



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Full Analysis

HEARING DATE NOVEMBER 13, 2014

*Date:* November 6, 2014  
*Case No.:* **2012.0909D**  
*Project Address:* **690 PAGE STREET**  
*Permit Applications:* 201305217455, 201305217457, 201305217462, 201305217463,  
201305217464  
*Zoning:* RM-1 (Residential, Mixed, Low-Density)  
40-X Height and Bulk District  
*Block/Lot:* 0843/016  
*Project Sponsor:* Gary Gee  
Gary Gee Architects, Inc.  
98 Brady Street #8  
San Francisco, CA 94103  
*Staff Contact:* Christine Lamorena – (415) 575-9085  
[christine.lamorena@sfgov.org](mailto:christine.lamorena@sfgov.org)  
*Recommendation:* **Do not take DR and approve the project as proposed**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The proposed project includes the demolition of an existing 2,050 square foot, circa 1959 single-story former church building and parking lot and the construction of four residential buildings with three dwelling units in each, totaling 12 dwelling units. The four buildings would each be four stories in height with at-grade garages containing three off-street vehicle parking spaces, three Class I bicycle parking spaces, and roof decks for common open space. The project includes one on-site affordable unit pursuant to the Inclusionary Affordable Housing Program and Planning Code Section 415.

The four buildings would include frontage on Page Street and range in size from 5,400 to 5,900 square feet with a maximum height of 40 feet. The 12 individual dwelling units would range in size from 1,300 to 1,500 square feet and all units would have three bedrooms. The proposal includes subdivision into four (4) lots each 1,950 square feet in size.

### SITE DESCRIPTION AND PRESENT USE

The project site is located on the northwest corner of Steiner and Page Streets, Assessor's Block 0843, Lot 016. The project site is within a RM-1 (Residential, Mixed, Low-Density) Zoning District and 40-X Height and Bulk District. The existing one-story building, which formerly house a church, is on the eastern portion of the lot and a 15-space surface parking lot is on the western portion of the lot.

## SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is a corner lot with a vehicle entrance on Steiner Street. The adjacent property at 668-678 Page Street contains a three-story over garage, six unit building. The adjacent property at 410 Steiner Street contains a three-story, three unit building. Along the subject block on Page Street, the buildings range from three to five stories in height. Across Page Street, the buildings heights range from two to four stories in height.

## BUILDING PERMIT APPLICATION NOTIFICATION

| TYPE       | REQUIRED PERIOD | NOTIFICATION DATES          | DR FILE DATE | DR HEARING DATE   | FILING TO HEARING TIME |
|------------|-----------------|-----------------------------|--------------|-------------------|------------------------|
| 311 Notice | 30 days         | June 5, 2014 – July 5, 2014 | July 3, 2014 | November 13, 2014 | 133 days               |

## HEARING NOTIFICATION

| TYPE          | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days         | November 3, 2014     | November 3, 2014   | 10 days       |
| Mailed Notice | 10 days         | November 3, 2014     | November 3, 2014   | 10 days       |

## PUBLIC COMMENT

|  | SUPPORT | OPPOSED          | NO POSITION |
|--|---------|------------------|-------------|
| Adjacent neighbor(s)                                       | 1       | 1 (DR Requestor) |             |
| Other neighbors on the block or directly across the street | 15      |                  | 2           |
| Neighborhood groups  |         |                  |             |

To date, the Department received 16 letters in support of the project and exchanged phone calls with two neighbors with no position, but requesting additional information.

## DR REQUESTOR

Michel Bechirian, condominium owner of 678 Page Street, a six-unit condominium building located immediately to the east of the project site.

## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

*Issue #1:* Loss of light to DR Requestor and adjacent units.

*Issue #2:* Noise from proposed roof decks.

*Issue #3:* DR Requestor loss of privacy from proposed roof deck (lives at top unit of adjacent building).

*Issue #4:* Project not consistent with side spacing pattern on north side of Page Street.

*Issue #5:* Loss of access to exterior service pipes at DR Requestor building.

The DR Requestor suggests that the Project Sponsor eliminate one building and reconfigure the site such that the three buildings would front on Steiner Street instead of Page Street. Doing so would increase the depths of the lots and allow for larger rear yards and move potential roof decks away from the DR Requestor's building.

See attached *Discretionary Review Application* for additional information.

## PROJECT SPONSOR'S RESPONSE

See attached *Response to Discretionary Review and Project Sponsor Submittal (Reuben, Junius & Rose)*.

## PROJECT ANALYSIS

**Light Access.** The Department finds that that light access is adequately provided to the DR Requestor's property by matching an existing light well and proposing a side setback for all upper levels of the proposal along the eastern shared property line.

**Noise and Privacy.** The Department finds the proposed roof decks are not exceptionally or extraordinarily invasive to the privacy of the DR Requestor. Given the urban context of the project, the impact to privacy of adjacent neighbors on the block and noise generated from the use of the roof decks are not out of the ordinary or beyond what is normal for the neighborhood.

**Neighborhood Building Pattern.** The architectural character on the block is mixed. The Department finds that the proposed building massing and scale of development of the full width of the lot to be compatible with the surrounding buildings and immediate neighborhood.

**Exterior Service Access.** The DR Requestor's property includes a side setback of approximately three feet. The Department finds that access to the DR Requestor's exterior pipes would still be possible through the existing side setback at the DR Requestor's property.

## ENVIRONMENTAL REVIEW

On April 29, 2014, the Environmental Planning division of the Planning Department found the project to be categorically exempt from environmental review per Class 32 per the California Environmental Quality Act (CEQA).

## RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reasons:

- Light access is provided via side setbacks and a matching lightwell along the east side of the project (RDGs, p. 16-17).
- The potential noise and privacy impacts from the roof deck are not exceptional as the proposed deck is set back from the project side façade and also the shared property line (RDGs, p. 38).
- The neighborhood building pattern is mixed. Development of the full width of the lot is consistent with the existing building patterns in the area (RDGs, p. 10, 15).
- Access to exterior pipes at the DR Requestor's property is still possible through the existing side setback at the Requestor's property.

**Although this project does not contain or create any exception or extraordinary circumstances, under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves new construction.**

## BASIS FOR RECOMMENDATION

The Department recommends that the Planning Commission not take Discretionary Review and approved the project as proposed for the following reasons:

- The project meets all applicable requirements of the Planning Code and is consistent with the Residential Design Guidelines.
- The project would create 12 dwelling units, each with three bedrooms, one of which meets the on-site Inclusionary Affordable Housing requirement.
- The project would be consistent with the size and density of the immediate neighborhood. The project is therefore an appropriate infill development.
- The project would not be considered exceptional or extraordinary per RDT's review.

|   |
|---|
| <b>RECOMMENDATION:</b> <b>Do not take DR and approve the project as proposed.</b> |
|---|

### Attachments:

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Site Photograph  
Section 311 Notice  
DR Application  
Response to DR Application  
Project Sponsor Submittal:

Cover Letter  
Reduced Plans  
Rendering  
Context Photos  
Support Letters

## Design Review Checklist

### NEIGHBORHOOD CHARACTER (PAGES 7-10)

| QUESTION                             |   |
|--------------------------------------|---|
| The visual character is: (check one) |   |
| Defined                              |   |
| Mixed                                | X |

**Comments:** The surrounding neighborhood consists of a mixture of two to five story buildings, containing a range of one to 20 dwelling units. Buildings vary in height and depths.

### SITE DESIGN (PAGES 11 - 21)

| QUESTION  | YES | NO | N/A |
|---|-----|----|-----|
| <b>Topography (page 11)</b>   |     |    |     |
| Does the building respect the topography of the site and the surrounding area?  | X   |    |     |
| Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?                       | X   |    |     |
| <b>Front Setback (pages 12 - 15)</b>  |     |    |     |
| Does the front setback provide a pedestrian scale and enhance the street?   | X   |    |     |
| In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape? |     |    | X   |
| Does the building provide landscaping in the front setback?   | X   |    |     |
| <b>Side Spacing (page 15)</b>   |     |    |     |
| Does the building respect the existing pattern of side spacing?   |     |    | X   |
| <b>Rear Yard (pages 16 - 17)</b>  |     |    |     |
| Is the building articulated to minimize impacts on light to adjacent properties?  | X   |    |     |
| Is the building articulated to minimize impacts on privacy to adjacent properties?  | X   |    |     |
| <b>Views (page 18)</b>  |     |    |     |
| Does the project protect major public views from public spaces?   |     |    | X   |
| <b>Special Building Locations (pages 19 - 21)</b>   |     |    |     |
| Is greater visual emphasis provided for corner buildings?   | X   |    |     |
| Is the building facade designed to enhance and complement adjacent public spaces?   |     |    | X   |
| Is the building articulated to minimize impacts on light to adjacent cottages?  |     |    | X   |

**Comments:** The proposal appropriately infills the subject lot and respects the surrounding area. The easternmost building is set back approximately three feet from the shared property for a depth of approximately 25 feet to allow for light and air access to the neighboring building.

**BUILDING SCALE AND FORM (PAGES 23 - 30)**

| QUESTION  | YES | NO | N/A |
|---|-----|----|-----|
| <b>Building Scale (pages 23 - 27)</b>   |     |    |     |
| Is the building's height and depth compatible with the existing building scale at the street?               | X   |    |     |
| Is the building's height and depth compatible with the existing building scale at the mid-block open space? | X   |    |     |
| <b>Building Form (pages 28 - 30)</b>  |     |    |     |
| Is the building's form compatible with that of surrounding buildings?                                       | X   |    |     |
| Is the building's facade width compatible with those found on surrounding buildings?                        | X   |    |     |
| Are the building's proportions compatible with those found on surrounding buildings?                        | X   |    |     |
| Is the building's roofline compatible with those found on surrounding buildings?                            | X   |    |     |

**Comments:** The proposed buildings are compatible with the established building scale at the street, as they create a stronger street wall on a block with many four-story buildings. The height and depth of the buildings are compatible in the subject block and the buildings' form, façade width, proportions, and rooflines are compatible with the mixed neighborhood context.

**ARCHITECTURAL FEATURES (PAGES 31 - 41)**

| QUESTION   | YES | NO | N/A |
|--|-----|----|-----|
| <b>Building Entrances (pages 31 - 33)</b>  |     |    |     |
| Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building? | X   |    |     |
| Does the location of the building entrance respect the existing pattern of building entrances?   | X   |    |     |
| Is the building's front porch compatible with existing porches of surrounding buildings?   |     |    | X   |
| Are utility panels located so they are not visible on the front building wall or on the sidewalk?  | X   |    |     |
| <b>Bay Windows (page 34)</b>   |     |    |     |
| Are the length, height and type of bay windows compatible with those found on surrounding buildings?   | X   |    |     |
| <b>Garages (pages 34 - 37)</b>   |     |    |     |
| Is the garage structure detailed to create a visually interesting street frontage?   | X   |    |     |
| Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?                          | X   |    |     |
| Is the width of the garage entrance minimized?   | X   |    |     |
| Is the placement of the curb cut coordinated to maximize on-street parking?  | X   |    |     |
| <b>Rooftop Architectural Features (pages 38 - 41)</b>  |     |    |     |
| Is the stair penthouse designed to minimize its visibility from the street?  | X   |    |     |

|   |   |  |   |
|---|---|--|---|
| Are the parapets compatible with the overall building proportions and other building elements?                | X |  |   |
| Are the dormers compatible with the architectural character of surrounding buildings?                         |   |  | X |
| Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings? |   |  | X |

**Comments:** The location of the entrances are consistent with the predominant pattern of ground floor entrances found throughout the surrounding area. The length and type of rectangular bay windows on the front and side facades are compatible with the style of bay windows found throughout the neighborhood. The garage doors are recessed from the front façade and limited to a width of approximately nine feet. The rooftop parapets are standard in size and compatible with the parapets found on other flat-roofed buildings in the area.

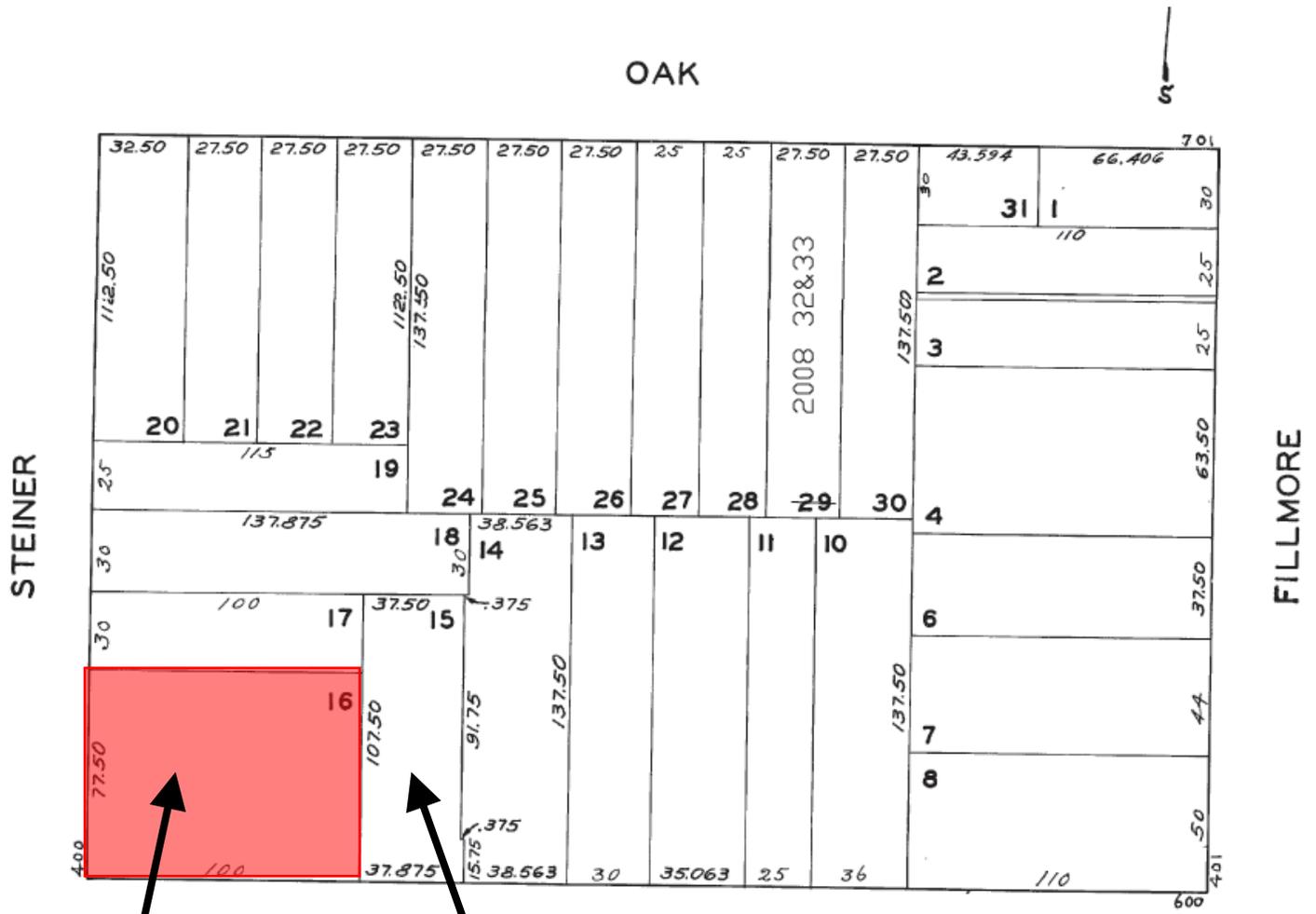
**BUILDING DETAILS (PAGES 43 - 48)**

| QUESTION   | YES | NO | N/A |
|--|-----|----|-----|
| <b>Architectural Details (pages 43 - 44)</b>   |     |    |     |
| Are the placement and scale of architectural details compatible with the building and the surrounding area?                                    | X   |    |     |
| <b>Windows (pages 44 - 46)</b>   |     |    |     |
| Do the windows contribute to the architectural character of the building and the neighborhood?   | X   |    |     |
| Are the proportion and size of the windows related to that of existing buildings in the neighborhood?  | X   |    |     |
| Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood? | X   |    |     |
| Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?                  | X   |    |     |
| <b>Exterior Materials (pages 47 - 48)</b>  |     |    |     |
| Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?                               | X   |    |     |
| Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings? | X   |    |     |
| Are the building's materials properly detailed and appropriately applied?  | X   |    |     |

**Comments:** The placement and scale of the architectural details are compatible with the mixed residential character of this neighborhood. The windows are residential in character and compatible with the window patterns found on neighboring buildings. Although designed in a contemporary style, the stone paneling, stucco wall finish and wood siding are compatible with the existing buildings in the neighborhood.

