



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Full Analysis

HEARING DATE SEPTEMBER 19, 2013

Date: September 12, 2013
Case No.: 2012.0680D
Project Address: 645 DUNCAN STREET
Permit Application: 2011.1117.9087
Zoning: RH-1 (Residential House, One-Family)
40-X Height and Bulk District
Block/Lot: 6604/039
Project Sponsor: Andy Greene
P.O. Box 411434
San Francisco, CA 94141
Staff Contact: Doug Vu – (415) 575-9120
Doug.Vu@sfgov.org
Recommendation: **Do not take DR and approve the project as proposed.**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposal is to construct an approximately 4,820 gross square foot, four-story over garage, single-family dwelling on an existing unimproved lot. The new dwelling will be setback fifteen feet from the front property line, not including the garage that is a permitted obstruction under Planning Code Section 136(c)(27).

SITE DESCRIPTION AND PRESENT USE

The subject property is a 2,848 sq. ft. vacant lot that measures 25 feet wide by 114 feet deep, and steeply slopes up towards the rear of the property. The project is located on the south side of Duncan Street, between Diamond and Castro Streets in Assessor's Block 6604, Lot 039, and is located within the RH-1 (Residential House, One-Family) District and the 40-X Height and Bulk District.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site is residential in use and residentially zoned. Properties directly across Duncan Street are zoned RH-1 (Residential House, One-Family) and are developed with single-family residences that face Duncan Street. The zoning changes to RH-2 (Residential House, Two-Family) at the northwest corner of Castro and Duncan Streets but the properties are currently developed with single-family residences. On the same side of Duncan Street, the zoning is RH-1 to the west of the subject property and is developed with single-family residences. The remaining four lots to the east of the property on the subject block are zoned RH-2 and developed with two-family dwellings, which includes the DR Requestor's property at 625 Duncan Street.

BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	December 12, 2012 – January 11, 2013	January 11, 2013	September 19, 2013	251 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	September 9, 2013	September 10, 2013	9 days
Mailed Notice	10 days	September 9, 2013	September 9, 2013	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	1	1	-
Other neighbors on the block or directly across the street	-	3	-
Neighborhood groups	-	1	-

The Department was notified that a petition to oppose the project has received a total of 356 signatures, of which 346 were submitted on-line, and ten with written signatures. In addition, the Duncan Newburg Association has submitted a letter in opposition to the project, stating that it is out of context with the neighborhood. The Department has also received a letter from the adjacent property owner to the west at 647 Duncan Street, stating that he has met with the owner and consulting architect to review the project and is in strong support of the new building as proposed.

DR REQUESTOR

The DR Requestor is Bruce Gilpin, 625 Duncan Street, owner and occupant of the adjacent property to the east of the subject property.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Issue #1: The DR Requestor is concerned that the proposed building's scale is too large for its site and not compatible with surrounding buildings, and recommends the removal of the top story.

Issue #2: The DR Requestor is concerned the proposal does not meet the front setback requirements of Planning Code Section 132 that will result in the building projecting forward too aggressively, leading to negative impacts on light to the adjacent properties. The DR Requestor recommends articulating the

floors of the building to step back up the hillside following the natural topography of the site, and that the second and third stories are angled to mirror the eased setback of the DR Requestor's home.

Issue #3: The DR Requestor is concerned the proposed building lacks articulation and architectural features to establish a rhythm and transition that will enhance the neighborhood's character. The DR Requestor recommends articulating the side property line walls and creating landscaped areas in the front setback.

Issue #4: The DR Requestor is concerned the proposal lacks fenestration and building materials that will provide visual interest and texture to this area of Noe Valley. The DR Requestor recommends selecting natural materials and smaller scale fenestration to reflect the dominant pattern of the neighborhood.

Reference the *Discretionary Review Application* for additional information. The *Discretionary Review Application* is an attached document.

PROJECT SPONSOR'S RESPONSE

Issue #1: The project sponsor has already eliminated the previously proposed fifth floor and has made significant reductions and modifications to the fourth floor to limit impacts on the DR Requestor's home. Additionally, the fourth floor of the proposed building does not exceed the height of the DR Requestor's home, and its removal would have an adverse impact on the function of the proposed project.

Issue #2: The proposed project already has an articulated front façade and provides a 3-foot by 5-foot notch adjacent to the DR Requestor's home. Additionally, the first floor above the garage is also set back an additional five feet to limit the impact on the DR Requestor's entry and provide a visually interesting front façade. The proposed building follows the topography of the site as evidenced in the terracing of the building massing. The surrounding neighborhood has many examples of homes with a vertical emphasis that are built without side setbacks. Angling the second and third stories to mirror the eased setback of the DR Requestor's property, which is the exception in the neighborhood with a 50-foot wide building would not be consistent with the prevailing 25-foot wide façade pattern.

Issues #3: The proposed project provides articulation along the side property line through the terracing of the building mass, by providing property line windows along the east and west elevations, by including an oversized light well along the west elevations, and through careful consideration of stucco joints throughout the facades of the building. The Project Sponsor has worked closely with Department staff to provide landscaping and planters at both street level and the deck level above the garage that will result in a higher percentage of landscaping in the front setback than many surrounding properties. All these features will provide visual interest to the proposed project.

Issue #4: The proposed project is consistent with and reinforces the surrounding neighborhood pattern which has many examples of 25-foot wide homes with multi-colored exterior plaster and similar fenestration sizes.

Reference the *Response to Discretionary Review* for additional information. The *Response to Discretionary Review* is an attached document.

PROJECT ANALYSIS

The project includes the construction of a 4,820 gross square foot, four-story over garage, single-family dwelling that is 33-feet in height on an existing 2,848 square foot vacant lot. The front wall of the garage is set back four feet from the front property line and is a permitted obstruction pursuant to Planning Code Section 136(c)(27) because the existing slope of the property's front setback area exceeds 50 percent. The front building wall of the first, second and third floors will be set back fifteen feet, and the fourth floor will be set back 46 feet from the front property line. The dwelling will have a nine-foot deep courtyard along the west elevation that is set back 32-feet six-inches from the front building wall, and the fourth story maintains a three-foot setback at its entire depth along the west elevation. Approximately 16-foot wide window openings at the third and fourth stories are included along the east elevation of the building.

The proposed dwelling's form and scale is appropriate for its site and compatible with the surrounding buildings in the neighborhood. The subject block contains properties that are from one to three stories in height that were constructed between 1908 and 2007, resulting in a mixed visual character. The building maintains the stepped pattern along the blockface for a 46-foot depth, and including the significantly stepped back fourth story does not exceed the height of the adjacent properties. The garage will encroach into the front setback, which is similar to the adjacent properties. However, the front landscaping at both the garage level and first story deck, in combination with the uncovered entry steps and a minimal 10-foot wide garage opening provides a front setback that enhances the street at a pedestrian scale.

The proposed building complies with the front setback and height requirements of the Planning Code and will not result in substantial negative impacts on light to the adjacent properties. The property has a 15-foot required front setback, and the building's first story provides a 20-foot setback. The second and third stories have a 15-foot setback, and the fourth story has a 46-foot setback from the front property line. As described above, the garage encroaches into the front setback but is a permitted obstruction. To further reduce any impacts to light, the building provides a 3-foot side setback along its east elevation at the second through fourth stories adjacent to the DR Requestor's entry stairs, and provides a 3-foot setback along its west elevation at the third and fourth stories adjacent to the property at 647 Duncan Street.

The proposed structure provides articulation and architectural features to establish a rhythm and transition that will enhance the neighborhood's character. The dwelling provides articulation along the primary façade through the 3-foot by 5-foot notch adjacent to the DR Requestor's property, the first story wall that is set back five feet beyond the floors above, and recessed glazing at the second and third stories. Along the secondary facades, articulation is provided through property line windows along the east and west elevations, a 9-foot deep courtyard/lightwell along the west elevation, and stucco joints throughout the east and west elevations. As described above, the building will provide panting materials at both garage/street level and the deck/first story level directly above that will result in a higher percentage of landscaping in the front setback than other surrounding properties. All these features will provide visual interest to the proposed building. In addition, the residence incorporates building materials, architectural features and fenestration that will provide further visual interest and character to the neighborhood. The textured stucco, metal screens, balconies, vertically oriented window openings, guardrails, and other

finishes complement the materials used in the surrounding area, and are of a comparable or better quality.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt from environmental review, pursuant to CEQA Guideline Section 15303(a) – New construction of a single-family residence.

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project on May 16, 2013 upon receipt of the Discretionary Review application. The RDT found the proposed project to be consistent with the site and neighborhood in terms of scale and character. It also determined the project provided relief through façade setbacks and articulation that align with the DR Requestor's property. In addition, the RDT found that because the neighborhood consists of buildings that are finished with a combination of stucco and/or wood, the proposed stucco finish with metal trim is compatible. The RDT determined there are no exceptional or extraordinary circumstances and supports the project as currently proposed.

Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves new construction on a vacant lot.

BASIS FOR RECOMMENDATION

The Planning Department recommends that the Planning Commission not take Discretionary Review as:

- The project complies with the Planning Code and advances the policies of the General Plan.
- The project complies with the Residential Design Guidelines as determined by the Residential Design Team.
- There are no exceptional or extraordinary circumstances that would necessitate Discretionary Review or modification of the project.

RECOMMENDATION: Do not take DR and approve the project as proposed.

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photos
Section 311 Notice
DR Application
Response to DR Application dated July 15, 2013
Supplemental to the DR Application dated September 11, 2013
Reduced Plans

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The neighborhood character is mixed with one to three story structures that were constructed between 1908 and 2007.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?	X		

Comments: The project conforms to the Residential Design Guidelines because the building has been designed to respect the lateral slope of the area through setbacks and a stepped back form to reduce its mass at the street, provide articulation to minimize light and privacy impacts to adjacent properties, and provide a pedestrian scale at the street.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The project conforms to the Residential Design Guidelines because the building's height is 33 feet, its width is 25 feet, and the proportions and form are compatible with the surrounding buildings.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?			X
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?			X
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?			X

Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The project conforms to the Residential Design Guidelines because the building's entrance connects the public realm of the street and sidewalk with the private realm of the building, the placement of the garage entrance and door are compatible with the surrounding area, and width of the garage entrance is minimized to ten feet.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The project conforms to the Residential Design Guidelines because the proportion, size and material of the windows relate to that of existing buildings in the neighborhood and contribute to the architectural character. The combination of textured stucco, glass and metal trim exposed walls are compatible with those used in the surrounding area, and the exposed side walls are finished with textured and jointed stucco.

G:\Documents\DRs\645 Duncan Street_2012.0680D\Report\DR - Full Analysis .doc

Parcel Map



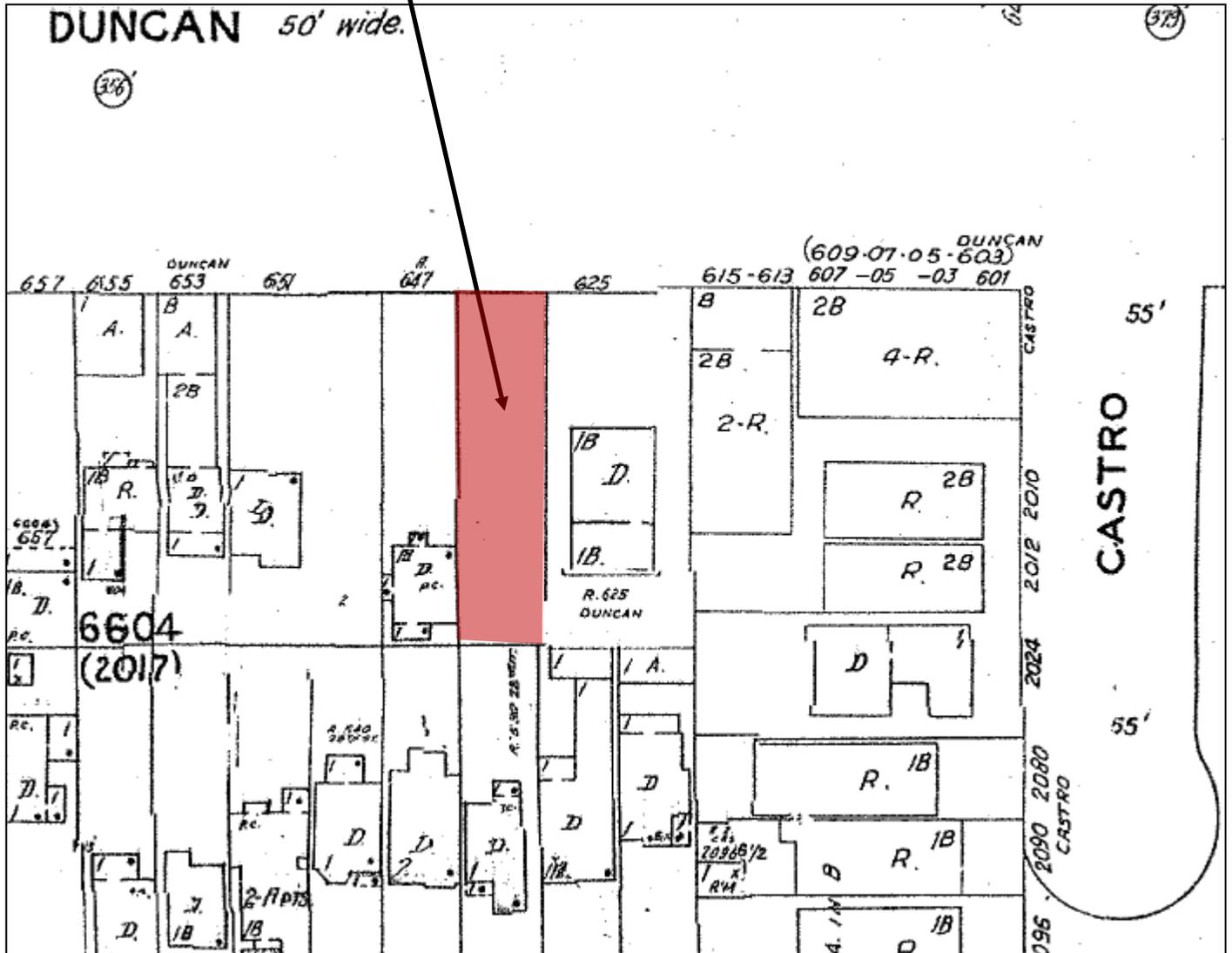
SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street

Sanborn Map*

SUBJECT PROPERTY

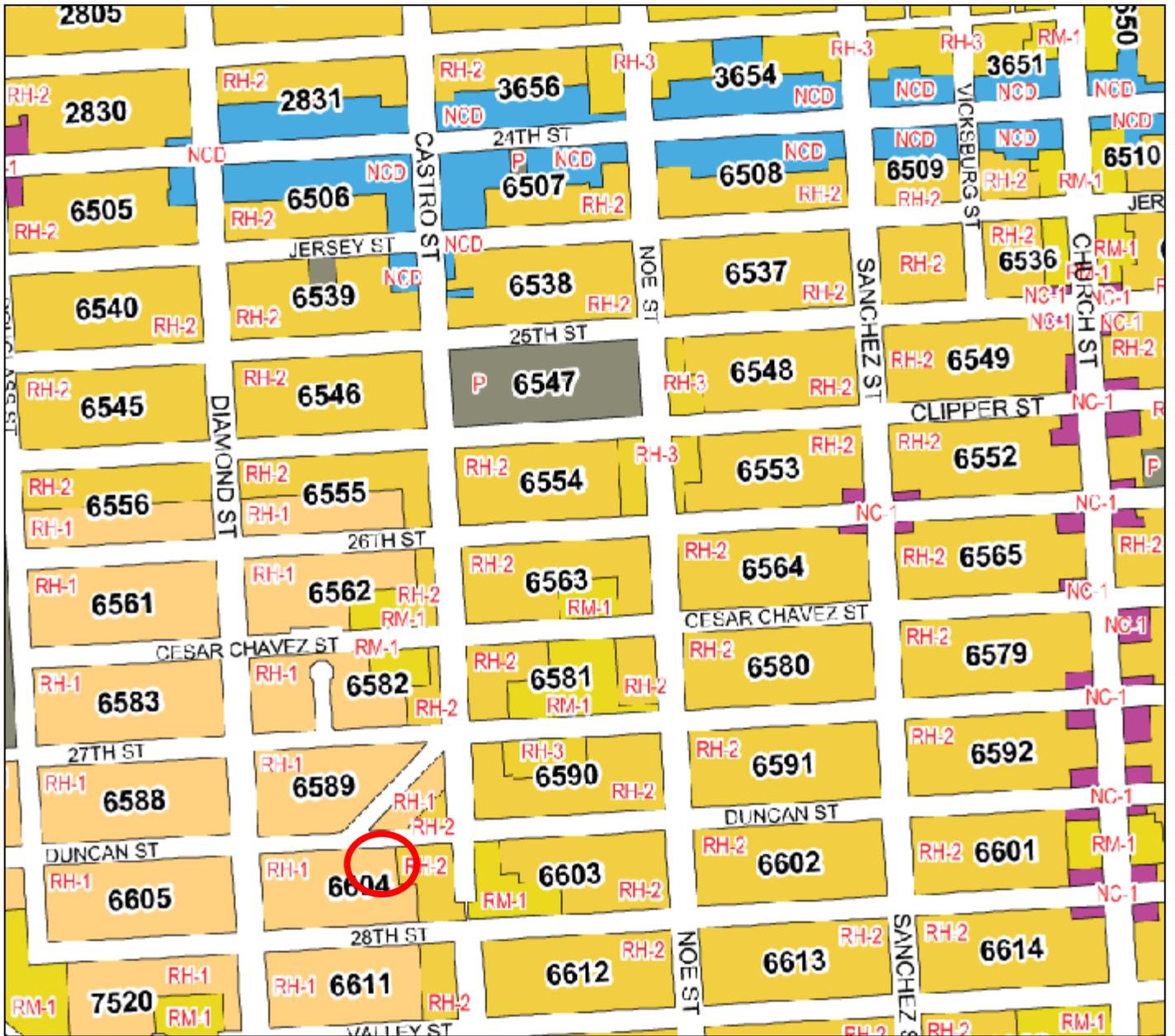


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street

Zoning Map



Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street

Aerial Photo

facing south



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street

Aerial Photo

facing west



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street

Aerial Photo

facing north



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street

Aerial Photo

view facing east



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2012.0680D
645 Duncan Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 17, 2011**, the Applicant named below filed Building Permit Application No. **2011.11.17.9087** (New Construction) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Andy Greene	Project Address:	645 Duncan Street
Address:	P.O. Box 411434	Cross Streets:	Diamond & Castro Streets
City, State:	San Francisco, CA 94141	Assessor's Block /Lot No.:	6604/039
Telephone:	(415) 412-8648	Zoning Districts:	RH-1 / 40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input checked="" type="checkbox"/> NEW CONSTRUCTION
<input type="checkbox"/> VERTICAL EXTENSION		<input checked="" type="checkbox"/> CHANGE # OF DWELLING UNITS
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)
		<input type="checkbox"/> HORIZ. EXTENSION (REAR)
<input type="checkbox"/> ALTERATION	or	<input type="checkbox"/> FACADE ALTERATION(S)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Vacant	One-Family Dwelling
FRONT SETBACK	N/A	15'
SIDE SETBACKS	N/A	None
BUILDING DEPTH	N/A	81'-6"
REAR YARD	N/A	28'-6"
HEIGHT OF BUILDING	N/A	Approx. 33' (see plans)
NUMBER OF STORIES	N/A	Four over garage
NUMBER OF DWELLING UNITS	N/A	One
NUMBER OF OFF-STREET PARKING SPACES	N/A	4

PROJECT DESCRIPTION

The project includes the construction of a new 4,820 gross sq. ft., four-story over garage, single-family dwelling on an existing 2,848 sq. ft. vacant lot. The proposed project complies with all applicable provisions of the Planning Code, is consistent with the size and scale of the surrounding properties in the neighborhood, and complies with the Residential Design Guidelines. See attached plans.

PLANNER'S NAME: **Doug Vu**
 PHONE NUMBER: **(415) 575-9120**
 EMAIL: **Doug.Vu@sfgov.org**

DATE OF THIS NOTICE: **12/12/12**
 EXPIRATION DATE: **1/11/13**

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Bruce Gilpin & Paul Moreno		
DR APPLICANT'S ADDRESS: 625 Duncan Street	ZIP CODE: 94131	TELEPHONE: (415) 601-2495
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Andrew Greene		
ADDRESS: PO Box 411434	ZIP CODE: 94141	TELEPHONE: (415) 412-8648
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS: brucegilpin@me.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 645 Duncan Street		ZIP CODE: 94131
CROSS STREETS: Newburg Street		
ASSESSORS BLOCK/LOT: 6604 / 039	LOT DIMENSIONS: 25' x 114'	LOT AREA (SQ.FT.): 2,848
ZONING DISTRICT: RH-1	HEIGHT/BULK DISTRICT: 40-X	

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other Additions to Building: Rear Front Height Side Yard Present or Previous Use: **Vacant Lot**Proposed Use: **Single Family Dwelling**Building Permit Application No. **2011.11.17.9087**Date Filed: **November 17, 2011**

RECEIVED

JAN 11 2013

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P1C

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

The mediation process has recently been initiated and there has not yet been sufficient time to reach an agreement with the project sponsor. Previous discussions have lead to minor changes with respect to 5th floor setback, and the addition of an etched glass lot line window on the East side. Substantive changes have not yet been made but discussions are ongoing.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See attachment

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See attachment

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See attachment

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: 01/11/13

Print name, and indicate whether owner, or authorized agent:

Paul Moreno
Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

1. What are the reasons for the requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Codes Priority Policies or the Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

- A. The proposed new dwelling plans filed as Permit Application number 2011.11.17.9087 do NOT meet the minimum standards of Planning Code section 132(a). FRONT SETBACK AREAS, RH AND RM DISTRICTS "... any building ...constructed ... Shall be set back to the average of the two adjacent front setbacks."

As shown in the plans provided with the section 311 mailing this project has been misrepresented to the community as code compliant and cannot be approved as designed.

- B. The proposed project does not comply with the General Plan Priority Policy (Planning Code Section 10 1. 1 (b)(8)) to conserve and to protect existing housing and neighborhood character. To implement this policy, and address the significant problems in design with projects such as this the Planning Commission adopted Residential Design Guidelines.

The Residential Design Guidelines focus on six core Design Principles (p. 5), The new building proposed for 645 Duncan Street does not meet four of these criteria, and therefore is subject to Discretionary Review by the San Francisco Planning Commission. Specifically the design proposed does not:

- *Ensure that the building's scale is compatible with surrounding buildings.*
- *Maintain light to adjacent properties by providing adequate setbacks.*
- *Provide architectural features that enhance the neighborhood's character.*
- *Choose building materials that provide visual interest and texture to a building.*

The proposed plans fail to follow the building scale principles (p.5 and 7). A dwelling of 4820 square feet on a 2848 square-foot vacant lot is out of scale for its site and for the neighborhood . The project proposes five stories above street level, if permitted this would be the first such residential property in the neighborhood and would be out of scale and inappropriate.

The proposed project does not respect or maintain light to adjacent properties. Disregarding the topography of the site the building projects forward aggressively from the steep slope as a solid rectangular box without setback as required by Planning Code section 132 and Residential Design Guidelines (p. 11 - 13).

The project fails to provide architectural features that enhance the neighborhood character. There is little or no articulation of the façade to establish a rhythm, transition or to add visual interest to the block face as required by Residential Design Guidelines (p 13 - 15)

The Residential Design Guidelines (p.7) state that

"though each building will have its own unique features, proposed projects must be responsive to the overall neighborhood context. A sudden change in the building pattern can be visually disruptive."

The east and west elevations provided by the project sponsor as part of the sec 311 neighborhood notification mailing show unarticulated flat walls extending without setback straight back from the front property line at a rigid 90°. This clearly illustrates the conflicts between this proposal and the goals of the San Francisco Planning Code and Residential Design Guidelines. The architectural design of the proposed building is dramatically out of character for this site.

The building materials and fenestration of this project reflect a building design appropriate for the zero lot line, continual block face neighborhoods of Hayes Valley, Mission District or South of Market areas of San Francisco, but this is dramatically out of character for this section of Noe Valley.

Failure to comply with four out of six Core Design Principles of the Residential Design Guidelines is an exceptional and extraordinary circumstance which justifies Discretionary Review of this project.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

- A. The neighborhood and pedestrian environment would be dramatically affected by the change in visual character associated with the inappropriate scale and design of the proposed structure.
- B. As the neighbors directly adjacent to the proposed building, we would be most directly and adversely affected. Construction of a new five-story structure will limit the incoming natural light to our home and create an inappropriate cavelike entry to our entry stairs and front door.

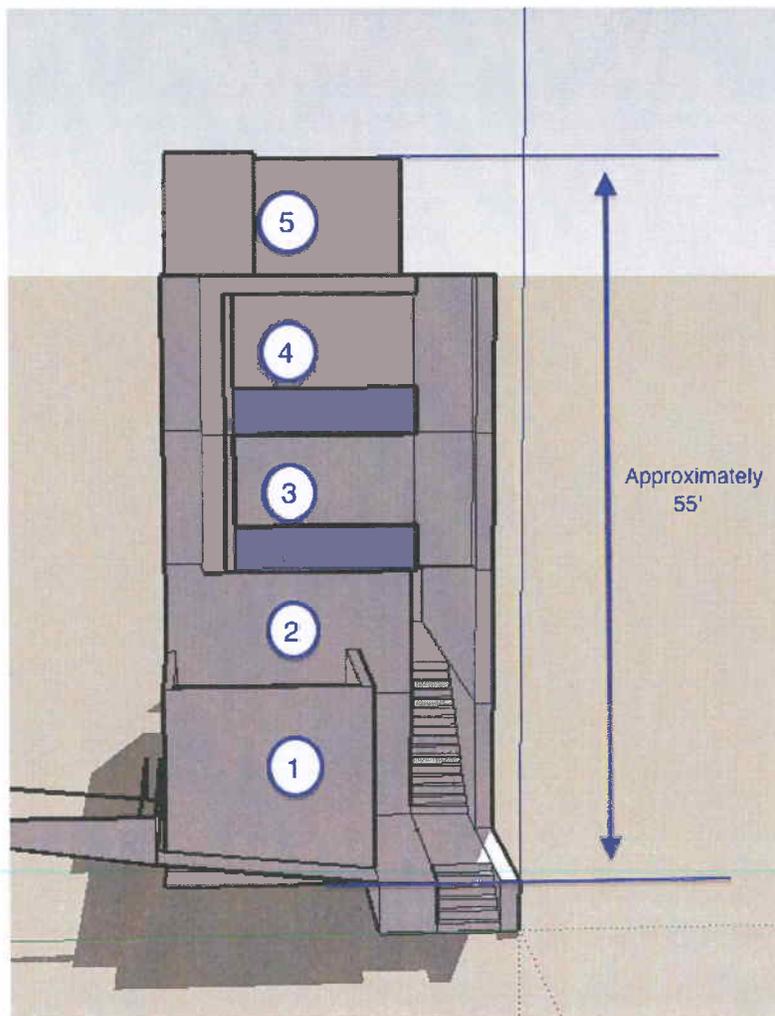
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

- A. Remove the Top Story.
- B. Articulate the front setback in accordance with planning code requirements and to follow the natural topography of the site, stepping back up the hillside.
- C. Angle the second and third stories to mirror the eased setback of the adjacent home.
- D. Articulate the side property line walls
- E. Select natural materials and smaller scale fenestration to reflect the dominant pattern of the district
- F. Create landscaped areas in the front setback.

645 DUNCAN STREET - PROPOSED

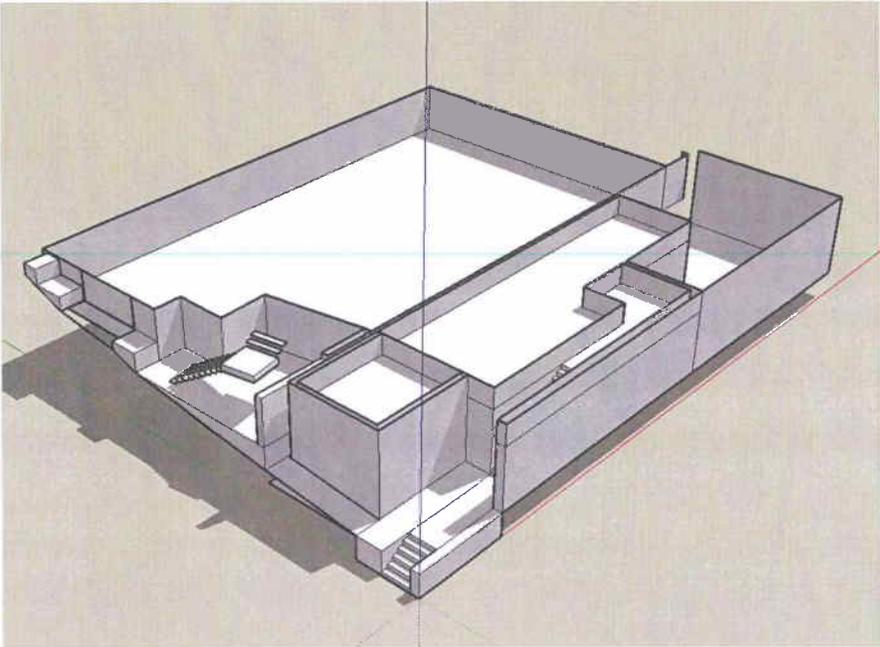
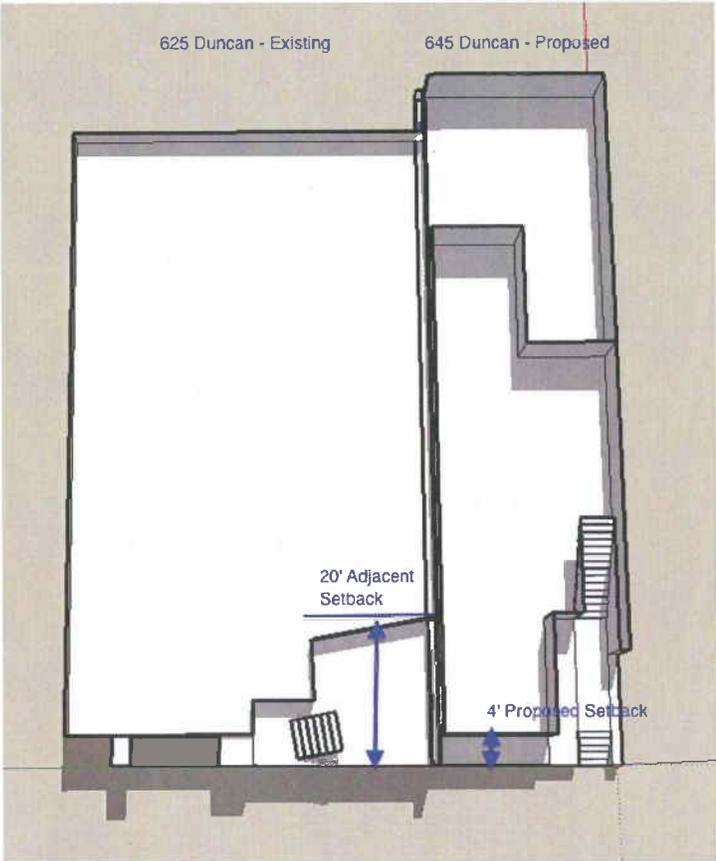
Four Stories Over Garage - 5 Stories Total

1. There is no example of a 5 story building existing in the vicinity of 645 Duncan.
2. Compared to the uphill property, the proposed site originates six feet lower on the hill, while the 5th floor extends 4 feet higher than the adjacent roof line. The extra 10 feet (6+4) allow space for a fifth floor.



