



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: JANUARY 23, 2014

Date: January 16, 2014
Case No.: 2012.0818DDDDDDDDV
Project Address: 4546 19th STREET
Permit Application: 2012.06.25.3387
Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District
Block/Lot: 2700/012
Project Sponsor: Ferolyn Powell
55 Caselli Street
San Francisco, CA 94114
Staff Contact: Michael Smith – (415) 558-6322
michael.e.smith@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposal is to significantly alter the building's exterior elevations, add a second dwelling unit, add a one-story vertical addition, develop the top of the rear garage with roof deck open space, and add a rear horizontal addition that would connect the residential building to the detached garage at the rear of the lot. The connection between the residential building and the garage would be located partially below grade. The proposed addition would add approximately 9.5' to the height of the building and 2,285 square-feet of habitable area to the existing building. The primary dwelling would have 2,967 square-feet of habitable area and the secondary dwelling unit would have 656 square-feet of habitable area. The project requires a rear yard variance for the roof deck and below grade connection between the structures. The project was originally noticed to the public as being tantamount to demolition but after staff's review of additional materials that were submitted by the project architect it was determined that the project was not tantamount to demolition.

SITE DESCRIPTION AND PRESENT USE

The subject property is located on the north side of 19th Street, between Douglass Street and Lamson Lane, within the Eureka Valley neighborhood. The subject lot measures 25 feet in width and 116 feet in depth and slopes down towards the rear property line. The subject property is improved with a single-family dwelling that was constructed in 1923 and a detached one-story, garage located at the rear of the lot. The detached garage is a wood framed, flat roofed structure designed in a utilitarian style. The residence is a two-story, wood-framed, single-family dwelling with no discernible architectural style. According to the project architect, the dwelling has three bedrooms and one bathroom within 1,625 square-feet of habitable area. The subject building has had its original ornamentation removed and is clad in vinyl siding on its west and north elevations.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The surrounding neighborhood is residential in nature and characterized by a mix of multi-story, single-family and multi-family dwellings. All of the lots on the 4500 block of Eureka Street are laterally sloping, following the slope of 19th Street as it rises to the west. The properties on the north side of the block slope down from the street. The properties on the south side of the block (across the street from the subject property) slope up from the street. The subject property is one in a row of 22 nearly identical buildings that were constructed by the same developer; however, there is no predominant architecture style on the subject block as many buildings within the grouping have been altered.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	5/23/2013 – 6/22/2013	6/14/2013	1/23/2014	220 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	1/13/2014	1/13/2014	10 days
Mailed Notice	10 days	1/13/2014	1/9/2014	14 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		1	
Other neighbors on the block or directly across the street		7	
Neighborhood groups		1	

The DR requestor submitted a petition signed by 21 neighbors who live within the 200 block of Eureka Street and who are opposed to the project because of its overall building scale.

The Eureka Valley Promotion Association (EVNA) has expressed opposition to the project.

DR REQUESTORS

John Kalucki, occupant at 98 Seward Street, located across the street and southwest of the subject property.

Nancy Ramamurthi, occupant at 4582 19th Street, located a few properties to the south of the subject property.

Kenneth Kalstein, occupant at 4565 19th Street, located across the street and southwest of the subject property.

Charnel Benner, occupant at 4552 19th Street, located across Lamson Lane to the west of the subject property.

James Carmody, occupant at 4529 19th Street, located across the street and southeast of the subject property.

Linda Tucker, occupant at 4547 19th Street, located across the street to the south of the subject property.

Bruno Olshausen, occupant at 4567 19th Street, located across the street to the south of the subject property.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Applications*.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated January 13, 2014.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

RDT reviewed the project in preparation for the DR hearing and determined that the proposed addition is compatible with the character of the neighborhood because:

- The scale and massing of the building are appropriate and consistent with the surrounding development and the midblock.
- The front of the building reads as a two-story structure with a setback top floor (12' setback to the top floor overhand, 15' to the main wall). The proposed height is appropriate for the corner lot location and is compatible with other taller buildings in the area.
- Although contemporary in their expression, the façade alterations are consistent with the features found in the surrounding neighborhood and are of high quality design. The materials (wood siding, aluminum windows, glass railings, stone accents) are materials that are present in the surrounding neighborhood.

For these reasons the project does not create any exceptional or extraordinary circumstances.

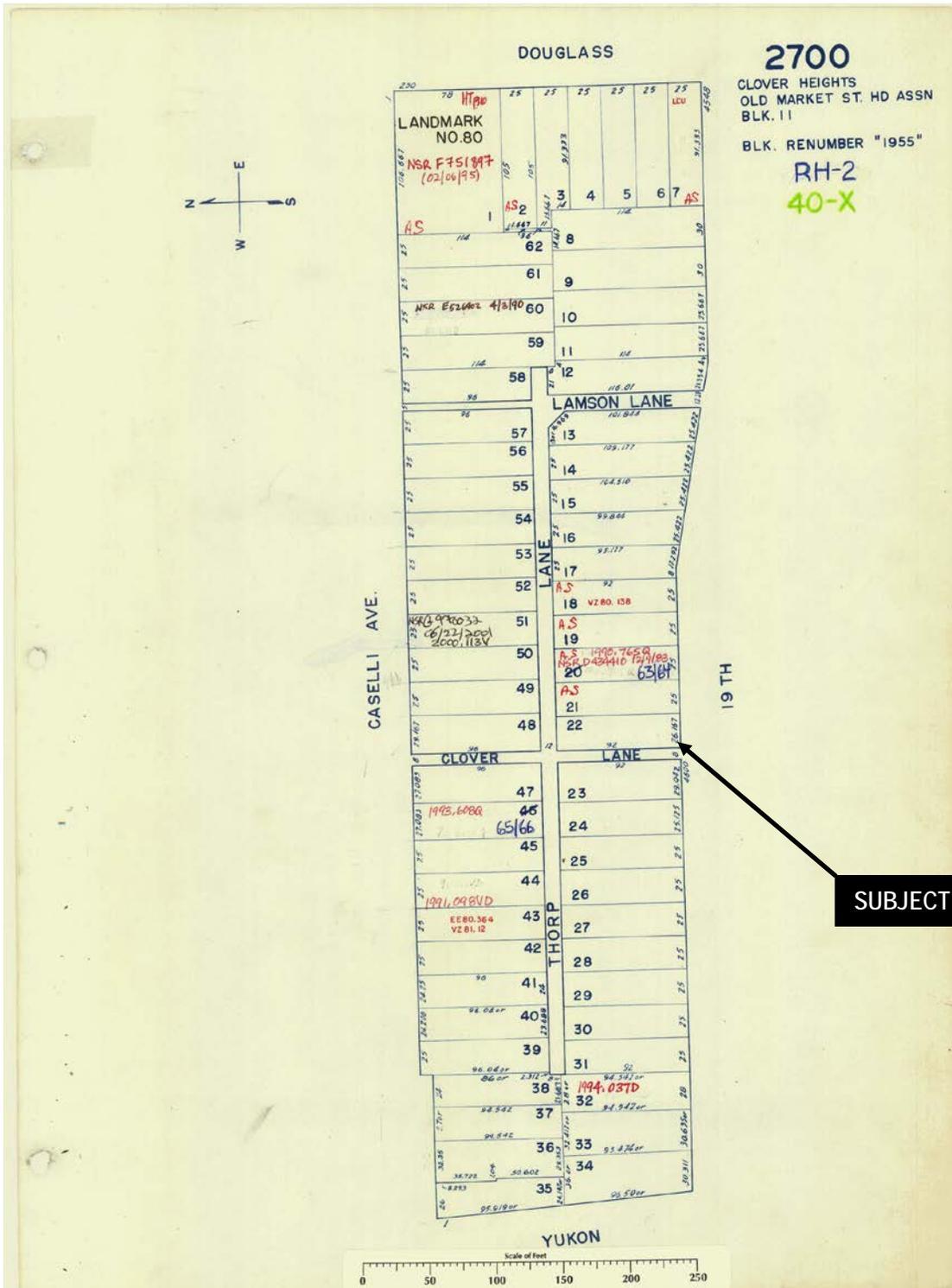
Under the Commission’s pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed

Attachments:

- Parcel Map
- Sanborn Map
- Aerial Photographs
- Section 311 Notice
- DR Applications
- Response to DR Applications
 - Context Photographs
 - Project Renderings
 - Reduced Plans

Parcel Map



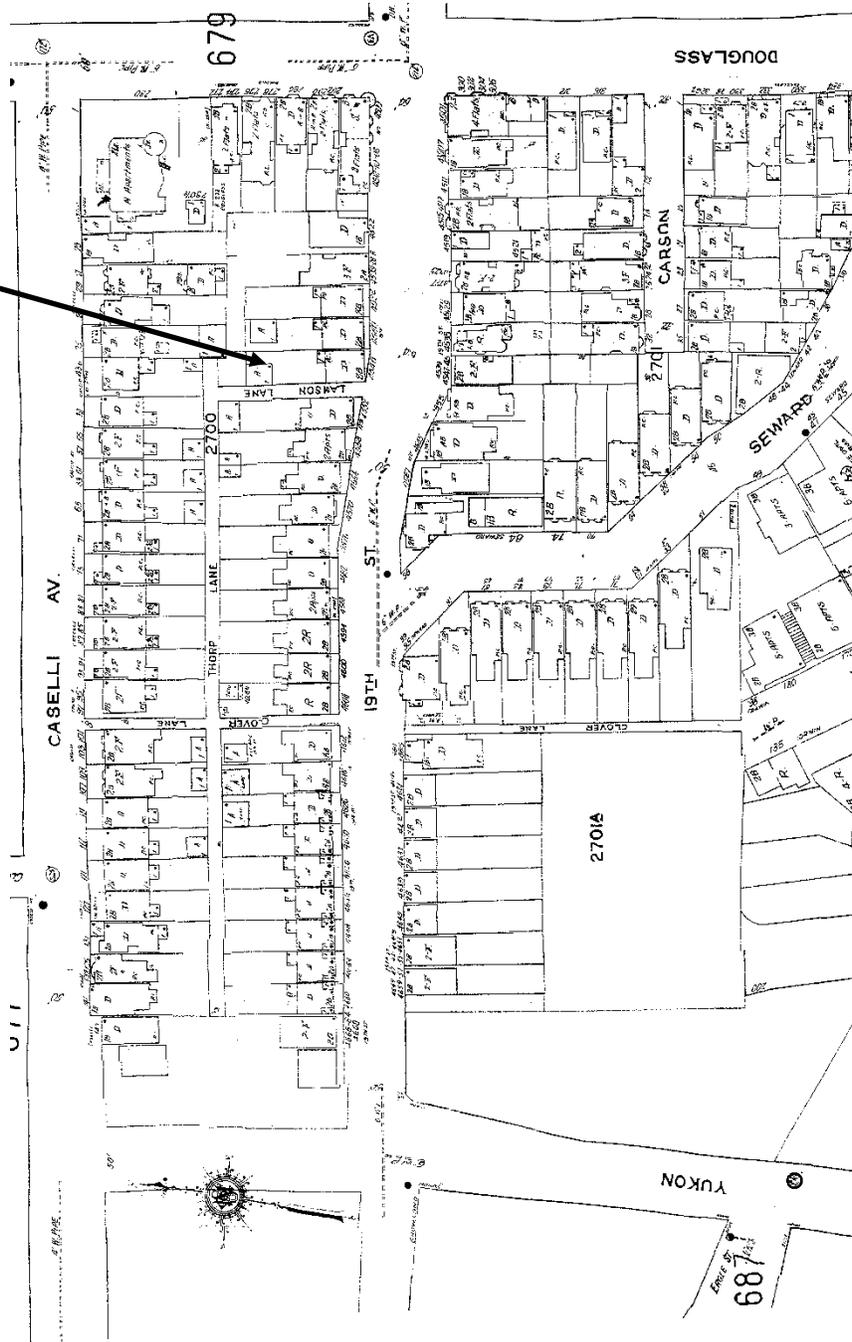
SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0818DV
4546 19th Street

Sanborn Map*

SUBJECT PROPERTY



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2013.0818DV
4546 19th Street

Aerial Photo

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0818DV
4546 19th Street

Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0818DV
4546 19th Street



CEQA Categorical Exemption Determination

SAN FRANCISCO
PLANNING
DEPARTMENT

Property Information/Project Description

PROJECT ADDRESS 4546 19th Street	BLOCK/LOT(S) 2700/012
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CASE NO. 2012.0818 E	PERMIT NO. 201200253387	PLANS DATED rev'd 3/9/2013
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Addition/ Alteration (detailed below)

Demolition (requires HRER if over 50 years old)

New Construction

STEP 1 EXEMPTION CLASS

Class 1: Existing Facilities
Interior and exterior alterations; additions under 10,000 sq.ft.; change of use if principally permitted or with a CU.

Class 3: New Construction
Up to three (3) single family residences; six (6) dwelling units in one building; commercial/office structures under 10,000 sq.ft.; accessory structures; utility extensions.

NOTE:
If neither class applies, an *Environmental Evaluation Application* is required.

STEP 2 CEQA IMPACTS (To be completed by Project Planner)

If ANY box is initialed below an *Environmental Evaluation Application* is required.

_____ **Transportation:** Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?

_____ **Air Quality:** Would the project add new sensitive receptors (specifically, schools, colleges, universities, day care facilities, hospitals, residential dwellings [subject to Article 38 of the Health Code], and senior-care facilities)?

_____ **Hazardous Materials:** Would the project involve 1) change of use (including tenant improvements) and/or 2) soil disturbance; on a site with a former gas station, auto repair, dry cleaners, or heavy manufacturing use, or on a site with underground storage tanks?
Phase I Environmental Site Assessment required for CEQA clearance (E.P. initials required)

_____ **Soil Disturbance/Modification:** Would the project result in the soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in non-archeological sensitive areas?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Archeological Sensitive Areas

_____ **Noise:** Does the project include new noise-sensitive receptors (schools, colleges, universities, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Noise Mitigation Area

_____ **Subdivision/Lot-Line Adjustment:** Does the project site involve a subdivision or lot-line adjustment on a lot with a slope of 20% or more?
Refer to: EP ArcMap > CEQA CatEx Determination Layers > Topography

CONTINUED ON PAGE 2

Slope = or > 20%: Does the project involve excavation, square footage expansion, shoring, underpinning, retaining wall work, grading – including excavation or fill?

Exceptions: Do not check box for work performed on previously graded level portion of site; stairs, patio, deck and fence work.

Geotechnical report required and a Certificate or higher level CEQA document required – File an Environmental Application

Seismic: Landslide Zone: Does the project involve excavation, square footage expansion, shoring, underpinning, retaining wall work, grading – including excavation and fill on a landslide zone – as identified in the San Francisco General Plan?

Exceptions: Do not check box for stairs, patio, deck and fence work.

Geotechnical report required and a Certificate or higher level CEQA document required – File an Environmental Application

Seismic: Liquefaction Zone: Does the project involve excavation, square footage expansion, shoring, underpinning, retaining wall work, grading – including excavation and fill on either seismic, flooding, or liquefaction zone?

Exceptions: Do not check box for stairs, patio, deck and fence work.

Geotechnical report will likely be required. File an Environmental Application

Serpentine Rock: Does the project involve any excavation in a property containing serpentine rock?

No exceptions.

File an Environmental Application to determine the applicable level of CEQA analysis

NOTE:

Project Planner must initial box below before proceeding to Step 3.

Project Can Proceed With Categorical Exemption Review.

The project does not trigger any of the CEQA Impacts and can proceed with categorical exemption review.

GO TO STEP 3

STEP 3 PROPERTY STATUS - HISTORICAL RESOURCE

Property is one of the following: (Refer to: San Francisco Property Information Map)

Category A: Known Historical Resource **GO TO STEP 5**

Category B: Potential Historical Resource (over 50 years of age) **GO TO STEP 4**

Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age) **GO TO STEP 6**

STEP 4 PROPOSED WORK CHECKLIST (To be completed by Project Planner)

If condition applies, please initial.

1. **Change of Use and New Construction** (tenant improvements not included).

2. **Interior alterations/interior tenant improvements.** Note: Publicly-accessible spaces (i.e. lobby, auditorium, or sanctuary) require preservation planner review.

3. **Regular maintenance and repair** to correct or repair deterioration, decay, or damage to the building.

4. **Window replacement** that meets the Department's *Window Replacement Standards* (does not include storefront window alterations).

5. **Garage work**, specifically, a new opening that meets the *Guidelines for Adding Garages and Curb Cuts*, and/or replacement of garage door in an existing opening.

6. **Deck, terrace construction, or fences** that are not visible from any immediately adjacent public right-of-way.

7. **Mechanical equipment installation** not visible from any immediately adjacent public right-of-way.

8. **Dormer installation** that meets the requirements for exemption from public notification under *Zoning Administrator Bulletin: Dormer Windows*.

9. **Additions** that are not visible from any immediately adjacent public right-of-way for 150' in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

NOTE:

Project Planner must check box below before proceeding.

Project is not listed:

GO TO STEP 5

Project does not conform to the scopes of work:

GO TO STEP 5

Project involves 4 or more work descriptions:

GO TO STEP 5

Project involves less than 4 work descriptions:

GO TO STEP 6

STEP 5

CEQA IMPACTS - ADVANCED HISTORICAL REVIEW

(To be completed by Preservation Planner)

If condition applies, please initial.

_____ 1. Project involves a **Known Historical Resource (CEQA Category A)** as determined by Step 3 and conforms entirely to Scope of Work Descriptions listed in Step 4. (Please initial scopes of work in STEP 4 that apply.)

_____ 2. **Interior alterations to publicly-accessible spaces.**

_____ 3. **Window replacement** of original/historic windows that are not "in-kind" but are is consistent with existing historic character.

_____ 4. **Facade/storefront alterations** that do not remove, alter, or obscure character-defining features.

_____ 5. **Raising the building** in a manner that does not remove, alter, or obscure character-defining features.

_____ 6. **Restoration** based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

_____ 7. **Addition(s)**, including mechanical equipment that are minimally visible from a public right of way and meets the *Secretary of the Interior's Standards for Rehabilitation*.

_____ 8. **Other work consistent** with the *Secretary of the Interior Standards for the Treatment of Historic Properties*

Specify:

mes _____ 9. **Reclassification of property status** to Category C

a. Per Environmental Evaluation, dated: 3-20-2013

* Attach Historic Resource Evaluation Report

b. Other, please specify:

* Requires initial by Senior Preservation Planner / Preservation Coordinator

NOTE:

If ANY box is initialed in STEP 5, Preservation Planner MUST review & initial below.

Further Environmental Review Required.

Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted.

GO TO STEP 6

Preservation Planner Initials

Project Can Proceed With Categorical Exemption Review.

The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review.

GO TO STEP 6

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Preservation Planner Initials

STEP 6

CATEGORICAL EXEMPTION DETERMINATION

(To be completed by Project Planner)

Further Environmental Review Required.

Proposed Project does not meet scopes of work in either:

(check all that apply)

Step 2 (CEQA Impacts) or

Step 5 (Advanced Historical Review)

No Further Environmental Review Required. Project is categorically exempt under CEQA.

Michael Smith

Planner's Signature

Michael Smith

Print Name

STOP!

Must file *Environmental Evaluation Application*.

4-30-2013

Date

Once signed and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.



SAN FRANCISCO PLANNING DEPARTMENT

Historic Resource Evaluation Response

Date March 20, 2013 (Part I)
Case No.: 2012.0818E
Project Address: 4546 19th Street
Zoning: RH-2 (Residential, House, Two-Family) District
40-X Height and Bulk District
Block/Lot: 2700/012
Staff Contact: Michael Smith (Preservation Planner)
(415) 558-6322
michael.e.smith@sfgov.org

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PART I: HISTORIC RESOURCE EVALUATION

Buildings and Property Description

4546 19th Street is located on the north side of the street between Douglass and Yukon Streets in the Eureka Valley neighborhood. The subject building is located on an approximately 2,870 square-foot, irregularly shaped lot located within a RH-2 (Residential, House, Two-Family) Zoning District and a 40-X Height and Bulk District.

The subject property is improved with a single-family dwelling that was constructed in 1923 and a detached one-story, garage located at the rear of the lot. The detached garage is a wood framed, flat roofed structure designed in a utilitarian style. The residence is a two-story, wood-framed, single-family dwelling with no discernible architectural style. The building's primary elevation features a recessed entrance with a flattened arch opening that is accessed a short run of concrete stairs. The entrance is located on the right side of the front façade and to the left of the entrance is tri-partite grouping of windows separated by wood mullions and surrounded by wood trim. At the second floor is another tri-partite window centered on the elevation and flanked by smaller sliding windows. The elevation is topped with a shallow gabled roof with a projecting eave flanked by small sections of flat roof. The west elevation faces Lamson Lane and is clad in aluminum siding and topped with an asymmetrical gable end on the left side and a flat roof on the right side. All of the building's windows are vinyl sash fixed and sliders.

Pre-Existing Historic Rating / Survey

The subject property is not included on any historic resource surveys or listed on any local, state or national registries. The building is considered a "Category B" property (Properties Requiring Further Consultation and Review) for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its age (constructed circa 1923).

Neighborhood Context and Description

The subject property is located on 19th Street within the Eureka Valley neighborhood which is generally considered to be bordered by 21st Street to the south, Market Street to the north, Market Street to the west and Noe Street to the east. The neighborhood originally represented the northern boundary of Rancho

San Miguel which was owned by Jose de Jesus Noe, the last Mexican alcalde of Yerba Buena. During the Gold Rush, Jose Noe, like the other rancheros in San Francisco, had no reasonable means to preserve his rancho. Wages to police the ranchos were high, costs to litigate rancho claims were high, and a series of droughts and floods cut into rancho profits. These factors combined with the Financial Panic of 1852-59 forced Jose Noe to sell a portion of his rancho to John Meirs Horner. The area was comprised mainly of dairy farms, grazing land, and farm land but under Horner the neighborhood was plotted, names were given to its streets, and it became known as Horner's Addition.

John Meirs Horner, an ambitious Mormon arrived on the sailing ship *Brooklyn* in 1846 and purchased the eastern portion of Rancho San Miguel, from Jose de Jesus Noe, in 1853. The area was comprised mainly of dairy farms, grazing land, and farm land but under Horner the neighborhood was plotted, names were given to its streets, and it became known as Horner's Addition. Of all the Rancho San Miguel neighborhoods, those in Horner's Addition developed first because it was closer to downtown. As a result, the oldest buildings of any Rancho San Miguel neighborhoods can be found in Noe and Eureka Valleys. Because the area was spared in the aftermath of the 1906 Earthquake and Fire, settlement in these neighborhoods boomed as Earthquake refugees settled in the area during the reconstruction period (1906 - 1914). The refugees that settled in Eureka Valley were primarily of Irish, German, and Scandinavian decent. The neighborhood was developed as a working class one and its early development reflected it. The neighborhood's primary commercial areas are Castro and Market Streets. In 1887 the Market Street Railway Company built a line linking Eureka Valley to downtown and a cable car line along Castro Street from Market Street to 29th St. in Noe Valley the result of lobbying efforts by the Eureka Valley Promotion Association which formed in 1905. Because the area was spared in the aftermath of the 1906 Earthquake and Fire, settlement in Eureka Valley boomed as Earthquake refugees settled in the area during the reconstruction period (1906 - 1914) creating a housing boom and turning the village into a thriving working-class neighborhood. Development momentum in Eureka Valley continued after transit lines began servicing the neighborhood, establishing Eureka Valley's primary development period from 1880 - 1920, with build out by 1929, coinciding with the extension of Market Street. The higher more remote locations remained undeveloped until the middle of the century which resulted in newer development in these areas.

Though Eureka Valley was losing families to the newer neighborhoods west of Twin Peaks it remained a working-class neighborhood until the mid-1960s when it started to become a gay neighborhood following the Summer of Love in the neighboring Haight-Ashbury neighborhood. In 1977, this neighborhood elected the first openly gay politician (Harvey Milk) to public office (San Francisco Board of Supervisors).

The subject property is located within a subdivision of Eureka Valley named Clover Heights which was developed from 1912 to 1930. Clover Heights was developed by the Anglo-American Land Company (AALC) who purchased a small four block parcel of land consisting of 62 lots. The AALC prepared the land for development by grading streets, and installing sidewalks, stairs, and water and gas lines. The subdivision was marketed to individual property owners though it became more popular with speculative builders who purchased groups of lots. These types of development lead to small groupings of similar homes within the Clover heights subdivision.

CEQA Historical Resource(s) Evaluation
Step A: Significance

Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." The fact that a resource is not listed in, or determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA.

Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:
Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Period of Significance:	Period of Significance: <input type="checkbox"/> Contributor <input type="checkbox"/> Non-Contributor

To assist in the evaluation of the subject property, the Project Sponsor has submitted a Historic Resource Evaluation dated March 2012, prepared by Tim Kelley Consulting (TKC). Based upon the evaluation prepared by TKC and found within the Planning Department's background files, Preservation staff finds that the subject property is not eligible for inclusion on the California Register individually and is not located within a potentially eligible historic district.

Criterion 1: Property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

Constructed in 1923, the subject property was developed after Eureka Valley's primary development period. Furthermore, to be eligible under the event Criterion, the building cannot merely be associated with historic events or trends but must have a specific association to be considered significant. Staff finds that the subject building has no specific association with this period of development that would make it eligible for inclusion on the California Register under this Criterion. Additional research has not revealed that any significant events occurred on the property that would make it eligible for listing under this Criterion. Furthermore, there does not appear to be a cohesive collection of buildings from Eureka Valley's development period that represents a significant event or series of events. It is therefore determined that there is not a California Register-eligible historic district in the neighborhood, and that the subject property is not individually eligible for the California Register under this Criterion.

Criterion 2: Property is associated with the lives of persons important in our local, regional or national past.

Based upon the evaluation prepared by TKC, The property was originally owned by the Anglo-American Development Company and sold in 1922 to James C. Gibson, a developer and financial broker. Mr. Gibson constructed ten houses on the subject block including the two adjacent buildings to the east of the subject property. After the subject property was constructed its ownership was transferred to the Reinhart Lumber & Planning Mill. It appears that this property and others were seized by the Reinhart Lumber & Planning Mill presumably to pay off debt. In 1924, the subject property was occupied by Edgar L. and Eleanor E. Roseberry. Mr. Roseberry was an engineer at a lumber mill. In 1925, Reinhart Lumber & Planning Mill sold the property to the Roseberry family. It is likely that the Mr. Roseberry was an employee at the Reinhart Lumber & Planning Mill who first rented then bought the subject property from his employer. The Roseberrys owned and occupied the property until 1951 when they sold it to Joseph L. (a city fire fighter) and Eveilyn D. Soanes who resided at the property until 1971. The property had several more owners and occupants before being purchased by the current owners in 2011. None of the people associated with the property were found to be significant persons in our local, regional, or national past, therefore, the property is not eligible for listing under California Register Criterion 2.

Criterion 3: Property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.

There are no extant original permit or water tap records for 4546 19th Street though the building is presumed to have been designed by R. R. Irvine, who is known to have designed similar buildings further west on the subject block. Irvine is a lesser known architect who designed several Art Deco apartment buildings in the Marina neighborhood. The building has been heavily altered over the years and is presumed to have been designed in the Mediterranean Revival style based upon the style of similar buildings further west on the subject block that were designed by Irvine. Although Irvine designed many buildings in San Francisco he is not considered a master architect. Furthermore, the building's design does not possess high artistic values and is not distinctive in any way. The detached garage at the rear of the property is similarly unremarkable in its utilitarian style. Though the immediate neighborhood contains groupings of similar buildings overall they lack a cohesive design aesthetic. It is therefore determined that there is not a California Register-eligible historic district in the neighborhood, and that the subject property is not individually eligible for the California Register under Criterion 3.

Criterion 4: Property yields, or may be likely to yield, information important in prehistory or history.