CL: G:\DOCUMENTS\2012\DRs\2012.0909\690 Page St - DR - Full Analysis .doc

# Parcel Map



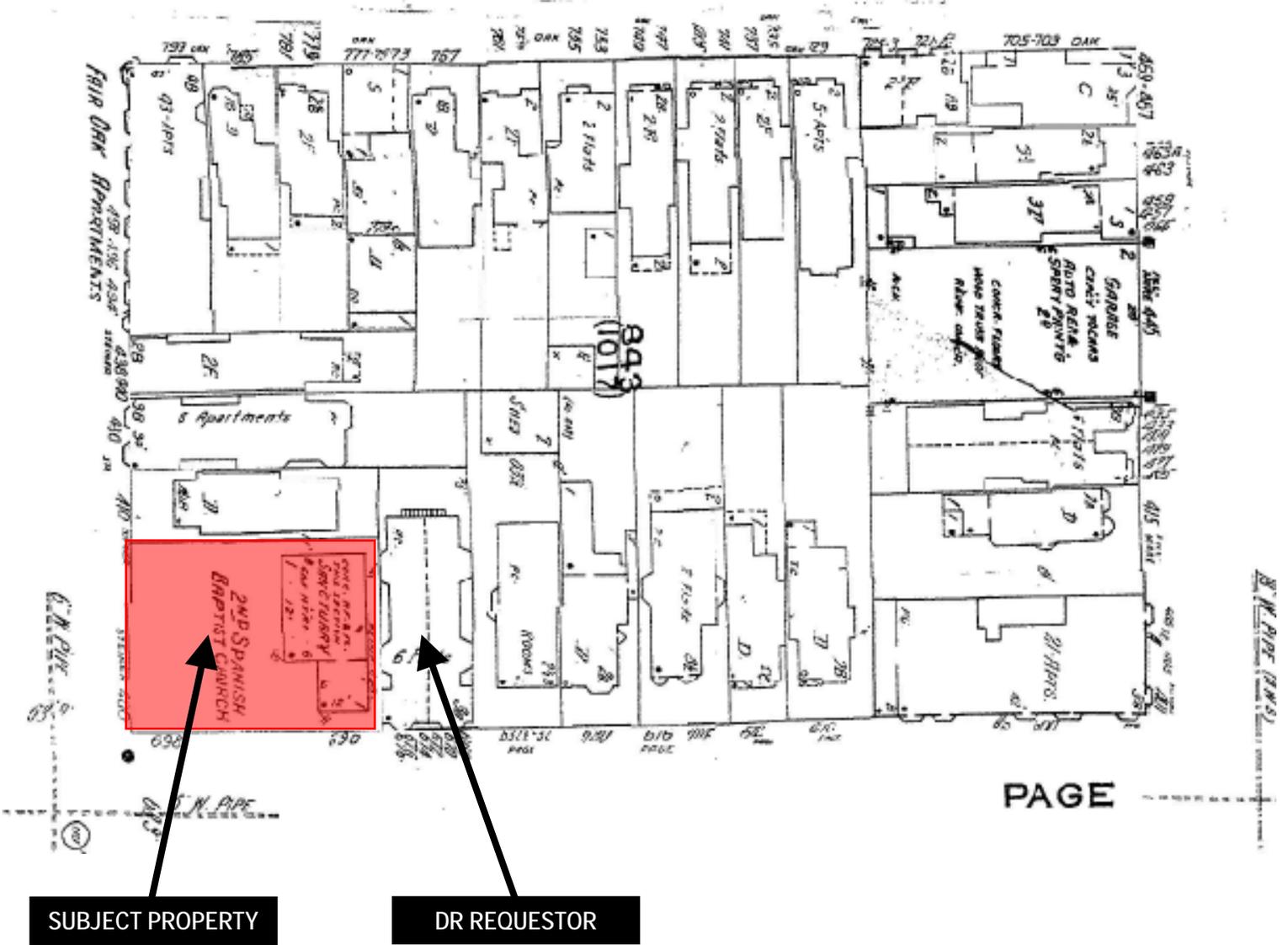
SUBJECT PROPERTY

DR REQUESTOR



Discretionary Review Hearing  
 Case Number 2012.0909D  
 690 Page Street  
 Block 0843 / Lot 016

# Sanborn Map\*

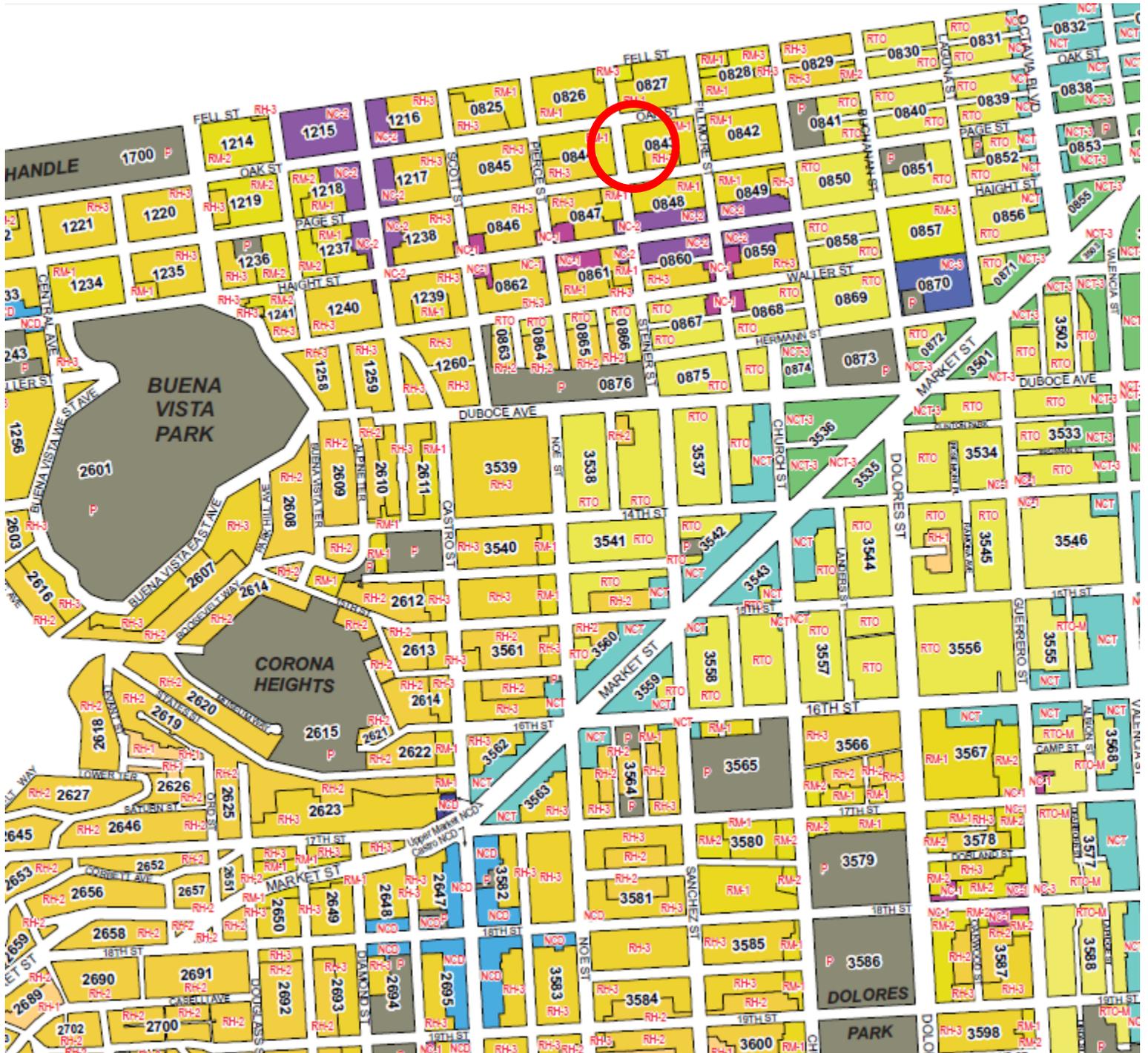


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
Case Number 2012.0909D  
690 Page Street  
Block 0843 / Lot 016

# Zoning Map



Discretionary Review Hearing  
Case Number 2012.0909D  
690 Page Street  
Block 0843 / Lot 016



# Aerial Photo (looking north)



**SUBJECT PROPERTY**

**DR REQUESTOR**

Discretionary Review Hearing  
Case Number 2012.0909D  
690 Page Street  
Block 0843 / Lot 016

# Aerial Photo (looking east)

DR REQUESTOR



SUBJECT PROPERTY

Discretionary Review Hearing  
Case Number 2012.0909D  
690 Page Street  
Block 0843 / Lot 016

# Site Photo



Discretionary Review Hearing  
Case Number 2012.0909D  
690 Page Street  
Block 0843 / Lot 016



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On May 21, 2014, the Applicant named below filed Building Permit Application Nos. 201305217457, 201305217462, 201305217463, and 201305217464 with the City and County of San Francisco.

| PROPERTY INFORMATION |                        | APPLICANT INFORMATION |                                |
|----------------------|------------------------|-----------------------|--------------------------------|
| Project Address:     | <b>690 Page Street</b> | Applicant:            | <b>Gary Gee</b>                |
| Cross Street(s):     | <b>Steiner</b>         | Address:              | <b>98 Brady Street #8</b>      |
| Block/Lot No.:       | <b>0843/016</b>        | City, State:          | <b>San Francisco, CA 94103</b> |
| Zoning District(s):  | <b>RM-1 / 40-X</b>     | Telephone:            | <b>(415) 863-8881</b>          |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> Demolition   | <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Alteration        |
| <input checked="" type="checkbox"/> Change of Use  | <input type="checkbox"/> Façade Alteration(s)        | <input type="checkbox"/> Front Addition    |
| <input type="checkbox"/> Rear Addition   | <input type="checkbox"/> Side Addition               | <input type="checkbox"/> Vertical Addition |
| PROJECT FEATURES   | EXISTING   | PROPOSED                                   |
| Building Use   | Non-residential (former church)                      | Residential                                |
| Front Setback  | 9'-3"  | Ranging 1'-5" to 1'-9"                     |
| Side Setbacks  | Ranging 5'-0" to 8'-4" (east property line)          | None                                       |
| Building Depth   | 62'-11"  | Ranging approx. 56'-8.5" to 58'-1.5"       |
| Rear Yard  | n/a  | 19'-4.5"                                   |
| Building Height  | Approx. 10'-4"                                       | 40'-0"                                     |
| Number of Stories  | 1  | 3 over garage                              |
| Number of Dwelling Units   | 0  | 12   |
| Number of Parking Spaces   | 15 (surface parking lot)                             | 12 (garage spaces)                         |
| PROJECT DESCRIPTION  |  |  |
| <p>The proposal is to demolish the existing one-story building and surface parking lot and construct four, multi-family buildings with three dwelling units each, totaling 12 dwelling units. The four buildings would be four-stories in height with roof decks. See attached plans.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p> |  |  |

**For more information, please contact Planning Department staff:**

Planner: Christine Lamorena

Telephone: (415) 575-9085

E-mail: christine.lamorena@sfgov.org

Notice Date: **6/05/2014**

Expiration Date: **7/05/2014**

中文詢問請電: **(415) 575-9010**

Para información en Español llamar al: **(415) 575-9010**

# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

|  |                    |                             |
|--|--------------------|-----------------------------|
| DR APPLICANT'S NAME:<br>Michel Bechirian   |                    |                             |
| DR APPLICANT'S ADDRESS:<br>678 Page Street | ZIP CODE:<br>94117 | TELEPHONE:<br>(415 )3508683 |

|   |                    |                   |
|---|--------------------|-------------------|
| PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:<br>Page Steiner Associates LLC |                    |                   |
| ADDRESS:<br>431 Steiner Street  | ZIP CODE:<br>94117 | TELEPHONE:<br>( ) |

|  |           |                   |
|--|-----------|-------------------|
| CONTACT FOR DR APPLICATION:<br>Same as Above <input checked="" type="checkbox"/> |           |                   |
| ADDRESS:   | ZIP CODE: | TELEPHONE:<br>( ) |
| E-MAIL ADDRESS:<br>mbussfo@yahoo.com   |           |                   |

## 2. Location and Classification

|   |                    |
|---|--------------------|
| STREET ADDRESS OF PROJECT:<br>690 Page Street | ZIP CODE:<br>94117 |
| CROSS STREETS:<br>Steiner                     |                    |

| ASSESSORS BLOCK/LOT: | LOT DIMENSIONS: | LOT AREA (SQ FT): | ZONING DISTRICT: | HEIGHT/BULK DISTRICT: |
|----------------------|-----------------|-------------------|------------------|-----------------------|
| 0845 /016            | 77.5 x 110 ft   | 7749              | RM-1 / 40-X      |                       |

## 3. Project Description

Please check all that apply

Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other

Additions to Building: Rear  Front  Height  Side Yard

Non-residential - church

Present or Previous Use:

Proposed Use: Residential

Building Permit Application No. 201305217457, 201305217462/3/4

Date Filed: May 21, 2014

## 4. Actions Prior to a Discretionary Review Request

| Prior Action  | YES                                 | NO                                  |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant?                      | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| Did you participate in outside mediation on this case?                          | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

## 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

My neighbor and I met with the architect Gary Gee to discuss our concern about light and noise. The proposed project will significantly reduce the amount of daylight to our units. The addition of a roof deck will introduce a new source of noise and intrude on privacy as the location of the deck provides sight lines to bedroom and bathroom windows. Mr. Gee agreed to discuss extending the planned 18 ft setback at the rear of the proposed building to ensure the entire south bay window of our unit (main bedroom) faced a light well. (continued... )

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

The proposed project conflicts with the following guidelines: 'Articulate the building to minimize impacts on light and privacy to adjacent properties'. And, 'Respect the existing pattern of side spacing'. The unnecessary proximity of the proposed structure materially impacts the quality and quantity of light and introduces serious privacy concerns for the adjacent property owners. If built as proposed, side spacing will not be consistent with other buildings on the block (the north side of Page St). (Continued on separate sheet...)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

By focusing on the maximum number of units that can fit the space, the owners have developed a design that unreasonably impacts the adjacent building. A 40 ft building so close to the property line will limit light. With the exception of the living room, all windows in units 670, 674, 678 Page St face west. The lower unit, 670 Page St, is occupied by Mrs. Iris Canada a 93 year old who has lived in the building since the 1940's. Even with a setback the amount of light filtering down to her apartment will be minimal. (Continued on separate sheet...)

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The size of the lot provides the opportunity to construct multiple buildings. If the project consisted of three rather than four buildings these could be constructed facing onto Steiner St. Positioning the buildings on this axis would maintain the light levels and access to services for our building and would not impact the building on block/lot 0843/017. The depth of the lot would allow a sufficiently large rear yard to meet the requirement for outside space for at least two, if not all units. (Continued on separate sheet...)



# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

| REQUIRED MATERIALS (please check correct column)  | DR APPLICATION                      |
|---|-------------------------------------|
| Application, with all blanks completed  | <input checked="" type="checkbox"/> |
| Address labels (original), if applicable  | <input checked="" type="checkbox"/> |
| Address labels (copy of the above), if applicable   | <input checked="" type="checkbox"/> |
| Photocopy of this completed application   | <input checked="" type="checkbox"/> |
| Photographs that illustrate your concerns   | <input type="checkbox"/>            |
| Covenant or Deed Restrictions   | <input type="checkbox"/>            |
| Check payable to Planning Dept.   | <input type="checkbox"/>            |
| Letter of authorization for agent   | <input checked="" type="checkbox"/> |
| Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors) | <input type="checkbox"/>            |

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: M. Corruite

RECEIVED

JUL 03 2014

Date:

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
P.I.C.

# APPLICATION FOR Discretionary Review

DR Applicant: Michel Bechirian. 678 Page St, SF, CA 94117

Property Owner: Page Steiner Assoc. 431 Steiner St, SF, CA 94117

Project Address: 690 Page St, Block / Lot 0845 / 016

Permit Numbers: 201305217457, 201305217462, 201305217463, 201305217464

## 5. Changes Made to the Project as a Result of Mediation

*My neighbor and I met with the architect Gary Gee to discuss our concern about light and noise. The proposed project will significantly reduce the amount of daylight to our units. The addition of a roof deck will introduce a new source of noise and intrude on privacy as the location of the deck provides sight lines to bedroom and bathroom windows. Mr. Gee agreed to discuss extending the planned 18 ft setback at the rear of the proposed building to ensure the entire south bay window of our unit (main bedroom) faced a light well.*

Continued:

Mr. Gee agreed that if the proposed project does indeed go ahead as planned, the light wells will be finished in a bright color to maximize reflective potential.

Mr. Gee was unable to propose a solution to our noise and privacy concerns because planning code for the amount of outside space per unit determined the size and therefore location of the roof deck.

# APPLICATION FOR Discretionary Review

DR Applicant: Michel Bechirian. 678 Page St, SF, CA 94117

Property Owner: Page Steiner Assoc. 431 Steiner St, SF, CA 94117

Project Address: 690 Page St, Block / Lot 0845 / 016

Page 9, 1.