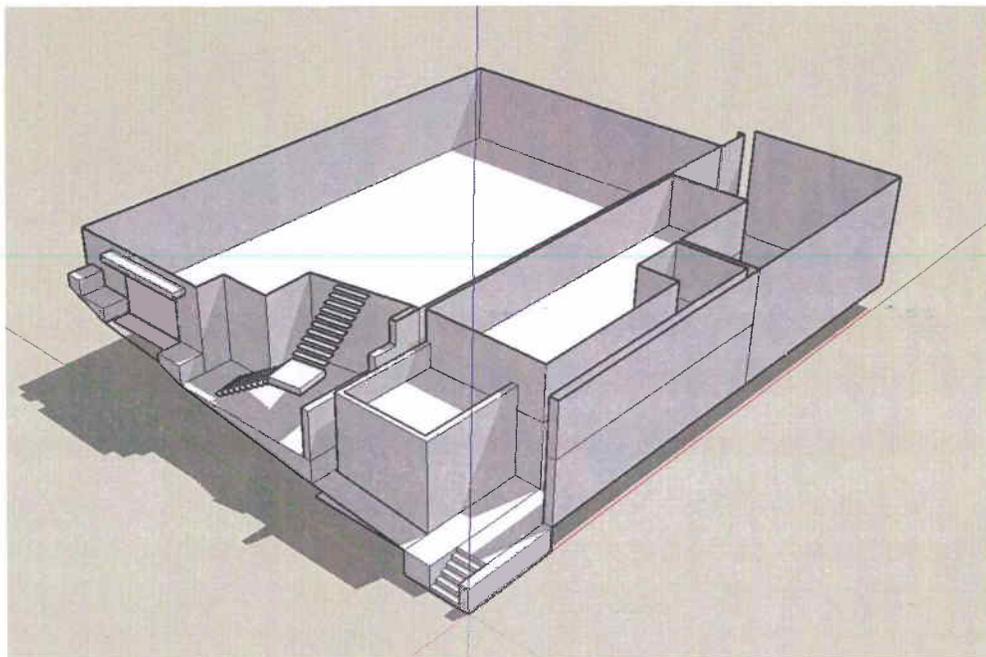
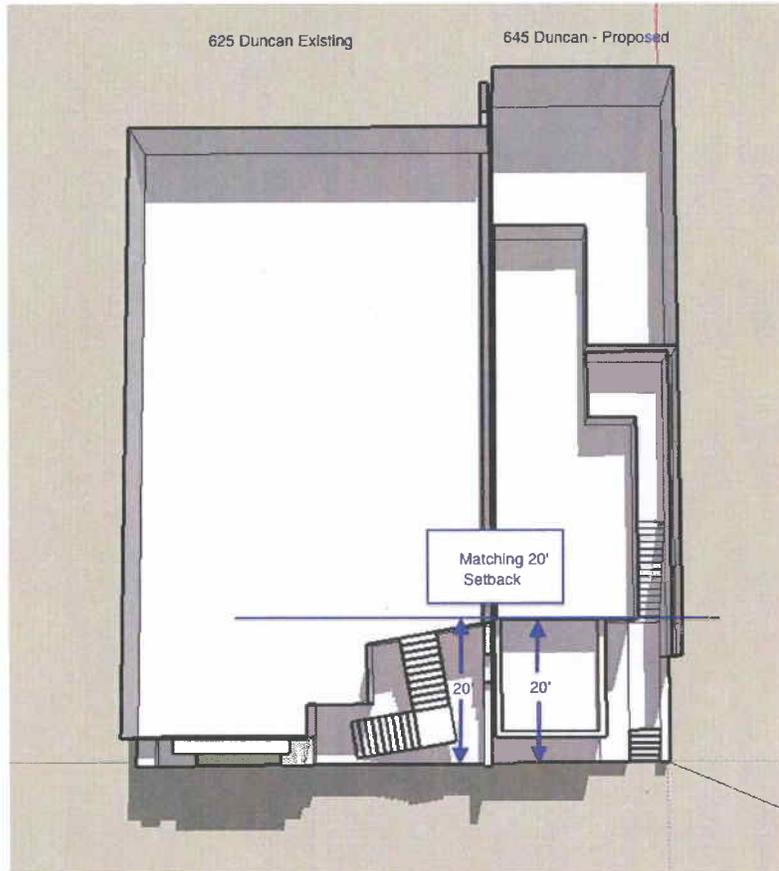
645 DUNCAN STREET - PROPOSED

First Level (Garage) Adjacent Setback Comparison



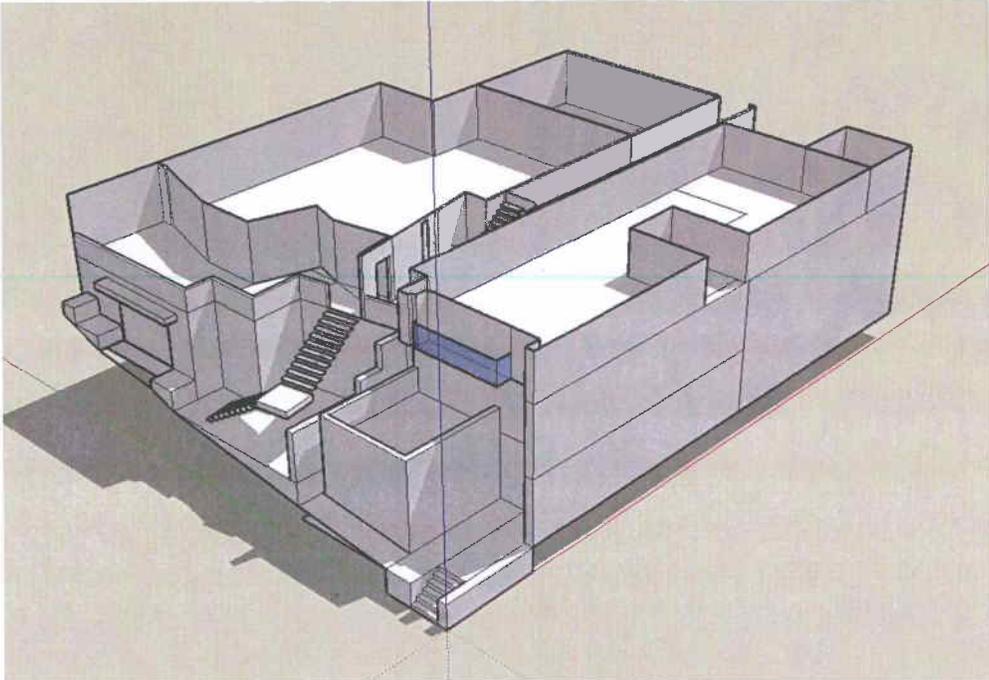
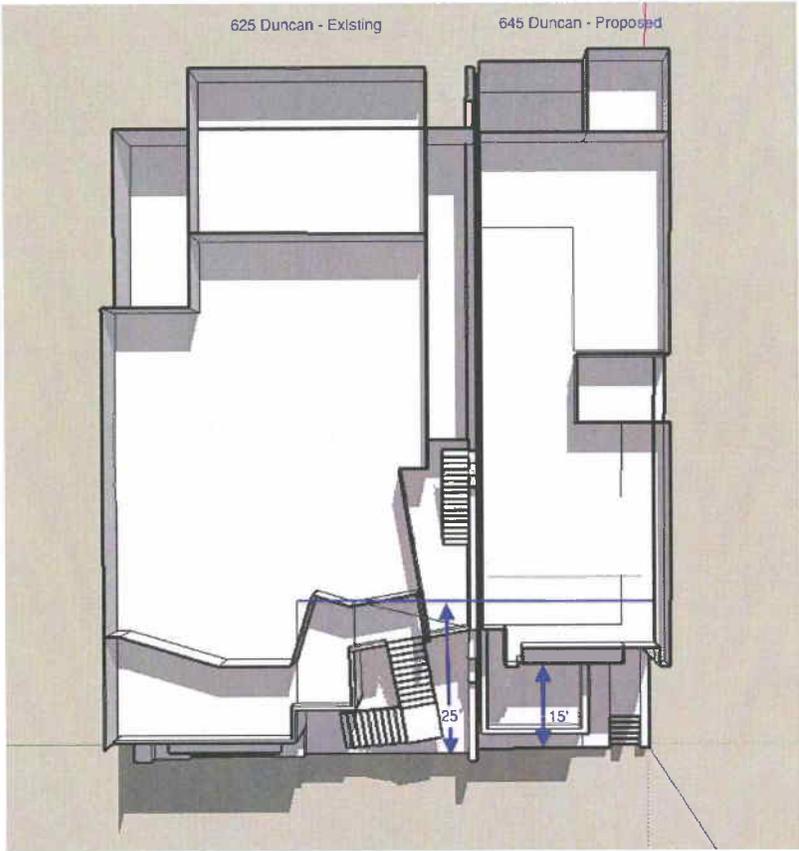
645 DUNCAN STREET - PROPOSED

Second Level Adjacent Setback Comparison (matching at this level)



645 DUNCAN STREET - PROPOSED

Third Level Adjacent Setback Comparison



July 15, 2013

San Francisco Planning Commission
1650 Mission Street, 4th floor
San Francisco, CA 94103

**RE: 645 Duncan Street
Case No. 0680D**

Dear President Fong and Commissioners:

PROPOSAL

Andrew Greene of Azura, LLC (project sponsor) proposes to build a fully code-complying four-story over garage single-family home on a vacant lot at 645 Duncan Street in the Noe Valley neighborhood of San Francisco. The new home proposal is designed by San Francisco architect Robert Edmonds (<http://www.edmondslee.com/>) and has been crafted and modified over time to ensure the new structure is sensitive to, and in keeping with, the eclectic character and scale of the neighborhood.

EXISTING CONDITIONS

The subject property is located in an RH-1 zoning district with a 40-X height limit. The immediate and broader neighborhood can be characterized as single-family and two-unit homes of comparable height, depth and scale situated on deep lots compared to standard San Francisco parcels in similar zoning districts. The block face has a mixed visual character and no clear pattern of development. The DR Requester's lot and building at 625 Duncan is a double wide 50-foot lot zoned RH-2 and is situated immediately adjacent and upslope from the subject property.

NEIGHBORHOOD OUTREACH

The project sponsor held a community meeting on November 12, 2011 and as been communicating directly with individual neighbors to maintain a focused and constructive dialogue. Mr. Greene and Mr. Edmonds were able to satisfy the concerns of the neighbors at 647 Duncan and 530 28th Street, as will be described in this document and accompanying exhibits. Only the DR Requester is opposing the 645 Duncan proposal. The project sponsor has met with the DR Requester and representatives on seven different occasions and has voluntarily modified the project an attempt to reach an amicable resolution to this mater. The outreach and design adjustments are outlined below and in the DR response as well in Exhibits C and D.

MODIFICATIONS TO PROJECT IN RESPONSE TO ADJACENT NEIGHBORS

As found below, project sponsor has made numerous design modification to his project proposal at 645 Duncan. A full **ten** design changes were created to accommodate the DR Requester, **five** modifications responded to Residential Design Team (RDT) comments, and an additional **three** changes were included for two adjacent neighbors. All changes are clearly enumerated and illustrated in Exhibit D.

625 Duncan Street (DR Requester)

1. Additional 5th floor was eliminated entirely from proposed project to limit impact on DR Requester and adjacent neighbors.
2. 4th floor stair penthouse was reduced requiring floor plans and stairs to be completely redesigned to limit impact to DR Requester.
3. 4th floor massing and floor area was greatly reduced as a result changes to stair penthouse to limit impact to DR Requester.
4. 4th floor internal elevator was eliminated as a result of floor plan changes to limit impact to DR Requester.
5. 4th floor roof deck area was reduced as a result of floor plan changes to limit impact to DR Requester.
6. 4th floor roof deck guardrails revised to clear glass to maintain views for DR Requester.
7. North / East corner of front facade adjacent to DR Requester was notched 3'-0" x 5'-0" to provide articulation and limit impact to DR Requester.
8. Property line widows were provided at East elevation to articulate facade and to limit impact to DR Requester.
9. Property line widows were provided at West elevation to articulate façade and to limit impact to DR Requester.
10. Over-sized light well was provided at West elevation to articulate facade and to limit impact to DR Requester.

647 Duncan Street

1. Over-sized light well was provided at West elevation to articulate facade.
2. Upper two floors on the rear of the house on the West side were set back 3'-0" to minimize impacts to existing cottage.

530 28th Street

1. Additional 5th floor was eliminated entirely from proposed project to limit impact on adjacent neighbors.

DISCRETIONARY REVIEW REQUEST

A DR Request application (Exhibit B) was filed by Bruce Gilpin and Paul Moreno of 625 Duncan Street, the property directly East and uphill from the subject site. The primary concerns of the DR Requesters is that they will experience privacy, light and view impacts to their existing 5,933 square foot residential structure. Please see Exhibit C for the project sponsor's response to the DR.

The DR Application (Exhibit B) for the proposed single-family home at 645 Duncan Street is now scheduled for Commission consideration on August 8, 2013. As this project is new construction, Planning Department rules mandate that this case will not be considered an abbreviated or frivolous DR.

RESIDENTIAL DESIGN TEAM

The Residential Design Team reviewed the project proposal on at least three separate occasions (Exhibit A) and supports the project as proposed. The project sponsor worked with staff and incorporated **five** significant changes in response to RDT recommendations to ensure that the project fits seamlessly into its neighborhood setting.

1. Width of Garage facade was reduced to 15'-0" wide to be compatible with surrounding buildings and to comply with Residential Design Guidelines (p.28-29)
2. Entry Stairs were exposed to enhance the connection between public and private realms and to comply with Residential Design Guidelines (p.31)
3. Planters were incorporated into the deck areas above the garage to create a visually interesting transition area between the public and private realms and to comply with Residential Design Guidelines (p.14)
4. Curb cuts were reduced to 10'-0" wide to prevent loss of on-street parking space and to comply with Residential Design Guidelines (p.37)

These changes were incorporated and are now part of the project plan before the Commission. Staff has determined that the project does not contain or create any exceptional or extraordinary circumstances that warrant DR consideration by the Commission.

CONCLUSION

The single-family home proposed for 645 Duncan Street is code complying and meets all aspects of the Residential Design Guidelines. Planning Department staff and the RDT support the project as proposed. We believe that the DR Request is wholly unreasonable. The project sponsor voluntarily made ten substantial design changes to the project to address the concerns of the DR Requester. All of these changes remain in the final design before the Commission (Exhibit H).

In basic terms, the DR Requester purchased a \$5.8 million dollar home (Exhibit F) next to a vacant lot. When the 645 Duncan project proposal came forward, he decided to fight any and all perceived impacts even though he knowingly bought his home in the ever-evolving urban neighborhood of Noe Valley. Further, the DR Requester has demanded that the project sponsor redesign his project proposal to “mirror” (his verbiage from DR Application) and conform to his residential structure, which is neither fair nor appropriate given the existing neighborhood block face and setback pattern. In recent meetings with the project sponsor, the DR Requester conceded that views and loss of privacy (as compared to a vacant lot) were his true and paramount issues, and that he wished that he had purchased the vacant subject property.

Commissioners, we regret that this matter has had to come before you. The project sponsor made every attempt to arrive at a settlement with the DR requester to no avail. We are in full agreement with Planning Department staff that the proposed project does not present any exceptional or extraordinary circumstances warranting discretionary review. As such, we respectfully request that the Commission not take DR and approve the project as proposed.

Thank you very much for your time and consideration. I can be reached directly at (415) 342-2202 if you require any further information.

Sincerely,

A handwritten signature in black ink, appearing to read 'A. T. Gregg', with a long, sweeping flourish extending to the right.

Andrew T. Gregg

CC: Doug Vu, Planning Staff

Exhibits Attached (8)



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 17, 2011**, the Applicant named below filed Building Permit Application No. **2011.11.17.9087** (New Construction) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Andy Greene	Project Address:	645 Duncan Street
Address:	P.O. Box 411434	Cross Streets:	Diamond & Castro Streets
City, State:	San Francisco, CA 94141	Assessor's Block /Lot No.:	6604/039
Telephone:	(415) 412-8648	Zoning Districts:	RH-1 / 40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input checked="" type="checkbox"/> NEW CONSTRUCTION or <input type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input checked="" type="checkbox"/> CHANGE # OF DWELLING UNITS <input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Vacant	One-Family Dwelling
FRONT SETBACK	N/A	15'
SIDE SETBACKS	N/A	None
BUILDING DEPTH	N/A	81'-6"
REAR YARD	N/A	28'-6"
HEIGHT OF BUILDING	N/A	Approx. 33' (see plans)
NUMBER OF STORIES	N/A	Four over garage
NUMBER OF DWELLING UNITS	N/A	One
NUMBER OF OFF-STREET PARKING SPACES	N/A	4

PROJECT DESCRIPTION

The project includes the construction of a new 4,820 gross sq. ft., four-story over garage, single-family dwelling on an existing 2,848 sq. ft. vacant lot. The proposed project complies with all applicable provisions of the Planning Code, is consistent with the size and scale of the surrounding properties in the neighborhood, and complies with the Residential Design Guidelines. See attached plans.

PLANNER'S NAME: **Doug Vu**

PHONE NUMBER: **(415) 575-9120**

EMAIL: **Doug.Vu@sfgov.org**

DATE OF THIS NOTICE:

EXPIRATION DATE: _____

NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment through mediation. Community Boards acts as a neutral third party and has, on many occasions, helped parties reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at www.sfplanning.org). You must submit the application to the Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check, for each Discretionary Review request payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the **Board of Appeals within 15 days** after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including their current fees, **contact the Board of Appeals at (415) 575-6880**.



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Planning Department Requirements #1

January 19, 2012

Andrew Greene
P.O. Box 411434
San Francisco, CA 94141

RE: 645 Duncan Street (Address of Permit Work)
6604/039 (Assessor's Block/Lot)
2011.11.17.9087 (Building Permit Application Number)

Your Building Permit Application [#2011.11.17.9087](#) has been received by the Planning Department and assigned to planner Douglas Vu. He has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy.

In order to proceed with our review of your Building Permit Application, the following is required:

NOTE: Revisions may be requested to address the Planning Code, the Residential Design Guidelines and other local ordinances and policies. Based on the plans submitted, the following items are required to proceed with review of the subject Building Permit Application:

1. **Pre-Application Meeting.**
 - a. Pursuant to Planning Code Section 311, please provide proof that the Notice of Pre-Application Meeting was sent at least 14 days prior to the meeting. The typical standard for satisfying this requirement is the submittal of a post marked envelope which serves as a record of timely mailing.
2. **Section 311 Notification Materials.**
 - a. Pursuant to the requirements of Section 311, please submit the Notification Mailing List and Labels, and Affidavit of Preparation in conjunction with the 150' radius map that you already submitted. See pages 8-12 of the attached Building Permit Application Packet for detailed instructions.
3. **Tree Disclosure Affidavit.**
 - a. Pursuant to Section 143, please review, complete and return the attached Tree Disclosure Affidavit.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

4. **Elevations.** In order to assess the rear massing of the proposed building, please provide the profiles of the adjacent buildings to the south exterior elevation on sheet A2.00, the west exterior elevation on sheet A2.01 and the east exterior elevation on sheet A2.02.
5. **Street Trees.** Pursuant to Section 138.1(c)(1), a street tree (minimum 24" box) shall be required when constructing a new building. The tree shall be located either within the front setback area on the subject lot or within the public right-of-way along the lot. Your project triggers this requirement so please reference the new street tree on the applicable sheets in your architectural drawings.
6. **Materials.** Please submit a materials board for the proposed exterior finishes, in particular the stucco siding. This is requested because the west-facing façade of the building may be exposed if the buildings at 647 Duncan Street remain in their current location.
7. **Residential Design Guidelines.** The Planning Commission adopted the 2003 Residential Design Guidelines to promote design that will protect neighborhood character. All residential permit applications in the RH, RM, and RTO zoning districts are subject to these Guidelines. You can download a copy of the Guidelines from our website at <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=5356> or purchase a copy at the Planning Department office, Ground Floor Lobby or 5th floor. If you fail to adequately address these concerns the Department may initiate a Discretionary Review hearing for this project.
 - a. **Landscaping.** To comply with the guideline on page 14 to include landscaping that will create a visually interesting transitional space between the public realm of the street and the private realm of the building, planters should be incorporated into the deck area adjacent to the basement level media room. Additional landscaping within the front setback is also recommended where space permits.
 - b. **Building Façade Width.** To comply with the guidelines on pages 28-29 to design the building's form, façade and proportions to be compatible with those found on surrounding buildings, the width of the basement level garage that extends beyond the exterior wall of the media room level toward the street should be reduced to 15 feet. See related comment directly below regarding building entrance.
 - c. **Building Entrance.** To comply with the guideline on page 31 to design building entrances that enhance the connection between the public realm of the street and sidewalk and the private realm of the building, the entry stairs should be exposed and extended further towards the front property boundary.
 - d. **Curb Cuts.** To comply with the City's "Curb Cut Policy" and the guideline on page 37 to coordinate their placement, the total width of the proposed curb cut should be reduced to 10 feet. In particular, the curb cut should be reduced from the west edge to prevent the loss of an on-street parking space between the subject property and 647 Duncan Street.
8. **Environmental Evaluation Application.** Your project proposes soil disturbance/modification greater than eight feet in a non-archaeological sensitive area. In order to assess the environmental impacts of your project pursuant to the California Environmental Quality Act, please review and

NOPDR #1 sent to:
Andrew Greene
P.O. Box 411434
San Francisco, CA 94141

January 19, 2012
2011.11.17.9087
645 Duncan Street

complete the attached Environmental Evaluation Application and contact Brett Bollinger at (415) 575-9024 to submit the application.

Please note that further comment may follow review of the requested information.

Please provide the requested information within thirty (30) days. The application will be sent back to the Department of Building Inspection for cancellation if we do not receive the requested information in this time. Please contact the assigned planner if you need more time to prepare the requested information.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'.
Two (2) sets of plans are to be submitted and should be clearly labeled.**

All plan revisions must be filed at the Department of Building Inspection, Permit Processing Center, 1660 Mission Street, 1st Floor. Do not submit plans directly to the Planning Department. Plans will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

Please respond fully with all requested information and/or plan revisions as described above. You may file any plan revisions responding to this notice at no extra charge. However, please be advised that failure to address all the items listed above, leading to additional requests for revisions beyond those filed in response to this notice, will require a Back-Check Fee for Permit Revisions (\$233 per hour, Planning Code Sections 355(a)(2)). If you file additional plan revisions in the future, those plan revisions will be subject to the Back-Check Fee.

Please direct any questions concerning this notice to the assigned planner, **Doug Vu at (415) 575-9120 or Doug.Vu@sfgov.org**. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

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SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN TEAM REVIEW

DATE: January 12, 2012 RDT MEETING DATE: January 12, 2012

PROJECT INFORMATION:

Planner: Doug Vu

Address: 645 Duncan Street

Cross Streets: Castro St./Diamond St.

Block/Lot: 6604/039

Zoning: RH-1

Height/Bulk District: 40-X

BPA/Case No. 2011.11.17.9087

Project Status Initial Review Post NOPDR DR Filed

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

The proposal includes the construction of a new 4,917 square foot, 3-story over garage single-family dwelling.

PROJECT CONCERNS:

- Lack of side setback at second level and higher adjacent to 625 Duncan (RDG 16-17).
- Materials along side façade (RDG 19-21)
- Scale/massing; second floor to be pulled back? (RDG 23-27)
- Lack of connection between public/private realm (RDG 31-33).
- Recess garage doors and reduce to 10' in width (RDG 35-36).
- Excessive glazing; proportion of window/wall area not compatible w/ blockface (45).

RDT COMMENTS:

Limit width of garage snout to 15'. Reduce width of driveway curb cut to 10'.

Expose entry stairs, perhaps pull them out toward front property line.

Incorporate planters at front setback.

Provide more information about the neighboring rear yard cottage elevations.

Height and massing at front okay.



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Planning Department Requirements #2

June 1, 2012

Andrew Greene
P.O. Box 411434
San Francisco, CA 94141

RE: 645 Duncan Street (Address of Permit Work)
6604/039 (Assessor's Block/Lot)
2011.11.17.9087 (Building Permit Application Number)

Your Revised Building Permit Application #2011.11.17.9087 has been received by the Planning Department and assigned to planner Douglas Vu. He has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy.

In order to proceed with our review of your Building Permit Application, the following is required:

NOTE: Revisions may be requested to address the Planning Code, the Residential Design Guidelines and other local ordinances and policies. Based on the plans submitted, the following items are required to proceed with review of the subject Building Permit Application:

- 1. Landscaping.** Pursuant to Planning Code Section 132(g), a minimum of 20 percent of the front setback shall remain unpaved and landscaped. Please note that since the proposed garage is located within the required front setback as a permitted obstruction under Planning Code Section 136, the required landscaping shall be located above of the garage. Please ensure and provide numerical data (i.e. square footage) the 20% is satisfied with the proposed planters.
- 2. Green Landscaping Ordinance.** Pursuant to Section 132(h), 50% of surfaces in the front setback are required to be permeable by using porous asphalt, porous concrete, interlocking pavers, bricks, or landscaping. Areas counted towards the landscaping requirement (20% of the required setback area) can also be credited towards the permeability requirement. Please revise the site plan to comply with this ordinance and provide numerical data the 20% is satisfied.
- 3. Residential Design Guidelines.** The Planning Commission adopted the 2003 Residential Design Guidelines to promote design that will protect neighborhood character. All residential permit applications in the RH, RM, and RTO zoning districts are subject to these Guidelines. You can download a copy of the Guidelines from our website at <http://www.sf-planning.org>

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

NOPDR #2 sent to:
Andrew Greene
P.O. Box 411434
San Francisco, CA 94141

June 1, 2012
2011.11.17.9087
645 Duncan Street

planning.org/Modules/ShowDocument.aspx?documentid=5356. If you fail to adequately address these concerns the Department may initiate a Discretionary Review hearing for this project.

- a. **Special Building Location.** To comply with the guideline on page 21 to articulate the proposed building to minimize impacts on light to adjacent cottages, please set back the upper two floors 3 feet from the west property line (adjacent 647 Duncan Street) for the portion of the building that is south of the light court. The incorporation of windows with obscured glazing along this elevation is also recommended.

Please note that further comment may follow review of the requested information.

Please provide the requested information within thirty (30) days. The application will be sent back to the Department of Building Inspection for cancellation if we do not receive the requested information in this time. Please contact the assigned planner if you need more time to prepare the requested information.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'.
Two (2) sets of plans are to be submitted and should be clearly labeled.**

All plan revisions must be filed at the Department of Building Inspection, Permit Processing Center, 1660 Mission Street, 1st Floor. Do not submit plans directly to the Planning Department. Plans will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

Please respond fully with all requested information and/or plan revisions as described above. You may file any plan revisions responding to this notice at no extra charge. However, please be advised that failure to address all the items listed above, leading to additional requests for revisions beyond those filed in response to this notice, will require a Back-Check Fee for Permit Revisions (\$233 per hour, Planning Code Sections 355(a)(2)). If you file additional plan revisions in the future, those plan revisions will be subject to the Back-Check Fee.

Please direct any questions concerning this notice to the assigned planner, **Doug Vu at (415) 575-9120 or Doug.Vu@sfgov.org**. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

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SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN TEAM REVIEW

DATE: May 31, 2012 RDT MEETING DATE: May 31, 2012

PROJECT INFORMATION:

Planner: Doug Vu
 Address: 645 Duncan Street
 Cross Streets: Castro/Diamond
 Block/Lot: 6604/039
 Zoning: RH-1
 Height/Bulk District: 40-X
 BPA/Case No. 2011.11.17.9087
 Project Status Initial Review Post NOPDR DR Filed

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

The proposal includes the construction of a new 4,851 sq. ft., 3-story over garage single-family dwelling.

PROJECT CONCERNS:

- Rear massing (new elevations provided).

RDT COMMENTS:

- Set back the upper two floors 3' from the Western side property line for the portion of the building that is South of the light court. (RDGs pg. 21)



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Planning Department Requirements #2

September 18, 2012

Andrew Greene
P.O. Box 411434
San Francisco, CA 94141

RE: 645 Duncan Street (Address of Permit Work)
6604/039 (Assessor's Block/Lot)
2011.11.17.9087 (Building Permit Application Number)

Your Revised Building Permit Application #2011.11.17.9087 has been received by the Planning Department and assigned to planner Douglas Vu. He has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy.

In order to proceed with our review of your Building Permit Application, the following is required:

NOTE: Revisions to your most recent plans dated August 16, 2012 are requested to address the Residential Design Guidelines. Based on the plans submitted, the following item is required to proceed with review of the subject Building Permit Application:

1. **Residential Design Guidelines.** The Planning Commission adopted the 2003 Residential Design Guidelines to promote design that will protect neighborhood character. All residential permit applications in the RH, RM, and RTO zoning districts are subject to these Guidelines. You can download a copy of the Guidelines from our website at <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=5356>. If you fail to adequately address these concerns the Department may initiate a Discretionary Review hearing for this project.
 - a. **Special Building Location.** To comply with the guideline on page 21 to articulate the proposed building to minimize impacts on light to adjacent cottages, the upper two floors shall be set back 3 feet from the west property line (adjacent 647 Duncan Street) for the portion of the building that is south of the relocated light court.

Please note that further comment may follow review of the requested information.

Please provide the requested information within thirty (30) days. The application will be sent back to the Department of Building Inspection for cancellation if we do not receive the requested information in

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

NOPDR #3 sent to:
Andrew Greene
P.O. Box 411434
San Francisco, CA 94141

September 18, 2012
2011.11.17.9087
645 Duncan Street

this time. Please contact the assigned planner if you need more time to prepare the requested information.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'.
Two (2) sets of plans are to be submitted and should be clearly labeled.**

All plan revisions must be filed at the Department of Building Inspection, Permit Processing Center, 1660 Mission Street, 1st Floor. Do not submit plans directly to the Planning Department. Plans will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

Please respond fully with all requested information and/or plan revisions as described above. You may file any plan revisions responding to this notice at no extra charge. However, please be advised that failure to address all the items listed above, leading to additional requests for revisions beyond those filed in response to this notice, will require a Back-Check Fee for Permit Revisions (\$233 per hour, Planning Code Sections 355(a)(2)). If you file additional plan revisions in the future, those plan revisions will be subject to the Back-Check Fee.

Please direct any questions concerning this notice to the assigned planner, **Doug Vu at (415) 575-9120 or Doug.Vu@sfgov.org**. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

G:\Documents\ADDRESS FILES\645 Duncan Street_2011.11.17.9087\645 Duncan Street_NOPDR #3.doc



SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN TEAM REVIEW

DATE: September 10, 2012 RDT MEETING DATE: September 13, 2012

PROJECT INFORMATION:

Planner: Doug Vu

Address: 645 Duncan Street

Cross Streets: Castro/Diamond Streets

Block/Lot: 6604/039

Zoning: RH-1

Height/Bulk District: 40-X

BPA/Case No. 2011.11.17.9087

Project Status Initial Review Post NOPDR DR Filed

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

The proposal includes the construction of a new 4,831 sq. ft., 4-story over garage single-family dwelling.

PROJECT CONCERNS:

- 3' setback at second floor previously required by RDT not proposed. Instead, the courtyard is shifted south by 5' and shortened by 2' (from 13' to 11').
- Property line windows now proposed along east and west elevations.

RDT COMMENTS:

PROVIDE 5' SIDE YARD SETBACK BEHIND (SOUTH OF) THE PROPOSED COURT AT THE TOP 2 STORIES.

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Bruce Gilpin & Paul Moreno		
DR APPLICANT'S ADDRESS: 625 Duncan Street	ZIP CODE: 94131	TELEPHONE: (415) 601-2495
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Andrew Greene		
ADDRESS: PO Box 411434	ZIP CODE: 94141	TELEPHONE: (415) 412-8648
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS: brucegilpin@me.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 645 Duncan Street		ZIP CODE: 94131
CROSS STREETS: Newburg Street		
ASSESSORS BLOCK/LOT: 6604 / 039	LOT DIMENSIONS: 25' x 114'	LOT AREA (SQ FT): 2,848
ZONING DISTRICT: RH-1		HEIGHT/BULK DISTRICT: 40-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other Additions to Building: Rear Front Height Side Yard Present or Previous Use: Vacant LotProposed Use: Single Family DwellingBuilding Permit Application No. 2011.11.17.9087Date Filed: November 17, 2011**RECEIVED****JAN 11 2013**
CITY & COUNTY OF S.F.
 PLANNING DEPARTMENT
 P1C

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

The mediation process has recently been initiated and there has not yet been sufficient time to reach an agreement with the project sponsor. Previous discussions have lead to minor changes with respect to 5th floor setback, and the addition of an etched glass lot line window on the East side. Substantive changes have not yet been made but discussions are ongoing.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

- 1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See attachment

- 2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See attachment

- 3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See attachment

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: 01/11/2013

Print name, and indicate whether owner, or authorized agent:

Paul Moreno
Owner Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

12.0680D



**SAN FRANCISCO
PLANNING
DEPARTMENT**

FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

1. What are the reasons for the requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Codes Priority Policies or the Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

- A. The proposed new dwelling plans filed as Permit Application number 2011.11.17.9087 do NOT meet the minimum standards of Planning Code section 132(a). FRONT SETBACK AREAS, RH AND RM DISTRICTS "... any building ...constructed ... Shall be set back to the average of the two adjacent front setbacks."

As shown in the plans provided with the section 311 mailing this project has been misrepresented to the community as code compliant and cannot be approved as designed.

- B. The proposed project does not comply with the General Plan Priority Policy (Planning Code Section 10 1. 1 (b)(8)) to conserve and to protect existing housing and neighborhood character. To implement this policy, and address the significant problems in design with projects such as this the Planning Commission adopted Residential Design Guidelines.

The Residential Design Guidelines focus on six core Design Principles (p. 5), The new building proposed for 645 Duncan Street does not meet four of these criteria, and therefore is subject to Discretionary Review by the San Francisco Planning Commission. Specifically the design proposed does not:

- *Ensure that the building's scale is compatible with surrounding buildings.*
- *Maintain light to adjacent properties by providing adequate setbacks.*
- *Provide architectural features that enhance the neighborhood's character.*
- *Choose building materials that provide visual interest and texture to a building.*

The proposed plans fail to follow the building scale principles (p.5 and 7). A dwelling of 4820 square feet on a 2848 square-foot vacant lot is out of scale for its site and for the neighborhood . The project proposes five stories above street level, if permitted this would be the first such residential property in the neighborhood and would be out of scale and inappropriate.

The proposed project does not respect or maintain light to adjacent properties. Disregarding the topography of the site the building projects forward aggressively from the steep slope as a solid rectangular box without setback as required by Planning Code section 132 and Residential Design Guidelines (p. 11 - 13).

The project fails to provide architectural features that enhance the neighborhood character. There is little or no articulation of the façade to establish a rhythm, transition or to add visual interest to the block face as required by Residential Design Guidelines (p 13-15)

The Residential Design Guidelines (p.7) state that

"though each building will have its own unique features, proposed projects must be responsive to the overall neighborhood context. A sudden change in the building pattern can be visually disruptive."

The east and west elevations provided by the project sponsor as part of the sec 311 neighborhood notification mailing show unarticulated flat walls extending without setback straight back from the front property line at a rigid 90°. This clearly illustrates the conflicts between this proposal and the goals of the San Francisco Planning Code and Residential Design Guidelines. The architectural design of the proposed building is dramatically out of character for this site.

The building materials and fenestration of this project reflect a building design appropriate for the zero lot line, continual block face neighborhoods of Hayes Valley, Mission District or South of Market areas of San Francisco, but this is dramatically out of character for this section of Noe Valley.

Failure to comply with four out of six Core Design Principles of the Residential Design Guidelines is an exceptional and extraordinary circumstance which justifies Discretionary Review of this project.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

- A. The neighborhood and pedestrian environment would be dramatically affected by the change in visual character associated with the inappropriate scale and design of the proposed structure.
- B. As the neighbors directly adjacent to the proposed building, we would be most directly and adversely affected. Construction of a new five-story structure will limit the incoming natural light to our home and create an inappropriate cavelike entry to our entry stairs and front door.

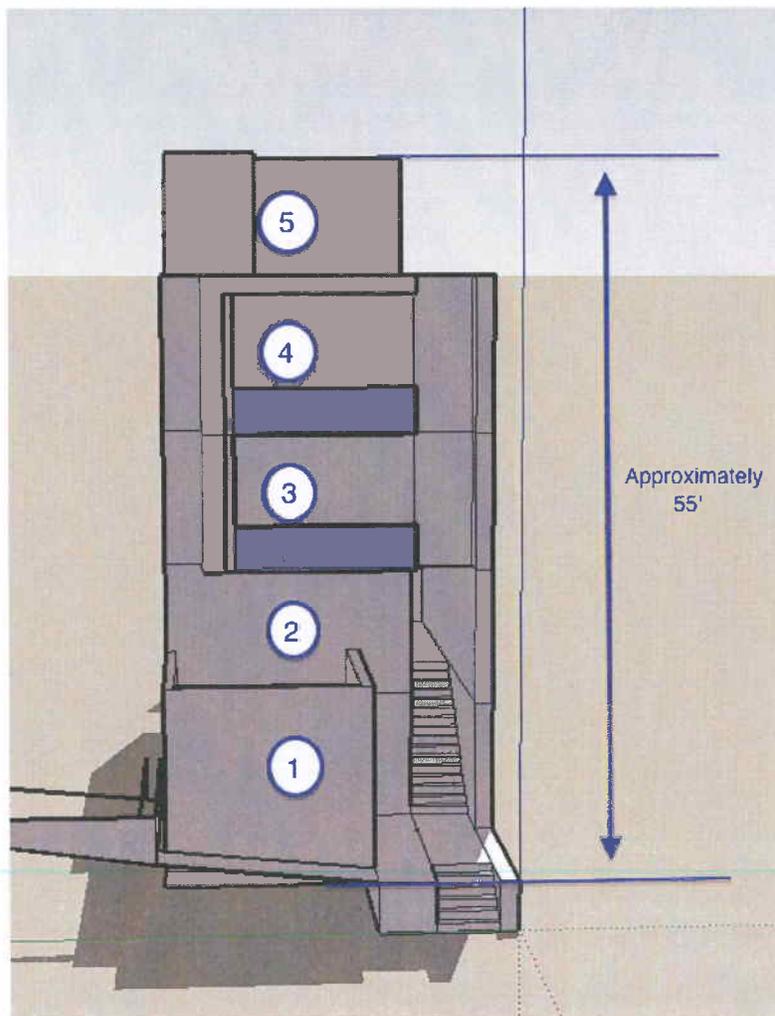
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

- A. Remove the Top Story.
- B. Articulate the front setback in accordance with planning code requirements and to follow the natural topography of the site, stepping back up the hillside.
- C. Angle the second and third stories to mirror the eased setback of the adjacent home.
- D. Articulate the side property line walls
- E. Select natural materials and smaller scale fenestration to reflect the dominant pattern of the district
- F. Create landscaped areas in the front setback.

