



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JUNE 26, 2014

Date: June 19, 2014
Case No.: 2012.0435CE
Project Address: 2322 LOMBARD STREET
Zoning: NC-3 (Moderate-Scale Neighborhood Commercial) District
40-X Height and Bulk District
Block/Lot: 0489/010
Project Sponsor: America's Best Value Inn and Suites Golden Gate
c/o Brett Gladstone, Partner
Hanson Bridgett, LLP
425 Market Street, 26th Floor
San Francisco, CA 94105
Staff Contact: Mary Woods – (415) 558-6315
mary.woods@sfgov.org
Recommendation: **Approve with Conditions**

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PROJECT DESCRIPTION

The project is to allow the conversion of use from a motel to a tourist hotel (d.b.a. America's Best Value Inn and Suites Golden Gate). The proposal includes horizontal and vertical additions to the existing three-story building. The proposal would also include legalizing the conversion of two dwelling units to guest rooms by a prior ownership. The gross floor area would increase from approximately 17,800 square feet to 26,800 square feet. The number of guest rooms would increase from 36 to 60 rooms. The existing site provides approximately 19 off-street parking spaces on the ground level. With valet service, the project would provide up to 42 parking spaces while a total of 48 spaces are required. The project is also seeking to reduce the off-street parking requirement within the NC-3 District. Section 312-neighborhood notification was conducted in conjunction with the Conditional Use Authorization process.

SITE DESCRIPTION AND PRESENT USE

The project site is located on the north side of Lombard Street, between Pierce and Scott Streets, Block 0489, Lot 010. The property is located within the NC-3 (Moderate-Scale Neighborhood Commercial) District and a 40-X Height and Bulk District. The lot is irregularly-shaped with approximately 82 feet of frontage on Lombard Street, and ranges in depth from 100 feet to 137 feet. The property is developed with a circa 1954 three-story motel with a small café on the ground floor.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The site is located in the heart of the Marina neighborhood. Land uses in the project vicinity are varied, but consist primarily of two- and three-story tourist-oriented lodging facilities, multiple-unit residential buildings, restaurants, and neighborhood-serving retail businesses. Buildings on the subject block and facing blocks range from one to three stories tall. An automobile repair shop is located immediately to the west and a pet hospital is located immediately to the east of the property.

Lombard Street (also serves as Highway 101) is a major vehicular and pedestrian thoroughfare, the City's primary link to the North Bay via the Golden Gate Bridge. Transit lines serving San Francisco and Marin County are nearby and are within walking distance of the site.

The Chestnut Street NC-2 (Small-Scale Neighborhood Commercial) District is one block north of the project site while the Union Street Neighborhood Commercial District is three blocks south of the project site. Six blocks west of the project site is the Golden Gate National Recreation Area, the Presidio, and the Golden Gate Bridge. Northwest of the site are the Palace of Fine Arts and Crissy Field; to the northeast is Fisherman's Wharf and Pier 39.

ENVIRONMENTAL REVIEW

The project was determined to be exempt from the California Environmental Quality Act as a Class 1 Categorical Exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	June 6, 2014	June 6, 2014	20 days
Posted Notice	20 days	June 6, 2014	June 6, 2014	20 days
Mailed Notice	20 days	June 6, 2014	June 6, 2014	20 days

PUBLIC COMMENT

- As of June 19, 2014, the Department has received one email in support of the proposed project and none in opposition to the project.

ISSUES AND OTHER CONSIDERATIONS

- The existing motel, built in 1954, is a legal nonconforming use since the current NC-3 zoning district no longer permits such a use. The project is to convert the motel to a tourist hotel use, which is permitted as a conditional use.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization to allow the conversion of use from a motel to a tourist hotel, to allow a use size exceeding 6,000 square feet, to

legalize the conversion of two dwelling units to guest rooms, and to reduce the off-street parking requirement, pursuant to Planning Code Sections 121.2, 303(c), 303(g), 307(i), 317, 712.21 and 712.55.

BASIS FOR RECOMMENDATION

- The project would convert a legal nonconforming motel to a conforming tourist hotel. The project would renovate the property to be in character with a tourist hotel use.
- The existing motel was built 60 years ago. The proposed renovations involve full ADA compliance, fire sprinklers and seismic upgrade of the existing building.
- The new building façade design, with its varied materials, windows and balconies, will add pedestrian interest and be an asset to the neighborhood.
- The property is located on Lombard Street near many tourist attractions and within two blocks of five MUNI lines.
- The average occupancy rate at the site is 81 percent for the year 2012, of which, 80 percent are tourists and 20 percent are business travelers.

RECOMMENDATION: Approve with Conditions

Attachments:

- Draft Motion
- Environmental Determination
- Parcel/Zoning Map
- Sanborn Map
- Zoning Map
- Site Photo
- Project Sponsor Submittal, including:
 - Reduced Plans
 - Site Photos
 - Attorney's Brief

Attachment Checklist

- Executive Summary
- Draft Motion
- Environmental Determination
- Parcel/Zoning Map
- Sanborn Map
- Zoning Map
- Site Photo
-
-

- Project sponsor submittal
- Drawings: Existing Conditions
- Check for legibility
- Drawings: Proposed Project
- Check for legibility
- Site Photos
- Attorney's Brief
-

Exhibits above marked with an "X" are included in this packet _____ MW _____
Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Draft Motion

HEARING DATE: JUNE 26, 2014

Date: June 19, 2014
Case No.: **2012.0435CE**
Project Address: **2322 LOMBARD STREET**
Zoning: NC-3 (Moderate-Scale Neighborhood Commercial) District
 40-X Height and Bulk District
Block/Lot: 0489/010
Project Sponsor: America's Best Value Inn and Suites Golden Gate
 c/o Brett Gladstone, Partner
 Hanson Bridgett, LLP
 425 Market Street, 26th Floor
 San Francisco, CA 94105
Staff Contact: Mary Woods – (415) 558-6315
mary.woods@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 121.2, 303(C), 303(G), 307(I), 317, 712.21 AND 712.55 OF THE PLANNING CODE TO ALLOW THE CONVERSION OF USE FROM A MOTEL TO A TOURIST HOTEL (D.B.A. AMERICA'S BEST VALUE INN AND SUITES GOLDEN GATE), TO ALLOW A USE SIZE EXCEEDING 6,000 SQUARE FEET, TO LEGALIZE THE CONVERSION OF TWO DWELLING UNITS TO GUEST ROOMS, AND TO REDUCE THE OFF-STREET PARKING REQUIREMENT WITHIN THE NC-3 (MODERATE-SCALE NEIGHBORHOOD COMMERCIAL) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On March 30, 2012, America's Best Value Inn and Suites Golden Gate (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 121.2, 303(c), 303(g), 307(i), 317, 712.21 and 712.55 to allow the conversion of use from a motel to a tourist hotel (d.b.a. America's Best Value Inn and Suites Golden Gate) for a use size exceeding 6,000 square feet, to legalize the conversion of two dwelling units to guest rooms, and to reduce the off-street parking requirement within the NC-3 (Moderate-Scale neighborhood Commercial) District and a 40-X Height and Bulk District.

On June 26, 2014, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2012.0435CE.

On August 31, 2012, the project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class One Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this project

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2012.0435CE, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the north side of Lombard Street, between Pierce and Scott Streets, Block 0489, Lot 010. The property is located within the NC-3 (Moderate-Scale Neighborhood Commercial) District and a 40-X Height and Bulk District. The lot is irregularly-shaped with approximately 82 feet of frontage on Lombard Street, and ranges in depth from 100 feet to 137 feet. The property is developed with a circa 1954 three-story motel with a small café on the ground floor.
3. **Surrounding Properties and Neighborhood.** The project site is located in the heart of the Marina neighborhood. Land uses in the project vicinity are varied, but consist primarily of two- and three-story tourist-oriented lodging facilities, multiple-unit residential buildings, restaurants, and neighborhood-serving retail businesses. Buildings on the subject block and facing blocks range from one to three stories tall. An automobile repair shop is located immediately to the west and a pet hospital is located immediately to the east of the property.

Lombard Street (also serves as Highway 101) is a major vehicular and pedestrian thoroughfare, the City's primary link to the North Bay via the Golden Gate Bridge. Transit lines serving San Francisco and Marin County are nearby and are within walking distance of the site.

The Chestnut Street NC-2 (Small-Scale Neighborhood Commercial) District is one block north of the project site while the Union Street Neighborhood Commercial District is three blocks south of the project site. Six blocks west of the project site is the Golden Gate National Recreation Area,

the Presidio, and the Golden Gate Bridge. Northwest of the site are the Palace of Fine Arts and Crissy Field; to the northeast is Fisherman's Wharf and Pier 39.

Land use controls in the neighborhood commercial districts are designed to promote development compatible with the surrounding neighborhood and maintain a harmony of uses that supports the district's vitality. NC-3 Districts are intended in most cases to offer a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood, additionally providing convenience goods and services to the surrounding neighborhoods. NC-3 Districts are linear districts located along heavily trafficked thoroughfares which also serve as major transit routes.

NC-3 Districts include some of the longest linear commercial streets in the City, some of which have continuous retail development for many blocks. Large-scale lots and buildings and wide streets distinguish the districts from smaller-scaled commercial streets, although the districts may include small as well as moderately scaled lots. Buildings typically range in height from two to four stories with occasional taller structures. NC-3 building standards permit moderately large commercial uses and buildings.

4. **Project Description.** The proposed project involves the conversion of use from a motel to a tourist hotel (d.b.a. America's Best Value Inn and Suites Golden Gate). The proposal includes horizontal and vertical additions to the existing three-story building. The proposal would also include legalizing the conversion of two dwelling units to guest rooms by a prior ownership. The gross floor area would increase from approximately 17,800 square feet to 26,800 square feet. The number of guest rooms would increase from 36 to 60 rooms. The existing site provides approximately 19 off-street parking spaces on the ground level. With valet service, the project would provide up to 42 parking spaces while a total of 48 spaces are required. The project is also seeking to reduce the off-street parking requirement within the NC-3 District.

The proposal requires a Conditional Use authorization for change of use, use size, dwelling unit conversion and off-street parking reduction. Section 312-neighborhood notification was conducted in conjunction with the Conditional Use authorization process.

5. **Public Comment.** As of June 19, 2014, the Department has received one e-mail in support of the proposed project and none in opposition to the project.
6. **Planning Code Compliance:** The Commission finds that the project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Tourist Hotel Use.** Planning Code Sections 303(c), 303(g) and 712.55 state that a Conditional Use authorization is required for a Tourist Hotel, as defined by Planning Code Section 790.46.

The project sponsor intends to convert the existing tourist motel, built in 1954, to a tourist hotel, rebranded as America's Best Value Inn and Suites Golden Gate.

- B. **Non-Residential Use Size.** Planning Code Sections 121.2 and 712.21 state that a Conditional Use authorization is required for non-residential use size exceeding 5,999 square feet in Neighborhood Commercial Districts.

The existing motel building contains approximately 17,800 gross square feet of non-residential uses. The project proposes to add an additional 9,000 square feet of non-residential uses, totaling approximately 26,800 gross square feet. The number of guest rooms would increase from 36 to 60 rooms.

- C. **Dwelling Unit Conversion.** Planning Code Section 317 requires that findings be made for any loss of dwelling units.

The subject property's authorized use includes two dwelling units and one manager's unit, in addition to the motel use. According to the project sponsor, the two dwelling units were removed and converted to guest rooms by a prior owner without the benefit of permits. The proposed project would maintain the manager's unit and seek to legalize the conversion of the two dwelling units to guest rooms.

- D. **Basic Floor Area Ratio.** Planning Code Section 124 limits the building square footage to 3.6 square feet of building area for every 1 square feet of lot area, or approximately 33,400 square feet of building area for the subject site. However, in NC Districts, the FAR limits do not apply to dwellings or to other residential uses per Section 124(b).

The proposed project would total approximately 26,800 gross square feet, of which, approximately 700 square feet is related to maintaining an existing dwelling unit for the motel manager.

- E. **Better Streets Plan.** Planning Code Section 138.1 establishes requirements for the improvement of the public right-of-way associated with development projects, such that the public right-of-way may be safe, accessible, convenient and attractive to pedestrian use and travel by all modes of transportation.

The project proposes to reduce the existing curb cut width from 40.6 feet to 15 feet. Streetscape improvements include a new street tree, four new Class 2 bicycle spaces, a new low decorative wall, and planter boxes along Lombard Street.

- F. **Parking.** Planning Code Section 151 requires one off-street parking space for each dwelling unit; 0.8 off-street parking space for each guest bedroom, and one off-street parking space for each 200 square feet of occupied floor area where the occupied floor area exceeds 5,000 square feet for restaurants. Section 152 requires one off-street freight loading space for hotels where the gross floor area of structure or use is over 100,000 square feet but less than 200,000 square feet. Section 155(i) requires one handicapped parking space for each 25 off-street parking spaces provided. Section 155.2(b) requires one Class 1 bicycle space for every dwelling unit, and a minimum of two Class 2 spaces for the retail use. Section 155.4(f) requires that new and existing commercial buildings must provide adequate signs or notices

to advertise the availability of bicycle parking. Section 166 requires one car sharing space for the first 50 spaces plus one for every additional 50 spaces.

The proposed project, with valet service, will accommodate up to 42 off-street parking spaces (including one handicapped parking space and one for the manager's dwelling unit) while a total of 48 spaces are required. Thus, the project is seeking to reduce the off-street parking requirement in an NC District pursuant to Planning Code Section 307(i).

The project would not be required to have off-street freight loading spaces because the project proposes approximately 26,800 gross square feet of hotel use.

The project would be required to provide two Class 1 bicycle spaces and three Class 2 spaces. The existing site contains no bicycle parking spaces. The project would add two new Class 1 bicycle spaces, and four Class 2 bicycle spaces. Adequate signs or notices of the availability of bicycle parking will be provided at the project site.

- G. **Off-Street Parking Reduction.** Planning Code Section 307(i) allows a reduction in the parking requirement in NC districts if certain criteria are met.

The proposed project, with valet service, could accommodate up to 42 off-street parking spaces while a total of 48 spaces are required.

- H. **Street Frontage in Neighborhood Commercial Districts.** Planning Code Section 145.1 requires in NC Districts containing specific uses, including commercial uses, that off-street parking at street grade on a development lot be set back at least 25 feet on the ground floor from any facade facing a street at least 30 feet in width, that parking entrances are no more than 17 feet wide, that active uses be provided within the first 25 feet of building depth on the ground floor, that ground floors have a minimum 10-foot ceiling height, that street-fronting interior spaces for non-residential active uses and lobbies be as close as possible to the sidewalk, and that the ground floor street frontage be at least 60% transparent in order to allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or decorated grille work, other than wire mesh, which is placed in front or behind ground floor windows, shall be at least 75 percent open to perpendicular view.

The proposed project is consistent with the relevant provisions under Section 145.1. The proposed curb cut width is being reduced from 40.6 feet to 15 feet. The existing ground floor lobby area, abutting the sidewalk, would be increased from approximately 300 square feet to 600 square feet. The proposed project would also include design improvements of the existing building façade in order to create a distinctive center element that would attract pedestrian interest rather than the existing blank wall in the middle of the building. Along the 80-foot wide Lombard Street frontage, approximately 50 feet are designated as active use, fenestrated with transparent windows and doorways, which is equivalent to approximately 61 percent transparency.

- I. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department.
7. **Planning Code Section 303(c)** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The existing three-story motel, built in 1954, is a legal non-conforming use since the current NC-3 zoning district no longer permits such a use. The proposed increase in guest rooms is necessary to fund the cost of renovating and modernizing the existing building. The proposal would change the use from a motel to a tourist hotel and bring the 60-year old building into compliance with current building code standards. The project is also desirable because it would allow for a higher density of hotel rooms in an area well-served by public transit. Within a two-block radius, there are five transit lines available to visitors for their city travels.

The proposal includes horizontal and vertical additions to the existing three-story building, and legalizing the conversion of two dwelling units to guest rooms by a prior owner. The gross floor area would increase from approximately 17,800 square feet to 26,800 square feet. The number of guest rooms would increase from 36 to 60 rooms. The proposal would also include transforming the existing motel with fully exterior walkways to a hotel with mostly enclosed hallways by partly enclosing the central courtyard area and reconfiguring the lobby with an expanded reception area. The existing coffee shop will be retained with an added amenity for outdoor seating.

The property has been owned and operated as an independent motel by the project sponsor's family for nearly 30 years. The motel was formerly known as the Sea Captain Motel. It has been rebranded as the America's Best Value Inn and Suites Golden Gate. While still family-owned and operated, with the rebranding, it is now part of a nationwide and worldwide advertising and recognition program.

The project would provide additional Transit Occupancy Taxes to the City, estimated at approximately \$100,000 annually. The project would also provide much needed tourist revenue to the surrounding business establishments on Chestnut Street, Lombard Street, Union Street as well as nearby tourist destinations, such as the Ghirardelli Square, Fisherman's Wharf, and Pier 39. The project would compliment the mix of goods and services currently available in the district and contribute to the economic vitality of the neighborhood.

- (1) In Neighborhood Commercial Districts, if the proposed use is to be located at a location in which the square footage exceeds the limitation (5,999 square feet) found in Planning Code Section 121.2(a), the following shall be considered:

- i. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area; and

The project area consists of a wide variety of neighborhood-serving uses. No uses would be foreclosed by the project. The existing motel provides stays of less than 30 days. With the change of use from a motel to a tourist hotel, guest would likewise have stays of less than 30 days.

- ii. The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function; and

With the increase in guestrooms, nearby businesses would benefit from the additional foot traffic from tourists. The existing motel was built 60 years ago. The proposed renovations involve full ADA compliance, fire sprinklers and seismic upgrade of the existing building.

- iii. The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district; and

The vertical addition would be largely set back from the street wall. The new building façade design, with its varied materials, windows and balconies, will add pedestrian interest and be an asset to the neighborhood.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The existing building footprint will remain the same. The proposal involves adding a new fourth floor level and enclosing portions of the interior open courtyard. The building height would change from 27 feet to 37 feet tall. The new level would be set back approximately 12 feet from the front property line except for a small portion related to an egress staircase exiting to the sidewalk. The new addition would be minimally visible from the street. However, the enhanced building façade design will add pedestrian interest and be an asset to the neighborhood.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project would enhance accessibility and traffic patterns for both persons and vehicles. With the current lobby configuration, visitors must cross the parking area to access the elevator leading

to the rooms. With the proposed renovations, an elevator would be provided within the lobby area for easy access to rooms, and parking would be provided in a secured and covered garage area. With the change in guest room count from 36 to 60 rooms, the project would be required to provide 48 parking spaces. The site could accommodate 17 independently accessible parking spaces; however, with valet service, the site could provide up to 42 of the required 48 spaces. Thus, the project is seeking to reduce the off-street parking requirement in an NC District. The valet service would be available during the hours of 6 a.m. to midnight daily. According to the project sponsor, a majority of the guests arrive at the site by taxis or airport shuttle buses. With the narrowing of the curb cut, the project sponsor will seek two additional white zone spaces, for a total of four white zone spaces available in front of the building for loading purposes.