*The proposed project conflicts with the following guidelines: 'Articulate the building to minimize impacts on light and privacy to adjacent properties'. And, 'Respect the existing pattern of side spacing'. The unnecessary proximity of the proposed structure materially impacts the quality and quantity of light and introduces serious privacy concerns for the adjacent property owners. If built as proposed, side spacing will not be consistent with other buildings on the block (the north side of Page St).*

Continued:

The original building use was non-residential; it was in fact a church which provided charitable assistance to those in need. Changing the use from charitable, to for profit residential has not been thoroughly reviewed and debated. Finally, the opportunity to discuss the project with the owners has been limited. Case in point, the final meeting was held in a café on a Saturday morning. There wasn't space for the architect to display the plans, and with music and general background noise it was hard, if not impossible to have a meaningful discussion. This seemed an exercise in ticking boxes in a process.

Page 9, 2.

*By focusing on the maximum number of units that can fit the space, the owners have developed a design that unreasonably impacts the adjacent building. A 40 ft building so close to the property line will limit light. With the exception of the living room, all windows in units 670, 674, 678 Page St face west. The lower unit, 670 Page St, is occupied by Mrs. Iris Canada a 97 year old who has lived in the building since the 1940's. Even with a setback the amount of light filtering down to her apartment will be minimal.*

Continued:

Allowing the project to proceed as designed will condemn Iris to live in a dark, cave like environment. My wife is a freelance graphic designer who often works from home. As a designer she relies on good daylight to ensure accurate color correction on production work. Reducing light to our apartment will impact her ability to work effectively, which in turn will impact her ability to earn a living. The proposed design requires the inclusion of a roof deck for all buildings. A roof deck adds rooftop features and adds clutter. The roof deck will provide the opportunity to sight lines that encroach on our privacy. Of particular concern are sight lines to bedroom and bathroom windows. The purpose of the roof deck is to provide access to outside space; an unintended side effect is the likely generation of noise at a level in line with bedrooms and work areas. Street noise can't be avoided, noise by design can. Our building was

constructed in 1907. Water and waste pipework and the flue for the central heating furnaces are all located externally (as is the downspout from the roof). The original Victorian building on Lot 016 faced Steiner St and did not extend close to <sup>our</sup> building. If the project proceeds as designed it will be extremely difficult to access service pipes for repair. This has a potential for health and safety issues. Finally, the design of the project is inconsistent with the existing pattern of side spacing on the north side of Page St. With the exception of a mid-century apartment building on the southeast corner of the block, all of the buildings are Victorian and all have adequate space between to allow for light, privacy and access to services.

Page 9, 3.

*The size of the lot provides the opportunity to construct multiple buildings. If the project consisted of three rather than four buildings these could be constructed facing onto Steiner St. Positioning the buildings on this axis would maintain the light levels and access to services for our building and would not impact the building on block/lot 0843/017. The depth of the lot would allow a sufficiently large rear yard to meet the requirement for outside space for at least two, if not all units.*

Continued:

If a roof deck was still required, the size of the deck would be smaller than the original design and would be located further away from our building reducing privacy and noise concerns. If three buildings were constructed on Page St, adequate spacing could be provided between the structures to allow for light levels to be maintained and to provide access to services. Although concern over privacy and noise would remain these would be diminished by locating the proposed 690 Page St building several feet further from the property line.

DR Applicant: Michel Bechirian. 678 Page St, SF, CA 94117  
Property Owner: Page Steiner Assoc. 431 Steiner St, SF, CA 94117  
Project Address: 690 Page St, Block / Lot 0845 / 016

12.0909D

APPLICATION FOR DISCRETIONARY REVIEW

DR APPLICANT: MICHEL BEGHRIAN

PROJECT ADDRESS: BLOCK/LOT 0845/016

SIDE SPACING.



THE NORTH SIDE OF PAGE ST SHOWING DR APPLICANT'S  
BUILDING 0843/15 & NEIGHBOR 0843/14

SPACING PROVIDES ACCESS TO LIGHT & MAINTAINS PRIVACY  
FOR BOTH BUILDINGS.

APPLICATION FOR DISCRETIONARY REVIEW

DR APPLICANT: MICHEL BECHIRIAN

PROJECT ADDRESS: BLOCK/LOT 0845/016

12.0909D

SIDE SPACING



THE NORTH SIDE OF PAGE ST SHOWING SIDE SPACING  
(LHR) BUILDINGS 0843/13, 0843/12, 0843/11

TYPICAL SPACING PROVIDES AMPLE ROOM BETWEEN BUILDINGS  
FOR LIGHT & PRIVACY

APPLICATION FOR DISCRETIONARY REVIEW

DR APPLICANT: MICHEL BECHIRIAN

PROJECT ADDRESS: BLOCK/LOT 0845/016

12.09090

MRS. IRIS CANADA, RESIDENT IN APPLICANT'S BUILDING  
SINCE WWII



LIGHT

THE QUALITY OF LIGHT TO IRIS'S LOWER UNIT  
WILL BE ADVERSELY AFFECTED BY THE PROPOSED DESIGN

LIGHT FROM WEST, AND SOUTHWEST WINDOWS OF APPLICANT'S UNIT  
THE HEIGHT & PROXIMITY OF THE PROPOSED DESIGN WILL ADVERSELY  
AFFECT LIGHT AND WILL BE A PRIVACY CONCERN.



Light & Privacy

APPLICATION FOR DISCRETIONARY REVIEW  
DR APPLICANT: MICHEL BECHTOLD  
PROJECT ADDRESS: BUCK/LOT 0845/016

12.09090

APPLICATION FOR DISCRETIONARY REVIEW

DR APPLICANT: MICHEL BECHIRIAN

PROJECT ADDRESS: BLOCK/LT 0845/016

12.09090

VIEW OF PROJECT ADDRESS - 690 PAGE ST



LIGHT & PRIVACY



PAGE ST. VIEW OF DR APPLICANT'S BUILDING TAKEN FROM PROJECT SITE 0845/016  
NOTE WINDOWS OF LOWER UNIT (670) ARE NOT OBSTRUCTED BY EXISTING STRUCTURE.  
THE PROPOSED NEW BUILDING WILL SEVERELY RESTRICT ACCESS TO  
WATER & WASTE PIPEWORK, FURNANCE FLUES & ROOF DOWNSPOUT.  
THE HEIGHT & PROXIMITY IMPACTS LIGHT & THE ROOF DECK ENCRDACHES  
ON PRIVACY



# SAN FRANCISCO PLANNING DEPARTMENT

## RESPONSE TO DISCRETIONARY REVIEW

Case No.: 12.0909D  
Building Permit No.: 2013.05.21.7457  
Address: 690 PAGE ST.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

Project Sponsor's Name: PAGE STEINER ASSOCIATES LLC (VICTOR QUAN)  
Telephone No.: 415-531-8311 (for Planning Department to contact)

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.

PLEASE REFER TO ATTACHED SHEETS:

INCLUDING MEETING NOTES AND CORRESPONDENCE  
WITH DR REQUESTOR.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

| <u>Number of</u>  | <u>Existing</u> | <u>Proposed</u>   |
|---|-----------------|-------------------|
| Dwelling units (only one kitchen per unit –additional kitchens count as additional units) .....                     | <u>0</u>        | <u>12</u>         |
| Occupied stories (all levels with habitable rooms) ...  | <u>1</u>        | <u>3</u>          |
| Basement levels (may include garage or windowless storage rooms) .....  | <u>0</u>        | <u>1</u>          |
| Parking spaces (Off-Street) .....   | <u>13</u>       | <u>12</u>         |
| Bedrooms .....  | <u>0</u>        | <u>36</u>         |
| Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas.... | <u>1,984</u>    | <u>17,169</u>     |
| Height .....  | <u>13</u>       | <u>40</u>         |
| Building Depth .....  | <u>63'</u>      | <u>56'-8 1/2"</u> |
| Most recent rent received (if any) .....  | _____           | _____             |
| Projected rents after completion of project .....   | _____           | <u>N/A</u>        |
| Current value of property .....   | _____           | _____             |
| Projected value (sale price) after completion of project (if known) .....   | <u>N/A</u>      | <u>N/A</u>        |

I attest that the above information is true to the best of my knowledge.



7/31/2014

VICTOR JUAN

Signature

Date

Name (please print)

## **RESPONSE TO DISCRETIONARY REVIEW**

**CASE No.: 12.0909D**

**PERMIT No.: 2013.05.21.7457, -7462, -7463, and -7464**

**690 PAGE STREET**

**JULY 28, 2014**

1. Our initial approach to this property was to design buildings that would fit into the urban pattern of the blockface. We considered the following conditions:
  - A. The RM-1 Zoning promotes the 25-35 foot building modulation at the facades. Page Street was selected to create 25 foot frontages that emulate the facades on Page and Steiner Streets.
  - B. If Steiner Street had been selected as the building frontages, the new buildings could be 10' higher in mass due to the steep upslope of Steiner Street.
    - a. Buildings facing Steiner Street creates nine residential units and no affordable unit. These buildings would have 25.83'x 75' footprints.
    - b. Buildings facing Page Street creates 12 residential units and one affordable unit. These buildings will have 25'x 56'-8-1/2" footprints.
  - C. We met with the Planning staff to discuss building adjacencies to our proposed project.
    - a. Planning staff recommended the east side of 680 Page building have a three foot setback on the residential levels two-thirds of the depth of the existing 678 Page west lightwell. The 680 Page new building setback is 3'x 18' in size.
    - b. A second 3'x 5' lightwell was located towards the front of the building to match another 678 Page west lightwell.
  - D. The DR requestor has a building higher than 40' on a wider and deeper lot (37.875'x 107) with six (6) front to rear residential flats. This building has a large footprint and occupies a large portion of their lot.
  - E. Therefore, this project should be approved because:
    - a. The proposed project fits into the block face with its 25' frontages and individual stoop entrances. The building pattern of the block is maintained.
    - b. This proposed project creates 12 residential units and one affordable unit for the City.
    - c. The new 680 Page Street building has been modified with side lightwells to respond to the existing adjacent west lightwells at 678 Page Street.
2. The project sponsor interacted with the DR requestor at the following meetings:
  - Initial neighborhood pre-application meeting on January 24, 2013.
  - Neighborhood meeting on April 17, 2014.
  - Private meeting at his residence on June 12, 2014.
  - A. During the last June 12, 2014 meeting the DR requestor asked if the northeast lightwell at the new 680 Page building could be extended south to allow more light into his bedroom. After this meeting, project architect (Gary Gee) informed the DR requestor via telephone

- the project sponsors were willing to extend the 3' wide lightwell 18' from the rear of the building to his requested location.
- B. Project sponsors also agreed to use a bright white color in the lightwell to create more indirect light into this area.
  - C. Project architect has looked at moving the roof deck to the southern portion of the roof. The common area open space requirements for minimum dimension of 15' limit the location and areas for which this area can be located on the south side of the roof. We offered to move the deck as far south and west as possible to create more privacy to the adjacent 678 Page building.
3. As discussed above, the project sponsor has already proposed changes to the new 680 Page Street building as a way to respond to DR requestor concerns. The development of the four (4) buildings facing Page Street provide greater opportunities to the neighborhood and City:
- A. The 25' facades with individual stoop entrances maintain the neighborhood scale along Page Street. We worked with the Planning staff to design each building to acknowledge the existing proportions and architectural massing features of the blockface and neighborhood.
  - B. 12 residential units with 3 bedrooms 2 baths family style units will add to the housing stock along with one affordable family unit. The building fronting Steiner Street would offer fewer family-sized housing units.
  - C. The two (2) buildings to the south at 690 and 698 Page Street could actually be built five feet (5') higher due to the existing grade of the parking lot. The project sponsor consciously decided to design these buildings to a 40' height from the Page Street sidewalk to maintain a consistent urban design form of buildings along Page Street.
  - D. The proposed rear yards for the buildings facing Page Street will be elevated due to the slope of the block and be part of the lower units in each building. This allows the rear yard to be accessible to a residential unit and creates an open space buffer between the new buildings and the north adjacent 410 Steiner multi-family building. The 410 Steiner Street building is situated on the hill above our Page Street site.



7/31/2014

12.0909D

© COPYRIGHT SAN FRANCISCO  
CITY & COUNTY ASSESSOR 1995

843  
W A BLK. 370

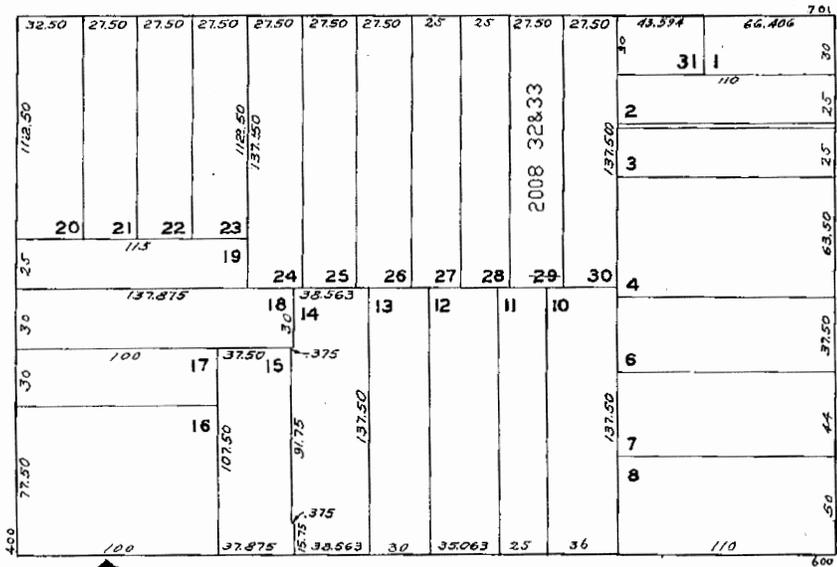
Revised 2008

LOTS MERGED  
Lots INTO Lot  
5 - 4 - 1944  
9 - 8 - "  
lot 29 into lots 32&33 for 2008 roll



OAK

STEINER



FILLMORE

PROJECT SITE

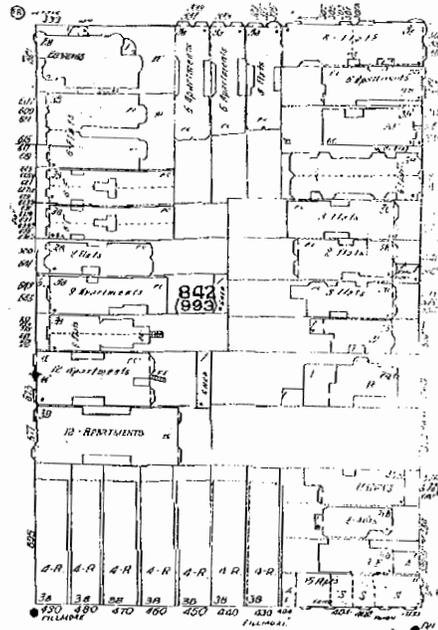
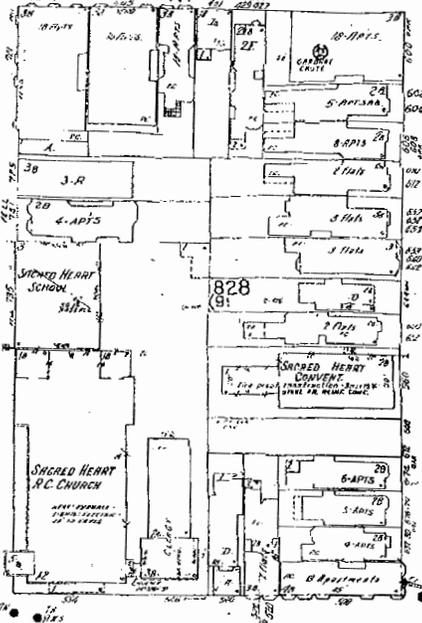
PAGE

THESE LAYDOWN MAPS ARE DATED TO THE MID 1990'S  
USE WITH CAUTION FOR HISTORICAL CONTEXT

342

350

WEBSTER



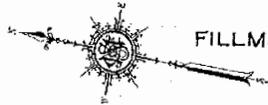
68'9"

68'9" WIDE

68'9" WIDE

349

FILLMORE

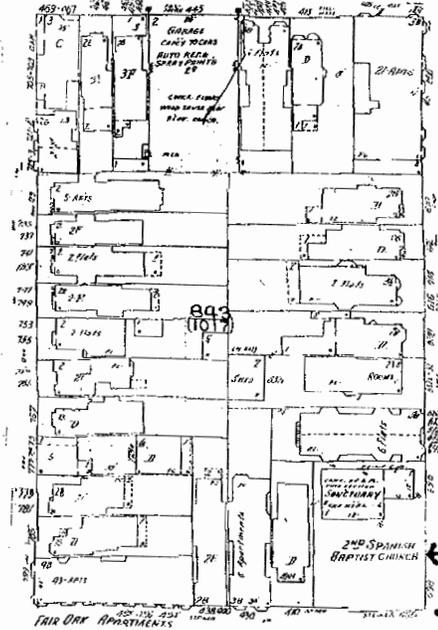
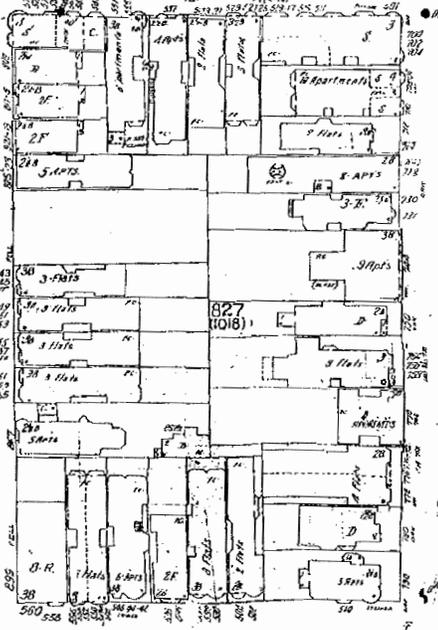


351

FELL

OAK

PAGE



68'9"

STEINER

359



PROJECT SITE

**690 Page Street  
Neighborhood Meeting, Sat. April 19, 2014 10:00 AM  
Held at Cafe International, 508 Haight St.  
Notes and questions**

**1. Question regarding the side setback in building adjacent to existing building at 668-678 Page. Neighbor has some pipes in lightwell and is concerned about access for maintenance.**

There are side setbacks on our project matching lightwells of adjacent property.