645 DUNCAN STREET - PROPOSED

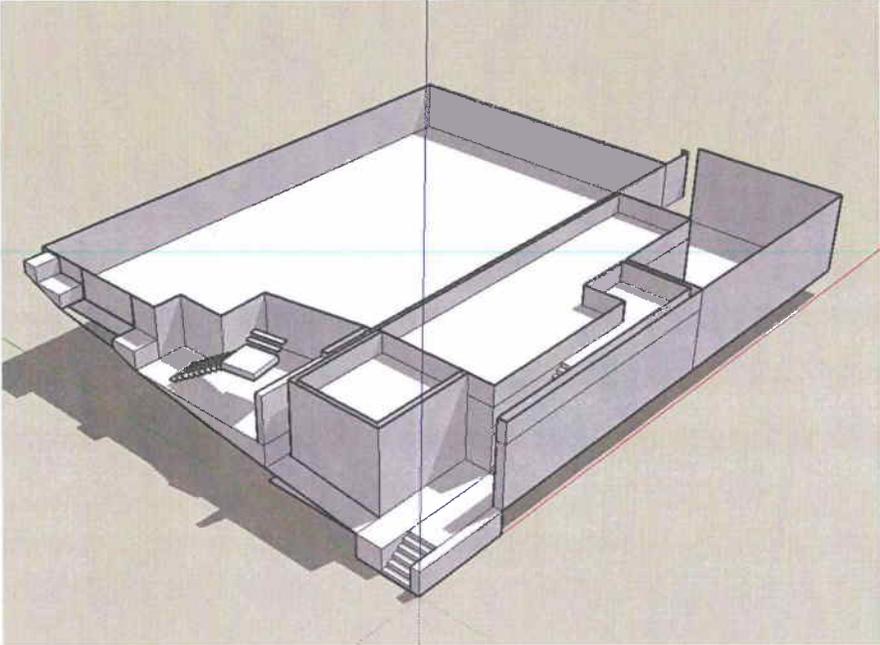
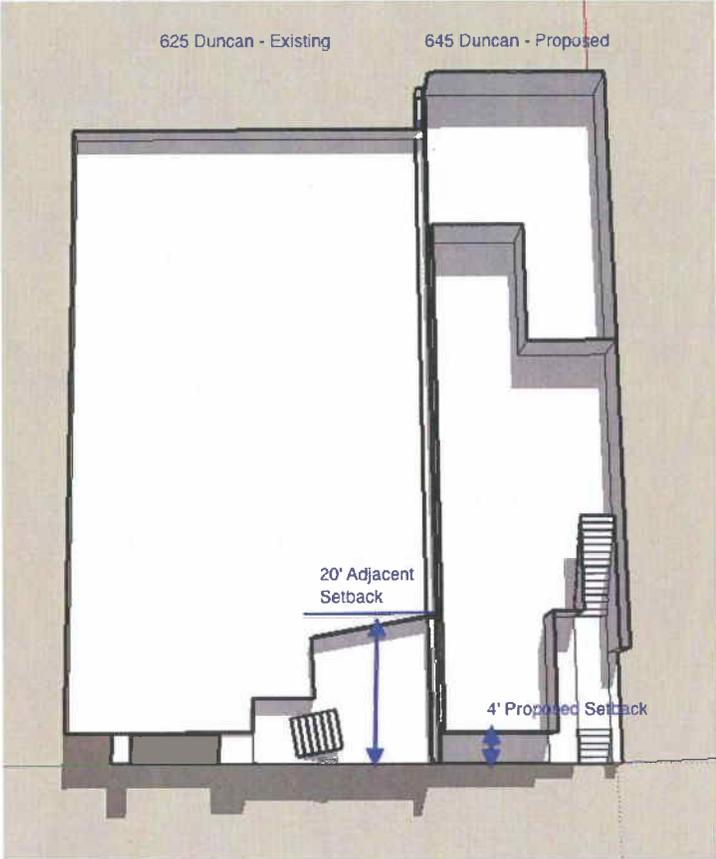
Four Stories Over Garage - 5 Stories Total

1. There is no example of a 5 story building existing in the vicinity of 645 Duncan.
2. Compared to the uphill property, the proposed site originates six feet lower on the hill, while the 5th floor extends 4 feet higher than the adjacent roof line. The extra 10 feet (6+4) allow space for a fifth floor.



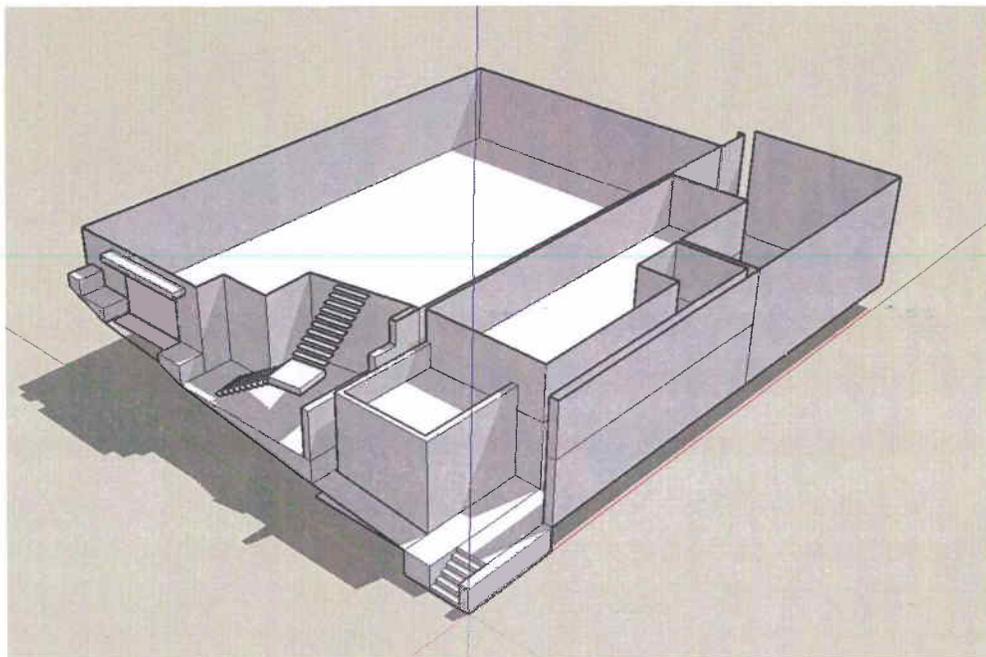
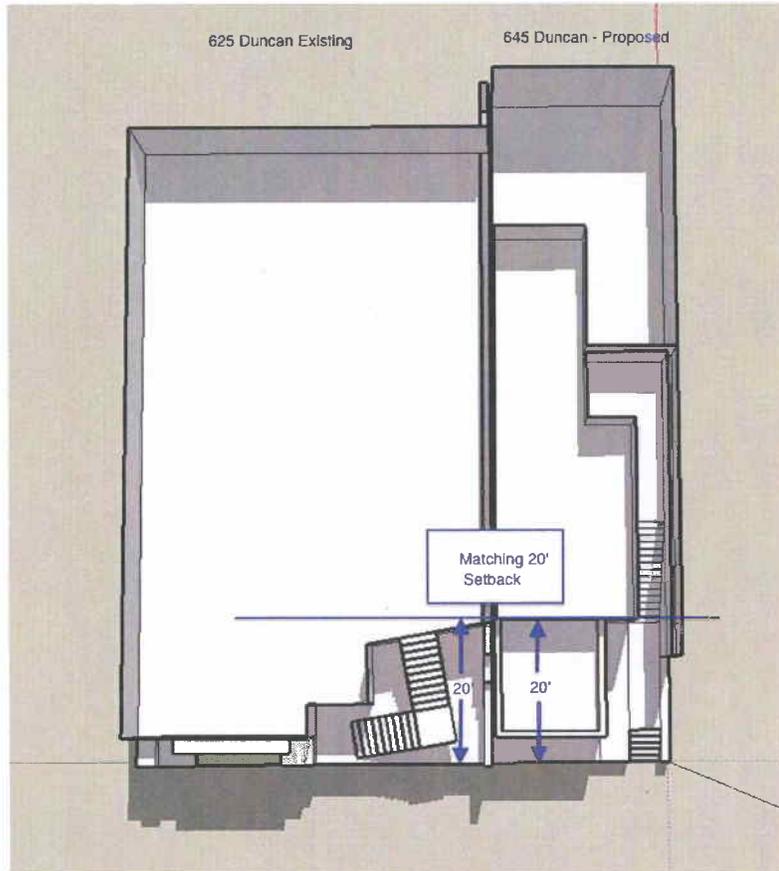
645 DUNCAN STREET - PROPOSED

First Level (Garage) Adjacent Setback Comparison



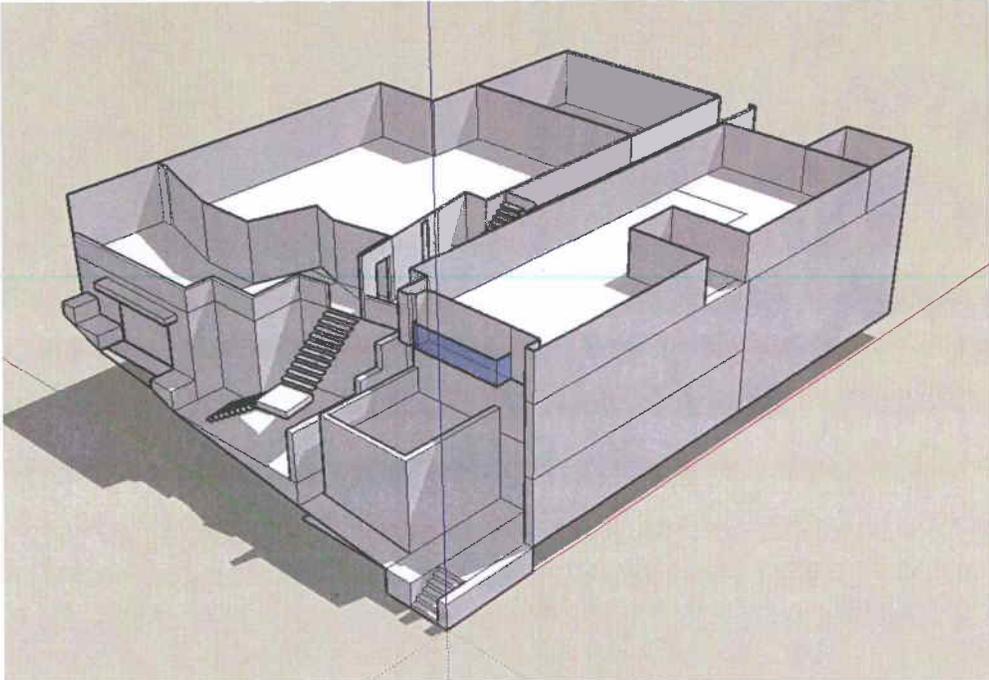
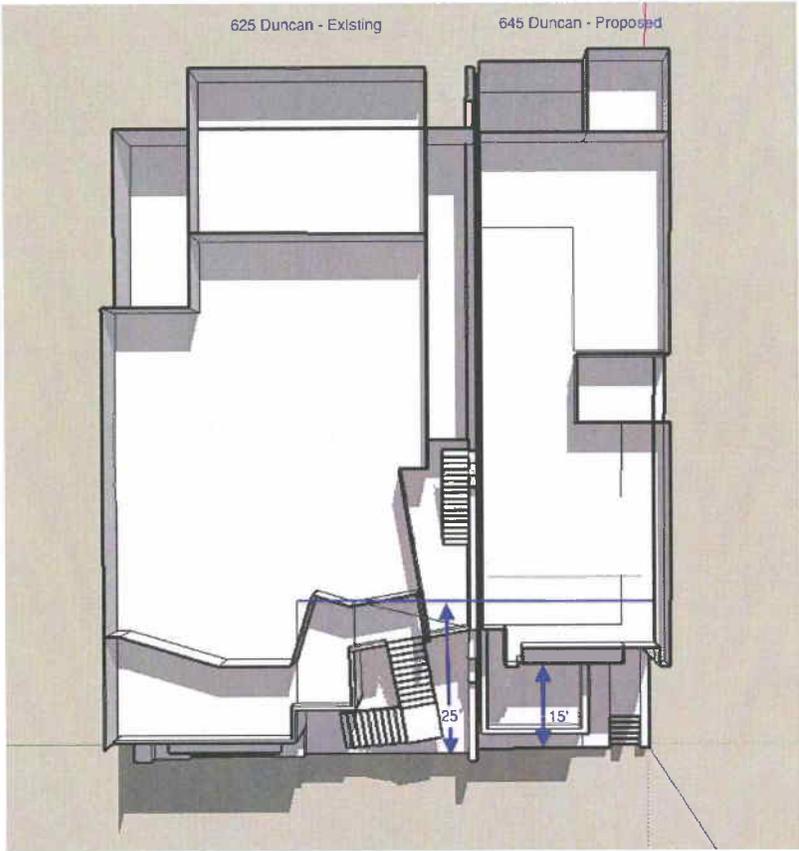
645 DUNCAN STREET - PROPOSED

Second Level Adjacent Setback Comparison (matching at this level)



645 DUNCAN STREET - PROPOSED

Third Level Adjacent Setback Comparison



July 15, 2013

Response to Discretionary Review

**645 Duncan Street
Case No. 0680D**

- 1) Given the concerns of the DR requestor and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requestor, please meet the DR requestor in addition to reviewing the attached DR application.)**

The project should be approved for the following reasons:

- The project proposal is a code-complying, four-story single-family home in an RH-1 zoning district that Planning Department staff and the project architect believe fully conforms with the City's Residential Design Guidelines, despite speculation to the contrary of the DR Requester.
- The proposal has been reviewed and evaluated by Planning Department staff, and the Residential Design Team (RDT) has considered the project on at least three occasions, and supports the project as proposed. In response to RDT comments, the project sponsor and architect made the following **five** substantive design changes.
 1. Width of garage facade was reduced to 15'-0" wide to be compatible with surrounding buildings and to comply with Residential Design Guidelines (p.28-29)
 2. Entry stairs were exposed to enhance the connection between public and private realms and to comply with Residential Design Guidelines (p.31)
 3. Planters were incorporated into the deck areas above the garage to create a visually interesting transition area between the public and private realms and to comply with Residential Design Guidelines (p.14)
 4. Curb cuts were reduced to 10'-0" wide to prevent loss of on-street parking space and to comply with Residential Design Guidelines (p.37)

5. Upper two floors on the rear of the house on the West side were set back 3'-0" to minimize impacts to existing cottage at 647 Duncan and to comply with Residential Design Guidelines (p.21)

Page 2 – 645 Duncan DR Response

- The DR Requester claims that the building proposed for 645 Duncan does not conform with the Department’s Residential Design Guidelines with regard to scale, light and setbacks, architectural features, building materials, and pedestrian environment. In terms of scale, the Commission should note that the DR Requester opposes the scale of a new project that is a great deal smaller and shorter than his home that also is situated uphill relative to the subject property. The project proposal is respectful of the neighborhood context and honors the existing 40-X height limit. The other concerns referenced above have been the subject of voluntary design changes offered by the project sponsor, or are equally invalid and convenient for the DR Requester. Again, staff and RDT have not found merit in these claims by a DR Requester whose own home could have been equally susceptible to such skewed and flimsy assertions when it was proposed.
- The project sponsor has met with the DR Requester at 625 Duncan and his representatives on several occasions and made ten significant changes to the proposed project over time in an attempt to reach agreement with him. The project sponsor’s outreach efforts and voluntary modifications are fully enumerated in response to Question 2 below.
- The DR requester claims that the project does not conform to Planning Code Section 132(a) “FRONT SETBACK AREAS, RH AND RM DISTRICTS.” Project architect Robert Edmonds again has confirmed that the proposed setbacks for 645 Duncan are code complying and staff and RDT have reviewed this specific issue and agree that the project is in full compliance with this Code Section.

2) **What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requestor and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.**

The project sponsor has made ten significant changes to the proposal and has effectively responded to the DR Requester and other neighbors. In specific

response to the DR Requester, the project sponsor modified the project as found below.

Page 3 – 645 Duncan DR Response

625 Duncan Street (DR Requester)

Project Modifications

1. Additional 5th floor was eliminated entirely from proposed project to limit impact on DR Requestor and adjacent neighbors.
2. 4th floor stair penthouse was reduced requiring floor plans and stairs to be completely redesigned to limit impact to DR Requestor.
3. 4th floor massing and floor area was greatly reduced as a result changes to stair penthouse to limit impact to DR Requestor.
4. 4th floor internal elevator was eliminated as a result of floor plan changes to limit impact to DR Requestor.
5. 4th floor roof deck area was reduced as a result of floor plan changes to limit impact to DR Requestor.
6. 4th floor roof deck guardrails revised to clear glass to maintain views for DR Requestor.
7. North / East corner of front facade adjacent to DR Requestor was notched 3'-0" x 5'-0" to provide articulation and limit impact to DR Requestor.
8. Property line windows were provided at East elevation to articulate facade and to limit impact to DR Requestor.
9. Property line windows were provided at West elevation to articulate façade and to limit impact to DR Requestor.
10. Over-sized light well was provided at West elevation to articulate facade and to limit impact to DR Requestor.

Outreach

1. Prior to October 28th, 2011 met with DR Requester to share project plans in preparation for the community outreach meeting. He asked that we remove the top floor, which we did.
2. February 15th, 2011 met with DR Requester to discuss the project with him.
3. Prior to November 9, 2012 met with DR Requester's former consultant Pat Buscovich in the office of project architect Robert Edmonds.
4. On November 10, 2012 offered to meet with DR Requester to discuss the project before 311 Notification.
5. December 12, 2012 DR Requester asks for models and renderings of the project. We provided the drawing set and renderings.

Page 4 – 645 Duncan DR Response

6. Prior to December 13, 2012 we had two separate meetings in the offices of project architect Robert Edmonds to share the project changes made at their request.
7. December 28, 2012 asked for DR Requester's specific comments by way of email.
8. January 4, 2013 DR Requester offered comments.
9. In mid January 2013 met with DR Requester and his new adviser Jeremy Paul.

647 Duncan Street

- The project sponsor has modified the project to respond concerns of his neighbor at 647 Duncan, located on the lot directly adjacent to the project to the West. The property owner at 647 Duncan fully supports the project as proposed.

Project Modifications

1. Over-sized light well was provided at West elevation to articulate facade.
2. Upper two floors on the rear of the house on the West side were set back 3'-0" to minimize impacts to existing cottage.

Outreach

1. Spring of 2011 met with Jesko Onken, the first owner of 647 Duncan, to discuss the proposed project.
2. Fall of 2011 met with Jesko Onken to discuss the changes that benefited his property.

3. Spring of 2012 met with Pat Speirs, the second new owner of 647 Duncan Street, to discuss our project.
4. Summer of 2012 met with Pat Speirs and his architect to discuss changes to project.
5. Spring of 2013 met with the third new owner of 647 Duncan Street, to discuss the proposed project.
6. Summer of 2013 met with owner again to review changes to project proposal.

530 28th Street

- The project sponsor has modified the project to respond to concerns of his neighbor at 530 28th Street, located on the lot directly behind and adjacent to the project to the South.

Page 5 – 645 Duncan DR Response

Project Modification

1. Additional 5th floor was eliminated entirely from proposed project to limit on adjacent neighbors.

Some of these project changes outlined herein were made prior to the submittal to the Department of the project application. Others were made after filing of the application once the project sponsor was able to better understand the concerns of the DR Requester and other neighbors.

3. **If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requestor.**

The DR Requester demands that the project sponsor make the following changes (Items A – E) and each is specifically addressed below. As demonstrated herein, the project sponsor has addressed these concerns. However, the project sponsor has not agreed to eviscerate his project design to satisfy the DR Requester, hence the pending DR hearing.

A. *Remove the top story*

Project Sponsor's Response:

The project sponsor has already eliminated the previously proposed 5th floor and made significant reductions and modifications to the 4th floor to limit the impact on the DR Requester's home. Additionally, the 4th floor of the proposed project does not exceed the height of the DR Requester's home. Removal of the 4th floor would have an adverse impact on the function of the proposed project.

- B. Articulate the front setback in accordance with planning code requirements and to follow the natural topography of the site, stepping back the hillside.*

Project Sponsor's Response:

The proposed project already has an articulated front facade and provides a voluntary 3'-0" x 5'-0" notch adjacent to the DR Requester's home. Additionally 1st floor above the garage is also set back voluntarily an additional 5'-0" to limit the impact on the DR Requester's entry and provide a visually interesting front facade. The proposed project already follows the topography of the site as evidenced in the terracing of the building massing.

Page 6 – 645 Duncan DR Response

- C. Angle the second and third stories to mirror the eased setback of the adjacent home.*

Project Sponsor's Response:

The surrounding neighborhood has many examples of homes with a vertical emphasis (2-3 stories) built property line to property line at the front facade. Angling the 2nd and 3rd stories to mirror the eased setback of the DR Requester, who is the exception in the neighborhood with a 50'-0" wide home, would not be consistent with the prevailing 25'-0" wide neighborhood facade patterns.

- D. Articulate the side property line walls.*

Project Sponsor's Response:

The proposed project has already articulated the side property line by terracing the building mass; and by providing property line windows on the East and West elevations; an oversized light well on the West elevation; and careful consideration of stucco joint locations throughout. All of these features contribute to the articulation and visual interest of the proposed project.

- E. Select natural materials and smaller scale fenestration to reflect the dominant pattern of the district.*

Project Sponsor's Response:

Unlike the DR Requester's home which has 50'-0" wide base of exposed concrete and excessive glazing, the proposed project is consistent and reinforces the surrounding neighborhood pattern which has many examples of 25'-0" wide homes with multi-colored exterior plaster and similar fenestration sizes.

F. Create landscaped areas in front setback

Project Sponsor's Response:

The proposed project has already created landscape areas within the front setback. The project sponsor has worked very closely with staff by incorporating Residential Design Team recommendations of additional landscaping and planters at both the street level and at the deck level above the garage. As a result, the proposed project has a higher percentage of landscaping in the front setback than many of the surrounding homes.

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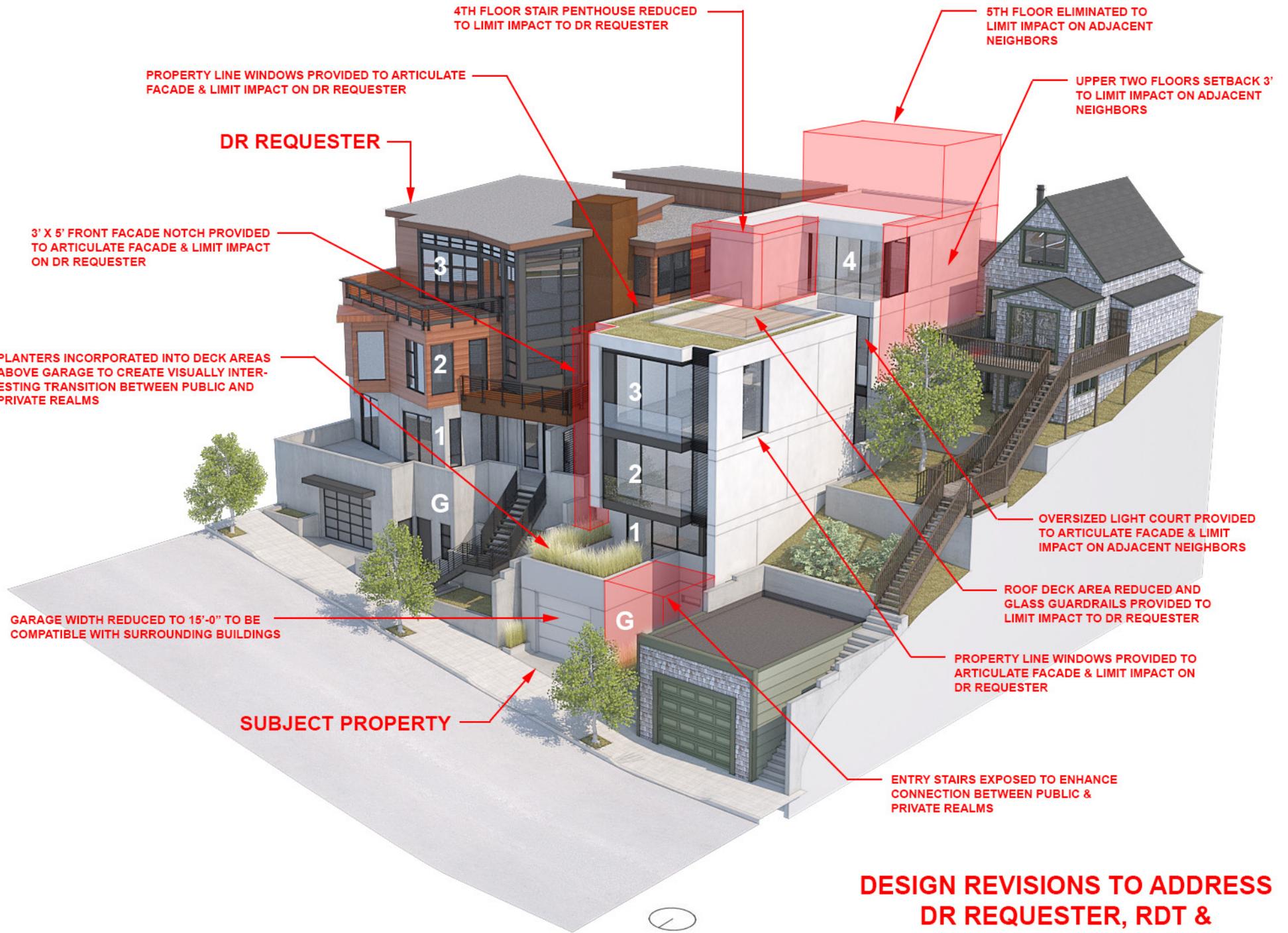


EXHIBIT D.1

**DESIGN REVISIONS TO ADDRESS
DR REQUESTER, RDT &
ADJACENT NEIGHBORS**



EXHIBIT D.2

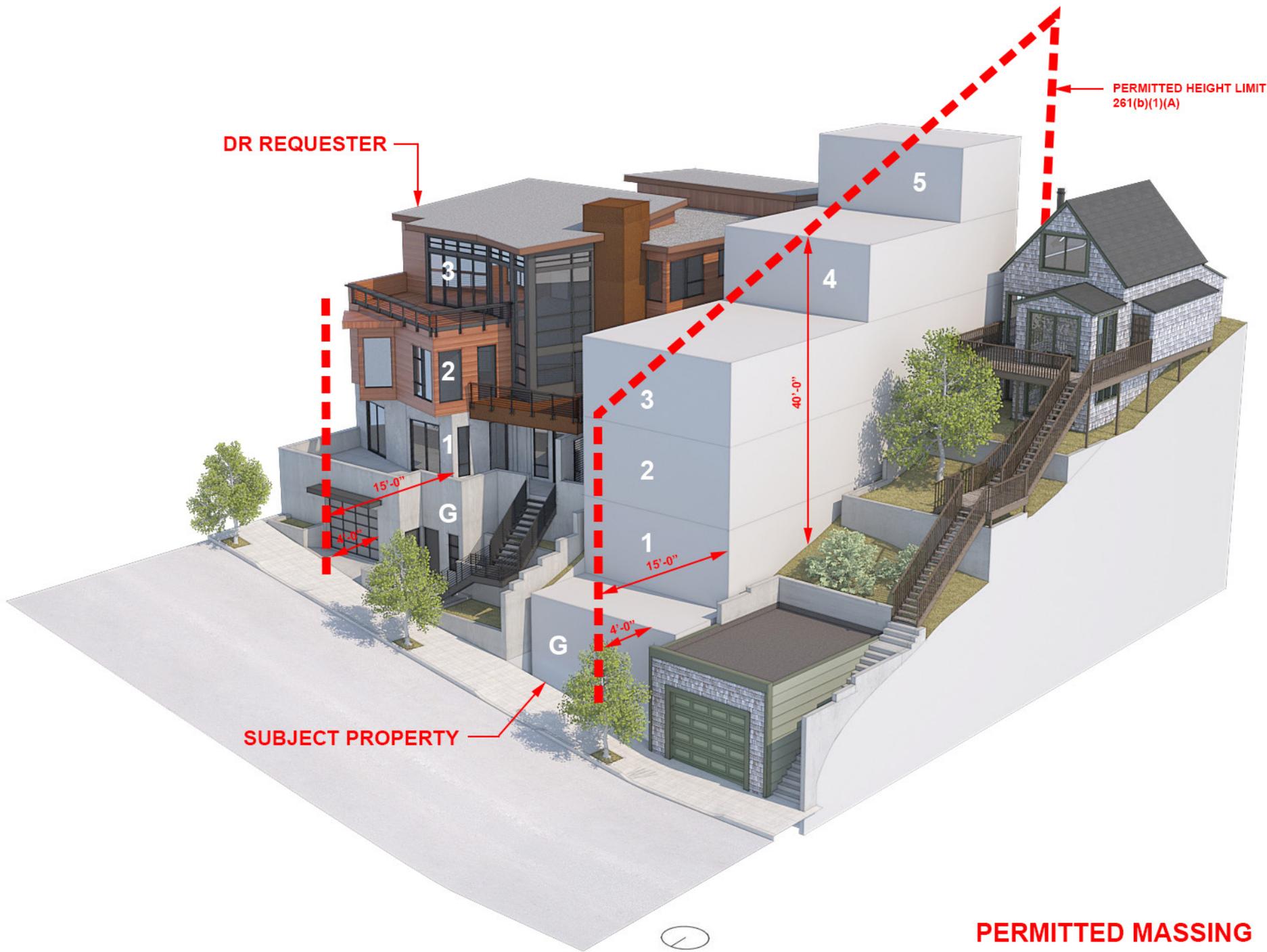


EXHIBIT D.3



EXHIBIT D.4



EXHIBIT E.1 - NEIGHBORHOOD CONTEXT





View looking West down Duncan Street

EXHIBIT E.2 - NEIGHBORHOOD CONTEXT

DR REQUESTER

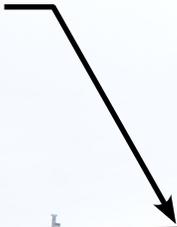
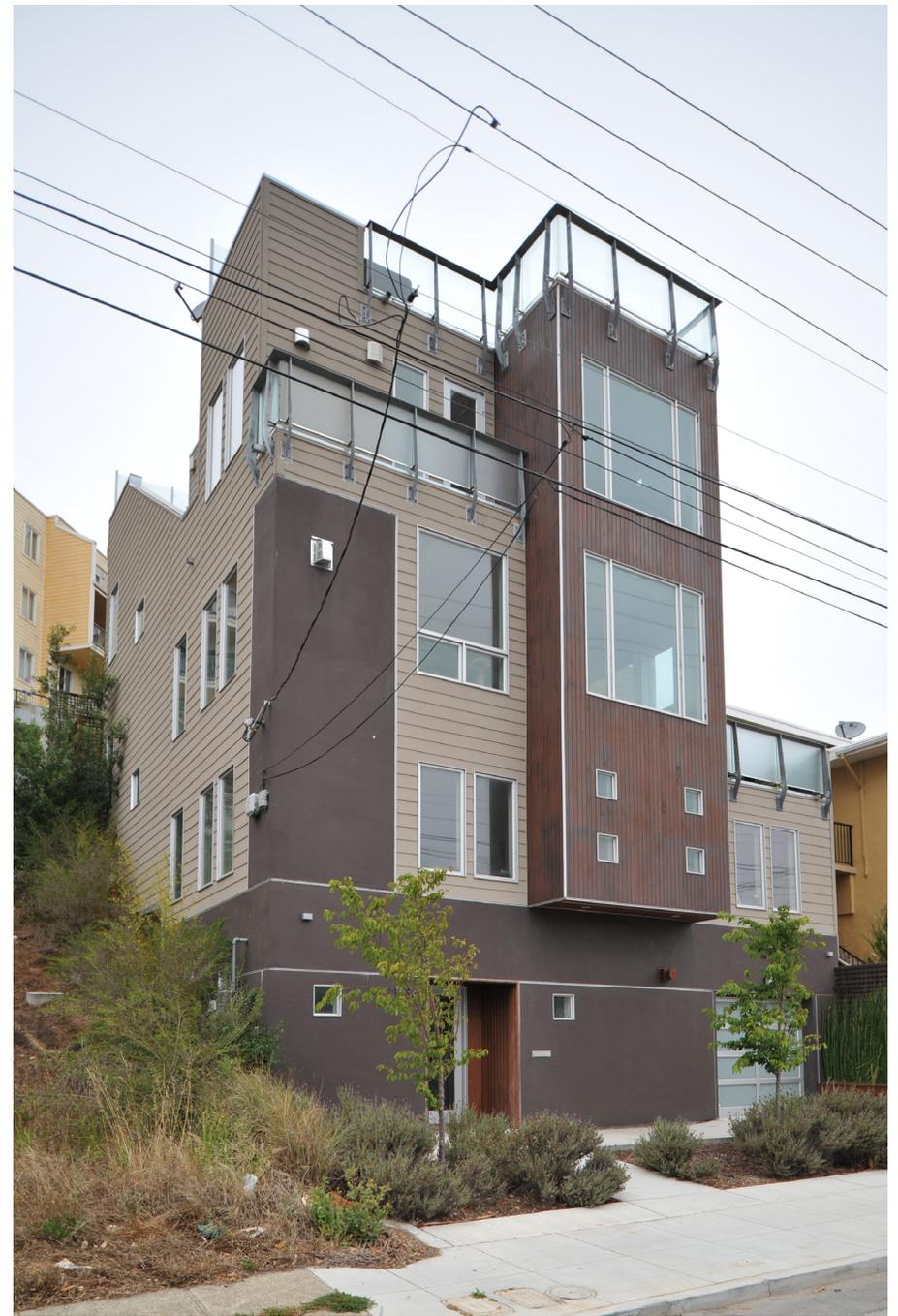


EXHIBIT E.3 - NEIGHBORHOOD CONTEXT



553 Duncan Street



1636 Diamond Street

EXHIBIT E.4 - NEIGHBORHOOD CONTEXT



601 Duncan Street

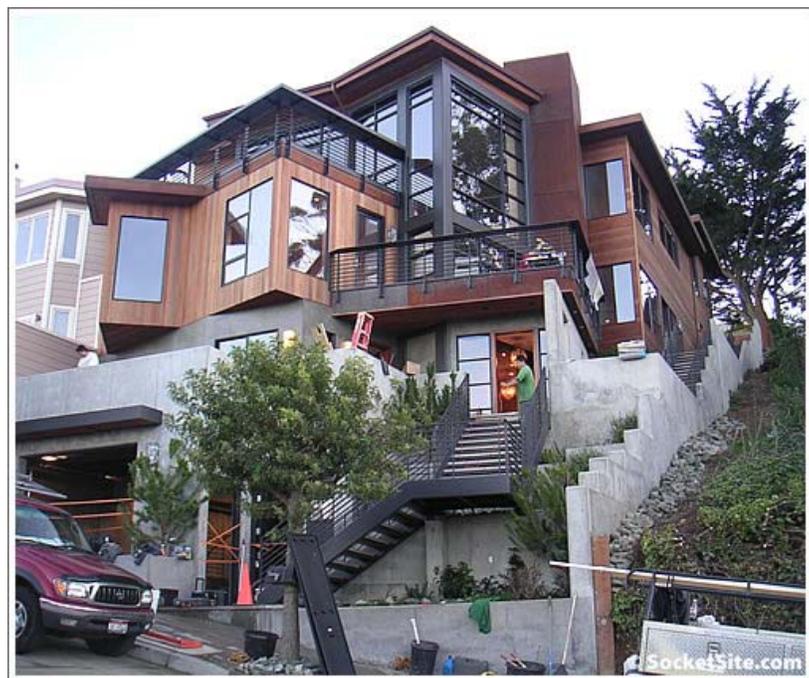


653 Duncan Street

EXHIBIT E.5 - NEIGHBORHOOD CONTEXT

November 14, 2008

The Spec-tacular 625 Duncan Sells For \$5,818,000 In Noe Valley



While the workers are still finishing up, the sale of [the spec-tacular 625 Duncan](#) closed escrow last Friday (11/7/08) with a reported contract price of \$5,818,000 (\$432,000 under asking).

Modern and masterful, 625 Duncan has been brilliantly executed to capture an enormous amount of space in an aesthetically pleasing and functional manner. A steel [cantilevered] entry staircase ascends through terraced [concrete] walls and gardens to the 4bd/4.5ba main house and 1bd/1ba apt below.

And as it's not a single family, [the record seeking 3816 22nd Street](#) still has a shot. We'll keep you posted. And of course, plugged-in.

UPDATE: The current record holding house: [Ogrydziak/Prillinger Architects: The T House](#) (purchased for \$5.3M in 2005). And yes, just down the street.

- [Coming Soon: A Noe Valley "Masterpiece In Progress" \(625 Duncan\)](#) [SocketSite]
- [The Holy Hotness Of Firehouse 44 \(3816 22nd Street\) Hits The Market](#) [SocketSite]

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First Published: November 14, 2008 9:15 AM

Comments from "Plugged In" Readers

Ahh ... to have more money than brains

Posted by: DataDude at November 14, 2008 9:36 AM

Not for long!