The project site is well-served by public transit. Several MUNI transit lines run directly in front of or near the site. The existing site contains no bicycle parking spaces. The project would add two new Class 1 bicycle spaces, and four Class 2 bicycle spaces.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

No noxious or offensive emissions will be associated with the project. The project sponsor will encourage "green feature" practices for housekeeping, maintenance, gardening and refuse services.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Streetscape improvements include a new street tree (two already existing on site), four new Class 2 bicycle spaces, a new low decorative wall, and planter boxes along Lombard Street. The project would also add new roof top terraces, totaling approximately 1,400 square feet. The project proposes to reduce the existing curb cut width from 40.6 feet to 15 feet.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the stated purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purpose of NC-3 (Moderate-Scale Neighborhood Commercial) Districts in that the intended use is to renovate an existing motel building. The existing motel use is considered a legal, non-conforming use under the current zoning district. The project would renovate the property to be in character with a tourist hotel use. The larger use size is required due to the irregularly-shaped lot. The new fourth floor level would be consistent with the height and bulk limits of the zoning district.

8. **Planning Code Section 303(g)** establishes criteria for the Planning Commission to consider when reviewing applications for tourist hotels. On balance, the project does comply with said criteria in that:

- A. The impact of the employees of the hotel or motel on the demand in the City for housing, public transit, childcare, and other social services. To the extent relevant, the Commission shall also consider the seasonal and part-time nature of employment in the hotel or motel;

The existing motel has five part-time and three full-time employees. Upon completion of the project, it is anticipated that two new full-time and two part-time positions would be added. The project sponsor intends to hire local residents in order to minimize any effects on the demand for new housing, public transit, childcare and other social services. The project site is well-served by public transit. Several MUNI transit lines run directly in front of or near the site. The existing site contains no bicycle parking spaces. The project would add two new Class 1 bicycle spaces, and four Class 2 bicycle spaces.

The project site's proximity to the Presidio will attract business visitors throughout the year. The Presidio contains approximately half a million square feet of office spaces. Thus, according to the project sponsor, the hotel will not have the seasonal occupancy swings of hotels primarily serving tourists. As a result, the hotel will have a steady number of employees that will not vary by the season.

The project would provide 10 to 15 full-time construction jobs for six to seven months. The project sponsor intends to hire local construction workers; thus, any demands on City services will be minimal and temporary.

- B. The measures that will be taken by the project sponsor to employ residents of San Francisco in order to minimize increased demand for regional transportation; and

The project sponsor intends to hire local residents for the operation of the hotel and construction work.

- C. The market demand for a hotel or motel of the type proposed.

The project's close proximity to the Presidio and the Golden Gate National Recreation Area make it a desirable attraction for tourists traveling to the City. According to the project sponsor, the average occupancy rate at the site is 81 percent for the year 2012, of which, 80 percent are tourists and 20 percent are business travelers. The project site is also near several other tourist attractions, including Palace of Fine Arts, Fort Point, Golden Gate Bridge, Ghirardelli Square and Fisherman's Wharf.

9. **Planning Code Section 307(i)** establishes criteria for the Zoning Administrator or the Planning Commission to consider in approving a reduction of off-street parking requirements for tourist hotels. On balance, the project does comply with said criteria in that:

- A. The reduction in the parking requirement is justified by the reasonably anticipated automobile usage by residents of and visitors to the project; and

The property is located on Lombard Street near many tourist attractions and within two blocks of five MUNI lines: 22 Fillmore, 30 Stockton, 30X Stockton Express, 41 Nineteenth Avenue, and 43 Masonic. Although the project would add 24 new guest rooms, it would not generate a significant increase in visitors to the site. The project would provide up to 42 valet accessible parking spaces to offset any additional vehicular trips. In advance of arrival, the hotel management will inform guests as how best to reach the site via public transportation, taxis and airport shuttle buses.

- B. The reduction in the parking requirement will not be detrimental to the health, safety, convenience or general welfare of persons residing in or working in the vicinity; and

The project proposes several improvements to the site, including narrowing the driveway, screening of the parking area, additional lighting in the parking area, and providing valet service for vehicles as required. With the current lobby configuration, visitors must cross the parking area to access the elevator leading to the rooms. The proposed renovations would provide an elevator within the lobby area for easy access to rooms, and parking would be provided in a secured and covered garage area.

- C. The minimization of conflict of vehicular and pedestrian movements; and

As part of the proposed project, the existing curb cut width would be narrowed from over 40 feet to 15 feet, resulting in less interaction between vehicles and pedestrians. It would also allow the expansion of the hotel lobby area, allowing guests direct access to an elevator from within the lobby, in lieu of crossing the parking area to access an elevator.

- D. The availability of transportation modes other than the automobile; and

The property is located on Lombard Street (also serves as Highway 101). Lombard Street is a major vehicular and pedestrian thoroughfare, the City's primary link to the North Bay via the Golden Gate Bridge. Transit lines serving San Francisco and Marin County are nearby and are within walking distance of the site. Within two blocks, there are five MUNI lines available: 22 Fillmore, 30 Stockton, 30X Stockton Express, 41 Nineteenth Avenue, and 43 Masonic.

- E. The pattern of land use and character of development in the vicinity; and

The project site is located in the heart of the Marina neighborhood. Land uses in the project vicinity are varied, but consist primarily of two- and three-story tourist-oriented lodging facilities, multiple-unit residential buildings, restaurants, and neighborhood serving retail businesses. Buildings on the subject block and facing blocks range from one to three stories tall. An automobile repair shop is located immediately to the west and a pet hospital is located immediately to the east of the property.

- F. Such other criteria as the Zoning Administrator or the Planning Commission deems appropriate in the circumstances of the particular case.

The parking requirement for the project cannot be fully met without significantly altering the building and/or excavating the site for underground parking. By allowing a six-car parking space reduction, the project would renovate a 60-year old building. The new appearance will add pedestrian interest and be an asset to the neighborhood. Upon completion, the building would be fully seismically upgraded and accessible to guests with disabilities.

10. **Planning Code Section 317** establishes criteria for the Planning Commission to consider when reviewing applications for loss of dwelling unit due to conversion of use. On balance, the project does comply with said criteria in that:

A. Will the conversion of the units eliminate only owner-occupied housing?

No. The property's authorized use is a motel with an accessory manager's unit and two dwelling units. Prior to the current owner acquiring the property, the two dwelling units were converted to guest rooms. Therefore, the conversion would not eliminate owner-occupied housing.

B. Will the conversion of the units provide desirable new non-residential use(s) appropriate for the neighborhood and adjoining district(s)?

Yes. The units were converted to guest rooms by a prior owner. The project would allow for the guestrooms to continue to be used as guest rooms. Visitors to the hotel would frequent nearby business establishments thereby contributing to the economic viability of the neighborhood.

C. Is the property located in a district where Residential Uses are not permitted?

No. The project is located in an NC-3 (Moderate-Scale Neighborhood Commercial) District where residential uses are permitted.

D. Will the conversion of the units be detrimental to the City's housing stock?

No. The two dwelling units were converted to guest rooms by a prior ownership. Therefore, the conversion would not result in the actual loss of existing housing units or displacement of tenants. It is likely that the units were used by tourists who wished to cook in their hotel rooms.

E. Is the conversion of the units necessary to eliminate design, functional or habitability deficiencies that cannot otherwise be corrected?

Yes. The project would correct the functional deficiency of having two dwelling units surrounded by hotel guest rooms. Even if the two dwelling units were to be restored, it is unlikely that residential tenants would feel comfortable living in a building of mostly transient overnight guests. They may not offer the quiet enjoyment, privacy, safety and security that a long term residential tenant would expect in a residential building.

11. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

GENERAL/CITYWIDE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers. Sectors of the local economy which typically hire numbers of unskilled or non-technically trained persons are the tourist and service related industries such as hotels and restaurants.

The project is expected to create four new employment opportunities: two full-time and two part-time positions. During the construction phase, the project is expected to employ 10 to 15 full-time construction jobs for six to seven months.

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in

the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Hotel Establishments

- Hotels should be discouraged if they displace existing retail sales and services which are necessary and desirable for the surrounding neighborhoods.
- Districts with an overconcentration of hotels and similar accommodations, it is preferable that new hotels be located at least 300 feet from any existing hotel, motel or bed and breakfast establishment unless there are factors such as traffic circulation, parking, or land use distribution which make clustering appropriate.
- New hotels should contribute to an active retail frontage by providing stores, coffee shops, or convenience retail on the ground story of the major street frontage.
- Hotel development should be compatible in scale and design with the overall district character and especially with buildings on the same block.
- Access to required hotel parking should be designed to minimize interruption of the active retail frontage and disturbance to adjacent residences

The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For hotel establishments, the Guidelines state, "The use should fully utilize available floor area. Uses which require a limited amount of ground story frontage, such as limited financial services and hotel lobbies, should provide access to remaining space for use by other establishments."

The project seeks to modernize a 60-year old building. It would enhance accessibility and traffic patterns for both persons and vehicles. With the current lobby configuration, visitors must cross the parking area to access the elevator leading to the rooms. With the proposed renovations, an elevator would be provided within the lobby area for easy access to rooms, and parking would be provided in a secured and covered garage area. With the change in guest room count from 36 to 60 rooms, the project would be required to provide 48 parking spaces. The site could accommodate 17 independently accessible parking spaces. With valet service, the site could provide up to 42 of the required 48 spaces.

The project will maintain the existing coffee shop that is to the east of the hotel lobby. A portion of the reconfigured ground floor area would also be designated for outdoor seating.

VISITOR TRADE

Objectives and Policies

OBJECTIVE 8:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

Policy 8.2:

Support locally initiated efforts to improve the visitor trade appeal of neighborhood commercial districts.

The project seeks to modernize a 60-year old building and bring it into compliance with current building code standards. The proposal would change the use from a motel to a tourist hotel. The project would further enhance the visitor trade by upgrading to a higher density of hotel rooms in an area well-served by public transit. Within a two-block radius, there are five transit lines available to visitors for their city travels.

12. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The existing coffee shop with an added amenity of outdoor seating would enhance the district as well as the economic viability of this small business by generating additional foot traffic and revenue.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing housing units in the surrounding neighborhood would not be adversely affected. The proposal seeks to legalize the conversion by a prior owner of two dwelling units to guest rooms. According to the project sponsor, the units did not house tenants; rather they were used by hotel guests who wanted the convenience of a cooking facility.

- C. That the City's supply of affordable housing be preserved and enhanced,

The proposal seeks to legalize the conversion by a prior owner of two dwelling units to guest rooms without the benefits of permits, so the administrative records could be properly documented.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The site is located on Lombard Street (also serves as Highway 101). Lombard Street is a major vehicular and pedestrian thoroughfare, the City's primary link to the North Bay via the Golden Gate Bridge. Transit lines serving San Francisco and Marin County are nearby and are within walking distance of the site. Within two blocks, there are five MUNI lines available: 22 Fillmore, 30 Stockton, 30X Stockton Express, 41 Nineteenth Avenue, and 43 Masonic.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will not affect existing parks and open spaces.

13. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
14. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2012.0435CE** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated June 13, 2014, and labeled "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. _____. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on June 26, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: June 26, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to allow the conversion of use from a motel to a tourist hotel (d.b.a. America's Best Value Inn and Suites Golden Gate) for a use size exceeding 6,000 square feet, to legalize the conversion of two dwelling units to guest rooms, and to reduce the off-street parking requirement, located at 2322 Lombard Street, Assessor's Block 0489, Lot 010 pursuant to Planning Code Sections 121.2, 303(c), 303(g), 307(i), 317, 712.21 and 712.55 within the NC-3 (Moderate-Scale neighborhood Commercial) District and a 40-X Height and Bulk District; in general conformance with plans, dated June 13, 2014, and labeled "EXHIBIT B" included in the docket for Case No. 2012.0435CE and subject to conditions of approval reviewed and approved by the Commission on June 26, 2014 under Motion No. _____. This authorization and the conditions contained herein run with the property and not with a particular project sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on June 26, 2014 under Motion No. _____.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. _____ shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PARKING

8. **Parking.** The project shall provide up to 42 of the required 48 spaces with valet service.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

9. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>
10. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>
11. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information

change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



SAN FRANCISCO
PLANNING
DEPARTMENT

CEQA Categorical Exemption Determination

Property Information/Project Description

PROJECT ADDRESS 2322 Lombold St.		BLOCK/LOT(S) 0489/010
CASE NO. 2012.0435E	PERMIT NO.	PLANS DATED

- Addition/ Alteration (detailed below) Demolition (requires HRER if over 50 years old) New Construction

STEP 1 EXEMPTION CLASS

- Class 1: Existing Facilities**
Interior and exterior alterations; additions under 10,000 sq.ft.; change of use if principally permitted or with a CU.
- Class 3: New Construction**
Up to three (3) single family residences; six (6) dwelling units in one building; commercial/office structures under 10,000 sq.ft.; accessory structures; utility extensions.

NOTE:
If neither class applies, an *Environmental Evaluation Application* is required.

STEP 2 CEQA IMPACTS (To be completed by Project Planner)

If ANY box is initialed below an *Environmental Evaluation Application* is required.

_____ **Transportation:** Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?

_____ **Air Quality:** Would the project add new sensitive receptors (specifically, schools, colleges, universities, day care facilities, hospitals, residential dwellings [subject to Article 38 of the Health Code], and senior-care facilities)?

_____ **Hazardous Materials:** Would the project involve 1) change of use (including tenant improvements) and/or 2) soil disturbance; on a site with a former gas station, auto repair, dry cleaners, or heavy manufacturing use, or on a site with underground storage tanks?
Phase I Environmental Site Assessment required for CEQA clearance (E.P. initials required)

_____ **Soil Disturbance/Modification:** Would the project result in the soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in non-archeological sensitive areas?

Refer to: EP ArcMap > CEQA CatEx Determination Layers > Archeological Sensitive Areas

_____ **Noise:** Does the project include new noise-sensitive receptors (schools, colleges, universities, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Noise Mitigation Area

_____ **Subdivision/Lot-Line Adjustment:** Does the project site involve a subdivision or lot-line adjustment on a lot with a slope of 20% or more?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Topography

NOTE:
Project Planner must initial box below before proceeding to Step 3.

Project Can Proceed With Categorical Exemption Review.

The project does not trigger any of the CEQA Impacts and can proceed with categorical exemption review.

GO TO STEP 3

STEP 3 PROPERTY STATUS - HISTORICAL RESOURCE

Property is one of the following: (Refer to: San Francisco Property Information Map)

- Category A: Known Historical Resource **GO TO STEP 5**
- Category B: Potential Historical Resource (over 50 years of age) **GO TO STEP 4**
- Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age) **GO TO STEP 6**

STEP 4 PROPOSED WORK CHECKLIST (To be completed by Project Planner)

If condition applies, please initial.

- _____ 1. **Change of Use and New Construction** (tenant improvements not included).
- _____ 2. **Interior alterations/interior tenant improvements.** Note: Publicly-accessible spaces (i.e. lobby, auditorium, or sanctuary) require preservation planner review.
- _____ 3. **Regular maintenance and repair** to correct or repair deterioration, decay, or damage to the building.
- _____ 4. **Window replacement** that meets the Department's *Window Replacement Standards* (does not include storefront window alterations).
- _____ 5. **Garage work**, specifically, a new opening that meets the *Guidelines for Adding Garages and Curb Cuts*, and/or replacement of garage door in an existing opening.
- _____ 6. **Deck, terrace construction, or fences** that are not visible from any immediately adjacent public right-of-way.
- _____ 7. **Mechanical equipment installation** not visible from any immediately adjacent public right-of-way.
- _____ 8. **Dormer installation** that meets the requirements for exemption from public notification under *Zoning Administrator Bulletin: Dormer Windows*.
- _____ 9. **Additions** that are not visible from any immediately adjacent public right-of-way for 150' in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

NOTE:
Project Planner must check box below before proceeding.

Project is not listed:

GO TO STEP 5

Project does not conform to the scopes of work:

GO TO STEP 5

Project involves 4 or more work descriptions:

GO TO STEP 5

Project involves less than 4 work descriptions:

GO TO STEP 6

STEP 5 CEQA IMPACTS - ADVANCED HISTORICAL REVIEW (To be completed by Preservation Planner)

If condition applies, please initial.

- _____ 1. Project involves a **Known Historical Resource (CEQA Category A)** as determined by Step 3 and conforms entirely to Scope of Work Descriptions listed in Step 4. (Please initial scopes of work in STEP 4 that apply.)
- _____ 2. **Interior alterations to publicly-accessible spaces.**

- 3. **Window replacement** of original/historic windows that are not "in-kind" but are is consistent with existing historic character.
- 4. **Facade/storefront alterations** that do not remove, alter, or obscure character-defining features.
- 5. **Raising the building** in a manner that does not remove, alter, or obscure character-defining features.
- 6. **Restoration** based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
- 7. **Addition(s)**, including mechanical equipment that are minimally visible from a public right of way and meets the *Secretary of the Interior's Standards for Rehabilitation*.
- 8. **Other work consistent** with the *Secretary of the Interior Standards for the Treatment of Historic Properties*
Specify: _____

365

9. **Reclassification of property status** to Category C

a. Per Environmental Evaluation Evaluation, dated _____

* Attach Historic Resource Evaluation Report

b. Other, please specify: see attached PTR

FIRM; NO Historic Integrity

* Requires initial by Senior Preservation Planner / Preservation Coordinator

NOTE:

If ANY box is initialed in STEP 5, Preservation Planner MUST review & initial below.

Further Environmental Review Required.

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

GO TO STEP 6

Preservation Planner Initials

Project Can Proceed With Categorical Exemption Review.

The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review.

GO TO STEP 6

R
Preservation Planner Initials

STEP 6 CATEGORICAL EXEMPTION DETERMINATION (To be completed by Project Planner)

Further Environmental Review Required.

Proposed Project does not meet scopes of work in either:

(check all that apply)

Step 2 (CEQA Impacts) or

Step 5 (Advanced Historical Review)

STOP!

Must file *Environmental Evaluation Application*.

No Further Environmental Review Required. Project is categorically exempt under CEQA.

Richard Scott
Planner's Signature

8/31/12
Date

Richard Scott
Print Name

Once signed and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW

MEETING DATE: 05/22/2012	DATE: 08/31/2012
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PROJECT INFORMATION:	
Planner:	Richard Sucre
Address:	2322 Lombard Street
Cross Streets:	Pierce and Scott Streets
Block/Lot:	0489/010
CEQA Category:	Category B
Art. 10/11:	
BPA/Case No.:	Case No. 2012.0435E

PURPOSE OF REVIEW:		
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC

PROJECT DESCRIPTION:		
<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction	

DATE OF PLANS UNDER REVIEW: 03/22/2012

PROJECT ISSUES:
<ul style="list-style-type: none">- Interior alterations; 2nd & 3rd Floor Addition; Partial 4th Floor Addition- Re-Categorize to Category C - Not a Historic Resource

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PRESERVATION TEAM REVIEW:					
Historic Resource per CEQA:			<input type="radio"/> Yes	<input checked="" type="radio"/> No *	<input type="radio"/> N/A
	Criteria	Events:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
		Persons:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
		Architecture:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
		Potential to Yield:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
	If yes, Individual Resource:		<input type="radio"/> Yes	<input checked="" type="radio"/> No	
	If yes, Historic District:		<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Complies with the Secretary's Standards/Art 10/Art 11:			<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:			<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:			<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:			<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:			<input type="radio"/> Yes	<input checked="" type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:
<ul style="list-style-type: none"> - Originally known as the Sea Captain Motel; Constructed in 1954 by original owner, Captain Charles (Chas) Jokstad; Designed by Mesak & Holm - Located in Marina neighborhood; No adjacent or nearby historic districts - Subject property is a three-story motel designed in a significantly altered Modern architectural style - Other properties on the same block are designed in a wide variety of architectural styles; most other properties are also commercial in use - In 2009, subject property was significantly altered by the enclosure of open courtyard with a raised, two-story wing. - No historic integrity. - Does not appear to be individually distinguished based upon architecture and associated building history. - Does not appear to be a historic resource based upon the submitted Supplemental Information Form, building permit history, and available information.