**2. What is the timeline for the project?**

We estimate that it will take 6-8 months to get approvals and permits, and 16-18 months for the construction phase.

**3. Question about curb cuts, a) is it possible to minimize the number of cuts? b) can the curb cuts be aligned in some way to minimize the loss of street parking.**

Due to the configuration of the lots, one curb cut per lot is necessary. We have attempted to minimize the loss of street parking by pairing the curb cuts where possible, and slightly offsetting the curb cut from the garage door.

**4. Concern about noise from people in roof deck.**

The roof deck is provided to meet the open space requirement.

NEIGHBORHOOD MEETING, SATURDAY APRIL 18, 2014  
INTERNATIONAL CAFE - SIGN-IN SHEET

| <u>NAME</u>     | <u>ADDRESS</u>           | <u>EMAIL</u>           | <u>PHONE</u> |
|-----------------|--------------------------|------------------------|--------------|
| GARY GEE        | 98 BRADY ST SF. CA 94103 | ggee@garygee.com       | 863-8881     |
| LAWRENCE LI     | 448 WALLER APT 9         | lawrence@bureauof.com  | 673-6931     |
| Steven Olbush   | 345 - Fillmore St        | sven.edward@gmail.com  | 577-1827     |
| Arlene Borick   | 431 Steiner St           | atborick@gmail.com     | 621-5935     |
| EUN lee         | 1829 Steiner St          | anykeewaller@yahoo.com | 290<br>385   |
| GREG            | 546 Steiner              | kzyder@yahoo.com       | 415 554 0533 |
| TARA            | 546 Steiner              | tara@faludi.com        | 415-632-3350 |
| DAVID STALLWOOD | 665 PAGE ST              | dastallwood@yahoo.de   |              |
| Bob Avittal     | 410 SLEIMAN              | BAVITTAL@YAHOO.COM     |              |
| Cruz Beaman     | 674 Page                 | cbeaman@yahoo.com      |              |

12.0909D

**Gary Gee**

---

**From:** Amy Lee <amyleegov@gmail.com>  
**Sent:** Thursday, May 01, 2014 2:30 PM  
**To:** Lawrence Li  
**Cc:** Gary Gee; Victor Quan  
**Subject:** 690 Page Follow Up

Lawrence

Thanks so much for coming (and helping me coordinate the meeting!) to discuss 690 Page Street. I just wanted to follow up and thank you. Also, I believe that you asked for the sidewalk and vertical view of the elevations. I will have Gary forward a pdf of that information to you as soon as he can.

Thanks again. Please keep in touch.

Best,

Amy

Focus Consulting, Inc.  
991 Mission Street  
San Francisco, CA 94103  
Cell: 415-290-3051  
Email: [amyleegov@gmail.com](mailto:amyleegov@gmail.com)

12.0909D



Architecture/Planning/Interiors

98 Brady Street, #8 San Francisco, CA 94103-1239

Tel: 415/863-8881 Fax: 415/863-8879

---

June 16, 2014

Mr. Lawrence Li  
498 Waller Street, Apt #9  
San Francisco, CA 94117

**RE: 690 Page Street Street Elevation Drawings  
San Francisco, CA**

Dear Mr. Li:

Amy Lee informs me you had request copies of the 690 Page Street Elevation Drawings.  
Attached are two (2) architectural drawings:

- Sheet A3.0 dated February 18, 2014 of the Page Street combined elevations and the rear yard elevations.
- Sheet A3.2 dated February 10, 2014 of the Steiner Street elevation for the 698 Page corner building.

These street elevations were reviewed by the Planning Department.

Very truly yours,

A handwritten signature in black ink, appearing to read "Gary Gee", with a large, sweeping underline.

Gary Gee, AIA

cc: Amy Lee

12.0909D



Architecture/Planning/Interiors

98 Brady Street, #8 San Francisco, CA 94103-1239

Tel: 415/863-8881 Fax: 415/863-8879 www.garygee.com

June 3, 2014

Mr. Michel Bechirian  
678 Page Street  
San Francisco, CA 94117

**RE: 690 Page Street  
San Francisco, CA**

Dear Mr. Bechirian:

Thank you for meeting with the project sponsors and myself on Saturday, April 19, 2014 at the International Café on Haight Street.

During this neighborhood meeting you expressed concern over the privacy from the propose roof deck at 680-682-684 Page Street building. We are asking to meet with you from your unit to see if there is any way for us to locate this roof deck to create more privacy. Please contact me at your earliest convenience.

Very truly yours,

A handwritten signature in black ink, appearing to be 'Gary Gee', written in a cursive style.

Gary Gee, AIA

cc: Victor Quan  
Urbano Ezquerro

## 690 PAGE STREET PROJECT MEETING WITH EAST NEIGHBORS

DATE: THURSDAY, JUNE 12, 2014

TIME: 7:00PM

LOCATION: MICHEL BECHIRIAN RESIDENCE; 678 PAGE STREET

ATTENDEES: MICHEL BECHIRIAN, CHRIS BEAHN, GARY GEE

### Items discussed:

1. We discussed the location of the 680-682-684 Page Street roof deck. Gary Gee said the size of the roof deck was determined by planning regulations (15 sq ft?). This made it hard to minimize the impact of the deck because there weren't many viable alternatives to locate the deck. Michel said the location whether in the rear or front of the building; the location would not make a difference in the amount of privacy to his unit – Roof top access would provide sight lines into bedrooms, bathrooms and living areas. He can hear noise and music from the tenants when there is a party at the Steiner Street building. I asserted the design of the project – maximizing the number of condo units that could be built on the lot, was the problem. The lot size allows for three buildings with adequate outdoor space without the need for roof decks. A fourth building introduces multiple issues.

A. Gary Gee suggested the project sponsor can create allowable hours for the use of the roof deck in the CCNR's of the new building.

Chris and I asked how this could be enforced in reality.

2. Michel said his wife is a graphic artist and works mostly from home. This is main concern for the loss to light and privacy to his top floor unit.

3. Michel asked if the project sponsor is willing to move the east lightwell wall south to align with his lightwell to allow more light into his master bedroom.

A. Gary Gee said he will ask the project sponsors to consider this change.

4. Michel asked what will be the height of the new adjacent building relative to the height of his building.

A. Gary Gee said the new building will be approximately five feet (5') lower than the current roof lightwell edge of the 678 Page Street building.

5. Michel said the proposed new building at 680-682-684 Page Street will impact his building negatively and lose value.

Clarification: While the proposed project may have a negative effect on the value of the building's west facing units, my primary concern is the proximity of the new building which will encroach on our privacy, and greatly restrict the quality and quantity of light to our units.

6. Michel and Chris ask commented about the time for construction of this project. They wanted to know if the adjacent structure will be built first.

A. Gary Gee said the 680-682-684 Page Street structure will be built first. He was not heard the project sponsor indicate whether all the structures will be built at once.

B. Gary Gee will confirm with the project sponsor on the schedule of construction.

7. Michel requested clarification the location and height of the fire place flues on the roof.

A. Gary Gee will confirm the height and location of these three flues.

8. We agreed the 680-682-684 Page east lightwell will be white in color.

9. Gary Gee suggested that it would be in Michel and Chris's best interest to submit a request for a Discretionary Review. This would ensure their concerns were documented and considered, and may allow an opportunity to reach an agreement with the project owners.

10. Gary Gee asked Michel and Chris if they would consider not submitting a DR if the project sponsor made changes to the design that could be signed by all parties and submitted to SF Planning. Chris and I were non-committal in the absence of any documented change to the plans.

12.0909D

**Gary Gee**

---

**From:** Michel Bechirian <mbussfo@yahoo.com>  
**Sent:** Thursday, July 10, 2014 8:43 AM  
**To:** Gary Gee  
**Cc:** cbeahn@yahoo.com  
**Subject:** Re: 690 Page Street  
**Attachments:** 690 PAGE STREET PROJECT MEETING WITH EAST NEIGHBORS\_MB.pdf

Gary,

Thank you for the notes. I have added some comments and included a couple of points you missed.

Regards,  
Michel

---

**From:** Gary Gee <GGee@garygee.com>  
**To:** Michel Bechirian <mbussfo@yahoo.com>  
**Cc:** "cbeahn@yahoo.com" <cbeahn@yahoo.com>  
**Sent:** Friday, July 4, 2014 10:10 AM  
**Subject:** RE: 690 Page Street

Michel:

Thank you for your response. I have attached my meeting notes from our June 12, 2014 meeting at your unit.

If you have any other questions or need additional information, please contact me.

Gary Gee, AIA

---

**From:** Michel Bechirian [<mailto:mbussfo@yahoo.com>]  
**Sent:** Wednesday, July 02, 2014 10:36 PM  
**To:** Gary Gee  
**Cc:** [cbeahn@yahoo.com](mailto:cbeahn@yahoo.com)  
**Subject:** Re: 690 Page Street

Gary,

Unfortunately we haven't had the opportunity to discuss, but I have discussed with my wife, and we believe it is in our best interest to request a DR of the project. I will submit the paperwork tomorrow.

Regards,  
Michel

On Jul 2, 2014, at 5:15 PM, Gary Gee <[ggee@garygee.com](mailto:ggee@garygee.com)> wrote:

Michel:

12.0909D

I am inquiring if you have contacted Chris to discuss the proposed light well revision? It is the preference of the project sponsors to file an agreed revision with the Planning Department prior to the end of the 30 day notification period.

Gary Gee, AIA

Gary Gee Architects, Inc.  
98 Brady Street #8  
San Francisco, CA 94103-1239  
Tel: 415.863.8881 Fax: 415.863.8879  
Email: [ggee@garygee.com](mailto:ggee@garygee.com)  
[www.garygee.com](http://www.garygee.com)

**Gary Gee**

---

**From:** Gary Gee  
**Sent:** Saturday, June 14, 2014 12:20 PM  
**To:** 'mbussfo@yahoo.com'; 'cbeahn@yahoo.com'  
**Subject:** 690 Page Street Neighbor Meeting

Michel & Chris:

Thank you for meeting with me last Thursday, June 12, 2014 at your 678 Page Street property. I sent an email and telephone message to Victor Quan. He is out of town this weekend but I expect to hear from him regarding your proposed east lightwell revision. I should hear from him on Monday. Thank you for your patience in this matter.

Gary Gee, AIA

Gary Gee Architects, Inc.  
98 Brady Street #8  
San Francisco, CA 94103-1239  
Tel: 415.863.8881 Fax: 415.863.8879  
Email: [ggee@garygee.com](mailto:ggee@garygee.com)  
[www.garygee.com](http://www.garygee.com)

# REUBEN, JUNIUS & ROSE, LLP

November 4, 2014

## By Hand Delivery

President Cindy Wu  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 690 Page Street Discretionary Review Request  
Planning Case No. 2012.0909  
Our File No.: 8723.01**

Dear President Wu and Commissioners:

This office represents Page Steiner Associates LLC, sponsor of a small residential infill development consisting of the construction of four residential buildings (the "Project") on a 7,749 sq. ft. lot located at the northeast corner of Steiner and Page Streets (the "Property"). Supported by the vast majority of neighboring residents, the Project will transform an underutilized lot into much-needed family housing, including a three-bedroom below market rate ("BMR") unit. There are no exceptional or extraordinary circumstances associated with this fully code-compliant infill residential project that warrant discretionary review. We look forward to presenting the Project to you on November 13.

### **A. Project Description**

The proposed project will remove an existing above-grade asphalt parking lot and vacant and deteriorated single-story structure most recently used by a prior owner for assembly space. It will construct four multi-family buildings with three dwelling units in each, for a total of twelve (12) dwelling units, including an on-site BMR unit. Each unit will have three bedrooms, and each building will be a maximum of 40 feet in height.

The Project is completely code-compliant; it requires no exceptions or variances from the Planning Code. The Project is located in an RM-1 Zoning District, which permits up to three dwelling units on each parcel. Due to the uniquely large site for this neighborhood, Project sponsor will subdivide the Property into four parcels, creating a fine-grained development of four separate structures that is not only consistent with prevailing neighborhood character in the project area, but also brings the Project into the Affordable Housing Program.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin  
Sheryl Reuben<sup>1</sup> | David Silverman | Thomas Tunny | Jay F. Drake | John Kevlin  
Lindsay M. Petrone | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup>

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

One Bush Street, Suite 600  
San Francisco, CA 94104

tel: 415-567-9000  
fax: 415-399-9480

www.reubenlaw.com

Project plans and renderings are attached as **Exhibit A**. Existing site and surrounding area conditions are attached as **Exhibit B**.

**B. Benefits of the Project**

The benefits of the Project include the following:

1. Provision of 12 new family-sized housing units on a uniquely large development site for this neighborhood that is consistent with the General Plan, the Planning Code, the Residential Design Guidelines, and the City's goal of 30,000 building new dwelling units by 2020;
2. By subdividing the Property into four lots in a zoning district that permits three dwelling units per lot, the Project will comply with the Affordable Housing Program, and Project sponsor has elected to provide a three-bedroom on-site affordable unit;
3. The Project converts an underutilized site containing a large asphalt parking lot and a dilapidated single-story vacant structure into sustainably-designed housing that is consistent with the existing development pattern of the neighborhood and "completes" the block face;
4. Project sponsor has conducted extensive neighborhood outreach and has the support of a vast majority of its neighbors, and redesigned project features to address the DR requestor's stated concerns. Project sponsor is especially sensitive to the Project's impact on the community: one of its principals lives directly across Steiner Street from the site with her family.

**C. Project Sponsor's Neighborhood Presence, Outreach and Support**

The Project sponsor has a unique presence in the neighborhood and a distinct interest in ensuring the Project is appropriate for the community. Project sponsor is a partnership between Victor Quan and Arlene Borick. Ms. Borick actually lives with her family directly across Steiner Street from the property in a home they have occupied since 1990. They will look out their front window onto the Project. It goes without saying Project sponsor is especially sensitive to the Project's scale and design.

Neighborhood outreach concerning the Project began nearly two (2) years ago. Project sponsor held the pre-application neighborhood meeting on January 24, 2013, and an additional outreach meeting on April 19, 2014 at the request of the Lower Haight Merchants Association.

Additionally, the principals have reached out to and held numerous one-on-one meetings with neighbors and community members. Sixteen (16) neighbors signed letters pledging support for the Project, including the immediate neighbor to the north, neighbors from each of the buildings across Steiner Street from the Property, and neighbors from two of the buildings across Page Street from it. A map showing neighborhood support by location, as well as copies of these letters, are attached as group **Exhibit C**. Indeed, the DR requestor only occupies one of the six units in the adjacent building; as of this writing and to the best of our knowledge, he is the only person who has voiced opposition to Project sponsor or to Planning Department staff.

**D. Changes to the Project Addressing DR Requestor's Stated Complaints**

Project sponsor has undertaken a number of different design changes to the easternmost building in order to address the DR requestor's stated concerns regarding views, light, and air. These design changes are explained in detail in the letter attached as **Exhibit D**, and summarized below:

1. The Project's light wells are designed to align completely with the neighboring property's existing light wells, providing more than adequate light and air to the neighboring property. Project sponsor originally proposed an 18-foot light well extending southward from the rear of the easternmost building, but the DR requestor complained it was not long enough. Project sponsor extended this light well southward an additional 7.25 feet. Combined with a second 5' light well further south that matches a smaller light well on the adjacent building, more than half of the building's eastern wall will be set back from the property line.
2. In response to concerns about privacy, the easternmost building's rooftop deck—necessary to meet the Planning Code's open space requirement—was moved against its western property line, and is located as far as possible from the east property line.
3. In order to minimize projections at the roof level, rooftop fireplace flues are no longer part of the building's design.
4. Project sponsor also made additional non-structural design changes, including painting the large northeast light well white and locating a cyclone fence along the east side of the rear yard fence line to allow more light onto the neighboring property.