Posted by: tipster at November 14, 2008 10:04 AM

Crap-tacular is more like it.

It looks like one of those tacky lodge-style houses you see in Tahoe.

Posted by: anon at November 14, 2008 10:06 AM

Wow. Nice to be so rich you don't care about the economy... spend spend spend!!

I'm gonna go buy a lottery ticket now.



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- [Potrero Development Redesign And Ready For Commission Vote](#)

Posted by: Jimmy (Bitter Renter) at November 14, 2008 10:07 AM

Crimey, that's an ugly bloated building. I think with the modesty that will come from hard times, that house will look repulsive.

Posted by: lark at November 14, 2008 10:07 AM

I boldly predict that \$5.818M will be the high sales price in Noe Valley for the next 15 years.

This purchase is what is often referred to as "top ticking" a market.

Still, though, if they like living there and have the money, why not? It's only money, and maybe they have so much of it that they couldn't think of anything better to do with it.

Posted by: Laughing Millionaire Renter in Marin at November 14, 2008 10:08 AM

a few things:

it's surprising how close the artist rendering looks to this picture. Socketsite: did you go out and try to perfectly match your picture to the rendering? well done!

and as I said when we first saw this place a few months ago: I'm honestly shocked that this house sold for so much. Luckily, I'm usually pretty cognizant about how out-of-touch I am with San Francisco RE pricing! (except for the St. Regis Penthouse, that is!)

this home definitely looks better than I thought it would. I'm still not sure that I like it, but overall they look like they did a good job. I hope they put in an elevator though.

lastly: clearly one of these days I'm going to have to agree that Noe is a premier neighborhood... it's just so hard because Noe is so... Noe... but \$6M don't lie!

Posted by: ex SF-er at November 14, 2008 10:22 AM

this one is hard to believe. that with 6 mil you would buy this house, now.

is it certain that is really closed??

Posted by: Louis at November 14, 2008 11:10 AM

this is not the real noe valley

Posted by: jessep at November 14, 2008 11:24 AM

I would be concerned about the vacant lot next door. Who knows what kind of monstrosity could appear there in the next year or so.

Posted by: sf_housedude at November 14, 2008 11:41 AM

It may be interesting to see if this "sale" was so the developer could payoff the (probably recourse) construction loan and get a (non recourse) permanent loan. In Bakersfield a developer got caught paying people cash to buy/overpay for the last of his homes so he would not be stuck with them...

Posted by: PresidioHtsRenter at November 14, 2008 11:53 AM

Ok, question for folks on this thread: what do you think this type of house (size of house, size of the lot, great views, new construction, probably not-too-far-from-work) would go for in say Pac Heights or Russian Hill?

I'm definitely not suggesting NV is on par with those places, but just curious as this area of NV is sorta now showing up as the 'prime' of NV due to this sale and another one (awhile back the current record NV sale was nearby to a googler, I think).

My guess is if this same type of house was in Pac Heights with good views like it has / same size / and brand new construction (a big point because if you are paying this much you want exactly what you desire, not a 80yr old kitchen that you have to re-do), it would go for about \$7-\$8M or maybe more.

I'd say it'd go for \$7.5M in PacHeights, and thus, maybe this isn't that unbelievable.

[**Editor's Note:** The aforementioned Noe Valley record holding house: [Ogrydziak/Prillinger Architects: The T House](#). Purchased for \$5.3M in 2005. And yes, just down the street.]

Posted by: DanRH at November 14, 2008 12:10 PM

Hard to judge the price without interior photos and the floor plan. Would love to see them if they're available somewhere.

[**Editor's Note:** Agreed. Tipsters?]

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[October 2012](#)

[September 2012](#)

[August 2012](#)

[July 2012](#)

[June 2012](#)

[May 2012](#)

[April 2012](#)

[March 2012](#)

[February 2012](#)

[January 2012](#)

[December 2011](#)

[November 2011](#)

[October 2011](#)

[September 2011](#)

[August 2011](#)

[July 2011](#)

[June 2011](#)

[May 2011](#)

[April 2011](#)

[March 2011](#)

[February 2011](#)

[January 2011](#)

[December 2010](#)

[November 2010](#)

[October 2010](#)

[September 2010](#)

[August 2010](#)

[July 2010](#)

[June 2010](#)

[May 2010](#)

[April 2010](#)

[March 2010](#)

[February 2010](#)

[January 2010](#)

[December 2009](#)

[November 2009](#)

[October 2009](#)

[September 2009](#)

[August 2009](#)

[July 2009](#)

[June 2009](#)

[May 2009](#)

[April 2009](#)

[March 2009](#)

[February 2009](#)

[January 2009](#)

[December 2008](#)

Posted by: Dakota at November 14, 2008 12:35 PM

I actually like its cubist look.

Architects out there : is "cubist" the proper term for this sort of design ?

Posted by: The Milkshake of Despair at November 14, 2008 1:58 PM

Someone bought their dream house and for 5 mil, you can bet its probably pretty nice on the inside. If you want a this kind of product, you have to pick this up now because you probably won't see another for another 3 to 4 years.

Posted by: Auden at November 14, 2008 2:12 PM

Wait a minute. I thought GOOG was at 310! How is this possible?

Posted by: [flu] at November 14, 2008 2:29 PM

no, I wouldn't call this cubist. that refers more to a style of painting. It's an eclectic-modern house for sure.

This is Noe Valley, that's for sure..the more hilly part but nonetheless NV..

I live near by and very happy with the design..and the sales price.

after all...this is Noe.

Posted by: noearch at November 14, 2008 2:33 PM

Prague has some cubist architecture. It is not terribly dissimilar to this place, but this would be cubist-lite. The "white guy with bad posture" ornament out front is definitely "Noe."

Posted by: Trip at November 14, 2008 2:39 PM

I talked to the GC at the site 2 months ago. The couple (who purchased the shell) did in fact have more \$\$ then sense and over paid for stupid not even custom finishes (floors cabinetry plumb etc)from the design center and paid FULL RETAIL---this project has given the gc HEADACHES from the neighbors (look at the complaints at sfgov) and the profit for the gc/developer duo is probably not a lot. Nice house on a lot that is too small in the wrong NIMBY neighborhood- not a lot of love for the new neighbors I bet

Posted by: talk to contractor @ site at November 14, 2008 3:26 PM

A co-worker of mine just closed today on the same street on a newly-remodeled 3 brm 2 bath for \$1.1. I wonder how that comp in conjunction with this sale will affect the neighboring sales.

Posted by: massena at November 14, 2008 3:46 PM

Where is the T House in Noe?

Posted by: anon at November 14, 2008 5:10 PM

Someone in Noe is always going to complain about any construction site. Why the heck is that? Is every district like this, or are Noe neighbors worst than most.

Posted by: anonanon at November 14, 2008 8:24 PM

I actually was thinking architecture, not painting. To me cubism in general is the disassembly of an actual tangible form and reassembly into that same form as perceived through an aggregated experience : over time or at different angles for example for visual media like paintings or building facades. The concept has little to do with the geometric solid "cube" but more to do with mapping perceived experience to a form.

Cubism in 3-D sculptural space is really hard to pull off. There seems to be an inherent conflict. The Czech movement feels like it was inspired but stumbled. Some buildings even have sort of a New York Deco look to them. It would be easier to perform a cubist dance than construct a true cubist building.

Some sites with photos Czech cubist architecture :

<http://lava.ds.arch.tue.nl/gallery/praha/tcubism.html>

http://www.e-architect.co.uk/prague/prague_cubist_architecture.htm

I'm still a bit mystified by cubist architecture. Any help here gladly appreciated !

Posted by: The Milkshake of Despair at November 14, 2008 9:47 PM



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[August 2008](#)

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[June 2008](#)

[May 2008](#)

[April 2008](#)

[March 2008](#)

[February 2008](#)

[January 2008](#)

[December 2007](#)

[November 2007](#)

[October 2007](#)

[September 2007](#)

[August 2007](#)

[July 2007](#)

[June 2007](#)

[May 2007](#)

[April 2007](#)

[March 2007](#)

[February 2007](#)

[January 2007](#)

[December 2006](#)

[November 2006](#)

[October 2006](#)

[September 2006](#)

[August 2006](#)

[July 2006](#)

[June 2006](#)

[May 2006](#)

[April 2006](#)

[March 2006](#)

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[January 2006](#)

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[November 2005](#)

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Here's a picture of a woman coming down the "cubist" stairway.

<http://www.beatmuseum.org/duchamp/images/nude2.jpg>

Posted by: jlasf at November 15, 2008 4:29 AM

no, I wouldn't call this cubist. that refers more to a style of painting.

I didn't know about cubist architecture either. I knew there was cubist sculpture, of course. This one is a very famous Picasso: <http://www.cartage.org.lb/en/themes/arts/sculptureplastic/SculptureHistory/European20thCentury/CubistsculpturePicasso/PicassoHead/PicassoHead.htm>

The pictures inside those links Czech buildings are very beautiful. The style is very sort of imperial, isn't it? Very Eastern Europe, and fitting.

Posted by: fluj at November 15, 2008 8:52 AM

Ah yes, Duchamp : the original one hit wonder of cubism (of course he had many more significant hits in Dada and other forms). Interesting how so many artists of the period dabbled in cubism and abandoned it like a fad. Only a few like Picasso really stuck with it.

I found this interesting paper from Vancouver Island U. on cubist architecture : <http://records.viu.ca/~johnstoi/praguepage/cubismlecture.htm>

The author strives to answer exactly this question. In summary, the Czech architectural meaning of "cubism" seems to be almost completely unrelated to the western European concept.

Posted by: The Milkshake of Despair at November 15, 2008 9:17 AM

does it have an elevator? so, now we know where the market is for the spectacular-spectacular

Posted by: suzyq at November 16, 2008 2:30 PM

This house was bought by Bruce Gilpin Jr., COO of MobITV, a TV and radio service for mobile phones.

Posted by: JKD at December 18, 2008 10:43 AM

JKD: But how does he get to work in Emeryville on muni ? :)

Posted by: dub dub at December 18, 2008 10:52 AM

Have you always been such an anti-transit guy dub dub? How did you get around when you lived in Noe Valley?

Posted by: NoeValleyJim at December 18, 2008 11:54 AM

I realize the comment was made in jest, but just for the record, there's a free shuttle in Emeryville that takes shoppers/workers/residents to and from BART to the business areas, and there is also an express bus to/from the City that stops right in front of MobITV.

Posted by: RenterAgain at December 18, 2008 12:09 PM

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Name:

(required - **will** be published)

Email Address:

(required - **will not** be published, sold, or shared)

URL:

(optional - your "Posted by" name will link to this URL)

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Your Comment: (you may use HTML tags for style)

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Peter Naughton
630 Taraval Street
San Francisco, CA 94116

15th July, 2013

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 645 Duncan

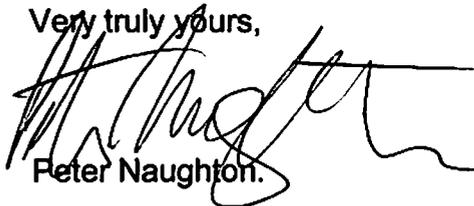
Dear President Fong and Planning Commissioners:

I am the owner of the property at 647 Duncan Street, located to the West of the single family home proposed to be built at 645 Duncan by Mr. Andrew Greene.

I have met with Mr. Greene and his architect, Robert Edmonds, and have reviewed the project and I am very much in support of the proposed home. The design is excellent and the proposed structure will be set back significantly from my property line which I greatly appreciate. I also understand that the proposal meets all City codes and guidelines.

I ask that you approve this project at your hearing on August 8th.

Very truly yours,



Peter Naughton.

647 Duncan Street
San Francisco, CA 94131

15th July, 2013

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 645 Duncan

Dear Mr. Fong and Planning Commission:

I live at 647 Duncan Street, directly adjacent to the West of the single family home proposed for 645 Duncan. I have spoken with Mr. Andrew Greene of 645 Duncan regarding his project and I am in favor of the project and its design and I appreciate that the building will be set back from the property that I occupy.

I fully support the project as proposed and I hope that you will approve it at your hearing on August 8th 2013.

Sincerely,

A handwritten signature in black ink, appearing to read "K. Flynn". The signature is written in a cursive, flowing style.

Kevin Flynn.



PROJECT DIRECTORY:

CLIENT / CONTRACTOR:
 LINEA BUILT, INC.
 CONTACT: ANDREW GREENE
 2595 MISSION STREET
 SAN FRANCISCO, CA 94110
 T: (415)-647-1805
 F: (415) 647-1810

ARCHITECT:
 EDMONDS + LEE ARCHITECTS
 CONTACT: ROBERT EDMONDS
 2601 MISSION STREET, 400A
 SAN FRANCISCO, CA 94110
 T (415) 285-1300
 F (866) 240-3220

STRUCTURAL ENGINEER:
 DOLMEN STRUCTURAL ENG.
 CONTACT: DIARMIUD MACNEILL
 2595 MISSION ST. SUITE 200
 SAN FRANCISCO, CA 94110
 T (415) 409-9200
 F (415) 409-9206

PROJECT INFORMATION:

ADDRESS: 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131

LOT: 039

BLOCK: 6604

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO ADMENDMENTS
 2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO ADMENDMENTS
 2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO ADMENDMENTS
 2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO ADMENDMENTS

2010 SAN FRANCISCO HOUSING CODE
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SHEET INDEX:

A0.00 COVER SHEET
 SITE SURVEY

A0.10 PROJECT ZONING AND DATA CALCULATIONS
 A0.11 PROJECT GRADING CALCULATIONS
 A0.12 FLOOR AREA CALCULATIONS

A0.13 EXISTING SITE PHOTOS
 A.014 COMPUTER RENDERINGS

A1.00 FLOOR PLANS
 A1.01 FLOOR PLANS
 A1.02 FLOOR PLANS

A2.00 EXTERIOR ELEVATIONS
 A2.01 EXTERIOR ELEVATIONS
 A2.02 EXTERIOR ELEVATIONS
 A2.03 EXTERIOR ELEVATIONS

A3.00 BUILDING SECTIONS
 A3.01 BUILDING SECTIONS
 A3.02 BUILDING SECTIONS

BUILDING LIMITATIONS:

OCCUPANCY: R-3
 CONSTRUCTION: TYPE V
 FIRE SPRINKLERS: YES
 MAXIMUM HEIGHT: 4 STORIES*
 MAXIMUM AREA: UNLIMITED PER STORY

INFORMATION BASED ON CBC TABLE 503
 * ALLOWABLE HEIGHT INCREASE PER CBC 504.2 WHICH STATES THAT
 "WHERE A BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC
 SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, THE VALUE
 SPECIFIED IN TABLE 503 FOR MAXIMUM HEIGHT IS INCREASED BY 20 FEET
 AND THE MAXIMUM NUMBER OF STORIES IS INCREASED BY ONE.

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS FOR NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.

WORK CONSISTS OF THE FOLLOWING:

EARTHWORK:
 1. REMOVAL OF SOILS FROM SITE FOR (NEW) GARAGE
 2. FILL OF PORTION OF REAR LOT FOR (NEW) BACKYARD

ARCHITECTURE INTERIOR:
 1. (NEW) CONSTRUCTION OF ALL INTERIORS INCLUDING BEDROOMS, KITCHEN, BATHROOMS, LIVING AREAS, AND UTILITY AREAS.

ARCHITECTURE EXTERIOR:
 1. (NEW) OF EXTERIOR FOUNDATION, CLADDING, FENESTRATION, AND ROOF.

STRUCTURAL:
 1. (NEW) IN-SITU CONCRETE FOUNDATION WITH (NEW) STRUCTURAL STEEL FRAME.

MECHANICAL, ELECTRICAL & PLUMBING:
 1. (NEW) MEP FIXTURES AND EQUIPMENT THROUGHOUT STRUCTURE.
 2. (NEW) VERTICAL CONVEYANCE SYSTEM, PRIVATE ELEVATOR.



DUNCAN RESIDENCE

645 DUNCAN STREET, SAN FRANCISCO, CA 94131

ISSUED FOR SITE PERMIT / REVISION 3 - OCTOBER 30, 2012

EXHIBIT H.1

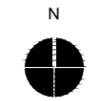


PROJECT:
 DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
 COVER SHEET

SCALE:	AS NOTED
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

01 VICINITY MAP
 SCALE: N.T.S.

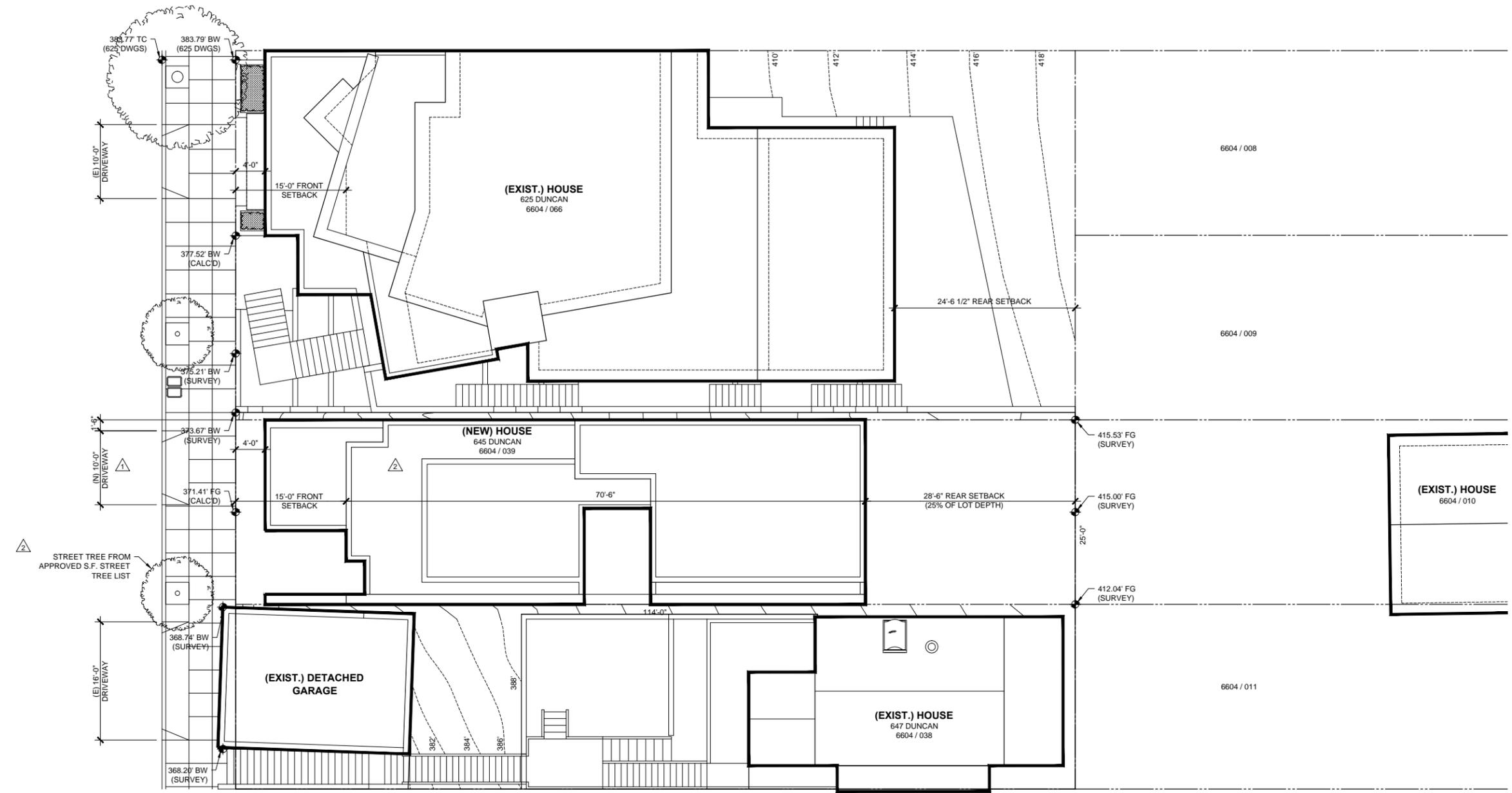


A0.00

NO:	DATE:	SUBMISSION:
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645 DUNCAN STREET



02 SITE PLAN
 SCALE: 1/8" = 1'-0"

LOT 039 ZONING CALCULATIONS		REQUIRED	PROPOSED
MAXIMUM DWELLING UNIT DENSITY PER SF PLANNING CODE (§209.1)	ONE DWELLING UNIT PER LOT; UP TO ONE UNIT PER 3000 SQFT. OF LOT AREA (MAXIMUM OF 3 UNITS) WITH CONDITIONAL USE APPROVAL.	1 UNIT (3 CONDITIONAL)	1 UNIT
OTHER PRINCIPAL USES PER SF PLANNING CODE (§209-209.9)	RESIDENTIAL CARE FACILITY FOR 6 OR FEWER; CHILD CARE FACILITY FOR 12 OR FEWER; OPEN SPACE FOR HORTICULTURE OR PASSIVE RECREATION; PUBLIC STRUCTURE OR USED OF NON-INDUSTRIAL CHARACTER; SALE OR LEASE SIGN.	(SEE NOTE)	SINGLE FAMILY RESIDENCE
MINIMUM LOT SIZE PER SF PLANNING CODE (§121)	LOT SIZE LOT WIDTH LOT FRONTAGE	2,500 SF MIN. 25'-0" MIN. 16'-0" MIN.	2,848 SF 25'-0" AVERAGE 24'-9" AVERAGE
FRONT YARD SETBACK PER SF PLANNING CODE (§132)	BASED UPON AVERAGE OF ADJACENT BUILDINGS; UP TO 15 FT. OR 15% OF LOT DEPTH	15'-0"	15'-0"
SIDE YARD SETBACK PER SF PLANNING CODE (§133)	IF THE LOT IS UNDER 28'-0" IN WIDTH, THEN NO SIDE YARD IS REQUIRED	NONE	NONE
REAR YARD SETBACK PER SF PLANNING CODE (§134)	25% OF LOT DEPTH, BUT NO LESS THAN 15 FT.	28'-6"	28'-6"
BASIC FLOOR AREA RATIO PER SF PLANNING CODE (§124)	1.8 TO 1 TIMES THE LOT AREA (§124 b: IN R, NC, AND MIXED USE DISTRICTS. THE STATED FLOOR AREA RATIO LIMITS SHALL NOT APPLY TO DWELLINGS OR TO OTHER RESIDENTIAL USES.)	N/A	1.27
USABLE OPEN SPACE PER SF PLANNING CODE (§135)	300 SQFT. PER UNIT IF ALL PRIVATE; COMMON SPACE SUBSTITUTED MUST BY 1/3 GREATER	300 SQFT	1,244 SQFT
MAXIMUM HEIGHT (AT FRONTAGE) PER SF PLANNING CODE (§261)	USING DISTRICT HEIGHT LIMIT - 35 FT; 30 FT AT FRONT OF PROPERTY. 40'-0" AT FRONT OF PROPERTY IF PROPERTY SLOPES MORE THAN 20 FT UP FROM PROPERTY LINE AT STREET	40'-0"	BLDG. < 40'-0"
OFF-STREET PARKING PER SF PLANNING CODE (§151)	1 OFF-STREET SPACE FOR EACH SINGLE-FAMILY DWELLING UNIT	1 SPACE	4 SPACES

01 SAN FRANCISCO PLANNING CODE STANDARDS FOR THE RH-1 ZONE
 SCALE: N.T.S.



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

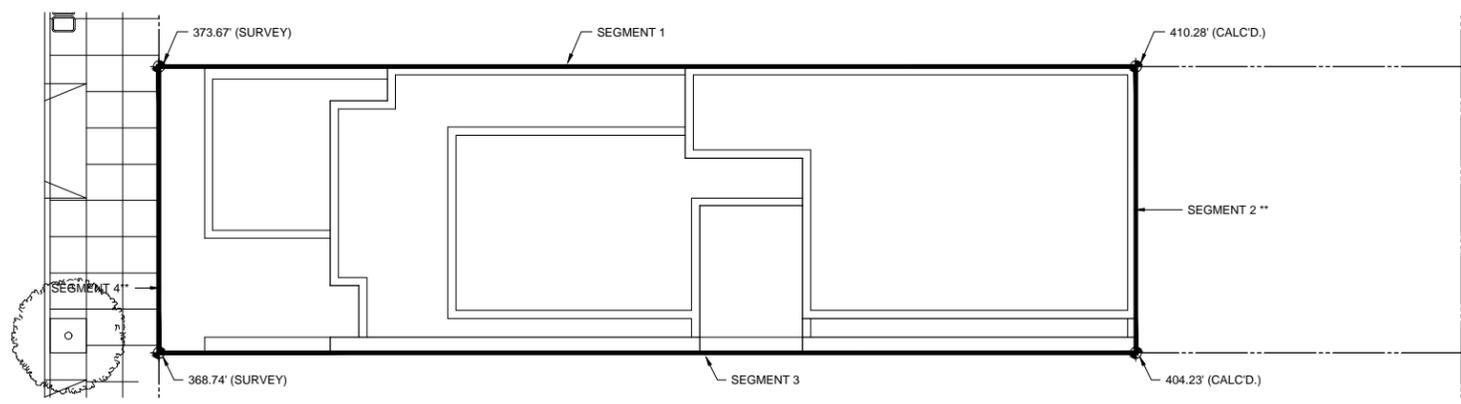
DRAWING:
SITE PLAN

SCALE:	1/8" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

A0.10

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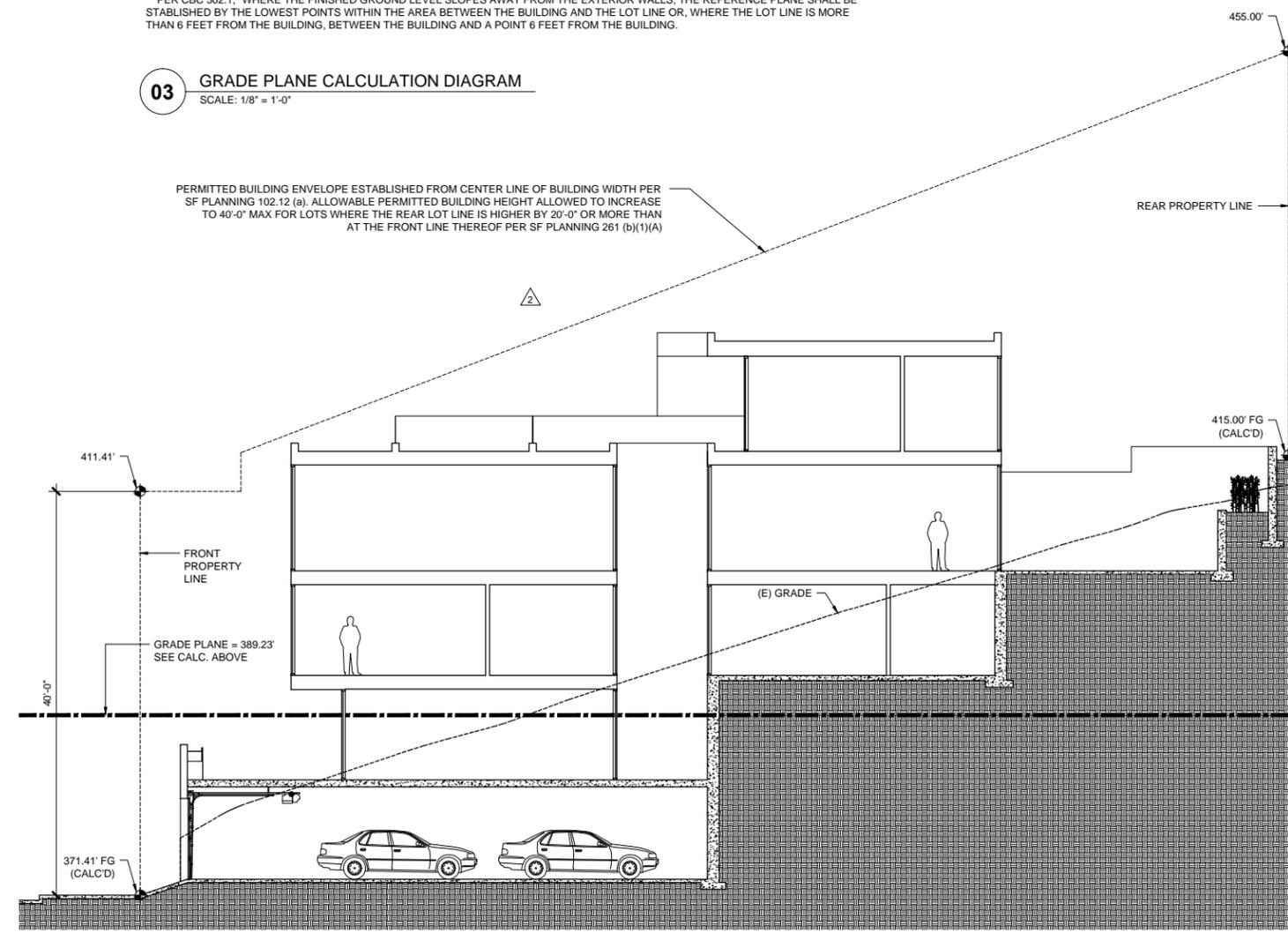
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SEGMENT	START HEIGHT	END HEIGHT	DIFFERENCE	AVG. HEIGHT	SEG. LENGTH	WEIGHTED SEG. AVG.*
1	410.28'	373.67'	36.61'	391.98'	114'	44,685.15
2	410.28'	404.23'	6.05'	407.26'	25'	10,181.38
3	404.23'	368.74'	35.49'	386.49'	114'	44,059.29
4	373.67'	368.74'	4.93'	371.21'	25'	9,280.13
SUBTOTAL					278'	108,205.94'
WEIGHTED AVERAGE GRADE PLANE HEIGHT (TOTAL WEIGHTED SEG. AVG. / TOTAL SEG. LENGTH)						389.23'

* WEIGHTED SEG. AVG. = AVG. HT. * SEG. LENGTH
 ** PER CBC 502.1, "WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINTS WITHIN THE AREA BETWEEN THE BUILDING AND THE LOT LINE OR, WHERE THE LOT LINE IS MORE THAN 6 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING."

03 GRADE PLANE CALCULATION DIAGRAM
 SCALE: 1/8" = 1'-0"



01 BUILDING HEIGHT DIAGRAM
 SCALE: 1/8" = 1'-0"



02 DUNCAN STREET EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

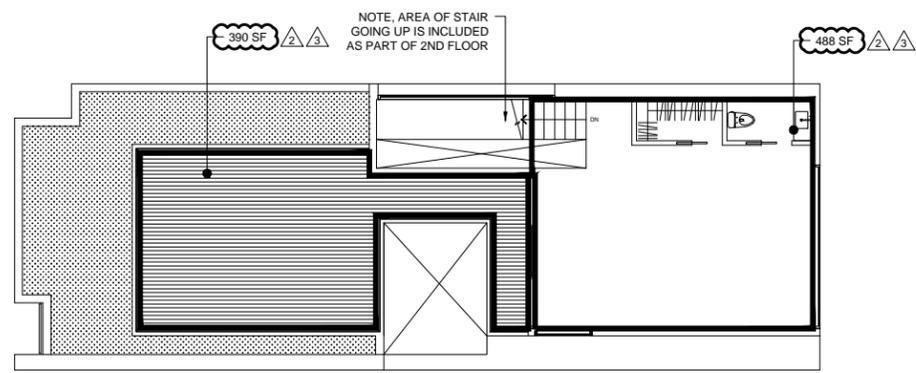
DRAWING:
BUILDING HEIGHT DIAGRAMS

SCALE:	1/8" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

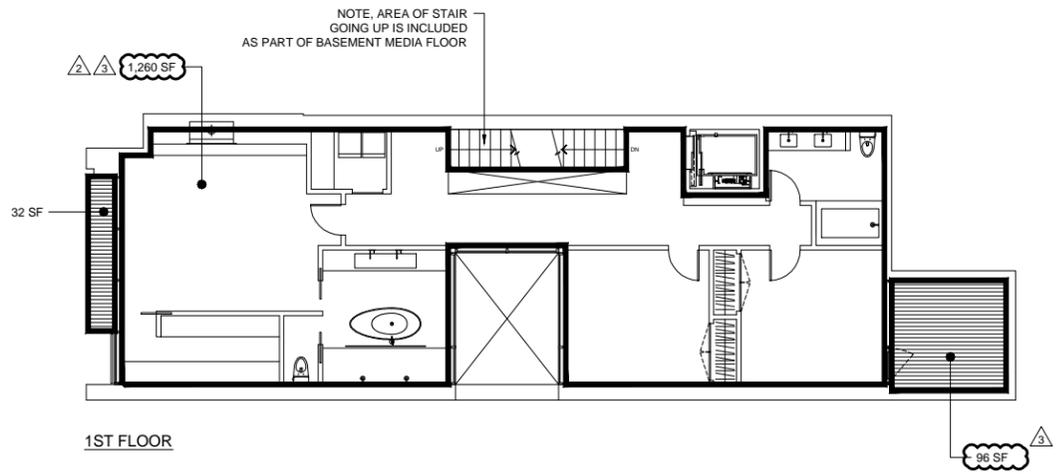
A0.11

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

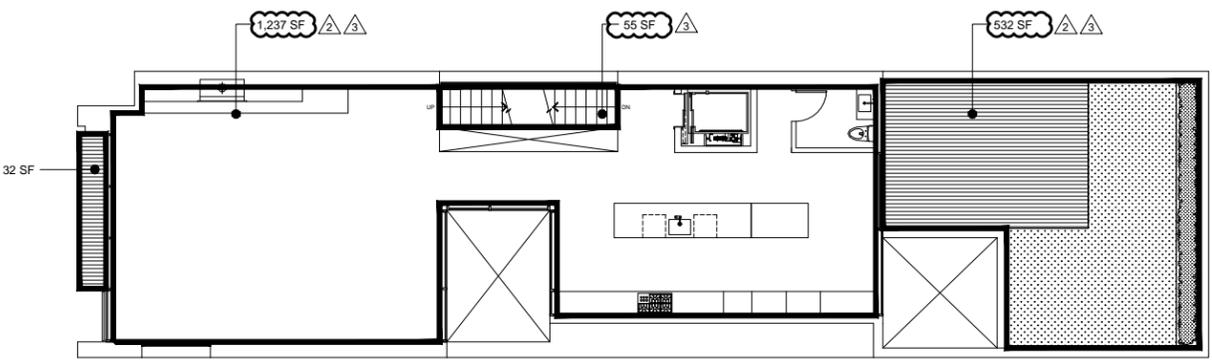
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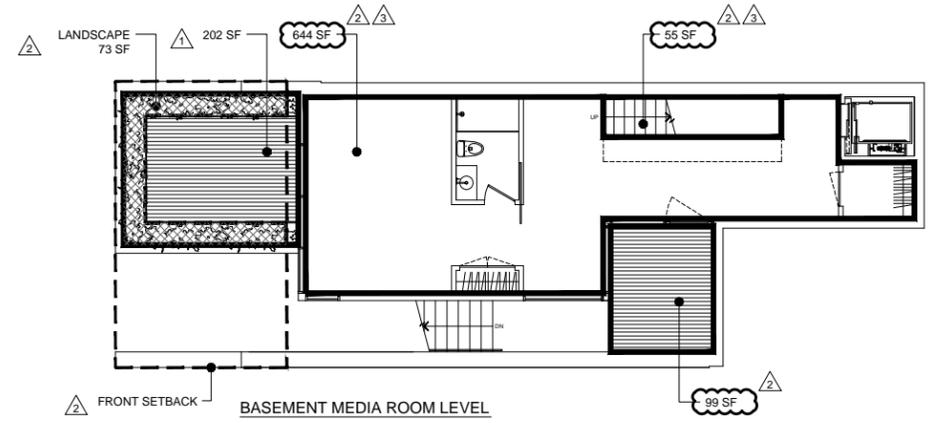
3RD FLOOR



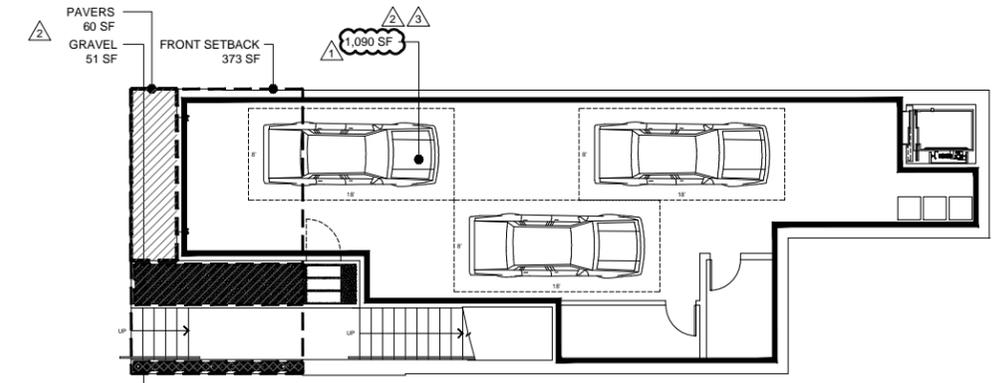
1ST FLOOR



2ND FLOOR



BASEMENT MEDIA ROOM LEVEL



BASEMENT GARAGE LEVEL

OCCUPIABLE		
LEVEL	FLOOR AREA	DECK AREA
BASEMENT MEDIA RM LEVEL	699	301
1ST FLOOR	1,260	96
2ND FLOOR	1,292	532
3RD FLOOR	488	390
TOTAL	3,730 SF	1,319 SF

NON-OCCUPIABLE		
LEVEL	FLOOR AREA	DECK AREA
BASEMENT GARAGE LEVEL	1,090	0
TOTAL	1,090	0

FRONT SET BACK CALCS		
LEVEL	LANDSCAPED	PERMEABILITY
BASEMENT GARAGE LEVEL	11 SF (3%)	122 SF (33%)
BASEMENT MEDIA RM LEVEL	73 SF (20%)	73 SF (20%)
TOTAL (373 SF)	84 SF (23%)	195 SF (53%)



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
FLOOR AREA CALCULATIONS

SCALE:	1/8" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

A0.12

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT 
02	02.16.12	SITE PERMIT 
03	08.16.12	SITE PERMIT 
04	10.30.12	SITE PERMIT 

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05 EXISTING SITE PHOTO
SCALE: N.T.S.



