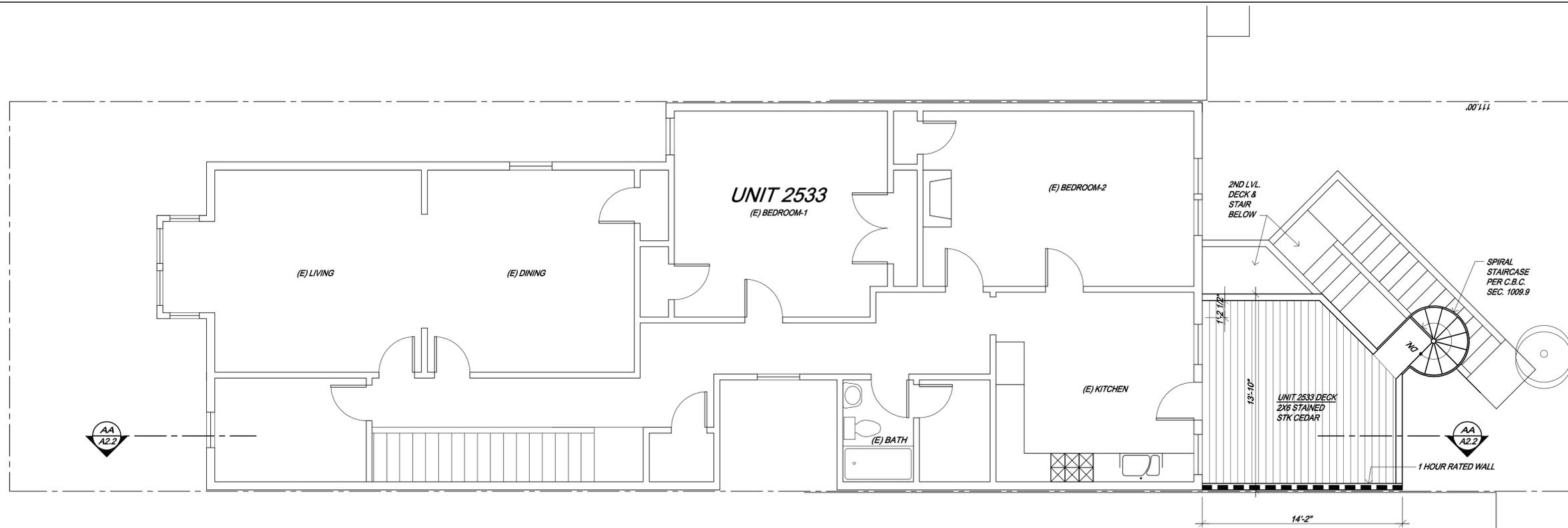
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02.23.12 VARIANCE

SHEET NUMBER:

**A-1.1**

IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115



**PROPOSED THIRD LEVEL REAR DECK**

1/4" = 1'-0"

PROJECT NORTH

SHEET TITLE:

**PROPOSED THIRD LEVEL DECK**

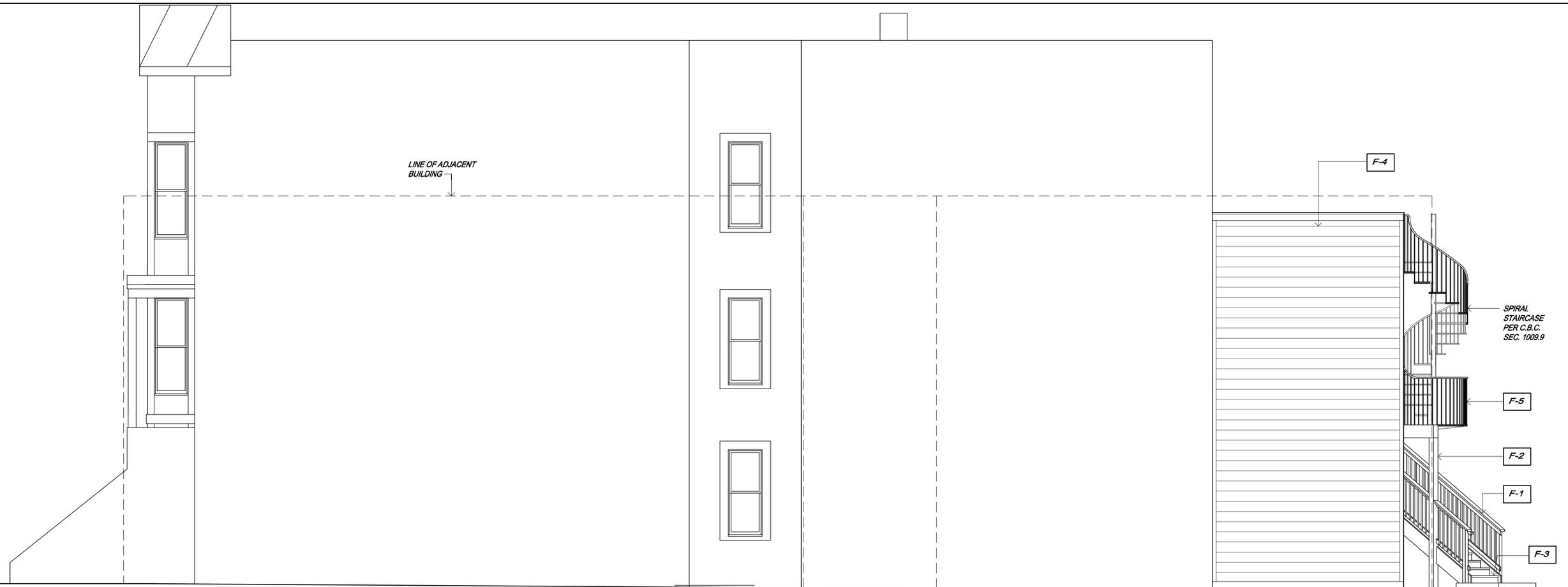
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02.23.12 VARIANCE

SHEET NUMBER:

**A-1.2**

IMPROVEMENTS FOR THE RESIDENCE OF:  
**2529, 2531 & 2533 POST ST.**  
SAN FRANCISCO, CA. 94115



**PROPOSED DECK LEFT SIDE ELEVATION - FACING SOUTH**  
1/4" = 1'-0"

SHEET TITLE:  
**PROPOSED DECK ELEVATIONS**



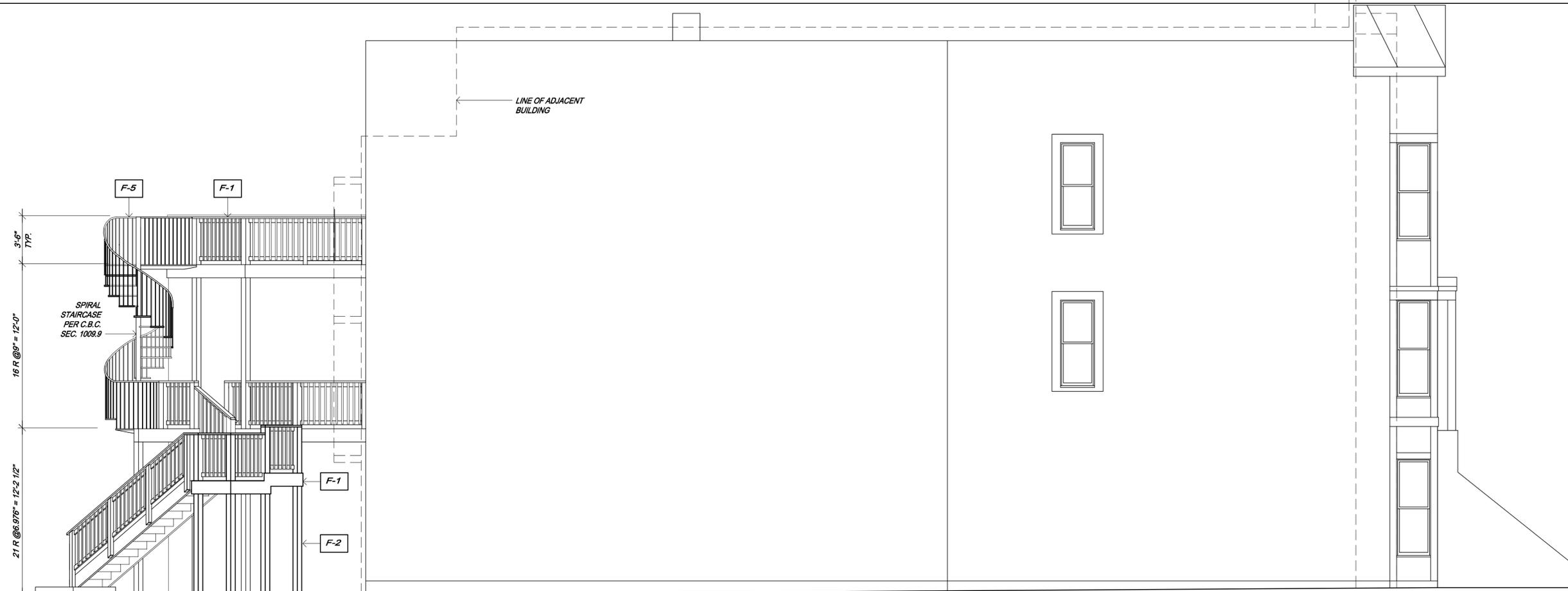
**PROPOSED DECK REAR ELEVATION - FACING EAST**  
1/4" = 1'-0"