The DR requestor has made the unusual request that the Project's design be entirely re-oriented from Page Street to Steiner. The DR requestor has not identified any exceptional or extraordinary circumstances that would compel this result. Additionally, this is not feasible or

desirable, particularly after more than two years of planning. Re-orienting would only permit a three-lot subdivision, limiting the Project's permitted number of dwelling units and sending the Project out of the Inclusionary Housing Program. Requiring the project to front Steiner Street would therefore eliminate a three-bedroom inclusionary housing unit ideal for a qualifying family. Also, due to the relatively steep downward slope along Steiner Street, a project fronting Steiner would actually result in a taller massing along that street by up to 10 feet, with no corresponding reduction along Page Street. Please refer to sheets A.3.2 and A.3.2.1 for massing diagrams.

**E. The Project is Consistent with Prevailing Neighborhood Character**

The Project is designed to be consistent with the prevailing character of the neighborhood. As noted above, the Project is completely code-compliant, meeting requirements for which variances are often sought such as rear yard, open space, and dwelling unit exposure. The City has enacted a policy designed to promote the construction of new family housing, and the Project as designed will do just that.

Project sponsor is committed to building homes with three bedrooms, which is an uncommon if not wholly unique approach to a new housing project in San Francisco. Like many of the buildings adjacent to the Property—including the entire block face across Page Street—the Project's buildings will be constructed to their side lot line, except for the easternmost building's light wells. Because the Project will result in relatively narrow 25-foot by 77.5-foot lots, requiring a side setback would substantially reduce the size of units and could require eliminating bedrooms. Maintaining code compliance, Project sponsor is not attempting to add space in the rear yard through a variance.

Additionally, Project sponsor worked with Planning Department staff to design each building to maintain neighborhood scale along Page Street. Each building is designed to differentiate from the others and acknowledge the existing proportions and architectural massing features of the block and the neighborhood. Although the Project will eliminate an existing parking lot, it will maintain 12 of 13 off-street parking spaces. In addition, the project architect worked with the Planning staff to minimize the loss of street parking with optimal new driveway placements. Only one (1) curb space is lost. Bicycle parking is provided in each garage. The design emphasis of stoop entries for each building reinforces the existing residential entrance patterns along the block face, and creates visual interest at the pedestrian level of the buildings.

**F. Conclusion**

Exercising discretionary review is a special power of the Commission limited to projects with exceptional and extraordinary circumstances. Simply, that is not the case for this fully code-compliant project. The poor condition of the lot is out of character with the rest of the neighborhood. The Project will transform an underutilized and vacant site into family-oriented

One Bush Street, Suite 600  
San Francisco, CA 94104

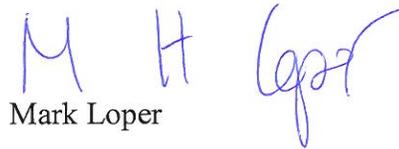
tel: 415-567-9000  
fax: 415-399-9480

President Wu and Commissioners  
November 4, 2014  
Page 5

housing that “completes” the block, respects the prevailing neighborhood character, and addresses the City’s housing crisis. Project sponsor is and will continue to be an active part of the community, and has widespread support from owners and renters alike. Project design has been changed to address the DR requestor’s concerns, and requires no special exceptions from the Planning code. For these reasons, we request you do not undertake discretionary review and approve the Project.

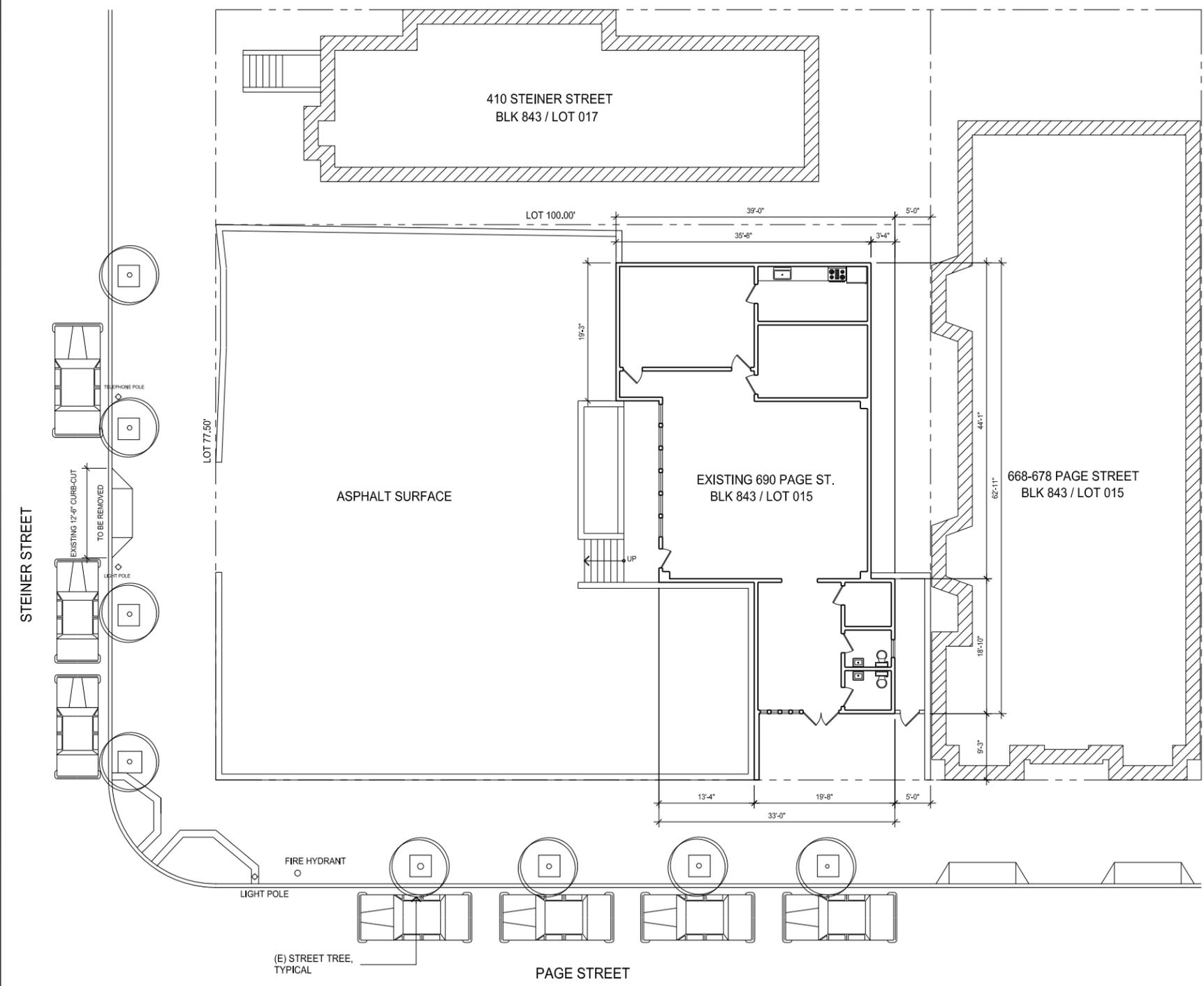
Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP**

  
Mark Loper

Enclosures

cc: Vice President Rodney Fong  
Commissioner Michael Antonini  
Commissioner Rich Hillis  
Commissioner Christine D. Johnson  
Commissioner Kathrin Moore  
Commissioner Dennis Richards  
Jonas P. Ionin – Commission Secretary  
Christine Lamorena – Planning Department Staff  
Arlene Borick  
Victor Quan

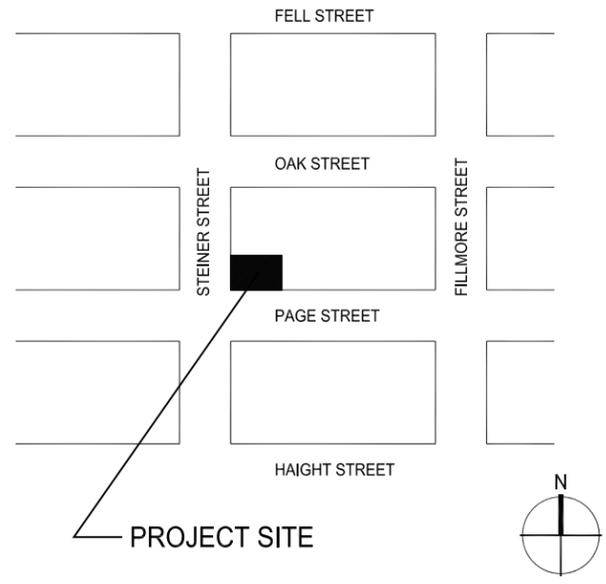


EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



VICINITY MAP



PROJECT INFORMATION

PROJECT ADDRESS: 690 PAGE STREET PROJECT, SAN FRANCISCO, CA

PROJECT DESCRIPTION: 4 BUILDINGS CONSISTING OF 3 UNITS OF CONDOMINIUMS IN A 3-STORY OVER GARAGE RESIDENTIAL BUILDING.

BLOCK / LOT: BLOCK 0843 / LOT 016

ZONING DISTRICT: RM-1

CONSTRUCTION TYPE: TYPE V-A, WITH AUTOMATIC SPRINKLER SYSTEM

SCOPE OF WORK

SUB-DIVIDE EXISTING LOT INTO 4 SEPARATE LOTS OF 25' X 77'-6". CONSTRUCT 4 NEW BUILDINGS OF 3 UNITS OF CONDOMINIUMS OVER A GARAGE.

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH 2010 CALIFORNIA BUILDING CODE (CBC) AND SAN FRANCISCO AMENDMENTS, APPLICABLE PORTIONS OF CALIFORNIA TITLE 24 AND ALL STATE AND FEDERAL LAWS, REGULATIONS AND BUILDING CODES.

DRAWING INDEX

- A1.0 VICINITY MAP, PROJECT INFORMATION, SCOPE OF WORK, DRAWING INDEX
- A1.1 EXISTING ELEVATIONS
- A1.2 PROPOSED SITE PLAN
- A2.0 FLOOR PLANS
- A2.1 FLOOR PLANS
- A2.2 FLOOR PLANS
- A2.3 FLOOR PLANS
- A3.0 ELEVATIONS
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A3.3 ELEVATIONS
- A4.0 SECTION

690  
Page Street  
Project

Building 680-684 Page Street  
Building 686-690 Page Street  
Building 692-696 Page Street  
Building 698 Page Street, -  
Units #1, #2, & #3  
A Condominium Project  
San Francisco • California



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Project No. 12-010 Date 01.10.12

Revisions

| No. | Issue / Date                        |
|-----|-------------------------------------|
|     | ISSUED FOR REVIEW 04.16.12          |
|     | ISSUED FOR REVIEW 06.06.12          |
|     | ISSUED FOR REVIEW 08.22.13          |
|     | REVISION PER CITY COMMENTS 11.04.13 |
|     | REVISION PER PLANNING 02.03.14      |
|     | REVISION PER PLANNING 02.10.14      |
|     | DR SUBMITTAL 11.04.14               |

Existing Site Plan (Scheme 5)

Scale: 1/8" = 1'-0"

A1.0

# 690

## Page Street Project

Building 680-684 Page Street  
 Building 686-690 Page Street  
 Building 692-696 Page Street  
 Building 698 Page Street, -  
 Units #1, #2, & #3

A Condominium Project  
 San Francisco • California



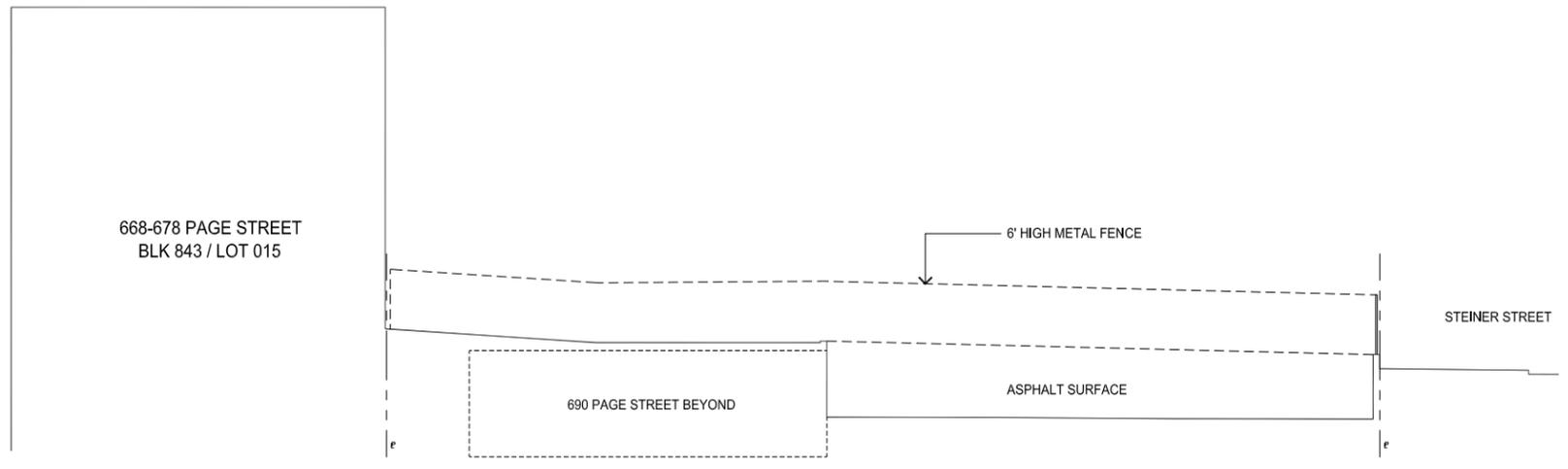
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 98 Brady Street, #8  
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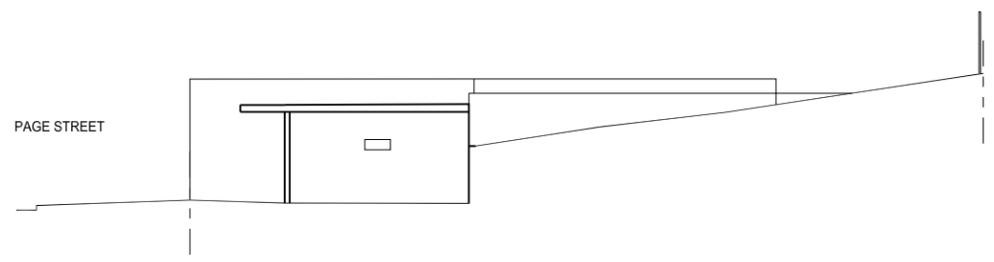
|             |          |
|-------------|----------|
| Project No. | Date     |
| 12-010      | 01.10.12 |

### Revisions

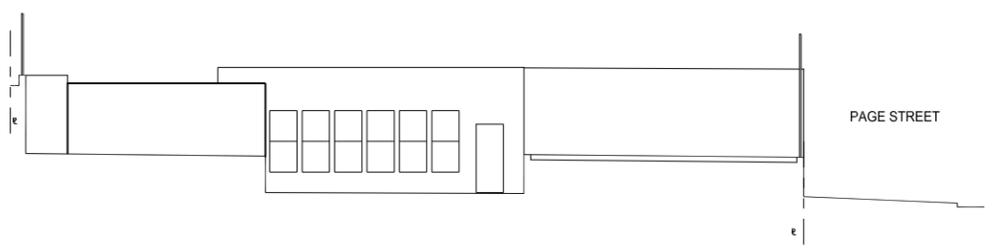
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|     | DR SUBMITTAL 11.04.14               |



690 PAGE STREET/NORTH ELEVATIONS  
 SCALE: 1/8" = 1'-0"



690 PAGE STREET/EAST ELEVATIONS  
 SCALE: 1/8" = 1'-0"



690 PAGE STREET/WEST ELEVATIONS  
 SCALE: 1/8" = 1'-0"



690 PAGE STREET/SOUTH ELEVATIONS  
 SCALE: 1/8" = 1'-0"

(E) Elevations  
 (Scheme 5)

Scale: 1/8" = 1'-0"

# A1.1

PLANNING DEPARTMENT - PROJECT DESCRIPTION

690  
Page Street  
Project

Building 680-684 Page Street  
Building 686-690 Page Street  
Building 692-696 Page Street  
Building 698 Page Street, -  
Units #1, #2, & #3  
A Condominium Project

San Francisco • California



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| 12-010      | 01.10.12 |

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|     | REVISION PER PLANNING<br>02.10.14      |
|     | DR SUBMITTAL<br>11.04.14               |