04 EXISTING SITE PHOTO
SCALE: N.T.S.



03 EXISTING SITE PHOTO
SCALE: N.T.S.

EXHIBIT H.6



02 EXISTING SITE PHOTO
SCALE: N.T.S.



01 VICINITY MAP
SCALE: N.T.S.



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
**EXISTING SITE
PHOTOS**

SCALE:	AS NOTED
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	



A0.13



NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT 
02	02.16.12	SITE PERMIT 
03	08.16.12	SITE PERMIT 
04	10.30.12	SITE PERMIT 

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PROJECT:
DUNCAN RESIDENCE
645 DUNCAN STREET
SAN FRANCISCO, CA 94131
BLOCK 6604, LOT 039

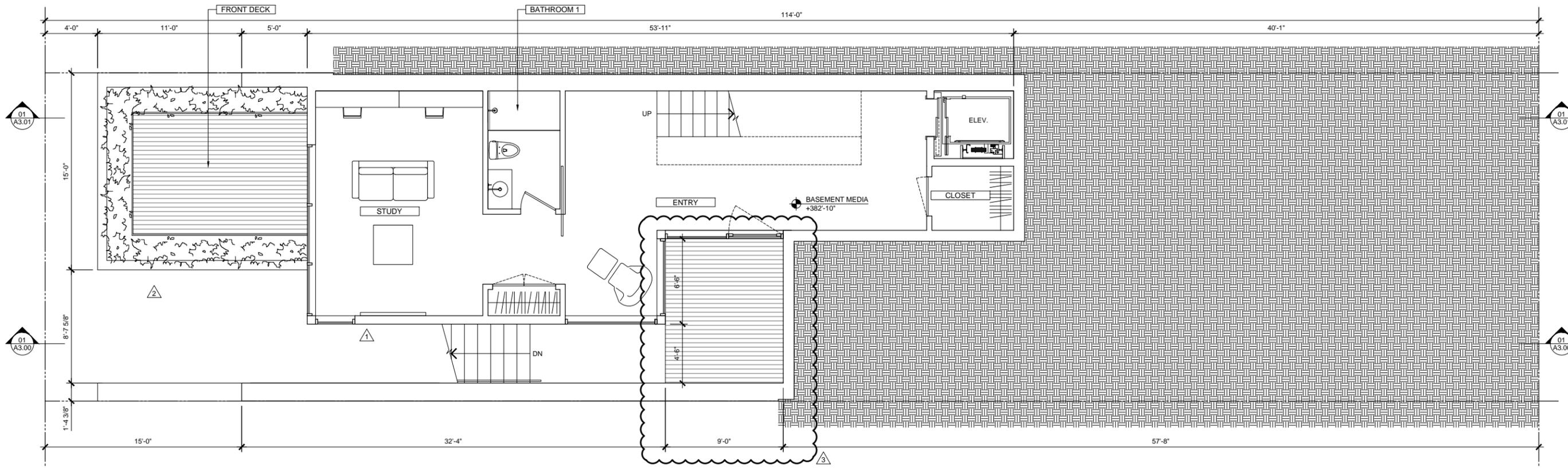
DRAWING:
**COMPUTER
RENDERINGS**

SCALE:	NONE
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

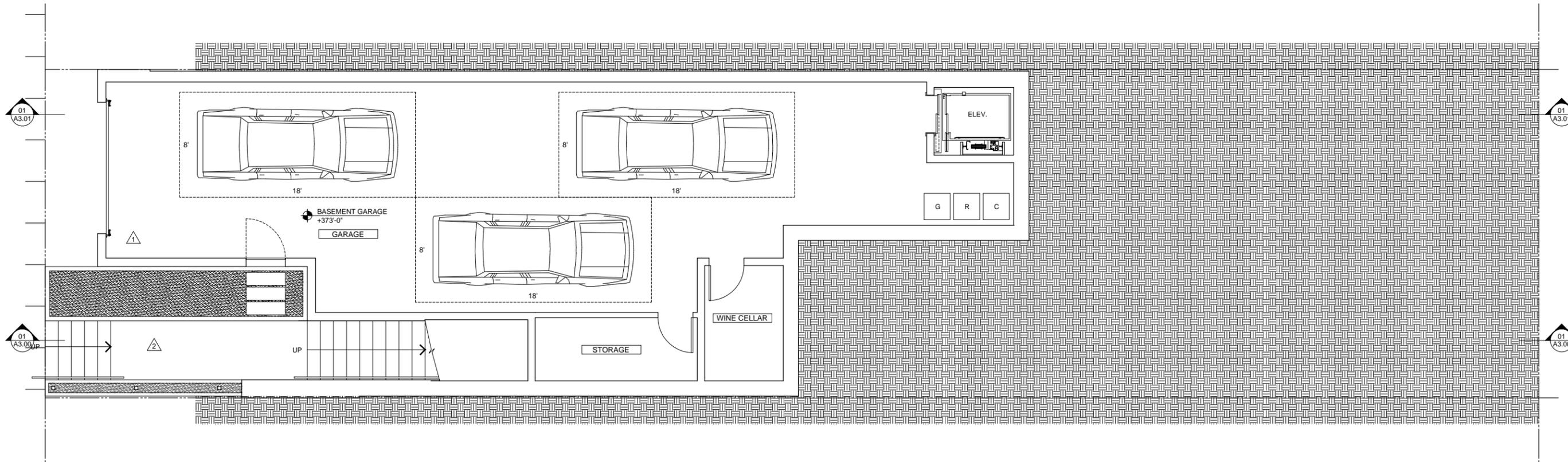
A0.14 

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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02 BASEMENT MEDIA FLOOR PLAN
 SCALE: 1/4" = 1'-0"



01 BASEMENT GARGE FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

FLOOR PLANS

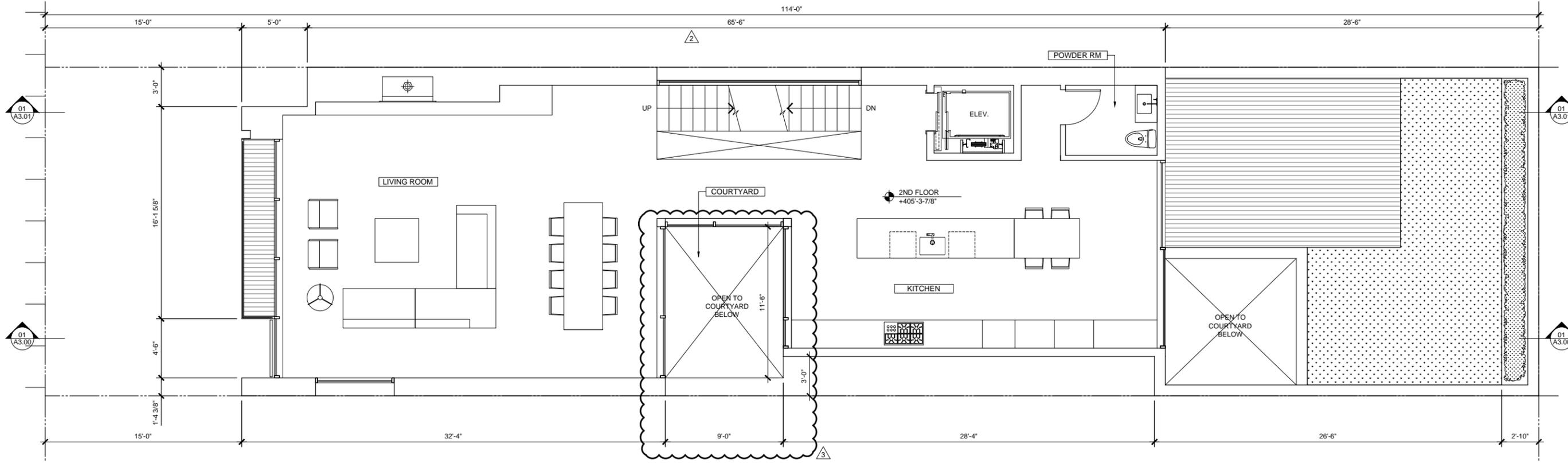
SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	



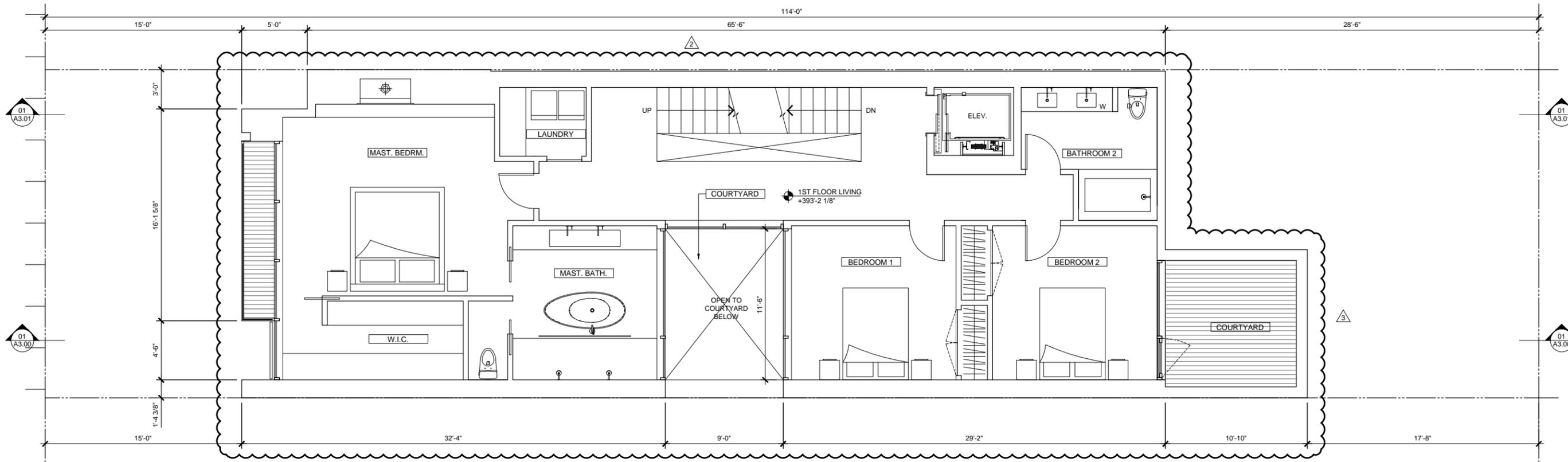
A1.00

NO.	DATE	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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02 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



01 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

FLOOR PLANS

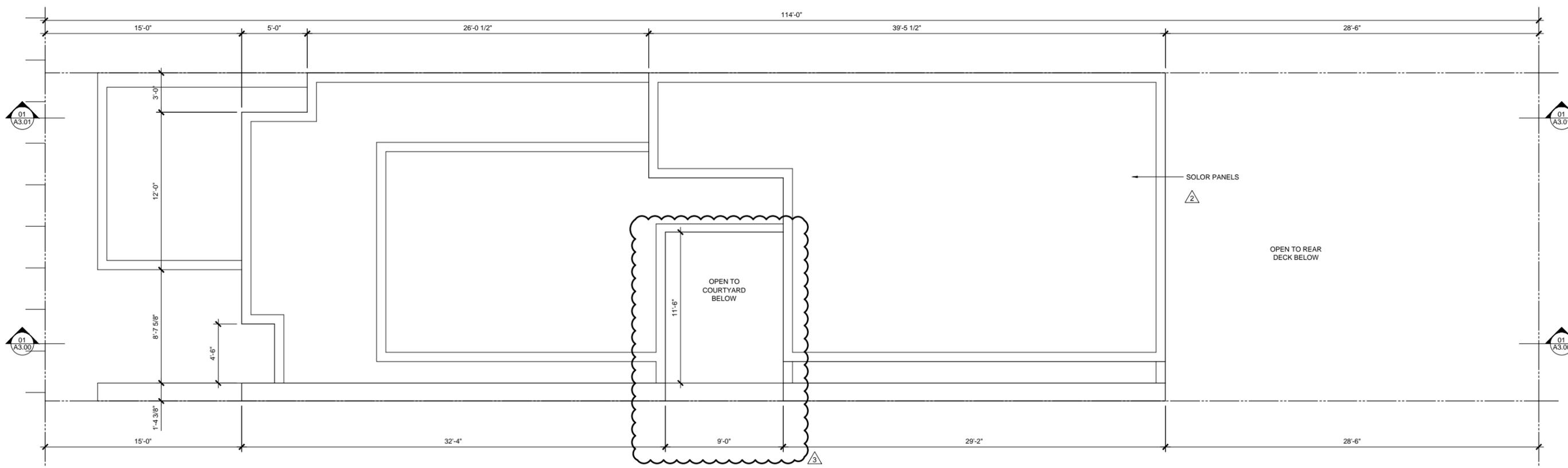
SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	



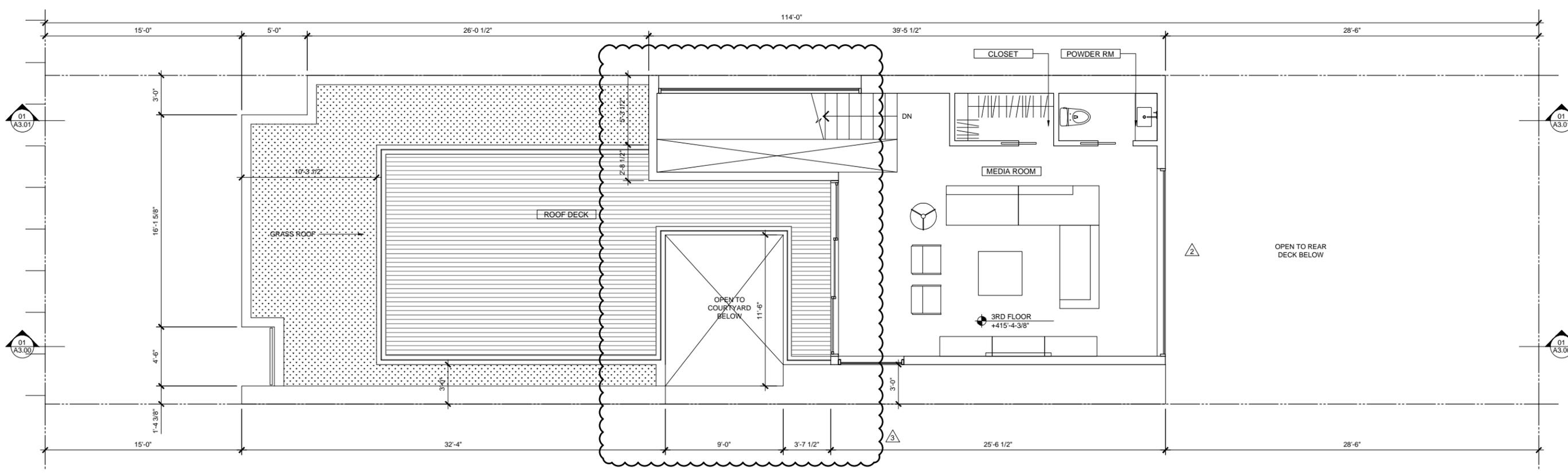
A1.01

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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02 ROOF FLOOR PLAN
 SCALE: 1/4" = 1'-0"



01 3RD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

FLOOR PLANS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	



A1.02

NO.	DATE	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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- 3RD FLOOR
+415'-4-3/8"
- 2ND FLOOR
+403'-6-1/4"
- 1ST FLOOR
+393'-2 1/8"
- BSMT. MEDIA RM.
+382'-10"
- BSMT. GARAGE
+373'-0"



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

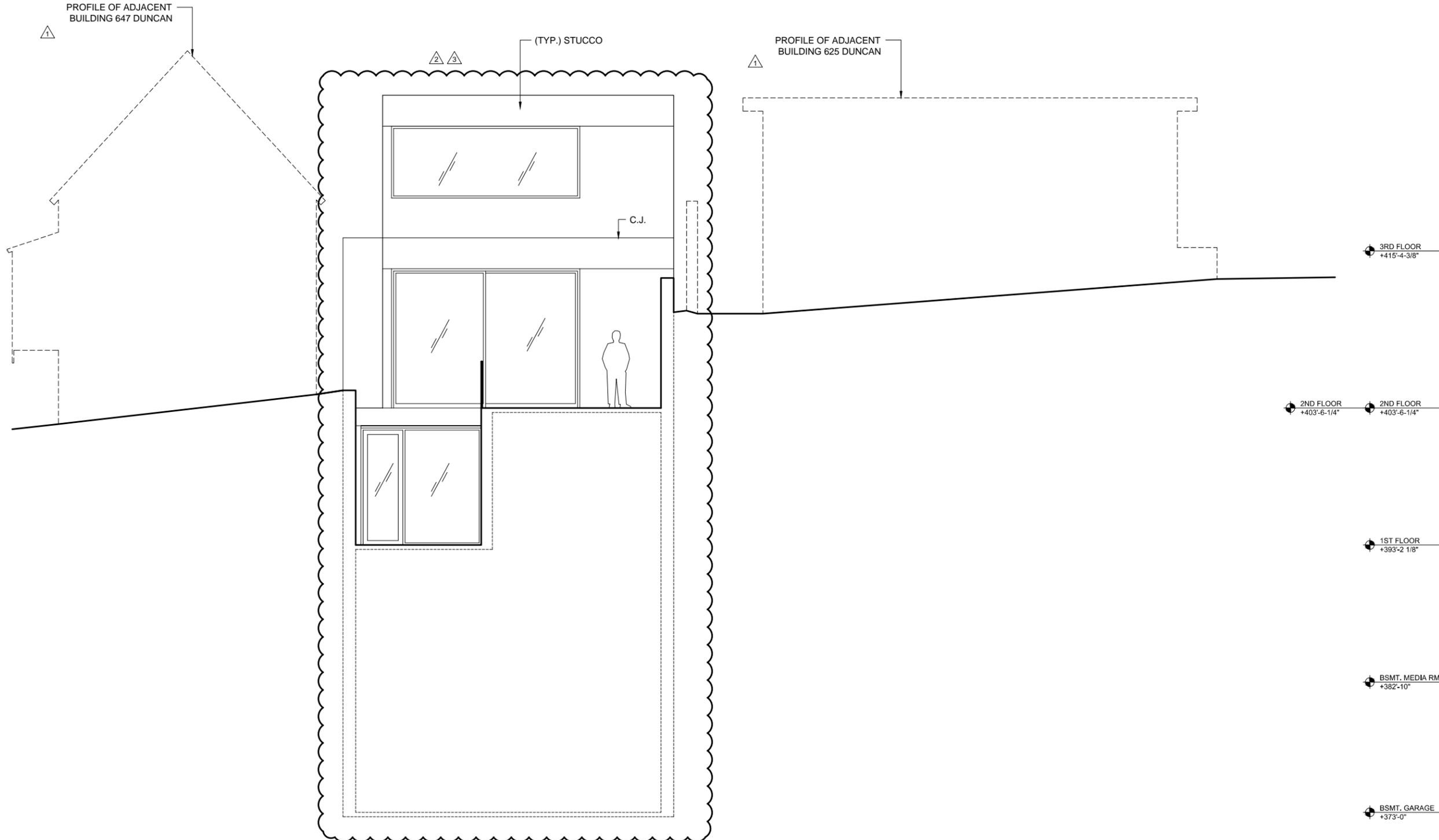
DRAWING:
EXTERIOR ELEVATIONS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

01 NORTH EXTERIOR ELEVATION (DUNCAN STREET)
 SCALE: 1/4" = 1'-0"

NO.	DATE	SUBMISSION
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

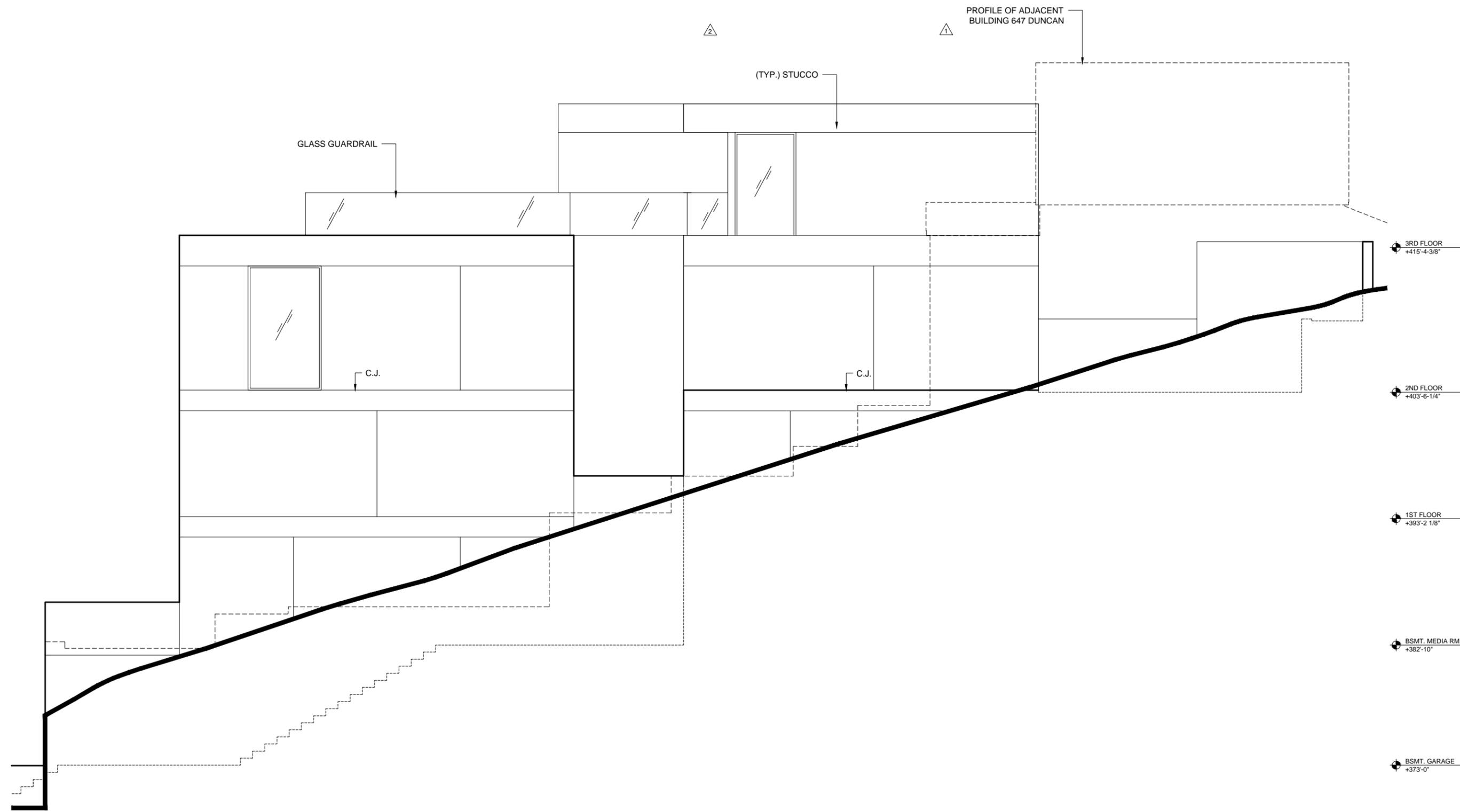
DRAWING:
EXTERIOR ELEVATIONS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

A2.01

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT 
02	02.16.12	SITE PERMIT 
03	08.16.12	SITE PERMIT 
04	10.30.12	SITE PERMIT 

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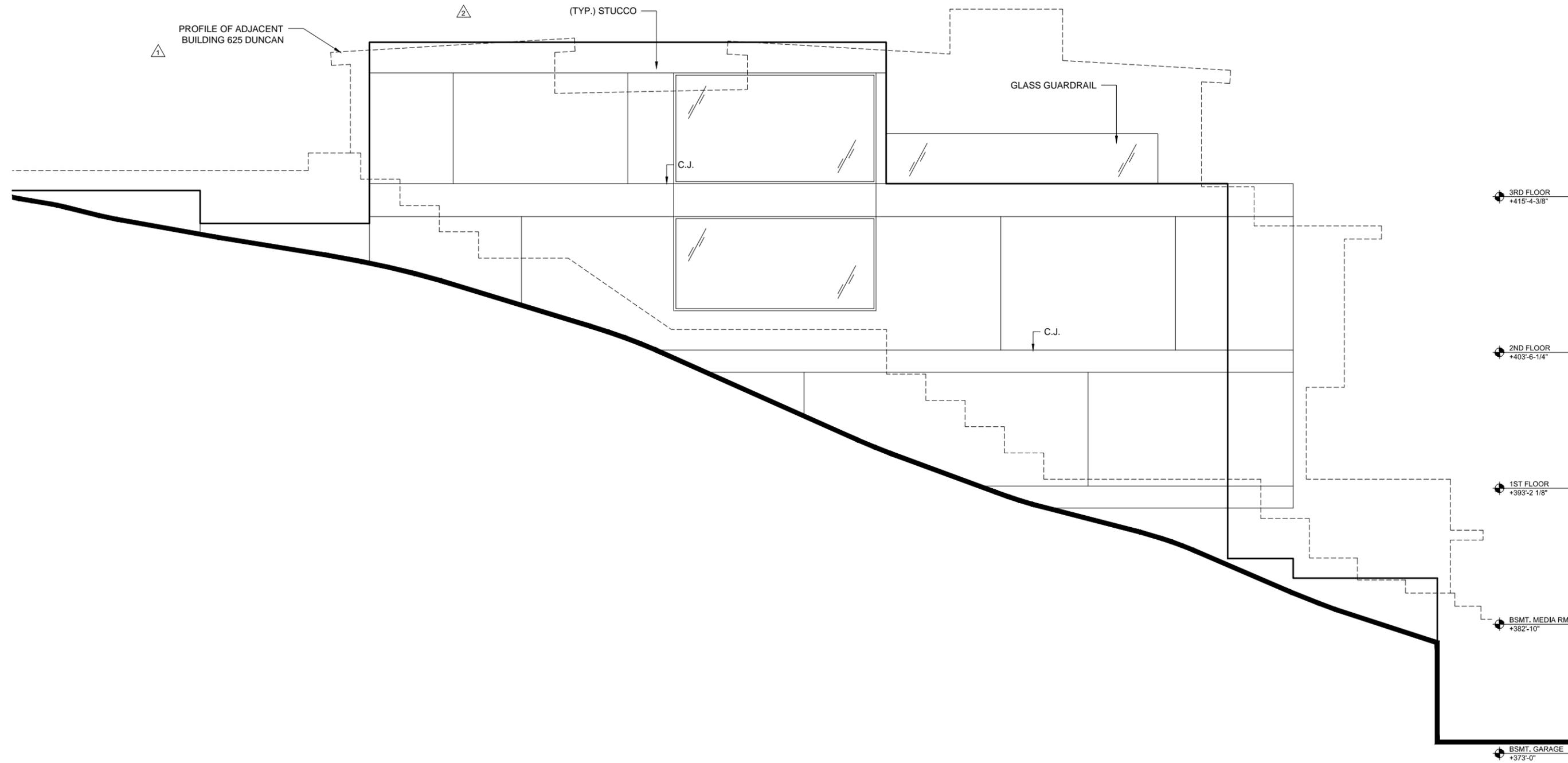
PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
EXTERIOR ELEVATIONS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT 
02	02.16.12	SITE PERMIT 
03	08.16.12	SITE PERMIT 
04	10.30.12	SITE PERMIT 

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PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

EXTERIOR ELEVATIONS

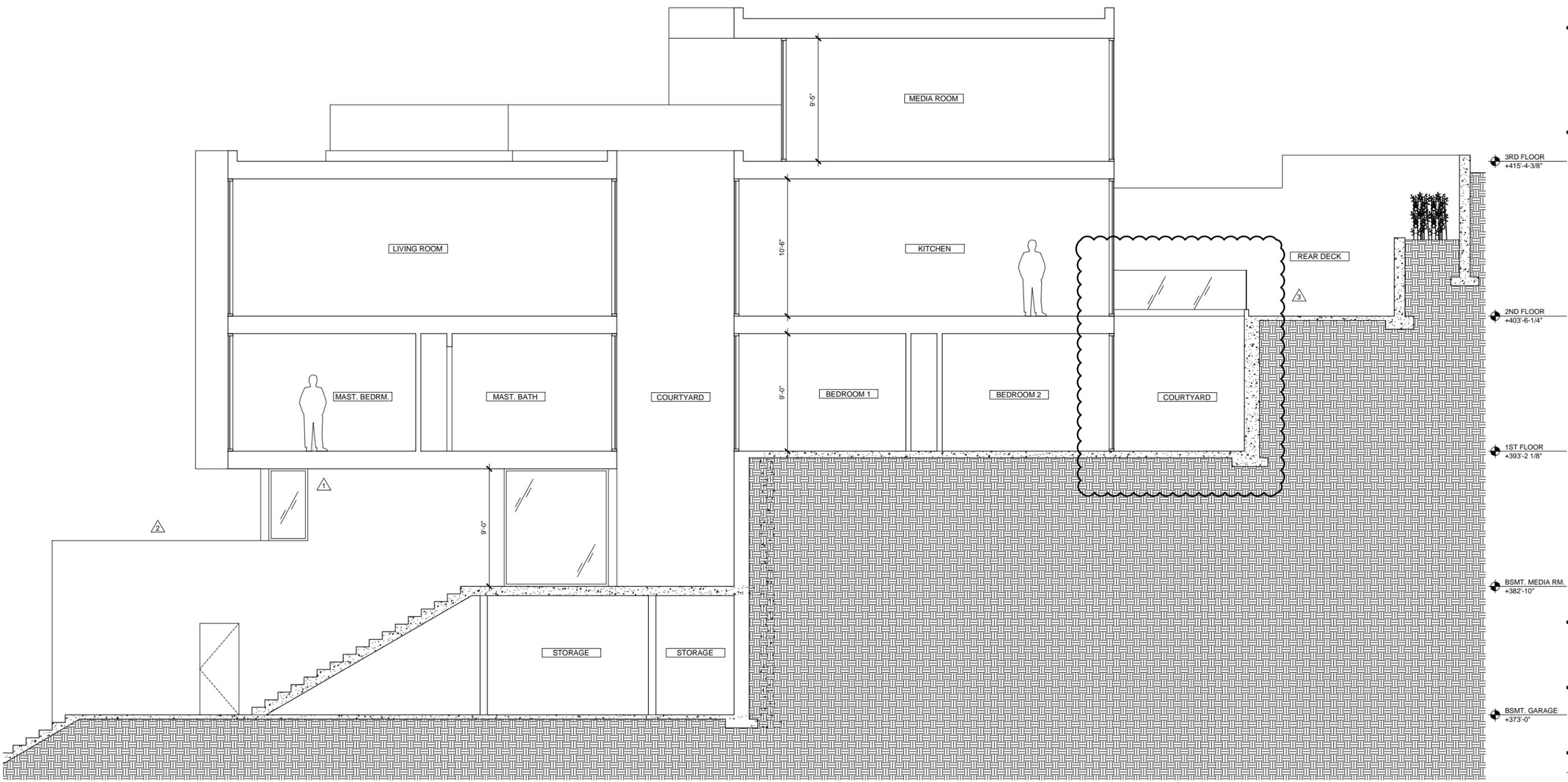
SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

A2.03 

01 EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

NO:	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

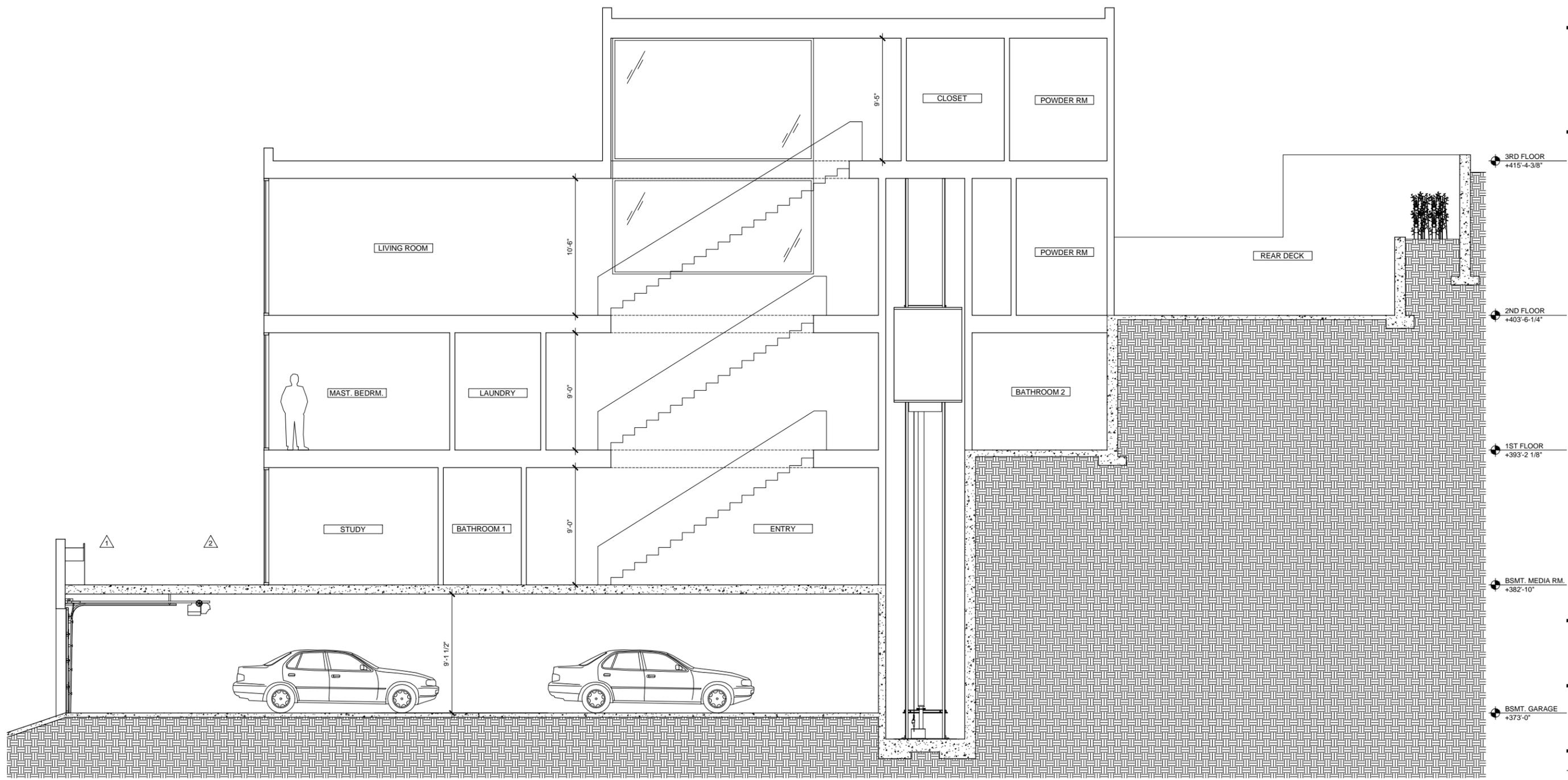
DRAWING:
BUILDING SECTIONS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

A3.00

NO.	DATE	SUBMISSION
01	11.14.11	SITE PERMIT 
02	02.16.12	SITE PERMIT 
03	08.16.12	SITE PERMIT 
04	10.30.12	SITE PERMIT 

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PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
BUILDING SECTIONS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

LAW OFFICE OF TRACY BOXER ZILL

3042 Jackson, Suite 4
San Francisco, California 94115
Telephone: (415) 601-8401

September 11, 2013

VIA HAND DELIVERY

Mr. Rodney Fong
Planning Commission President
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re:	Brief in Opposition to Project
Property Address:	645 Duncan Street
Planning Department Case No.:	2012.0680D
Hearing Date:	September 19, 2013
Our File No.:	2013.07

Dear President Fong and Commissioners:

This office represents Bruce Gilpin (“Requestor”), owner of the real property at 625 Duncan Street in San Francisco. Andrew Greene (“Project Sponsor”) proposes construction of a new four-story over garage, single family dwelling on an existing vacant lot (“Project”) at 645 Duncan Street, Assessor’s Block 6604, Lot 039 (“Project Site”). Sponsor filed Building Permit Application No. 2011.11.17.9087 (“Permit”) on November 17, 2011 for the Project.