- MATERIAL LEGEND**
- F-1** PRIMED 6S & PAINTED TO MATCH BLDG. TRIM STK DRY CEDAR GUARD RAIL AND DECK SKIRT
  - F-2** PRIMED 6S & PAINTED TO MATCH BLDG. TRIM WD. STRUCTURAL POSTS
  - F-3** STAINED STK CEDAR 2X6 DECKING AND STAIR TREADS AND RISERS
  - F-4** SMOOTH HARDPLANK SIDING, EXPOSURE TO MATCH (E)
  - F-5** PTD. GALV. MTL. STAIR TO MATCH (E) HOUSE TRIM

DATE :                      ISSUANCE:  
02.23.12                      VARIANCE

SHEET NUMBER:  
**A-2.1**

IMPROVEMENTS FOR THE RESIDENCE OF:  
**2529, 2531 & 2533 POST ST.**  
SAN FRANCISCO, CA. 94115

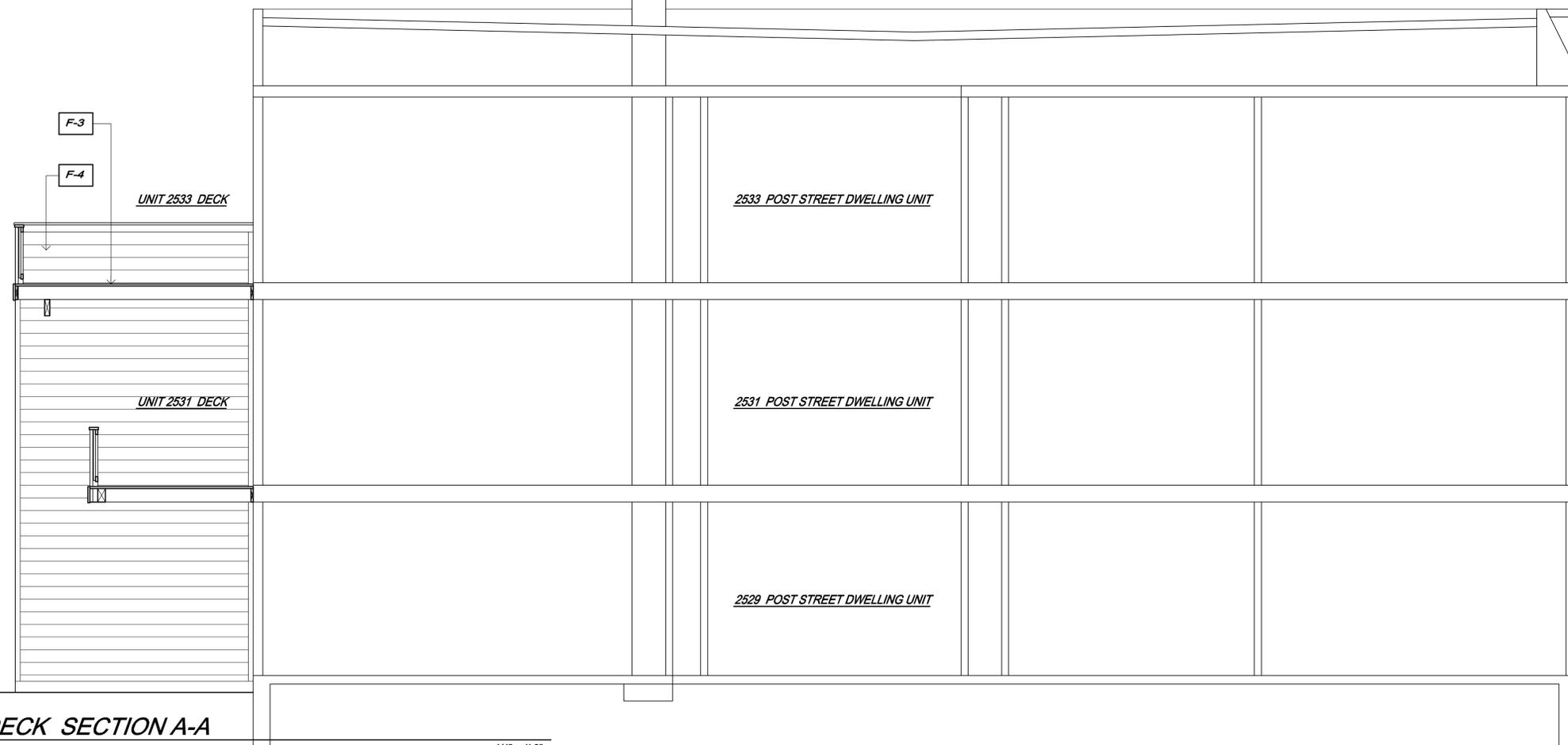


**PROPOSED DECK RIGHT SIDE ELEVATION - FACING SOUTH**

1/4" = 1'-0"

**MATERIAL LEGEND**

- F-1** PRIMED 6S & PAINTED TO MATCH BLDG. TRIM STK DRY CEDAR GUARD RAIL AND DECK SKIRT
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**PROPOSED DECK SECTION A-A**

1/4" = 1'-0"

SHEET TITLE:

**PROPOSED DECK ELEVATION & SECTION**

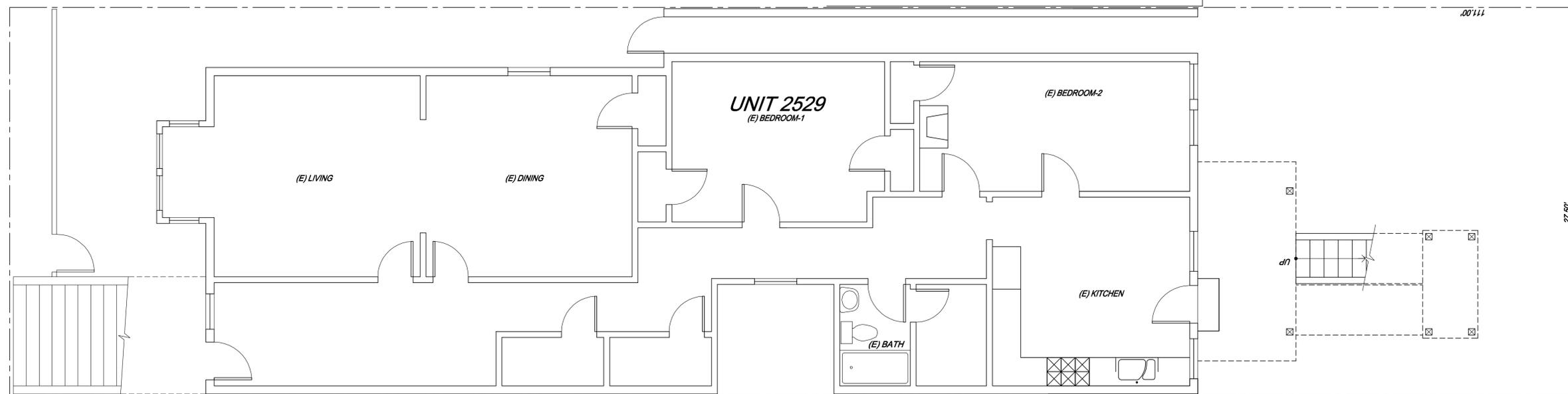
DATE : ISSUANCE:

02.23.12 VARIANCE

SHEET NUMBER:

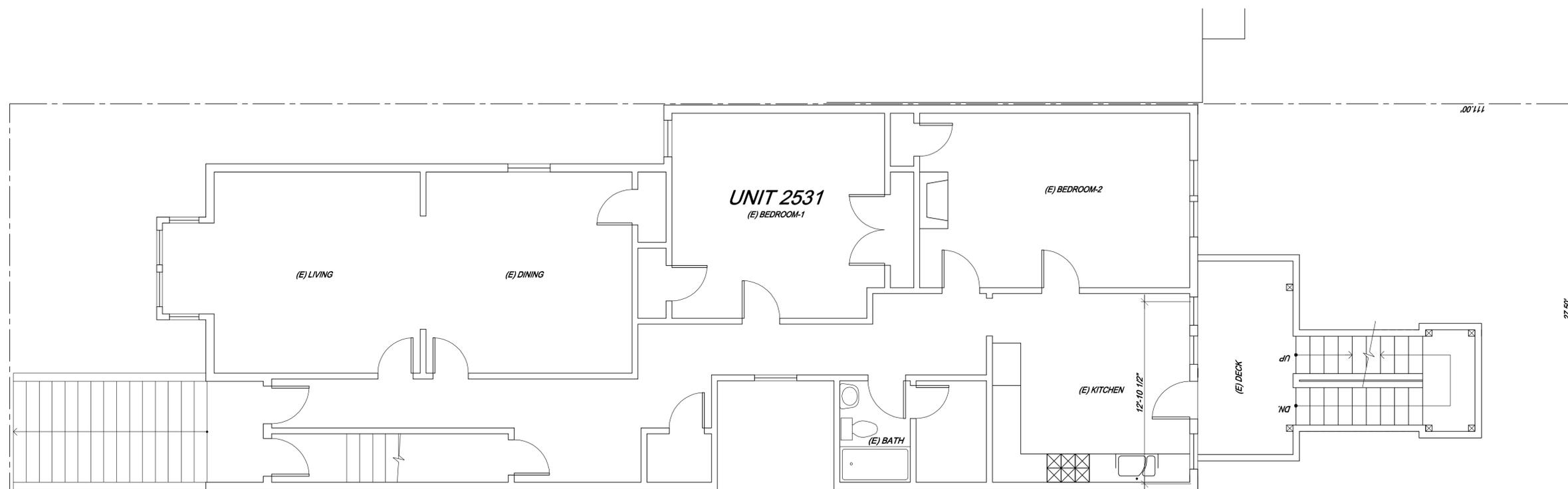
**A-2.2**

IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115



EXISTING GRADE LEVEL REAR DECK

1/4" = 1'-0"