Based upon a review of archaeological information in the Departments records, the subject property is not likely to yield legally significant resources are anticipated in excavated areas. Therefore, the subject property is eligible for listing under California Register Criterion 4.

Step B: Integrity

To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as "the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance." Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

The subject property has retained or lacks integrity from the period of significance noted in Step A:

Location: Retains Lacks
Association: Retains Lacks
Design: Retains Lacks
Workmanship: Retains Lacks

Setting: Retains Lacks
Feeling: Retains Lacks
Materials: Retains Lacks

Since 4546 19th Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, an analysis of integrity was not conducted. However, it should be noted that the subject property has undergone many prominent alterations including removal of ornamentation, alteration to fenestration, replacement of cladding, replacement of window sashes, and replacement of the entry stairs that have significantly altered its original appearance.

Step C: Character Defining Features

If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

Since 4546 19th Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, this analysis was not conducted.

CEQA Historic Resource Determination

- Historical Resource Present
 - Individually-eligible Resource
 - Contributor to an eligible Historic District
 - Non-contributor to an eligible Historic District

No Historical Resource Present

PART I: SENIOR PRESERVATION PLANNER REVIEW

Signature: Tina Tam Date: 4-5-2013
Tina Tam, Senior Preservation Planner

cc: Virmaliza Byrd, Environmental Division/ Historic Resource Impact Review File
Ferolyn Powell, Property Owner
Jeremy Paul, Project Sponsor
Adrian Putra, Project Planner

HISTORICAL RESOURCE EVALUATION

4546 19TH STREET

SAN FRANCISCO, CALIFORNIA



TIM KELLEY CONSULTING, LLC

HISTORICAL RESOURCES

2912 DIAMOND STREET #330

SAN FRANCISCO, CA 94131

415.337-5824

TIM@TIMKELLEYCONSULTING.COM



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **June 25, 2012**, the Applicant named below filed Building Permit Application No. **2012.06.25.3387** (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Jeremy Paul	Project Address:	4546 19th Street
Address:	1325 California Street	Cross Streets:	between Douglass and Yukon Sts.
City, State:	San Francisco, CA 94109	Assessor's Block /Lot No.:	2700/012
Telephone:	(415) 552.1888	Zoning Districts:	RH-2 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input checked="" type="checkbox"/> CHANGE # OF DWELLING UNITS <input checked="" type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Residential.....	No Change
FRONT SETBACK	1 foot, 6 inches.....	2 feet
BUILDING DEPTH	38 feet, 9 inches.....	96 feet
REAR YARD	77 feet.....	20 feet
HEIGHT OF BUILDING (measured above 19 th St.).....	25 feet.....	34 feet, 6 inches
NUMBER OF STORIES (measured above 19 th St.).....	2.....	3
NUMBER OF DWELLING UNITS	1.....	2
NUMBER OF OFF-STREET PARKING SPACES	2.....	No Change

PROJECT DESCRIPTION

The proposal is to significantly alter the building's exterior elevations, add a second dwelling unit, add a one-story vertical addition, develop the top of the rear garage with roof deck open space, and add a rear horizontal addition that would connect the residential building to the detached garage at the rear of the lot. The connection between the residential building and the garage would be primarily located below grade. The project requires a rear yard variance for the roof deck and below grade connection between the structures. The project has been determined to be a tantamount to demolition thus requiring a mandatory Discretionary Review (DR) hearing pursuant to Section 317 of the Planning Code. The combined variance and DR hearing will be noticed to the public at a later date under separate notice for case No. 2012.0818DV. Any member of the public with concerns regarding this project has the opportunity to request a separate DR before the expiration date on this notice.

PLANNER'S A.M.E.: **Michael Smith**

PHONE NUMBER: **(415) 558-6322**

EMAIL: **michael.e.smith@sfgov.org**

DATE OF THIS NOTICE: **5/23/13**

EXPIRATION DATE: **6/22/13**

NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment through mediation. Community Boards acts as a neutral third party and has, on many occasions, helped parties reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at www.sfplanning.org). You must submit the application to the Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check, for each Discretionary Review request payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the **Board of Appeals within 15 days** after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including their current fees, **contact the Board of Appeals at (415) 575-6880**.

Note:

All of the DR applications included the same response and visual attachments so only one complete DR application has been included with the front page of every application included. Also attached is the DR requestors updated correspondence in response to the latest plans.

CASE NUMBER:
For Staff Use only

12.08180

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Linda Tucker		
DR APPLICANT'S ADDRESS: 4547 19th Street, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: (415) 434-2002
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ferolyn T. Powell Living Trust		
ADDRESS: 55 Caselli Street, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: ()
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS:		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4546 19th Street, San Francisco		ZIP CODE: 94114
CROSS STREETS: Lamson Lane		
ASSESSORS BLOCK/LOT: 2700 / 012	LOT DIMENSIONS: 116x25ft.	LOT AREA (SQ FT): 2,870 sq ft
ZONING DISTRICT: RH-2	HEIGHT/BULK DISTRICT: 40-X	

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other Additions to Building: Rear Front Height Side Yard

Present or Previous Use: Residential-currently tenant occupied

Proposed Use: Residential

Building Permit Application No. 2012.06.25.3387

Date Filed: June 25, 2012

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: John Kalucki		
DR APPLICANT'S ADDRESS: 98 Seward St, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: (415) 794 7692

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ferolyn T. Powell Living Trust		
ADDRESS: 55 Caselli Ave	ZIP CODE: 94114	TELEPHONE: () ()

CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/> Same as above		
ADDRESS:	ZIP CODE:	TELEPHONE: () ()
E-MAIL ADDRESS: john@kalucki.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4546 19th St	ZIP CODE: 94114
CROSS STREETS: Lamson Lane	

ASSESSORS BLOCK/LOT: 2700 / 012	LOT DIMENSIONS: 116 x 25 ft	LOT AREA (SQ FT): 2,870 sq ft.	ZONING DISTRICT: RH-2	HEIGHT/BULK DISTRICT: 40-X
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3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: Residential - currently tenant occupied

Proposed Use: Residential

Building Permit Application No. 2012.06.25.3387

Date Filed: June 25, 2012

(3)

Application for Discretionary Review

CASE NUMBER:

For Staff Use Only

12.08180

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Chanel K. Benner, Mission Administrative Officer, on behalf of the Consulate General of Canada, owner		
DR APPLICANT'S ADDRESS: 4552 19th Street Resident: Cassie Doyle, Consul General	ZIP CODE: 94114	TELEPHONE: (415) 568-4310

PROPERTY OWNER WHO IS DOING THE PROJECT OR WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ferolyn T. Powell Living Trust		
ADDRESS: 55 Caselli Ave	ZIP CODE: 94114	TELEPHONE: ()

CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS: Consul Gen Canada, 580 California Street, 14th fl, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: (415) 834-3180
E-MAIL ADDRESS: Cassie.Doyle@international.gc.ca , Chanel.Benner@international.gc.ca		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4546 19th Street	ZIP CODE: 94114
CROSS STREETS: Lamson Lane	

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
2700 /012	116 x 25 ft.	2,870 sq ft.	RH-2	40-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard
Residential - currently tenant occupied

Present or Previous Use: _____

Proposed Use: Residential

Building Permit Application No. 2012.06.25.3387 Date Filed: June 25, 2012

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Bruno A. Olshausen		
DR APPLICANT'S ADDRESS: 4567 19th Street	ZIP CODE: 94114	TELEPHONE: (415)863-2144
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ferolyn T. Powell Living Trust		
ADDRESS: 55 Caselli Ave	ZIP CODE: 94114	TELEPHONE: ()
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS: BAOLSHAUSEN@BERKELEY.EDU		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4546 19th Street		ZIP CODE: 94114
CROSS STREETS: Lamson Lane		
ASSESSORS BLOCK/LOT: 2700 /012	LOT DIMENSIONS: 116 x 25 ft.	LOT AREA (SQ FT): 2,870 sq ft.
ZONING DISTRICT: RH-2		HEIGHT/BULK DISTRICT: 40-X

3. Project Description

Please check all that apply
 Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard
Residential - currently tenant occupied

Present or Previous Use: _____
 Proposed Use: **Residential**

Building Permit Application No. 2012.06.25.3387 Date Filed: June 25, 2012

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: James Carmody		
DR APPLICANT'S ADDRESS: 4529 19th Street	ZIP CODE: 94114	TELEPHONE: (415) 552-1800
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ferolyn T. Powell Living Trust		
ADDRESS: 55 Caselli Ave	ZIP CODE: 94114	TELEPHONE: ()
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE: 94114	TELEPHONE: (415) 834-3180
E-MAIL ADDRESS: wendysf@yahoo.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4546 19th Street		ZIP CODE: 94114
CROSS STREETS: Lamson Lane		
ASSESSORS BLOCK/LOT: 2700 /012	LOT DIMENSIONS: 116 x 25 ft.	LOT AREA (SQ FT): 2,870 sq ft.
ZONING DISTRICT: RH-2		HEIGHT/BULK DISTRICT: 40-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Residential - currently tenant occupied

Present or Previous Use: _____

Proposed Use: **Residential**

Building Permit Application No. 2012.06.25.3387 Date Filed: June 25, 2012

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Kenneth F Kalastein		
DR APPLICANT'S ADDRESS: 4565 19th Street, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: (415)845-5764

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ferolyn T Powell c/o Jeremy Paul		
ADDRESS: 4546 19th Street, San Francisco, CA	ZIP CODE: 94114	TELEPHONE: (415) 552-1888

CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS:		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4546 19th Street, San Francisco, CA	ZIP CODE: 94114
CROSS STREETS: Lamson Lane, Thorp Lane	

ASSESSORS BLOCK/LOT: 7200 /012	LOT DIMENSIONS: abt 116 x 25	LOT AREA (SQ FT): 2870	ZONING DISTRICT: RH-2 /40X	HEIGHT/BULK DISTRICT:
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3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: _____

Proposed Use: _____

Building Permit Application No. 2012.06.25.3387

Date Filed: 06/25/2012

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Nancy Ramamurthi		
DR APPLICANT'S ADDRESS: 4582 19th street	ZIP CODE: 94114	TELEPHONE: (415) 864-1602
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ferolyn T. Powell Living Trust		
ADDRESS: 55 Caselli Avenue	ZIP CODE: 94114	TELEPHONE: ()
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS:		

2. Location and Classification

STREET ADDRESS OF PROJECT: 4546 19th street		ZIP CODE: 94114
CROSS STREETS: Lamson Lane		
ASSESSORS BLOCK/LOT: 2700 / 012	LOT DIMENSIONS: 116 x 25 ft.	LOT AREA (SQ FT): 2,870
ZONING DISTRICT: RH-2		HEIGHT/BULK DISTRICT: 40-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard
residential - currently tenant occupied

Present or Previous Use: residential

Proposed Use: 2012.06.25.3387

Building Permit Application No. _____ Date Filed: June 25, 2012

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4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*see note
meeting in
June 24*

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

I am speaking with Ferolyn on Monday June 24th, 2013. Because the deadline for this DR is on the same day, I won't have an opportunity to chat with her ahead of time. I am aware that other neighbors with similar concerns have spoken with her after receiving the required city notice about 30 days ago.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

please see attached.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

please see attached.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

please see attached.

12.0818D

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Nancy M Ramamurthi

Date: June 23, 2013

Print name, and indicate whether owner, or authorized agent:

Nancy M. Ramamurthi

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

- Required Material.
- Optional Material.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

Hang M Ranch

For Department Use Only

Application received by Planning Department:

By: _____ Date: _____

1. What are the reasons for requesting Discretionary Review?

The reason for this Discretionary Review for the proposed building at 4546 19th street are the following. We consider these exceptional and extraordinary circumstances that are in violation of Planning Code 134 and a number of SF residential guidelines (all cited below) that represent significant importance and amenities for home owners along Thorp Lane and 19th and Caselli streets as well as the public:

- i) **The building's scale and form are significantly incompatible with the height and depth of surrounding buildings.** This is in conflict with SF Residential Guidelines (page 24). This is especially in regard to the depth of the building, which is in clear violation of rear yard requirements in Planning Code 134 for homes in zoning district RH-2.

Planning Code 134 states homes within RH2 (this property) have rear yards between 25% and 45% of the depth of the lot, with the exact depth dependent upon the depth of the two adjacent buildings.

If the plans are accurate in their depiction, this home does not comply with SF Residential Design Guidelines regarding averaging of the rear walls and breaks requirements regarding rear yard minimums of 25% (which would be 29 feet). Proposed yard is only 17% (20 feet).

- ii) **The proposed building is in violation of SF Residential Guidelines for designing the height and depth of the building to be compatible with existing building scale at the mid-block open space. (page 25) This mid-block open space, as noted in SF Residential Guidelines – is a "significant community amenity."**

Rear yards contribute collectively to the strong mid-block open space that all residents along Caselli and 19th street enjoy along Thorp Lane. Indeed, walking tours of the Castro neighborhood stop along Thorp Lane (juncture of Clover Lane stairs and Thorp Lanes) to discuss the history of the neighborhood and enjoy the space and views.

The height and depth of this building is uncharacteristically deep and tall, and this out of scale rear and height change will leave residents feeling boxed in and cut off from the mid block open space. It sets a very negative precedent for destroying this significant amenity for all homes along Thorp Lane who live along Caselli and 19th.

- iii) **violates an unbroken pattern of two-story front facades on this side of the street -- a pattern that is a defining character of our street;**

The proposal fails to meet the following General Plan Policies:*Objective 11: Support and Respect the Diverse and Distinct Character of San Francisco's Neighborhood*

Although the Department has found the architectural and historic aspects of the existing building (and presumably the string of 2-story neighboring buildings) do not rise to the level of recognition under the California Environmental Quality Act (CEQA), the existing building is an integral part of a character-defining streetscape that is intended to be protected by the General Plan and the Residential design Guidelines. The project sponsor has interpreted the Department's finding of "no significance" related to CEQA to also mean "no importance" to neighborhood character. These are two separate and different standards.

The subject building is one of two sets of buildings on the north side of 19th Street (three in this block, and four in the upper block) that follow a common pattern of presenting two-story front facades with stucco finish, detailed wood trim and alternating low gable and flat roof forms, all of which were built and sold as a part of the Clover Heights subdivision in the 1920s. The height of the buildings is uniform and creates a gentle, visually continuous embrace of the street grade. See Figure 2.

Thus, the existing building fits, and in fact helps define the neighborhood character. By contrast, the proposed building does not fit the neighborhood character, but rather upsets it and attempts to redefine it.

Urban Design*Objective 1: Emphasis of the Characteristic Pattern Which Gives to the City and Its Neighborhood an Image, a Sense of Purpose and a Means of Orientation.*

As noted above, this part of 19th Street -- specifically the north side from 4534 to 4660 19th Street -- is a micro-environment with a small-scale character dotted with low-growing street trees and front set-back landscaping. Its materials (wood and stucco) and architectural detailing are warm and welcoming, creating an early 20th-Century cottage-like setting in the midst of a larger and more modern urban environment. Alleyways like Lamson Lane (on the west side of the subject site), provide public views and nature-based visual relief by virtue of their location thru the mid-block open space and back yards' landscaping. The introduction of a 35'-tall building (the maximum allowed under the code given the lot grade), resulting in an actual height of 45 feet at the rear of the building, would violate the otherwise unbroken string of low profiles lining this part of 19th Street and, after removal of a beautiful mature tree, create a veritable wall along Lamson Lane that

will convert this open space into a boxed-in, urban canyon. See Figures 3a,b. Simply put, the proposal violates the essential characteristics of our street.

The proposal fails to meet the following policies of the City's Residential Design Guidelines. Some broken guidelines noted earlier are repeated below.

1. GUIDELINE: In areas with a defined visual character, design buildings to be compatible with the patterns and architectural features of surrounding buildings. (RDG, p. 9)

The guidelines speak not only to large areas with a defined visual character but also to micro-areas as small as "block faces." The visual character we seek to preserve is the two-story string of circa 1920's homes lining the north side of 19th Street that extends 19 houses up and 2 more houses down 19th Street from the subject building. These buildings - most originating from the Clover Heights subdivision - all have the appearance of two stories at front, are clad in stucco with modest but detailed wood trim and alternate with flat and low gable roofs. Their height is typically under 25 feet. As a group, they step down with the street grade on 19th Street. Individually, most also step rear building walls down with the grade toward Caselli Ave. The proposed building will have the appearance of a 3-story, 35-foot structure at front and massive 45', four story wall at rear, the latter with no setbacks whatsoever. The wall is similarly massive and virtually unbroken on its face to Lawson Lane. The setback on the 3rd floor of the front facade is proposed as 12'11" feet -- not nearly far enough back to preserve the small-scale context of its surrounding neighbors. The 3rd story -- some 11 feet tall -- will be disruptively visible from virtually every vantage point on the block. See Figures 4a,b.

2. GUIDELINE: Respect the topography of the site and the surrounding area. New buildings and additions to existing buildings cannot disregard or significantly alter the existing topography of a site. (RDG, p. 11)

Figure 5 shows the current topography which consists of a descending pattern of rooftops as seen on 19th Street. The proposed building strongly violates this topography as it will 'pop out' of the existing descending pattern. As shown in Figure 4b, the proposed 3rd floor setback is not significant enough to maintain the character of the street. This deviation will be clearly visible from many vantage points along the sidewalk on 19th Street and will disrupt the pattern that has been so clearly preserved despite many recent renovations.

3. GUIDELINE: Articulate the building to minimize impacts on light and privacy to adjacent properties. ... When expanding a building into the rear yard, the impact of that expansion on light and privacy for abutting structures must be considered. (RDG, p. 16)

Figures 6a,b show how the rear yards of adjacent properties downhill from the construction site will be impacted. The proposed building will tower above these rear yards, casting a broad shadow that will darken and cutoff almost all afternoon sunlight to two adjacent rear yards. The rear half of the third floor on this side is set back by a mere *four feet*, which given the immense height of the building (45 ft. above the rear yard of the adjacent residence) will have negligible effect in reducing its darkening and visual impact from the rear.

4. GUIDELINE: Design the scale of the building to be compatible with the height and depth of surrounding buildings.... and at the street. (RDG, pp. 23 and 24)

The sheer volume of this building is a clear outlier as compared to the current trend of height and depth of buildings on 19th Street. No other building on this or the upper section of 19th Street comes close to this one in terms of its combination of maximizing height *and* depth. The tallest building on this block, 4528 19th Street, is 30.5 feet. Most hover between 25-29 feet. The proposed house is **34.5 feet** (not including the solar panels protruding from the roof), making it a clear outlier. Its proposed building depth would massively overshadow its downhill neighbors. And its proposed rear yard garage expansion (requiring a variance) makes a mockery of the rear yard requirements.

5. GUIDELINE: Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space.

The proposal creates a 4-story wall protruding far beyond its immediate neighbor's rear wall and fails to match side setbacks. It creates a new, roughly one-story wall all the way into the required rear yard to the garage. In summary, it terminates the contiguous mid-block open space as if rear yards are not required on corner lots.

6. GUIDELINE: Design the building's proportions to be compatible with those found on surrounding buildings.

The proposed floor heights are unnecessarily tall and appear awkward relative to neighboring buildings and on the proposed building. The window and door placement disregards the balance seen elsewhere on the block. The facade would become devoid of the charming porches, bay windows and architectural detail on this stretch of the street. Instead of providing a facade that benefits both the street and the property, street facade nuance has been sacrificed at the expense of interior square footage and lower construction cost.

2. Unreasonable impacts, who is affected and how.

As described above, the entire neighborhood would be adversely affected by this proposal -- everyone who lives on the street; everyone who walks on the street and even the general public that currently enjoy free public walking tours of the Castro neighborhood.

It is the disruption of the two-story character of the north side of 19th Street, the complete incompatibility of the proposed buildings height and depth as compared to neighboring structures, its violation of planning guidelines for rear yards, and its intrusion into the mid-block open space that all community neighbors and the public enjoy (recognized as a "significant community amenity" in the words of SF RG) that represent enormous problems with this proposal.

The rear yard variance and overall footprint of the property (and intrusion into the mid-block open space) sets a precedent that not only reduces the property value of immediately surrounding homes, but does the same for the entire neighborhood. It will result in setting a precedent that many builders will use to build extremely large homes that could completely remove the mid-block open space and essentially create a highly urbanized and dark (shadowed) canyon behind all homes.

Those closest to the proposed building will also suffer from a tremendous increase in shadow. The downhill neighbor at 4540 19th Street will additionally be impacted by a wall protruding into the required rear yard adjacent to her side property line and extending far beyond her rear building wall. The owner of this home is a frail and elderly woman not currently in the condition to mount an effort to protect her home.

3. Alternatives/proposed changes..

We seek to find a middle ground -- one that:

- respects the significant community amenity found in the mid-block open space,
- is compatible the essence of the street and neighborhood. It is a residential area with open space, rear yards and light, not a highly urbanized portion of SF where buildings are constructed to maximize all possible square footage and indeed violate planning guidelines to deliver this (rear yard variances).
- yet allows the new owner to develop additional square footage and improved interior circulation.

First and foremost, we ask that the project be redesigned so it reduces its overall footprint and size in regards to depth and height, but especially its depth.

The rear yard variance is in violation of planning codes and sets a negative precedent for all future construction along 19th and Caselli streets with

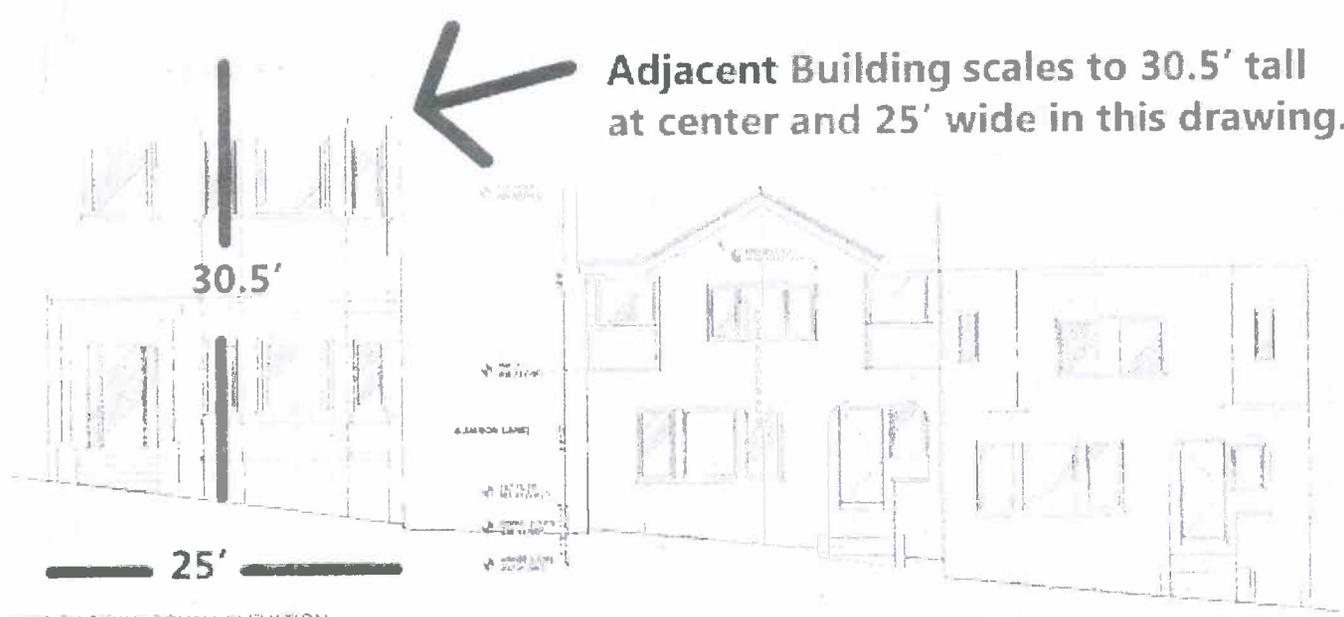
12.0818D

tremendous negative implications for the mid-block open space, nature, and light the entire neighborhood and many in and outside of our community enjoy.

Second, we ask that the third floor be set back approximately 25 feet from the front building wall. This will preserve the character-defining nature of this section of 19th Street.

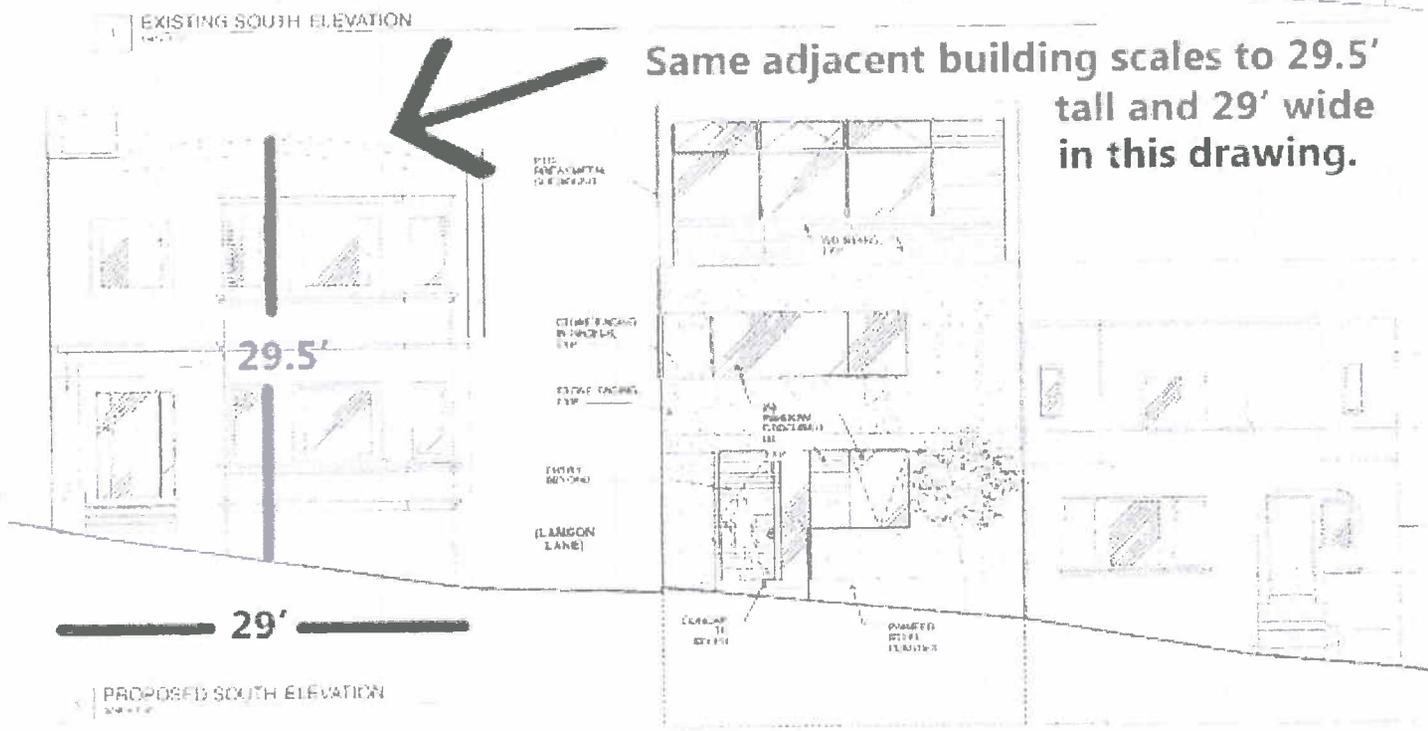
Third, ask that the rear building wall be stepped to respect the topography between 19th Street and Caselli Ave.

Finally, the owner of the proposed project should provide full and accurate 2- and 3-D depictions of the proposal and revised proposal so the entire neighborhood may truly understand its implications.



Adjacent Building scales to 30.5' tall at center and 25' wide in this drawing.

Neighboring building at 4552 19th shown at different widths and heights and is drawn at different scales in different drawings.



Same adjacent building scales to 29.5' tall and 29' wide in this drawing.