The Project was duly noticed pursuant to Section 311 of the San Francisco Planning Code on December 12, 2012.¹ Requestor filed the above captioned Application

¹ All subsequent references are to the San Francisco Planning Code unless otherwise indicated.

for Discretionary Review on January 14, 2013. Please accept this letter in opposition of the Project.

A. Project Description and History

The existing 2,848 square-foot vacant lot at the Project Site will be developed with a new 4,820 square foot five-story, single-family residence. (See plans attached as **Exhibit A**). The Project will rise to a top height of over 54'-1" at its proposed fifth floor, and features a four-car parking garage at the ground floor.

Requestor first communicated with Project Sponsor on February 15, 2011 to discuss concerns about the Project, including its outsized scale and inappropriate massing for the neighborhood. Initially, Project Sponsor seemed interested in reaching a compromise and engaging in discussions about alternatives. On December 31, 2012, Project Sponsor was provided with a list of items that concerned the neighbors most. During the week of April 16, 2012 Project Sponsor agreed to; (i) remove the fifth floor, (ii) step back the third and fourth floors to ease the transitions on the block face, (iii) select materials that are more consistent with the adjacent buildings, and (iv) make room for tiered landscaping at the street level. However, on March 21, 2013 Project Sponsor inexplicably reneged on his earlier commitments and informed Requestor that he would make none of the requested changes to the Project.

B. The Project Does Not Comply With The Residential Guidelines

The Residential Design Guidelines (“RDG”) are intended to promote design that will protect neighborhood character, enhancing the attractiveness and quality of life in the City.² The construction of new residential buildings and alteration of existing residential buildings in R districts shall be consistent with the design polices and guidelines of the General Plan and with the RDG.³ The Project is noncompliant with the RDG in its response to the Scale, Topography and Character of its context:

1. Scale

The Project’s scale and typology are not “compatible with that of surrounding buildings.”⁴ Specifically, there are no five-story (or four-story over garage) homes in the entire neighborhood. (Please see **Exhibit B**) In the immediate area, there is only one four-story home, and it is on a lot twice the width of the Project Site. The prevailing pattern of the neighborhood is two- and three-story residences. The Project would be the tallest building found anywhere near the neighborhood. The Project disproportionately pits a stark uncompromising mass against the articulated and gently designed adjacent homes throughout the area. A key consideration in the RDG is to “design a building that complements other buildings on the block and does not stand out.”⁵ The Project is the antithesis of this important Guideline; it seems to purposefully defy it, standing out as an anomaly in the unique character and context of this neighborhood.

² RDG, Section I page 3.

³ Section 311(c)(1) Planning Code.

⁴ Id., page 23

⁵ Id., page 24

2. Topography

New buildings are to “respect the topography of the site and the surrounding area by stepping down to the street.”⁶ In areas with varied front setbacks, a new building should be designed to “act as a transition between adjacent buildings to unify the overall streetscape.”⁷ The RDG recommend articulating the front façade in steps and avoiding blank walls at the front setback to achieve this unification. In contrast to the RDG, the Project does not step down with the topography and does not articulate itself to its own immediate context. (See **Exhibit C**) Instead, the Project juts out aggressively, emphasizing its mass in direct contrast to the surrounding landscape. It forcibly violates simple guides to good design with a sheer, un-stepped front façade consisting (primarily and overwhelmingly) of a blank wall. As proposed, the Project is not “responsive to the overall neighborhood context, in order to preserve the existing visual character.”⁸ The Project ignores its own immediate context, as it does not relate to the articulated stepping of the buildings adjacent to it, both of which exceed the 15-foot minimum setback and contour with the surrounding landscape. In mixed visual character neighborhoods like the one in which the Project Site is located, new design should “draw on the best features of surrounding buildings.”⁹ The Project fails to do this, and in doing so fails to unify the overall streetscape.

⁶ Id., page 11

⁷ Id., page 12

⁸ RDG, Section II page 7

⁹ Id., page 10

3. Neighborhood Character

New construction should “design the placement and scale of architectural details to be compatible with...the surrounding area.”¹⁰ The Project ignores the immediate textural context by not relating to the adjacent natural wood buildings, which have articulated front façades that mix glass and solid materials. The RDG state that all exposed walls must be covered and finished with quality materials that are compatible with...adjacent buildings.¹¹ The stark exposed stucco walls on the east and west elevations of the Project are grossly incompatible with the neighborhood’s character and come nowhere close to respecting surrounding structures. (See **Exhibit C**)

C. Poor Negotiations

As mentioned above, Project Sponsor has not negotiated in good faith. When approached by the Requestor, Project Sponsor initially seemed to be interested in reaching a compromise, ultimately offering to remove the fifth floor of the proposed Project and accommodating virtually all of the neighbors requested changes. However, after reaching an agreement in principle with the Requestor the Project Sponsor suddenly reversed his decision and decided to proceed with the original design. This is classic bad faith negotiation and has precipitated the need for Discretionary Review. Whereas the Requestor still hopes to avoid a hearing on the Project, Project Sponsor’s demonstrated lack of good faith makes it that much more difficult to resolve the issues. Moreover, the

¹⁰ Id., page 43

¹¹ Id., page 48

Project Sponsor has declined to meet with the large group of concerned area residents although he has been afforded multiple opportunities to do so. He appears to be unwilling to engage in meaningful dialog.

Although we have come to understand that the Project Sponsor has made several modifications to the design at the behest of the Planning Department, these incremental changes do not effectively comply with the RDG. Potential changes would have been better served had they been coordinated with the concerned neighbors. The Project does not respond to its context in scale, topography, and character. Ultimately, its massive scale dwarfs the homes in the immediate vicinity and is a monolithic eyesore that would irreparably harm the character of the area, annihilating the uniqueness of this particular neighborhood, and setting a devastating precedent for future neighborhood development.

D. Conclusion

The Project is completely incompatible with the neighborhood, and its scale and massing constitute an exceptional and extraordinary circumstance within the meaning of the Discretionary Review standard. It is out of place in its immediate surroundings, which is obvious from any view of the Project Site. As designed it is a large mass sticking up out of nowhere and drops a large block of pre-cast looking concrete evocative of the Brutalist architectural style into the center of much smaller-scaled neighborhood. We are confident that by taking into account the RDG, a well-designed and properly scaled home can be built on the Project Site that will be compatible with

Mr. Rodney Fong
September 11, 2013
Page 7

surrounding homes and enhance the character of the area. The Project is not that home. We urge you to take Discretionary Review and remand the Project back to Planning with instructions to reduce its mass and redesign it in such a way as to fit into the neighborhood using the RDG. Thank you for your attention and consideration.

Very truly yours,

Tracy Boxer Zill
Attorney for Requestor

Attachments

cc: Vice President Cindy Wu
Commissioner Michael Antonini
Commissioner Gwyneth Borden
Commissioner Rich Hillis
Commissioner Kathrin Moore
Commissioner Hisashi Sugaya
John Rahaim – Planning Director
Scott Sanchez – Zoning Administrator
Jonas Ionin – Acting Commission Secretary
Doug Vu – Planner
Andy Greene – Project Sponsor

LIST OF EXHIBITS

Project Plans.....Exhibit A
Birds-Eye Views.....Exhibit B
Project Renderings.....Exhibit C
Letters and Signatures Opposing ProjectExhibit D



PROJECT DIRECTORY:

CLIENT / CONTRACTOR:

LINEA BUILT, INC.
CONTACT: ANDREW GREENE
2595 MISSION STREET
SAN FRANCISCO, CA 94110
T: (415) 647-1805
F: (415) 647-1810

ARCHITECT:

EDMONDS + LEE ARCHITECTS
CONTACT: ROBERT EDMONDS
2501 MISSION STREET, 400A
SAN FRANCISCO, CA 94110
T (415) 285-1300
F (866) 240-3220

STRUCTURAL ENGINEER:

DOLMEN STRUCTURAL ENG.
CONTACT: DIARMUID MACNEILL
2595 MISSION ST. SUITE 200
SAN FRANCISCO, CA 94110
T (415) 409-9200
F (415) 409-9206

SHEET INDEX:

- A0.00 COVER SHEET
- SITE SURVEY
- A0.10 PROJECT ZONING AND DATA CALCULATIONS
- A0.11 PROJECT GRADING CALCULATIONS
- A0.12 FLOOR AREA CALCULATIONS
- A0.13 EXISTING SITE PHOTOS
- A0.14 COMPUTER RENDERINGS
- A1.00 FLOOR PLANS
- A1.01 FLOOR PLANS
- A1.02 FLOOR PLANS
- A2.00 EXTERIOR ELEVATIONS
- A2.01 EXTERIOR ELEVATIONS
- A2.02 EXTERIOR ELEVATIONS
- A2.03 EXTERIOR ELEVATIONS
- A3.00 BUILDING SECTIONS
- A3.01 BUILDING SECTIONS
- A3.02 BUILDING SECTIONS

PROJECT INFORMATION:

ADDRESS: 645 DUNCAN STREET
SAN FRANCISCO, CA 94131

LOT: 039

BLOCK: 6604

APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO ADMMENDMENTS
2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO ADMMENDMENTS
2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO ADMMENDMENTS
2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO ADMMENDMENTS
2010 SAN FRANCISCO HOUSING CODE
2010 SAN FRANCISCO ENERGY CODE

BUILDING LIMITATIONS:

OCCUPANCY: R-3

CONSTRUCTION: TYPE V

FIRE SPRINKLERS: YES

MAXIMUM HEIGHT: 4 STORIES*

MAXIMUM AREA: UNLIMITED PER STORY

INFORMATION BASED ON CBC TABLE 503
* ALLOWABLE HEIGHT INCREASE PER CBC 504.2 WHICH STATES THAT
"WHERE A BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC
SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, THE VALUE
SPECIFIED IN TABLE 503 FOR MAXIMUM HEIGHT IS INCREASED BY 20 FEET
AND THE MAXIMUM NUMBER OF STORIES IS INCREASED BY ONE."

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS FOR NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE.

WORK CONSISTS OF THE FOLLOWING:

- EARTHWORK:**
1. REMOVAL OF SOILS FROM SITE FOR (NEW) GARAGE
 2. FILL OF PORTION OF REAR LOT FOR (NEW) BACKYARD

- ARCHITECTURE INTERIOR:**
1. (NEW) CONSTRUCTION OF ALL INTERIORS INCLUDING BEDROOMS, KITCHEN, BATHROOMS, LIVING AREAS, AND UTILITY AREAS.

- ARCHITECTURE EXTERIOR:**
1. (NEW) OF EXTERIOR FOUNDATION, CLADDING, FENESTRATION, AND ROOF.

- STRUCTURAL:**
1. (NEW) IN-SITU CONCRETE FOUNDATION WITH (NEW) STRUCTURAL STEEL FRAME.

- MECHANICAL, ELECTRICAL & PLUMBING:**
1. (NEW) MEP FIXTURES AND EQUIPMENT THROUGHOUT STRUCTURE.
 2. (NEW) VERTICAL CONVEYANCE SYSTEM, PRIVATE ELEVATOR.

NO: DATE: SUBMISSION:

01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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DUNCAN RESIDENCE

645 DUNCAN STREET, SAN FRANCISCO, CA 94131

ISSUED FOR SITE PERMIT / REVISION 3 - OCTOBER 30, 2012



PROJECT LOCATION

PROJECT:

DUNCAN RESIDENCE
645 DUNCAN STREET
SAN FRANCISCO, CA 94131
BLOCK 6604, LOT 039

DRAWING:

COVER SHEET

SCALE:	AS NOTED
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

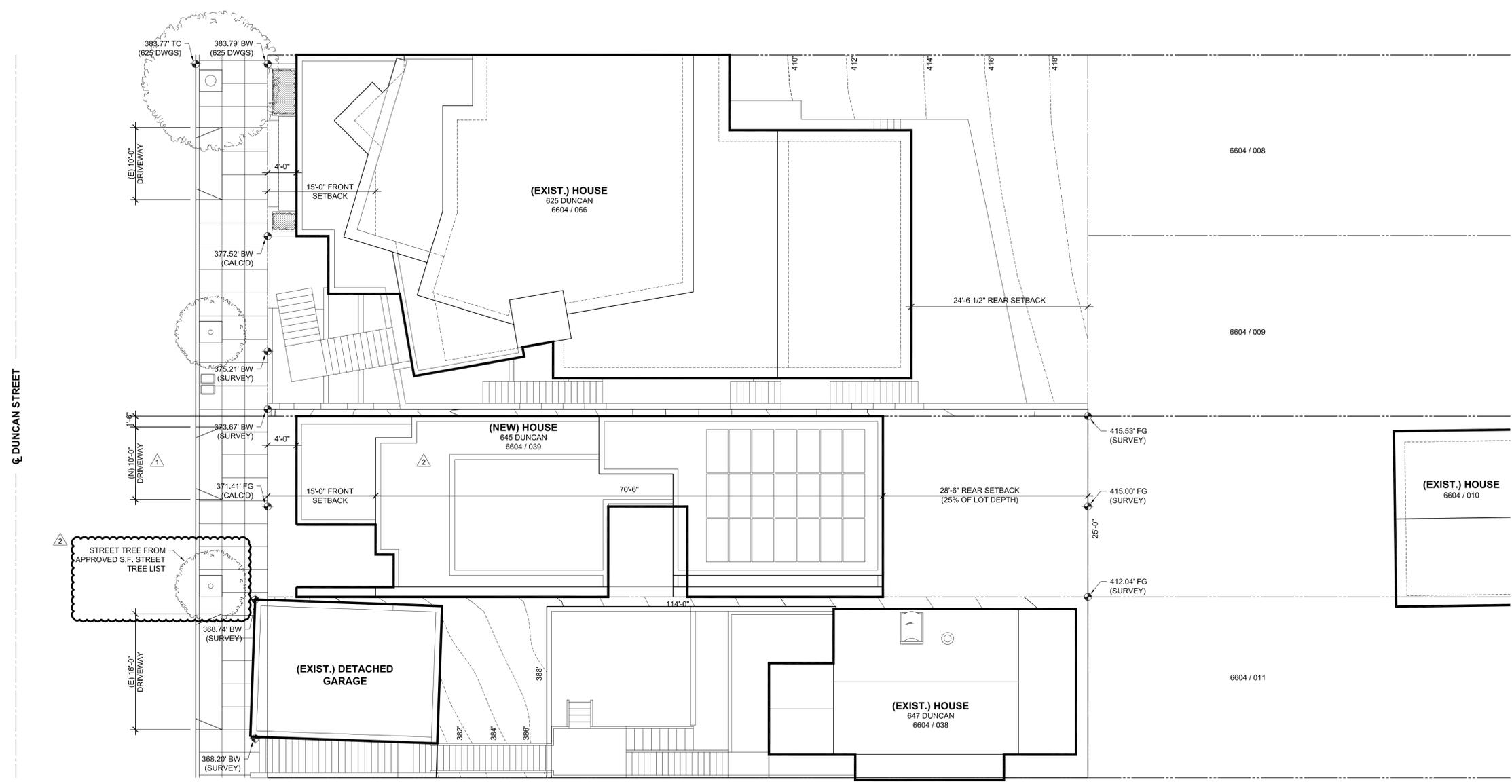
01 VICINITY MAP
SCALE: N.T.S.



A0.00

NO.	DATE	SUBMISSION
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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02 SITE PLAN
 SCALE: 1/8" = 1'-0"



PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
SITE PLAN

LOT 039 ZONING CALCULATIONS		REQUIRED	PROPOSED
MAXIMUM DWELLING UNIT DENSITY PER SF PLANNING CODE (§209.1)	ONE DWELLING UNIT PER LOT; UP TO ONE UNIT PER 3000 SQFT. OF LOT AREA (MAXIMUM OF 3 UNITS) WITH CONDITIONAL USE APPROVAL.	1 UNIT (3 CONDITIONAL)	1 UNIT
OTHER PRINCIPAL USES PER SF PLANNING CODE (§209-209.9)	RESIDENTIAL CARE FACILITY FOR 6 OR FEWER; CHILD CARE FACILITY FOR 12 OR FEWER; OPEN SPACE FOR HORTICULTURE OR PASSIVE RECREATION; PUBLIC STRUCTURE OR USED OF NON-INDUSTRIAL CHARACTER; SALE OR LEASE SIGN.	(SEE NOTE)	SINGLE FAMILY RESIDENCE
MINIMUM LOT SIZE PER SF PLANNING CODE (§121)	LOT SIZE	2,500 SF MIN.	2,848 SF
	LOT WIDTH	25'-0" MIN.	25'-0" AVERAGE
	LOT FRONTAGE	16'-0" MIN.	24'-9" AVERAGE
FRONT YARD SETBACK PER SF PLANNING CODE (§132)	BASED UPON AVERAGE OF ADJACENT BUILDINGS; UP TO 15 FT. OR 15% OF LOT DEPTH	15'-0"	15'-0"
SIDE YARD SETBACK PER SF PLANNING CODE (§133)	IF THE LOT IS UNDER 28'-0" IN WIDTH, THEN NO SIDE YARD IS REQUIRED	NONE	NONE
REAR YARD SETBACK PER SF PLANNING CODE (§134)	25% OF LOT DEPTH, BUT NO LESS THAN 15 FT.	28'-6"	28'-6"
BASIC FLOOR AREA RATIO PER SF PLANNING CODE (§124)	1.8 TO 1 TIMES THE LOT AREA (§124.b; IN R, NC, AND MIXED USE DISTRICTS, THE STATED FLOOR AREA RATIO LIMITS SHALL NOT APPLY TO DWELLINGS OR TO OTHER RESIDENTIAL USES.)	N/A	1.27
USABLE OPEN SPACE PER SF PLANNING CODE (§135)	300 SQFT. PER UNIT IF ALL PRIVATE; COMMON SPACE SUBSTITUTED MUST BY 1/3 GREATER	300 SQFT	1,244 SQFT
MAXIMUM HEIGHT (AT FRONTAGE) PER SF PLANNING CODE (§261)	USING DISTRICT HEIGHT LIMIT - 35 FT.; 30 FT AT FRONT OF PROPERTY, 40'-0" AT FRONT OF PROPERTY IF PROPERTY SLOPES MORE THAN 20 FT UP FROM PROPERTY LINE AT STREET	40'-0"	BLDG. < 40'-0"
OFF-STREET PARKING PER SF PLANNING CODE (§151)	1 OFF-STREET SPACE FOR EACH SINGLE-FAMILY DWELLING UNIT	1 SPACE	4 SPACES

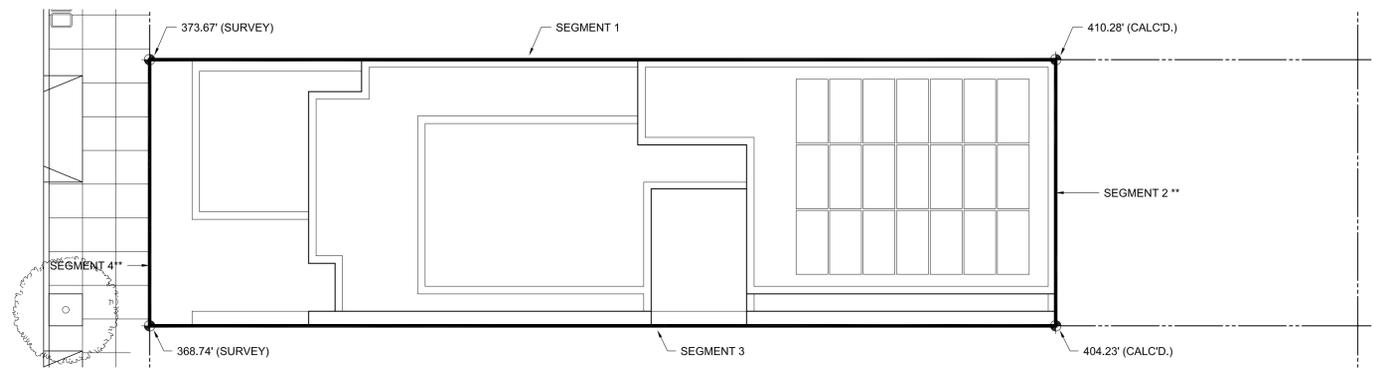
01 SAN FRANCISCO PLANNING CODE STANDARDS FOR THE RH-1 ZONE
 SCALE: N.T.S.

SCALE:	1/8" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.:	2010.11
DRAWN:	RE
CAD FILE:	

A0.10

NO.	DATE	SUBMISSION
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

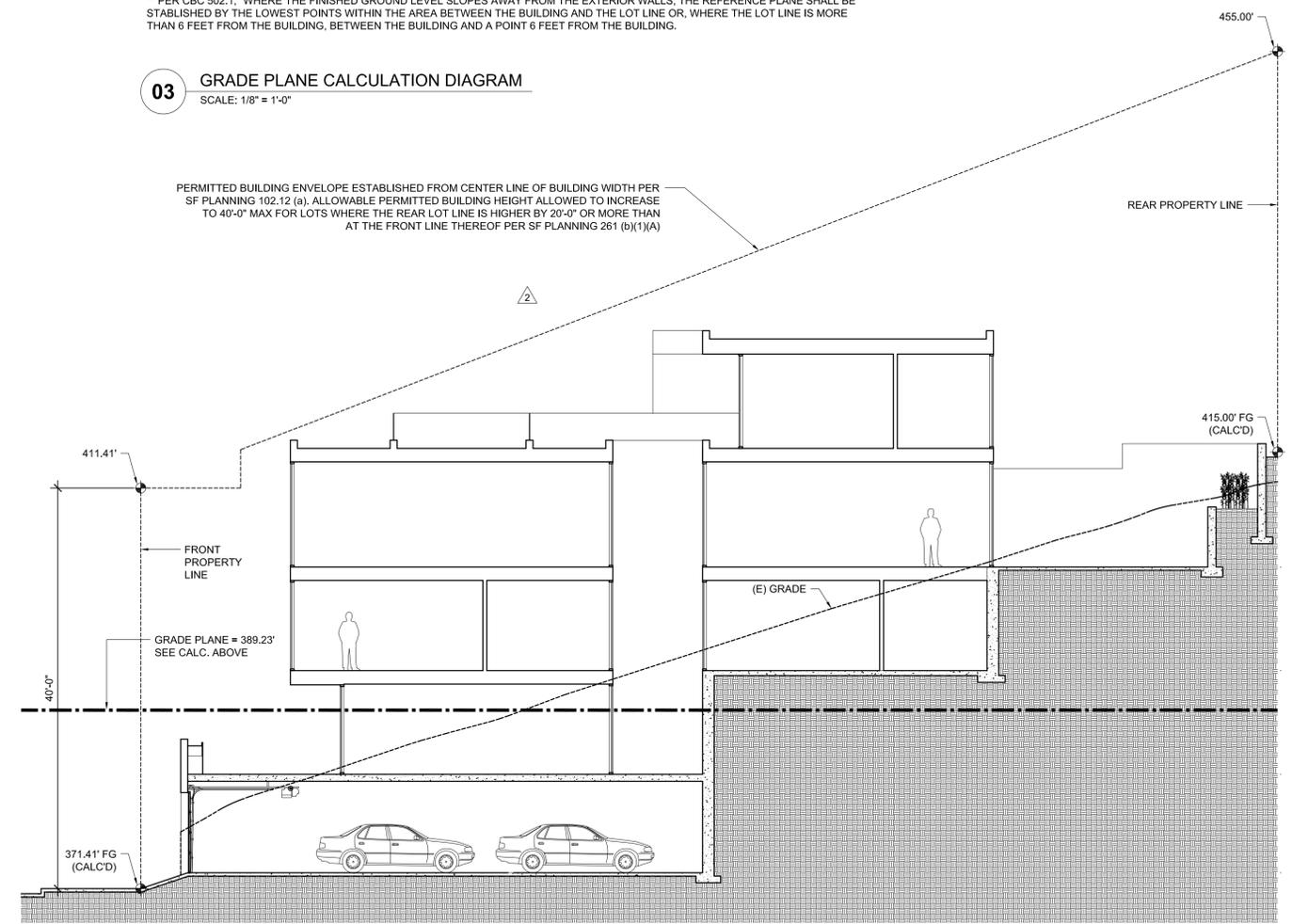
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SEGMENT	START HEIGHT	END HEIGHT	DIFFERENCE	AVG. HEIGHT	SEG. LENGTH	WEIGHTED SEG. AVG.*
1	410.28'	373.67'	36.61'	391.98'	114'	44,885.15
2	410.28'	404.23'	6.05'	407.26'	25'	10,181.38
3	404.23'	368.74'	35.49'	386.49'	114'	44,059.29
4	373.67'	368.74'	4.93'	371.21'	25'	9,280.13
SUBTOTAL					278'	108,205.94'
WEIGHTED AVERAGE GRADE PLANE HEIGHT (TOTAL WEIGHTED SEG. AVG. / TOTAL SEG. LENGTH)						389.23'

* WEIGHTED SEG. AVG. = AVG. HT. * SEG. LENGTH
 ** PER CBC 502.1, "WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINTS WITHIN THE AREA BETWEEN THE BUILDING AND THE LOT LINE OR, WHERE THE LOT LINE IS MORE THAN 6 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING."

03 GRADE PLANE CALCULATION DIAGRAM
 SCALE: 1/8" = 1'-0"



01 BUILDING HEIGHT DIAGRAM
 SCALE: 1/8" = 1'-0"



02 DUNCAN STREET EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"



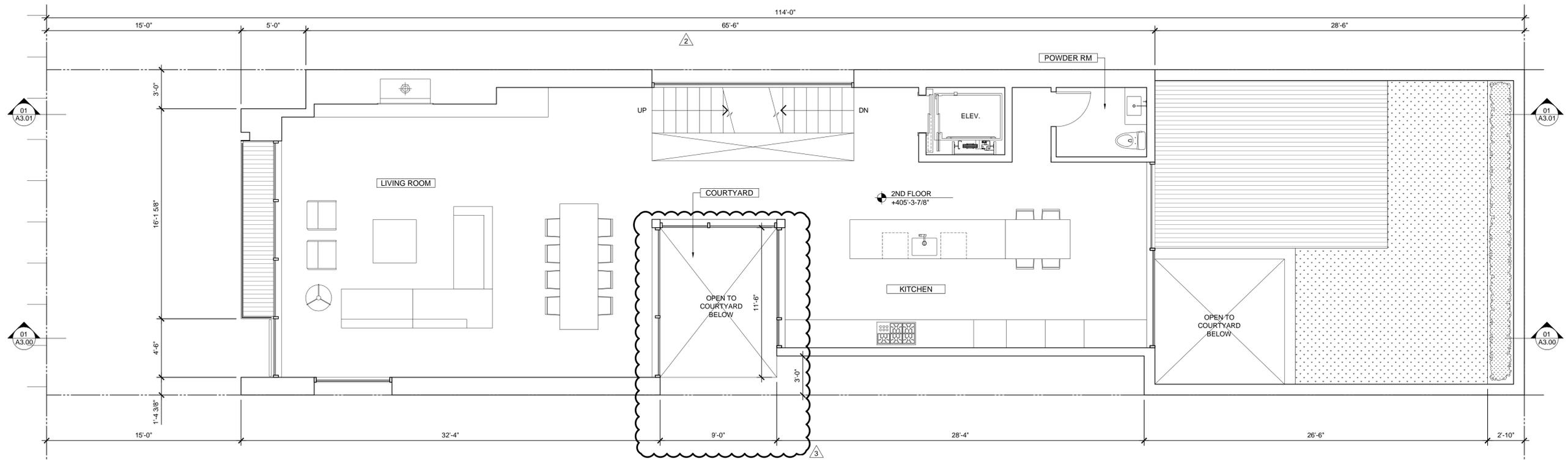
PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
BUILDING HEIGHT DIAGRAMS

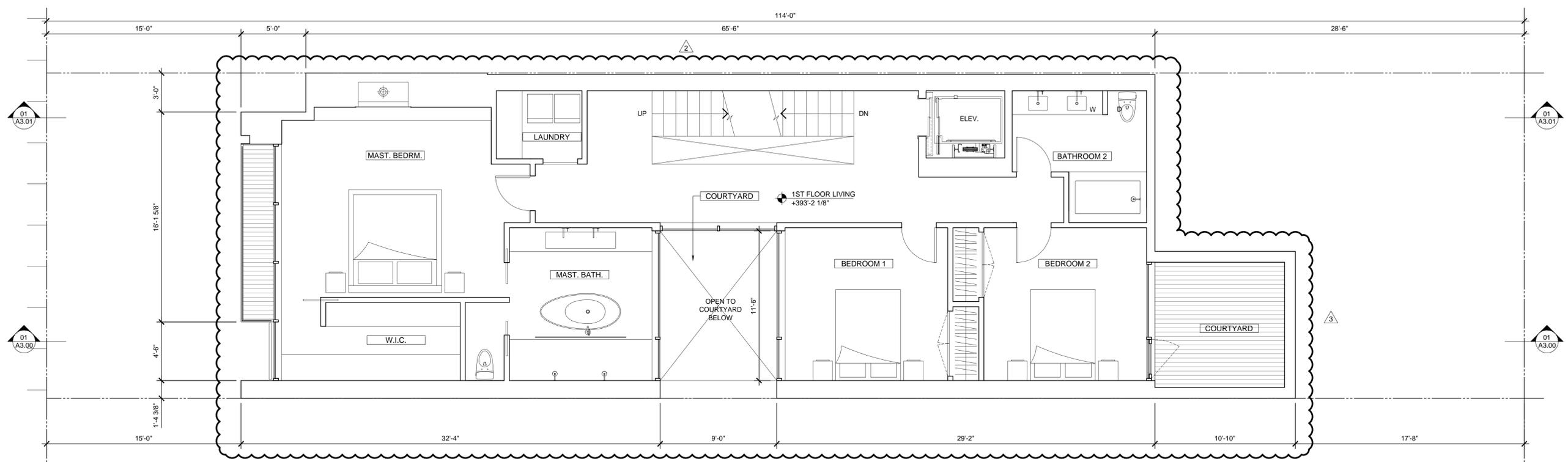
SCALE:	1/8" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.:	2010.11
DRAWN:	RE
CAD FILE:	

A0.11

NO.	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT



02 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



01 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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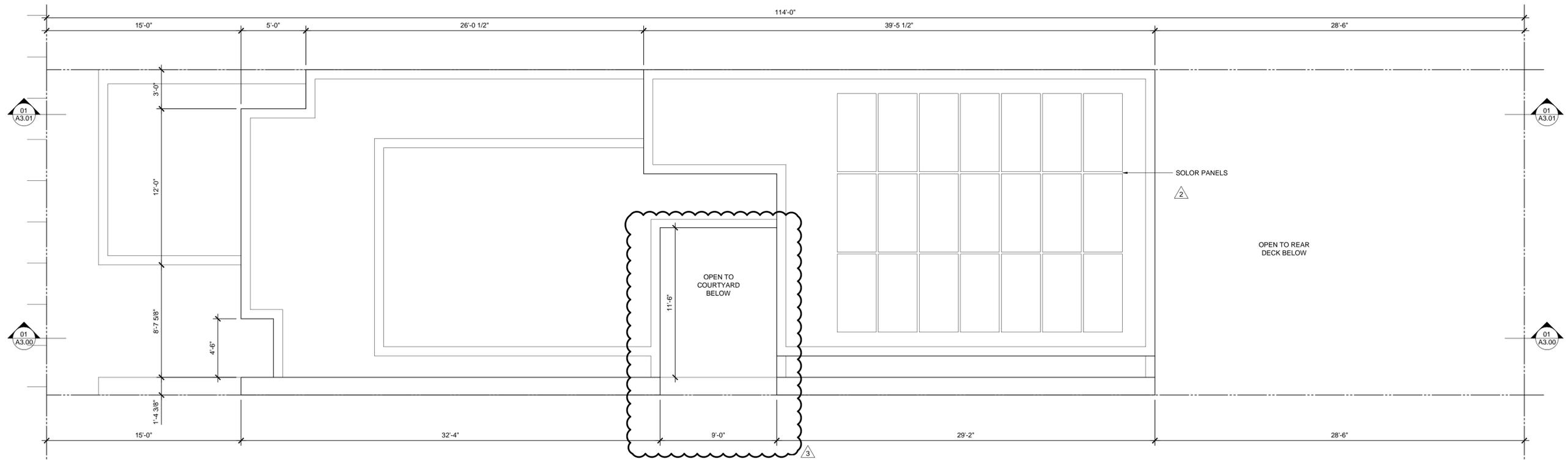
PROJECT:
DUNCAN RESIDENCE
645 DUNCAN STREET
SAN FRANCISCO, CA 94131
BLOCK 6604, LOT 039

DRAWING:

FLOOR PLANS	
SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.:	2010.11
DRAWN:	RE
CAD FILE:	