EXISTING SECOND LEVEL REAR DECK

1/4" = 1'-0"

PROJECT NORTH

SHEET TITLE:

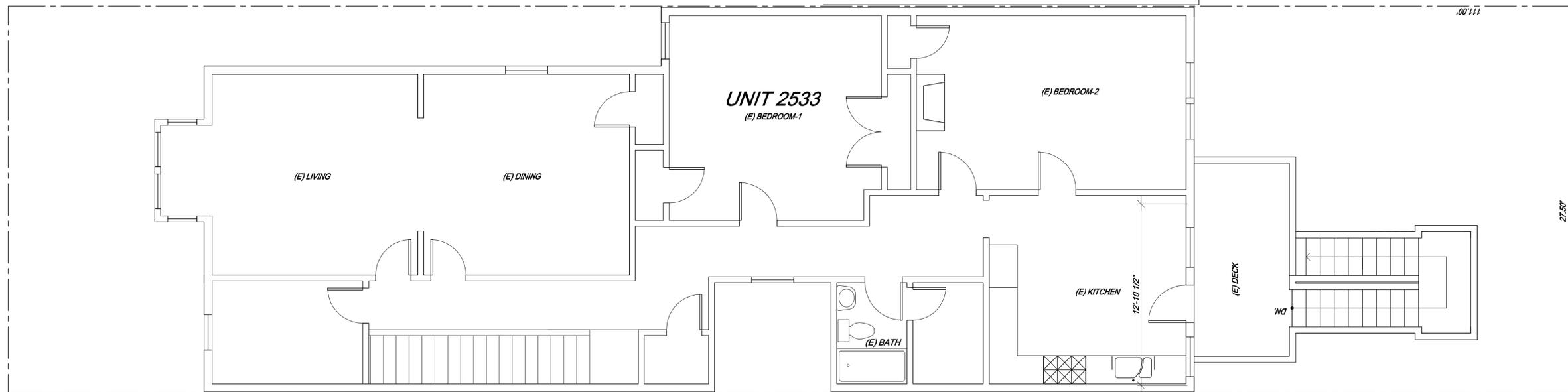
EXISTING GRADE &  
SECOND LEVEL DECK

DATE: ISSUANCE:

02.23.12 VARIANCE

SHEET NUMBER:

A-3.1



**EXISTING THIRD LEVEL REAR DECK**

1/4" = 1'-0"

IMPROVEMENTS FOR THE RESIDENCE OF:  
**2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115**

SHEET TITLE:

**EXISTING THIRD  
LEVEL DECK**

DATE: ISSUANCE:

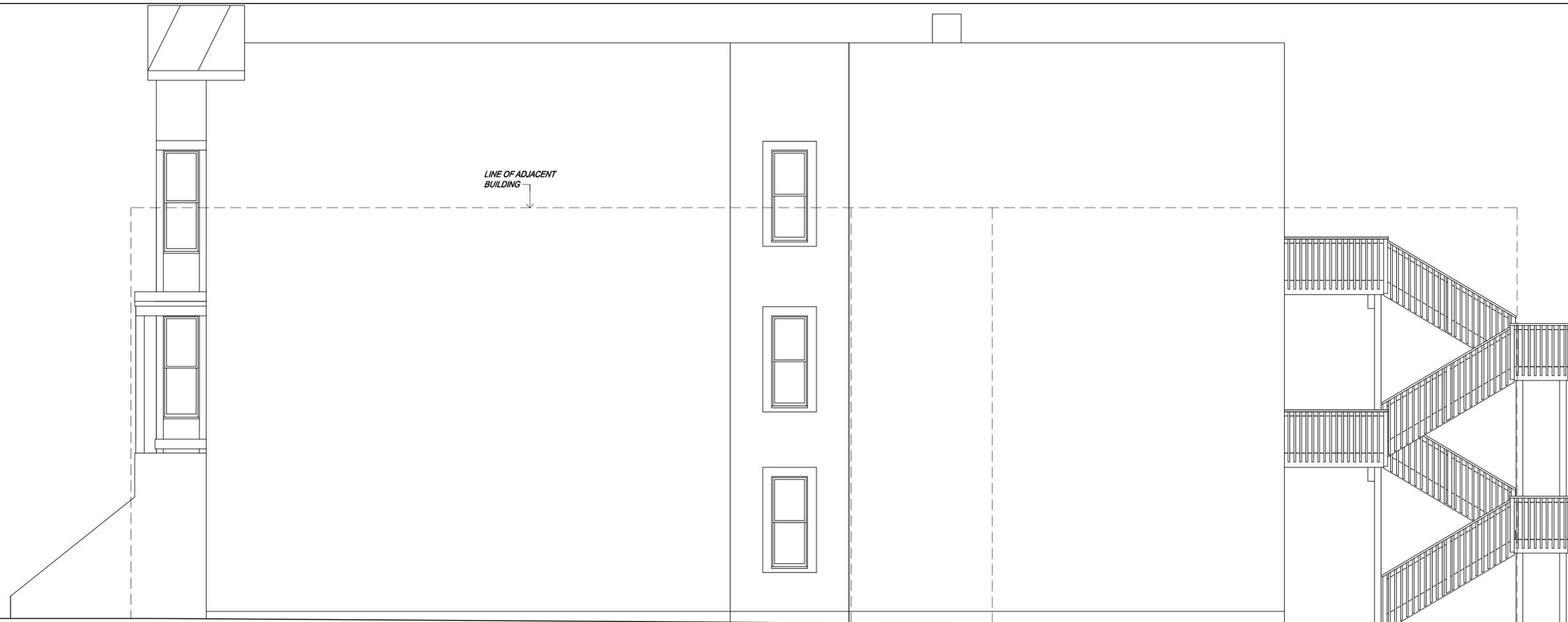
02.23.12 VARIANCE

SHEET NUMBER:

**A-3.2**

PROJECT NORTH

IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115



EXISTING DECK LEFT SIDE ELEVATION - FACING SOUTH

RIGHT SIDE SIMILAR

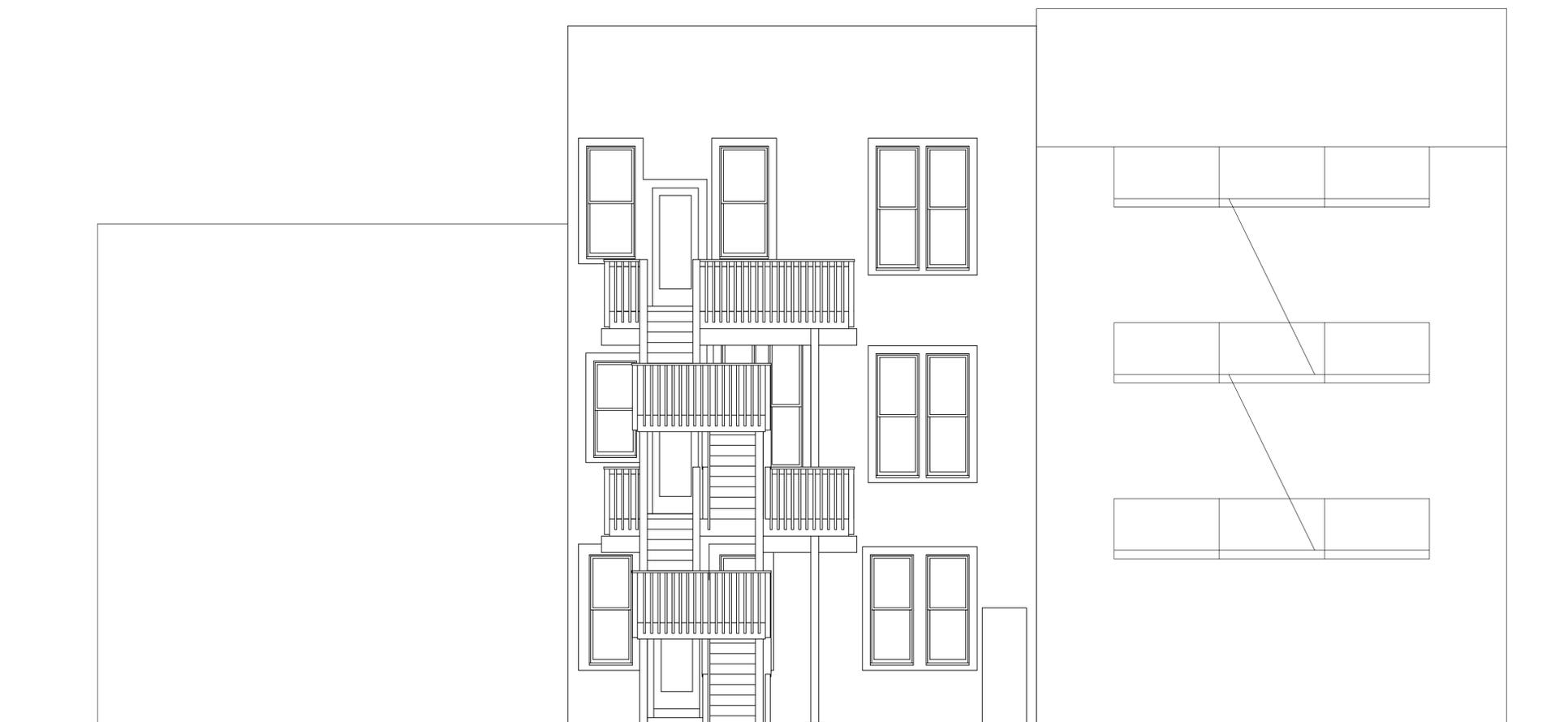
1/4" = 1'-0"