HOW CAN PLANNERS DETERMINE CONTEXT WITH CONFUSING and INACCURATE DRAWINGS?

Figure I

12.0818D

Subject property



Subject property is one of two groups of existing homes on 19th Street following a common architectural pattern.

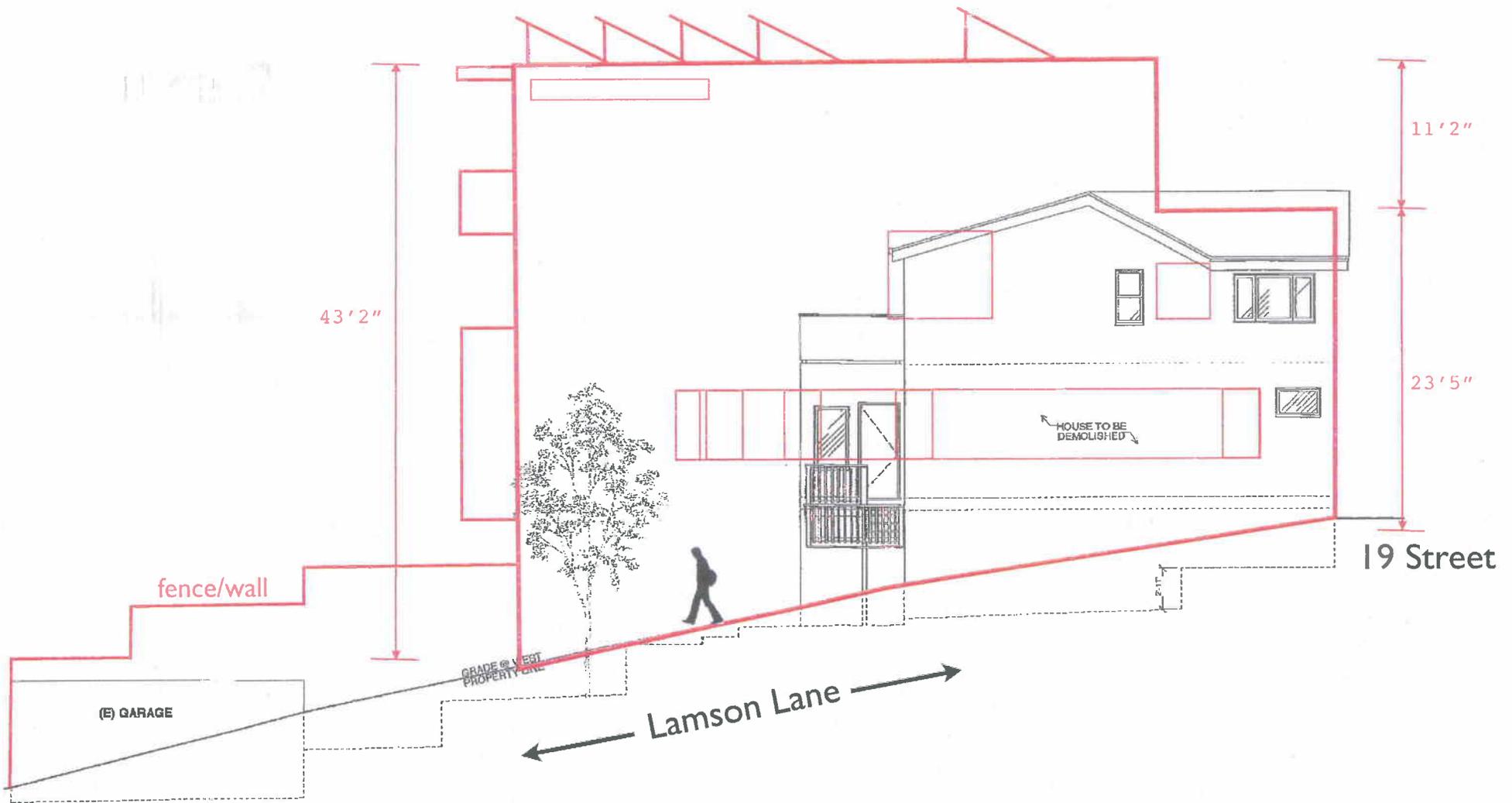
4546-4534 19th Street



4642-4626 19th Street

Figure 2

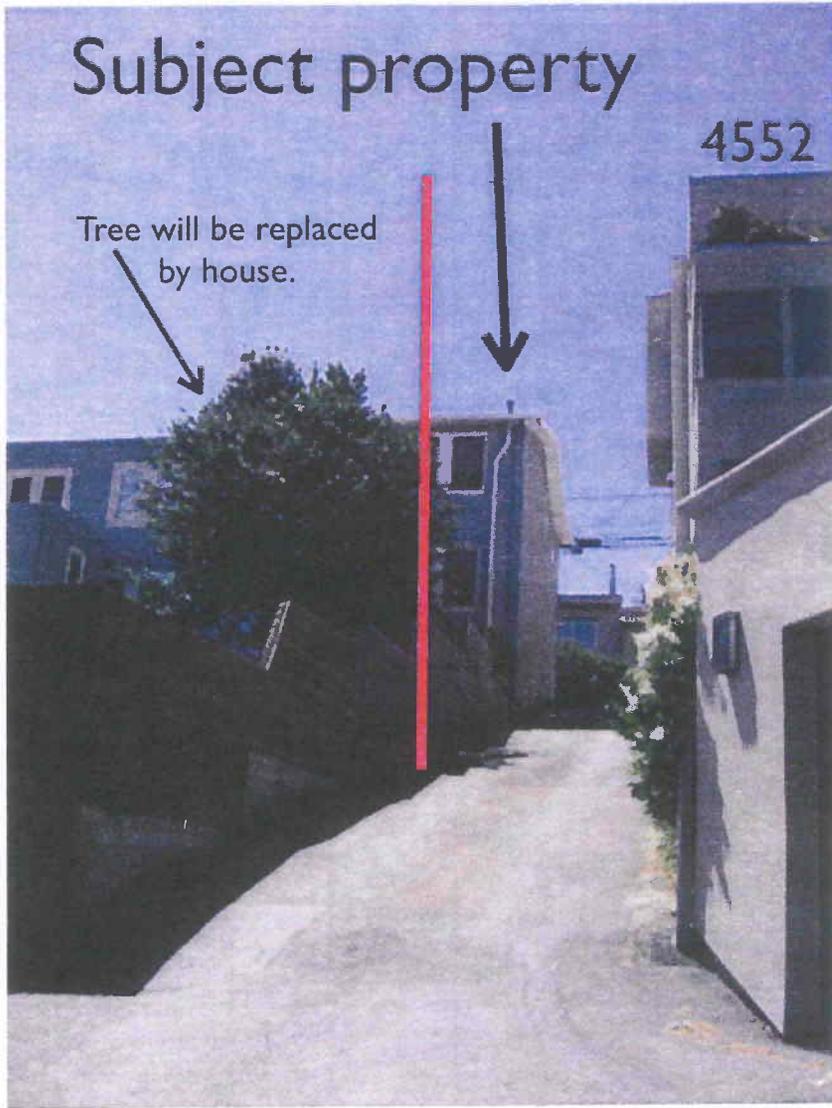
12.0818D



Side view, facing Lamson Lane, of proposed structure (red) superimposed upon existing structure (black). All objects are drawn exactly to scale from plans provided. Walking man is 5'10".

Figure 3a

12.0818D



Lamson Lane, looking up toward 19 Street.

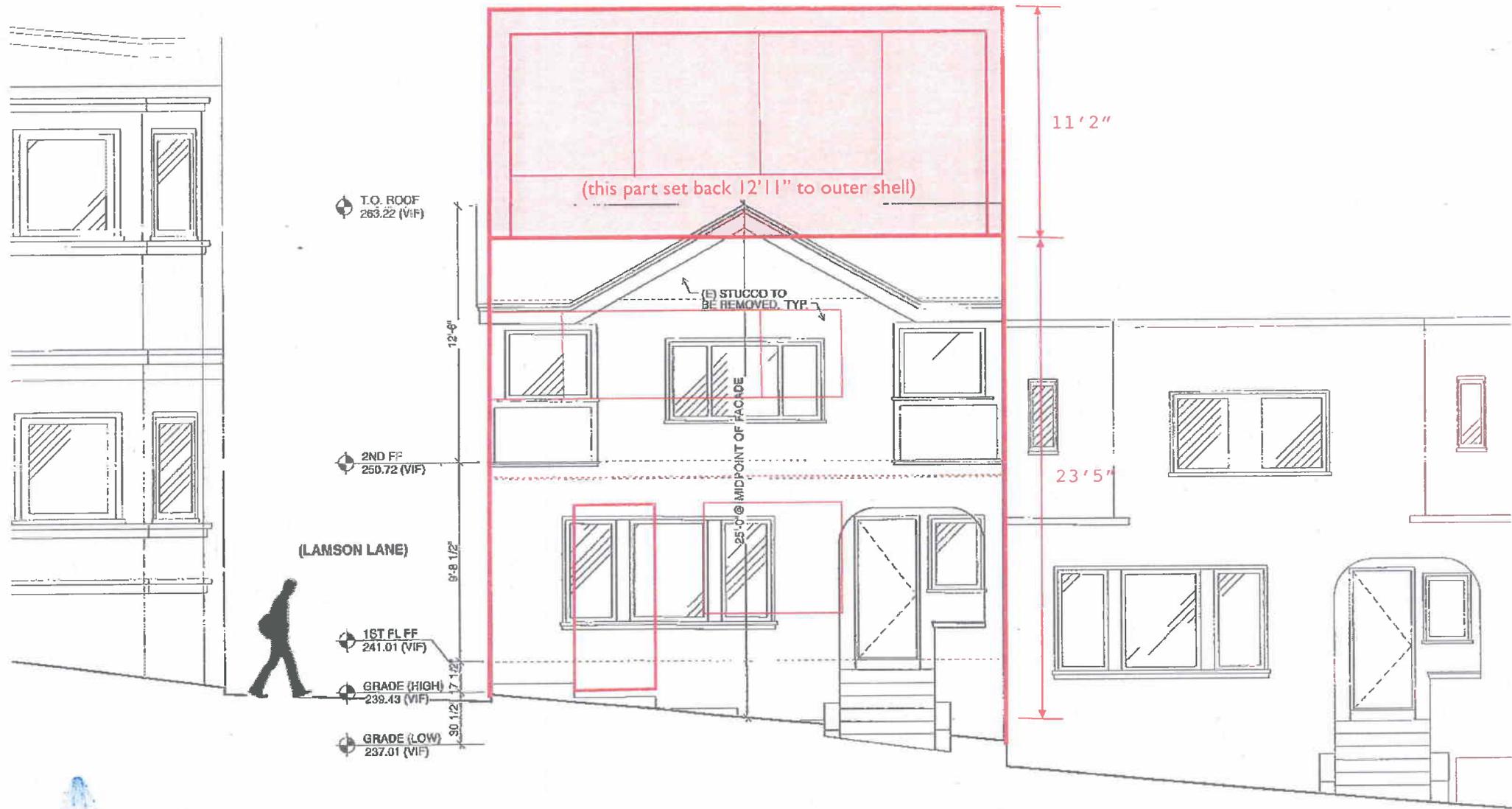


Entry to Lamson Lane viewed from 19 Street.

Rear wall of proposed structure will extend to the red line and tower higher than the adjacent home (4552 19th Street), boxing in Lamson Lane and blocking public views.

Figure 3b

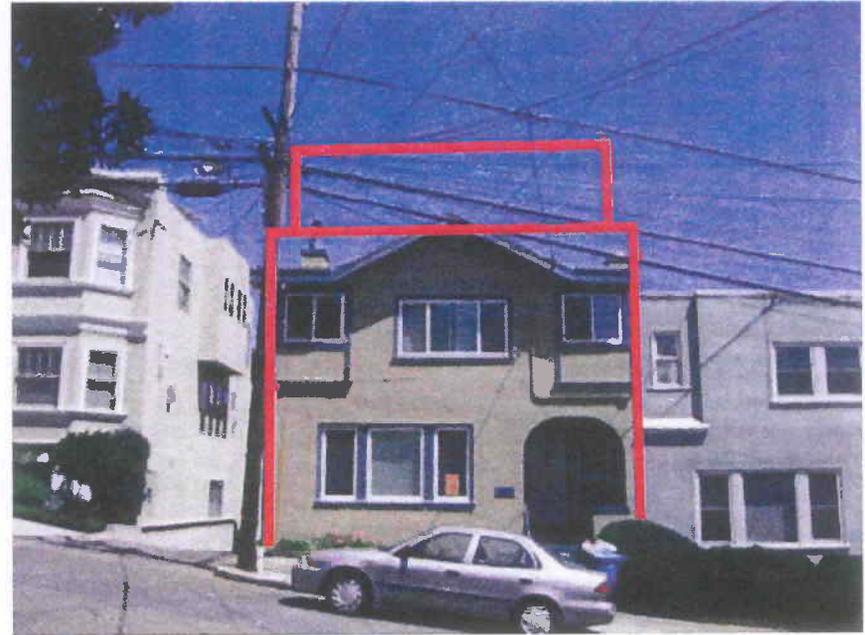
12.08180



Front view from 19th Street of proposed structure (red) superimposed upon existing structure (black). All objects are drawn exactly to scale from plans provided. Walking man is 5'10".

Figure 4a

12.0818D



Front views of the subject property from three points along the sidewalk on 19th Street, with approximate* outlines of proposed structure superimposed in red. The top floor setback of 12'11" is not sufficient. The full height of the building will be disruptively visible from virtually every vantage point on the block.

*The sponsor has agreed to furnish 3D renderings of the proposed building in context, but these had not yet been provided at the time of filing. These line drawings, though approximate, are sufficiently accurate to convey the main point in the meantime. One may verify by comparing to Figure 4a.

Figure 4b

12.0818D



The existing topography on 19th Street consists of a unbroken pattern of descending rooftops extending from 4660 (well beyond the left boundary of this photograph) to 4534 (just off the right boundary of the photo). The proposed building will strongly disrupt this pattern (see Figure 4b).

Figure 5

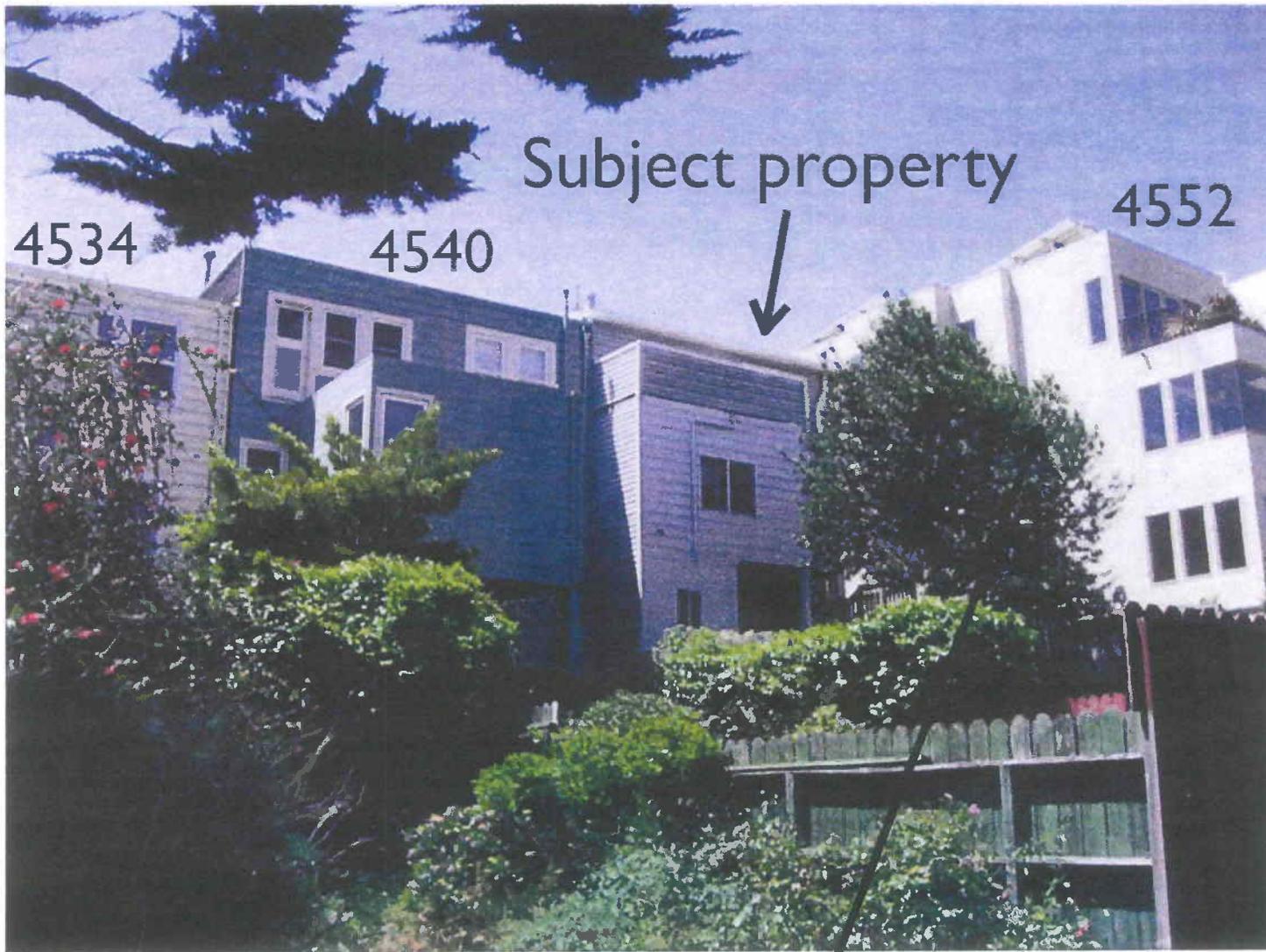
12.0318D



Side view, facing adjacent downhill lot at 4540 19th Street, of the proposed structure (drawn in red) superimposed upon the existing structure (black). All objects are drawn exactly to scale from plans provided. Walking man is 5'10".

Figure 6a

12.0818D



The proposed building will extend beyond **this tree** and *higher* than 4552. It will tower 45-50 feet over the rear yards of adjacent, downhill residences (4540 and 4534), casting a broad shadow that will darken and cutoff almost all afternoon sunlight from these yards.

Figure 6b

12.0818D 1

Bruno A. Olshausen
4567 19th Street
San Francisco, CA 94114
email: baolshausen@berkeley.edu

January 12, 2014

San Francisco Planning Commission
c/o San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94013

RE: 4546 19th Street, Permit Application 2012.06.25.3387
2012.0818DDDDDDV, for hearing on January 23, 2014
Zoning: RH-2

President Fong and Commissioners:

We (myself and six neighbors) have each requested Discretionary Review for this project because we feel that it does not fit the prevailing neighborhood character of 19th Street. Specifically, we are concerned about the overall size and bulk of the project which far exceeds the norm on our street. By combining the proposed doubling of footprint and square footage in the house with the rear yard variance for expansion of a garage and introduction of storage and decks in the required rear yard, the project will occupy nearly all of the lot, setting a horrendous precedent for this neighborhood of modest c. 1920's family homes.

Since applying for DR, the planning department mandated several changes to the proposal which partially address our concerns. But even with these changes the project remains too big. It exceeds the dimensions of other residences on 19th Street in both height *and* depth — the latter substantially so — and it strongly deviates from the existing topography - i.e., the uninterrupted pattern of descending rooftops extending from 4660 to 4534 19th St. The overall mass and size of the project is further exacerbated by the fact that its side wall is fully exposed on Lamson Lane, a narrow public alley with an open feel, frequented by pedestrians as well as Castro historical tour groups, and it is the site of a sweeping public vista of downtown. The unarticulated side facade will wall-in and darken Lamson Lane as well as remove its public vista. The building's proposed 19th Street facade is harsh and modern in a way that fails to respect materials, details and fenestration patterns characteristic of the prevailing pattern of buildings on the street, most originating from the ca. 1920's Clover Heights subdivision.

We love our neighborhood, its small-scale feel and its historic character. In the midst of such overwhelming and unprecedented construction in The City, our goal is to support change and growth that fits family needs while also preserving the essence of architectural character and scale that defines our street and, in essence, our City.

Requested changes

We ask that the sponsor reduce the size of the proposed project by taking the following steps:

1. Reduce height by 3' (from 33'4" to 30'4") to mitigate its disrupting the existing topography on 19th Street;
2. Decrease total depth by 7'2" (from 63' to 55'10") to mitigate the impact on Lamson Lane and be more consistent with other residences on 19th Street;
3. Increase front 3rd floor setback by 5'3" from the current proposal (from 12'11" to 18'2" - i.e., the distance from the 2nd floor front facade to the 3rd floor outer shell) to help mitigate impact on topography and walling in Lamson Lane;
4. Step down the rear wall on 3rd and 2nd floors by increasing rear 3rd floor set back by 4'8" (from 7'4" to 12') and including a 2nd floor set back of 6'. This will help to mitigate walling in of Lamson Lane, and will be more consistent with the Design Guidelines;
5. Reduce height of rear fence/wall to 8' along Lamson Lane, or step it down so as to preserve as much as possible the open feeling and public views of the downtown skyline and surrounding Eureka valley residences that people currently enjoy when walking down this lane.

Drawings of the sponsor's current proposal and the DR applicants proposed alternative are shown in Figure 1 and Figure 2, respectively.

Attempts to compromise

The DR applicants have made efforts to compromise and engage in dialogue with the sponsor on multiple occasions:

- After the Sponsor's plans were initially disclosed to the immediately adjacent neighbors at the pre-application meeting in April 2012, two DR applicants engaged with the sponsor to express concerns about the size of the project. The sponsor was unresponsive to their concerns.
- After the Sponsor's plans were disclosed to a wider group of neighbors through the 311 notice in May 2013, and before the DR applications were filed, several additional DR applicants expressed concerns to the sponsor about the size of the project. The sponsor was asked for renderings, a shadow study, and story poles that would help to better delineate how the neighborhood would be impacted. The sponsor was unresponsive to concerns and did not respond to any of these requests prior to the DR filing deadline.
- Several months after the DR applications were filed, the sponsor responded to changes mandated by the planning department (rear and side setbacks), and also made a 14" reduction in height to address concerns raised by the DR applicants. It is important to note the former changes came about because they were required by the Planning Department. A meeting was held at the owner's home on November 13, 2013 where the DR applicants explained that despite these changes the project is still too big. We reiterated our concerns and presented drawings of an alternative plan that attempts to provide the owner with the additional space she seeks while mitigating its impact on the surrounding neighborhood. The owner was strongly dismissive of our concerns and was unresponsive to the proposed alternative.
- In a generous attempt to mediate, planner Michael Smith met with the sponsor on December 16, 2013 to present revised drawings of an alternative proposal of the DR applicants. The sponsor suggested a possible revision to the rear fencing that would

mitigate its impact to Lamson Lane by lowering the concrete wall and using glass fencing, but was otherwise unresponsive to any changes in size.

The architect’s written response from the last meeting argues that our proposed changes in height would necessitate 7’6” ceilings on the third floor and are therefore an unreasonable request. However a careful analysis of their own drawings shows that this conclusion is based on faulty assumptions. In fact our proposal could be accommodated with 8’4” ceilings on both second and third floors. And it should be kept in mind that the existing structure currently has 8’ ceilings on the second floor.

Unresponsiveness to RDT concerns and requests

Upon reviewing the public file on the project, we were gratified to learn that many of our concerns regarding the overall size and bulk of this project and its deviation from the existing topography are shared by the planning department and were expressed repeatedly in three previous Residential Design Team reviews under Adrian Putra, who was the planner previously assigned to the project. Specifically,

- “Project concerns: Proposed mass and scale of project. The project will exceed the depth and height of the adjacent buildings to the east. RDT Comments: RDT is concerned the **building height does not respect the sloping of street and the stepped pattern of building forms along the block face.** The RDT also has concerns about the appropriateness of the massing at the rear of the building.” (RDT, 7/19/12, emphasis added)
- “Project concerns: Proposed mass and scale of project. The project will exceed the depth and height of the adjacent building to the east.” (RDT, 11/7/12)
- “Project concerns: Proposed mass and scale of project. The facade of the building has been revised in response to RDT comments, but the project still exceeds the depth and height of the adjacent building to the east.” (RDT, 1/24/13)

However the repeated warnings would seem to suggest that *the RDT’s concerns and suggestions regarding the size of the project are going unheeded.* Indeed this is the case:

RDT comment (11/7/12)	Action taken
“Please reduce the depth of the top two floors by 11’ in order to create a transition in building depth between the adjacent two properties.”	This request remains unfulfilled.
“Please provide a 5’ side setback at the top three floors along the east side of the proposed addition.”	The plans that went out with the 311 notice on 5/23/13 show only a 4’ east side setback.
“Please setback the third floor 15’ from the front building wall.”	The current proposal shows only a 12’11” setback to the opaque outer shell, which for all practical purposes defines the visible boundary of the building.

The subsequent RDT review on 1/24/13 states simply: “The RDT stands behind all prior comments.”

The fourth and final RDT review under Michael Smith continues this pattern of unheeded recommendations:

RDT comment (8/21/13)	Action taken
"Please provide a 9' wide by 18' long side setback at the NE corner of the first floor in order to limit the addition to one-story above grade."	The current proposal shows only a 7' wide by 17' long side setback at the NE corner.

Thus, there appears to be a long and consistent history of the sponsor either completely ignoring or only partially fulfilling requests for changes made by the planning department. To us this raises an even more disturbing question: Why is this being allowed to happen? It appears that the project sponsor adopted a strategy to respond to miniscule portions of repeated direction from the Planning Department and that through the reassignment of planners and likely change in RDT staff, the bulk of the Department's requests fell through the cracks. If a strategy of multiple revisions with only minimal change, largely ignoring Department direction, is effective in this case, it sends a message to all sponsors to do the same.

On what grounds was the project ultimately judged to be “appropriate,” “consistent” or “compatible” with the neighborhood?

The fourth and final RDT review under Michael Smith on 8/21/13 concludes that if the change listed above (side setback) is made that “the scale and massing of the building are *appropriate* and *consistent* with the surrounding development and the midblock.” It also concludes that “the proposed height is *appropriate* for the corner lot location and is *compatible* with other taller buildings in the area.” We beg to differ with these conclusions, and we are perplexed as to how they were arrived at, especially when this conclusion starkly contrasts the comments of a previous planner and RDT review on essentially the same project. And in fact there is no data provided about the height or size of surrounding buildings to support the most recent conclusions.

Our own measurements of surrounding residences on 19th Street show that most are less than 25' in height, with the very tallest reaching 30'. Building depths typically range from 35' to 55'. By contrast the sponsor's proposed building stands at 33'4" in height and 63' in depth. Thus it is an outlier in *both* dimensions! How can that possibly be judged appropriate, consistent, or compatible? The reference to “corner lot” presumes Lamson Lane is a standard-sized street and not a narrow alley largely used by pedestrians.

When one considers this project is also asking for a rear yard variance, it is inconceivable that the proposal is compatible or appropriate. One would think if a variance were to be granted it would be in conjunction with a smaller front building, not one that is vastly larger in depth than its neighbors.

For those of us who live on 19th street, who walk up and down it every day and appreciate its low-rise, unimposing character, and the stepped pattern of rooftops descending down the north side of the street (Figure 3) we are dismayed that the planning department does not recognize how incompatible this building will be with our street. As Figure 4 clearly shows, the proposed building will pop out and create an imposing presence from nearly every vantage point along 19th Street. The height combined with the modest 12'11" third floor setback is clearly not sufficient. The Eureka Valley Neighborhood Association - the oldest continuously operating neighborhood association in San Francisco - has also stated in a letter to Michael Smith that they find the project incompatible with the neighborhood. Thus further changes as outlined

above are needed before it can be deemed appropriate, consistent, or compatible with the neighborhood.