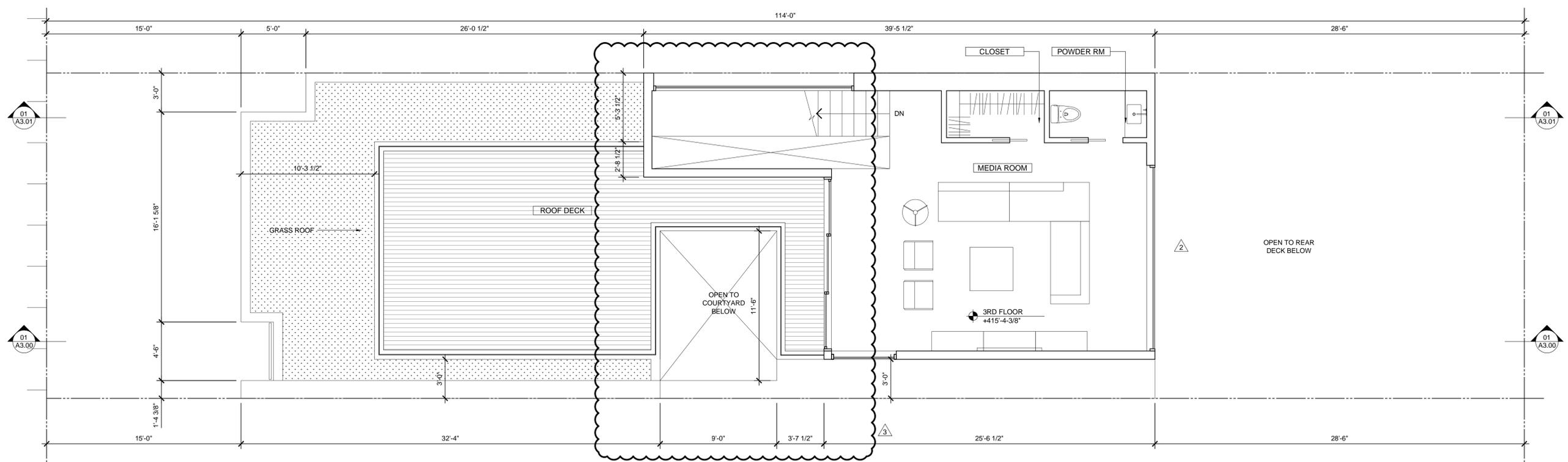
A1.01

NO.	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT



02 ROOF FLOOR PLAN
SCALE: 1/4" = 1'-0"

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01 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"



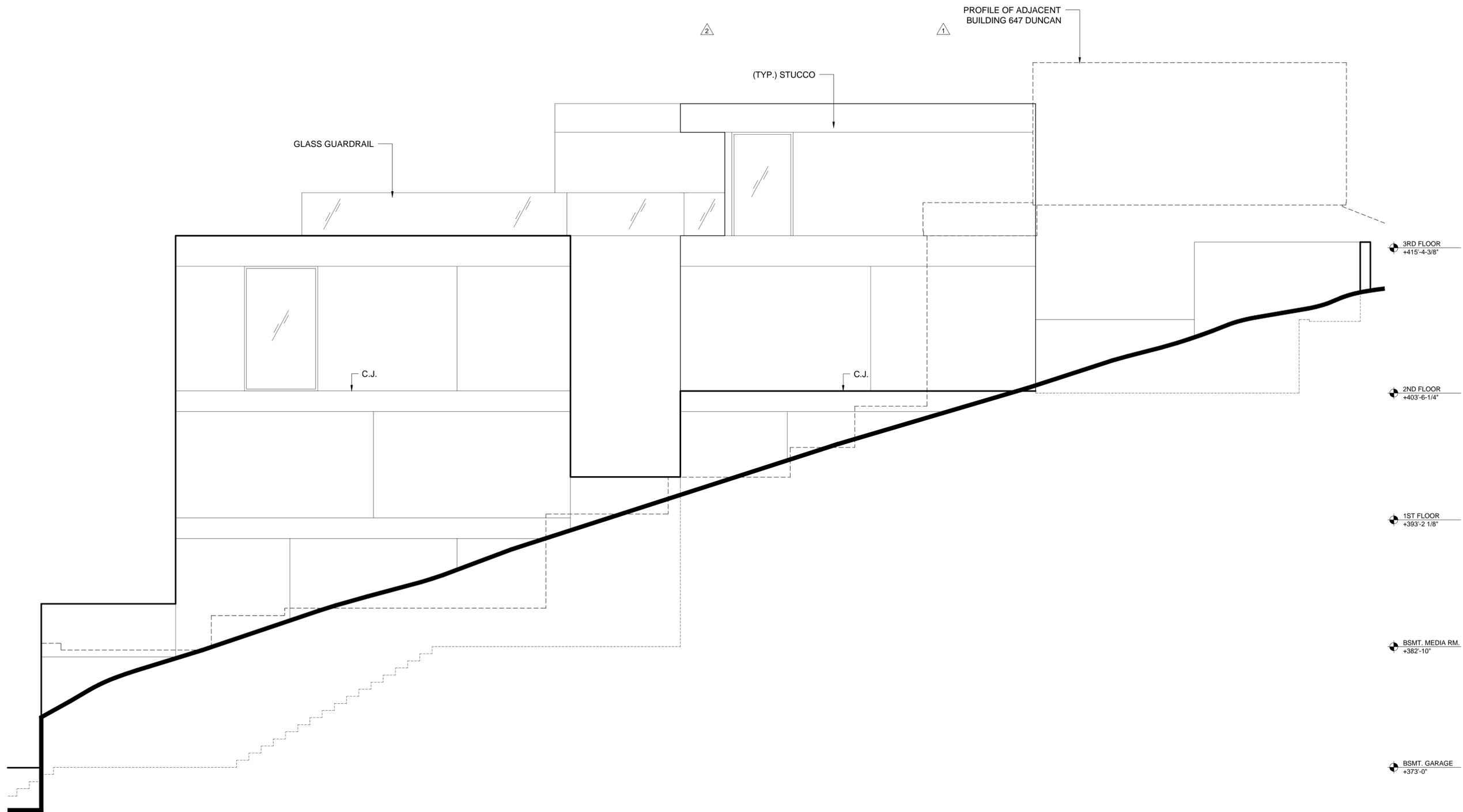
PROJECT:
DUNCAN RESIDENCE
645 DUNCAN STREET
SAN FRANCISCO, CA 94131
BLOCK 6604, LOT 039

FLOOR PLANS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.:	2010.11
DRAWN:	RE
CAD FILE:	

NO.	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT 
02	02.16.12	SITE PERMIT 
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PROJECT:
DUNCAN RESIDENCE
 645 DUNCAN STREET
 SAN FRANCISCO, CA 94131
 BLOCK 6604, LOT 039

DRAWING:
EXTERIOR ELEVATIONS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

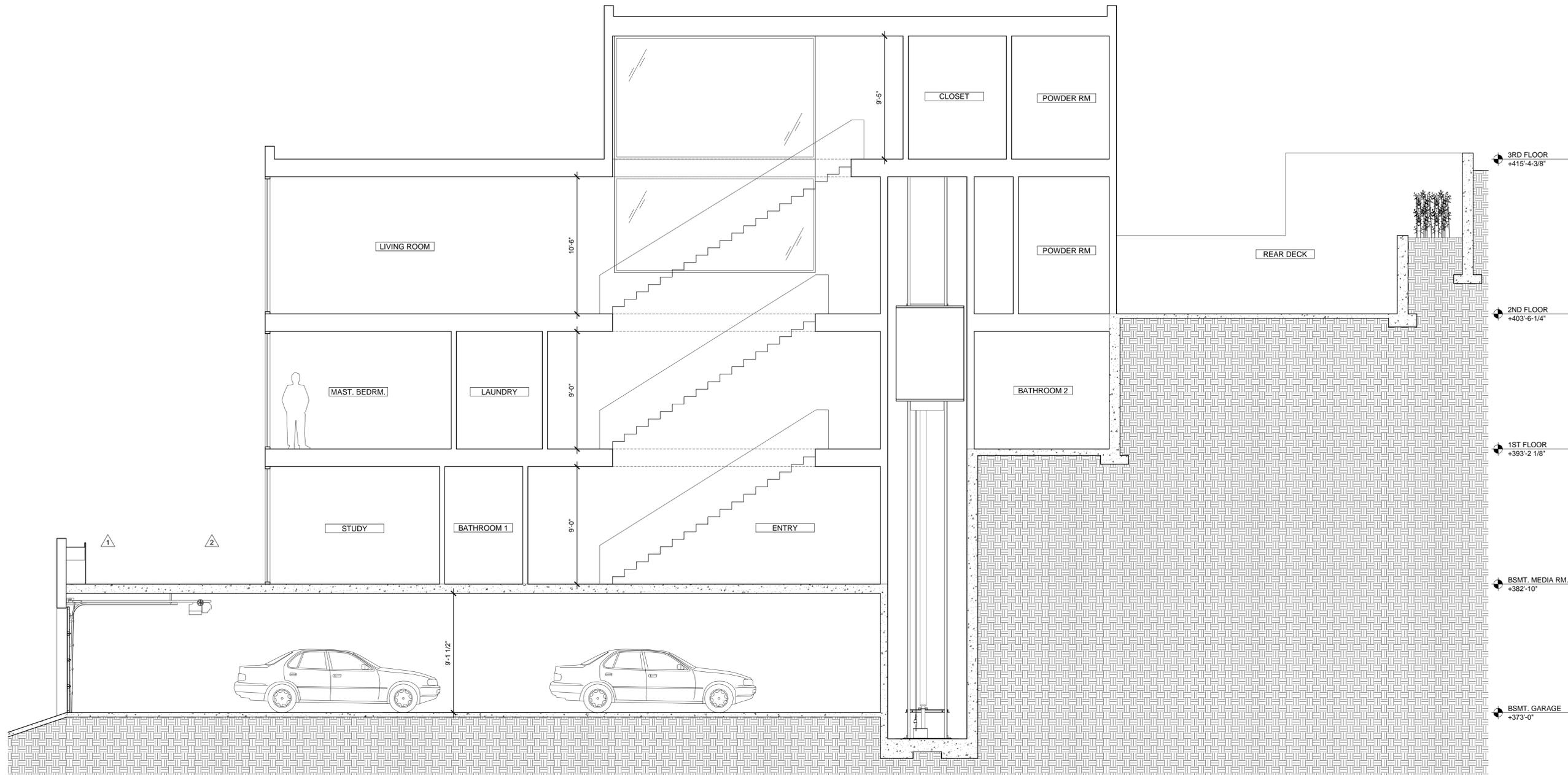
01 WEST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

A2.02



NO.	DATE:	SUBMISSION:
01	11.14.11	SITE PERMIT
02	02.16.12	SITE PERMIT
03	08.16.12	SITE PERMIT
04	10.30.12	SITE PERMIT

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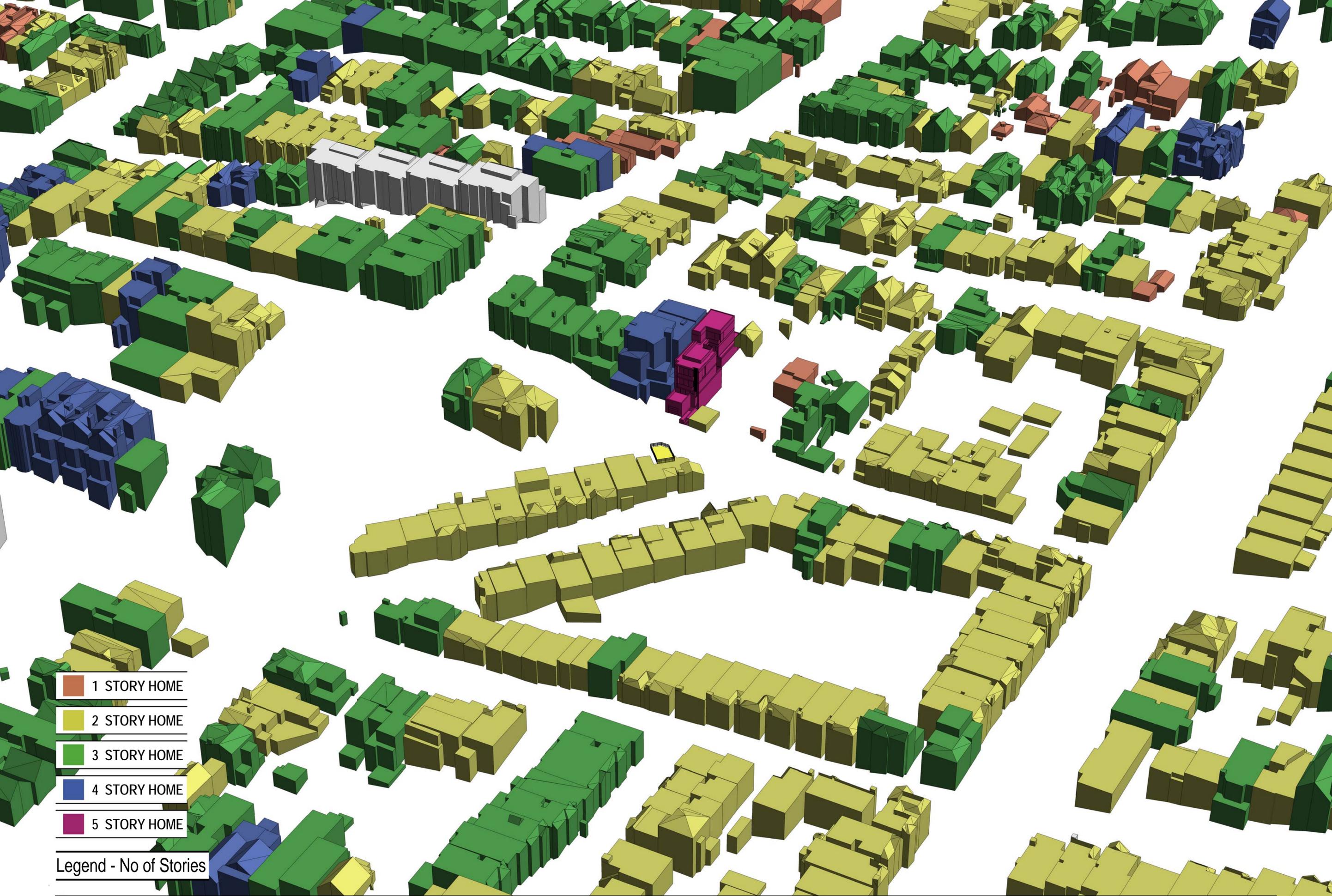
PROJECT:
DUNCAN RESIDENCE
645 DUNCAN STREET
SAN FRANCISCO, CA 94131
BLOCK 6604, LOT 039

DRAWING:
BUILDING SECTIONS

SCALE:	1/4" = 1'-0"
DATE:	OCTOBER 30, 2012
JOB NO.	2010.11
DRAWN:	RE
CAD FILE:	

01 BUILDING SECTION
SCALE: 1/4" = 1'-0"

A3.01

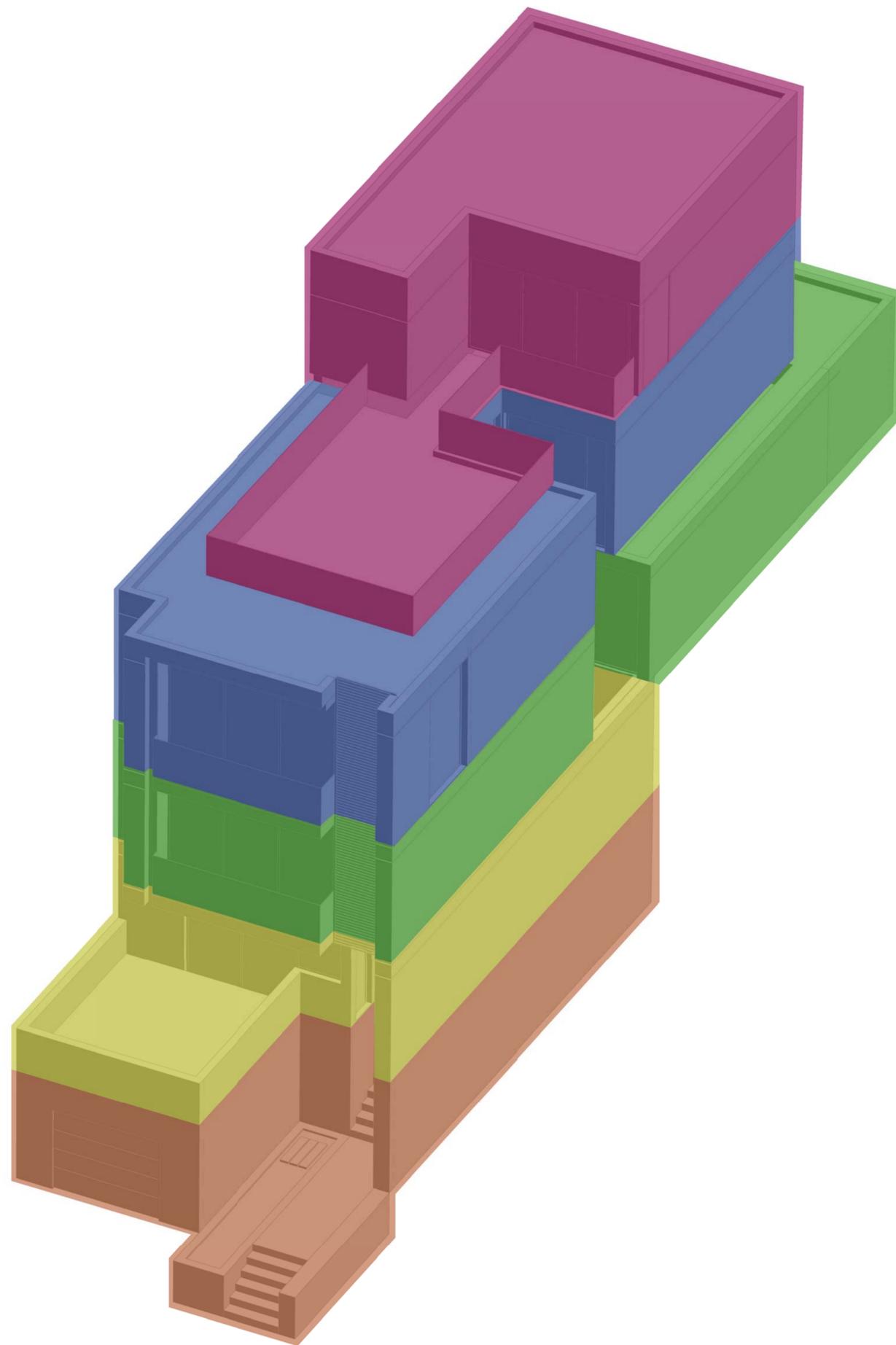


- 1 STORY HOME
- 2 STORY HOME
- 3 STORY HOME
- 4 STORY HOME
- 5 STORY HOME

Legend - No of Stories

BIRD'S EYE VIEW OF NEIGHBORHOOD

645 DUNCAN STREET

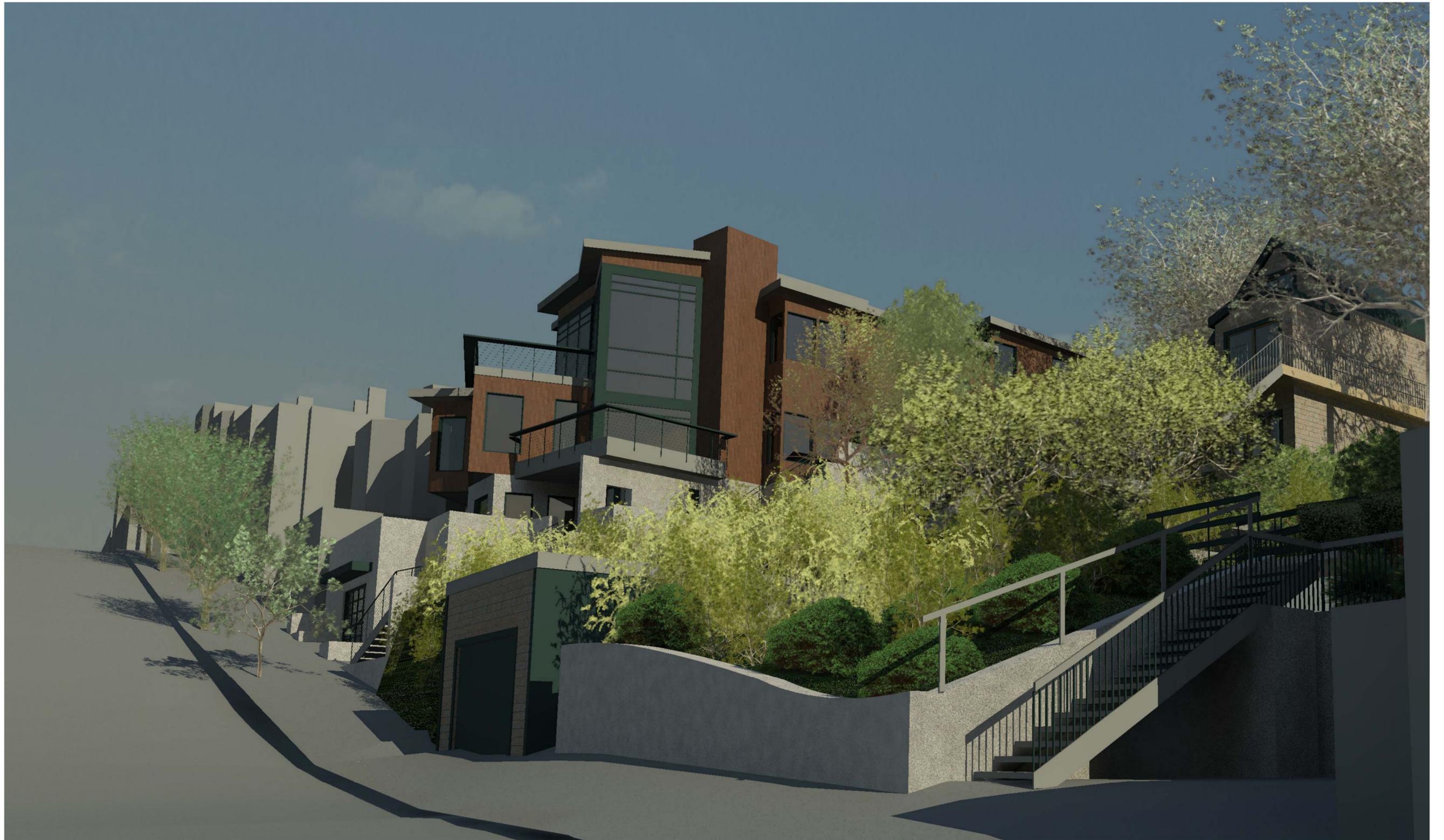


- 1st STORY
- 2nd STORY
- 3rd STORY
- 4th STORY
- 5th STORY

Legend - 5 Story Home

BIRD'S EYE VIEW OF 5 STORY BUILDING

645 DUNCAN STREET



September 1, 2013 @ 5:15 PM

DUNCAN & NEWBURG DRIVING VIEW - EXISTING

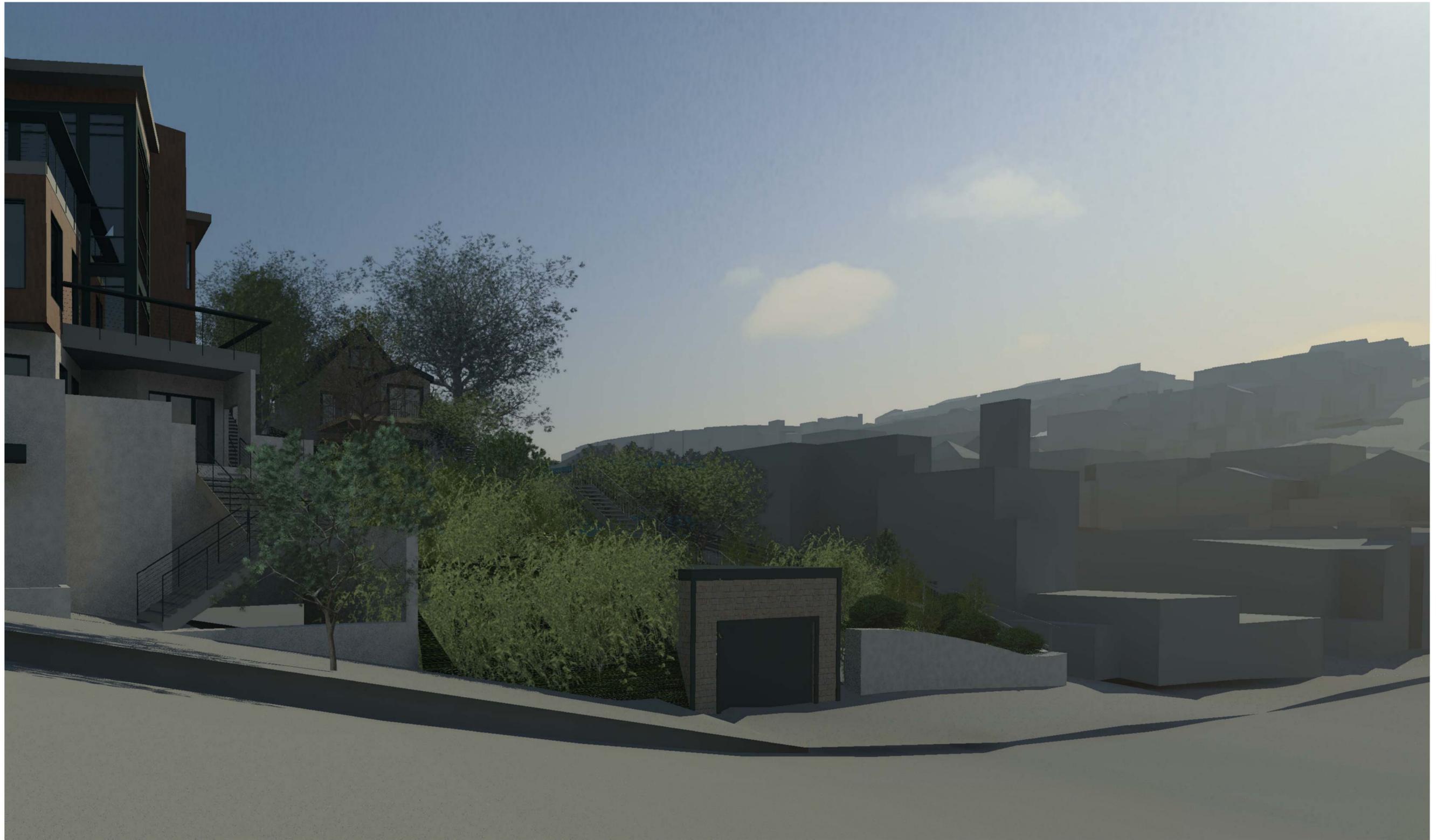
645 DUNCAN STREET



September 1, 2013 @ 5:15 PM

DUNCAN & NEWBURG DRIVING VIEW - PROPOSED

645 DUNCAN STREET



September 1, 2013 @ 5:15 PM

VIEW OF NEIGHBORHOOD CHARACTER - EXISTING

645 DUNCAN STREET



September 1, 2013 @ 5:15 PM

VIEW OF NEIGHBORHOOD CHARACTER - PROPOSED

645 DUNCAN STREET

DUNCAN NEWBURG ASSOCIATION

560 DUNCAN STREET, SAN FRANCISCO



9/11/2013

Deanna Mooney and Diane McCamey
Duncan Newburg Association
560 Duncan Street, San Francisco

Rodney Fong, Commission President
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-2414

Dear Planning Commissioners:

The Duncan Newburg Association (DNA) was established in 1975 to address the concerns of Noe Valley residents in the vicinity of Duncan and Newburg Streets, including neighborhood safety, neighborhood beautification, and community get-togethers. From the beginning, one of DNA's primary roles has been to work together with neighbors, building developers, and the planning department to help maintain the unique and special character of our neighborhood. DNA recognizes the need for growth and the natural evolution of neighborhoods and aims to facilitate changes that address the needs of both builders and neighbors.

In this context, DNA would like to express its concerns about the proposed project at 645 Duncan Street. We are genuinely surprised that this project passed the Planning Department's design review since there are numerous examples where it does not follow the Residential Design Guidelines.

As currently proposed, 645 Duncan would be a towering 5-story, monolithic cement style building that is out of context with the neighborhood, and might more appropriately be placed in the SOMA district. Please note, there are no other 5-story homes in our neighborhood. In fact, there are no 5-story homes *anywhere* in Noe Valley. We certainly do not want to set a precedent.

In addition to the height issue, the square footage of 645 Duncan is three to four times the size of the ten contiguous houses downhill to the west of the property, with the single exception of 653 Duncan which is half the size. In an effort to defend its massive scale, the developer has compared the project to 625 Duncan, the adjacent property to the east which belongs to the DR applicant. The comparison seems farfetched since 625 Duncan is set on a 55 foot wide double lot ---more than twice the size of 645 Duncan--- and is a four story, two unit building.

Interestingly, when 625 Duncan was built five years ago, Planning imposed a number of design changes to meet Residential Design Guidelines. These included various setbacks that created a terraced effect on the hillside and broke up the impact of mass. No such setbacks have been imposed on the project at 645.

The project sponsor has identified himself as a developer with a desire to maximize his return on investment. It is clear from the design that the strategy has been to maximize square footage with no consideration for the impact on the neighbors. DNA believes with certain adjustments to the proposed design it is possible to create a house that is of equal or greater value and still in harmony with the neighbors who will have to live with the house long after the developer has moved on.

We have worked in cooperation with the DR applicant whose architect will provide specific examples of the types of changes we support. Basically, we are asking that the 5th floor be eliminated and that the 3rd and 4th floors be setback so that they are stepped up the hill toward the rear of the property. This will reduce the impact of the building's mass at the street and on the neighboring properties. It will also align better with the varying setbacks of nearby houses.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink that reads "Deanna Mooney". The signature is fluid and cursive, with the first name "Deanna" written in a larger, more prominent script than the last name "Mooney".

Deanna Mooney
DNA Co-Director

A handwritten signature in black ink that reads "Diane McCarney". The signature is fluid and cursive, with the first name "Diane" written in a larger, more prominent script than the last name "McCarney".

Diane McCarney
DNA Co-Director

September 9, 2013

To: DR Review Committee
From: James Beal
RE: Proposed Plan for 645 Duncan

I live diagonally across the street from the proposed structure at 645 Duncan.

I am very concerned about the precedent this extraordinarily out-of-scale concrete structure will establish.

Developer-driven boxes designed solely to maximize profit are not new to the city. However, they invariably leave neighborhoods permanently altered for the worse, destroying the historic character of the city and setting a precedent that future developers will exploit to their advantage.

When a developer seeks to push both height and lot line footprint boundaries, skeptics might view that as a thinly-disguised attempt to over-design in hopes of creating the appearance of concession-making, by giving up one or the other. Instead, the planning department should not be focusing on whether a "concession" was made, but rather on whether **either** the proposed height or the lot footprint-pushing design is appropriate to the scale and character of the neighborhood.

This particular residential area is not zoned multi-tenant; one wonders if that is what a future homeowner might have in mind. Any design that lends itself to being subdivided into separate units should be carefully scrutinized and any permit granted should contain an express statement that it is not zoned for multi-tenant use.

The proposed plan I saw appeared to make no attempt whatsoever to preserve any of the natural landscape of the hillside as seen from the street, replacing trees and indigenous plants with concrete. If that is the case, the design is out of step with its adjacent neighbors to the west, each of which have preserved large natural elements of the hill.

Please consider the ramifications of this plan on the neighborhood, its long-term residents, and the character of the community it will inexorably impact.

Thank you for your consideration,



James Beal
74 Newburg St
San Francisco, CA 94131

Noe Valley Neighbors

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

I want you to know that I strongly oppose the construction of a proposed five story home in Noe Valley at 645 Duncan Street. The scale and design elements of this building are extremely out of character with the neighborhood and are not consistent with the requirements of the San Francisco Residential Design Guidelines.

Please respect our right to maintain the character of our wonderful neighborhood by voting to oppose the developer.

Signatures

10 Hand Signed (attached)

346 Signed Online (attached)

356 Total Signatures

Noe Valley Neighbors

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

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André Milfay

Singature

Printed Name:

André MILFAY

Address

Noe Valley Neighbors

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Singature

Printed Name:



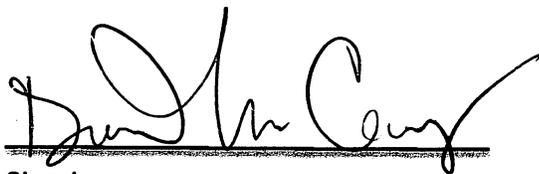
Address

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

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Singature

Printed Name:

DIANE M^cCARNEY

Address

657 Duncan St.
San Francisco, CA
94131

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

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Signature

Printed Name: CHARLES BYRON STECKLEIN

1500 DIAMOND ST.

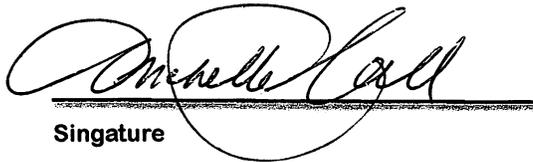
Address

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

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Michelle S. Call

Signature

Printed Name:

Michelle S. Call

Address 1500 Diamond St.

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

I want you to know that I strongly oppose the construction of a proposed five story home in Noe Valley at 645 Duncan Street. The scale and design elements of this building are extremely out of character with the neighborhood and are not consistent with the requirements of the San Francisco Residential Design Guidelines.

Please respect our right to maintain the character of our wonderful neighborhood by voting to oppose the developer.



Signature

Printed Name: Graley Britto

615 Duncan St., SF CA 94131

Address

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

I want you to know that I strongly oppose the construction of a proposed five story home in Noe Valley at 645 Duncan Street. The scale and design elements of this building are extremely out of character with the neighborhood and are not consistent with the requirements of the San Francisco Residential Design Guidelines.

Please respect our right to maintain the character of our wonderful neighborhood by voting to oppose the developer.



Signature

Printed Name: James P. Kren

554 DUNCAN ST.

Address

Noe Valley Neighbors

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

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Please respect our right to maintain the character of our wonderful neighborhood by voting to oppose the developer.

Singature

Susan Koo

Printed Name:

Susan Koo

Address

*548 Duncan St. #201
San Francisco, CA 94131*

Recipient: Rodney Fong, Doug Vu, and Scott Wiener

Letter: Greetings,

I want you to know that I strongly oppose the construction of a proposed five story home in Noe Valley at 645 Duncan Street. The scale and design elements of this building are extremely out of character with the neighborhood and are not consistent with the requirements of the San Francisco Residential Design Guidelines.

Please respect our right to maintain the character of our wonderful neighborhood by voting to oppose the developer.