BUILDING:

|                     |   |   |
|---------------------|---|---|
| 680-684 Page Street | RESIDENTIAL UNITS PROVIDED:<br>PARKING PROVIDED:<br>BICYCLE PARKING PROVIDED: | 3 UNITS<br>3 INDIVIDUAL STALLS<br>3 SPACES  |
|                     | RESIDENTIAL OPEN SPACE PROVIDED:  | COMMON REQUIRED: 2 UNITS X 100 SF X 1.33 = 266 SF<br>COMMON PROVIDED: 270 SF AT ROOF DECK<br>PRIVATE REQUIRED: 100 SF<br>PRIVATE PROVIDED: UNIT 680 = 464 SF AT REAR YARD |

|                             |                          |          |
|-----------------------------|--------------------------|----------|
| BUILDING AREA CALCULATIONS: | RESIDENTIAL:             |          |
|                             | SECOND LEVEL             | 1,326 SF |
|                             | THIRD LEVEL              | 1,367 SF |
|                             | FOURTH LEVEL             | 1,367 SF |
|                             | GARAGE:                  | 1,370 SF |
|                             | TOTAL GROSS SQUARE FEET: | 5,430 SF |

|                     |   |   |
|---------------------|---|---|
| 686-690 Page Street | RESIDENTIAL UNITS PROVIDED:<br>PARKING PROVIDED:<br>BICYCLE PARKING PROVIDED: | 3 UNITS<br>3 INDIVIDUAL STALLS<br>3 SPACES  |
|                     | RESIDENTIAL OPEN SPACE PROVIDED:  | COMMON REQUIRED: 2 UNITS X 100 SF X 1.33 = 266 SF<br>COMMON PROVIDED: 272 SF AT ROOF DECK<br>PRIVATE REQUIRED: 100 SF<br>PRIVATE PROVIDED: UNIT 686 = 464 SF AT REAR YARD |

|                             |                          |          |
|-----------------------------|--------------------------|----------|
| BUILDING AREA CALCULATIONS: | RESIDENTIAL:             |          |
|                             | SECOND LEVEL             | 1,389 SF |
|                             | THIRD LEVEL              | 1,436 SF |
|                             | FOURTH LEVEL             | 1,436 SF |
|                             | GARAGE:                  | 1,370 SF |
|                             | TOTAL GROSS SQUARE FEET: | 5,631 SF |

|                     |   |   |
|---------------------|---|---|
| 692-696 Page Street | RESIDENTIAL UNITS PROVIDED:<br>PARKING PROVIDED:<br>BICYCLE PARKING PROVIDED: | 3 UNITS<br>3 INDIVIDUAL STALLS<br>3 SPACES  |
|                     | RESIDENTIAL OPEN SPACE PROVIDED:  | COMMON REQUIRED: 2 UNITS X 100 SF X 1.33 = 266 SF<br>COMMON PROVIDED: 272 SF AT ROOF DECK<br>PRIVATE REQUIRED: 100 SF<br>PRIVATE PROVIDED: UNIT 692 = 464 SF AT REAR YARD |

|                             |                          |          |
|-----------------------------|--------------------------|----------|
| BUILDING AREA CALCULATIONS: | RESIDENTIAL:             |          |
|                             | SECOND LEVEL             | 1,424 SF |
|                             | THIRD LEVEL              | 1,457 SF |
|                             | FOURTH LEVEL             | 1,457 SF |
|                             | GARAGE:                  | 1,385 SF |
|                             | TOTAL GROSS SQUARE FEET: | 5,723 SF |

|                                      |   |  |
|--------------------------------------|---|--|
| 698 Page Street<br>(UNITS 1, 2, & 3) | RESIDENTIAL UNITS PROVIDED:<br>PARKING PROVIDED:<br>BICYCLE PARKING PROVIDED: | 3 UNITS<br>3 INDIVIDUAL STALLS<br>3 SPACES   |
|                                      | RESIDENTIAL OPEN SPACE PROVIDED:  | COMMON REQUIRED: 2 UNITS X 100 SF X 1.33 = 266 SF<br>COMMON PROVIDED: 279 SF AT ROOF DECK<br>PRIVATE REQUIRED: 100 SF<br>PRIVATE PROVIDED: UNIT #1 = 464 SF AT REAR YARD |

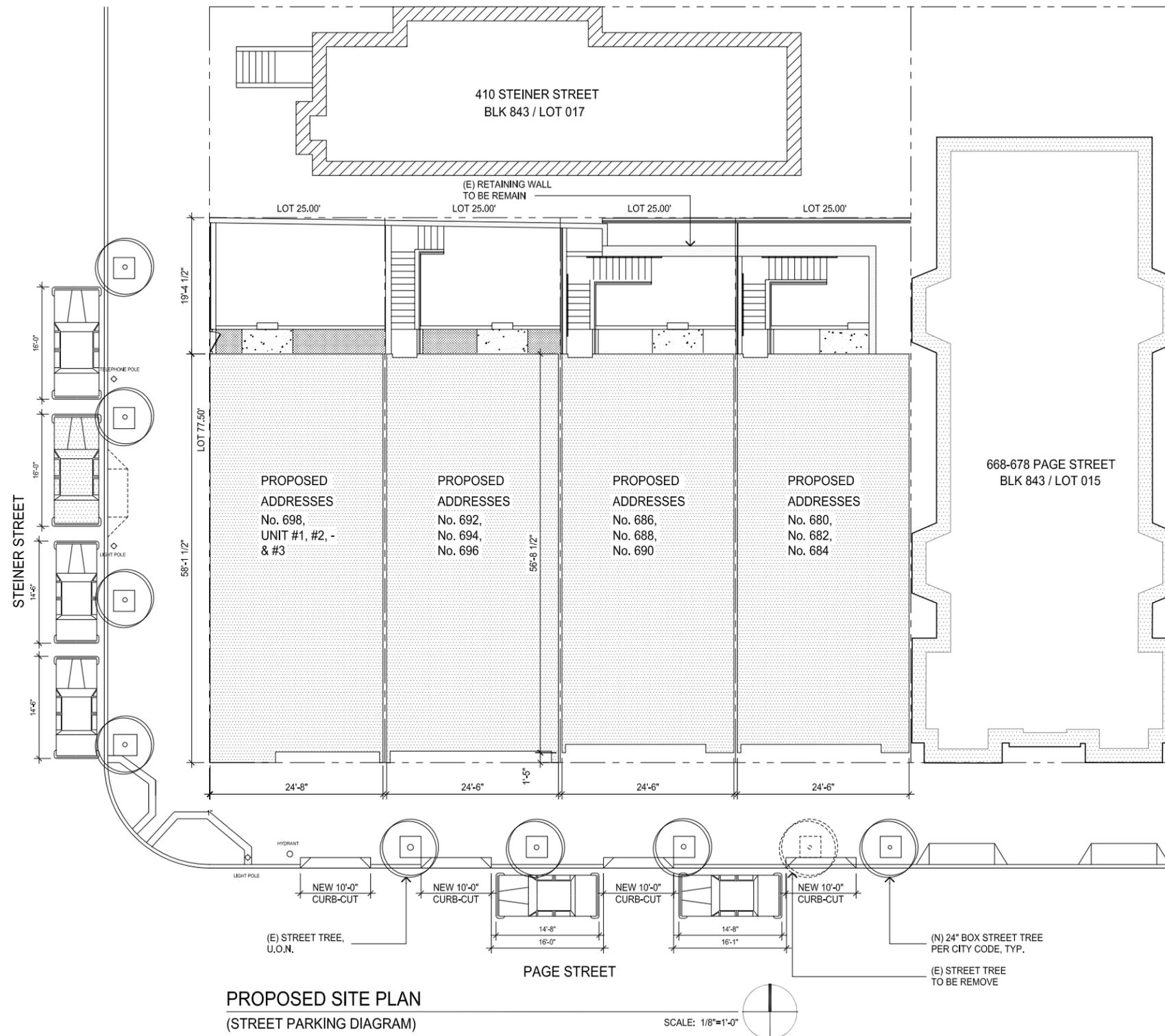
|                             |                          |          |
|-----------------------------|--------------------------|----------|
| BUILDING AREA CALCULATIONS: | RESIDENTIAL:             |          |
|                             | SECOND LEVEL             | 1,434 SF |
|                             | THIRD LEVEL              | 1,538 SF |
|                             | FOURTH LEVEL             | 1,538 SF |
|                             | GARAGE:                  | 1,411 SF |
|                             | TOTAL GROSS SQUARE FEET: | 5,921 SF |

\*\* PLANNING CODE SECTION 102.9 DEFINITION EXCLUDES FROM GROSS AREA CALCULATIONS: ROOF LEVEL STAIR, ELEVATOR AND MECHANICAL PENTHOUSES; ELEVATOR SHAFTS AND LIFE SUPPORT SYSTEMS SERVING EXCLUSIVELY RESIDENTIAL USES ABOVE FROM NON-RESIDENTIAL LEVELS BELOW; AND OPEN SPACE PROVIDED AT ROOF OR IN REAR YARD.

Site Plan  
(Scheme 5)

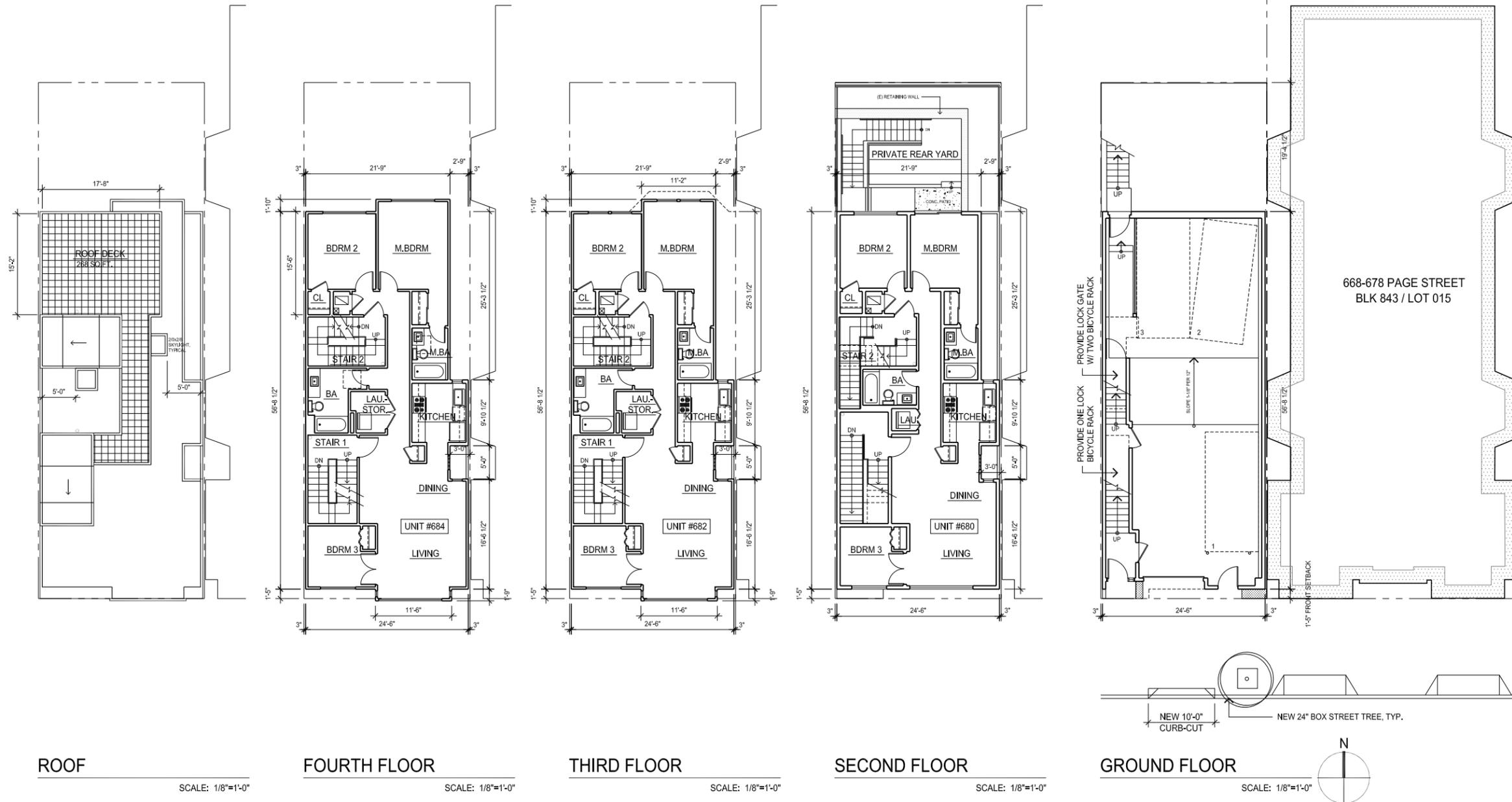
Scale: 1/8" = 1'-0"

A1.2



Revisions

| No. | Issue / Date                        |
|-----|-------------------------------------|
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|     | REVISION PER PLANNING 02.10.14      |
|     | DR SUBMITTAL 11.04.14               |



NOTE: PROVIDE 50% OF FRONT SETBACK SURFACE WITH PERMEABLE MATERIAL PER PLANNING CODE SECTION 132 (g). IN ADDITION, A MINIMUM OF 20% FRONT SETBACK SHALL BE LANDSCAPED, THIS CAN BE DEDUCTED FROM THE PERMEABILITY REQUIREMENT.

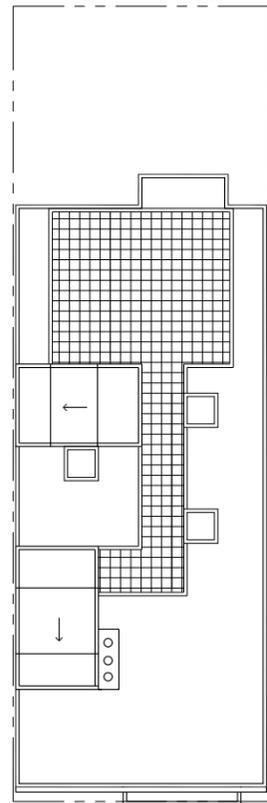
Floor Plan  
(Scheme 5)

Scale: 1/8" = 1'-0"

A2.0

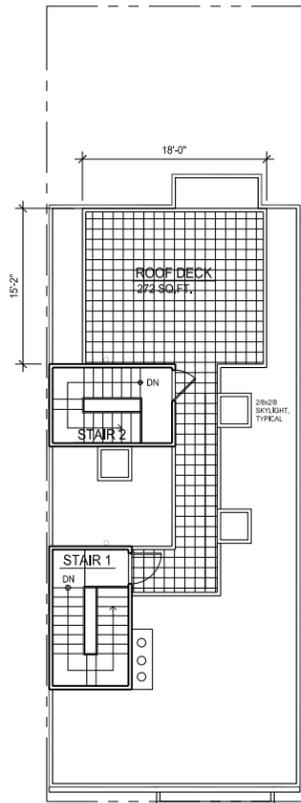
Revisions

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|     | ISSUED FOR REVIEW 06.13.12          |
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|     | REVISION PER PLANNING 02.10.14      |
|     | DR SUBMITTAL 11.04.14               |



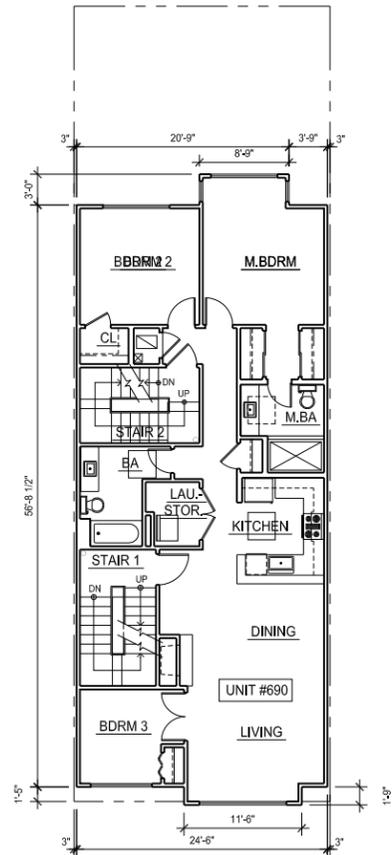
ROOF

SCALE: 1/8"=1'-0"



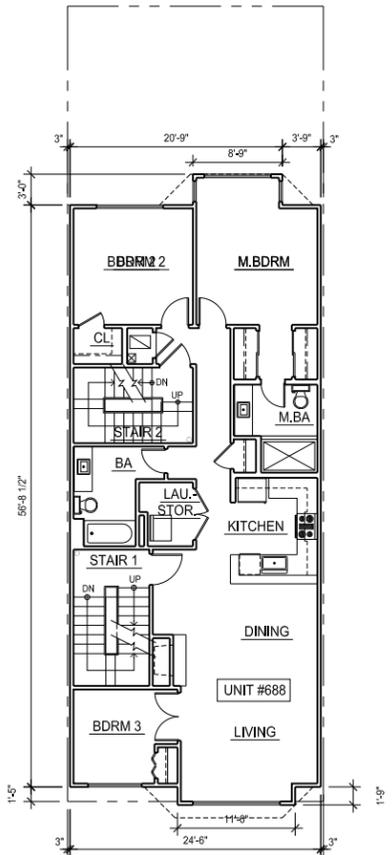
ROOF PENTHOUSE

SCALE: 1/8"=1'-0"