We look forward to presenting our case at the hearing on January 23, and we hope that you will help us preserve the character of our neighborhood on 19th Street.

Sincerely,

Bruno A. Olshausen

on behalf of DR Applicants:

Wendy and Jim Carmody (4529 19th Street)

Linda Tucker (4547 19th Street)

Charnel Benner, on behalf of Canadian Consulate (4552 19th Street)

Ken Kalstein and David Meyer (4565 19th Street)

Self (4567 19th Street)

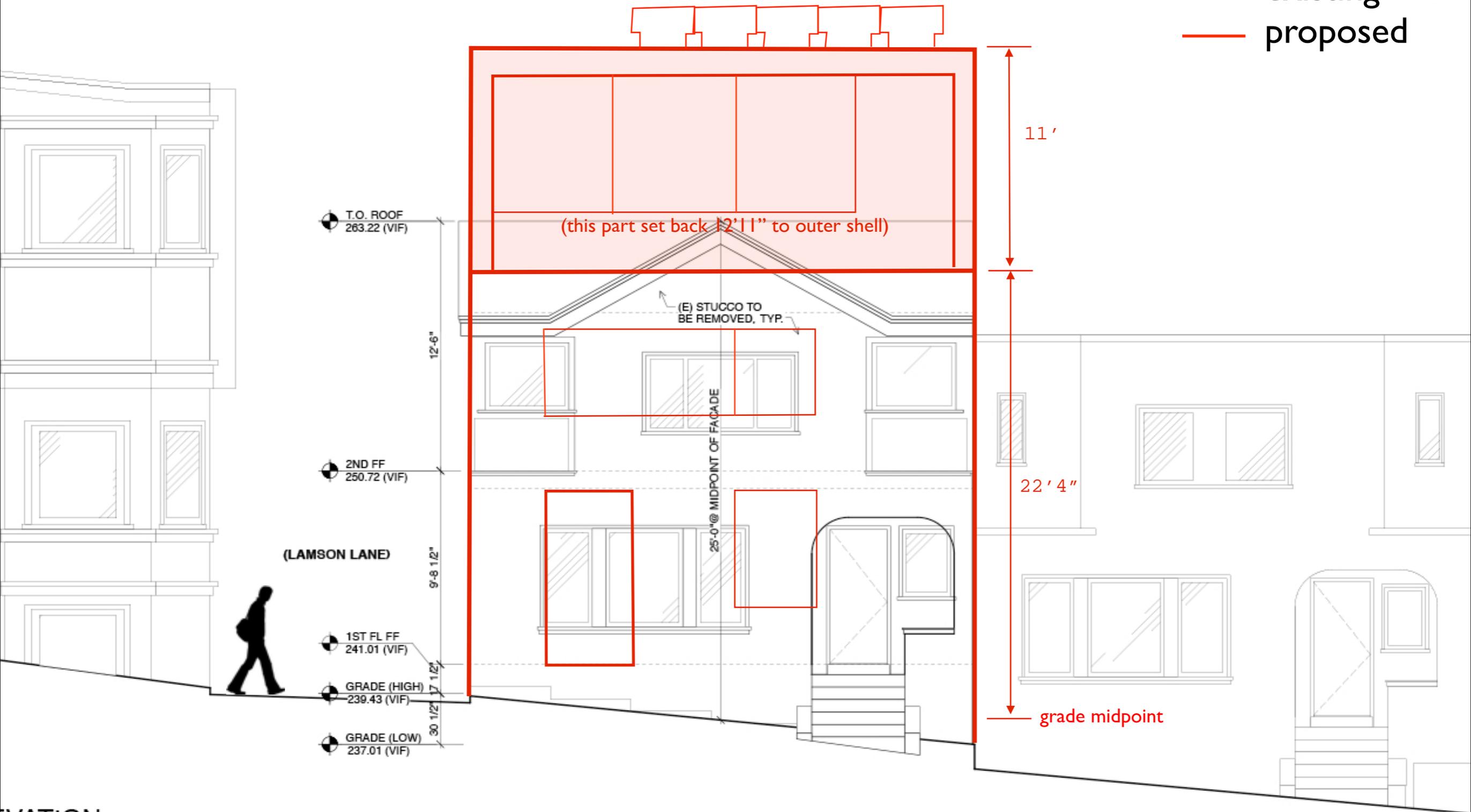
John Kalucki and Anne Ellis (98 Seward)

Nancy Ramamurthi (4582 19th Street)

Sponsor proposal

(Front - facing 19th Street)

— existing
 — proposed



ELEVATION

Figure 1a

Sponsor proposal

(Side - facing Lamson Lane)

- existing
- proposed

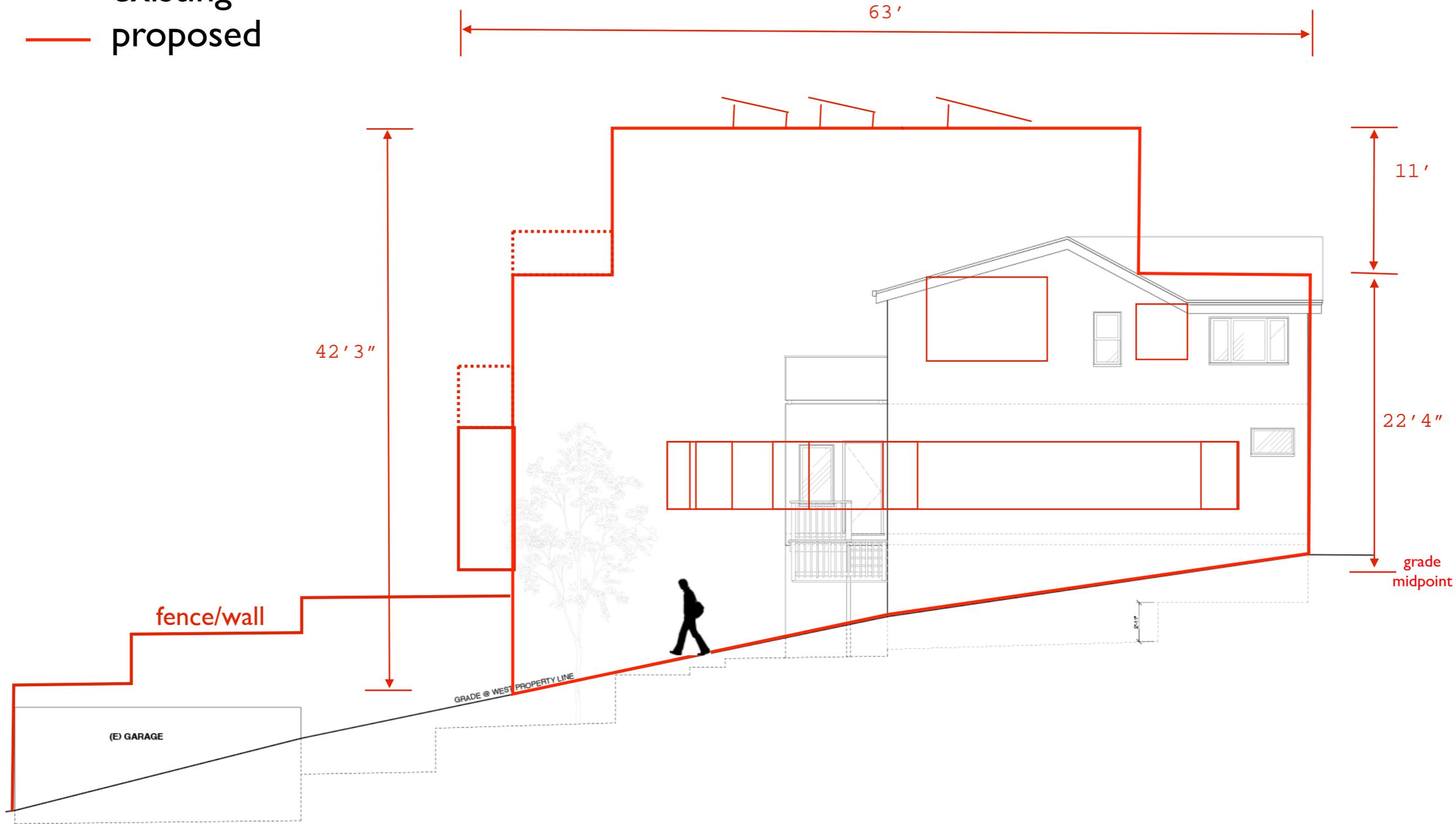


Figure 1b

DR applicants proposed alternative (Front - facing 19th Street)

— existing
— proposed

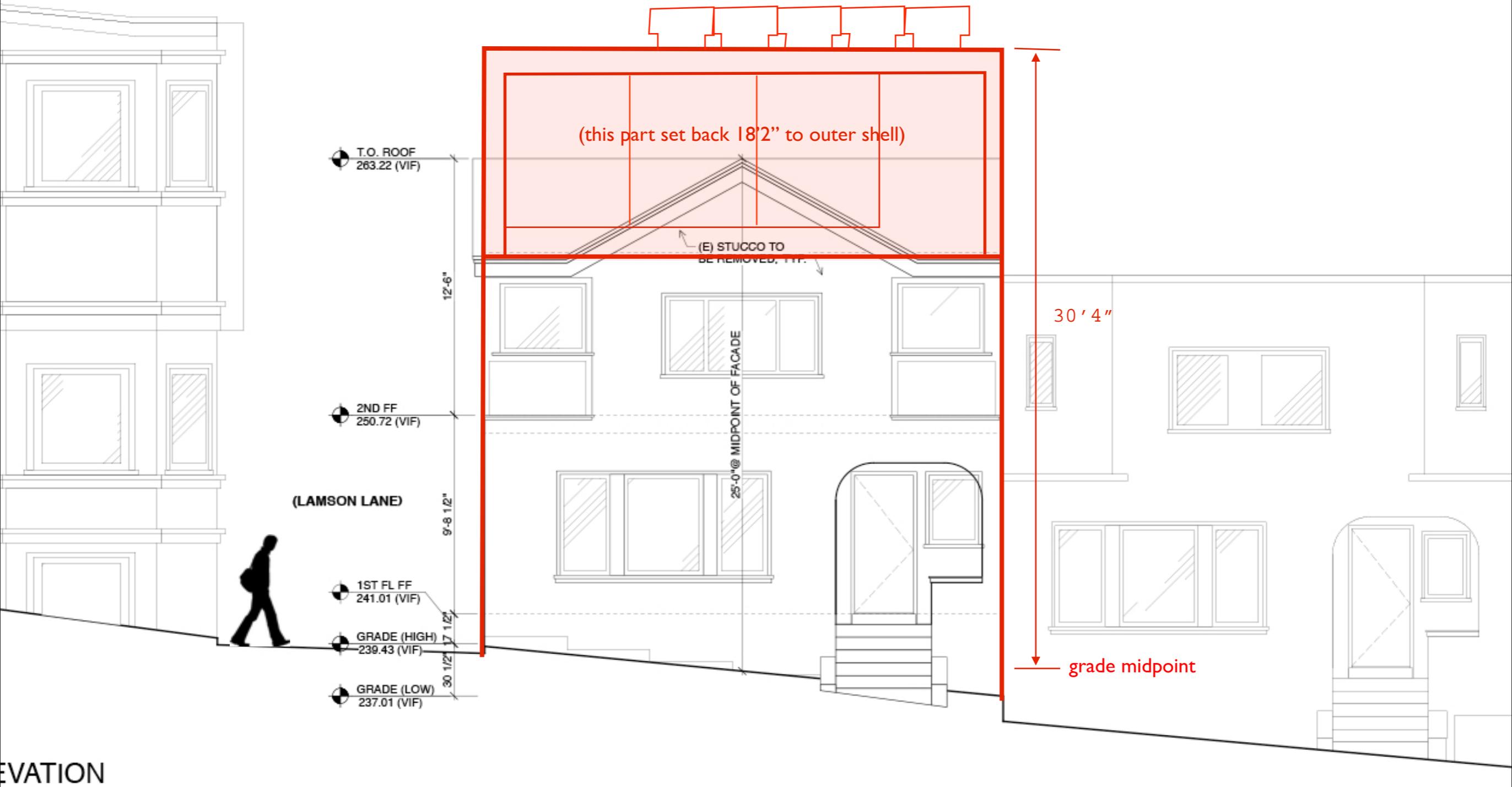


Figure 2a

DR applicants proposed alternative (Side - facing Lamson Lane)

- existing
- proposed

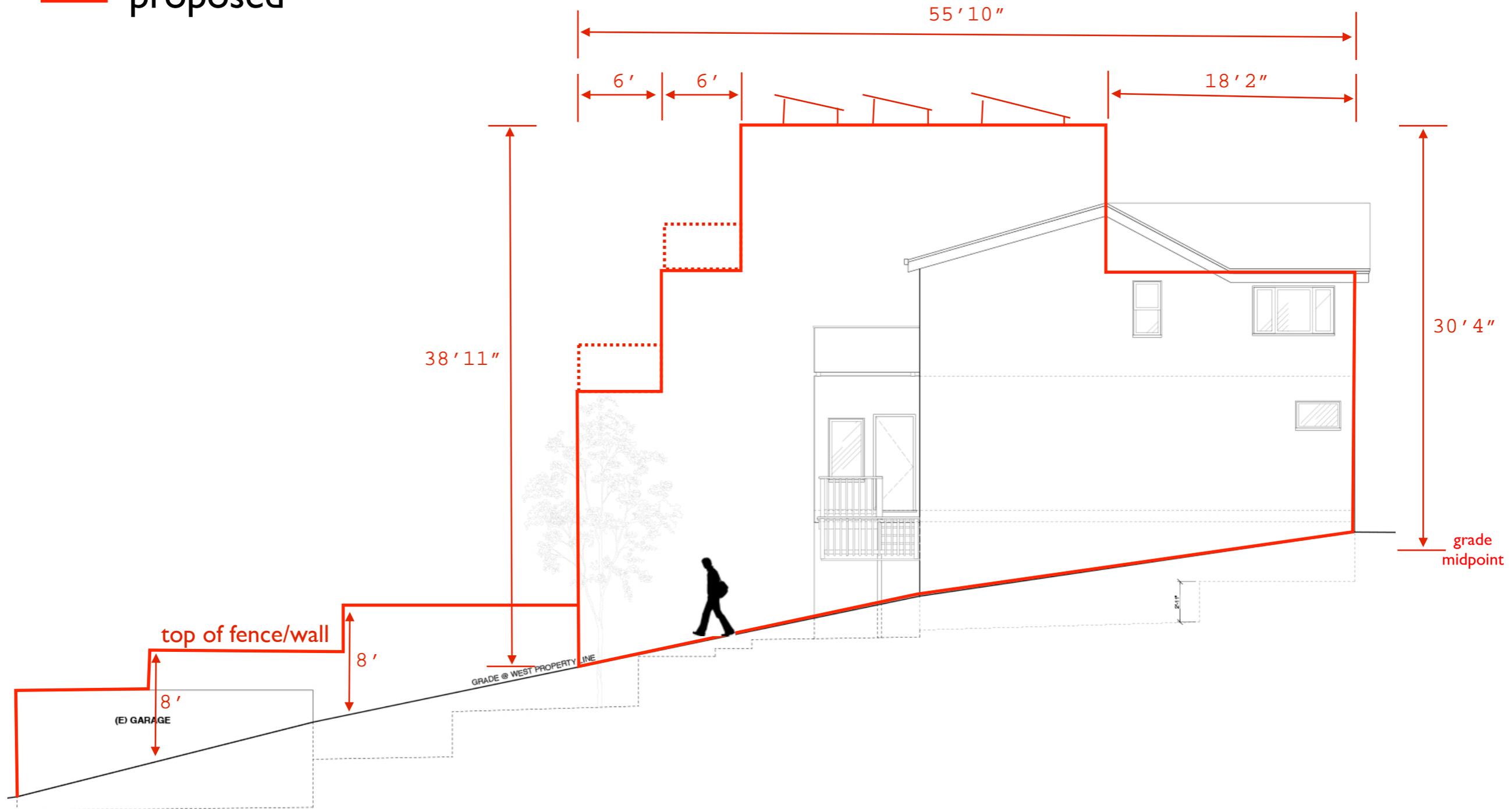


Figure 2b



The existing topography on 19th Street consists of a unbroken pattern of descending rooftops extending from 4660 (well beyond the left boundary of this photograph) to 4534 (just off the right boundary of the photo). The proposed building will strongly disrupt this pattern (see Figure 4).

Figure 3



Front views of the subject property from three points along the sidewalk on 19th Street, with outlines of proposed structure superimposed in red. The top floor setback of 12' 11" is not sufficient. The full height of the building will be disruptively visible from virtually every vantage point on the block.

Figure 4

4546 19th Street

Building Permit Number: 2012.06.25.3387
Case Number: 2012.0818D
Project Sponsor: Ferolyn Powell



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Tab B	Site Photographs
Tab C	Response to DR Requestors Submittal (December 2013)

Ferolyn Powell
55 Caselli Street
San Francisco, CA 94114

January 11, 2014

Pres. Rodney Fong
San Francisco Planning Commission
1650 Mission St. Fourth floor
San Francisco, California

Re: 4546 19th St., Building Permit Application Number 2012.06.25.3387
Application for Discretionary Review 2012.0818D

Dear Pres. Fong and Honorable Planning Commissioners,
We have lived at 55 Caselli St., behind the subject property for 16 years. We love this neighborhood and are deeply committed to it for all sorts of reasons too numerous to list, but you are all San Franciscans, so you know what I'm talking about when I express my love for my neighborhood.

About five years ago we were feeling the lack of space in our current home and began exploring architectural solutions through expansion and remodeling. We filed our building permit applications and Planning staff was very resistant to the exterior changes we were proposing. Our house on Caselli is part of a long row of nearly perfectly maintained craftsman style Eureka Valley homes, and our planner wisely suggested that we needed to reevaluate this project; that we might not ever make it work quite right.

I was in my backyard watching several homes behind me undergo major transformation and expansion when the thought first occurred to me: We really could stay on our block and keep my neighbors but move to a home more in line with our need for space and contemporary design.

We were so pleased to be able to buy the rundown home diagonally behind us at 4546 19th Street from the previous owner occupant. We met with architects and the Planning Department and found we had an excellent opportunity to improve a distressed property to accommodate modern family living. Thus began the journey that led to the design you have before you.

I want to thank Michael Smith of Planning Staff Southwest team for all his guidance in this process and his assistance in improving our design, ensuring that we complied with every element of the Residential Design Guidelines and brought forward the best building possible for this site on 19th Street. With his help, I'm very proud of the proposal for our remodel and expansion that is before you under Discretionary Review.

There is virtually one single request for Discretionary Review that has been duplicated, signed and submitted seven times. There are inaccuracies and inconsistencies in this document that suggest that several signatories have never even read it. I find this really disappointing when we have spent so much time meeting with all of my neighbors and undergoing redesigns to address their concerns.

Please follow staff recommendations and do not take Discretionary Review, approve these plans as submitted and help us move forward with our project to stay in our neighborhood.

Most Sincerely,

Ferolyn Powell

RESPONSE TO DISCRETIONARY REVIEW

Case Number: 2012.0818D
Building Permit Number: 2012.06.25.3387
Address: 4546 19th Street
Project Sponsor: Ferolyn Powell

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?

My project is carefully conceived and designed in close consultation with Planning staff to assure both code compliance and incorporation of all elements of the Residential Design Guidelines of the San Francisco Planning Code.

This home in its current condition is not habitable due to extensive mold infestation and will require considerable investment to return it to a state of habitability.

Following an extensive series of revisions and design modifications my proposed addition has received full support of the Residential Design Team and of Planning Staff.

We have acted in good faith and made respectful and responsive efforts at modifications to our project to address the concerns of these DR requesters. There will be some view blockage and thus we are unable to fully meet the wishes of the DR requesters.

The project should be approved because it is a sensitively designed response to the need for a safe and modern home for family living at 4546 19th Street.

- 2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes indicate whether the changes were made before filing your application with the City or after filing the application.**

We have minimized the projection and the mass of our addition to the point where it cannot be further reduced and still be economically viable for our family. This home is in desperately poor condition and requires removal and replacement of nearly all interior surfaces to address a hazardous mold infestation.

In response to concerns raised by our neighbor to the west across Lamson Lane prior to our Building Permit Application we modified the west facing façade and the projection at the rear which affected their view. At that time we also increased the significant setback on the East side to benefit our adjacent neighbor on that side.

The modifications and revisions following the Building Permit Application have been extensive and numerous. The entire street façade character has been reevaluated and modified to more fully reflect neighboring architectural styles. Our second and third floor setback from the street frontage 15 feet, the top floor sets back at the rear by more than 17 feet from the building face.

Most recently, in response to the DR requesters comments we have revised our frontage along Lamson Lane adding planting and more relief and texture then now exists as an ugly vinyl siding wall.

- 3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.**

Our proposed addition has been found by the Planning Staff and Residential Design Team to be in full compliance with the Residential Design Guidelines of the Planning Code. We have adopted numerous changes for the benefit of the DR Requesters that have been well received, but it seems that so long as we include a vertical addition there will be project opposition.

We are restoring this home to habitable condition, adding a fully independent dwelling unit and creating a home for modern family living, with improved private spaces and a usable family room. This is a well designed alteration that will have a significant effect on our quality of life in San Francisco, and will be a beautiful addition to our block.

Please support staff recommendations and deny the requests for Discretionary Review and approve this project without further delay.

Tab **A**

Plan Set 2012.06.25.3387

POWELL RESIDENCE

SITE PERMIT SET_REVISION 01.09.2014

MEDIUM PLENTY

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MEMB	MEMBRANE
ALUM	ALUMINUM	MFR	MANUFACTURER
APPROX	APPROXIMATELY	MIN	MINIMUM
ARCH	ARCHITECTURAL, ARCHITECT	MISC	MISCELLANEOUS
BD	BOARD	MLDG	MOULDING
BLDG	BUILDING	MTL	METAL
BLKS	BLOCKING	NA	NOT APPLICABLE
BO	BOTTOM OF	NEG	NEGATIVE
BOT	BOTTOM	NIC	NOT IN CONTRACT
BYD	BEYOND	NS	NOT IN SCOPE
CAB	CABINET	NO	NUMBER
CH	CILING HEIGHT	NOM	NOMINAL
CIP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONTROL JOINT	OVERALL	OVERALL
CL	CENTER LINE	O.C.	ON CENTER
CLNG	CILING	O.D.	OUTSIDE DIAMETER
CLOS	CLOSET	OPENING	OPENING
CLR	CLEAR	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNITS	OSS	ORIENTED STRAND BOARD
COL	COLUMN	OVHD	OVERHEAD
CONC	CONCRETE	PAR	PARALLEL
CONT	CONTINGUOUS	PART	PARTITION
CONTR	CONTRACTOR	PC	PIECE
CPT	CABINET	PERF	PERFORATION; PERFORATED
CT	CERAMIC TILE	PERP	PERPENDICULAR
CTSK	COUNTERSINK	PL	PLATE; PROPERTY LINE
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DF	DOUGLAS FIR	PLYWD	PLYWOOD
DD	DECOMPOSED GRANITE	PR	PAIR
DTL	DETAIL	PRELIM	PRELIMINARY
DIA	DIAMETER	PROJ	PROJECT; PROJECTION
DIAG	DIAGONAL	PROP	PROPERTY
DM	DIMENSION	PRPT	PARAPET
DIV	DIVISION	PT	PRESSURE TREATED
DN	DOWN	PTD	PAINTED
DR	DRYWASHER	PSI	POUNDS PER SQUARE INCH
DW	DRAWING	R	RADIUS; RISER
DWG	DRAWING	REQD	REQUIRED
EXIST	EXISTING	RET	RETURN
EA	EACH	REV	REVISED
EJ	EXPANSION JOINT	RM	ROOM
ELEV	ELEVATION	RND	ROUND
ELEC	ELECTRICAL	RO	ROUGH OPENING
EQ	EQUAL	RUB	RUBBER
EQUIP	EQUIPMENT	SC	SOLID CORE
EST	ESTIMATE(D)	SCHED	SCHEDULE
EXC	EXCAVATED	SECT	SECTION
FAB	FABRICATED	SHT	SHEET
FD	FLOOR DRAIN	SHTG	SHEATHING
F.F.	FINISH FLOOR	SIM	SIMILAR
FN	FINISHED	SPEC	SPECIFICATIONS
FLSG	FLASHING	SQ	SQUARE
FLEX	FLEXIBLE	SS	STAINLESS STEEL
FLR	FLOOR	STD	STANDARD
FOUN	FOUNDATION	STL	STEEL
FP	FIREPROOFING	STOR	STORAGE
REF	REFRIGERATOR	STRUCT	STRUCTURAL
FT	FEET FOOT	SUB	SUBSTITUTE
FTG	FOOTING	SUSP	SUSPENDED
GA	GAUGE	SEA	SEE ARCHITECTURAL DRAWINGS
GAL	GALLON	SSD	SEE STRUCTURAL DRAWINGS
GALV	GALVANIZED	SYM	SYMMETRICAL
GD	GARBAGE DISPOSAL	SYS	SYSTEM
GEN	GENERAL	T	TREAD
GL	GLASS, GLAZING	T&G	TONGUE AND GROOVE
GR	GRADE	T-STAT	THERMOSTAT
GWB	GYPSONUM WALL BOARD	TRU	TRASH COMPACTOR
GYP	GYPSONUM	TEMP	TEMPERATURE
HWOD	HARDWOOD	THRESH	THRESHOLD
HORIZ	HORIZONTAL	THRU	THROUGH
HP	HIGH POINT	TOC	TOP OF CONCRETE
HT	HEIGHT	TOP	TOP OF PLANTER
ID	INSIDE DIAMETER	TOS	TOP OF SLAB
IN	INCH	TOIL	TOILET
INCR	INCREASE	TOW	TOP OF WALL
INFO	INFORMATION	TYP	TYPICAL
INSUL	INSULATION	UL	UNDERWRITER'S LABORATORY
INT	INTERIOR	UNFIN	UNFINISHED
INV	INVERT	VF	VERIFY IN FIELD
JST	JOIST	VAR	VARIABLE
JT	JOINT	VERT	VERTICAL
KD	KNOCK OUT	VOL	VOLUME
KP	KICK PLATE	W/	WITH
LAM	LAMINATE	W/O	WITHOUT
LAV	LAVATORY	WAIN	WAINSCOT
LN	LINEAR	W/C	WATER CLOSET
LT	LIGHT	WD	WOOD
LTG	LIGHTING	WH	WATERHEATER
MAS	MASONRY	WIN	WINDOW
MATL	MATERIAL	WP	WATERPROOFING
MAX	MAXIMUM	WS	WEATHERSTRIP
MECH	MECHANICAL	WT	WEIGHT
		YD	YARD
		#	NUMBER

SHEET SYMBOLS

	INTERIOR ELEVATION NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	BUILDING SECTION
	STRUCTURAL GRID LINE
	DETAIL NUMBER
	WALL TYPE
	REFERENCE ELEVATION
	NEW WALL
	WALL TO BE REMOVED

OWNERSHIP AND USE OF DOCUMENTS

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GENERAL NOTES

ALL WORK TO CONFORM TO

2010 California Building Code w/ San Francisco Amendments
2010 California Mechanical Code w/ San Francisco Amendments
2010 California Electrical Code w/ San Francisco Amendments
2010 California Plumbing Code w/ San Francisco Amendments
2007 San Francisco Housing Code

1. Dimensions are to face of finish unless otherwise noted. Dimensions noted with &/- symbol can "float" depending on actual field dimensions. Dimensions without &/- symbol are to be fixed as written. Grid dimensions are to center of structure unless otherwise noted.

2. Do not scale drawings. Written dimensions and notes to take precedence over scaled dimensions. Large scale drawings take precedence over small scale drawings.

3. New walls or footings to be aligned with existing walls. Any work relating to but not aligning with existing conditions shall be brought to the Designer's attention by the Contractor.