X *Jma*

Date: 8/31/2012

Signature of a Senior Preservation Planner / Preservation Coordinator

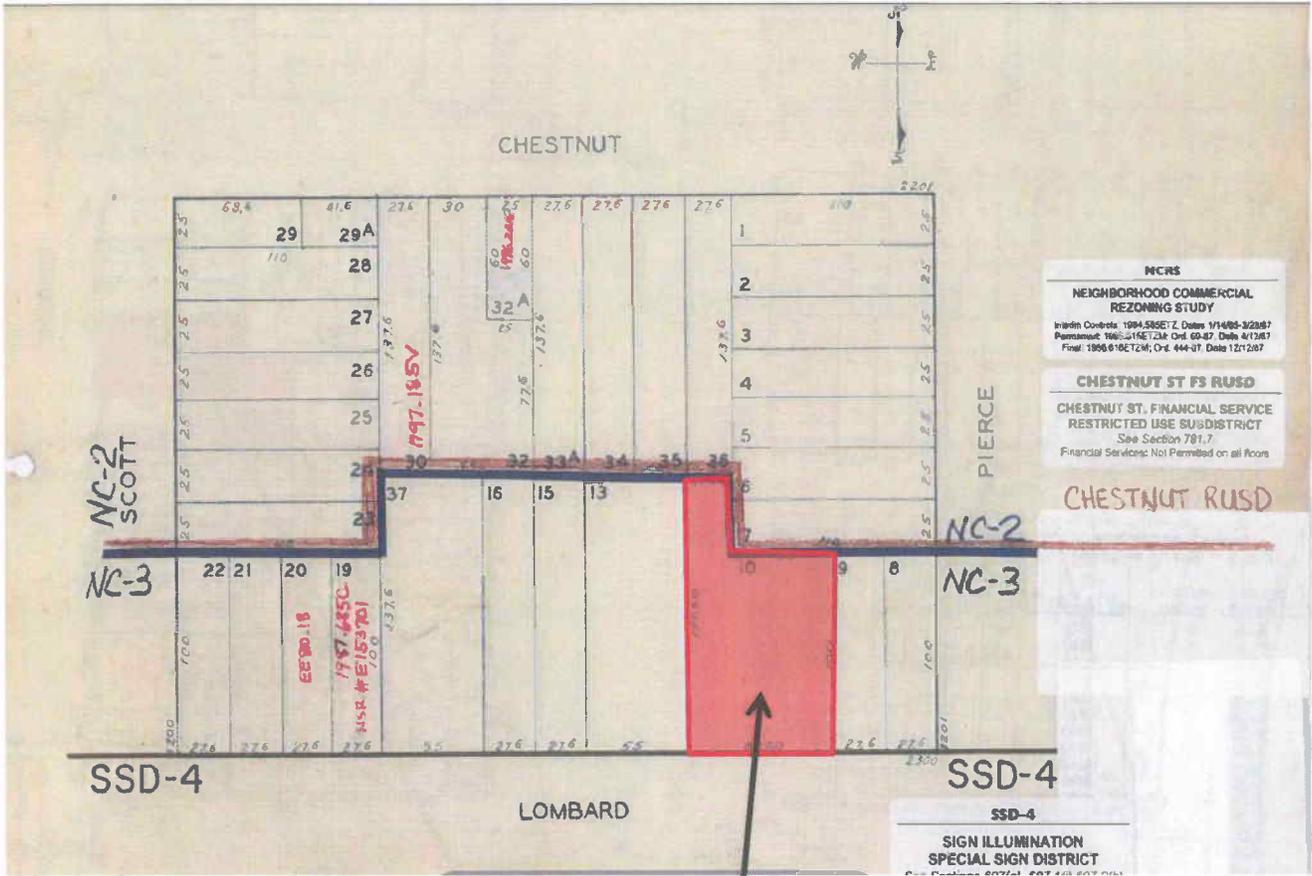
SAN FRANCISCO
PLANNING DEPARTMENT

IMAGES



2322 Lombard Street
(Source: Google Maps, April 2011; Accessed August 31, 2012)

Parcel/Zoning Map

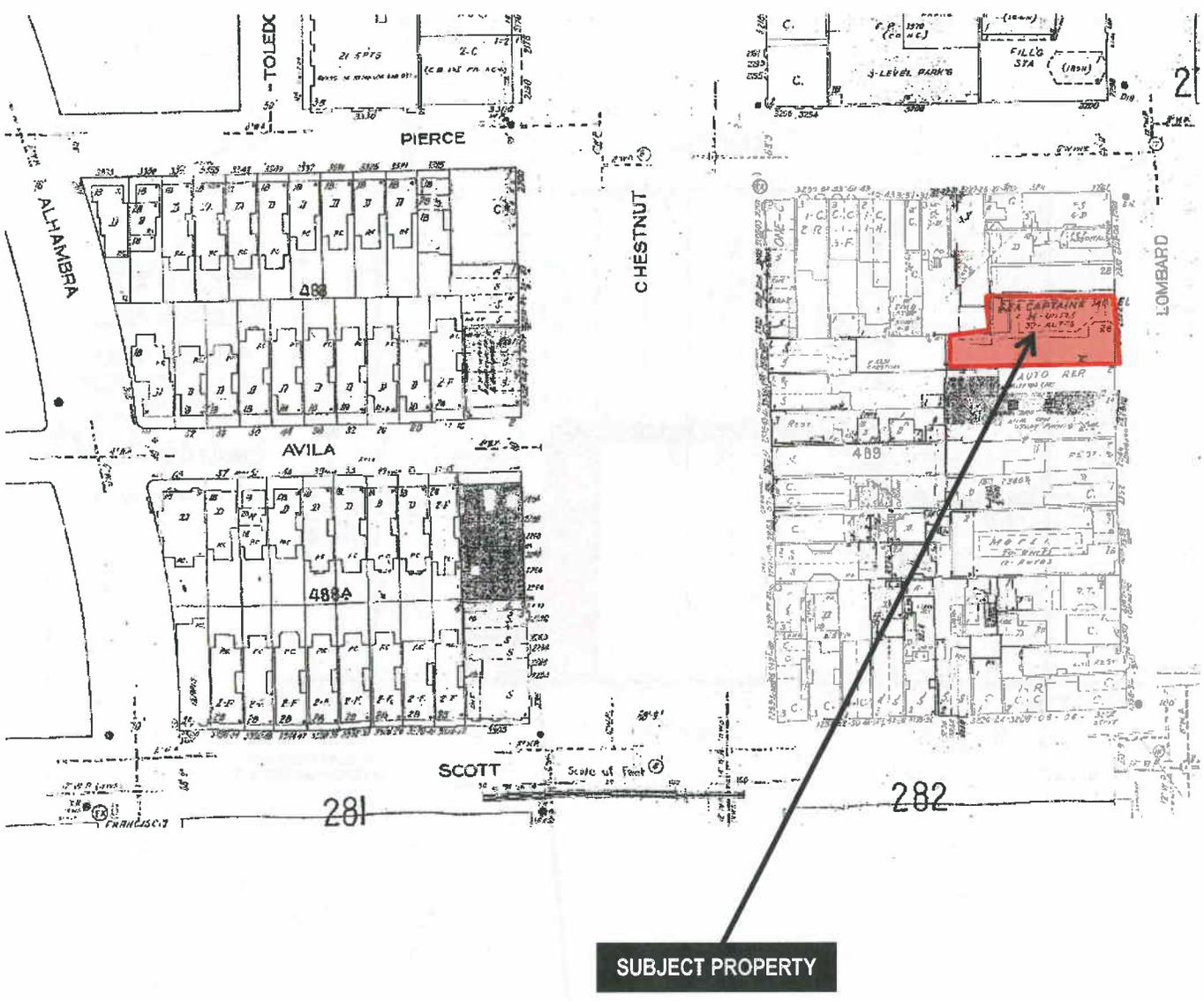


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2012.0435CE
2322 Lombard Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Hearing
Case Number 2012.0435CE
2322 Lombard Street

Site Photo



SUBJECT PROPERTY

Conditional Use Hearing
Case Number 2012.0435CE
2322 Lombard Street

GUESTROOMS, DWELLING UNITS AND PARKING SPACES

	GROUND FLOOR			SECOND FLOOR			THIRD FLOOR			FOURTH FLOOR			TOTAL		
	E	P	N	E	P	N	E	P	N	E	P	N	E	P	N
	E = EXISTING P = PROPOSED N = NET CHANGE														
GUESTROOMS-NON ADA				18	19	+1	18	19	+1	0	15	+15	36	53	+17
GUESTROOMS-ADA ACCESSIBLE				0	1	+1		1	+1	0	1	+1		3	+3
GUESTROOMS-ROLL-IN SHOWER				0	1	+1				0				1	+1
GUESTROOMS-HEARING IMPAIRED				0	1	+1		1	+1	0	1	+1		3	+3
TOTAL GUESTROOMS				18	22	+4	18	21	+3	0	17	+17	36	60	+24
MANAGER'S DWELLING UNIT	1	1	0										1	1	0
TOTAL MANAGER'S DWELLING UNITS	1	1	0										1	1	0
DWELLING UNITS				1		-1	1		-1				2	0	-2
TOTAL DWELLING UNITS				1		-1	1		-1				2	0	-2
PARKING SPACES	19	17	-2										19	17	-2
TOTAL PARKING SPACES	19	17	-2										19	17	-2
CLASS 1 BICYCLE SPACES	0	2	+2										0	2	+2
CLASS 2 BICYCLE SPACES	0	4	+4										0	4	+4
TOTAL BICYCLE PARKING	0	6	6										0	6	6

GROSS FLOOR AREA (GFA) CALCULATIONS

	GROUND FLOOR			SECOND FLOOR			THIRD FLOOR			FOURTH FLOOR			TOTAL		
	E	P	N	E	P	N	E	P	N	E	P	N	E	P	N
	GSF	GSF	GSF	GSF	GSF	GSF									
LOBBY & OFFICE	285	585	+300										285	585	+300
MANAGER DWELLING UNIT	780	745	- 35										780	745	- 35
EMPLOYEE BREAK ROOM	465	0	-465										465	0	-465
RETAIL	610	345	-265										610	345	-265
LAUNDRY	280	390	+110	280	0	-280							560	550	-10
TRASH & STORAGE & BIKE PK	91	375	+284	0	200	+200	105	300	+195				196	715	+519
GUESTROOMS				4,880	6,193	+1,313	4,930	5,963	+1,033	0	4,540	+4,540	9,810	16,696	+6,886
DWELLING UNIT				580	0	-580	580	0	-580				1,160	0	-1,160
EMPLOYEE ROOM				0	130	+130	0	130	+130	0	130	+130		390	+390
CIRCULATION	500	620	+120	1,672	1,870	+198	1,797	2,000	+203	0	2,242	+2,242	3,969	6,732	+2,763
TOTAL GFA	3,011	3,060	+ 49	7,412	8,393	+981	7,412	8,393	+981	0	6,912	+6,912	17,835	26,758	+8,923
EXCLUDED FROM GFA															
TERRACES - OPEN SPACE	0	200	+200							0	1,469	+1,469	0	1,669	+1,669
MECHANICAL & ELECTRICAL	311	311	0										311	311	0
ELEVATOR SHAFT	40	40	0										40	40	0
PARKING	5,660	5,449	-211										5,660	5,449	-211
TOTAL EXCLUDED FROM GFA	6,011	6,000	- 11							0	1,481	+1,481	6,011	7,481	1,470
TOTAL AREA	9,022	9,060	+ 27	7,412	8,393	+981	7,412	8,393	+981	0	8,393	+8,393	23,846	34,239	+10,393

BUILDING DEPARTMENT NOTES

2322 LOMBARD STREET, SAN FRANCISCO, CA.

BLOCK AND LOT: BLOCK 0489 LOT 010

APPLICABLE BUILDING CODES: 2010 CALIFORNIA BUILDING CODE W/ SAN FRANCISCO AMENDMENTS, 2010 MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES.

OCCUPANCY CLASSIFICATION: GROUP R-1, PROPOSED FOUR FLOORS OF HOTEL GUESTROOMS, WITH GROUND FLOOR PARKING GROUP U

CONSTRUCTION TYPE: TYPE V-A, 1 HOUR, WOOD FRAME CONSTRUCTION

SPRINKLER WORK: SPRINKLER WORK SHALL BE UNDER SEPARATE PERMIT.

SCOPE OF WORK

REMODEL OF EXISTING TOURIST MOTEL TO BRING USE TO CONFORMING TOURIST HOTEL. INTERIOR ALTERATION TO EXISTING GROUND FLOOR, 2ND FLOOR AND 3RD FLOOR TO UPDATE CIRCULATION AND ADD NEW GUESTROOMS. THE ADDITION OF A 4TH FLOOR TO ADD ADDITIONAL GUEST ROOMS AND OCCUPIED ROOF TERRACES. THE PROPOSED PROJECT WILL BRING THE GUESTROOM COUNT FROM 36 TO 60.

PLANNING DEPARTMENT NOTES

PROJECT INFORMATION

PROJECT LOCATION: 232 LOMBARD STREET, SAN FRANCISCO, CA.

APN: BLOCK 0489 LOT 010.

PLANNING CODE SECTION

RELEVANT INFORMATION

SECTION 712: ZONING DISTRICT

NC-3 DISTRICT

SECTION 712.10: BUILDING HEIGHT

40-X. PROPOSED: 40'-0" BUILDING. SETBACKS: FULL COVERAGE ALLOWED.

SECTION 712.93; TABLE 135 A: USABLE OPEN SPACE

80 SF PER DWELLING UNIT REQUIRED
1 MANAGER'S DWELLING UNIT IS EXISTING.
1,469 SF USABLE OPEN SPACE PROPOSED.

SECTION 712.20: FLOOR AREA RATIO

BASIC FLOOR AREA RATIO FOR NC-3 IS 3.6 TO 1
LOT AREA IS 9,281 SF (9,281 X 3.6 = 33,412)
ALLOWABLE F.A.R.: 33,412 SF

PROPOSED G.F.A. IS 26,758 SF WHICH IS LESS THAN THE 33,412 ALLOWABLE; BUILDING COMPLIES

SECTION 151: PARKING

.8 SPACES PER HOTEL GUESTROOM REQUIRED. 48 SPACES ARE REQUIRED FOR THE PROPOSED 60 GUESTROOMS.

THE EXISTING MOTEL OFFERS 19 SPACES. THE PROPOSED HOTEL WOULD REDUCE THOSE SPACES BY TWO (2) TO ACCOMMODATE THE ENLARGED LOBBY, NEW STAIRS AT REAR OF GARAGE AND 1 ACCESSIBLE SPACE FOR A TOTAL OF 17 SPACES. A PARKING REDUCTION APPLICATION HAS BEEN SUBMITTED PROPOSING AN ADDITIONAL 25 VALET PARKING TO PROVIDE UP TO 42 OF THE REQUIRED 48 SPACES; THUS, THE PROJECT IS SEEKING TO REDUCE THE OFF-STREET PARKING REQUIREMENT IN AN NC DISTRICT PURSUANT TO PLANNING CODE SECTION 307(i)

SECTION 155.1: BICYCLE PAKING

"CLASS 1 BICYCLE PARKING SPACE(S)." SPACES IN SECURE, WEATHER-PROTECTED FACILITIES INTENDED FOR USE AS LONG-TERM, OVERNIGHT, AND WORK-DAY BICYCLE STORAGE BY DWELLING UNIT RESIDENTS, NON-RESIDENTIAL OCCUPANTS, AND EMPLOYEES.

"CLASS 2 BICYCLE PARKING SPACE(S)." BICYCLE RACKS LOCATED IN A PUBLICLY-ACCESSIBLE, HIGHLY VISIBLE LOCATION INTENDED FOR TRANSIENT OR SHORT-TERM USE BY VISITORS, GUESTS, AND PATRONS TO THE BUILDING OR USE

SECTION 155.1 (2)(A): BICYCLE PAKING

ALL USES, EXCEPT NON-ACCESSORY GARAGES AND PARKING LOTS, MAY LOCATED CLASS 2 BICYCLE PARKING IN A PUBLIC RIGHT-OF-WAY, SUCH AS ON A SIDEWALK>

TABLE 155.2.25: BICYCLE PARKING SPACES REQUIRES

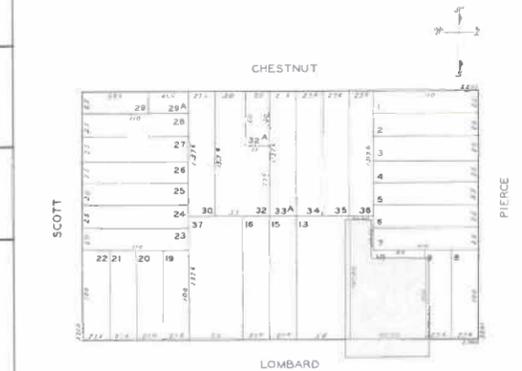
HOTELS REQUIRE ONE CLASS 1 SPACE FOR EVERY 30 ROOMS PLUS ONE CLASS 2 SPACE FOR EVERY 30 ROOMS, TWO SPACES MINIMUM; PLUS ONE CLASS 2 SPACE FOR EVERY 5000 SQUARE FEET OF OCCUPIED FLOOR AREA OF CONFERENCE, MEETING OR FUNCTION ROOMS.

2 CLASS 1 SPACES REQUIRED
3 CLASS 2 SPACES REQUIRED

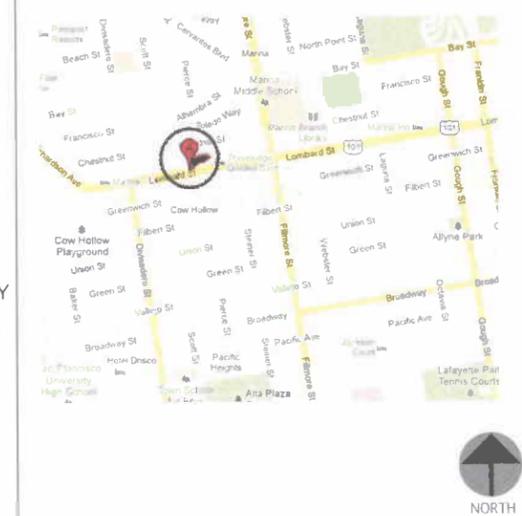
2 CLASS 1 SPACES PROVIDED
4 CLASS 2 SPACES PROVIDED

PARCEL MAP

BLOCK 0489 LOT 010



VICINITY MAP



DRAWING INDEX

A0.0	COVER SHEET
A0.0a	COVER SHEET 2
A0.0b	GREEN BUILDING CHECKLIST
A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A2.0	EXISTING/DEMO GROUND FLOOR PLAN
A2.1	EXISTING/DEMO 2ND & 3RD FLOOR PLANS
A2.2	EXISTING/DEMO ELEVATIONS
A2.3	EXISTING SECTION & ELEVATION
A3.0	PROPOSED GROUND FLOOR PLAN
A3.1	PROPOSED 2ND & 3RD FLOOR PLANS
A3.2	PROPOSED 4TH FLOOR PLAN
A3.3	PROPOSED ELEVATIONS
A3.4	PROPOSED REAR ELEVATION & SECTIONS
A3.5	RENDERED ELEVATIONS

Revision	Date
PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
PLANNING REV	08/03/14
PLANNING COM	06/13/14

GENERAL CONDITIONS

CONTRACTORS RESPONSIBILITIES:

-CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE 2010 CALIFORNIA BUILDING CODE, WITH 2010 SAN FRANCISCO AMENDMENTS; 2010 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES; 2010 SAN FRANCISCO FIRE CODE & NFPA-13; NFPA 72; TITLE 24 ENERGY CODE 2010 EDITION; SAN FRANCISCO HOUSING CODE 2010 EDITION; AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.

-CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS.

-ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

-CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING AS NECESSARY.

-CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONSTRUCTION.

-CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION / CAPPING OFF OF ALL EXISTING UTILITIES AND RE-CONNECTION WHERE RE-USE IS POSSIBLE.

-SLOPE ALL FLOORS / ROOFS TO DRAIN A MINIMUM OF 1/4" PER 1'-0", UNLESS SPECIFICALLY NOTED OTHERWISE.

-MECHANICAL AND ELECTRICAL WORK SHOWN ON DRAWINGS IS SCHEMATIC IN NATURE: CONTRACTOR TO CONFIRM FINAL LAYOUT WITH ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK.

-CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE UTILITY HOOK-UPS FOR ALL HEATERS, APPLIANCES, SPRINKLERS AND ALL OTHER EQUIPMENT WHETHER OR NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.

DRAWINGS:

-DO NOT SCALE DRAWINGS! ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.

-ALL DIMENSIONS ARE TO "FACE OF STUD" UNLESS SPECIFICALLY NOTED OTHERWISE. EXISTING DIMENSIONS DENOTED BY "(E)" ARE TO "FACE OF EXISTING FINISH" UNLESS SPECIFICALLY NOTED OTHERWISE. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO PROCEEDING WITH THE WORK.

-LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.

GENERAL:

-GUARDRAILS TO COMPLY WITH THE CODE; OPEN GUARDRAILS SHALL HAVE OPENINGS SUCH THAT A 4" SPHERE CANNOT PASS THRU'.

-PROVIDE IDENTIFICATION FOR ALL PUBLIC STAIRWAYS PER UBC SECTION 1006.16.

-COMPLY WITH UNIT SECURITY REQUIREMENTS PER SFBC SECTION 1005A.

ASSEMBLIES

(SEE COVER SHEET LEGEND FOR RATED WALL DESIGNATIONS AND OTHER WALL TYPES):

-PROVIDE MINIMUM 1-HOUR WALL AND FLOOR / CEILING ASSEMBLY BETWEEN ALL RESIDENTIAL UNITS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS; AND STANDARD DETAILS FOR COMPLETE ASSEMBLY DESCRIPTIONS.

-PROVIDE MINIMUM 50 STC AND IIC REQUIREMENT AT ALL UNITS AT FLOORS, CEILINGS, AND WALLS. SEE PLANS AND BUILDING SECTIONS FOR DESIGNATIONS; AND STANDARD DETAILS FOR ASSEMBLY DESCRIPTIONS.

-INSULATE ALL ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS: R-30 AT ROOFS, R-13 AT WALLS, R-19 AT FLOORS; MINIMUM, UNLESS SPECIFICALLY NOTED OTHERWISE. SEE TITLE 24, ENERGY COMPLIANCE STATEMENT MANDATORY MEASURES CHECKLIST FOR SPECIFIC REQUIREMENTS.

-PROVIDE VENTILATION OF ALL JOIST, STUD AND RAFTER SPACES ENCLOSED BY BUILDING ASSEMBLIES BETWEEN HEATED AND UNHEATED AREAS INCLUDING ATTICS, BASEMENTS, ROOFS, SOFFITS, PARAPET AND RAILING WALLS, ETC.

-PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF CONDITIONS INCLUDING BUT NOT LIMITED TO: PERIMETER EDGES, VALLEYS, PARAPET CAPS, WALL / ROOF INTERSECTIONS, ROOF PENETRATIONS, ETC.

-ALL NEW EXTERIOR FINISHES TO BE INSTALLED OVER A MINIMUM MOISTURE BARRIER OF TWO LAYERS OF 15 POUND (GRADE D) BUILDING PAPER.

-ALL ROOFING SHALL BE CLASS "A" FIRE RATED.

DOORS AND WINDOWS:

-MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.

-IF A DOOR HAS A CLOSER, DOOR SHALL BE ADJUSTED SUCH THAT FROM AN OPEN POSITION OF 70 DEGREES THE DOOR WILL TAKE 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH.

-HAND ACTIVATED DOOR LATCHING, LOCKING AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FLOOR.

- THE BOTTOM 10" OF DOOR SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEEL CHAIR WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

-CONFIRM ALL DOOR AND WINDOW SIZES WITH ACTUAL / EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING DOORS AND WINDOWS.

-ALL REQUIRED SLEEPING AREA ESCAPE / RESCUE WINDOWS BELOW 4TH FLOOR ARE DESIGNATED "RESCUE" ON FLOOR PLANS ADJACENT TO WINDOW. RESCUE WINDOWS TO COMPLY W/ CBC SECTION 310.4 AND SHALL HAVE A MIN. NET CLR. AREA OF 5.7 SQ. FT. MIN. CLR. HT. DIM: 24", MIN. CLR. WIDTH DIM: 20", MAX SILL HT. DIM: 44" AFF.

-REFER TO EXTERIOR ELEVATIONS FOR INDICATIONS OF WINDOW OPERATION AND HANDING.

-ALL DOORS AND WINDOWS BETWEEN HEATED AND UNHEATED AREAS SHALL BE PROVIDED WITH WEATHER-STRIPPING AND THRESHOLDS FOR DOORS.

-ALL PROPERTY LINE WINDOWS (INDICATED ON DRAWINGS BY "PL") SHALL BE STEEL SASH WITH FIXED WIRE GLASS, WITH SPRINKLER HEAD PROTECTION PER S.F. BUILDING CODE SECTION 503.5.

-ALL GLAZING SHALL COMPLY WITH CODE SECTION 2406; SAFETY GLASS, AND SHALL BE LOW-E WITH A U FACTOR OF .31.

-ALL INTERIOR DOORS SHALL BE SOLID CORE UNLESS SPECIFICALLY MENTIONED OTHERWISE, OR ARE REQUIRED TO BE OF OTHER MATERIALS BECAUSE OF FIRE RATING OR ANY OTHER REQUIREMENTS.

-ALL EXTERIOR DOORS OR DOORS IN NON-HEATED AREAS SHALL BE METAL DOORS WITH METAL FRAME, UNLESS SPECIFICALLY MENTIONED OTHERWISE.

MECHANICAL, ELECTRICAL AND PLUMBING (MEP):

-PARKING GARAGE(S), CORRIDORS AND STAIRS SHALL BE VENTILATED AS REQUIRED PER CODE.

-PROVIDE EMERGENCY / EXIT LIGHTING AT ALL EXIT PATHS OF TRAVEL AS REQUIRED PER CODE.

-ALL COMMON AREA LIGHT FIXTURES, ETC. SHALL BE FLUORESCENT UNLESS SPECIFICALLY NOTED OTHERWISE.

-PARKING GARAGE(S), COMMON HALLWAYS AND ALL OTHER COMMON AREAS, NOT WELL SERVED BY DAY LIGHTING WINDOWS, SHALL BE PROVIDED WITH ELECTRIC LIGHTING 24 HOURS PER DAY, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL OTHER EXTERIOR OR EXPOSED COMMON AREAS TO DAY LIGHTING SHALL BE PROVIDED WITH SWITCHING VIA CENTRAL PHOTO-ELECTRIC SENSOR WITH TIMER CLOCK SWITCH OVERRIDE, UNLESS OTHERWISE SPECIFIED.

-STAGGER ALL ELECTRICAL AND MECHANICAL ITEMS IN ALL DEMISING WALLS AND FLOORS BETWEEN UNITS TO MAINTAIN ASSEMBLY'S ACOUSTICAL RATINGS. SEE SPECIFICATIONS AND DETAILS FOR SPECIFIC REQUIREMENTS.

-ALL ELECTRICAL RECEPTACLES IN DAMP LOCATIONS TO BE GROUND FAUL INTERRUPTER (GFI) AS REQUIRED PER CODE.

-PROVIDE UNIT SMOKE DETECTORS PER SFBC SEC. 310.9.

-PROVIDE LIGHTED EXIT SIGNAGE WITH EMERGENCY BACK-UP PER SECTION 1003.2.8

-ALL KITCHEN LIGHTING: HALF THE INSTALLED WATTAGE OF LUMINAIRES SHALL BE FLUORESCENT.

-ALL BATHROOM, LAUNDRY ROOM, AND UTILITY ROOM LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY AN OCCUPANCY SENSOR.

-ALL OTHER ROOM LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY AN OCCUPANCY SENSOR OR DIMMER SWITCH.

-ALL EXTERIOR LIGHTING SHALL BE EITHER FLUORESCENT OR CONTROLLED BY A PHOTO-TIMER OR MOTION SENSOR.

-DOMESTIC DRYER MOISTURE EXHAUST DUCT LENGTH SHALL BE LIMITED TO 14 FEET PER CODE (SFMC 504.3.2.2) UNLESS PERMITTED OTHERWISE BY LISTED DRYER MANUFACTURER. PLEASE REFER TO SHEET A0.2 FOR WHIRLPOOL DRYER VENT SPECIFICATIONS (WHICH EXCEEDS 14 FEET) FOR THIS PROJECT.

ALL DRYER AND BATHROOM VENTS SHALL BE ROUTED HORIZONTALLY WITH OUTLETS AT LIGHTWELL.

-ENVIRONMENTAL EXHAUSTS TERMINATE TYPICALLY MINIMUM OF 3'-0" FROM OPENINGS OR PROPERTY LINE.

FIRE EXTINGUISHING / FIRE ALARM SYSTEM (FIRE SPRINKLERS):

-CONTRACTOR SHALL PROVIDE COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM TO COMPLY WITH ALL APPLICABLE BUILDING AND FIRE CODES. THE SYSTEM SHALL INCLUDE, BUT NOT BE LIMITED TO: ALL SPRINKLER HEADS, PIPING, CONNECTIONS, FIRE DEPARTMENT PANELS, ALARMS, PULL STATIONS, VISUAL WARNING DEVICES, AUTOMATIC SYSTEM MONITORING CONNECTION (AS REQUIRED) AND ALL ELSE AS REQUIRED.

-THIS WORK SHALL BE UNDER A SEPARATE PERMIT. THE SYSTEM SHALL BE DESIGN-BUILD; REQUIRING A COMPLETE SET OF CALCULATIONS AND DRAWINGS, AS NECESSARY FOR BUILDING AND FIRE DEPARTMENT REVIEW / APPROVAL.



**EXHIBIT B
COVER SHEET 2**

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANN'G REV	11/22/13
PLANN'G REV	05/19/14
PLANN'G COM	08/13/14

Date:	05/01/2013
Scale:	N.T.S.
Drawn:	DKB
Sheet:	

A0.0a

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name AMERICA'S BEST VALUE INN	Block/Lot BLOCK 0489, LOT 010	Address 2322 LOMBARD ST.
Gross Building Area 34,290 SF	Primary Occupancy R-1	Design Professional/Applicant: Sign & Date David Sternberg
# of Dwelling Units 1	Height to highest occupied floor 40' 0"	Number of occupied floors 4

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. **Attachment C3, C4, or C5 will be due with the applicable addendum.** To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	<input type="checkbox"/>
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

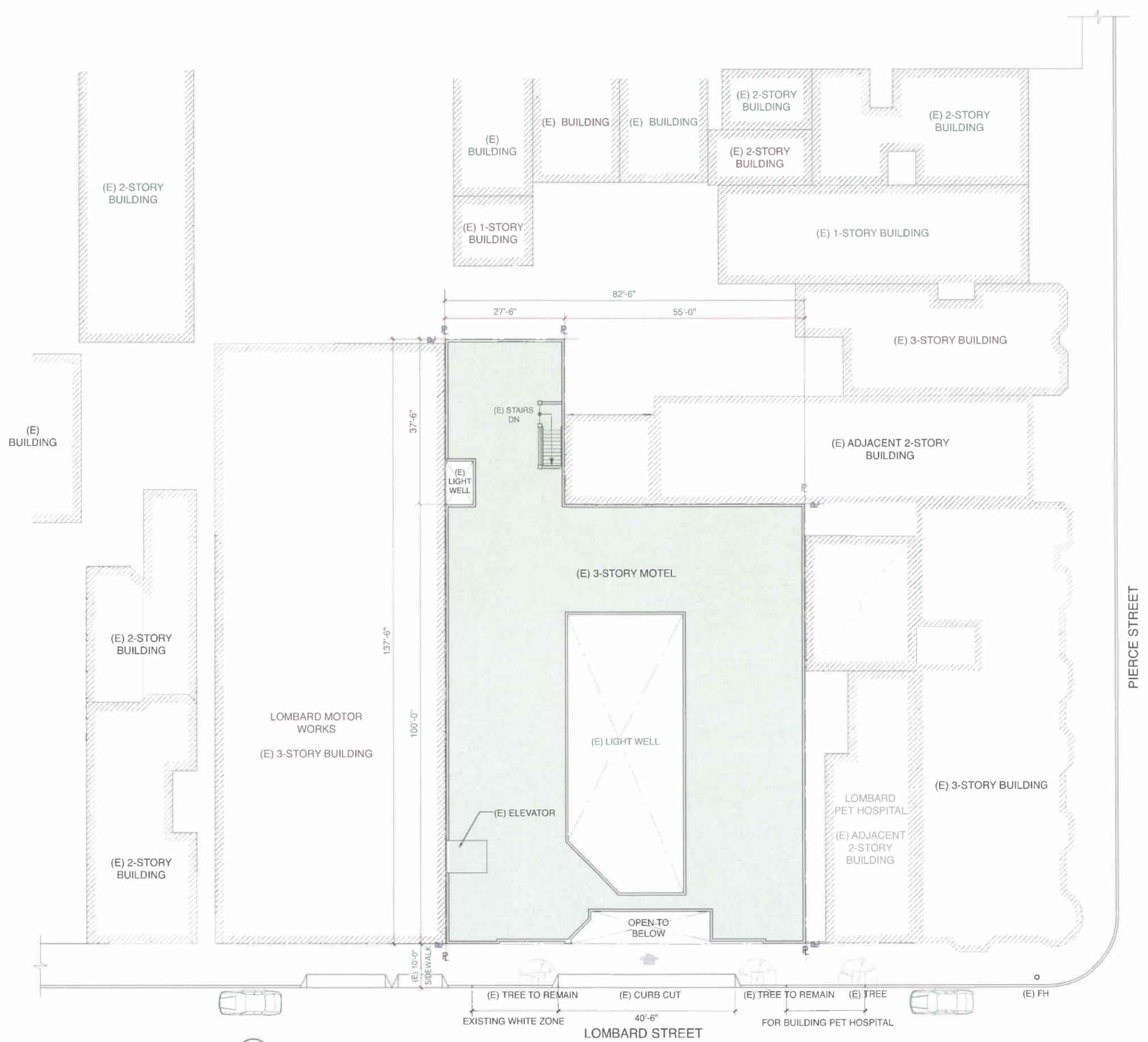
- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

Type of Project Proposed (Indicate at right)	LEED PROJECTS					
	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management - 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6)	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSc4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155			●	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●	n/r			●	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207			●	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSc4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management - Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6)	●	n/r

Revision	Date
PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
PLANNING COM	06/13/14

Date:	05/01/2013
Scale:	N.T.S.
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1 EXISTING SITE/ROOF PLAN

SCALE: 1/8" = 1'-0"



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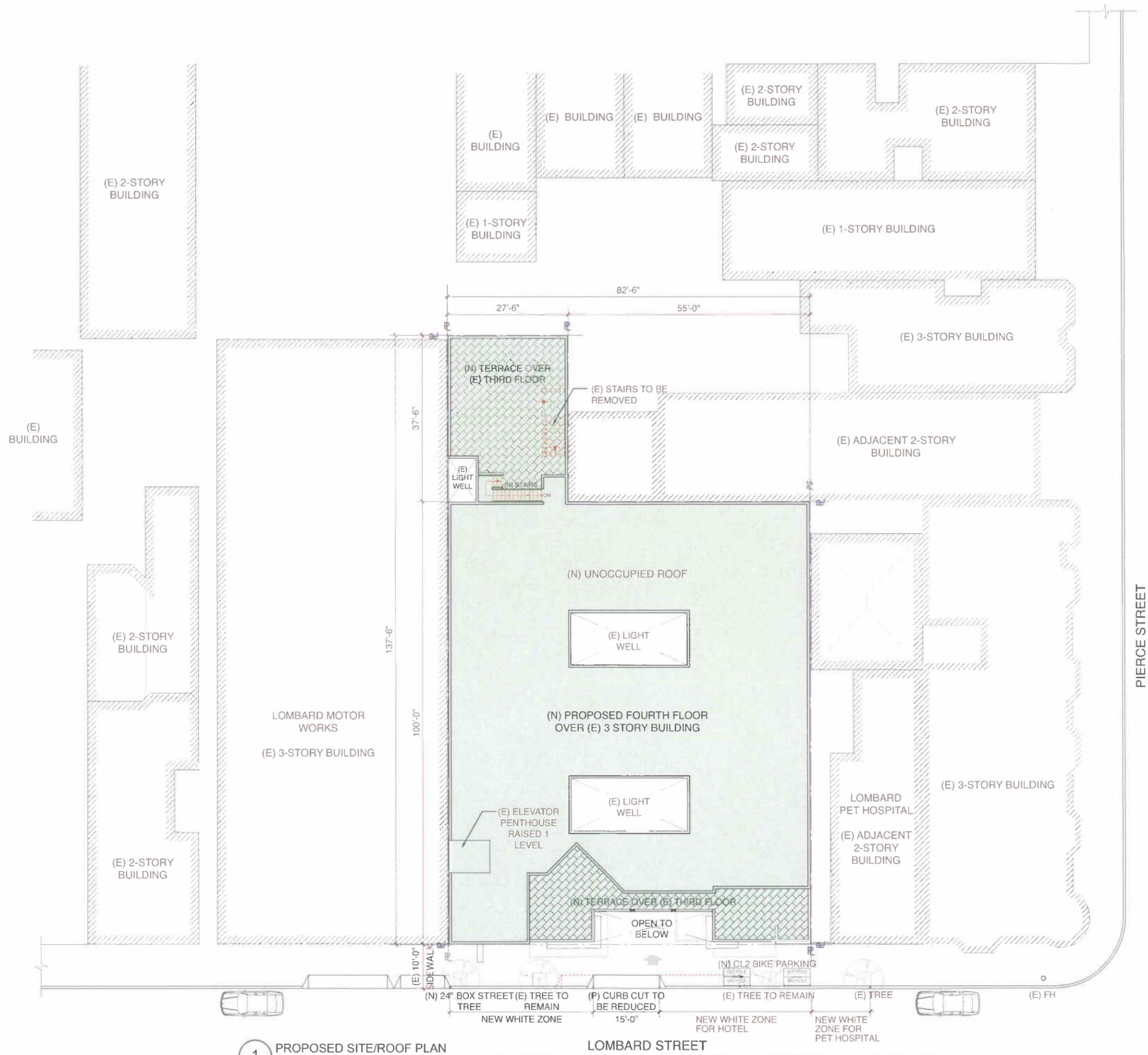
**EXHIBIT B
EXISTING SITE PLAN**