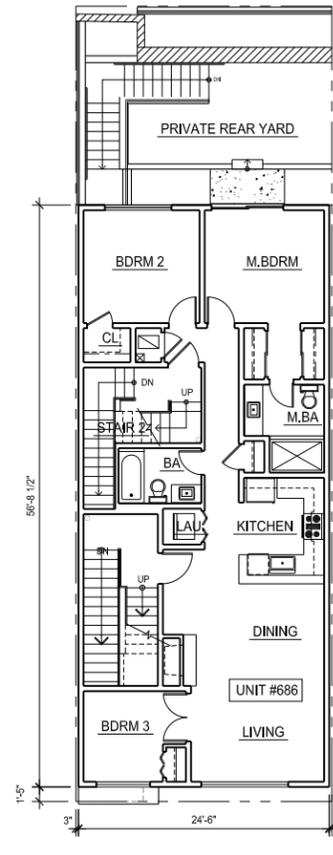
FOURTH FLOOR

SCALE: 1/8"=1'-0"



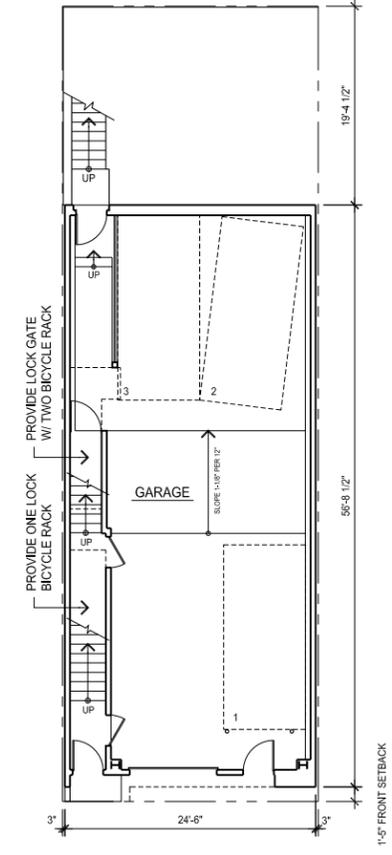
THIRD FLOOR

SCALE: 1/8"=1'-0"



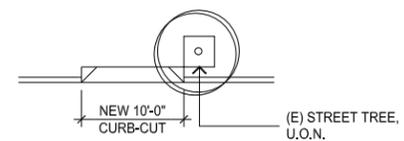
SECOND FLOOR

SCALE: 1/8"=1'-0"



GROUND FLOOR

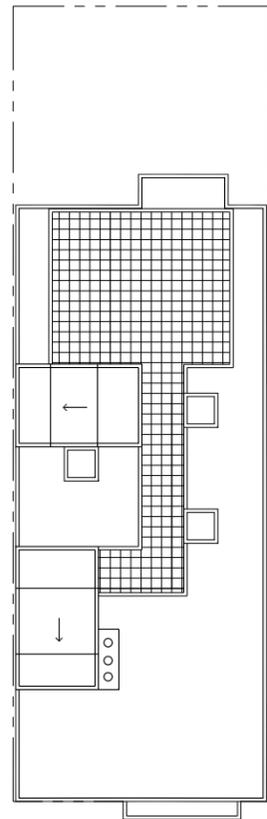
SCALE: 1/8"=1'-0"



NOTE: PROVIDE 50% OF FRONT SETBACK SURFACE WITH PERMEABLE MATERIAL PER PLANNING CODE SECTION 132 (g). IN ADDITION, A MINIMUM OF 20% FRONT SETBACK SHALL BE LANDSCAPED, THIS CAN BE DEDUCTED FROM THE PERMEABILITY REQUIREMENT.

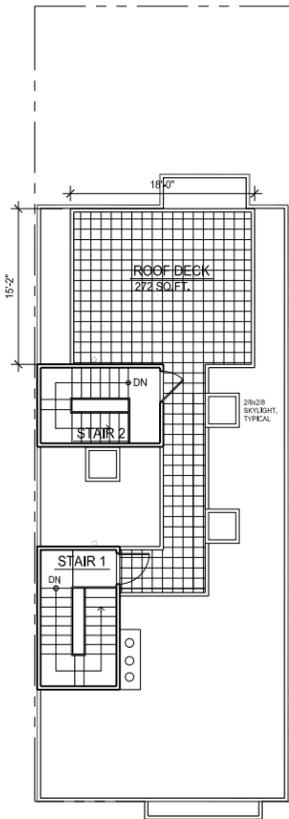
Revisions

| No. | Issue / Date                        |
|-----|-------------------------------------|
|     | ISSUED FOR REVIEW 04.16.12          |
|     | ISSUED FOR REVIEW 06.06.12          |
|     | ISSUED FOR REVIEW 06.13.12          |
|     | REVISION PER CITY COMMENTS 11.04.13 |
|     | REVISION PER PLANNING 02.03.14      |
|     | REVISION PER PLANNING 02.10.14      |
|     | DR SUBMITTAL 11.04.14               |



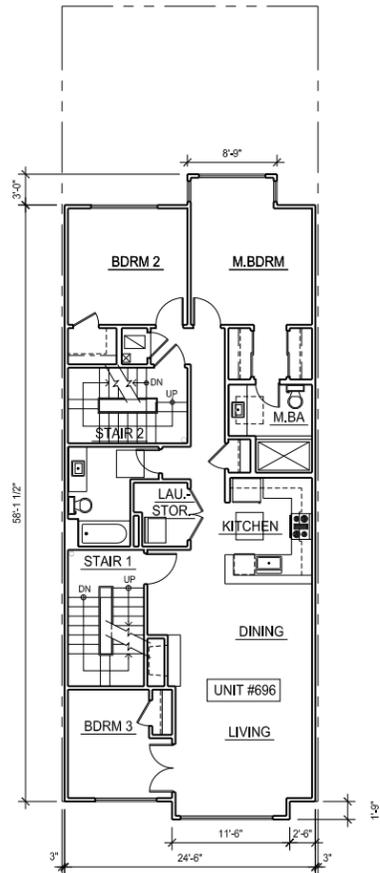
ROOF

SCALE: 1/8"=1'-0"



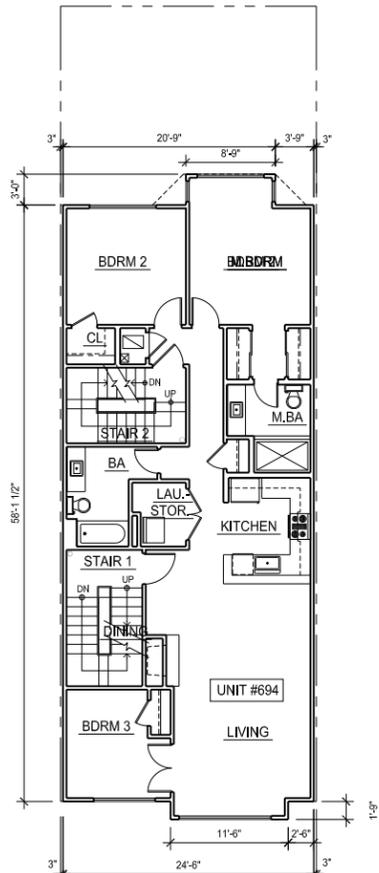
ROOF PENTHOUSE

SCALE: 1/8"=1'-0"



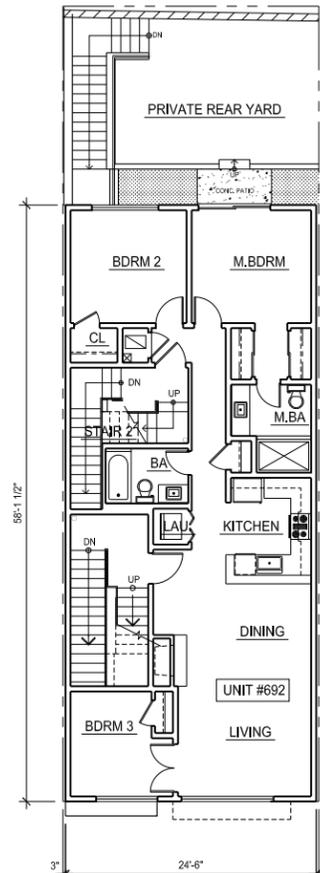
FOURTH FLOOR

SCALE: 1/8"=1'-0"



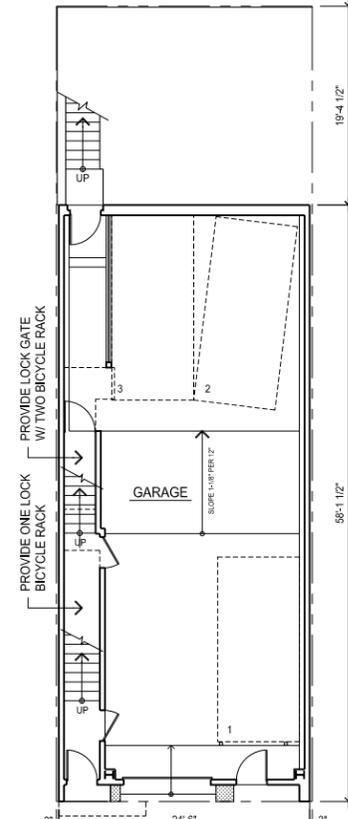
THIRD FLOOR

SCALE: 1/8"=1'-0"



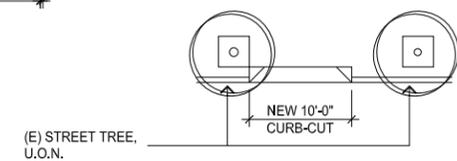
SECOND FLOOR

SCALE: 1/8"=1'-0"



GROUND FLOOR

SCALE: 1/8"=1'-0"



(E) STREET TREE, U.O.N.



NOTE: PROVIDE 50% OF FRONT SETBACK SURFACE WITH PERMEABLE MATERIAL PER PLANNING CODE SECTION 132 (g). IN ADDITION, A MINIMUM OF 20% FRONT SETBACK SHALL BE LANDSCAPED, THIS CAN BE DEDUCTED FROM THE PERMEABILITY REQUIREMENT.



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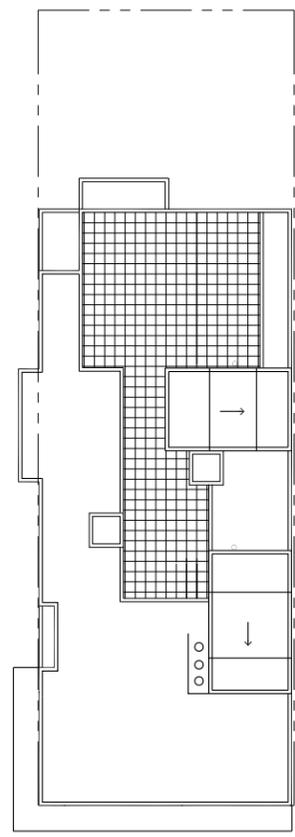
Table with Project No. 12-010 and Date 01.10.12

Revisions

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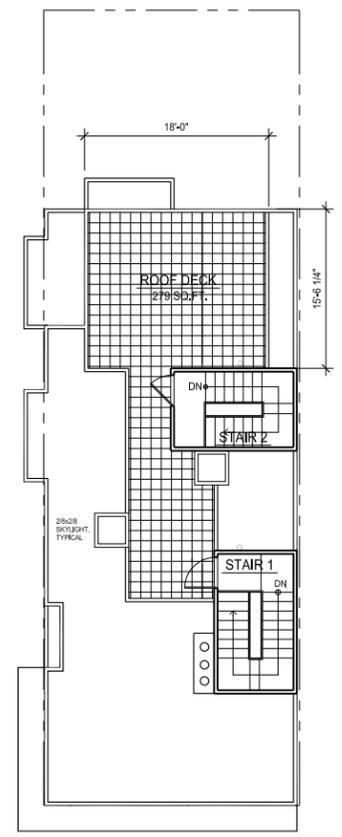
Floor Plans (Scheme 5)

Scale: 1/8" = 1'-0"



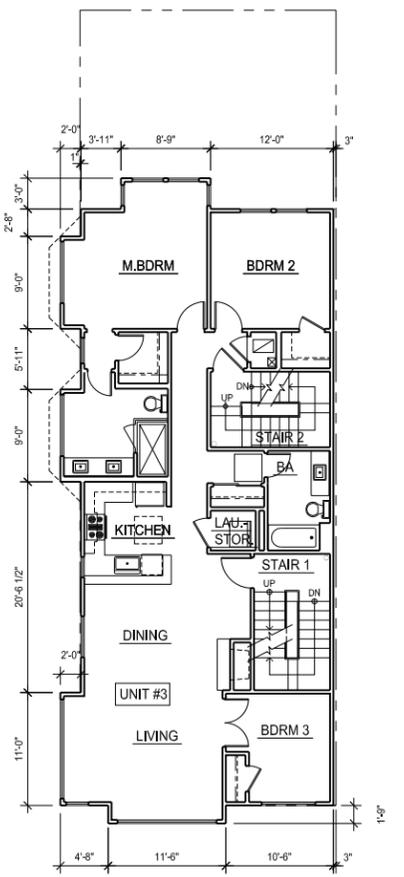
ROOF

SCALE: 1/8"=1'-0"



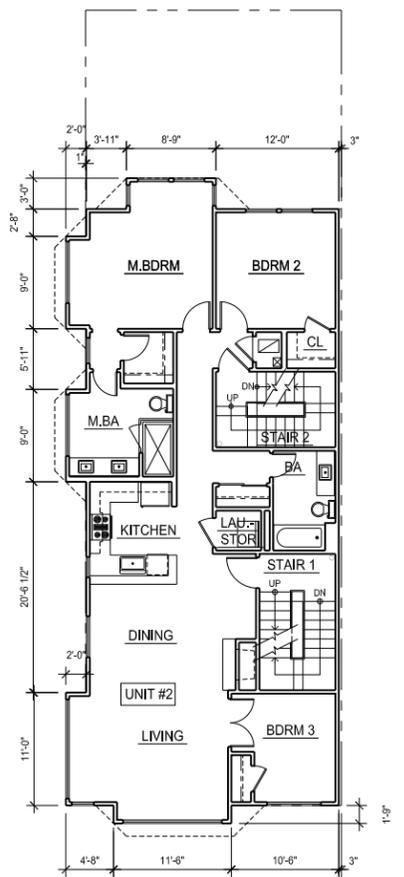
ROOF PENTHOUSE

SCALE: 1/8"=1'-0"



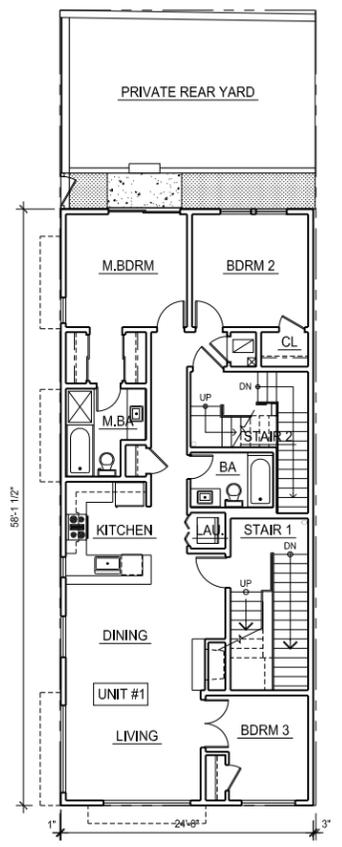
FOURTH FLOOR

SCALE: 1/8"=1'-0"



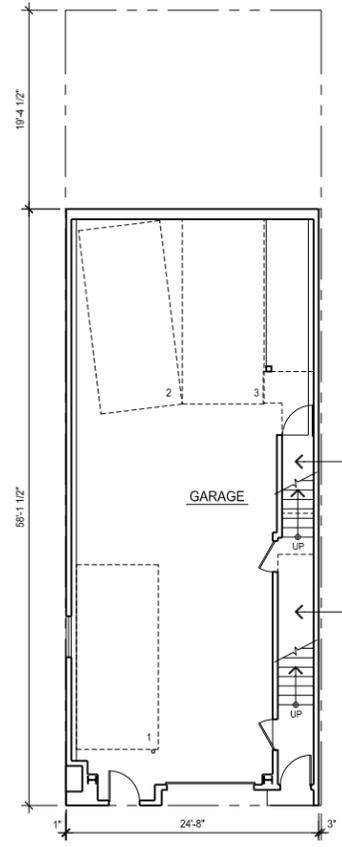
THIRD FLOOR

SCALE: 1/8"=1'-0"



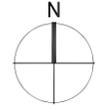
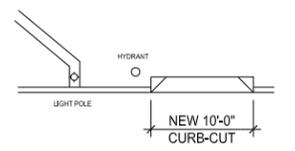
SECOND FLOOR

SCALE: 1/8"=1'-0"



GROUND FLOOR

SCALE: 1/8"=1'-0"

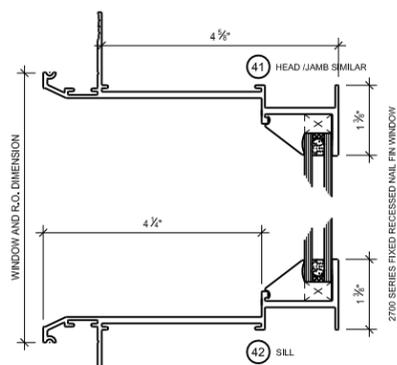


NOTE: PROVIDE 50% OF FRONT SETBACK SURFACE WITH PERMEABLE MATERIAL PER PLANNING CODE SECTION 132 (g). IN ADDITION, A MINIMUM OF 20% FRONT SETBACK SHALL BE LANDSCAPED, THIS CAN BE DEDUCTED FROM THE PERMEABILITY REQUIREMENT.