4. Contractor to notify Designer of discrepancies before starting work or as they arise.

5. Designer will not be responsible for any changes in plans, details or specifications unless approved in advance of construction.

6. Coordinate exact location of all electrical fixtures and outlets with Designer in field.

7. All Mechanical equipment including, but not limited to, grills, ducts, vents, registers, flues etc., to be coordinated with Architectural drawings.

8. Contractor is responsible for locating and protecting all on site utilities and conditions as necessary. CALL BEFORE DIGGING 1-800-227-2600 (Underground Service Alert)

CODE COMPLIANCE

Zoning Data				
Address: 4546 19th Street				
Block + Lot: 2700/012				
Zoning District: RH-2 Residential- House, Two Family				
Height + Bulk District: 40-X				
Parcel: 270012				
Neighborhood: Castro/Upper Market				
Neighborhood Planning Team: SW Team				
Historic Designation: B- Potential Historic Resource				
Building Data				
Existing				
Construction Type: Frame, Type VN				
Stories- 2 + Basement				
Use Type: Single Family Dwelling				
Units: 1				
Proposed				
Construction Type: Frame, Type VN				
Stories- 3 + Basement + Sub-Basement Levels				
Use Type: Multi-Family Dwelling				
Units: 2				
Zoning Compliance				
	Existing	Proposed	Allowed/Required	
Setbacks:				
Front	0'	0'	15' Min.	
Rear	77'6"	53'1"	45% Min	
Side	0'	0'	0'	
Lot Width	25'0"	25'0"	25' Min.	
Open Space	933	551	167 SF Min.	
Building Height	25'0"	33'-3 1/2"	35' Max	
Building Depth	38'10"	62'9"	63'0" Max	
Building + Site Data				
	Existing	Proposed	Additional	Allowed/Required
Lot Area	2934	2934	No Change	2500 SF Min
Building Area	1625	3910	2285	5,166 SF Max
FAR	0.6	1.3	0.8	1.8 (5,166 SF)
Lot Coverage	51%	80%	29%	N/A
	Upper Unit	2967 SF		
	Lower Unit	656 SF		
Parking	2 (Garage)	2 (Garage)	No Change	N/A
Permeability Calculations				
	SF	Permeable	% of Total	% Permeable
Building Footprint	1438	N	0.49	0
Rear Alley (Thorp Lane)	483	N	0.16	0
Hardscape	46	N	0.02	0
Garage Roof (unplanted)	479	N	0.16	0
Garage Roof (planted)	414	Y	0.14	14
Alley + Front Landscaping	74	Y	0.03	3
Total Lot	2934		1	17

DRAWING INDEX

ARCHITECTURAL

A001	COVER SHEET
A002	EXISTING & PROPOSED SITE PLAN
A003	STREET CONTEXT PHOTOGRAPHS
A004	SECTION 317(B) CALCULATIONS
A101	EXISTING/DEMO PLANS
A102	EXISTING/DEMO ELEVATIONS
A103	EXISTING/DEMO ELEVATIONS
A104	EXISTING/DEMO ELEVATIONS
A201	PROPOSED FLOOR PLANS
A202	PROPOSED FLOOR PLANS
A203	PROPOSED FLOOR PLANS
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A403	EXTERIOR ELEVATIONS
A404	EXTERIOR ELEVATIONS
A501	BUILDING SECTIONS

CIVIL

C001	SITE SURVEY
------	-------------

VICINITY MAP



PROJECT INFORMATION

LOCATION

4546 19th Street
San Francisco, CA 94114

SCOPE OF WORK

- Renovation of a 1,625 SF single family dwelling.
- Creation of a two-family building:
 - Upper Unit **2,967** SF; 3 Bedroom, 3.5 Bath
 - Lower Unit **656** SF; Studio Apartment, 1 Bath
 - Common Area **287** SF; Foyers + Stairs
- Renovation/excavation of garage and roof deck w/planting.
- Existing foundation/framing to be modified as shown.
- Site work at rear yard per plans including yard and a deck.

PROJECT TEAM

CLIENT

Ferolyn Powell
55 Caselli Avenue
San Francisco, CA 94114

Contact: Ferolyn Powell
7 415 601 8154

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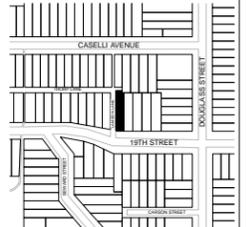
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ARCHITECT'S SEAL



PROJECT

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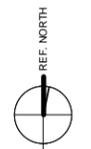
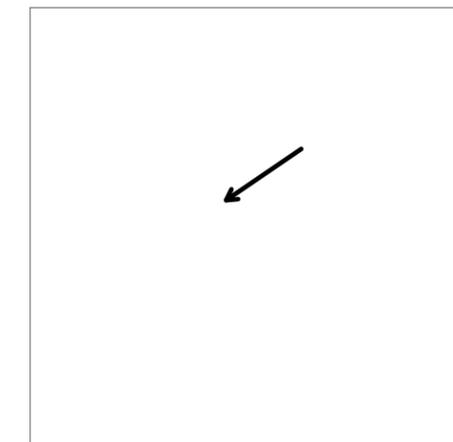


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LOCATION MAP



COVER SHEET

PHASE: SITE PERMIT REVISION
SCALE: N/A

A001
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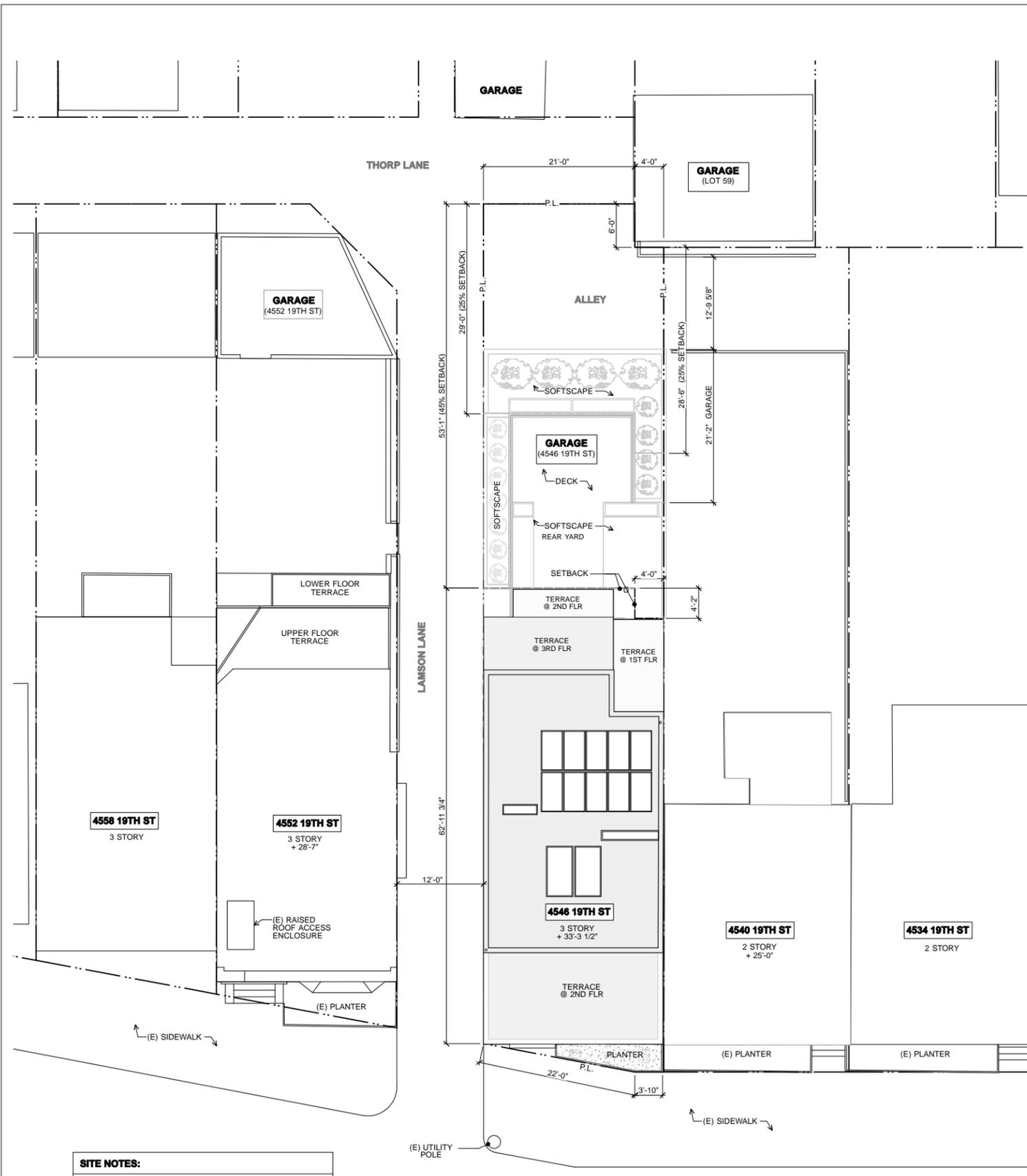
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8	SITE PERMIT REV	01/09/2013



EXISTING & PROPOSED SITE PLAN

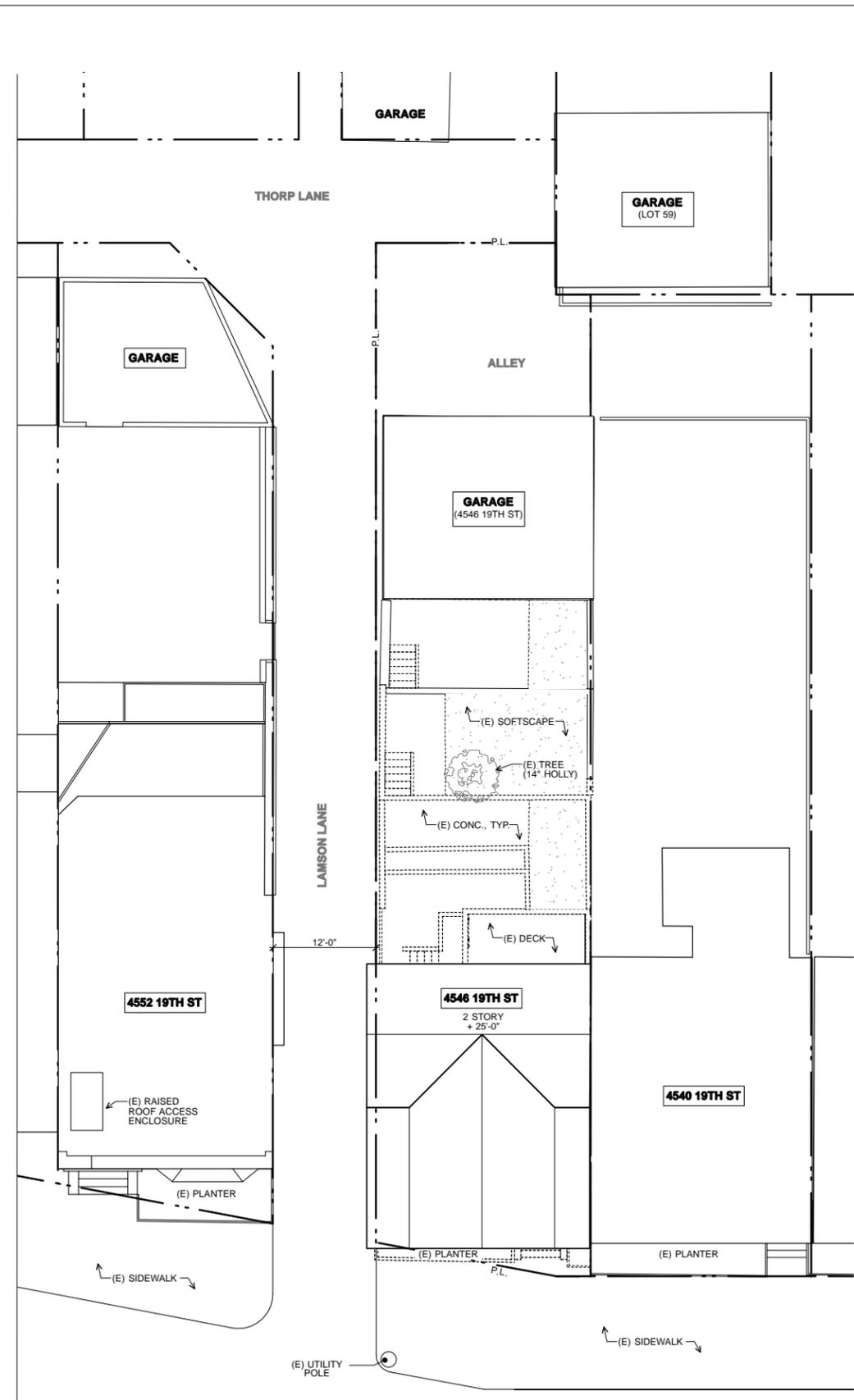
PHASE SCALE SITE PERMIT REVISION AS NOTED

A002
 NOT FOR CONSTRUCTION



SITE NOTES:
 1. SEE SITE SURVEY FOR ADDITIONAL INFORMATION.
 2. SEE CODE COMPLIANCE TABLE (COVER SHEET A001) FOR PERMEABILITY CALCULATIONS

2 PROPOSED SITE PLAN
 1/8" = 1'-0"



1 EXISTING SITE PLAN
 1/8" = 1'-0"

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300 - 312 DOUGLASS 4511 4515 - 4517 4521 4525 - 4527 4529 4535 4545 4555 4565 4567 98 SEWARD



4582 4576 4570 4564 4558 - 4560 4552 4546 SUBJECT PROPERTY 4540 4534 4528 4522 4500 - 4512

NORTH SIDE OF 19TH STREET



SUBJECT PROPERTY + NEIGHBORING PROPERTIES

REVISIONS + ISSUES

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SITE CONTEXT PHOTOGRAPHS

PHASE SCALE SITE PERMIT REVISION
 N/A

A003
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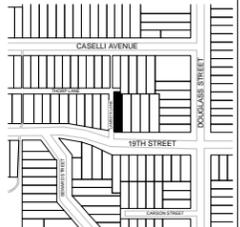
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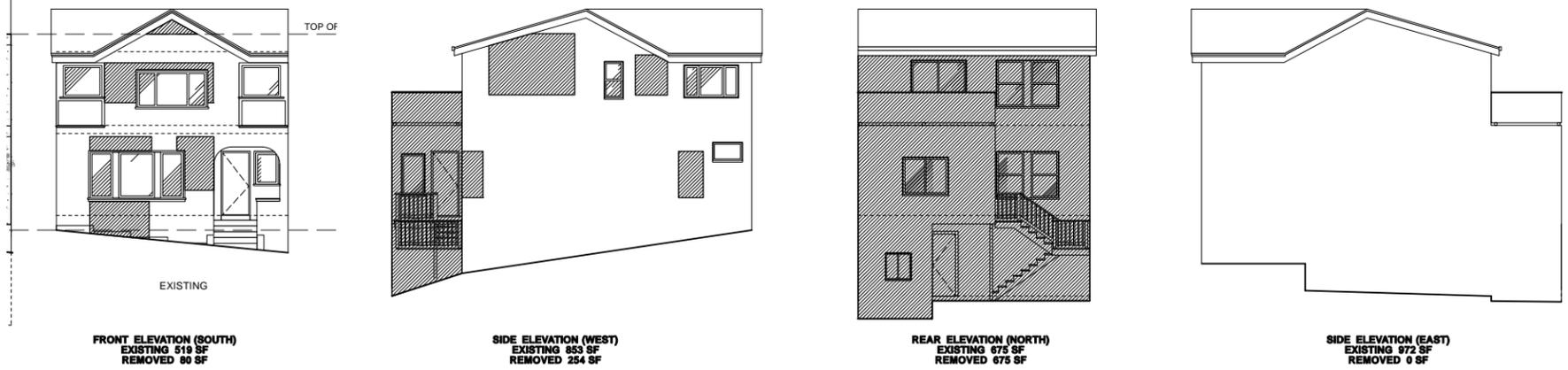


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FRONT ELEVATION (SOUTH)
 EXISTING 519 SF
 REMOVED 80 SF

SIDE ELEVATION (WEST)
 EXISTING 853 SF
 REMOVED 254 SF

REAR ELEVATION (NORTH)
 EXISTING 675 SF
 REMOVED 675 SF

SIDE ELEVATION (EAST)
 EXISTING 972 SF
 REMOVED 0 SF

4 VERTICAL AREA CALCULATIONS
 1/8" = 1'-0"

SECTION 317(B) DEMOLITION CALCULATIONS- METHOD 2

VERTICAL AREA CALCULATIONS, SEE DWG 4/A004

ABOVE GRADE VERTICAL ELEMENTS IN SQUARE FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	ALLOWABLE	COMPLIES?
FRONT (SOUTH)	519	80	15%		
SIDE (WEST)	853	254	30%		
REAR (NORTH)	675	675	100%		
SIDE (EAST)	972	0	0%		
TOTAL	3019	1009	33%	50%	YES

HORIZONTAL AREA CALCULATIONS, SEE DWG 3/A004

HORIZONTAL ABOVE GRADE ELEMENTS IN SQUARE FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	ALLOWABLE	COMPLIES?
BASEMENT LEVEL (BELOW GRADE)	0	0			
FIRST FLOOR	829	98	12%		
SECOND FLOOR	827	276	33%		
ROOF	860	860	100%		
TOTAL	2516	1234	49%	50%	YES

AREA CALCULATIONS

	EXISTING	ADDITION	PROPOSED
BASEMENT LEVEL	834	599	1433
FIRST FLOOR	844	413	1257
SECOND FLOOR	781	109	890
THIRD FLOOR	0	820	820
TOTAL	2459	1941	4400

PERCENT INCREASE: 78%

NOTE: AREA CALCULATIONS ARE TOTAL CONSTRUCTED AREA AND DO NOT REFLECT LIVING SPACE. FOR HABITABLE SQUARE FOOTAGE AREA CALCULATIONS SEE COVER SHEET (CODE COMPLIANCE) AND FLOOR PLANS (SHEETS A201 - A203).

SECTION 317(B) DEMOLITION CALCULATIONS- METHOD 1

FRONT AND REAR FACADE CALCULATIONS; SEE DRAWING 2/A004

SUM OF FRONT AND REAR FACADE MEASURED IN LINEAR FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	ALLOWABLE	COMPLIES?
FRONT FACADE	25	0	0%		
REAR FACADE	25	25	100%		
TOTAL	50	25	50%	50%	YES

PERIMETER WALL CALCULATIONS, SEE DWG 2/A004	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	ALLOWABLE	COMPLIES?
PERIMETER	128.5	32.5	25%	65%	YES

FIRST FLOOR
 EXISTING HORIZONTAL AREA NOT AT GRADE: 829 SF
 REMOVED HORIZONTAL AREA NOT AT GRADE: 98 SF

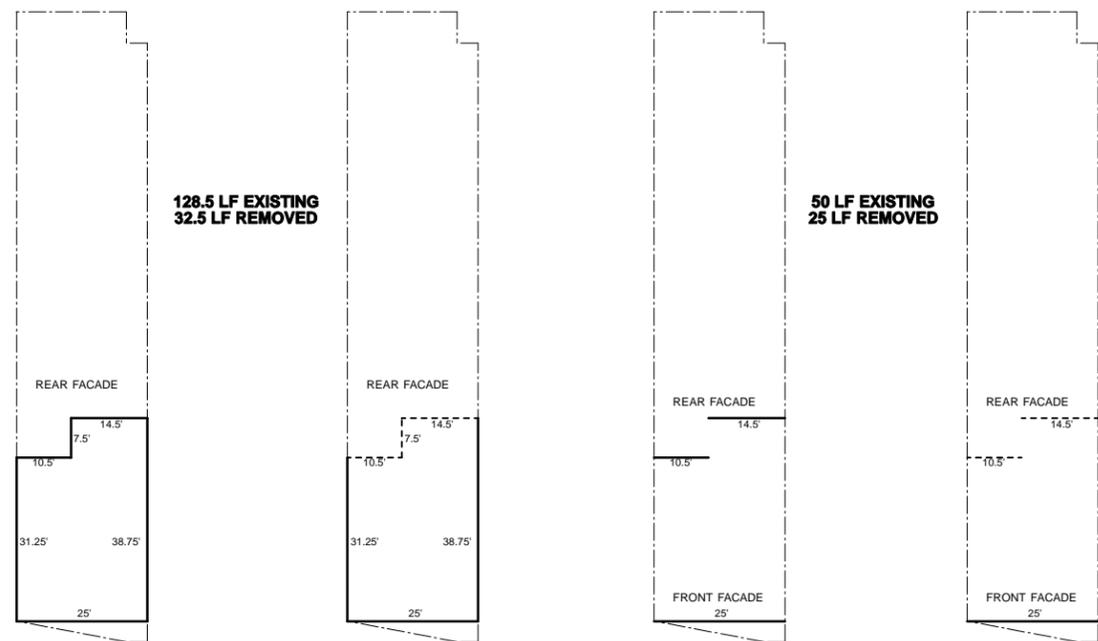
SECOND FLOOR
 EXISTING HORIZONTAL AREA NOT AT GRADE: 827 SF
 REMOVED HORIZONTAL AREA NOT AT GRADE: 276 SF

ROOF
 EXISTING HORIZONTAL AREA NOT AT GRADE: 860 SF
 REMOVED HORIZONTAL AREA NOT AT GRADE: 860 SF



3 HORIZONTAL AREA CALCULATIONS
 1/16" = 1'-0"

EXISTING **PROPOSED** **EXISTING** **PROPOSED**



2 PERIMETER WALLS- LINEAR FEET
 1/16" = 1'-0"

1 FRONT AND REAR- LINEAR FEET
 1/16" = 1'-0"

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SECTION 317B CALCULATIONS

PHASE SCALE SITE PERMIT REVISION
 AS NOTED

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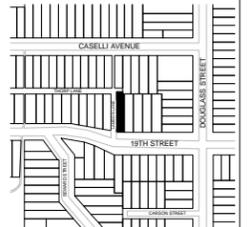
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PROJECT

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EXISTING/DEMO FLOOR PLANS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A101

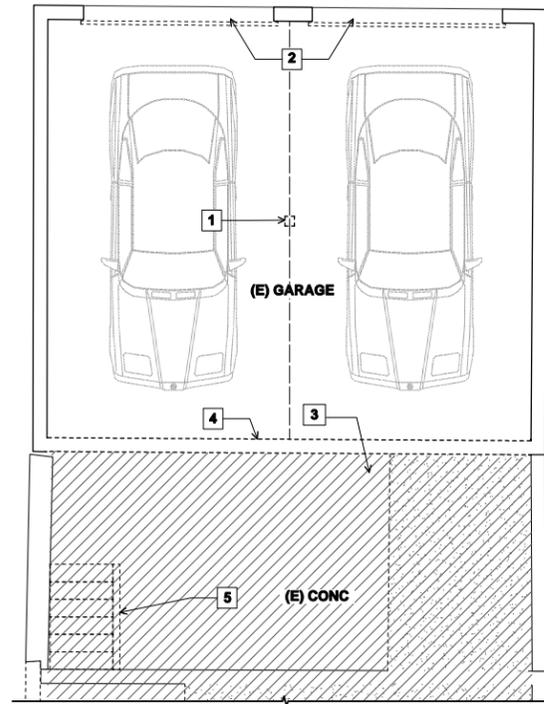
NOT FOR CONSTRUCTION

DEMO NOTES:

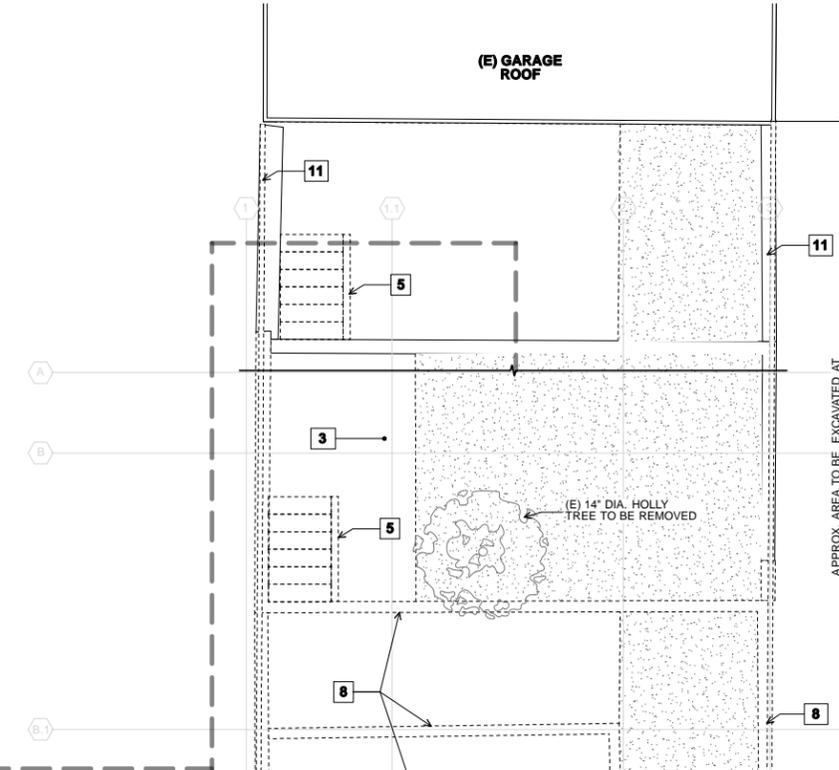
1. EXISTING WD. BEAMS & COLUMNS TO BE REMOVED & DISCARDED, TYP.
2. EXISTING DOORS & WINDOWS TO BE REMOVED & DISCARDED, TYP.
3. EXISTING CONC. SLAB TO BE REMOVED AS NECESSARY. EXCAVATE AS REQD. TO ACCOMMODATE NEW LAYOUT.
4. EXISTING WALL TO BE REMOVED & DISCARDED.
5. EXISTING STAIRS TO BE REMOVED & DISCARDED.
6. EXISTING FIXTURES & MILLWORK TO BE REMOVED & DISCARDED.
7. ALL REMOVED MATERIALS + FIXTURES TO BE SORTED AND DONATED, RECYCLED OR REUSED AS POSSIBLE.
8. TYPICAL EXISTING CONCRETE RETAINING WALL TO BE REMOVED AND DISCARDED
9. EXISTING PLANTER TO BE REMOVED AND DISCARDED
10. EXISTING CONCRETE BUTTRESS TO BE REMOVED AND DISCARDED
11. EXISTING FENCE TO BE REMOVED AND DISCARDED
12. EXISTING CONCRETE BUTRESS TO REMAIN, TYP.