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANN'G REV	11/22/13
PLANN'G REV	05/19/14
PLANN'G COM	06/13/14

Date:	05/01/2013
Scale:	3/32" = 1'-0"
Drawn:	DKB
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A1.0



1 PROPOSED SITE/ROOF PLAN

LOMBARD STREET

SCALE: 3/32" = 1'-0"



1881 HAVESON STREET
SAN FRANCISCO, CA 94103
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EXHIBIT B
PROPOSED SITE / ROOF PLAN

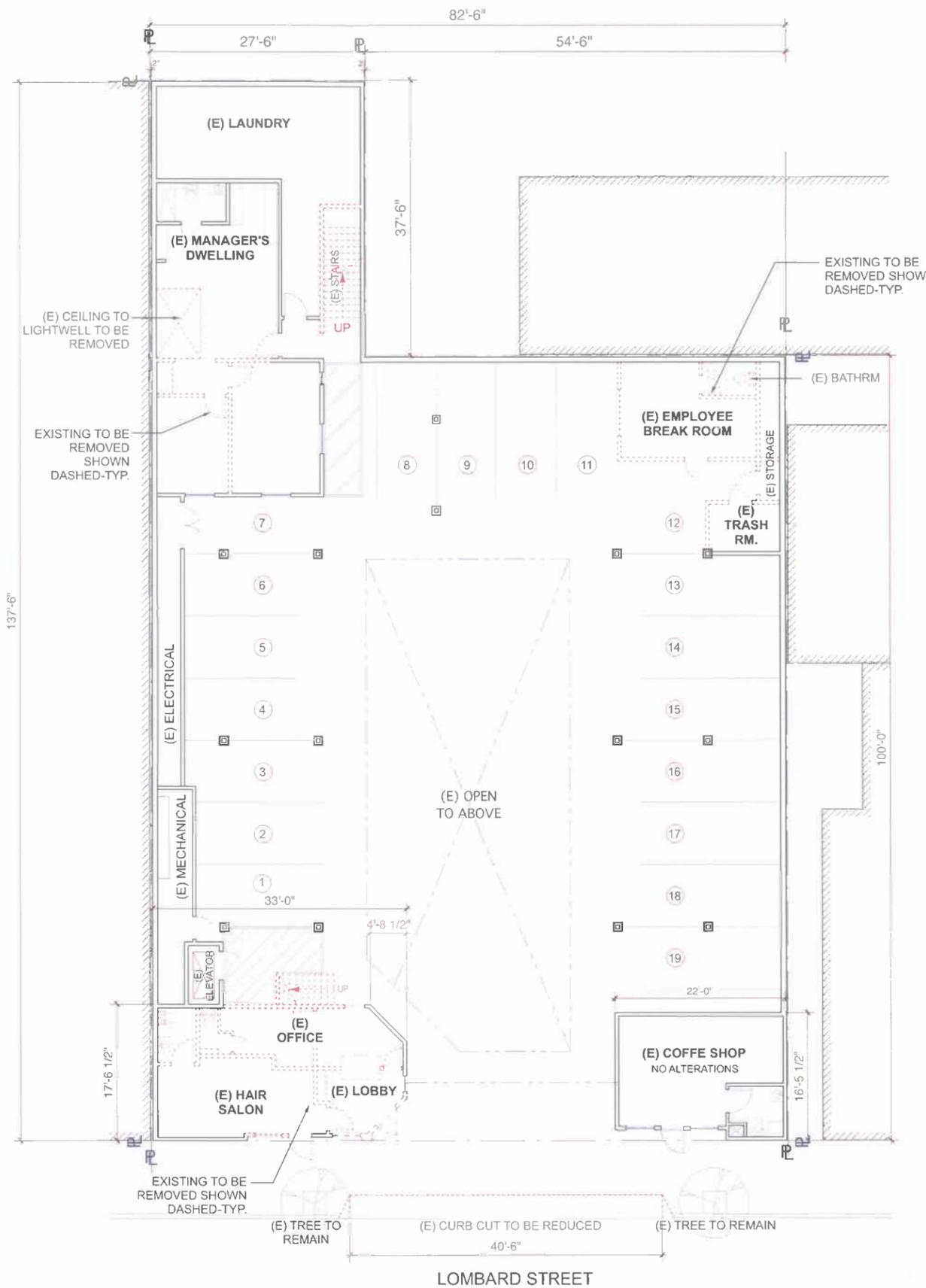
AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANN'G REV	11/22/13
PLANN'G REV	05/19/14
PLANN'G COM	06/13/14

Date: 05/01/2013
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A1.1

PERMIT APPLICATION # 2011.05.04.571 ENVIRONMENTAL EVALUATION CASE # 2012.04.55C CONDITIONAL USE APPLICATION # 2012.04.55C



LEGEND	DESCRIPTION
	(E) MASONRY BRICK WALL
	(E) WALL
	(N) 1 HR. WALL
	(N) 2 HR. WALL
	(E) WALL TO BE REMOVED

1885 HASTINGS STREET
 SAN FRANCISCO, CA 94109
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EXHIBIT B
EXISTING/DEMO
GROUND FLOOR PLAN

AMERICA'S BEST VALUE INN
 2322 LOMBARD ST
 SAN FRANCISCO, CA 94123
 BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
PLANNING COM	06/13/14

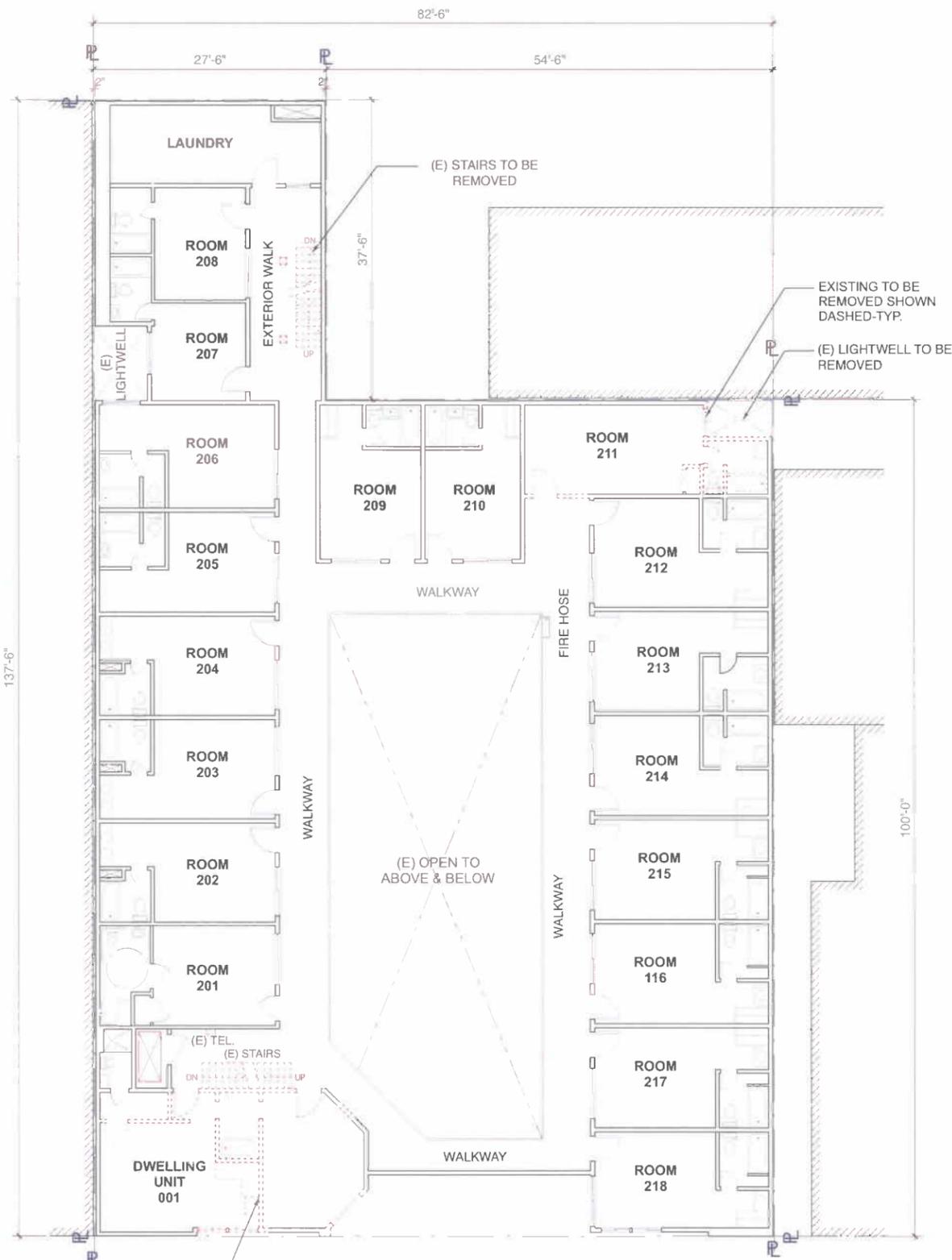
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1 EXISTING/DEMO GROUND FLOOR PLAN

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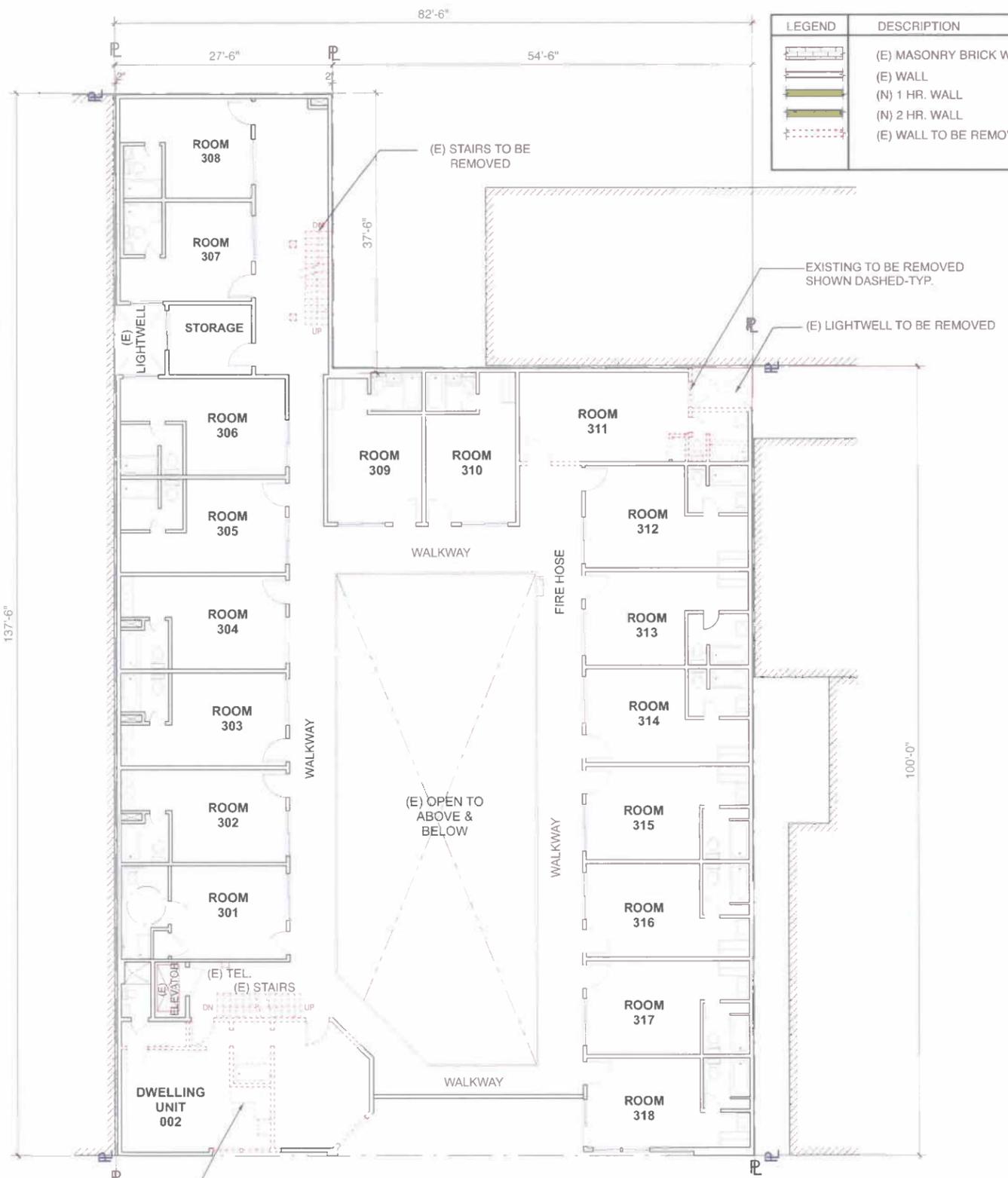


PERMIT APPLICATION # 2011.05.04.5371 ENVIRONMENTAL EVALUATION CASE # 2012.04.55C



1 EXISTING/DEMO SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



2 EXISTING/DEMO THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

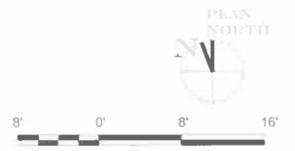
LEGEND	DESCRIPTION
	(E) MASONRY BRICK WALL
	(E) WALL
	(N) 1 HR. WALL
	(N) 2 HR. WALL
	(E) WALL TO BE REMOVED

EXHIBIT B
EXISTING/DEMO SECOND & THIRD
FLOOR PLANS

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANN'G REV	11/22/13
PLANN'G REV	05/19/14
PLANN'G COM	06/13/14

Date:	05/01/2013
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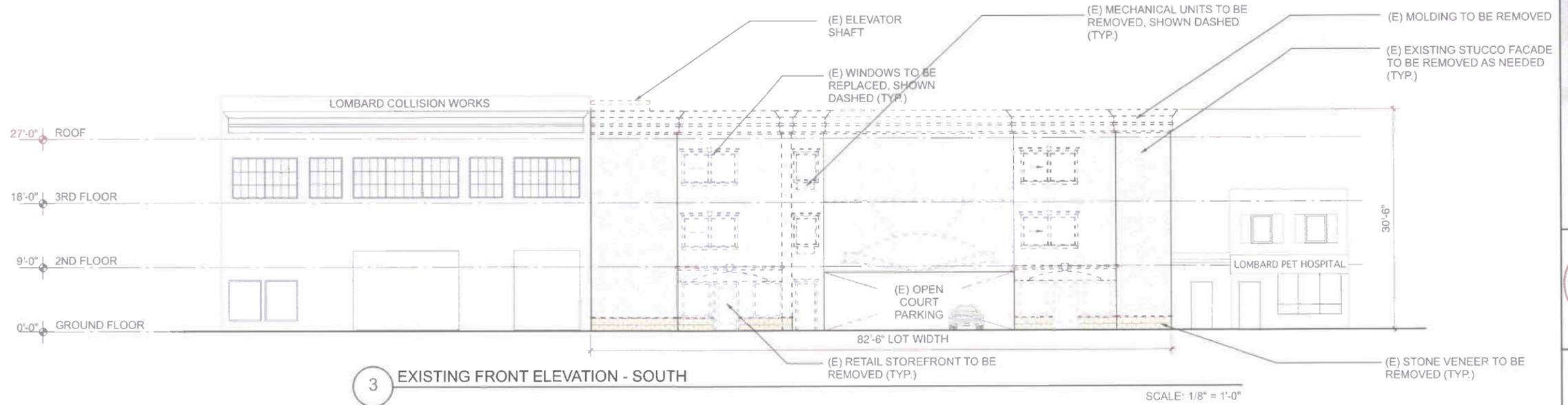
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1331 HARRISON STREET
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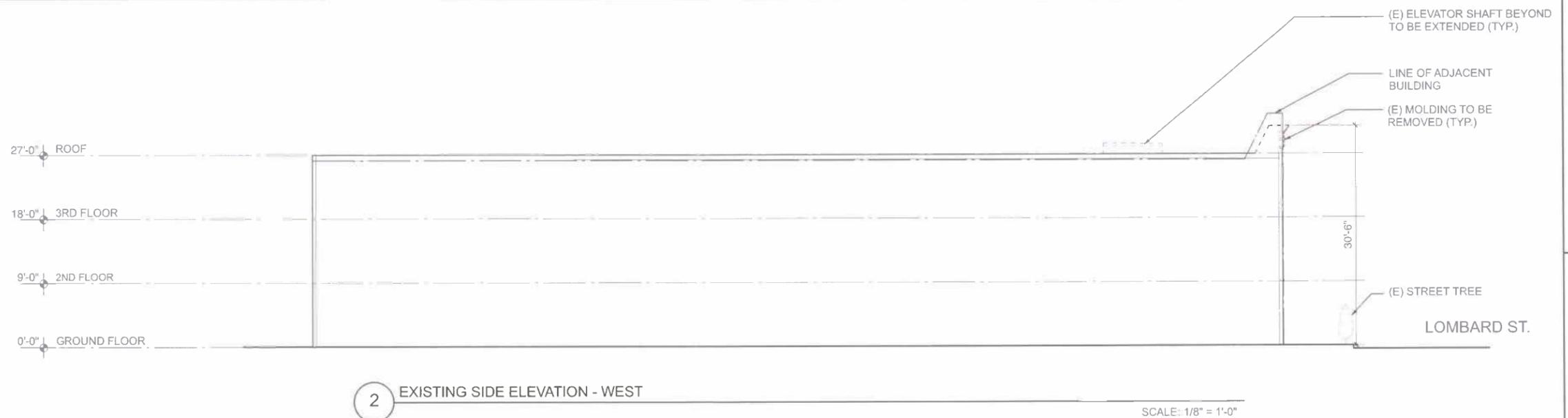
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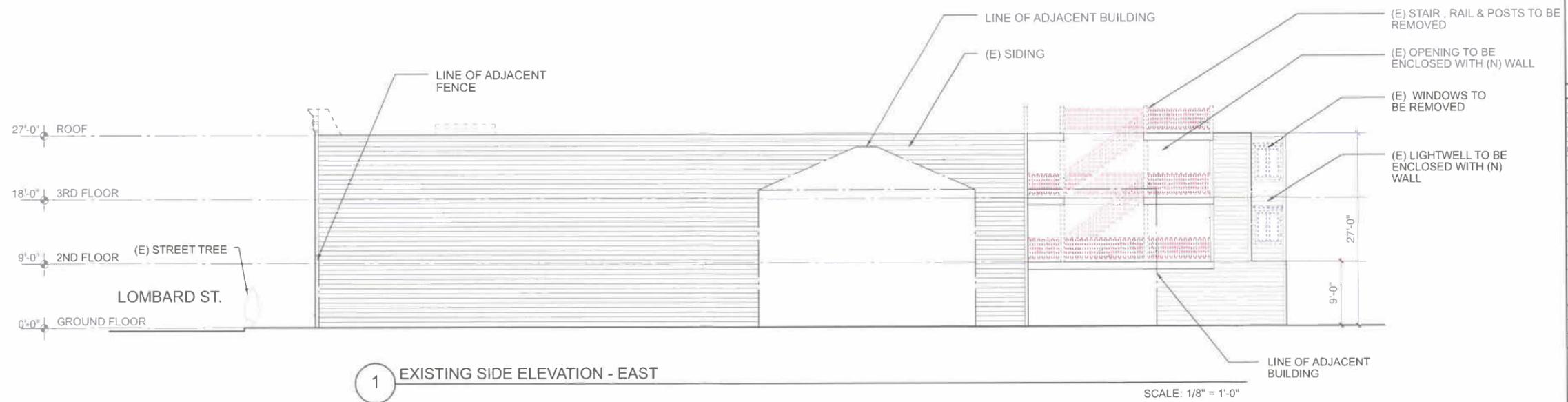