SHEET TITLE:

EXISTING DECK  
ELEVATIONS

DATE: 06.15.11  
02.03.12

ISSUANCE:  
CLIENT REVIEW  
OWNER REVIEW



ADJACENT BUILDING

EXISTING DECK REAR ELEVATION - FACING EAST

ADJACENT BUILDING

1/4" = 1'-0"

SHEET NUMBER:

A-3.3



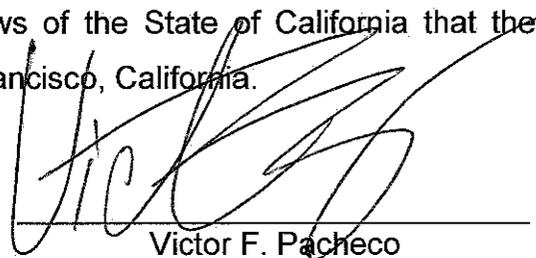
# AFFIDAVIT OF SERVICE

**Alice Lam, Appellant**  
2543 Post Street  
San Francisco, CA 94115

I, Victor F. Pacheco, Legal Assistant for the Board of Appeals, hereby certify that on this 5<sup>th</sup> day of **March, 2013**, I served the attached **Notice(s) of Decision & Order for Appeal No(s).** V12-148, Lam vs. ZA, subject property at 2529-2533 Post Street, on the appellant(s) by mailing a copy via U.S. mail, first class, to the address above.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed in San Francisco, California.

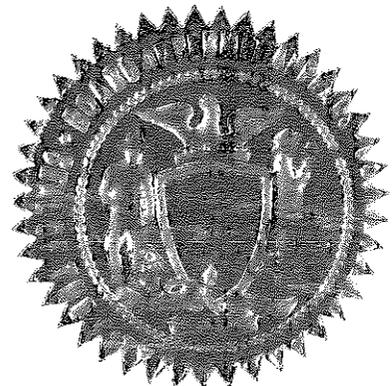
3/05/2013  
Date

  
Victor F. Pacheco

cc: Dept. of Building Inspection (BID, CPB, PPC), and Planning Dept. (if applicable)

OTHER PARTIES  
OR CONCERNED CITIZENS:

**Kevin Weil & Christopher Dougherty, Variance Holders**  
c/o Andrew Morrall, Agent for Variance Holders  
2730 Mission Street  
San Francisco, CA 94110



BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of  
ALICE LAM,

Appeal No. V12-148

\_\_\_\_\_)  
Appellant(s) )  
vs. )  
\_\_\_\_\_)  
ZONING ADMINISTRATOR, )  
Respondent

**NOTICE OF APPEAL**

**NOTICE IS HEREBY GIVEN THAT** on Nov. 21, 2012 the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the granting on Nov. 15, 2012, to Kevin Weil & Christopher Dougherty, Rear Yard & Non-Complying Structure Variances (removal and replacement of existing decks and exit stairs at the rear of the three-story, three-family dwelling) at 2529-2533 Post Street.

**VARIANCE CASE NO. 2012.0395V**

**FOR HEARING ON** Jan. 30, 2013

Address & Tel. of Appellant(s):

Address & Tel. of Other Parties:

Alice Lam, Appellant 2543 Post Street S.F., CA 94115	Kevin Weil & Christopher Dougherty, Variance Holders c/o Andrew Morrall, Agent for Variance Holders 2730 Mission Street S.F., CA 94110
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**NOTICE OF DECISION & ORDER**

The aforementioned matter came on regularly for hearing before the Board of Appeals of the City & County of San Francisco on February 20, 2013.

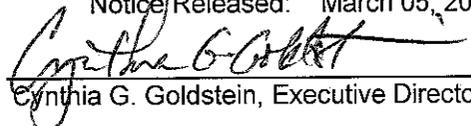
**PURSUANT TO** § 4.106 of the Charter of the City & County of San Francisco and Article 1, § 14 of the Business & Tax Regulations Code of the said City & County, and the action above stated, the Board of Appeals hereby **DENIES THE APPEAL AND ORDERS**

that the granting of the subject variance(s) by the Zoning Administrator is **UPHELD** on the basis that the said Zoning Administrator did not err or abuse his discretion.

BOARD OF APPEALS  
CITY & COUNTY OF SAN FRANCISCO

Last Day to Request Rehearing: March 04, 2013  
Request for Rehearing: None  
Rehearing: None  
Notice Released: March 05, 2013

  
Chris Hwang, President

  
Cynthia G. Goldstein, Executive Director

If this decision is subject to review under Code of Civil Procedure § 1094.5, then the time within which judicial review must be sought is governed by California Code of Civil Procedure § 1094.6.



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **March 27, 2012**, the Applicant named below filed Building Permit Application No. **2012.03.27.6976** (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	<b>Andrew Morrall (agent / architect)</b>	Project Address:	<b>2529 - 2533 Post Street</b>
Address:	<b>2730 Mission Street</b>	Cross Streets:	<b>Baker Street &amp; Lyon Street</b>
City, State:	<b>San Francisco, CA 94110</b>	Assessor's Block /Lot No.:	<b>1081 / 049-051</b>
Telephone:	<b>(415) 282-0616</b>	Zoning District:	<b>RH-3 / 40-X</b>

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)
PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING DEPTH .....	± 70'6"	No Change
REAR YARD (to building) .....	± 26'8"	No Change
REAR YARD (to exit stairs).....	± 7'6"	± 5'
HEIGHT OF BUILDING .....	± 40'6"	No Change
NUMBER OF STORIES .....	3.....	No Change
NUMBER OF DWELLING UNITS .....	3.....	No Change
PROJECT DESCRIPTION		

The proposal is removal and replacement of existing decks and exit stairs at the rear of the three-story, three-family dwelling. The proposed rear decks will be set back approximately 13'6" from the east property line and will abut the west property line with a one hour fire-rated wall with a height of approximately 28' above grade. The new rear exit stairs will be set back approximately 5' from the east and south property lines.

This proposal required Rear Yard and Noncomplying Structure Variances because the proposed replacement rear decks and exit stairs will extend entirely into the required rear yard and expand an existing building that is a legal noncomplying structure. The public hearing for the Variance (Case No. 2012.0395V) was held on July 25, 2012 and the variance was granted with conditions on November 15, 2012. The variance decision was appealed to the Board of Appeals (Appeal No. 12-148V) in a public hearing on February 20, 2013 and the variance decision was upheld by the Board of Appeals.

PLANNER'S NAME: **Sharon M. Young**

PHONE NUMBER: **(415) 558-6346**

EMAIL: **sharon.m.young@sfgov.org**

DATE OF THIS NOTICE: **04/02/2013**

EXPIRATION DATE: **05/01/2013**

# NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

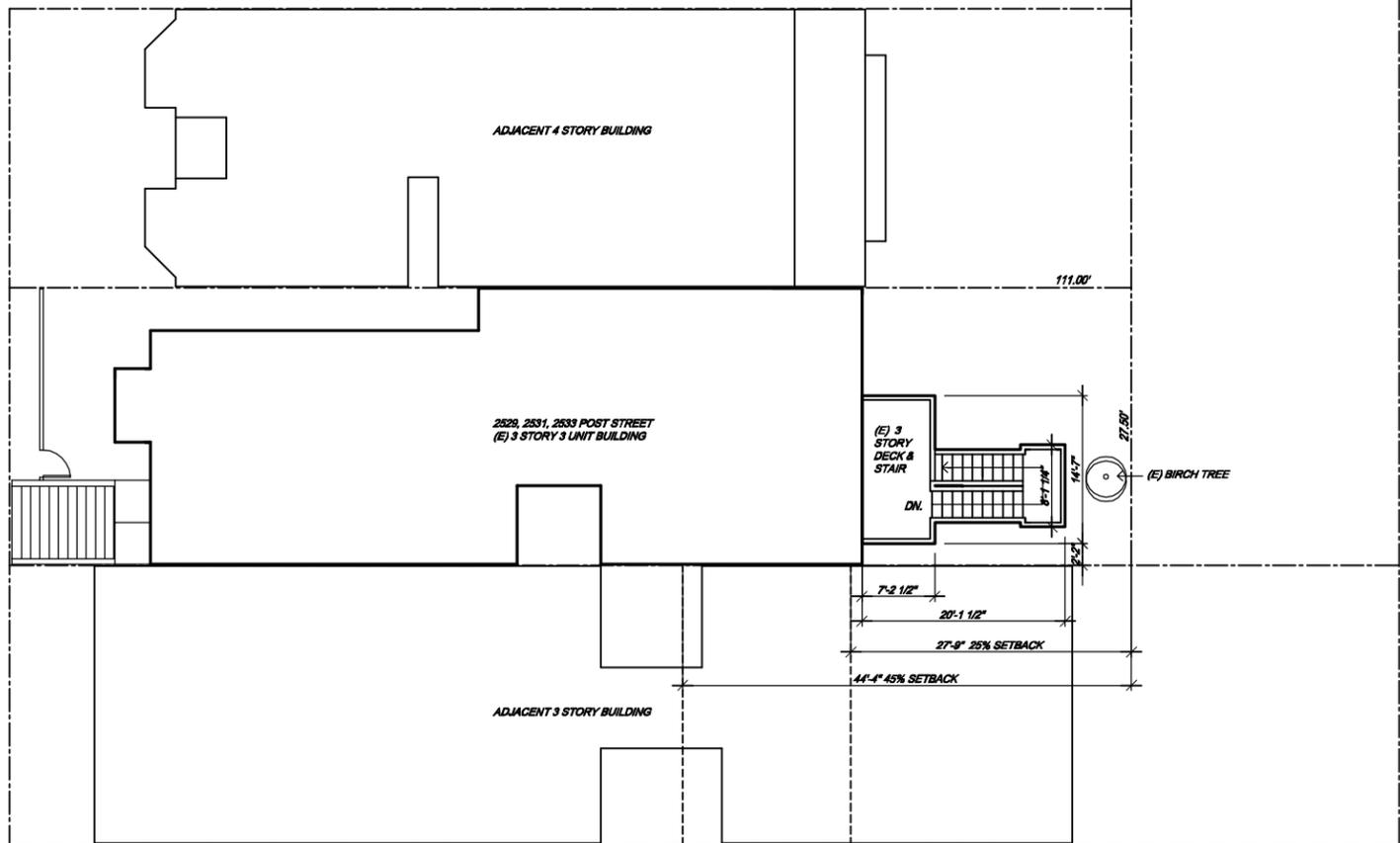
1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment through mediation. Community Boards acts as a neutral third party and has, on many occasions, helped parties reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at [www.sfplanning.org](http://www.sfplanning.org)). You must submit the application to the Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check, for each Discretionary Review request payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org) or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