WALL / DEMO LEGEND:

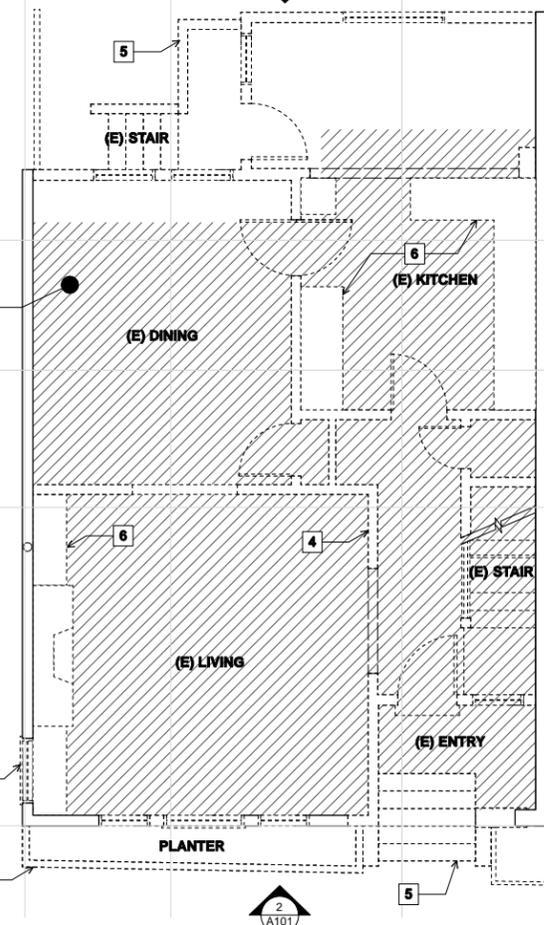
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED



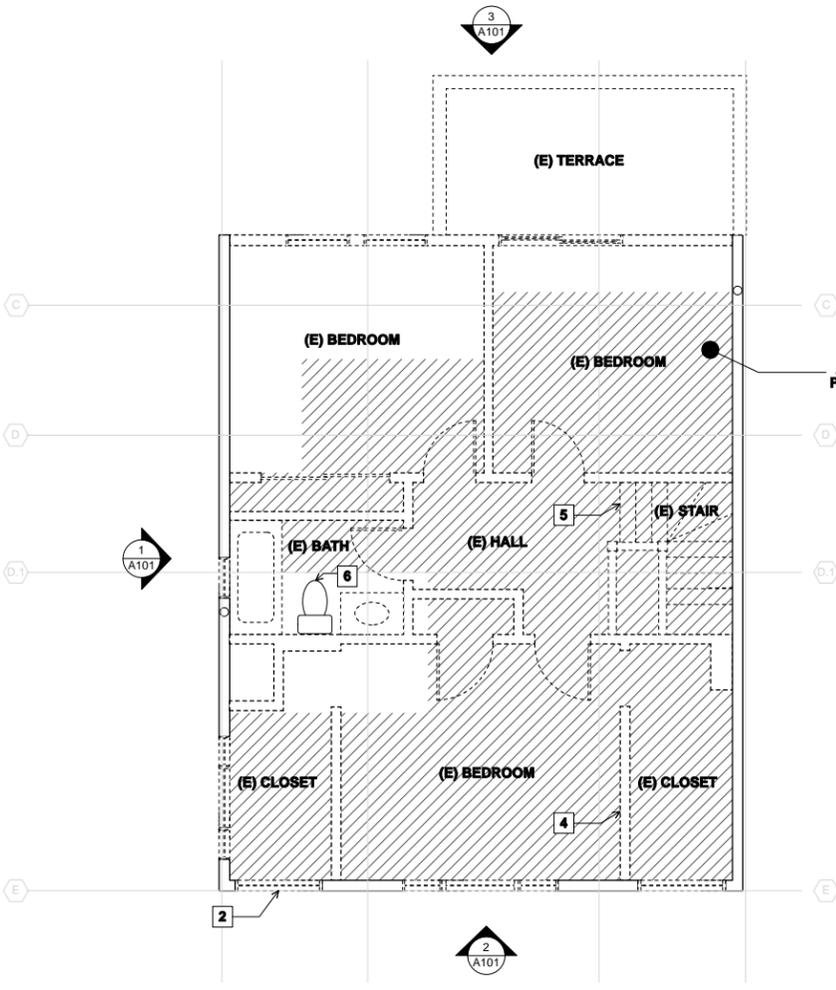
4 EXISTING/DEMO GARAGE FLOOR PLAN
 1/4" = 1'-0"



1 EXISTING/DEMO BASEMENT LEVEL PLAN
 1/4" = 1'-0"



2 EXISTING/DEMO FIRST FLOOR PLAN
 1/4" = 1'-0"



3 EXISTING/DEMO SECOND FLOOR PLAN
 1/4" = 1'-0"

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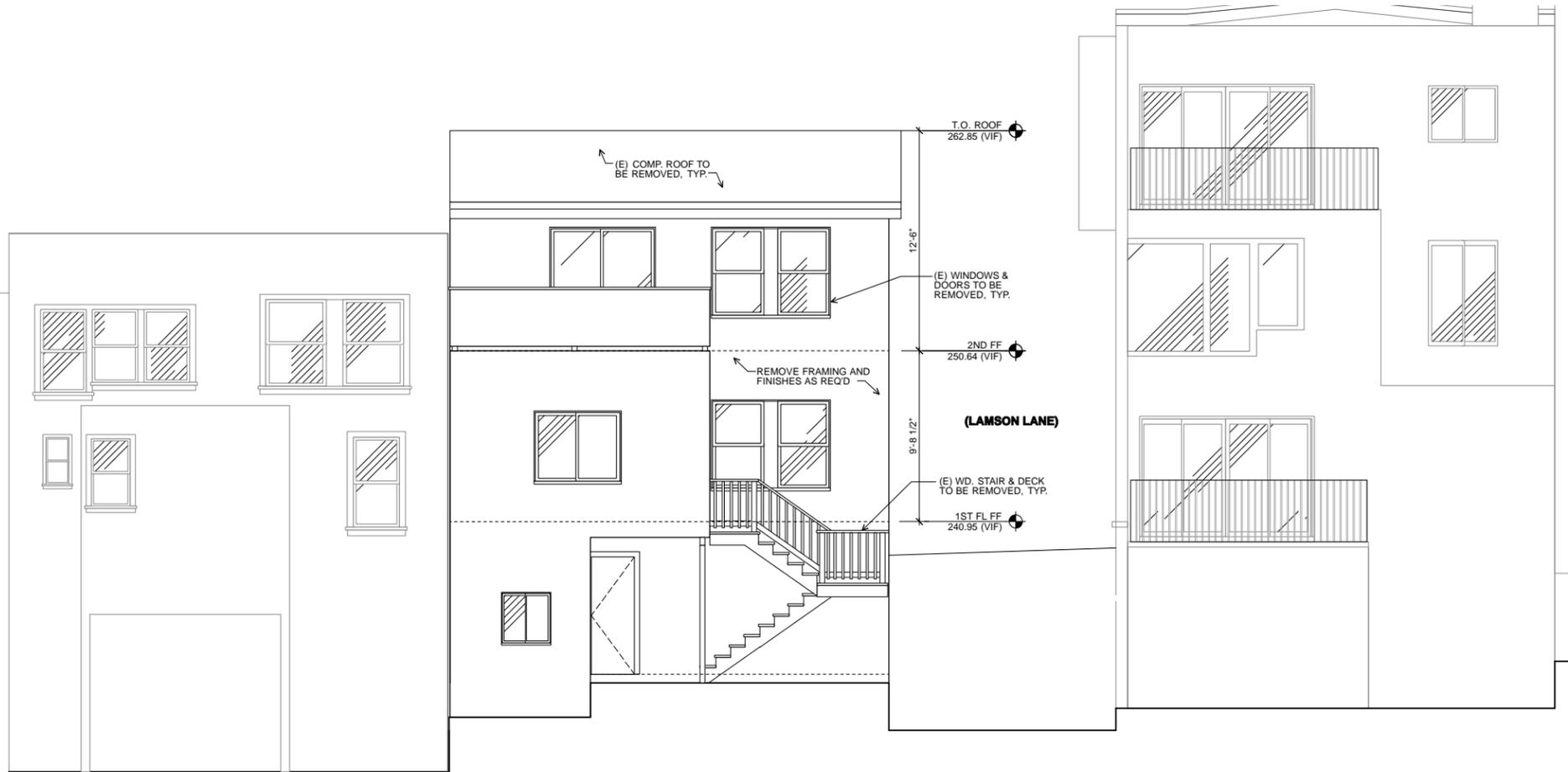
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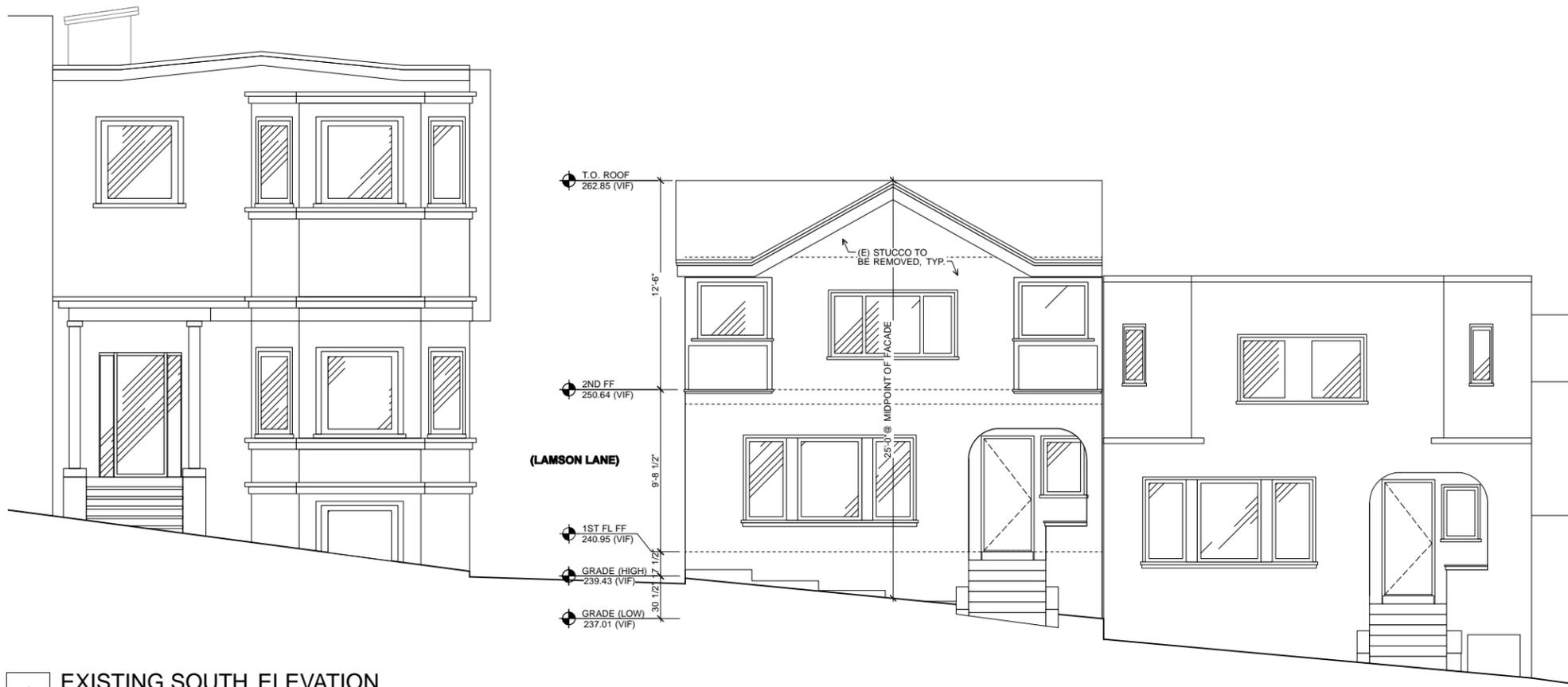


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2 EXISTING NORTH ELEVATION
 1/4" = 1'-0"

SHEET NOTES:
 1. REFER TO DEMOLITION PLANS (A101) FOR EXTENT AND AREAS OF REMOVAL



1 EXISTING SOUTH ELEVATION
 1/4" = 1'-0"

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EXISTING/DEMO ELEVATIONS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A102
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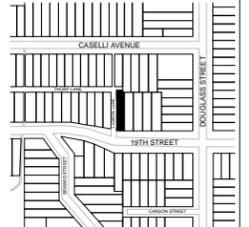
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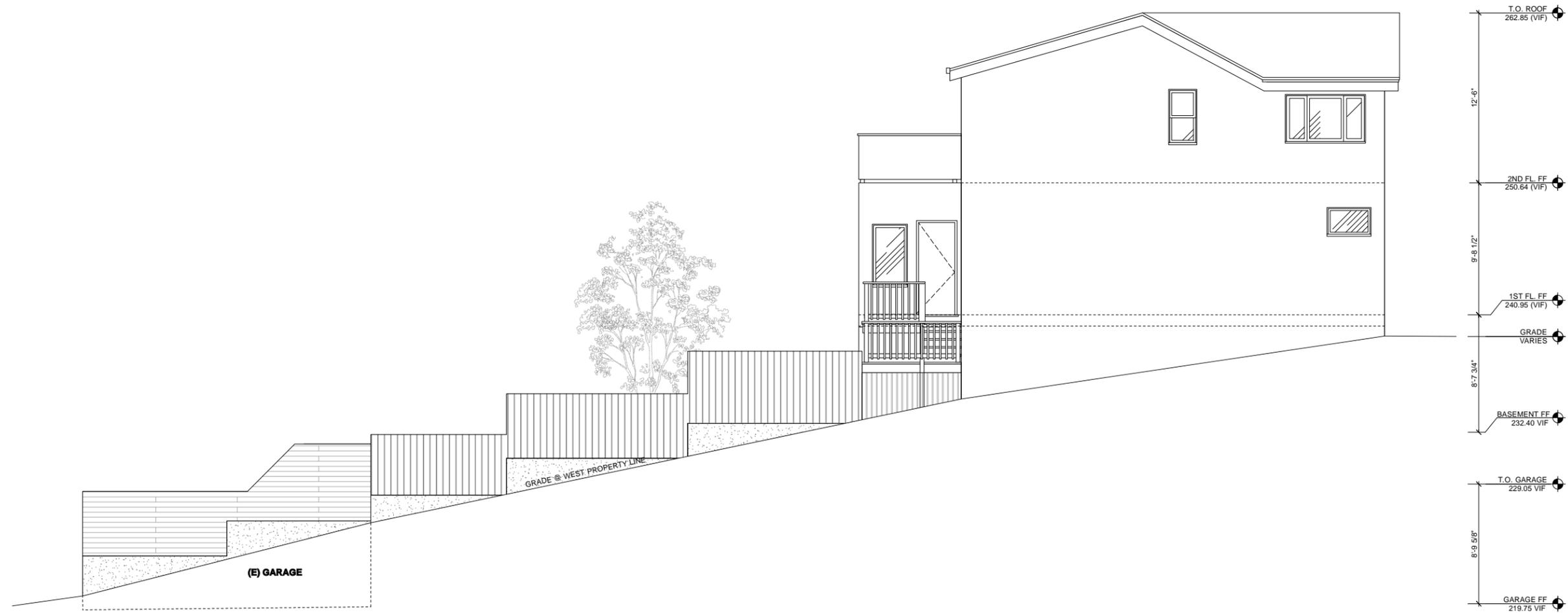
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8	SITE PERMIT REV	01/09/2013

EXISTING / DEMO ELEVATIONS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A103
 NOT FOR CONSTRUCTION



1 EXISTING WEST ELEVATION
 1/4" = 1'-0"

SHEET NOTES:
 1. REFER TO DEMOLITION PLANS (A101) FOR EXTENT AND AREAS OF REMOVAL

MEDIUM PLENTY

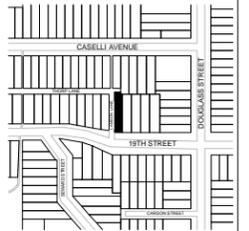
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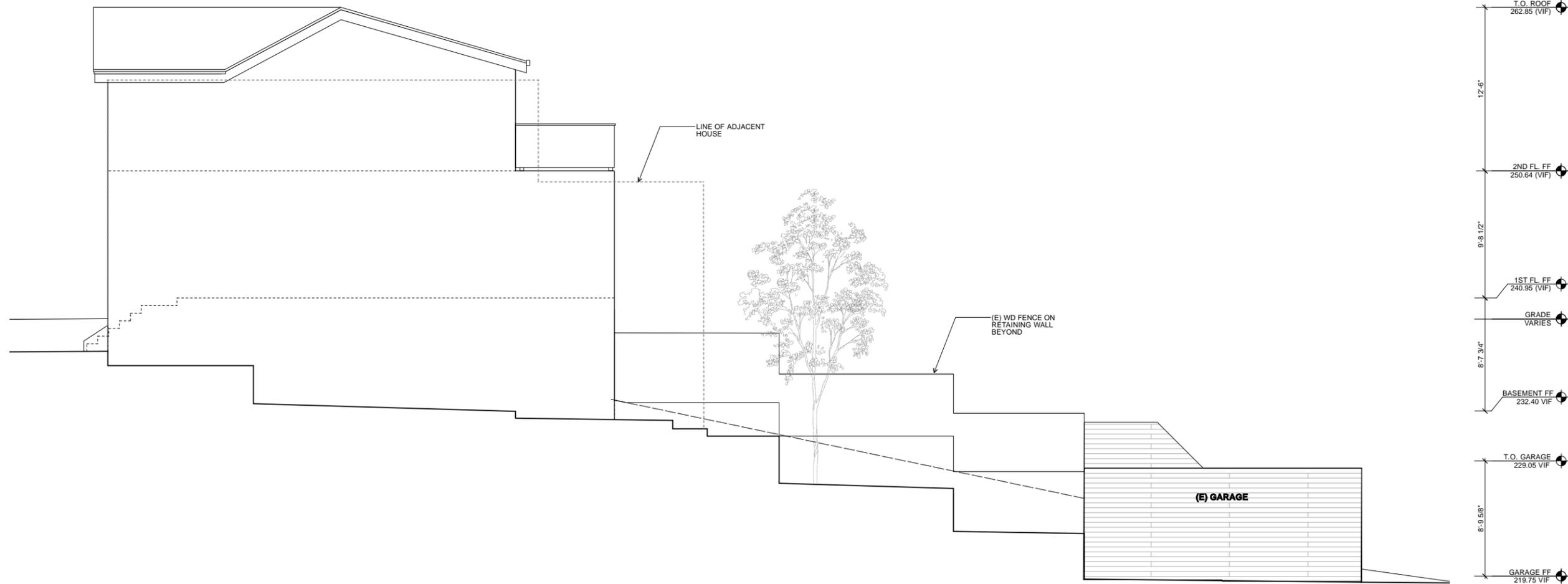
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EXISTING / DEMO ELEVATIONS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A104

NOT FOR CONSTRUCTION



1 EXISTING EAST ELEVATION
 1/4" = 1'-0"

SHEET NOTES:
 1. REFER TO DEMOLITION PLANS (A101) FOR EXTENT AND AREAS OF REMOVAL

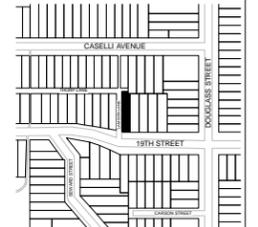
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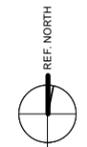
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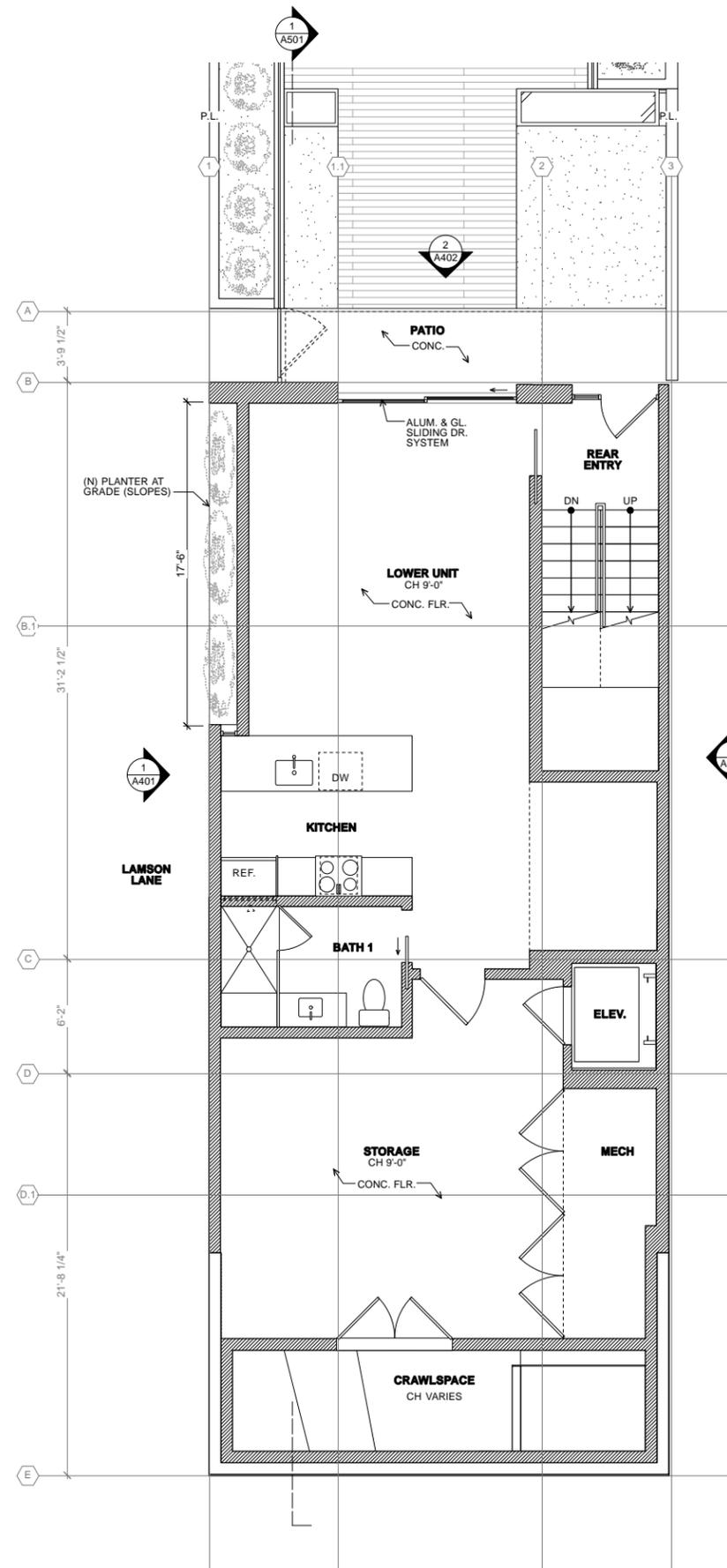
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7	PLANNING REVIEW	10/31/2013
8	SITE PERMIT REV	01/09/2013



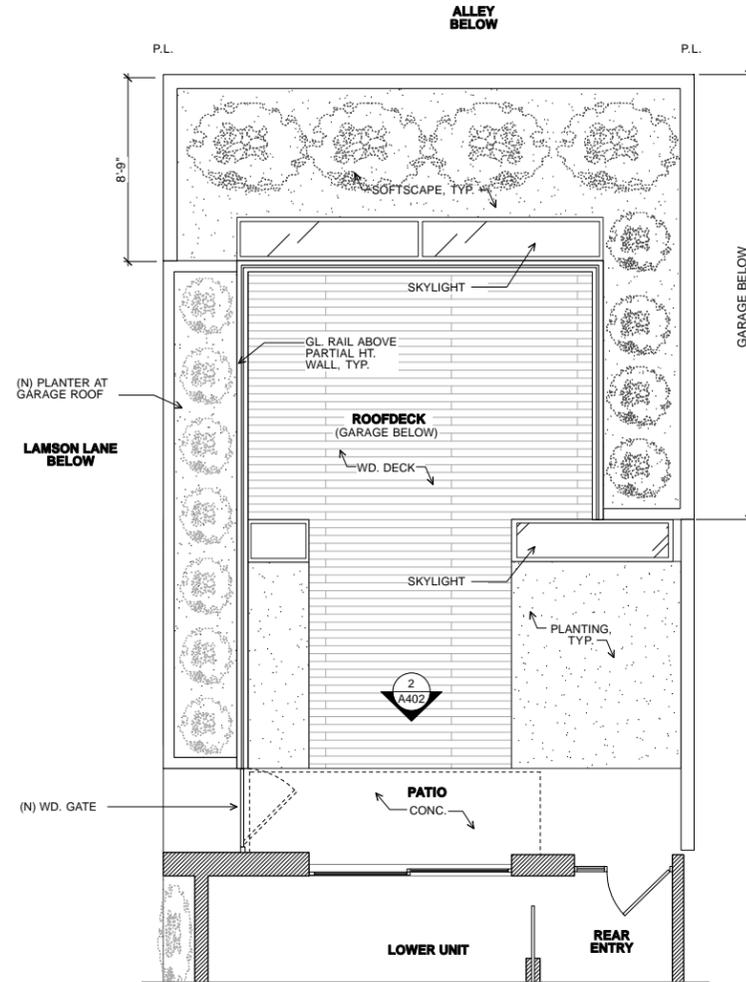
PROPOSED FLOOR PLANS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A201
 NOT FOR CONSTRUCTION



3 PROPOSED LOWER UNIT PLAN
 1/4" = 1'-0"



2 PROPOSED REAR YARD PLAN- GARAGE BELOW
 1/4" = 1'-0"

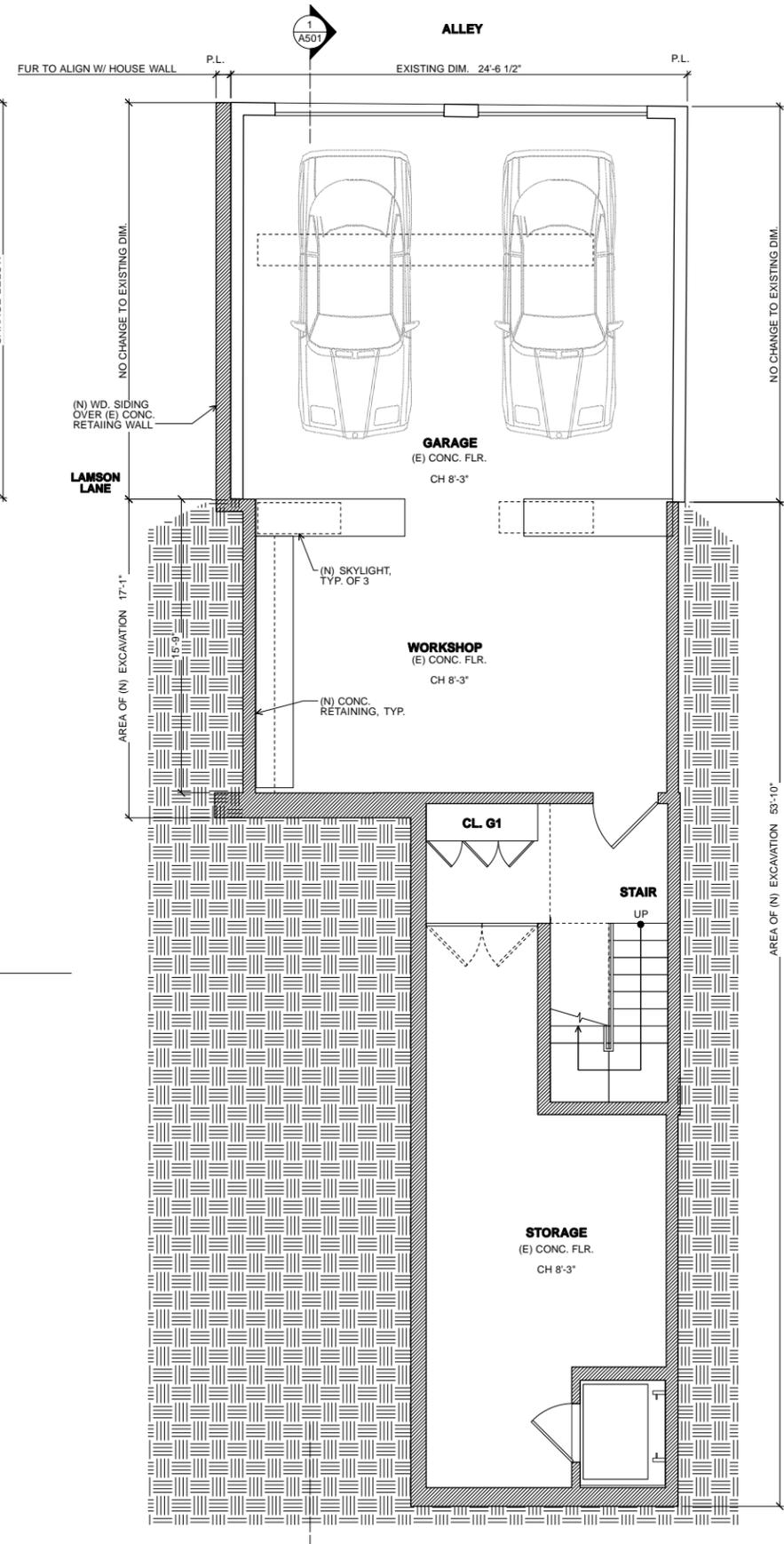
WALL LEGEND:

	EXISTING WALL TO REMAIN
	NEW WALL / PARTITION

AREA CALCULATIONS

LEVEL	ROOM	AREA (SF)	CONDITION
GARAGE LEVEL	1,358 SF TOTAL		
	GARAGE (E)	536 SF	UNCONDITIONED
	WORKSHOP	381 SF	UNCONDITIONED
	COMMON (FOYER + STAIRS)	144 SF	
	STORAGE	297 SF	UNCONDITIONED
LOWER UNIT LEVEL	1,433 SF TOTAL		
	LOWER UNIT	656 SF	
	COMMON (FOYER + STAIRS)	143 SF	
	STORAGE, MECH. & ELEVATOR*	452 SF	UNCONDITIONED
	CRAWLSPACE	182 SF	UNCONDITIONED

*INCLUDES ELEVATOR FOOTPRINT



1 PROPOSED GARAGE PLAN
 1/4" = 1'-0"

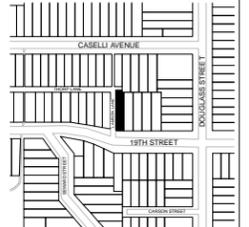
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ARCHITECT'S SEAL



PROJECT
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 San Francisco, CA 94114



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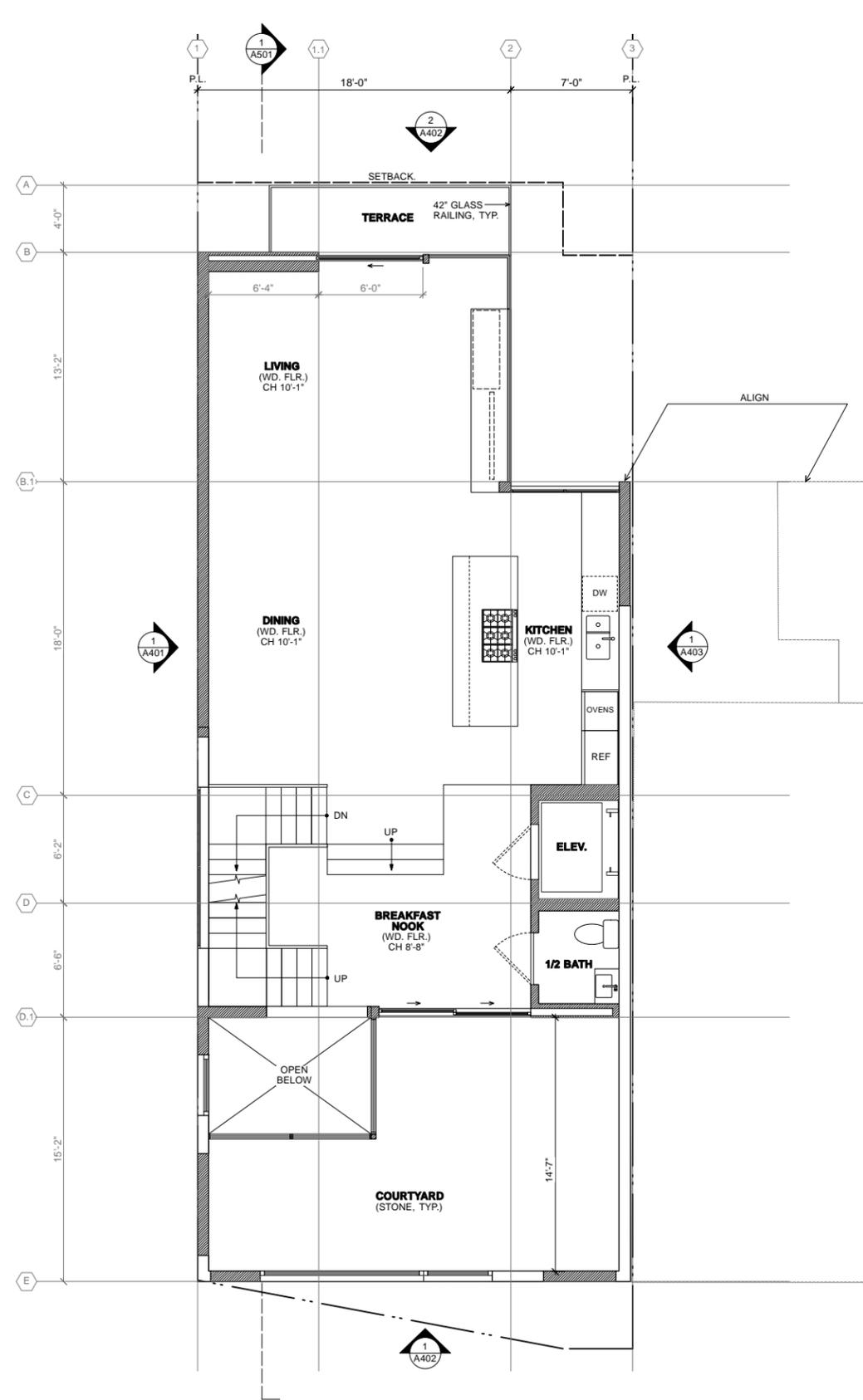
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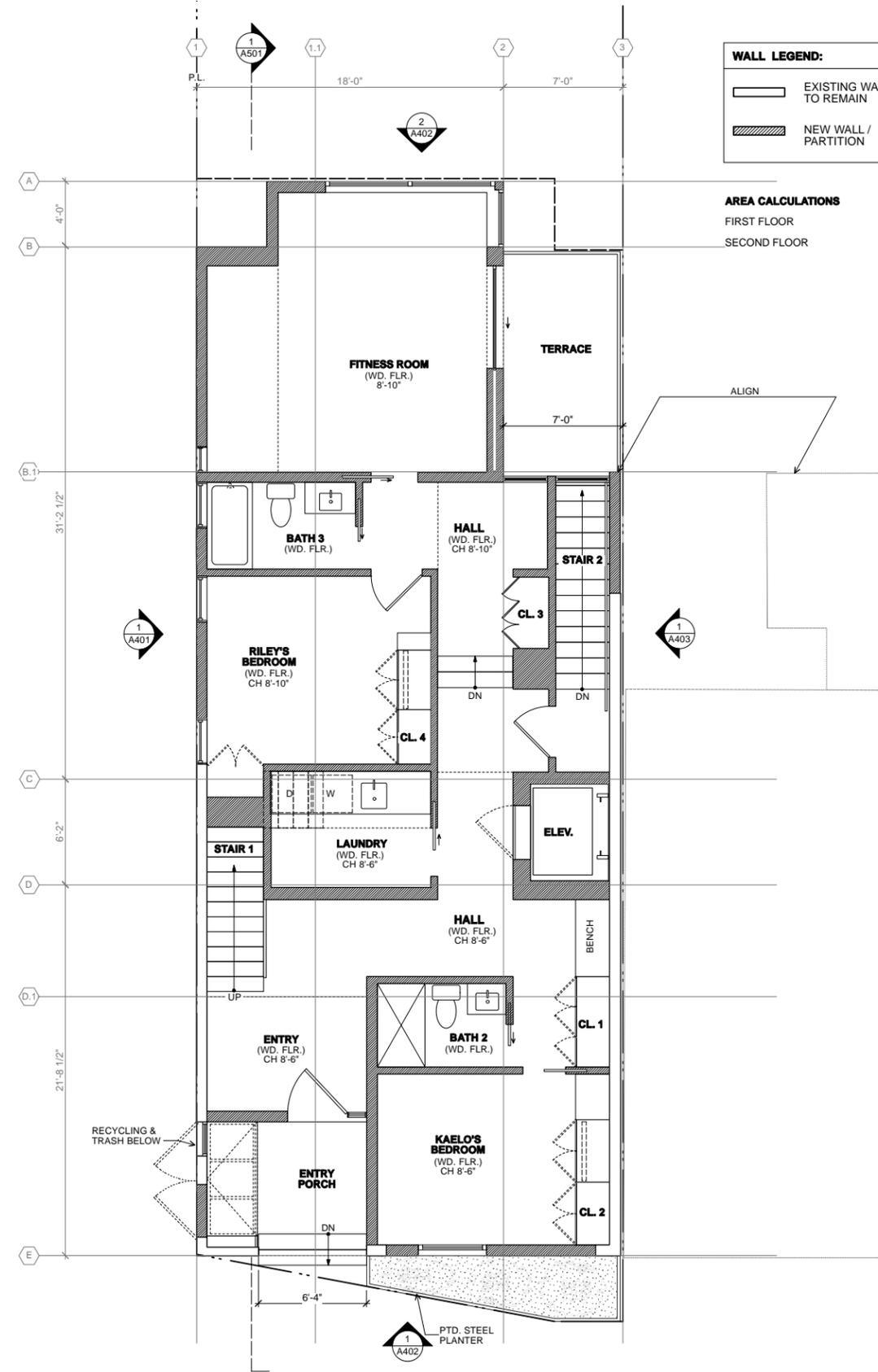
PROPOSED FLOOR PLANS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A202
 NOT FOR CONSTRUCTION



2 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

WALL LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALL / PARTITION

AREA CALCULATIONS

FIRST FLOOR	1,257 SF
SECOND FLOOR	890 SF

MEDIUM PLENTY

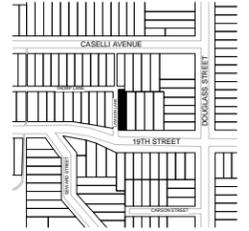
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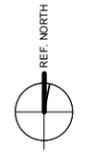
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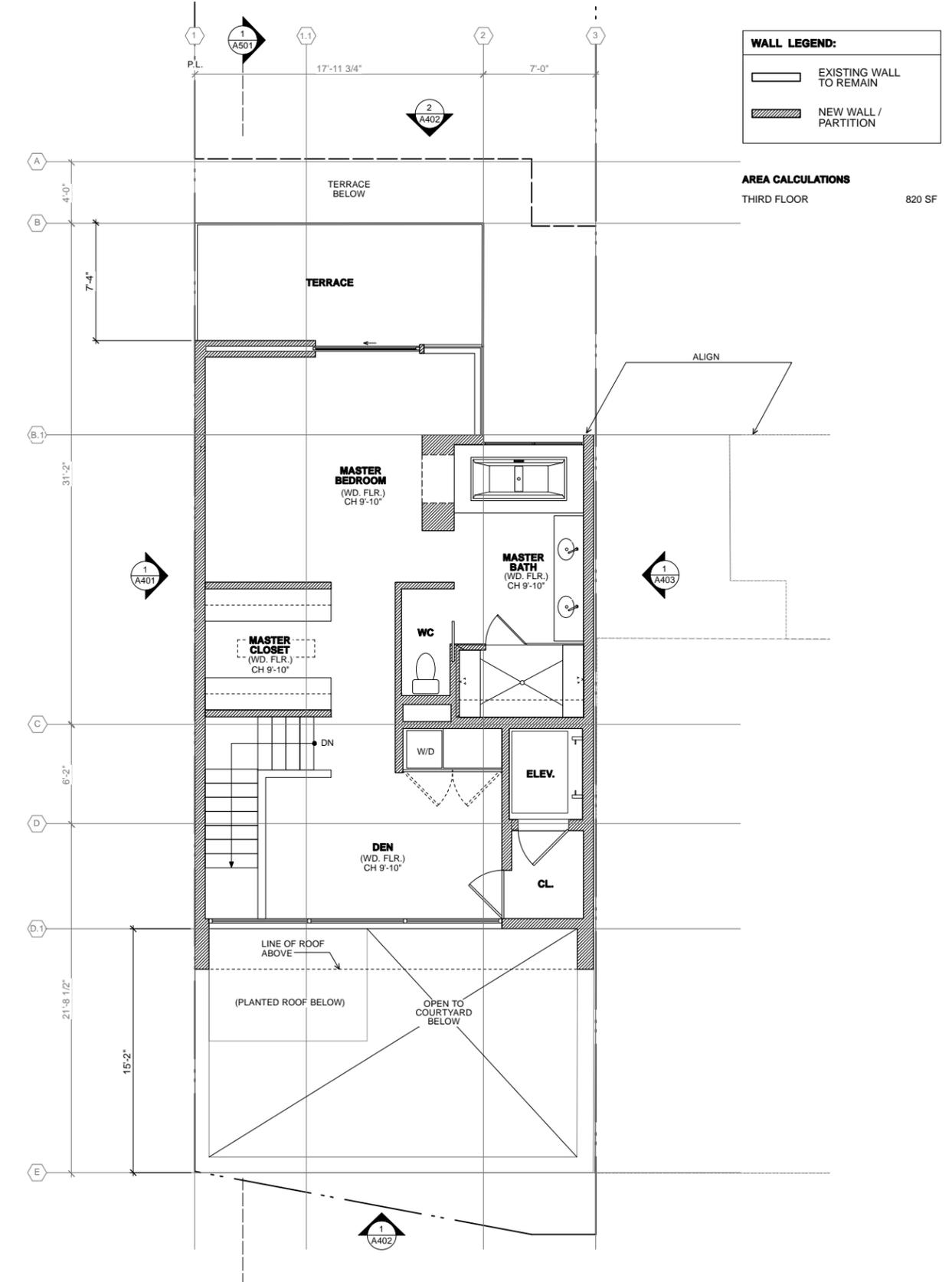
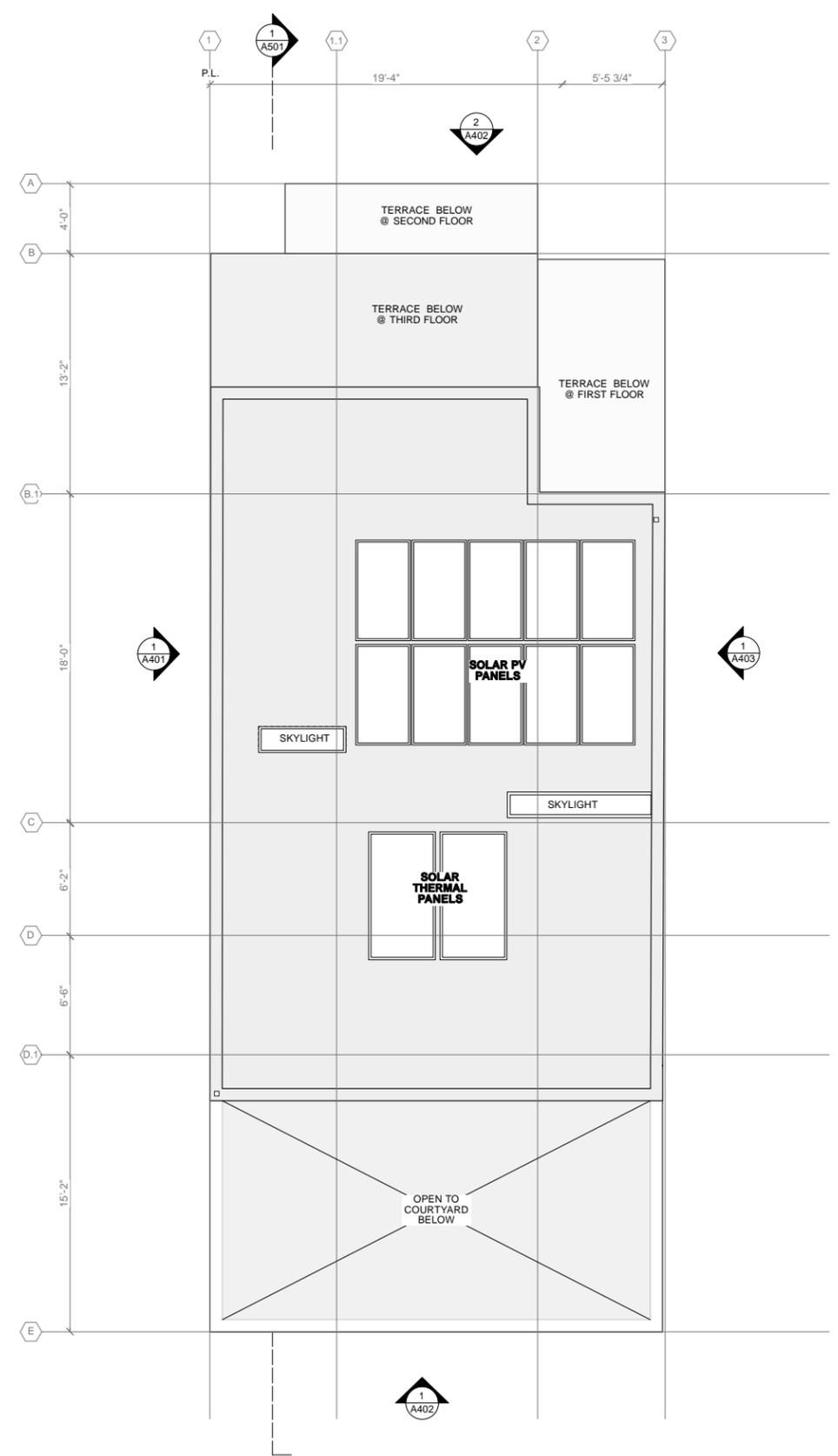
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PROPOSED FLOOR PLANS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A203
 NOT FOR CONSTRUCTION



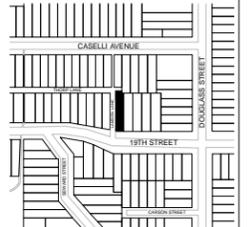
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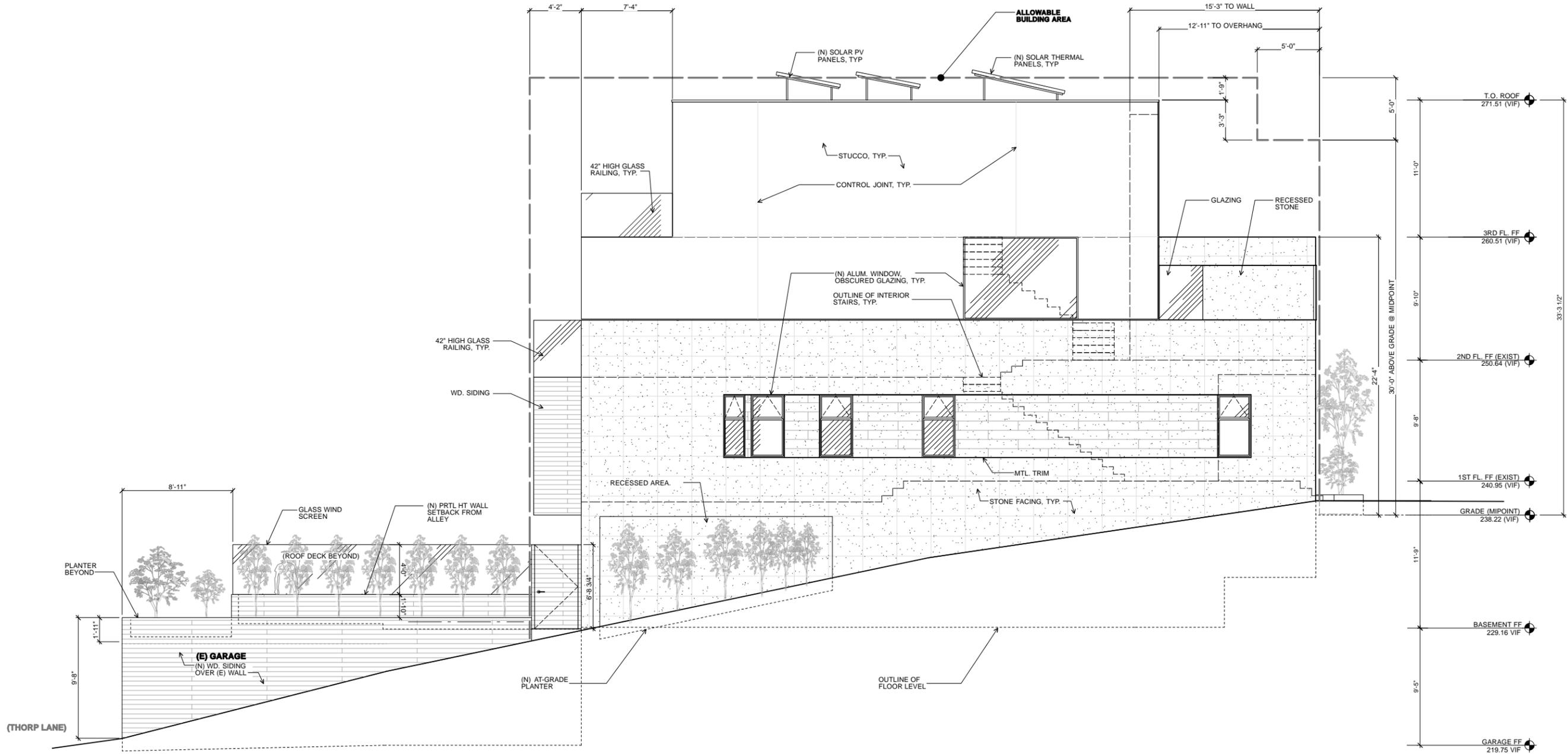
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1 PROPOSED WEST ELEVATION
 1/4" = 1'-0"

EXTERIOR ELEVATIONS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A401
 NOT FOR CONSTRUCTION

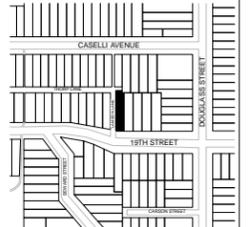
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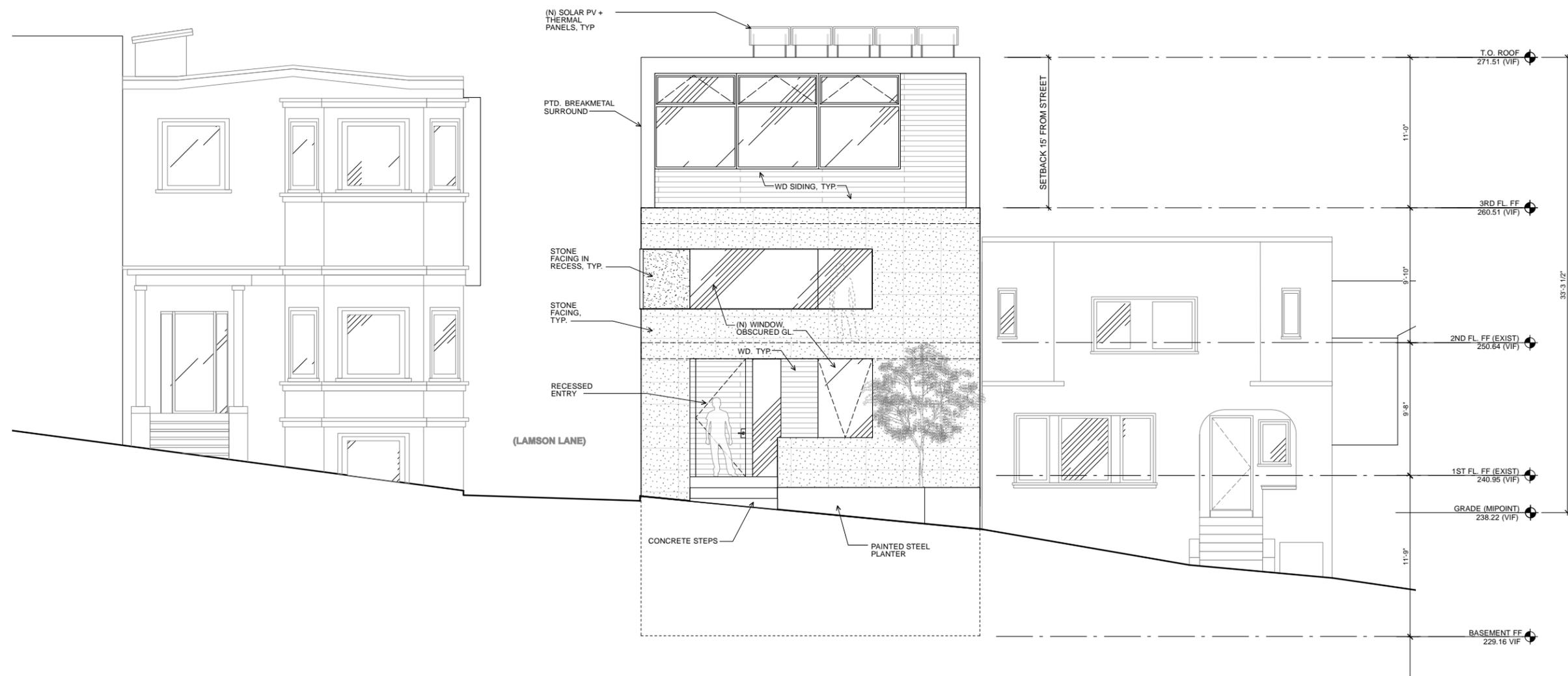
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EXTERIOR ELEVATIONS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A402
 NOT FOR CONSTRUCTION

1 PROPOSED SOUTH ELEVATION
 1/4" = 1'-0"

MEDIUM PLENTY

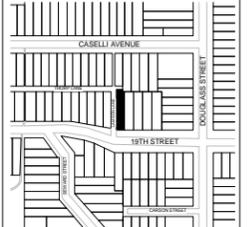
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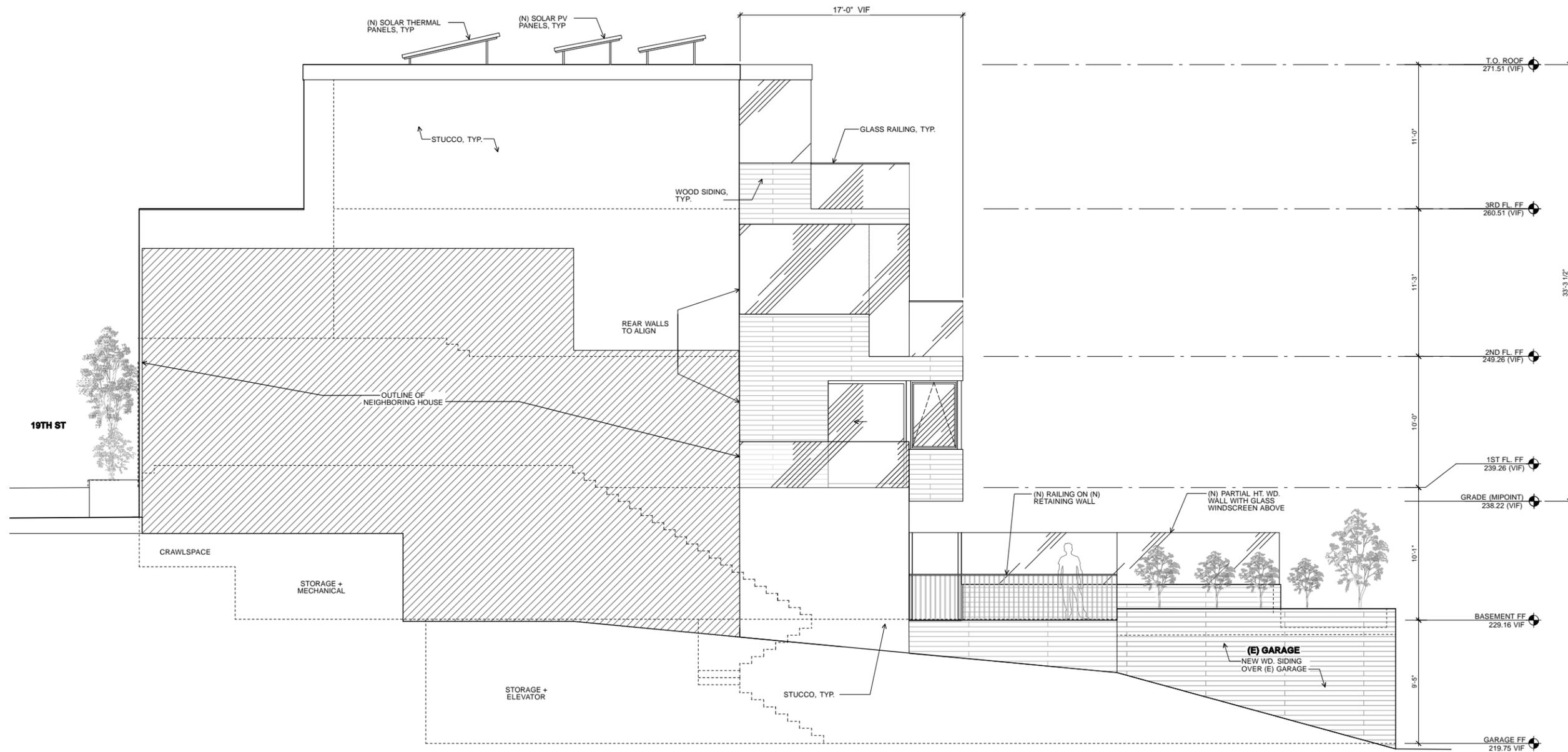
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EXTERIOR ELEVATIONS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A403
 NOT FOR CONSTRUCTION