3 EXISTING FRONT ELEVATION - SOUTH



2 EXISTING SIDE ELEVATION - WEST



1 EXISTING SIDE ELEVATION - EAST

1881 HARRISON STREET
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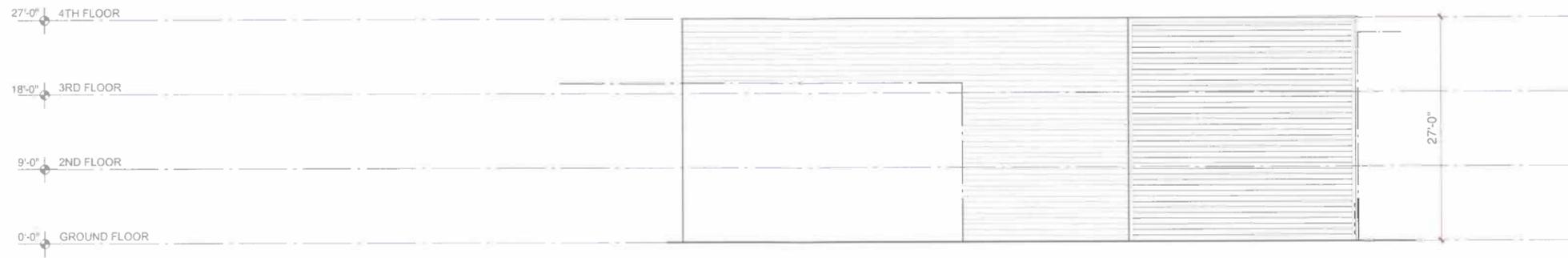


EXHIBIT B
EXISTING/DEMO ELEVATIONS

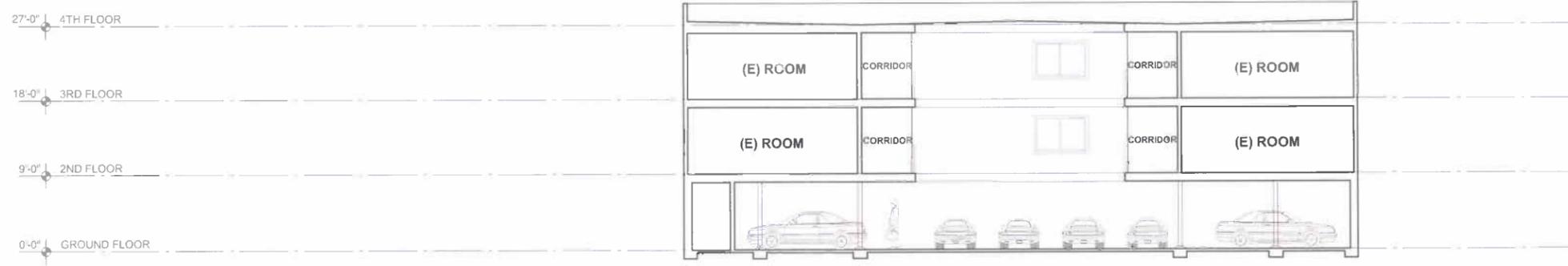
AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
PLANNING COM	06/13/14

Date: 05/01/2013
Scale: 1/8" = 1'-0"
Drawn: DKB
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3 EXISTING REAR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



2 EXISTING CROSS SECTION - LOOKING NORTH
SCALE: 1/8" = 1'-0"

1 NOT USED
SCALE: 1/8" = 1'-0"

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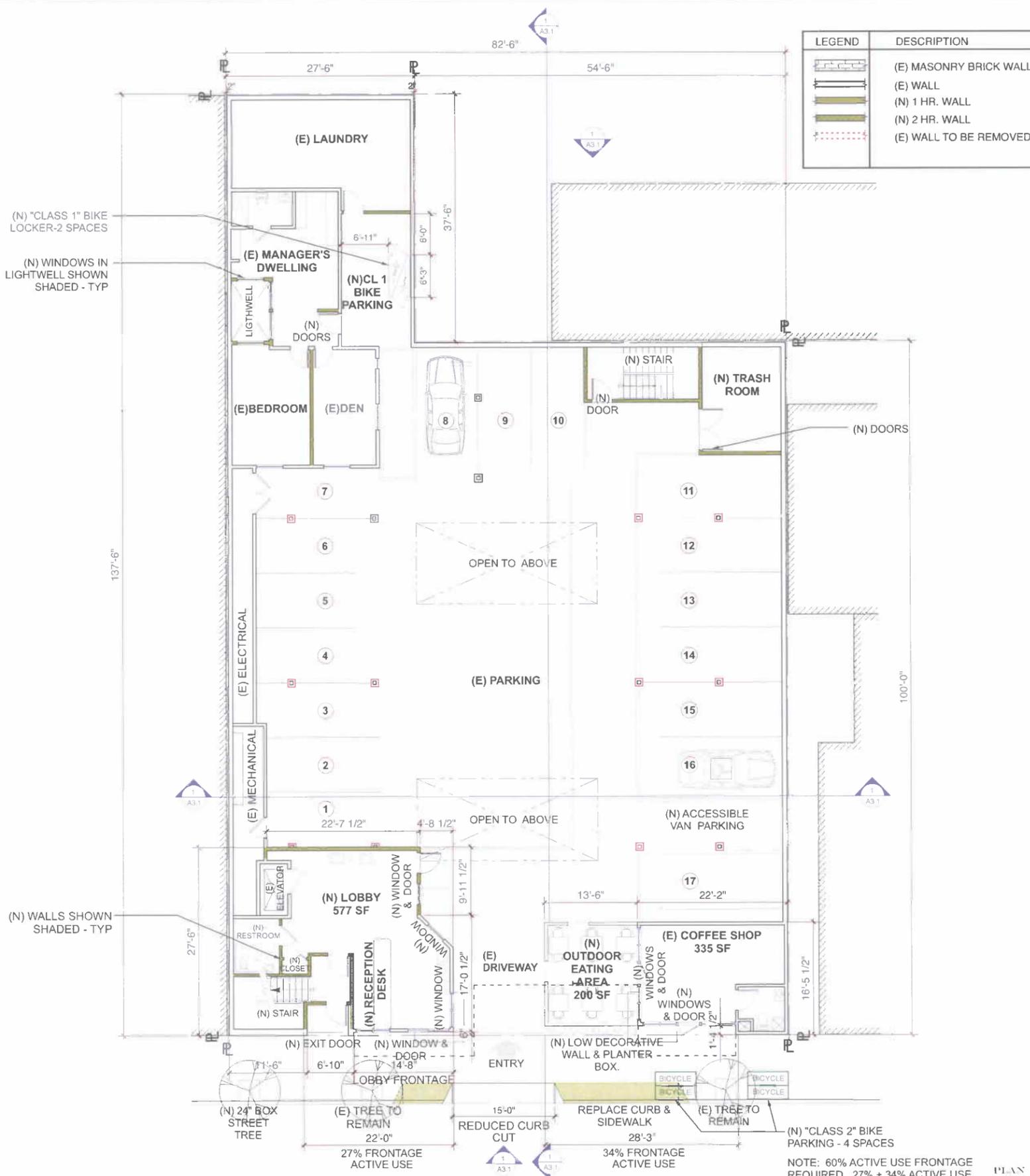
**EXHIBIT B
EXISTING REAR
ELEVATION & SECTION**

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANN'G REV	11/22/13
PLANN'G COM	08/13/14

Date: 05/01/2013
Scale: 1/8" = 1'-0"
Drawn: DKB
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A2.3



LEGEND	DESCRIPTION
	(E) MASONRY BRICK WALL
	(E) WALL
	(N) 1 HR. WALL
	(N) 2 HR. WALL
	(E) WALL TO BE REMOVED

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**EXHIBIT B
PROPOSED GROUND
FLOOR PLAN**

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
PLANNING REV	06/03/14
PLANNING COM	06/13/14

Date: 05/01/2013
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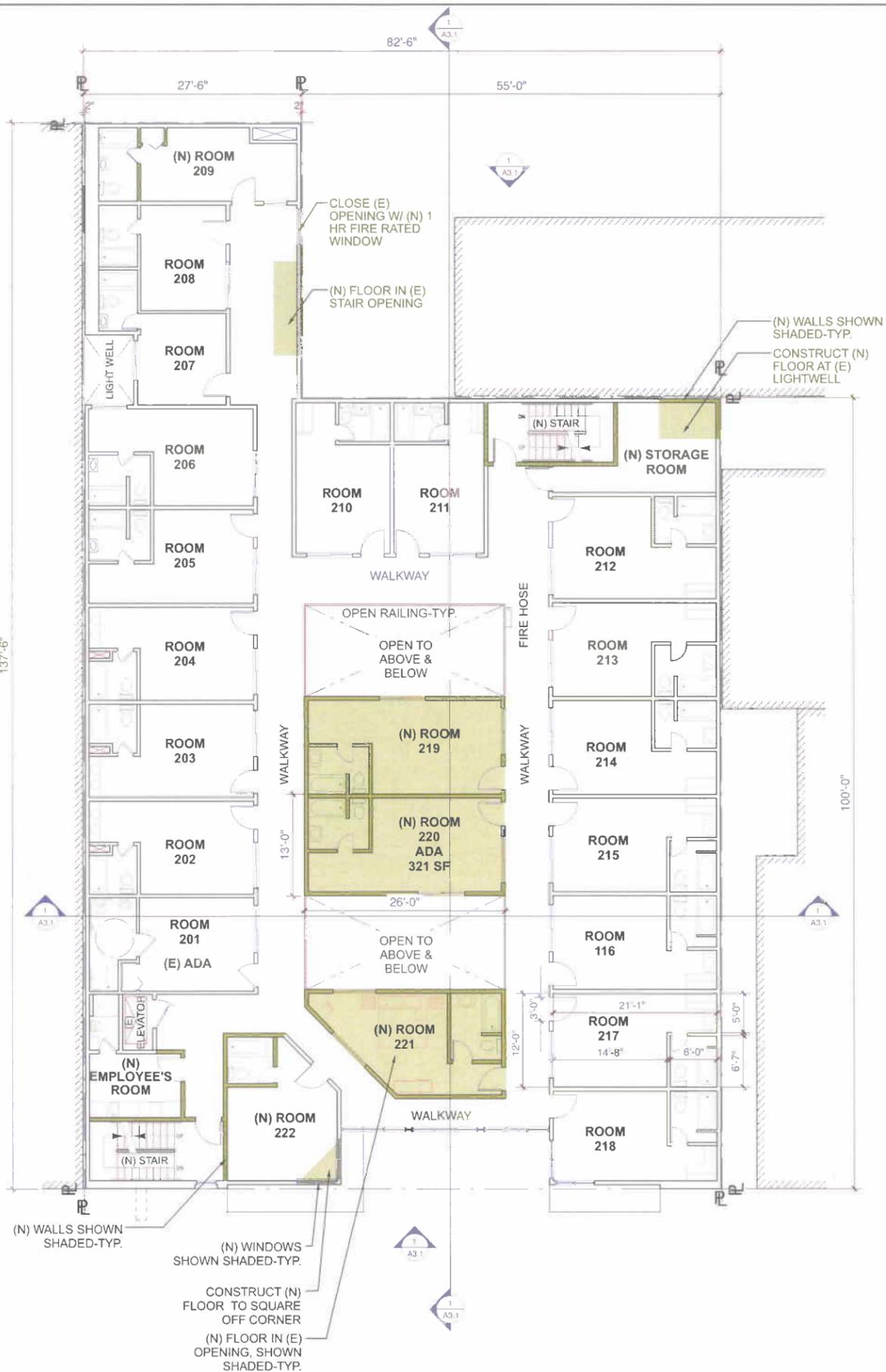
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1 PROPOSED GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

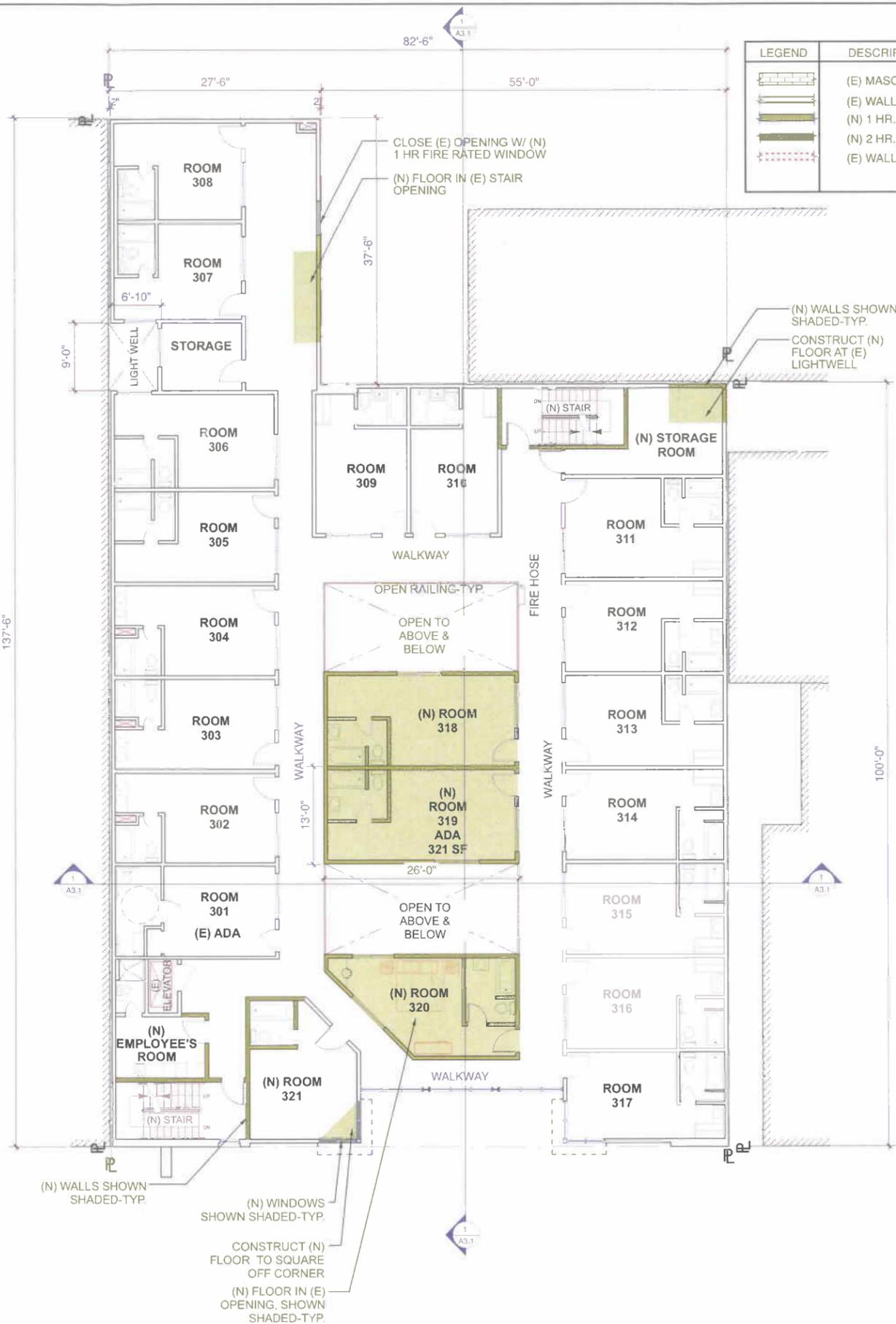


PERMIT APPLICATION # 2011.05.01-5371 ENVIRONMENTAL EVALUATION CASE # 2012.04.55C CONDITIONAL USE APPLICATION # 2012.04.55E



1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

LEGEND	DESCRIPTION
	(E) MASONRY BRICK WALL
	(E) WALL
	(N) 1 HR. WALL
	(N) 2 HR. WALL
	(E) WALL TO BE REMOVED

1331 HARRISON STREET
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EXHIBIT B
PROPOSED SECOND & THIRD
FLOOR PLANS

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

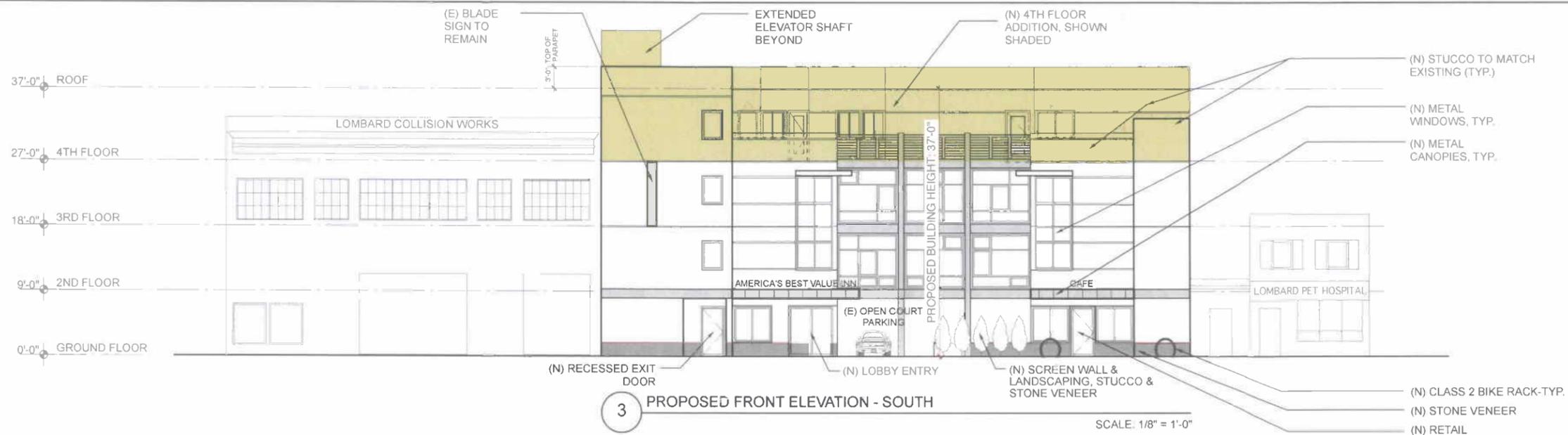
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PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
PLANNING COM	06/13/14