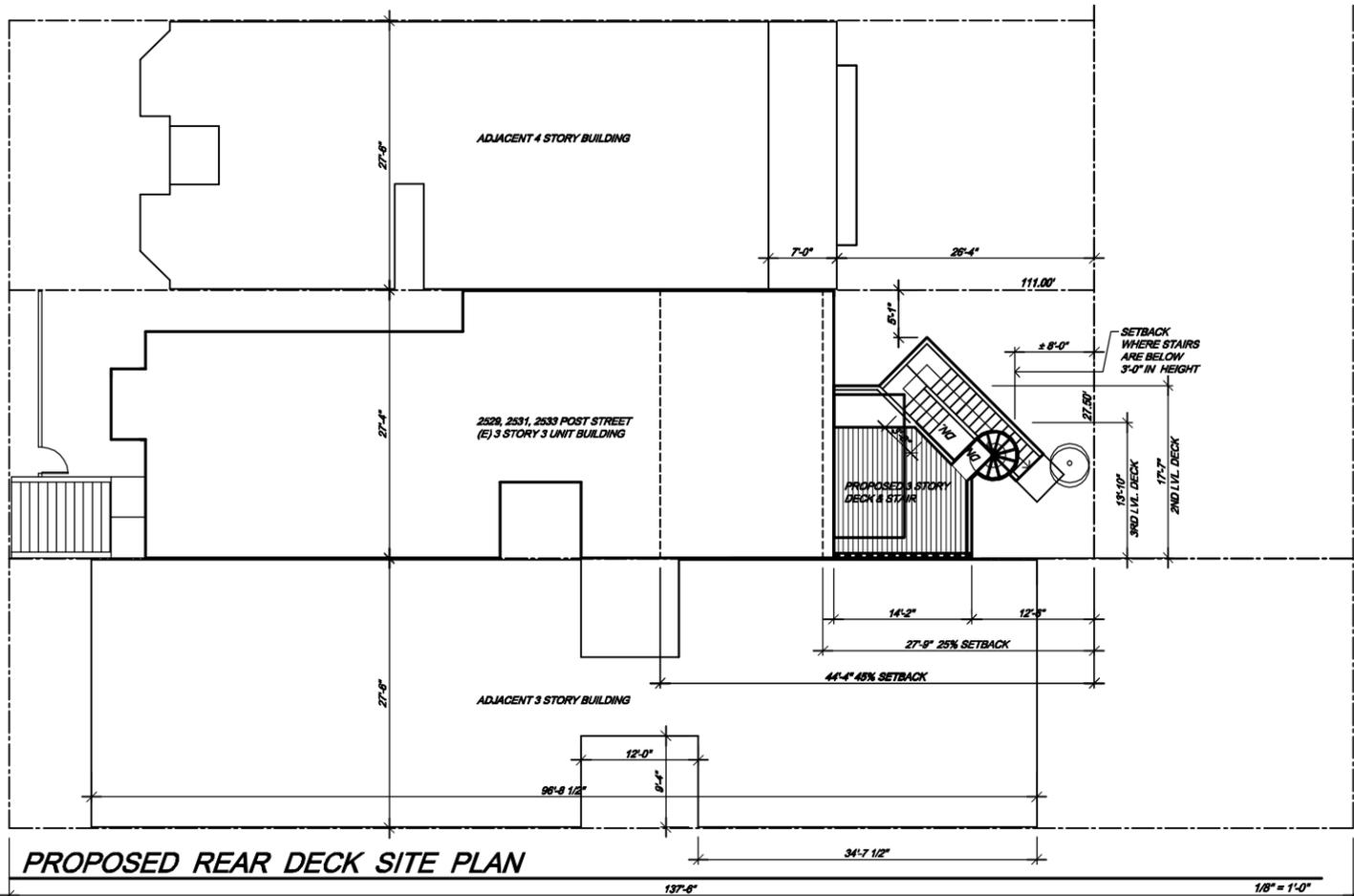
## BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the Board of Appeals within 15 days after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including their current fees, contact the Board of Appeals at (415) 575-6880.



**EXISTING REAR DECK SITE PLAN**

1/8" = 1'-0"



**PROPOSED REAR DECK SITE PLAN**

1/8" = 1'-0"

**PROJECT DATA**

ALL WORK HEREIN SHALL BE ACCORDING TO THE MOST CURRENT CODES, THE 2010 CALIFORNIA BUILDING CODE, ELECTRICAL CODE, PLUMBING CODE, AND MECHANICAL CODE.

PROJECT ADDRESS: 2529, 2531, 2533 POST STREET

ZONING: RH3

BLOCK / LOT NO: 1081049 - 051

OCCUPANCY TYPE: R2

BUILDING TYPE: VA

EXISTING SQ. FT.: NA

REVISED SQ. FT.: NA

DESCRIPTION OF PROJECT: DEMOLISH EXISTING DILAPIDATED DECK AND STAIR. REPLACE WITH NEW, CODE COMPLIANT DECK AND STAIR.

OWNER CONTACT:

KEVIN WEIL  
2531 POST STREET  
SAN FRANCISCO CA, 94115  
415-351-1888

ARCHITECT:

ANDREW MORRALL  
2730 MISSION STREET  
SAN FRANCISCO CA, 94110  
415-282-0616

**ANDREW MORRALL ARCHITECT**

www.andrewmorrallarchitect.com

2730 MISSION STREET

SAN FRANCISCO CA, 94110

PHONE: 415-282-0616

IMPROVEMENTS FOR THE RESIDENCE OF:

**2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115**

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SHEET TITLE:

**PROPOSED & EXISTING  
SITE PLANS**

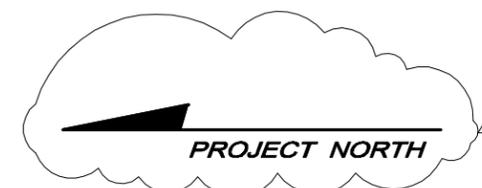
DATE: ISSUANCE:

02.23.12 VARIANCE

02.28.13 1. NORTH ARROW REVISION

SHEET NUMBER:

**A-0.1**

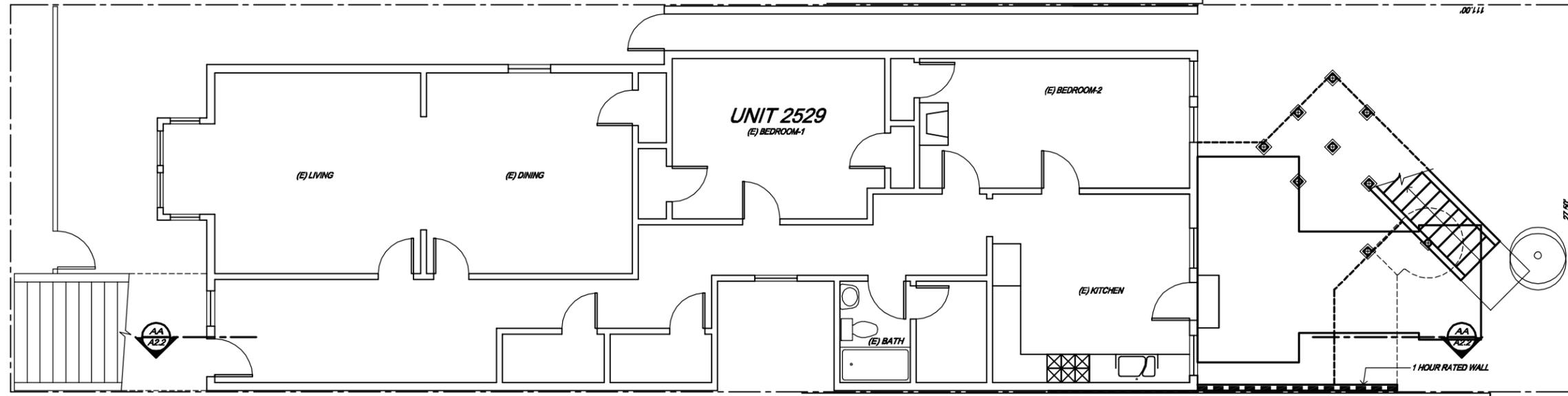


IMPROVEMENTS FOR THE RESIDENCE OF:  
**2529, 2531 & 2533 POST ST.**  
 SAN FRANCISCO, CA. 94115

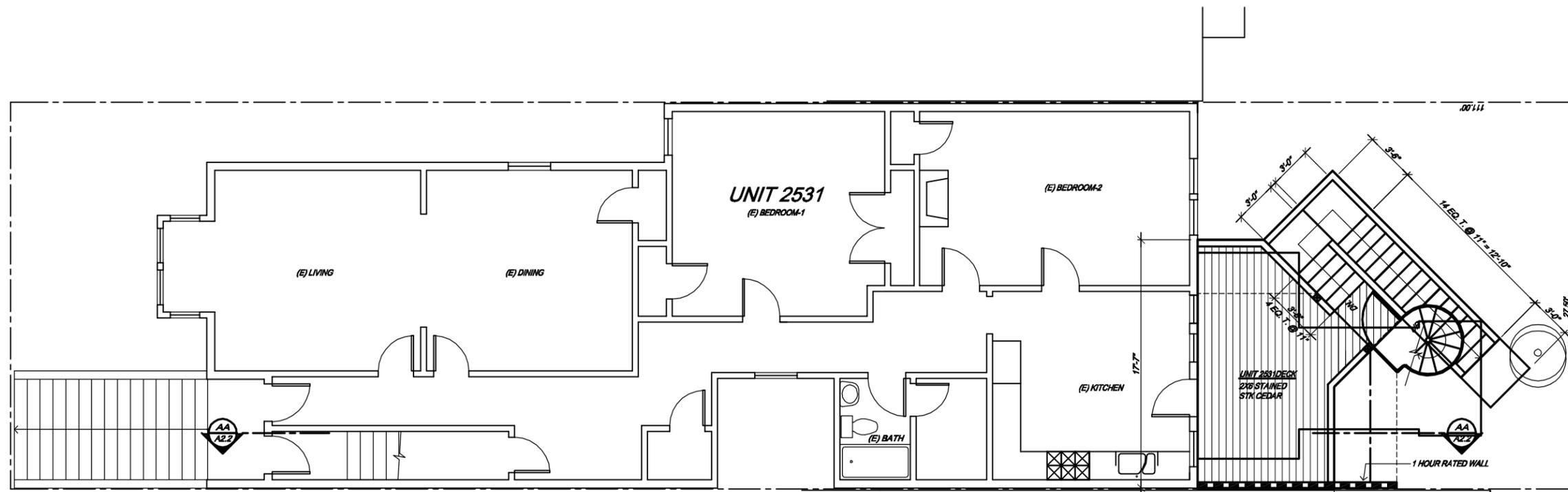
SHEET TITLE:  
**PROPOSED GRADE &  
 SECOND LEVEL DECK**

DATE: ISSUANCE:  
 02.23.12 VARIANCE  
 02.28.13 1. NORTH ARROW REVISION

SHEET NUMBER:  
**A-1.1**



**PROPOSED GRADE LEVEL REAR DECK**  
 1/4" = 1'-0"



**PROPOSED SECOND LEVEL REAR DECK**  
 1/4" = 1'-0"



IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115

SHEET TITLE:

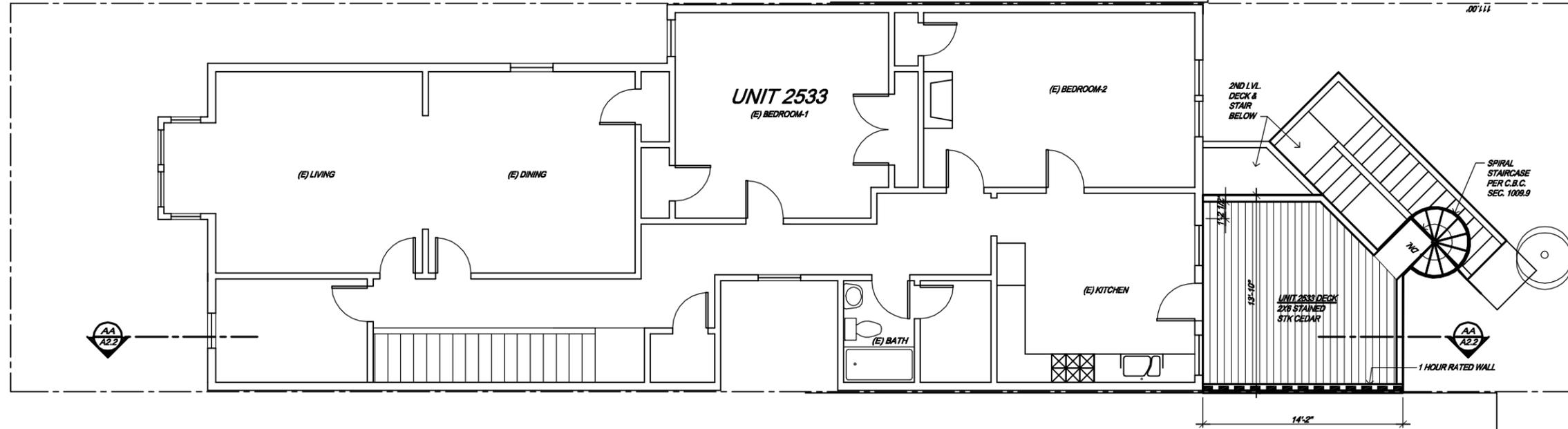
**PROPOSED THIRD  
LEVEL DECK**

DATE: ISSUANCE:

02.23.12 VARIANCE  
02.28.13 <sup>1.</sup> NORTH ARROW REVISION

SHEET NUMBER:

**A-1.2**

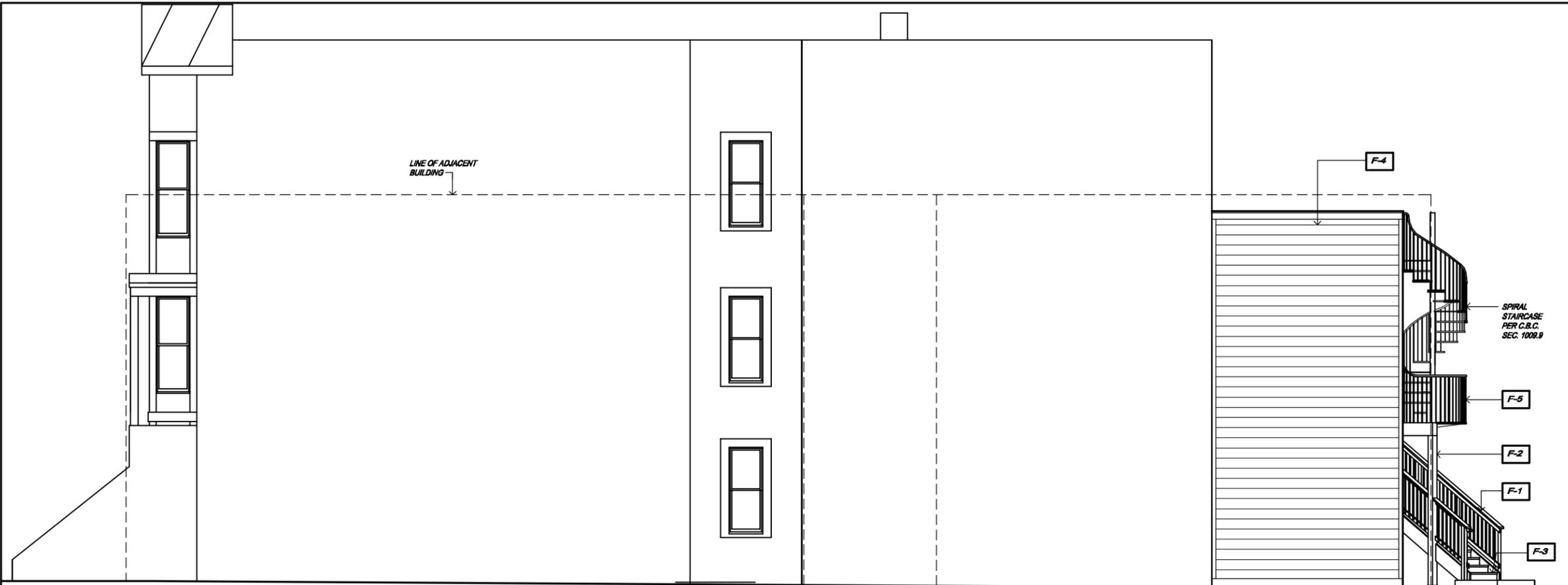


**PROPOSED THIRD LEVEL REAR DECK**

1/4" = 1'-0"



IMPROVEMENTS FOR THE RESIDENCE OF:  
**2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115**