1 PROPOSED EAST ELEVATION
 1/4" = 1'-0"

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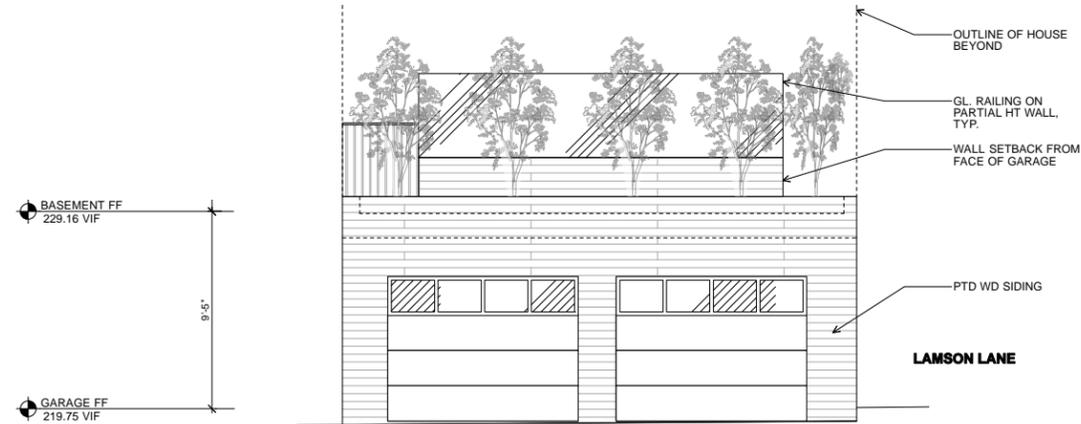
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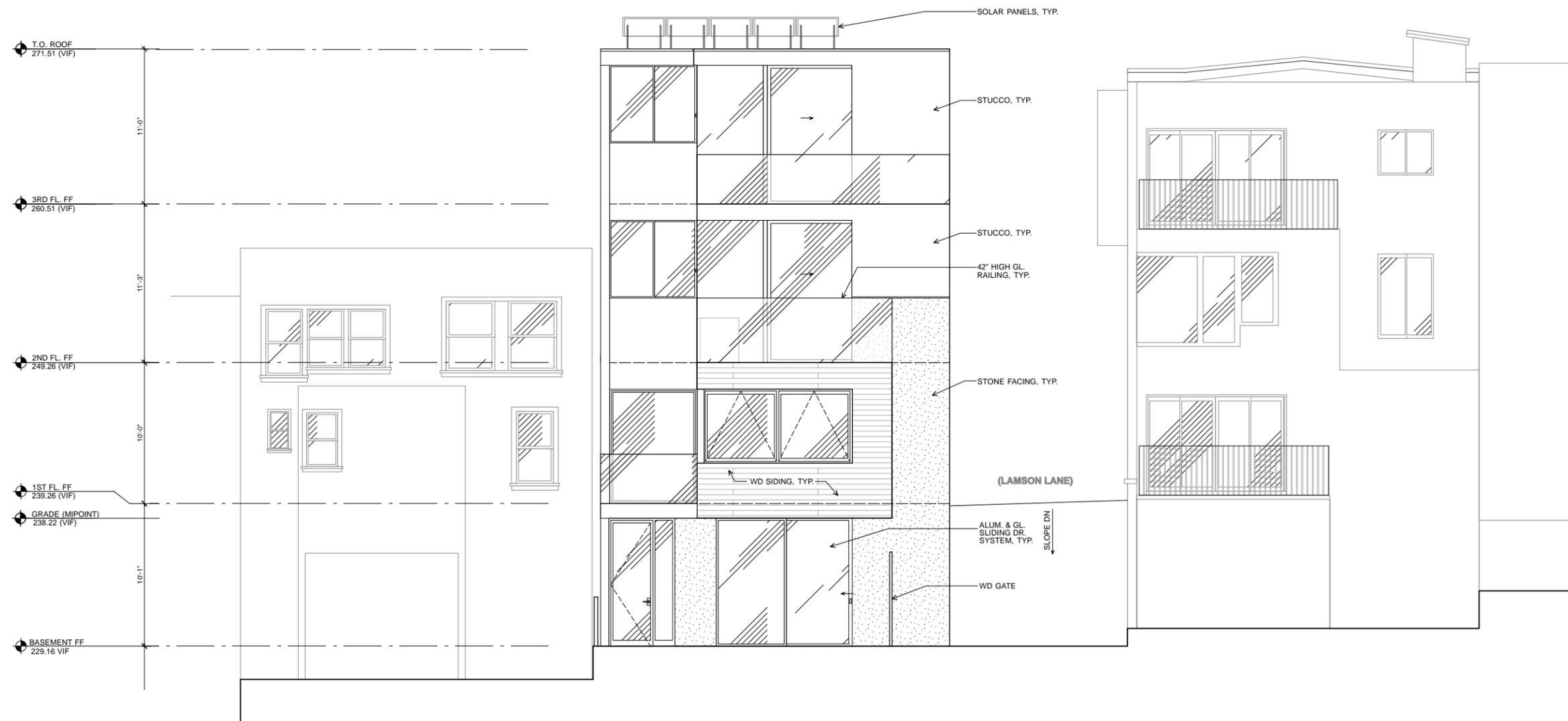
EXTERIOR ELEVATIONS

PHASE SCALE SITE PERMIT REVISION AS NOTED

A404
 NOT FOR CONSTRUCTION



2 PROPOSED GARAGE NORTH ELEVATION
 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
 1/4" = 1'-0"

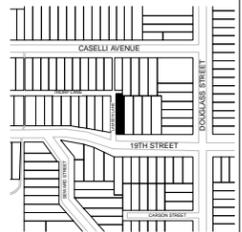
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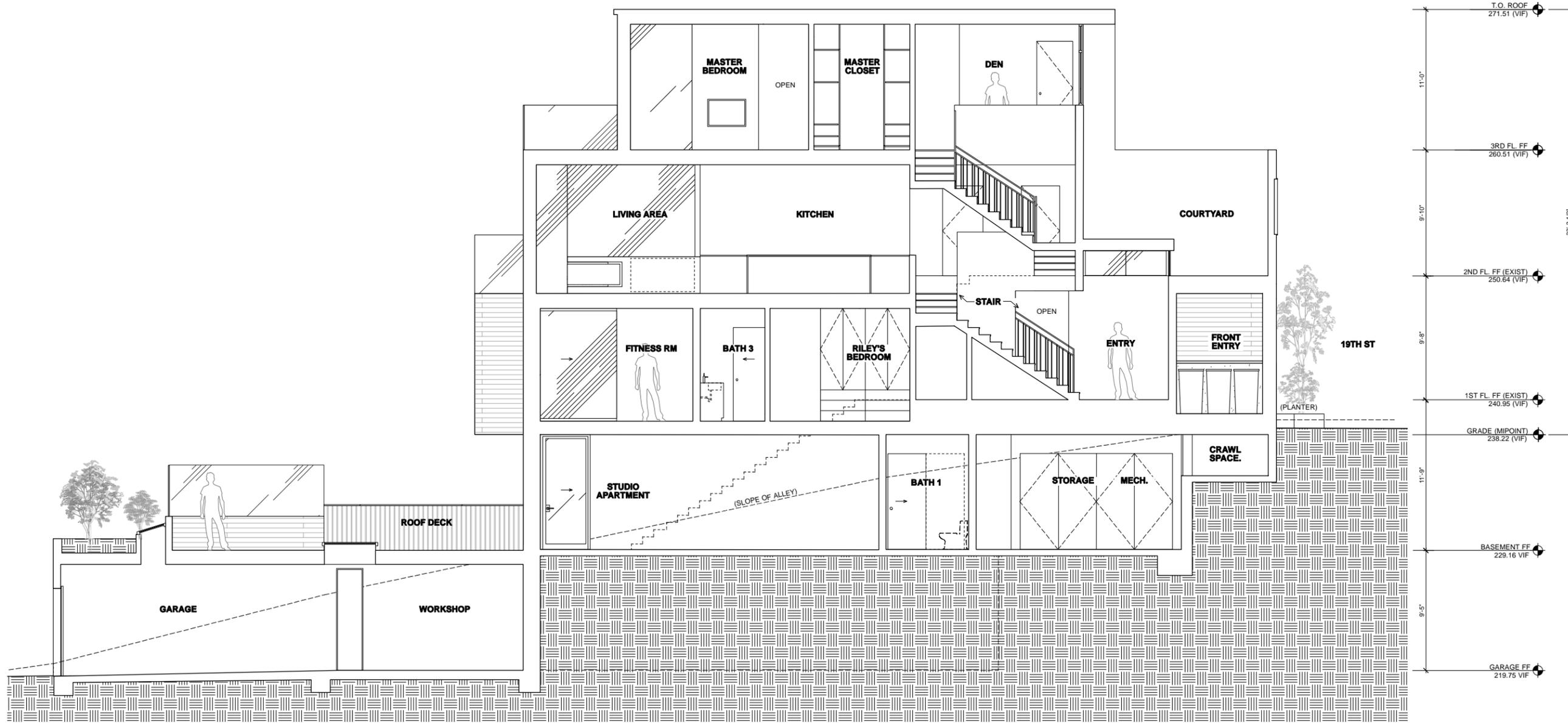
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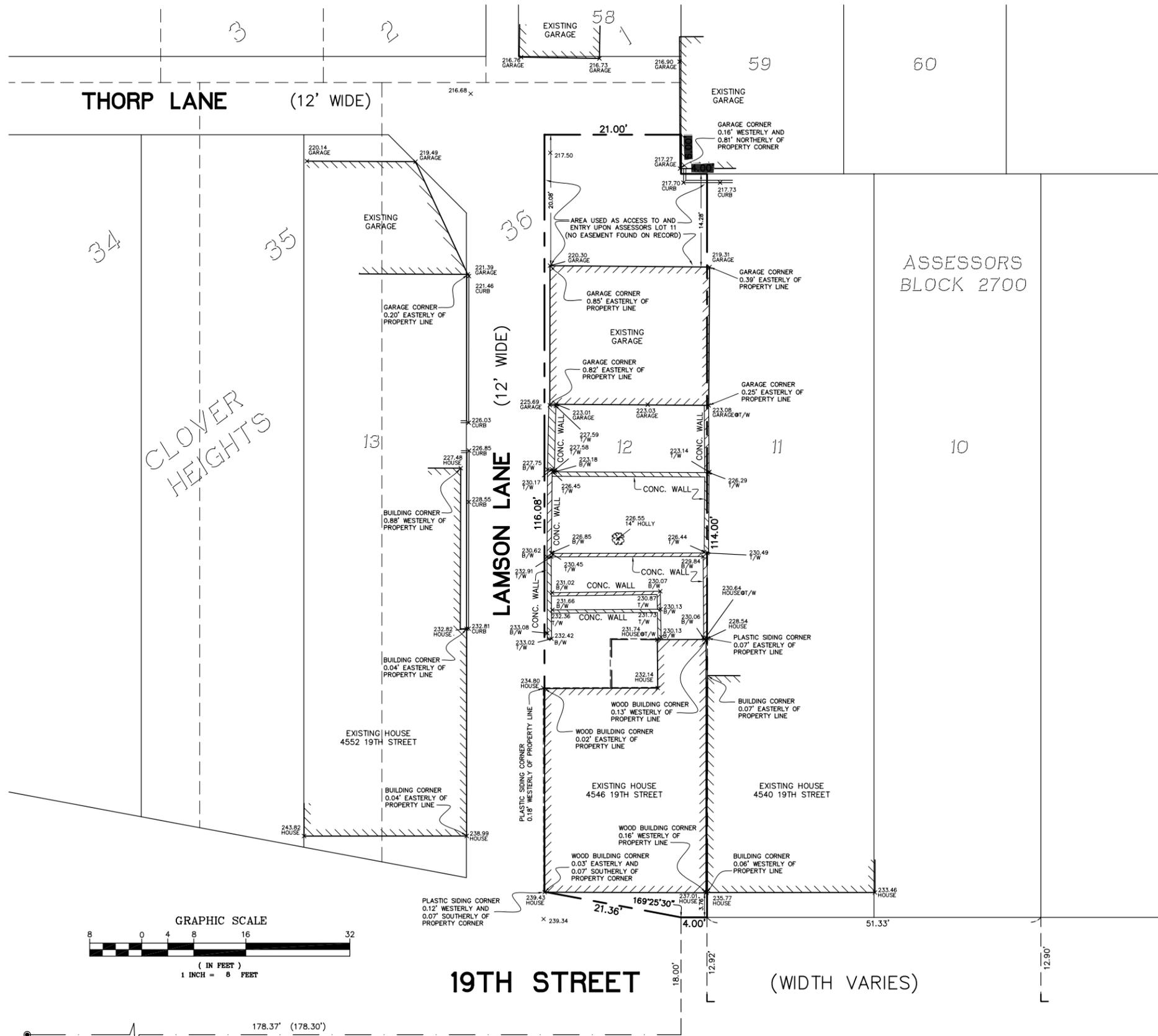
BUILDING SECTION

PHASE SCALE SITE PERMIT REVISION AS NOTED

A501
 NOT FOR CONSTRUCTION



1 PROPOSED SECTION LOOKING EAST
 1/4" = 1'-0"



BENCHMARK
 THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED UPON CITY OF SAN FRANCISCO DATUM. THE BENCHMARK FOR THIS SURVEY IS THE SURVEY MONUMENT FOUND IN THE SIDEWALK 15' WEST OF THE SOUTHEAST CORNER OF CASELLI AVENUE AND CLOVER STREET. ELEVATION = 226.017 FEET

- LEGEND**
- B/W BASE OF WALL
 - CONC. CONCRETE
 - T/W TOP OF WALL
 - L FOUND "L" CUT, ORIGIN UNKNOWN
 - FOUND BRASS PIN MONUMENT

HOUSE LOCATION SURVEY

A PORTION OF LOT 36
 MAP OF CLOVER HEIGHTS (G M 113)
 LOT 12, ASSESSORS BLOCK 2700
 LOCATED AT 4546 19TH STREET
 CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
 DECEMBER 6, 2011 SCALE: 1" = 8'

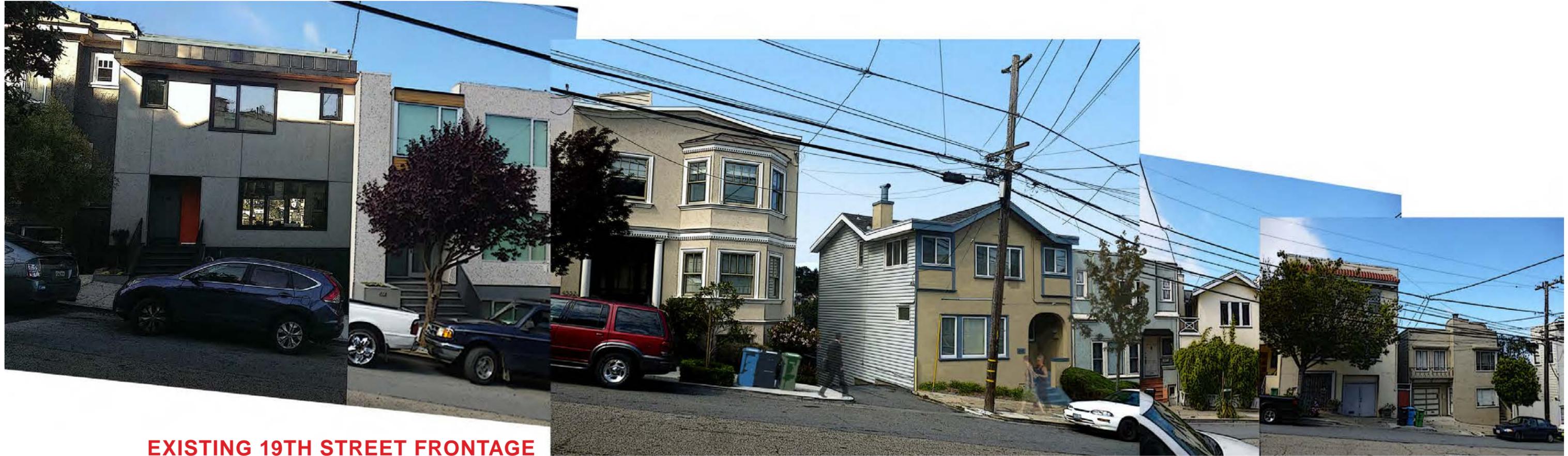
MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
 1930 SHATTUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930

Tab **B**

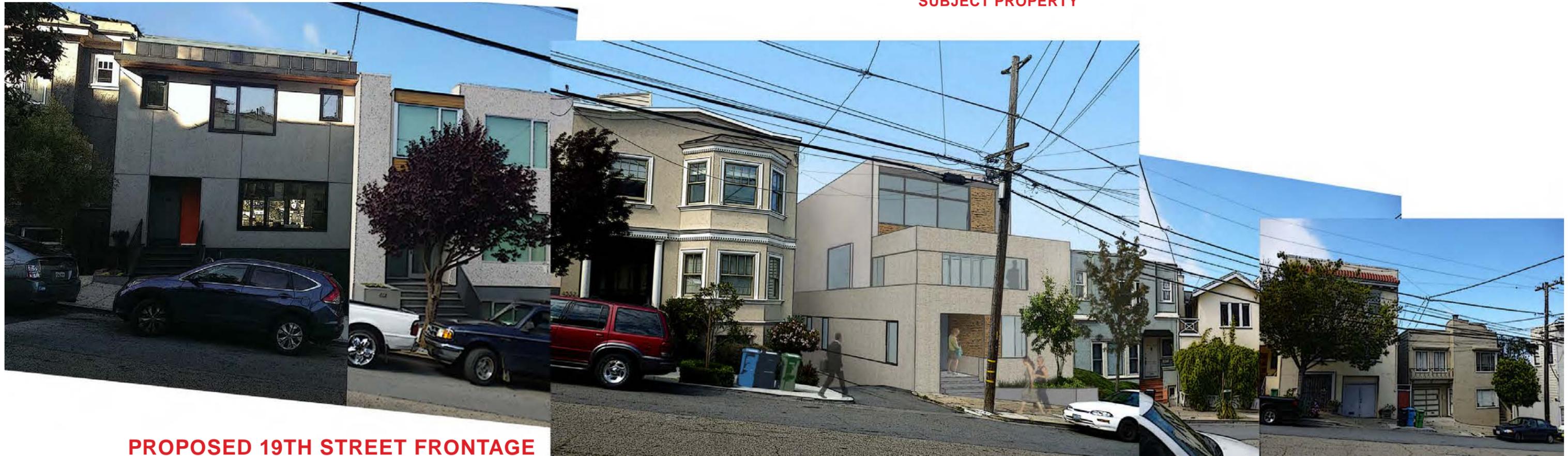
Site Photographs

SITE PHOTOGRAPHS



EXISTING 19TH STREET FRONTAGE

SUBJECT PROPERTY



PROPOSED 19TH STREET FRONTAGE

SITE PHOTOGRAPHS EXISTING REAR FACADES



Tab **C**

Response to DR Requesters' Submittal (December 2013)

Response to DR Requesters' Submittal (December 2013)

DR Requesters' Submittal (December 2013)

19th St. Neighbors' proposal - Dec. 2013

The goal of these proposed changes is to provide the owner with extra space and the 3rd floor addition she seeks with the renovation, while bringing the new structure more in line with the existing topography and the predominate size and form of other residences on 19th Street. Another consideration is to mitigate the impact on Lamson Lane, which is a public walkway and driveway that currently has an open feeling and views of the city and Eureka Valley. The combined reductions in height and depth will help to prevent the "walling in" and darkening of Lamson Lane, in addition to helping to preserve the existing character of 19th Street.

Specifically, the proposed changes are as follows:

- 1** • Reduce total height by 3' from the current proposal (from 33'4" to 30'4"). This is sufficient to allow for 9' ceilings on all floors. This will help to prevent the new structure from disrupting the current topography - an uninterrupted pattern of descending rooftops extending all the way from 4660 down to 4534 on the north side of 19th Street.
- 2** • Decrease total depth by 7'2" from the current proposal (from 63' to 55'10"). This will help to mitigate the impact on Lamson Lane, as mentioned above.
- 3** • Increase front 3rd floor set back by 5'3" from the current proposal (from 12'11" to 18'2" - i.e., the distance from the 2nd floor front facade to the 3rd floor outer shell). This will help to mitigate impact on topography and walling in Lamson Lane. It is also more consistent with the existing roofline.
- 4** • Increase rear 3rd floor set back by 4'8" (from 7'4" to 12'), including a 2nd floor set back of 6'. This will help to mitigate walling in of Lamson Lane, and will be more consistent with articulation on the neighboring Canadian Consulate residence.
- 5** • Reduce height of rear fence/wall to 8' along Lamson Lane so as to preserve as much as possible the open feeling and public views of the downtown skyline and surrounding Eureka valley residences that people currently enjoy when walking down this lane.

Response to DR Requesters' Submittal (December 2013)

Item

- 1 Proposed height reductions are not feasible without causing a de facto demolition of the home. The new third story is set significantly back from the street and will cause no disruption to the current topography.
- 2 Impacts on Lamson Lane of the remodel are significantly positive. The existing vinyl siding and fencing are unattractive and unwelcoming. The remodeled structure will add plantings, greenery and an attractive sculptural relief to its western façade. An additional decrease in building depth will not enhance the experience of the building from Lamson Lane.
- 3 The third floor setback of 15'-2" as proposed provides generous view corridors and does not visually impose on the 19th St. or Lamson Lane pedestrian experience. Setting the top back further will not contribute to the architectural presence and will significantly reduce the functionality of the home.
- 4 The very first revisions made to this design prior to the building permit application (April 2012) were made in consultation with the Canadian Consulate residence to ensure maximizing their view corridors and the attractiveness of the façade facing their building. Working with the Residential Design Team great care has been taken to create an appropriate setback and façade articulation.
- 5 We have recently revised our design along the lower portion of Lamson Lane including a reduction in wall height at our rear yard and planters stepping down towards the street.

ITEM 5
EXISTING VIEWS ALONG LAMSON LANE



EXISTING
VIEW DOWN LAMSON LANE TOWARD THORP LANE



EXISTING
VIEW UP LAMSON LANE TOWARD 19TH ST

ITEM 5
PROPOSED VIEWS DOWN LAMSON LANE



PREVIOUS PROPOSAL



CURRENT PROPOSAL

ITEM 5

LAMSON LANE FRONTAGE VIEWED FROM REAR (AERIAL)

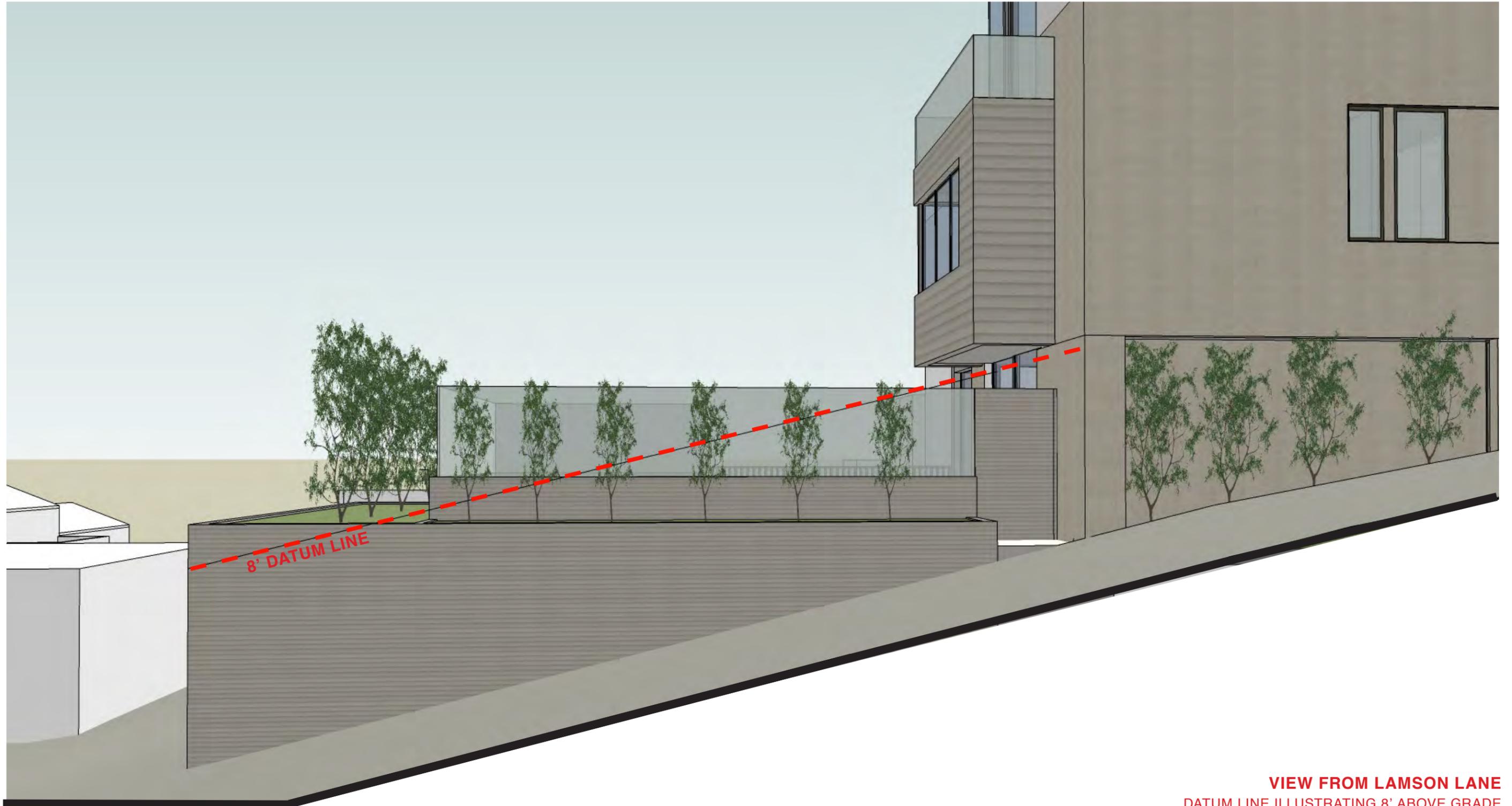


PREVIOUS PROPOSAL



CURRENT PROPOSAL

ITEM 5
LAMSON LANE FRONTAGE- CURRENT PROPOSAL



VIEW FROM LAMSON LANE
DATUM LINE ILLUSTRATING 8' ABOVE GRADE