Pauline Jovanov

Signature

Printed Name: PAULINE JOVANOV

657 DUNCAN ST. SF.

Address

Signatures: 346 Online

Name	Location	Date
Bruce Gilpin		2013-08-24
Matt Babinet	San Francisco, CA, United States	2013-08-24
Dale Milfay	San Francisco, CA, United States	2013-08-24
Helen Faibish	San Francisco, CA, United States	2013-08-24
Paula Pagano	San Francisco, CA, United States	2013-08-24
Gralen Britto	San Francisco, CA, United States	2013-08-24
Paul Moreno	San Francisco,	2013-08-24
Andre Milfay	San Francisco, CA, United States	2013-08-24
Chris Stover	San Francisco, CA, United States	2013-08-25
John Bryant	San Francisco, CA, United States	2013-08-26
morgan kanae	hanford, CA, United States	2013-08-26
Christian Meyers	San Francisco, CA, United States	2013-08-26
Shawne Benson	San Francisco, CA, United States	2013-08-26
barbara savitz	s.f., CA, United States	2013-08-26
Liliane Ninaud	San Francisco, CA, United States	2013-08-26
Rudolf Frieling	San Francisco, CA, United States	2013-08-26
Sybille Weber-Frieling	San Francisco, CA, United States	2013-08-26
Nicole C. Raeburn, Ph.D.	San Francisco, CA, United States	2013-08-26
Andrea Shepard	San Francisco, CA, United States	2013-08-26
Todd Snyder	San Francisco, CA, United States	2013-08-26
Emme Levine	San Francisco, CA, United States	2013-08-26
Valerie Perring	San Francisco, CA, United States	2013-08-26
Pamela Robbins	San Francisco, CA, United States	2013-08-26
Dom Vokic	San Francisco, CA, United States	2013-08-26
Charlene Kahler	San francisco, CA, United States	2013-08-26
Jennifer Nielsen	San Francisco, CA, United States	2013-08-26
Lynne Coulson	San Francisco, CA, United States	2013-08-27
Sean Tergis	San Francisco, CA, United States	2013-08-27
Barbara Russell	San Francisco, CA, United States	2013-08-27
Pam Boland	Grovetown, GA, United States	2013-08-27

Name	Location	Date
David Roos	San Francisco, CA, United States	2013-08-27
cynthia gregory	San Francisco, CA, United States	2013-08-27
Michael Miller	San Francisco, CA, United States	2013-08-27
Ankur Varma	San Francisco, CA, United States	2013-08-28
Diane Carr	San Francisco, CA, United States	2013-08-28
Emily De La Rosa	San Francisco, CA, United States	2013-08-28
Michael Yang	San Francisco, CA, United States	2013-08-28
Rebecca Eisenberg	San Francisco, CA, United States	2013-08-28
Liana tergis	San Francisco, CA, United States	2013-08-30
Michael Davidson	San Francisco, CA, United States	2013-09-02
Susan McGowan	San Francisco, CA, United States	2013-09-02
Lori Williams	SF, CA, United States	2013-09-02
Nancy Griffin	San Francisco, CA, United States	2013-09-02
cecilia joyce	san francisco, CA, United States	2013-09-02
Kathleen Price	San Francisco, CA, United States	2013-09-02
Edith Derrada	San Francisco, CA, United States	2013-09-02
Bradley Bettinger	San Francisco, CA, United States	2013-09-02
Jennifer Marler	San Francisco, CA, United States	2013-09-02
Robin Ryan	San Francisco, CA, United States	2013-09-02
Richard minnier	San Francisco, CA, United States	2013-09-02
dana mullaney	san francisco, CA, United States	2013-09-02
Suzanne Jonson	San Francisco, CA, United States	2013-09-02
Jane Jacobs	San Francisco, CA, United States	2013-09-02
Suzanne Jonson	Sana Francisco, CA, United States	2013-09-02
Rose Taylor	San Francisco, CA, United States	2013-09-02
Falk Cammin	San Francisco, CA, United States	2013-09-02
Lissalvy Tiegel	San Francisco, CA, United States	2013-09-02
colin thurlow	san francisco, CA, United States	2013-09-02
Lucy Hilmer	San Francisco, CA, United States	2013-09-02
Bonnie Schindhelm	San Francisco, CA, United States	2013-09-02
Paul Gross	San Francisco, CA, United States	2013-09-02
Laura Kasimatis	San Francisco, CA, United States	2013-09-02

Name	Location	Date
Don Dodge	San Francisco, CA, United States	2013-09-02
Douglas Stouffer	San Fancisco, CA, United States	2013-09-02
Betsy Dalpino	San Rafael, CA, United States	2013-09-02
anne odriscoll	San Francisco, CA, United States	2013-09-02
Lisa Brinker	San Francisco, CA, United States	2013-09-02
Jan Robbins	San Francisco, CA, United States	2013-09-02
Susan Sanford	San Francisco, CA, United States	2013-09-02
M May	SF, CA, United States	2013-09-02
margaret omalley	san francisco, CA, United States	2013-09-02
Michael Hagerty	San Francisco, CA, United States	2013-09-02
Lola Bice	san francisco, CA, United States	2013-09-02
Nina Saltman	San Francisco, CA, United States	2013-09-02
Rob Ach	San Francisco, CA, United States	2013-09-02
Jean Mileff	San Francisco, CA, United States	2013-09-02
David Austin	San Francisco, CA, United States	2013-09-02
Maureen OMalley	San Francisco, CA, United States	2013-09-02
Barbara Riccardi	San Francisco, CA, United States	2013-09-02
Maria Fridman	San Francisco, CA, United States	2013-09-02
Danika Maddocks	San Francisco, CA, United States	2013-09-02
John Gilliland	San Francisco, CA, United States	2013-09-02
mel wong	San Francisco, CA, United States	2013-09-02
Jim Constantine	San Francisco, CA, United States	2013-09-02
Dorothy L Davies	San Francisco, CA, United States	2013-09-02
Jessica Hughes	San Francisco, CA, United States	2013-09-02
Irene Flores	San Francisco, CA, United States	2013-09-02
Paisha Rochlin	San Francisco, CA, United States	2013-09-02
edward craine	san francisco, CA, United States	2013-09-02
Rachel Ratliff	San Francisco, CA, United States	2013-09-02
Linda Carlson	New York, NY, United States	2013-09-02
Jan-Marie Bannon	San Francisco, CA, United States	2013-09-02
George Carter	San Francisco, CA, United States	2013-09-02
Patrick Monk.RN.	SF, CA, United States	2013-09-02

Name	Location	Date
Loic Olichon	San Francisco, CA, United States	2013-09-02
Cary Friedman	San francisco, CA, United States	2013-09-02
Raj Patel	San Francisco, CA, United States	2013-09-02
Kristi Kennedy	San Francisco, CA, United States	2013-09-02
Lynda Preston	San Francisco, CA, United States	2013-09-02
James Raymond	San Francisco, CA, United States	2013-09-02
Diana Halfmann	San Francisco, CA, United States	2013-09-02
Susan Knecht	San Francisco, CA, United States	2013-09-02
Wendy McClure	San Francisco, CA, United States	2013-09-02
Shane Collins	San Francisco, CA, United States	2013-09-02
David Desler	San Francisco, CA, United States	2013-09-02
Cheryl LaBrecque	San Francisco, CA, United States	2013-09-02
Bryndon Hassman	San Francisco, CA, United States	2013-09-02
Robert Gibson	San Francisco, CA, United States	2013-09-02
Leslie Campbell	San Francisco, CA, United States	2013-09-02
Geoffrey Gallegos	San Francisco, CA, United States	2013-09-02
Barbara Levy	San Francisco, CA, United States	2013-09-02
Cloud Galanes-Rosenbaum	San Francisco, CA, United States	2013-09-02
Laurie Bushman	San Francisco, CA, United States	2013-09-02
John Charles	San Francisco, CA, United States	2013-09-02
Jennifer Wang	San Francisco, CA, United States	2013-09-02
Chris Correale	San Francisco, CA, United States	2013-09-02
Leslie Stupple	San Francisco, CA, United States	2013-09-02
Warren Saunders	San Francisco, CA, United States	2013-09-02
nathan vogel	San Francisco, CA, United States	2013-09-02
Terrrie Frye	San Francisco, CA, United States	2013-09-02
川崎 久美子	sf, CA, United States	2013-09-02
eugenia polos	san francisco, CA, United States	2013-09-02
Denise Dunne	San Francisco, CA, United States	2013-09-02
Marilee Hearn	San Francisco, CA, United States	2013-09-02
Patti Oleon	San Francisco, CA, United States	2013-09-02
Samson Mitchell	San Francsico, CA, United States	2013-09-02

Name	Location	Date
Kelly Walker-Fisher	SAN FRANCISCO, CA, United States	2013-09-02
Patrick Power	San Francisco, CA, United States	2013-09-02
genevieve yuen	san francisco, CA, United States	2013-09-02
Joseph Redenius	San Francisco, CA, United States	2013-09-02
James Blackman	San Francisco, CA, United States	2013-09-02
David Meeker	San Francisco, CA, United States	2013-09-02
Jesselito Bie	San Francisco, CA, United States	2013-09-02
Mary Lu Christie	San Francisco, CA, United States	2013-09-02
William Fobert	San Francisco, CA, United States	2013-09-02
Darrin Martin	San Francisco, CA, United States	2013-09-02
Evelyn Hoffman	San Francisco, CA, United States	2013-09-02
Thomas Abels	San Francisco, CA, United States	2013-09-02
Carol Barnett	San Francisco, CA, United States	2013-09-02
Mary Sue Philp	San Francisco, CA, United States	2013-09-02
Patrick Storme	San Francisco, CA, United States	2013-09-02
Dvora Honigstein	San Francisco, CA, United States	2013-09-02
Sarah McCoy	San Francisco, CA, United States	2013-09-02
Gwen Kaplan	San Francisco, CA, United States	2013-09-02
Kenneth Quigley	San Francisco, CA, United States	2013-09-02
Susie Wong	San Francisco, CA, United States	2013-09-02
Eric Press	San Francisco, CA, United States	2013-09-02
Barbara Bannett	San Francisco, CA, United States	2013-09-02
michael mascioli	san francisco, CA, United States	2013-09-02
Chez Touchatt	San Francisco, CA, United States	2013-09-02
MD Lahey	San Francisco, CA, United States	2013-09-02
judy orloff	San Francisco,, CA, United States	2013-09-02
Dan Hubig	San Francisco, CA, United States	2013-09-02
Greg Roberts	San Francisco, CA, United States	2013-09-02
frank latko	san francisco, CA, United States	2013-09-02
Judi Lane	San Francisco, CA, United States	2013-09-02
Mark Olson	San Francisco, CA, United States	2013-09-02
Richard Morasci	San Francisco, CA, United States	2013-09-02

Name	Location	Date
Lauren Carbonell	San Francisco, CA, United States	2013-09-02
Peter Sexton	San Francisco, CA, United States	2013-09-02
Adam Cimino	San Francisco, CA, United States	2013-09-02
Christopher Cornish	S.F., CA, United States	2013-09-02
Charles Krausie	San Francisco, CA, United States	2013-09-02
Ann Zuppann	San Francisco, CA, United States	2013-09-02
Mark Van Slyke	San Francisco, CA, United States	2013-09-02
dawn Murayama	San Francisco, CA, United States	2013-09-02
Maia de Raat	San Francisco, CA, United States	2013-09-02
Cash Askew	San Francisco, CA, United States	2013-09-02
Darcy Hislop	san francisco, CA, United States	2013-09-02
Bob Macray	San Francisco, CA, United States	2013-09-02
Alexandra Jones	San Francisco, CA, United States	2013-09-02
Teresa Armstrong	San Francisco, CA, United States	2013-09-02
Chris Rollinson	San Francisco, CA, United States	2013-09-02
marc heide	san francisco, CA, United States	2013-09-02
erick kim	San Francisco, CA, United States	2013-09-02
Carlos Hoyos	San Francisco, CA, United States	2013-09-02
Gregory Coyle	San Francisco, CA, United States	2013-09-02
Sharon Houston	san francisco, CA, United States	2013-09-02
Denise Foley	San Francisco, CA, United States	2013-09-02
Joanna Venneri	San Francisco,, CA, United States	2013-09-02
Dorothy Brown	San Francisco, CA, United States	2013-09-02
Joel Flickinger	Oakland, CA, United States	2013-09-02
Krijn Mossel	San Francisco, CA, United States	2013-09-02
Frank May	San Francisco, CA, United States	2013-09-02
Andrew Hemmings	San Francisco, CA, United States	2013-09-02
Yefim Maizel	San Francisco, CA, United States	2013-09-02
Kerry V	San Francisco, CA, United States	2013-09-02
Judi Quigley	san francisco, CA, United States	2013-09-02
Amy Sullivan	San Francisco, CA, United States	2013-09-02
Brent Hatcher	San Francisco, CA, United States	2013-09-02

Name	Location	Date
Michael Kinsley	San Francisco, CA, United States	2013-09-02
Tony Sanders, PhD	san francisco, CA, United States	2013-09-02
Zelle Deazelle	France	2013-09-02
Booh Edouardo	San Francisco, CA, United States	2013-09-02
Rhodesa Jones	San Francisco, CA, United States	2013-09-02
Arthur Hilmoie-Javier	San Francisco, CA, United States	2013-09-02
Jayden Pace-Gallagher	San Francisco, CA, United States	2013-09-02
David Podger	San Francisco, CA, United States	2013-09-02
Katherine Kodama	SAN FRANCISCO, CA, United States	2013-09-02
Jeanne Koelling	San Francisco, CA, United States	2013-09-02
Sandra Ramo-Larios	San Francisco, CA, United States	2013-09-02
Martin Bigos	San Francisco, CA, United States	2013-09-02
Ana Bertran	San Francisco, CA, United States	2013-09-02
phyllis cardozo	san francisco, CA, United States	2013-09-02
Cesar Gonzalez	San Francisco, CA, United States	2013-09-02
Vlad Berov	San Francisco , CA, United States	2013-09-02
Norah McKinney	San Francisco, CA, United States	2013-09-02
Rosemary Prem	San Francisco, CA, United States	2013-09-02
Nicole Savage	San Francisco, CA, United States	2013-09-02
Elaine and Paul Gormsen	San Francisco, CA, United States	2013-09-02
Molly Trad	San Francisco, CA, United States	2013-09-03
Pat Mimeau	SF, CA, United States	2013-09-03
Susan Levy	San Francisco, CA, United States	2013-09-03
daniel killar	Pahoa, HI, United States	2013-09-03
Trina Robbins	San Francisco, CA, United States	2013-09-03
Gerald Moore	San Francisco, CA, United States	2013-09-03
charles harris	sf, CA, United States	2013-09-03
Maria Thompson	San Francisco, CA, United States	2013-09-03
Richard Terdiman	San Francisco, CA, United States	2013-09-03
John Southard	San Francisco, CA, United States	2013-09-03
William Lerrigo	San Francisco, CA, United States	2013-09-03
Sandy Farrow	San Francisco, CA, United States	2013-09-03

Name	Location	Date
Michelle Black	San Francisco, CA, United States	2013-09-03
Katie Zuppann	San Francisco, CA, United States	2013-09-03
Tracy Edwards	San Francisco, CA, United States	2013-09-03
Charles Anderson	San Francisco, CA, United States	2013-09-03
Richard Sherry	San Francisco, CA, United States	2013-09-03
Brooke Ashton	sanStSan Francisco, CA, United States	2013-09-03
Mabel Chau	San Francisco, CA, United States	2013-09-03
Nathan Maton	San Francisco, CA, United States	2013-09-03
Abby Swington	San Francisco, CA, United States	2013-09-03
Stacy Thompson	San Francisco, CA, United States	2013-09-03
Helen Loeser	San Francisco, CA, United States	2013-09-03
Ann Ford	san Francisco, CA, United States	2013-09-03
Erica Katz	San Francisco, CA, United States	2013-09-03
Colin Stuart	SF, CA, United States	2013-09-03
Elizabeth Eddy	San Francisco, CA, United States	2013-09-03
Janice Miller	San Francisco, CA, United States	2013-09-03
Dana Thomas	San Francisco, CA, United States	2013-09-03
Rosalinda Licea-Brady	san francisco, CA, United States	2013-09-03
sue appelbaum	san francisco, CA, United States	2013-09-03
Marvin Lehrman	SF, CA, United States	2013-09-03
Edwina Smith	San Franciscxo, CA, United States	2013-09-03
Wesley Miyazaki	San Francisco, CA, United States	2013-09-03
William Raymond	San Francisco, CA, United States	2013-09-03
cecilia brunazzi	San Francisco, CA, United States	2013-09-03
Robert Dowler	San Francisco, CA, United States	2013-09-03
Barb Singleton	San Francisco, CA, United States	2013-09-03
Sophie Jasson-Holt	San Francisco, CA, United States	2013-09-03
frances payne	San Francisco, CA, United States	2013-09-03
Martti Roslakka	San Francisco, CA, United States	2013-09-03
dana geller	san francisco, CA, United States	2013-09-03
Renee Razzano	San Francisco, CA, United States	2013-09-03
Jim Lynch	San Francisco, CA, United States	2013-09-03

Name	Location	Date
Marguerite Scott	San Francisco, CA, United States	2013-09-03
Reginald Stocking II	San Francisco,, CA, United States	2013-09-03
Bojana Simova	san francisco, CA, United States	2013-09-03
Lisa McCray	San Francisco, CA, United States	2013-09-03
Jon Ralston	San Francisco, CA, United States	2013-09-03
Timothy DuFour	San Francisco, CA, United States	2013-09-03
Jean Ramirez	San Francisco, CA, United States	2013-09-03
Beth Karpfinger	San Francisco, CA, United States	2013-09-03
Marc Hawthorne	San Francisco, CA, United States	2013-09-03
J Landucci	San Francisco, CA, United States	2013-09-03
Lisa Henderson	San Francisco, CA, United States	2013-09-03
Charlie K	San Francisco, CA, United States	2013-09-03
Roberto Lartigue	San Francisco, CA, United States	2013-09-03
Russell Mills	san francisco, CA, United States	2013-09-03
Jason Bryant	San Francisco, CA, United States	2013-09-03
Sarah Slaughter	San Francisco, CA, United States	2013-09-03
Duane Vogel	San Francisco, CA, United States	2013-09-03
Ian Haddow	San Francisco, CA, United States	2013-09-03
Jenn Harris	San Francisco, CA, United States	2013-09-03
Michael Burke	San Francisco, CA, United States	2013-09-03
Veronika Fimbres	San Francisco, CA, United States	2013-09-03
Juanita Rusev	San Francisco, CA, United States	2013-09-04
Jon Fox	San Francisco, CA, United States	2013-09-04
Anthony Rhody	San Francisco, CA, United States	2013-09-04
Paul Romano	San Francisco, CA, United States	2013-09-04
Donald Gibson	San Francisco, CA, United States	2013-09-04
Helen Phung	San Francisco, CA, United States	2013-09-04
Jamie Pearlstein	San Francisco, CA, United States	2013-09-04
Joanna Lynch	San Francisco, CA, United States	2013-09-04
Jeff Pekrul	San Francisco, CA, United States	2013-09-04
Martha Curtis	San Francisco, CA, United States	2013-09-04
Alexei Lukban	San Francisco, CA, United States	2013-09-04

Name	Location	Date
chuck kwan	San Francisco, CA, United States	2013-09-04
amanda schiff	san francisco, CA, United States	2013-09-04
Marlene Perl	San Francisco, CA, United States	2013-09-04
yehuda folberg	San Francisco, CA, United States	2013-09-04
Becca Nitzan	San Francisco, CA, United States	2013-09-04
Nancy Hornor	San Francisco, CA, United States	2013-09-04
Norman Kman	San Francisco, CA, United States	2013-09-04
Curt Schmelzel	San Francisco, CA, United States	2013-09-04
Susan Detwiler	San Francisco, CA, United States	2013-09-04
Leslie Koelsch	San Francisco, CA, United States	2013-09-04
Rob Kane	San Francisco, CA, United States	2013-09-04
jim estes	San Francisco, CA, United States	2013-09-04
Krista Nordstrom	San Francisco, CA, United States	2013-09-04
Katie Warner	San Francisco, CA, United States	2013-09-04
Ian Barrera	San Francisco, CA, United States	2013-09-04
Lisa Eltinge	San Francisco, CA, United States	2013-09-04
Elizabeth Doerr	SAN FRANCISCO, CA, United States	2013-09-04
Jonathan Burton	San Francisco, CA, United States	2013-09-04
Koko Kittell	San Francisco, CA, United States	2013-09-04
Michael Bankert	San Francisco, CA, United States	2013-09-04
ann cromeey	San francisco, CA, United States	2013-09-04
Daniel Kallok	San Francisco, CA, United States	2013-09-04
Frank Adamson	San Francisco, CA, United States	2013-09-04
Bianca Hill	San Francisco, CA, United States	2013-09-04
Linda Dragavon	San Francisco, CA, United States	2013-09-04
Robert Dragavon	San Francisco, CA, United States	2013-09-04
jen harrison	San Francisco, CA, United States	2013-09-04
Domenic Viterbo	San Francisco, CA, United States	2013-09-04
katherine keon	san francisco, CA, United States	2013-09-04
Charlotte Hill	San Francisco, CA, United States	2013-09-04
Yuko Oda	San Francisco, CA, United States	2013-09-04
Mark Humphries	San Francisco, CA, United States	2013-09-04

Name	Location	Date
Lori Quick	Santa Cruz, CA, United States	2013-09-04
meredith charpantier	San Francisco, CA, United States	2013-09-04
Bob Alou	San Francisco, CA, United States	2013-09-05
April Berger	San Francisco, CA, United States	2013-09-05
Chris Garvey	San Francisco, CA, United States	2013-09-05
sharla dashew	san francisco, CA, United States	2013-09-05
Kenneth Koehn	San Francisco, CA, United States	2013-09-05
Bob Elfstrom	San Francisco, CA, United States	2013-09-05
James Beal	San Francisco, CA, United States	2013-09-05
Linda rothfield	san francisco, CA, United States	2013-09-05
cynthia anderson	San Francisco, CA, United States	2013-09-05
Judith Hoyem	San Francisco, CA, United States	2013-09-05
Alicia Gamez	San Francisco, CA, United States	2013-09-06
Betty Blue	San Francisco, CA, United States	2013-09-06
Timothy & Sally Chew	San Francisco, CA, United States	2013-09-06
Pauline Kahney	San Francisco, CA, United States	2013-09-06
Claudia Praetel	San Francisco, CA, United States	2013-09-06
Arleene Drechsler	San Francisco, CA, United States	2013-09-06
Mary Strope	SF, CA, United States	2013-09-06
sophie curtis	san francisco, CA, United States	2013-09-06
Marc Snyder	San Francisco , CA, United States	2013-09-06
Sara Syer	San Francisco, CA, United States	2013-09-07
Janet Whalen	San Francisco, CA, United States	2013-09-08
Zach Cartozian	San Francisco, CA, United States	2013-09-09
nicole lambrou	san francisco, CA, United States	2013-09-09
Deniz Agi	San Francisco, CA, United States	2013-09-09
Wendy Bertrand	San Francisco, CA, United States	2013-09-10
Mine Ipek	San Francisco, CA, United States	2013-09-10
Daniel Buckler	San Francisco, CA, United States	2013-09-10

Comments

Name	Location	Date	Comment
Bruce Gilpin	San Francisco, CA	2013-08-24	A 4,800 square foot home does not belong on a 25 foot wide lot in Noe Valley - this is not SOMA. This building would be a disaster for the neighborhood and the neighbors, including me.
Dale Milfay	San Francisco, CA	2013-08-25	I have lived on Duncan St since 1974 when middle class families could still afford to live here. Now I would not be able to rent my own home, The open space on our hill would be filled with condos if the current planning commission had its way. At the same time those who are disabled and living on \$850 a month on SSI are being put onto the streets
Helen Faibish	San Francisco, CA	2013-08-25	Entirely out of scale with the neighborhood
Paul Moreno	San Francisco, CA	2013-08-25	This does not belong in Noe Valley!
Andre Milfay	San Francisco, CA	2013-08-25	I believe the developer only cares about profit rather than building in harmony with the neighborhood.
barbara savitz	san francisco, CA	2013-08-26	It looks cold and boxy. Doesn't fit the neighborhood architecture and flavor.
Liliane Ninaud	Covelo, CA	2013-08-26	We have a house behind Duncan St and are outraged by the scale of this new construction. It needs to be scaled down to preserve the quality of our dear neighborhood
Andrea Shepard	San Francisco, CA	2013-08-26	This McMansion is out of scale for the neighborhood and inconsistent with the existing architecture
Valerie Perring	San Francisco, CA	2013-08-26	The charm of this neighborhood is diminishing. No one wants another behemoth. If you want a big house, buy or build one in an appropriate neighborhood
Charlene Kahler	San francisco, CA	2013-08-26	I have lived in Noe Valley for over 30 years.
Barbara Russell	San Francisco, CA	2013-08-27	I lpye the San Francisco of old and it makes me so sad to see what it is headed toward. Cement and steel do not make beautiful homes.
Duane Carr	San Francisco, CA	2013-08-28	This yet another huge building totally out of character with the neighborhood, where working class and middle class people were once able to afford to buy and/or rent.
Michael Yang	San Francisco, CA	2013-08-28	This proposed home is too large and out of place for the neighborhood given its lot location & size. It's also very inconsiderate to the neighborhood and neighbors.
Liana tergis	San Francisco, CA	2013-08-30	Out of place for the neighborhood and it's UGLY.....
Kathleen Price	San Francisco, CA	2013-09-02	This building is completely out of scale with the neighborhood.
Richard minnier	San Francisco, CA	2013-09-02	i live on Sanchez street and been in city 43 years ,It doesn't seem like a good match next to 2-3 story homes in our neighborhood
anne odriscoll	San Francisco, CA	2013-09-02	The trend of building enormous homes in our neighborhoods on lots designed for cottages is appalling!Corona Heights and the Castro are seeing this same alarming trend by developers.
margaret omalley	san francisco, CA	2013-09-02	Once precedent is made that sets a new direction follows, planning dept members change and new ones won't remember why this one was allowed. These 5 story homes on 25 foot wide lots will over shadow their neighbors stealing light and diminishing the character of this neighborhood.
Jean Mileff	San Francisco, CA	2013-09-02	This is yet another attempt to build a house in our neighborhood that is out of scale and out of character with the neighborhood. The resulting loss of open space and light will have a large negative effect on the surrounding homes.

Name	Location	Date	Comment
Cary Friedman	San francisco, CA	2013-09-02	The planning commission will approve anything, it is all about the money, just look at Noe Valley and how it has changed. Entitled computer rich people have built monstrously big and ugly homes to show off and exhibit their lack of taste and concern for the community.
Leslie Campbell	San Francisco, CA	2013-09-02	I have lived in Noe Valley since 1979 and have been watching its humble working class/middle class character change radically. Monster houses would not fit in and would open the door to many more, making the neighborhood less and less affordable and diverse and changing its character forever. Someone who wants a bighouse can find one already built in Pacific Heights, Sea Cliff, on Lake Street, etc.
John Charles	San Francisco, CA	2013-09-02	San Francisco is not Hong Kong! STOP INSANE 5 STORY NOW!
Laurie Bushman	San Francisco, CA	2013-09-02	The buildings are getting bigger and bigger. The views and the neighborhoods are paying the price.
Leslie Stupple	San Francisco, CA	2013-09-02	Someone's getting rich on the SF Planning Commission. ENOUGH already. Not just the charm of our Fair City...how about the impacted population?
Warren Saunders	San Francisco, CA	2013-09-02	As a homeowner in Noe Valley, I am concerned that the this would open the floodgates to more large-scale developments. I understand the drive to maximize use of available square-footage, but this size is not conducive to this particular street.
eugenia polos	san francisco, CA	2013-09-02	my neighborhood
Denise Dunne	San Francisco, CA	2013-09-02	I have lived in Noe Valley for the last 31 years. Allowing the building of a 5 story building would greatly alter this neighborhood and many residents will loose their views. I and many of my neighbors cherish our sunlight, views and the quaintness of our neighborhood.
genevieve yuen	san francisco, CA	2013-09-02	keep the balance and beauty of Noe Valley intact. bigger doesn't mean better. Do the Right Thing.
Mary Lu Christie	San Francisco, CA	2013-09-02	I have lived in the city since 1968. Gradually In every neighborhood the Planning Commission has let developers and wealthy homeowners build huge or modern structures that are completely out of character w the neighborhood. I support every principle noted in the neighborhood letter. I live nearby and shop in Noe Valley every weekend. Please preserve the character of Noe Valley and do not allow this 5 story home to be built.
Dvora Honigstein	San Francisco, CA	2013-09-02	Noe Valley is one of the truly lovely neighborhoods in SF and it is so in part because it is a lower density area. It's a tourist destination known for it's charm. Many storied buildings would change that dramatically. Please change the plans for this property.
Kenneth Quigley	San Francisco, CA	2013-09-02	The proposed building is a monstrosity, visible and spoiling the view from several streets away. It stands out very badly from the rest of the neighborhood, taking huge amounts of light and air from the neighbors. Of course, if this is approved it will be used as a precedent to justify other horrors. It needs to stop here and now.
Susie Wong	San Francisco, CA	2013-09-02	We have lived in NV for over 20 years and would hate to see the neighborhood lose it's charm and character. If these out of proportion homes continue to enter our neighborhood there will be no neighborhood it will become just like the suburbs with the McMansions.

Name	Location	Date	Comment
judy orloff	S.F., CA	2013-09-02	I love the little park next to this property with its sweet wildlife that will be so disturbed. Like many others I use the path and stairs alongside this property that is a breath of country in the city. A five story building will forever alter this little oasis for the worse. Please don't allow the building of something that is so out of character with this special place.
Mark Olson	San Francisco, CA	2013-09-02	Because the Manhattanization of our neighborhoods is destroying San Francisco.
Richard Morasci	San Francisco, CA	2013-09-02	I'm a native San Franciscan and have seen many good and bad changes to the city. This is a bad change. Who on God's earth needs a 5-story home? And in Noe Valley?
Charles Krausie	San Francisco, CA	2013-09-02	I've watched the character of my neighborhood and SF in general deteriorate over the last 30 years. We must save what is left! Stop this outrageous insult to our community.
Ann Zuppann	San Francisco, CA	2013-09-02	The character of the neighborhood needs to be maintained. And others views need to be protected. the privatization of whole areas of the city is not to be encouraged.
Mark Van Slyke	San Francisco, CA	2013-09-02	Do we really need more insanely rich egomaniacs taking over this town?
dawn Murayama	San Francisco, CA	2013-09-02	Once again the Planning Commission continues to go against raising the height of single family residences.
marc heide	san francisco, CA	2013-09-02	this kind of change is not good...they should be made to dig down not build up if they need more space...
Denise Foley	San Francisco, CA	2013-09-02	Please do not build this 5 story monstrosity. Stop the corruption in the SF Planning Department. This type of thing is happening all over the City.
Joanna Venneri	San Francisco,, CA	2013-09-02	This mega mansion has no place in this neighborhood.
Michael Kinsley	San Francisco, CA	2013-09-02	Any 5-story structure would be TOTALLY out of character with the entire area.
Zelle Deazelle	New York, NY	2013-09-02	I'm a former resident of San Francisco and I think this has no place in the skyline.
David Podger	San Francisco, CA	2013-09-02	I'm not a NIMBY (can't be - I have a 3,000 sq ft house going up in the lot behind me on Fountain replacing a 1,500 sq ft property...), but the Duncan Street project is too much. Five story properties just don't belong in NV, and once precedent is established they will appear across the whole area.
Katherine Kodama	SAN FRANCISCO, CA	2013-09-02	I want to maintain the character of the neighborhood for the good of the city.
Jeanne Koelling	San Francisco, CA	2013-09-02	I live uphill from this site. This structure will be totally out of character for that location.
Martin Bigos	San Francisco, CA	2013-09-02	This is totally out of character for this area of SF.
Vlad Berov -may	San Francisco, CA	2013-09-02	Too big))) Blocked the view)))
Norah McKinney	San Francisco, CA	2013-09-02	Money talkS in this town so much that individual rights are trodden upon constantly lately. Please stop this insult to a beautiful community!
Pat Mimeau	SF, CA	2013-09-03	This will allow higher buildings. Don't allow this.
Trina Robbins	San Francisco, CA	2013-09-03	I hate all the ugly condos that are going up in my once-beautiful neighborhood. Let's preserve what's left!
charles harris	sf, CA	2013-09-03	this type of construction will start a "big house" race in which only the rich can participate. let the realtors and construction workers go and find work outside the City.

Name	Location	Date	Comment
Maria Thompson	San Francisco, CA	2013-09-03	I believe the beauty of SF is the old houses with character. I hate to see a home sold and then it is gutted and the inside is modern but the outside is left to match the other houses. WHY is that OK?
Helen Loeser	San Francisco, CA	2013-09-03	I walk by this curve almost daily, and enjoy teh many set-back older cottage-style homes that line the street for the most part. There is one behemoth at 4 floors on the east side of the proposed lot which dominates as far the biggest structure - certainly no new structure should be larger than that! what a terrible precedent that would set for changing this neighborhood of smaller, older homes set into hillsides and landscape!
marvin lehrman	San Francisco, CA	2013-09-03	This type of thing benefits only the builder - There are enough tall buildings going up right now in the Castro area, which are already ruining that neighborhood.
cecilia brunazzi	San Francisco, CA	2013-09-03	I think the historical character of Noe Valley should be preserved. I don't want to open the door to higher residential buildings. Also higher buildings of this nature can block air and light for the surrounding neighbors. It is a bad precedent.
Sophie Jasson-Holt	San Francisco, CA	2013-09-03	all kinds of building is going on in the upper market area. it's quite sad. why? because these are all homes only for the rich, enough said. what about a diverse and affordable san francisco
frances payne	San Francisco, CA	2013-09-03	I live in Noe Valley. I'd like to keep it Noe Valley.
Beth Karpfinger	San Francisco, CA	2013-09-03	I live in Noe and like the zoning rules that are in place. Allowing a 5 story house will change the quaint, neighborhood feel to our community.
Jon Ralston	San Francisco, CA	2013-09-03	Should not have any one home stand out so much like a huge retaining wall and block any views.
Lisa Henderson	San Francisco, CA	2013-09-03	Once this is approved we will be over run with 5 story houses.
Russell Mills	san francisco, CA	2013-09-03	Corrupt city politicians are trying to curry favor with the local construction industry by encouraging higher population density in the city. This is a huge mistake, with long-term ramifications. We must stop this reckless behavior now, stop it everywhere, and rid the city of these corrupt politicians at the next election.
Ian Haddow	San Francisco, CA	2013-09-03	I have chosen to live San Francisco for its uniqueness. I care to keep it unique. The proposed house looks banal and due to its large scale, it is banality on stereroids. Do the developer and the architect recognize they aren't in Kansas any longer?
Juanita Rusev	San Francisco, CA	2013-09-04	Any building that size is a monstrosity and does not belong in Noe Valley, a very special neighborhood of smaller dwellings.
Paul Romano	San Francisco, CA	2013-09-04	There are always 'justifications' for the entry of the camel's nose into the tent, but the end result is always the same: a precedent is created and the will of the many is sacrificed to the greed or whim of the few. Noe Valley is a *neighborhood*, and scale is a critical component of the atmosphere that makes a neighborhood possible & sustainable. This project would mark the willingness of the current Planning Commission to toss aside such considerations, in exchange for which the neighborhood would gain...what?
Helen Phung	San Francisco, CA	2013-09-04	I want everyone who chooses to live here the luxury of the views/landscapes that drew them here to begin with.
Nancy Hornor	San Francisco, CA	2013-09-04	Neighborhood character, sun, shadow, wind and precedent are all factors in my concerns about this project.

Name	Location	Date	Comment
Norman Kman	San Francisco, CA	2013-09-04	Keep the character of Noe Valley intact. Let them build SOMA.
Elizabeth Doerr	SAN FRANCISCO, CA	2013-09-04	As a long time resident of the Castro, I am concerned that the quality of our neighborhood will be compromised. Our residential streets are special places, and their charm draws new neighbors and visitors alike. The proposed construction is not in keeping with our neighborhood, and belongs in neighborhoods where large scale buildings are common, such as Pacific Heights. Elizabeth Doerr
ann cromeey	San francisco, CA	2013-09-04	It's important to preserve the scale and character of Noe Valley.
Mark Humphries	San Francisco, CA	2013-09-04	There are other large homes in the neighborhood, but none with so much bulk on such a small plot. This project would change the nature of the neighborhood, and the developer won't care because he doesn't live here!
Chris Garvey	San Francisco, CA	2013-09-05	Let's keep Noe Valley and SF looking like the beautiful setting they are, not like (fill in any modern ugly city here).
James Beal	San Francisco, CA	2013-09-05	I live across the street; it is an enormously out-of-scale concrete behemoth which utterly obliterates all natural aspects of what was a beautiful hill. It also sets a precedent for even more unsightly, dollars-at-any-cost developer driven boxes. This area is not zoned for multi-tenant; one wonders if that is what a future homeowner might have in mind
Judith Hoyem	San Francisco, CA	2013-09-05	Overbuilding of single family homes in the neighborhoods is unacceptable. It makes the City unaffordable for the middle class.
Zach Cartozian	San Francisco, CA	2013-09-09	Too large
Deniz Agi	San Francisco, CA	2013-09-09	This proposed structure is out of place and will reduce the charm of the 600 block of Duncan Street as well as of Noe Valley. Its monstrous design and color will stand out like a sore thumb and ruin the charm of all of the other homes along the street. Pretty soon, if structures like this continue to come up in Noe Valley, it will start looking like downtown San Francisco. We won't have the different quaint neighborhoods in SF anymore.