**PROPOSED DECK LEFT SIDE ELEVATION - FACING WEST**  
1/4" = 1'-0"

SHEET TITLE:  
**PROPOSED DECK  
ELEVATIONS**



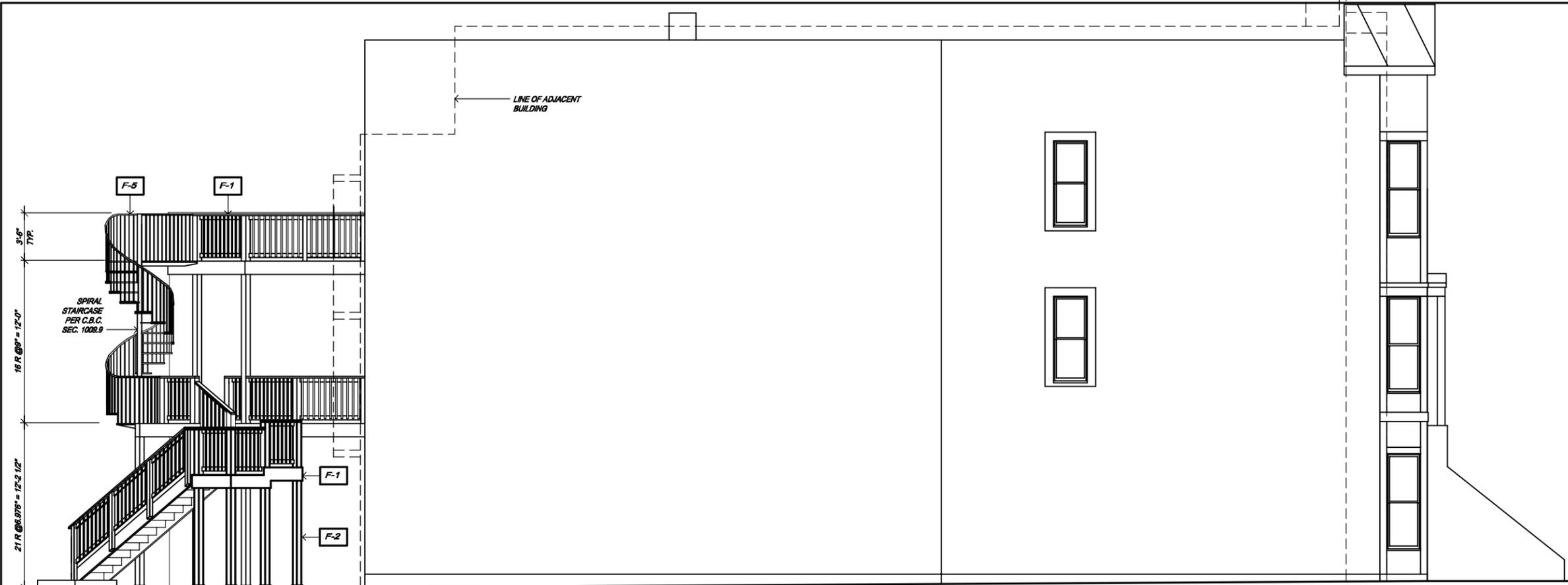
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SHEET NUMBER:  
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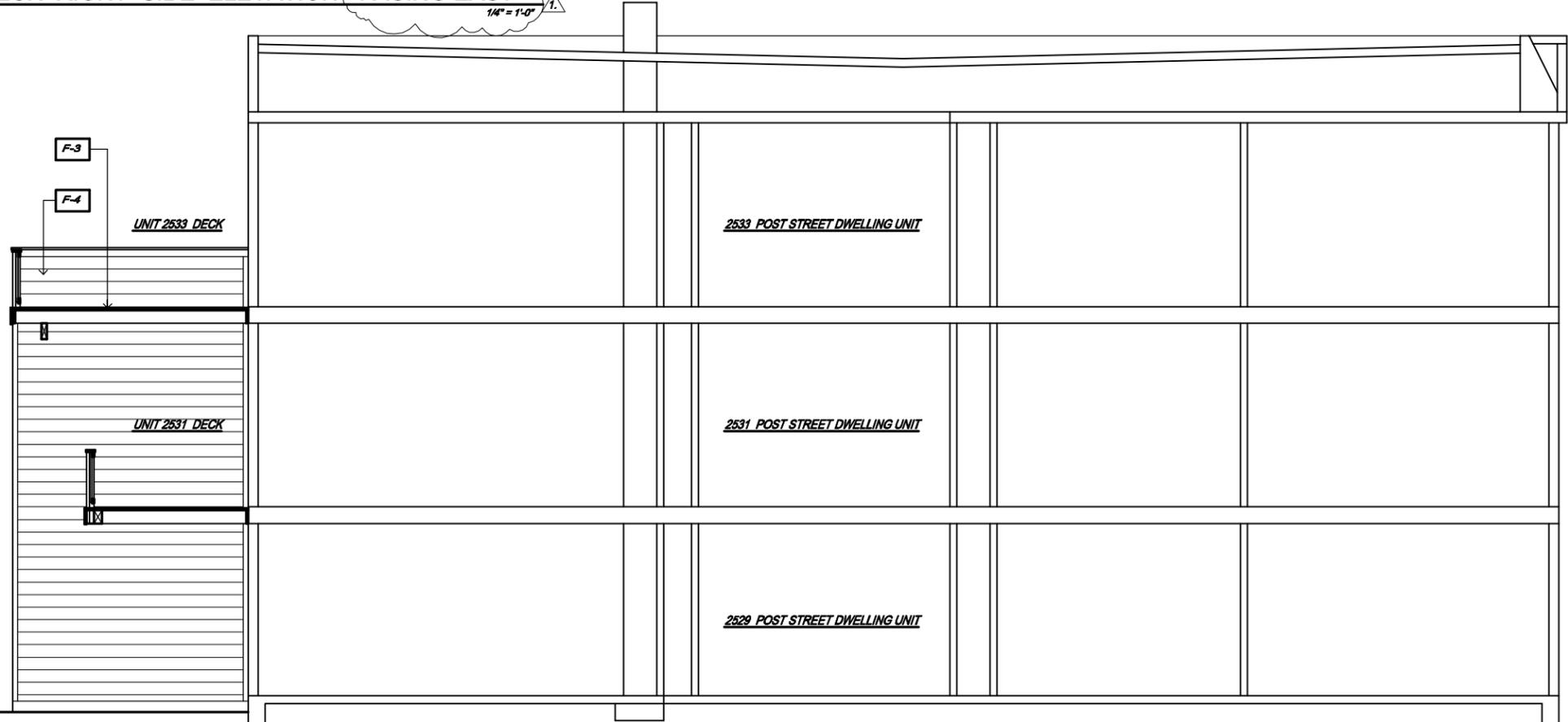
IMPROVEMENTS FOR THE RESIDENCE OF:  
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**PROPOSED DECK RIGHT SIDE ELEVATION - FACING EAST**  
1/4" = 1'-0"

**MATERIAL LEGEND**

- F-1** PRIMED 6S & PAINTED TO MATCH BLDG. TRIM STK DRY CEDAR GUARD RAIL AND DECK SKIRT
- F-2** PRIMED 6S & PAINTED TO MATCH BLDG. TRIM WD. STRUCTURAL POSTS
- F-3** STAINED STK CEDAR 2X6 DECKING AND STAIR TREADS AND RISERS
- F-4** SMOOTH HARDPLANK SIDING, EXPOSURE TO MATCH (E)
- F-5** PTD. GALV. MTL. STAIR TO MATCH (E) HOUSE TRIM