Date:	05/01/2013
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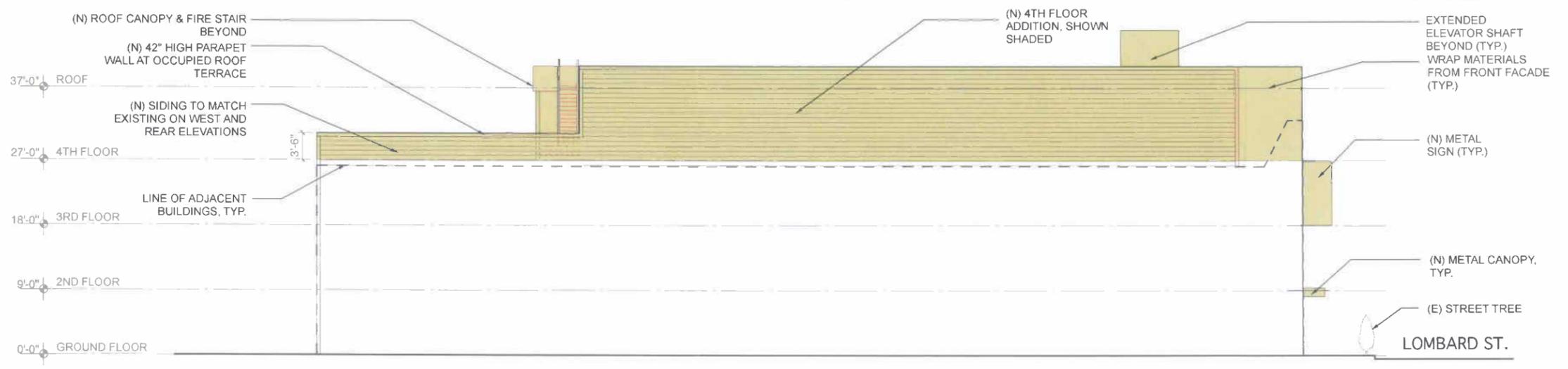


A3.1

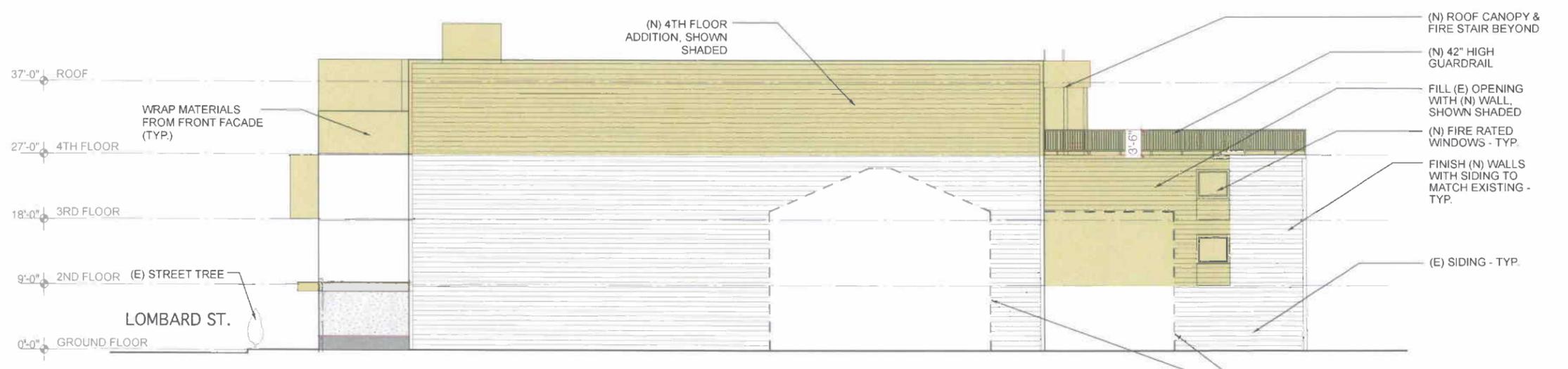
PERMIT APPLICATION # 20110504.5371 ENVIRONMENTAL EVALUATION CASE # 2012JH55C CONDITIONAL USE APPLICATION # 2012JH55C



3 PROPOSED FRONT ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



2 PROPOSED SIDE ELEVATION - WEST
SCALE: 1/8" = 1'-0"



1 PROPOSED SIDE ELEVATION - WEST
SCALE: 1/8" = 1'-0"

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PROPOSED ELEVATIONS

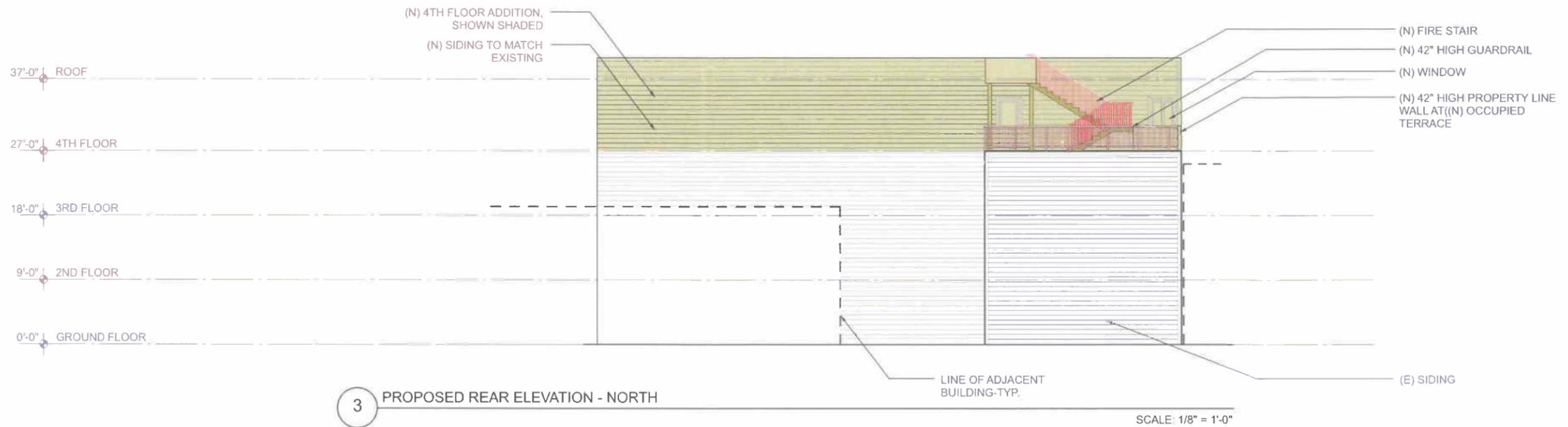
AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
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PLANNING COM	06/13/14

Date: 05/01/2013
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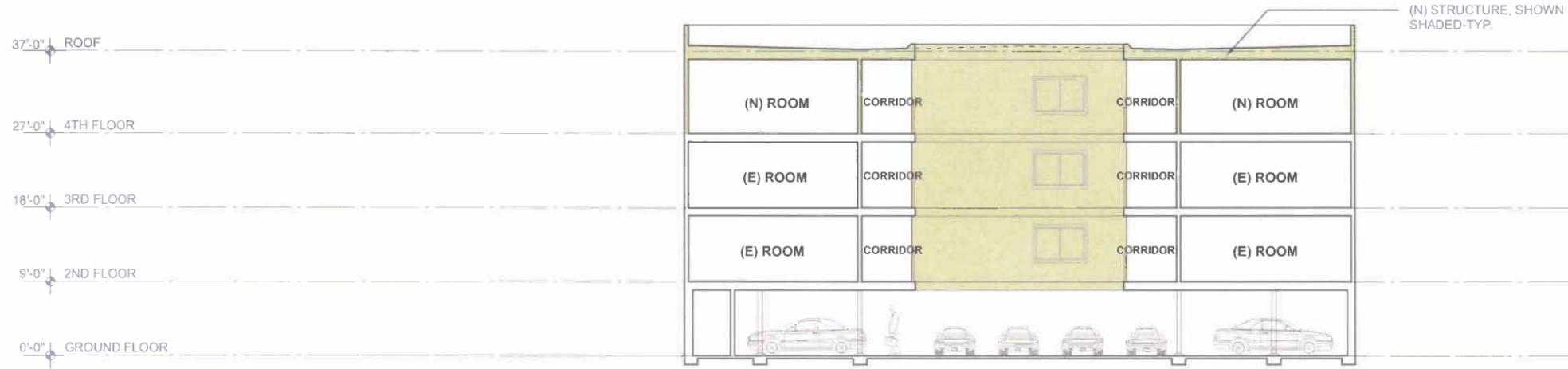
A3.3

ENVIRONMENTAL EVALUATION CASE # 2012.0436 PERMIT APPLICATION # 2011.05.04.3571



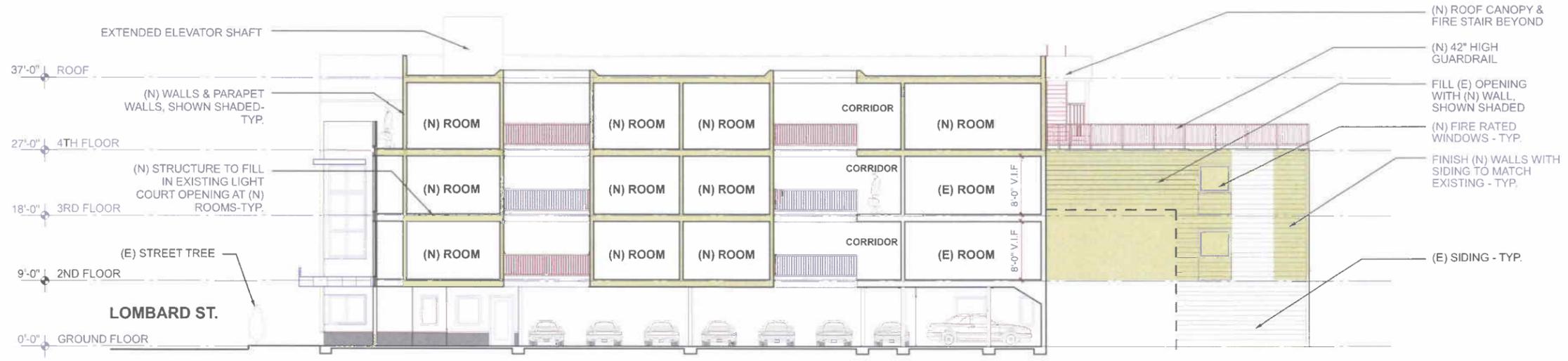
3 PROPOSED REAR ELEVATION - NORTH

SCALE: 1/8" = 1'-0"



2 PROPOSED CROSS SECTION - LOOKING NORTH

SCALE: 1/8" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION - LOOKING WEST

SCALE: 1/8" = 1'-0"

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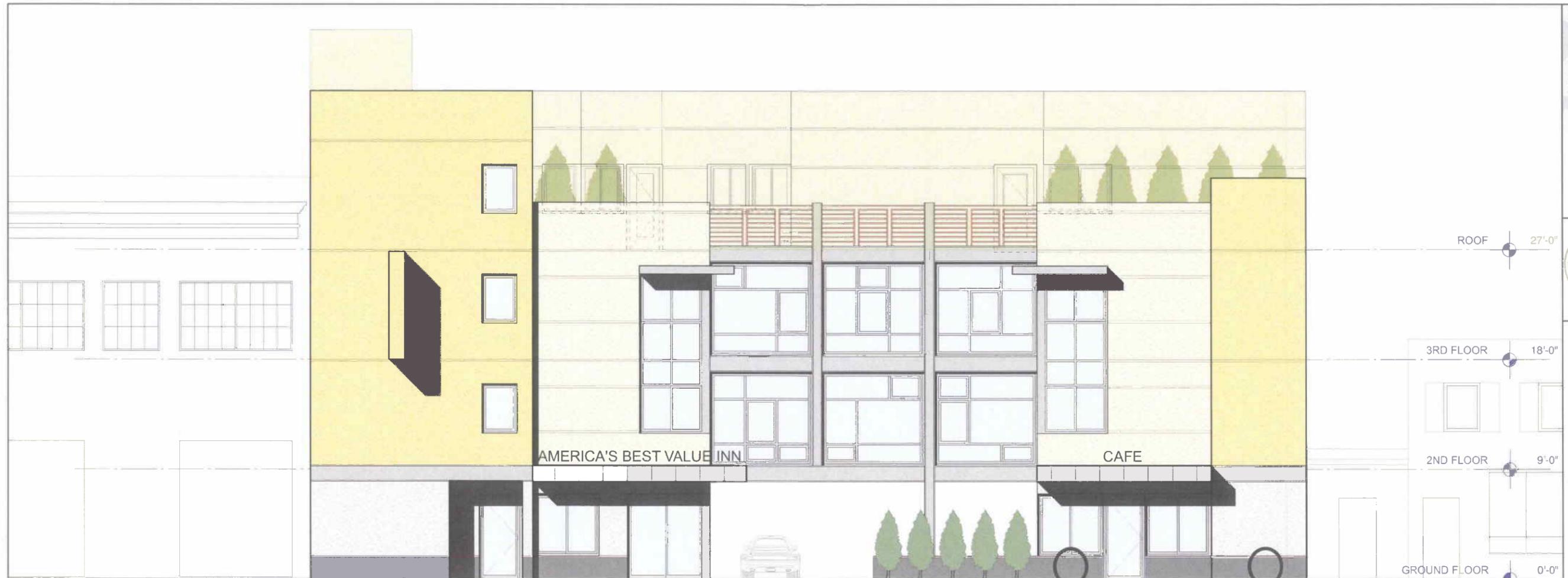
EXHIBIT B
PROPOSED REAR
ELEVATION & SECTIONS

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

ENVIRONMENTAL EVALUATION CASE # 2012.04.55C
CONDITIONAL USE APPLICATION # 2011.05.04.5371

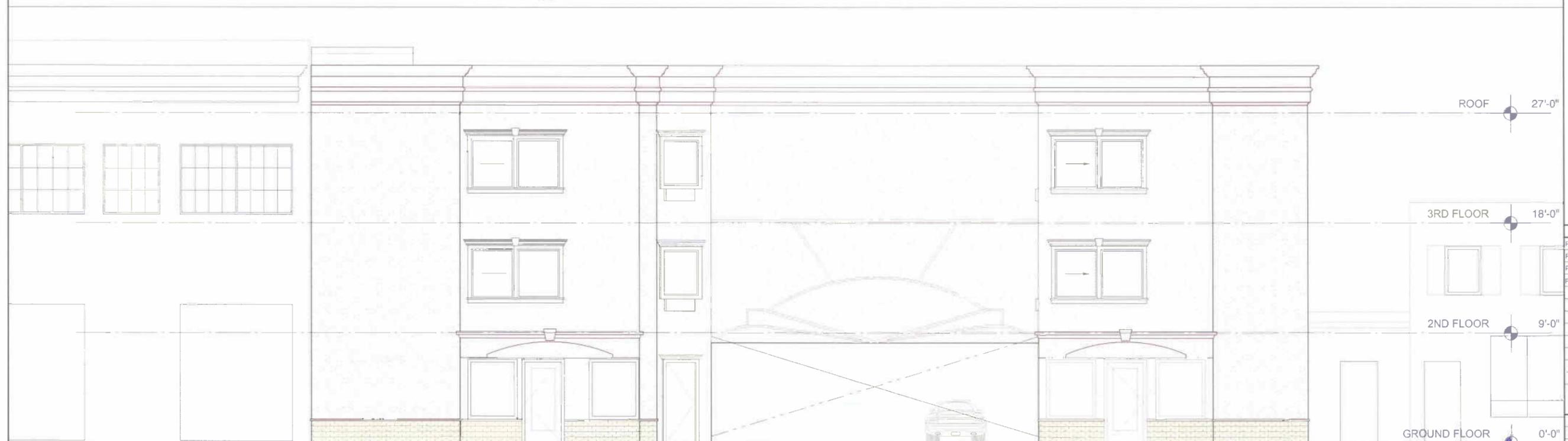
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PLANNING REV	05/19/14
PLANNING COM	06/13/14

Date: 05/01/2013
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Drawn: DKB
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2 PROPOSED SOUTH (STREET) ELEVATION

SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH (STREET) ELEVATION

SCALE: 1/4" = 1'-0"

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**EXHIBIT B
EXISTING / PROPOSED
(RENDERED) STREET
ELEVATIONS**

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANN'G REV	11/22/13
PLANN'G REV	05/19/14
PLANN'G COM	06/13/14

Date: 05/01/2013
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Drawn: DKB
Sheet:

A3.5

BRETT GLADSTONE
PARTNER
DIRECT DIAL (415) 995-5065
DIRECT FAX (415) 995-3517
E-MAIL BGladstone@hansonbridgett.com

June 18, 2014

BY HAND DELIVERY

President Wu and Planning Commissioners
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 2322 Lombard Street (the "Property")
June 26, 2014 Hearing
Case No. 2012.0435

Dear President Wu and Planning Commissioners:

We represent 2322 Lombard Street, LLC, the owner of the Property (the "Project Sponsor"). The Project Sponsor is seeking Planning Commission approval for the conversion of a motel to a hotel and the expansion of the building to increase the number of guest rooms by adding a fourth floor (the "Project"). Adjacent to the property is a veterinary clinic on one side and an auto repair facility on the other (see photos at [Exhibit A](#)).

I. Background and Project Description.

The Property is located on the north side of Lombard in an NC-3 Zoning District and 40-X Height and Bulk District, situated between Pierce Street and Scott Street. The Property is located near the western end of the Lombard Street "Motel Row" and close to the Presidio.

The Property contains a 1950's style tourist motel (built in 1954) with 36 rooms and 19 parking spaces. The Property has been owned and operated as an independent tourist motel by the same family for nearly 30 years. Originally called the Sea Captain Motel, it later was rebranded as America's Best Value Inn and Suites Golden Gate. The rates are typically more affordable than Fisherman's Wharf hotels, yet the hotel is still fairly close to that tourist destination, and to the Bay.

Under the Planning Code, the difference between a hotel and motel is that for a motel, guest rooms are accessed independently from outside corridors with mostly outdoor parking, as is the case here. In the existing motel, the parking lies on the ground floor and it is open to the elements but mostly under the building. A motel in the NC-3 is District is no longer permitted and thus cannot expand in number of rooms. Although the motel may continue as a legal non-conforming use, the Project would bring the building into conformity with the City's zoning, which permits a hotel.

The Project conversion would make most of the exterior room corridors into interior corridors, and will enclose well over 90% of the parking area to make it less visible to the street, which is in line with the Planning Department's policies to screen parking. The lobby would expand into

the area now occupied by a long vacant hair salon and thereby would have an ample reception area and would more fully comply with ADA accessibility requirements.¹ The retail coffee shop of 345 square feet would be retained and renovated in its current location and would now have a partial outdoor terrace within the lot at the edge of the sidewalk.

The Project would increase the existing 36 rooms to 60 rooms by adding a new and discreet fourth floor. (See new façade drawing at Exhibit B) The fourth floor would be set back at the front and at the rear with open air terraces, as further discussed below.

The Project would decrease the number of parking spaces from 19 to 17, which is caused by some ground floor improvements; current valet parking would continue. The Project includes a request for a parking waiver for 6 spaces since the requirement for 60 rooms is 48 (.8 for each room), and the total number of spaces provided (including valet spaces) will be 42. The Planning Code now encourages owners to park cars through valet service, which allows tandem parking. All valet parking will be within the existing building. The site and sidewalk will now contain places for bicycles, including both Class 1 interior spaces for guests and hotel employees, and Class 2 spaces for short-term use by members of the public. The Property is well-served by five public transit lines along Lombard, Fillmore and Chestnut Street.

The hotel needs modern upgrading and additional ADA compliance, and the increase in rooms would offset the costs of renovating the building. Upon completion, the building would be fully seismically upgraded and accessible to guests with disabilities. The Project would result in three (3) ADA compliant guest rooms.

II. The Project Is Highly Necessary And Desirable Because It Would Satisfy A Demand for Hotel Rooms.

The Project is desirable because a demand exists for tourist hotel rooms in the immediate area as demonstrated in a report from PKF Consulting "*Trends in the Hotel Industry Northern California*," April 2013 (obtained from San Francisco Travel). (See Exhibit C.)