**PROPOSED DECK SECTION A-A**  
1/4" = 1'-0"

SHEET TITLE:  
**PROPOSED DECK ELEVATION & SECTION**

DATE : ISSUANCE:  
02.23.12 VARIANCE  
02.28.13 1. NORTH ARROW REVISION

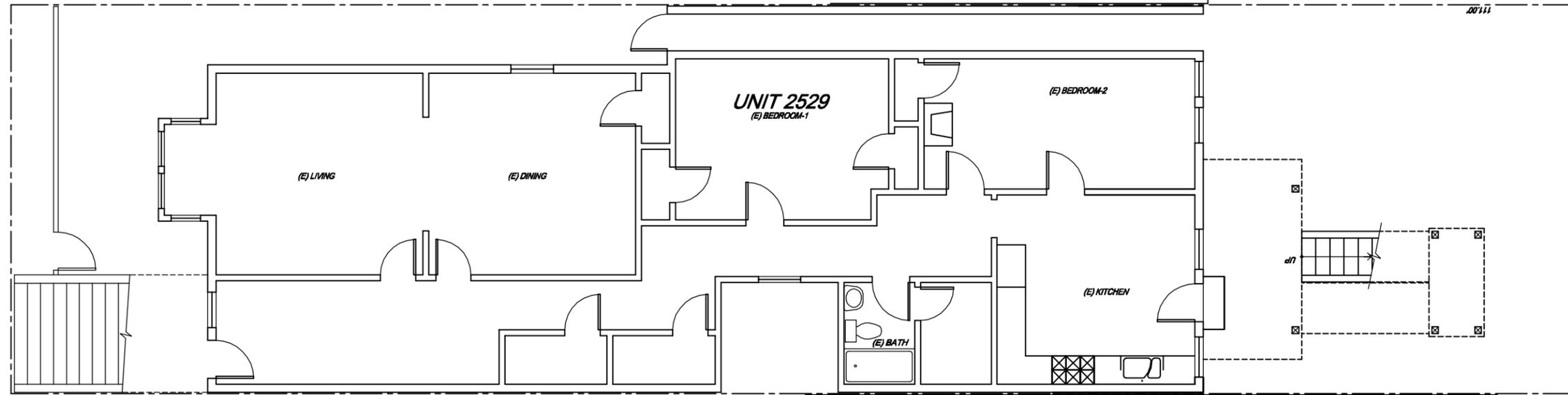
SHEET NUMBER:  
**A-2.2**

IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115

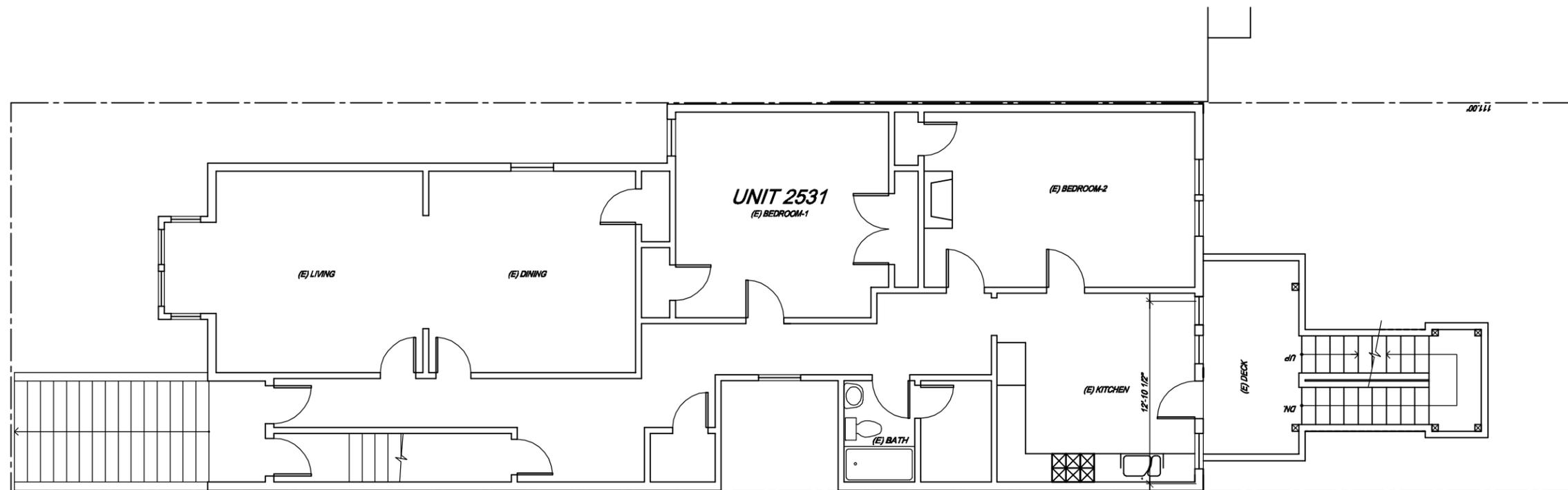
SHEET TITLE:  
EXISTING GRADE &  
SECOND LEVEL DECK

DATE: ISSUANCE:  
02.23.12 VARIANCE  
02.28.13 1. NORTH ARROW REVISION

SHEET NUMBER:  
**A-3.1**



EXISTING GRADE LEVEL REAR DECK  
1/4" = 1'-0"



EXISTING SECOND LEVEL REAR DECK  
1/4" = 1'-0"



IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115

SHEET TITLE:

EXISTING THIRD  
LEVEL DECK

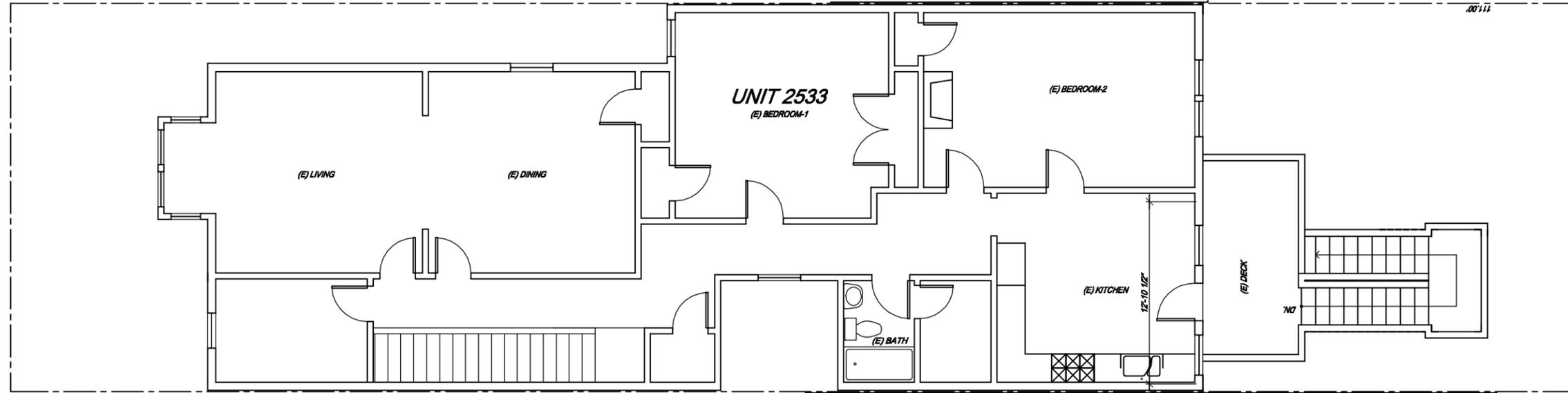
DATE: ISSUANCE:

02.23.12 VARIANCE

02.28.13 <sup>1.</sup> NORTH ARROW REVISION

SHEET NUMBER:

A-3.2

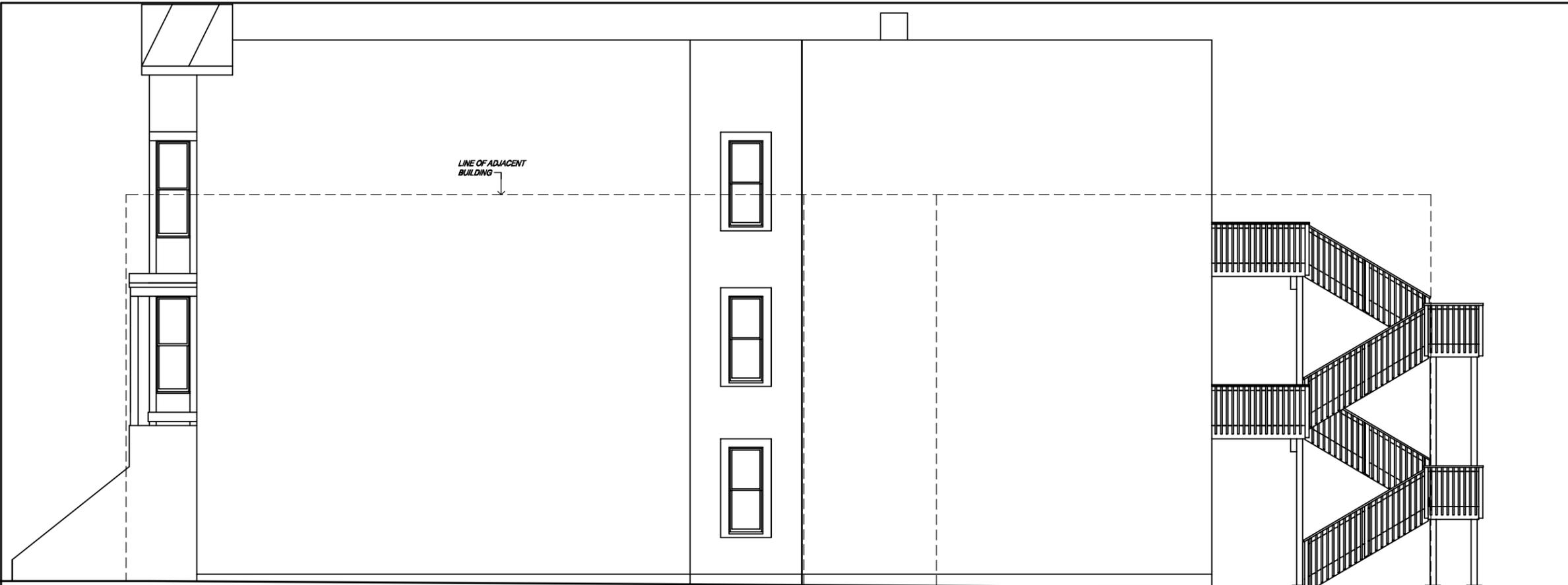


EXISTING THIRD LEVEL REAR DECK

1/4" = 1'-0"



IMPROVEMENTS FOR THE RESIDENCE OF:  
2529, 2531 & 2533 POST ST.  
SAN FRANCISCO, CA. 94115



EXISTING DECK LEFT SIDE ELEVATION - FACING WEST  
RIGHT SIDE SIMILAR 1/4" = 1'-0"

SHEET TITLE:  
EXISTING DECK  
ELEVATIONS



ADJACENT BUILDING EXISTING DECK REAR ELEVATION - FACING SOUTH 1/4" = 1'-0"

DATE:	ISSUANCE:
06.15.11	CLIENT REVIEW
02.03.12	CHANGE REVIEW
02.28.13	1. NORTH ARROW REVISION

SHEET NUMBER:  
**A-3.3**