The Report does not specifically report on the Marina District but likely includes the Marina in the area that encompasses Fisherman's Wharf. The property is certainly located closer in proximity to Fisherman's Wharf than the other reported areas. This Report is important in that it shows on page 6 at the top center column that for the month of April 2013 the occupancy in the Fisherman's Wharf area was 94% (up 11.5% from 2012).

As the Presidio has added half a million square feet of office space in the last ten years and gains more and more tenants, a shortage of local affordable hotel rooms for business travelers has been created. To our knowledge, there are no new hotels as close as this one to the location of the Presidio Gate and the large office complexes there. There has also been a loss of hotel and motel rooms along Lombard Street in the last five or so years. The following hotels/motels have either closed or had a change of use during recent years: (1) the Edward II Inn & Suites, (2) the Star Motel and (3) the Bridge Hotel.

¹ As it exists, guests must cross the parking area after leaving the lobby area to access the elevator leading to the rooms. By reconfiguring the lobby area, guests will have access to the elevator directly from within the lobby.

Further, at least two new hotel projects approved by the Planning Commission on Lombard Street over the past eight years have never been built and will not be built since over three years have passed since their conditional use authorizations. Both projects lost their financial viability after the Board of Supervisors (on appeals) severely cut down the number of rooms despite (in at least the case of the Lombard Plaza) a unanimous approval by your Planning Commission.

Following your Commission approvals, both were appealed to the Board by residential neighbors who resided on streets immediately parallel to Lombard who were upset by (among other things) the lack of "adequate setbacks" at the upper floor levels facing their buildings at the rear. The project before you, however, creates a substantial rear setback for a large portion of the new fourth floor. This occurs at the portion of the rear where the existing third floor projects deeper from the Lombard Street façade. The rear set back there will be 37' 6" from the rear façade.

The Project Sponsor has always oriented the motel towards the traveler who needs an affordable option, priced less than the more expensive hotels and motels of Fishermen's Wharf nearby, and the project sponsor will continue to do so. The Project's more affordable hotel rooms would address the demand from not only middle class tourists, but also business travelers without business expense accounts.

The Property's location is highly desirable for tourists because it is near several tourist attractions such as Fisherman's Wharf, Ghirardelli Square, Palace of Fine Arts, Fort Point, the Marina Green, the Presidio and the Golden Gate Bridge.

III. The Project is Designed to be Beneficial to and Compatible with the Neighborhood.

Lombard Street is characterized by a number of sixty plus year old deteriorating motels. The building is in a less than ideal condition. Having been constructed sixty (60) years ago, it is not seismically as stable as it could be even though located in the Marina, and not fully fire sprinkled or up to today's standard of accessibility.

The Project would not negatively impact nearby residents. An automobile repair shop is located immediately to the west and a pet hospital is located immediately to the east of the Property. The nearest Lombard Street residential building is located on the corner of Lombard Street and Pierce Street, with the exception of one very small residential building which faces Pierce Street. Otherwise residential units only exist on a parallel street and their rear yards abut the rear of the Property.

The Project's existing façade rises to a height that is above the current rooftop level and thus makes the building appear to be taller than three stories already when seen from the street. The existing parapet at the front façade extends 3'-6" above the roof to a height of 30'-6". The new floor will reach 40'-0" in height. The front set back would contain an open air terrace. As a result of the existing parapet and the set back of the new fourth floor, pedestrians across the street may barely perceive the new fourth floor, since the new fourth floor will start a distance of 12' 6" to 15' from the façade (in various places).

The new fourth floor would not extend the full depth of the building at each point at the rear. An open air terrace would be constructed at the rear of the fourth floor to occupy a portion of the

new fourth floor that is set back from the existing rear façade by 37'6" feet. This setback, which will include a terrace for all guests, allows the deepest portion of the fourth floor to step back and avoid shadowing the rear yards of the abutting residential properties. The portion of the new fourth floor that is not set back will shadow the roof of an adjacent full lot building with a Pierce Street entrance. Its building is perpendicular to the subject property, and covers its entire lot.

As a result, it is not expected that the new addition will receive the kind of criticism from the residential neighbors that led to the Board of Supervisors' removal of a large number of guest rooms from two previously proposed hotels, causing them to fail to pencil out and not get built.

IV. The Project Provides Significant Benefits to the Neighborhood and City.

The Project will provide the following additional benefits to the neighborhood:

A. Not unlike many existing motels, there is a 40 foot wide existing driveway curb cut off of Lombard Street, exposing the ground floor parking to the public at street level. It will be narrowed substantially, and the façade will change to allow for greater transparency by creating an outdoor café area and more façade glazing within a greatly expanded lobby area. To avoid creating any new traffic disruption, and in accordance with the City's Transit First Policy, the Project would not add parking spaces, but would add 6 bicycle spaces.

B. The Project would enhance the security of the neighborhood in that the wide open covered parking area would be much more enclosed and only guests or those with management's approval would be allowed access.

C. The Project would include new landscaping and windows on the ground level and new mostly outdoor café space to enhance a pedestrian's experience of the building. Additionally, new open air landscaped terraces with privacy/wind screening will be added to the fourth floor at the front and at the back.

D. The Project would not negatively impact nearby residents. An automobile repair shop is located immediately to the west and a pet hospital is located immediately to the east of the Property. The nearest Lombard Street residential building is located on the corner of Lombard Street and Pierce Street, next to the pet hospital. Residential units exist on a parallel street and only their rear yards abut the rear of the Property, with the exception of a deep building on Pierce, whose building rear façade touches the current hotel building.

E. The Project would enhance the existing café through a renovation and the addition of seating in a mostly enclosed outdoor seating area (within the Property). It will be open to hotel visitors as well as other tourists and nearby residents.

F. The Project would provide additional Transit Occupancy Taxes (TOT) for the City estimated to be approximately \$100,000.00 annually.

G. With the additional guest rooms, the Project Sponsor would employ at least two (2) more full time employees and two (2) more part time employees. The construction of the Project would provide 10 to 15 full time construction jobs for up to a year.

H. The hotel will provide additional rooms oriented toward the middle class tourist and toward business people who need an affordable option.

I. With the completion of this renovation, other motels along Lombard Street may consider renovation and updating to comply with the ADA, current hospitality standards and better architecture.

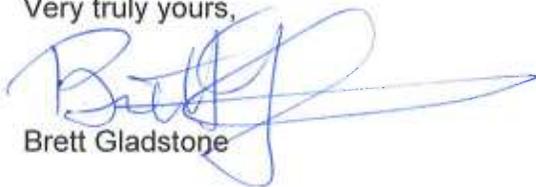
V. The Project Will Authorize Prior Removal of Two “Dwelling Units” That May Have Always Been For the Use of Tourists Who Wish To Do Their Own Cooking, or for the Use of Motel Managers.

The Property contains a motel with an accessory unit that is occupied by the manager of the motel, which is typical for motels. That will remain. Although removed by previous owners of the building, the Planning Department's records indicate the Property also contains two dwelling units. The Project Sponsor does not believe these units were for City residents; rather, that at least one was a second on-site manager's unit, or two regular guest rooms had kitchenettes added (making them “dwelling units”). This was more likely done for guests who wanted to avoid the cost of going out to eat. This Application seeks to correct the administrative record to approve the previous conversion of these two units to guest rooms.

The conversion would not eliminate owner-occupied housing or displace any tenants because (as a practical matter) the units have been used as guest rooms for many years.²

Based on the foregoing, we respectfully request that the Planning Commission approve the Project.

Very truly yours,



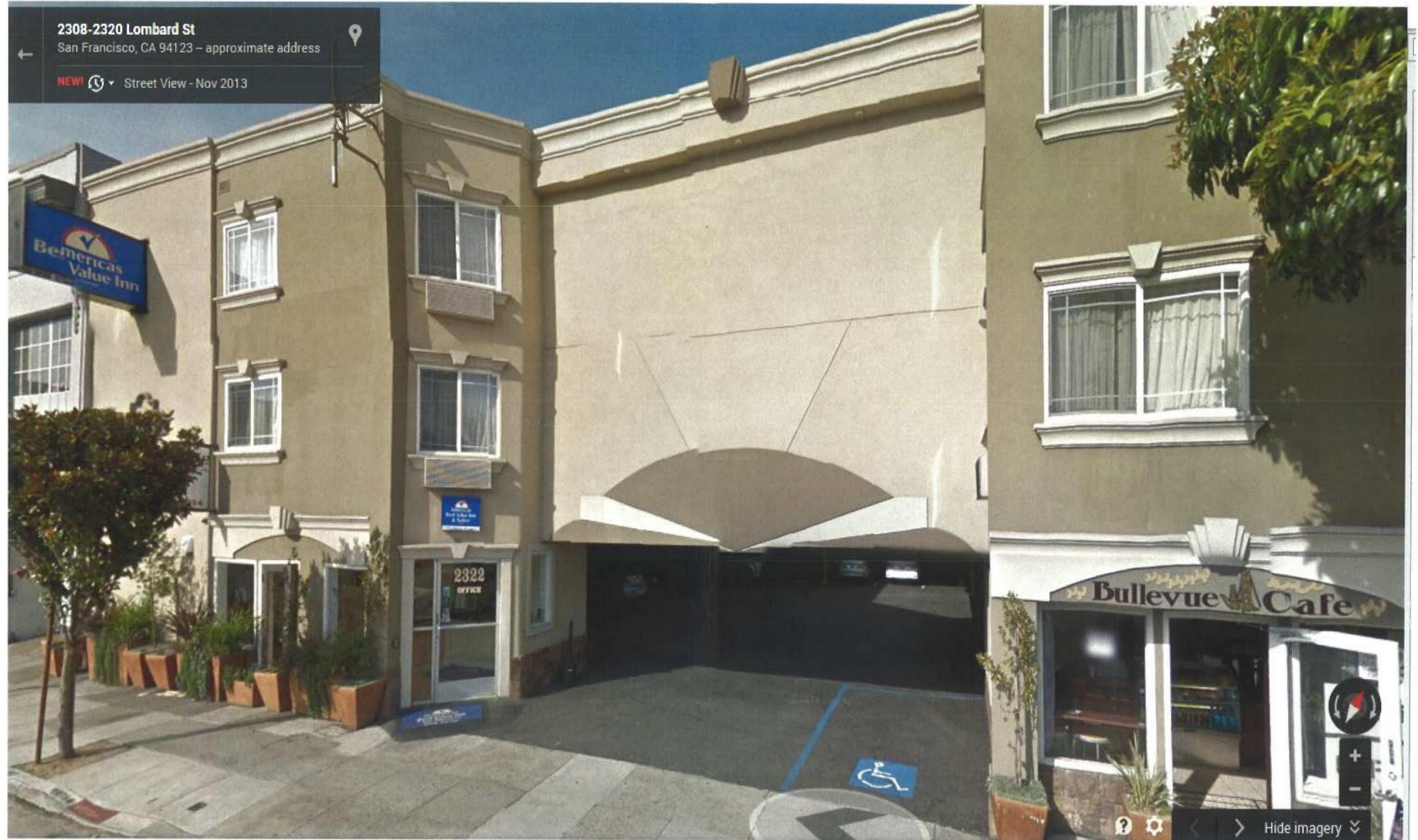
Brett Gladstone

Enclosure

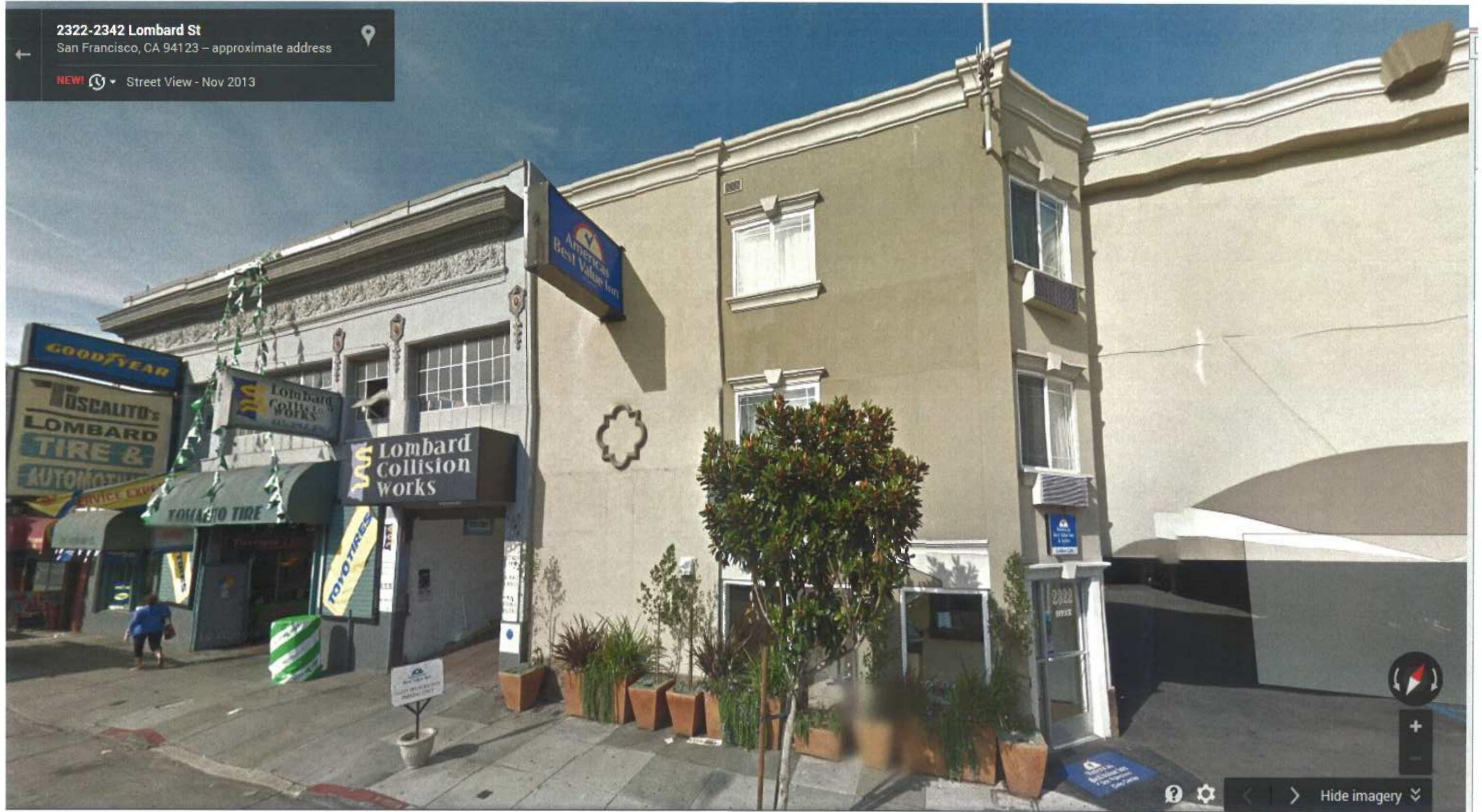
cc: Dipak Patel
Sternberg and Benjamin Architects
John Rahaim
Scott Sanchez
Mary Woods

² The approval of this past conversion would make unnecessary the creation of two dwelling units for City residents unaffiliated with the hotel, which units would be surrounded by guest rooms. It is unlikely that residential tenants would feel comfortable living in a building of mostly transient overnight guests, as overnight guests use the facility in different ways that are not consistent with the quiet enjoyment that a long term residential tenant would expect in a residential building in which he or she lives.

2322 Lombard and adjacent buildings



2322 Lombard and adjacent buildings





2 PROPOSED SOUTH (STREET) ELEVATION

SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH (STREET) ELEVATION

SCALE: 1/4" = 1'-0"

1321 HARRISON STREET
SAN FRANCISCO, CA 94103
TEL 415.862.9793 FAX 415.862.9795
STERNBERG
BENJAMIN
ARCHITECTS
www.sternbergbenjamin.com



EXHIBIT B
EXISTING / PROPOSED
(RENDERED) STREET
ELEVATIONS

AMERICA'S BEST VALUE INN
2322 LOMBARD ST
SAN FRANCISCO, CA 94123
BLOCK #0489 LOT #010

Revision	Date
PLANNING CU	05/01/13
PLANNING REV	11/22/13
PLANNING REV	05/19/14
PLANNING COM	06/13/14

Date: 05/01/2013
Scale: 1/4" = 1'-0"
Drawn: DKB
Sheet:

A3.5

PERMIT APPLICATION # 2011.05.04.5371 ENVIRONMENTAL EVALUATION CASE # 2012.0435E CONDITIONAL USE APPLICATION # 2012.0455C

**STATISTICS AND TRENDS OF HOTEL-MOTEL BUSINESS
SAN FRANCISCO MONTHLY TRENDS
MONTH OF APRIL**

REPORT OF ROOMS BUSINESS BY LOCATION

	AVERAGE DAILY ROOM RATE			OCCUPANCY PERCENT			REVENUE PER AVAILABLE ROOM		
	2013	2012	VAR	2013	2012	VAR	2013	2012	VAR
UNION/NOB/MOSCONE	\$232.58	\$194.78	19.4%	89.4%	78.9%	13.4%	\$207.91	\$153.59	35.4%
FINANCIAL DISTRICT	256.15	211.56	21.1%	92.1%	80.4%	14.6%	235.95	170.12	38.7%
FISHERMAN'S WHARF	182.38	158.98	14.7%	94.0%	84.3%	11.5%	171.45	134.01	27.9%
CIVIC CENTER/VAN NESS	134.74	109.59	23.0%	88.2%	84.4%	4.5%	118.88	92.49	28.5%
OVERALL AVERAGE	\$219.63	\$183.72	19.5%	90.2%	80.2%	12.5%	\$198.04	\$147.30	34.4%

REPORT OF ROOMS BUSINESS BY AVERAGE DAILY RATE

	AVERAGE DAILY ROOM RATE			OCCUPANCY PERCENT			REVENUE PER AVAILABLE ROOM		
	2013	2012	VAR	2013	2012	VAR	2013	2012	VAR
OVER \$200.00	\$247.56	\$208.26	18.9%	90.2%	78.6%	14.7%	\$223.33	\$163.78	36.4%
\$150.00 TO \$200.00	174.20	148.96	16.9%	91.1%	83.8%	8.8%	158.74	124.79	27.2%
\$150.00 AND UNDER	124.90	96.74	29.1%	86.8%	81.8%	6.2%	108.47	79.13	37.1%
OVERALL AVERAGE	\$219.63	\$183.72	19.5%	90.2%	80.2%	12.5%	\$198.04	\$147.30	34.4%

REPORT OF ROOMS BUSINESS BY SIZE OF PROPERTY

	AVERAGE DAILY ROOM RATE			OCCUPANCY PERCENT			REVENUE PER AVAILABLE ROOM		
	2013	2012	VAR	2013	2012	VAR	2013	2012	VAR
OVER 400 ROOMS	\$221.96	\$186.94	18.7%	90.0%	80.1%	12.4%	\$199.85	\$149.70	33.5%
250 TO 400 ROOMS	231.81	198.03	17.1%	91.8%	80.7%	13.8%	212.71	159.75	33.2%
150 TO 250 ROOMS	216.27	169.84	27.3%	89.5%	79.4%	12.7%	193.63	134.89	43.5%
UNDER 150 ROOMS	175.02	143.89	21.6%	87.7%	80.5%	8.9%	153.41	115.84	32.4%
OVERALL AVERAGE	\$219.63	\$183.72	19.5%	90.2%	80.2%	12.5%	\$198.04	\$147.30	34.4%

SOURCE: PKF CONSULTING

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