**DETAILS: 700R RECESSED FIXED AND PROJECTED  
( AT PAGE STREET FACADE )**

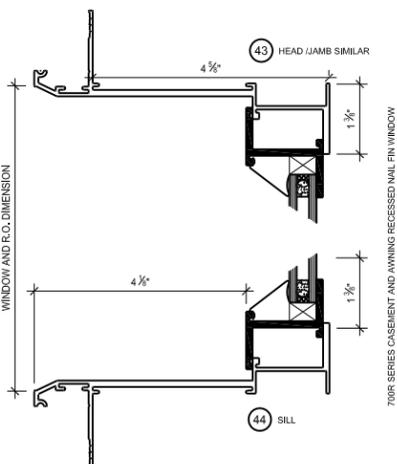
**DETAIL 41,42**

BONELLI WINDOWS & DOORS  
2700 SERIES FIXED RECESSED NAIL FIN WINDOW



**DETAIL 43,44**

BONELLI WINDOWS & DOORS  
2700 SERIES CASEMENT AND AWNING RECESSED NAIL FIN WINDOW



**FACADE MATERIALS (#)**

1. PAINTED 'SMOOTH' PANEL CANOPY
2. METAL TOWELED 'SMOOTH' CEMENT PLASTER
3. PAINTED 'SMOOTH' 1X6 SIDING, TYPICAL
4. METAL WINDOW, TYPICAL
5. 1'X6' STONE PANEL, 'SANDSTONE TEXTURE'
6. PAINTED METAL DOOR
7. STAINED WOOD SECTIONAL GARAGE DOOR
8. ALUMINUM FRAME / DOOR WITH TEMPER GLASS PANEL
9. GALVANIZED METAL CANOPY WITH TEMPER GLASS PANEL
10. PAINTED METAL RAILING
11. 18" X 6" BLOCK PANEL 'SMOOTH' FACTORY PAINTED
12. STAINED WOOD CANOPY
13. PAINTED 1X4 TRIM
14. 6" DIA. METAL PIPE



**690 PAGE STREET REAR ELEVATIONS**

SCALE: 1/8"=1'-0"



**690 PAGE STREET/SOUTH ELEVATIONS**

SCALE: 1/8"=1'-0"

**690**

Page Street  
Project

Building 680-684 Page Street  
Building 686-690 Page Street  
Building 692-696 Page Street  
Building 698 Page Street, -  
Units #1, #2, & #3

A Condominium Project

San Francisco • California

**GARY  
GEE  
ARCHITECTS**

GARY GEE ARCHITECTS, INC.  
98 Brady Street, #8  
San Francisco, CA 94103  
Tel 415/863-8881  
Fax 415/863-8879

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Project No. 12-010 Date 01.10.12

**Revisions**

| No. | Issue / Date                           |
|-----|--|
|     | ISSUED FOR REVIEW<br>04.16.12          |
|     | ISSUED FOR REVIEW<br>06.06.12          |
|     | ISSUED FOR REVIEW<br>08.22.13          |
|     | REVISION PER CITY COMMENTS<br>11.04.13 |
|     | REVISION PER PLANNING<br>02.03.14      |
|     | REVISION PER PLANNING<br>02.10.14      |
|     | REVISION PER PLANNING<br>02.18.14      |
|     | DR SUBMITTAL<br>11.04.14               |

**Elevations  
(Scheme 5)**

Scale: 1/8" = 1'-0"

**A3.0**

# 690 Page Street Project

Building 680-684 Page Street  
Building 686-690 Page Street

A Condominium Project  
San Francisco • California



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98 Brady Street, #8  
San Francisco, CA 94103  
Tel 415/863-8881  
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|             |          |
|-------------|----------|
| Project No. | Date     |
| 12-010      | 01.10.12 |

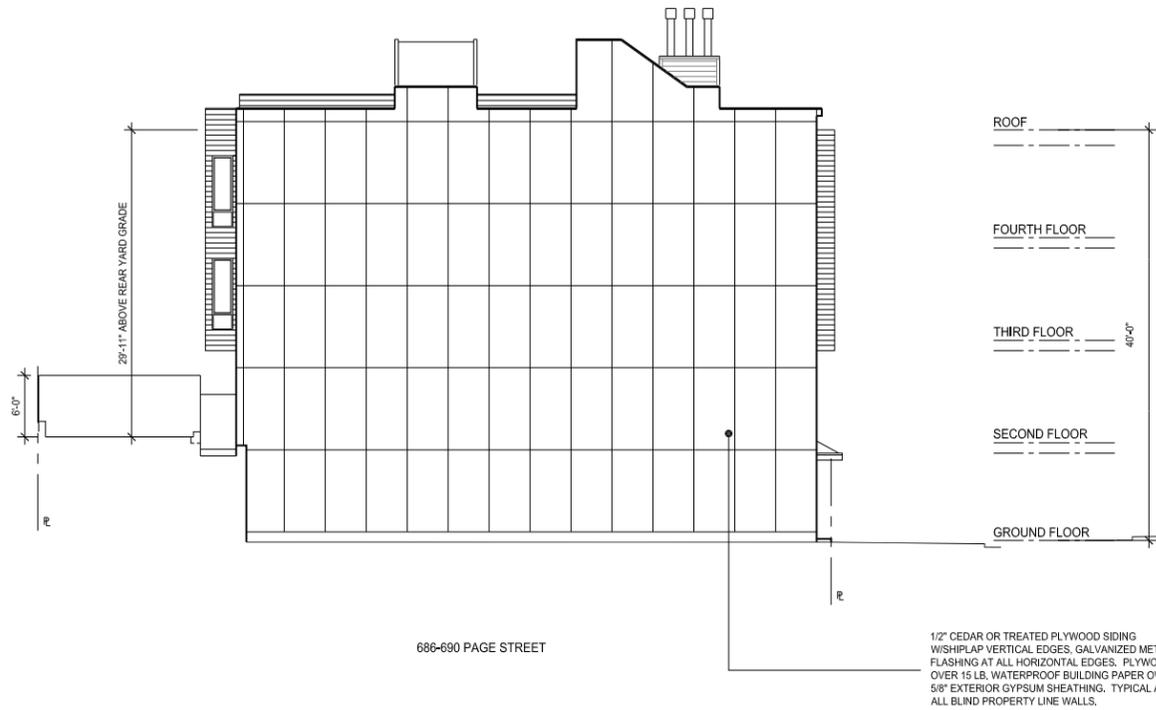
### Revisions

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|-----|--|
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|     | ISSUED FOR REVIEW<br>08.22.13          |
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|     | REVISION PER PLANNING<br>02.03.14      |
|     | REVISION PER PLANNING<br>02.10.14      |
|     | DR SUBMITTAL<br>11.04.14               |

### Elevations (Scheme 5)

Scale: 1/8" = 1'-0"

# A3.1

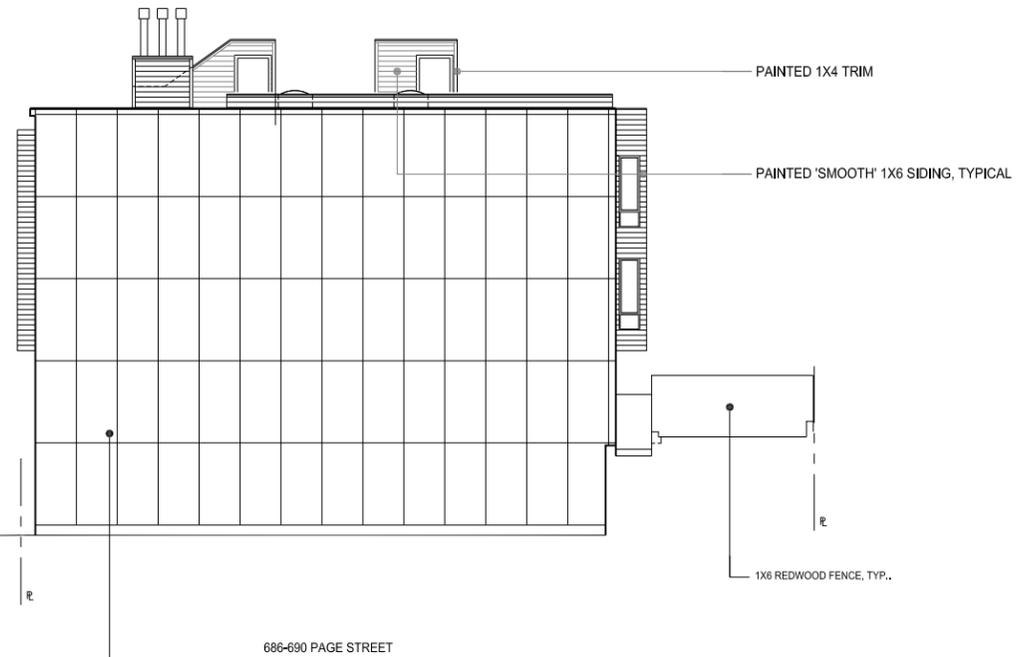


686-690 PAGE STREET WEST ELEVATION

SCALE: 1/8"=1'-0"

ROOF  
FOURTH FLOOR  
THIRD FLOOR  
SECOND FLOOR  
GROUND FLOOR

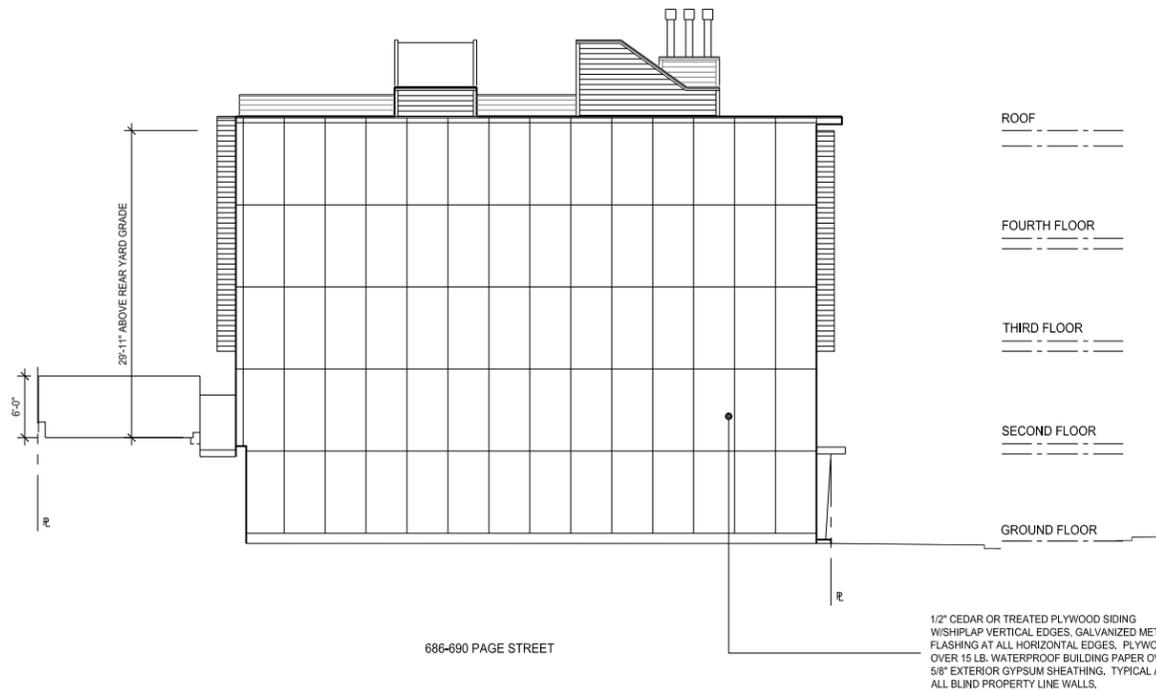
PROPOSED BUILDING HEIGHT



686-690 PAGE STREET EAST ELEVATION

SCALE: 1/8"=1'-0"

1/2" CEDAR OR TREATED PLYWOOD SIDING  
W/SHIPLAP VERTICAL EDGES, GALVANIZED METAL  
FLASHING AT ALL HORIZONTAL EDGES, PLYWOOD  
OVER 15 LB. WATERPROOF BUILDING PAPER OVER  
5/8" EXTERIOR GYPSUM SHEATHING, TYPICAL AT  
ALL BLIND PROPERTY LINE WALLS.

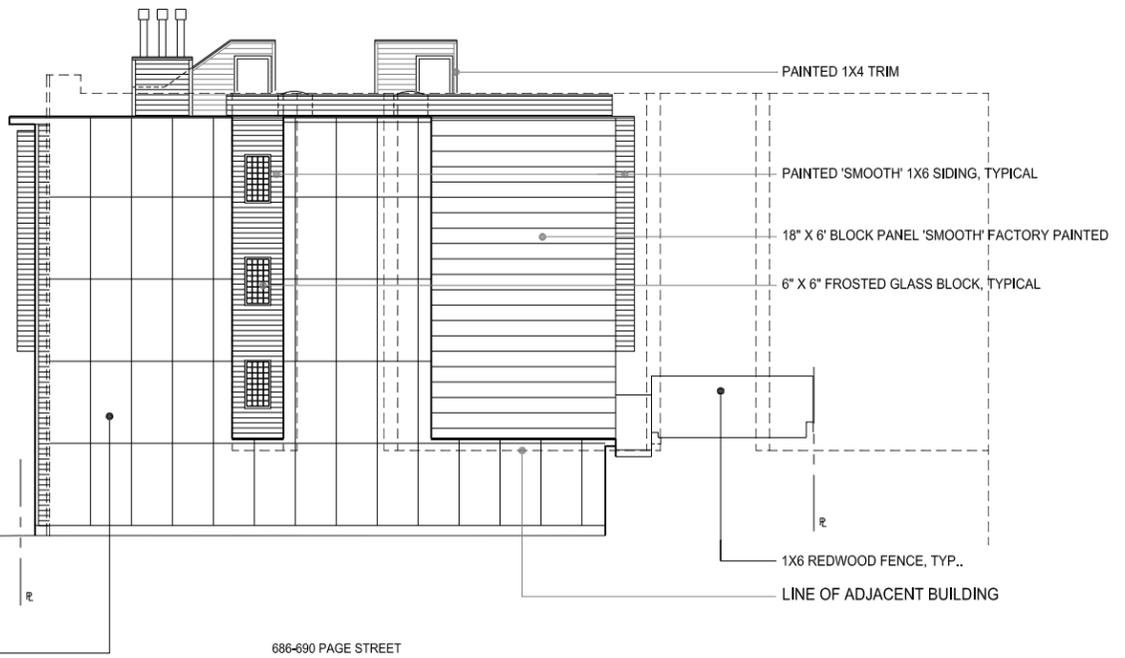


680-684 PAGE STREET WEST ELEVATION

SCALE: 1/8"=1'-0"

ROOF  
FOURTH FLOOR  
THIRD FLOOR  
SECOND FLOOR  
GROUND FLOOR

1/2" CEDAR OR TREATED PLYWOOD SIDING  
W/SHIPLAP VERTICAL EDGES, GALVANIZED METAL  
FLASHING AT ALL HORIZONTAL EDGES, PLYWOOD  
OVER 15 LB. WATERPROOF BUILDING PAPER OVER  
5/8" EXTERIOR GYPSUM SHEATHING, TYPICAL AT  
ALL BLIND PROPERTY LINE WALLS.



680-684 PAGE STREET EAST ELEVATION

SCALE: 1/8"=1'-0"

# 690 Page Street Project

Building 692-696 Page Street,  
Building 698 Page Street,  
Units #1, #2, & #3

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Project No. 12-010 Date 01.10.12

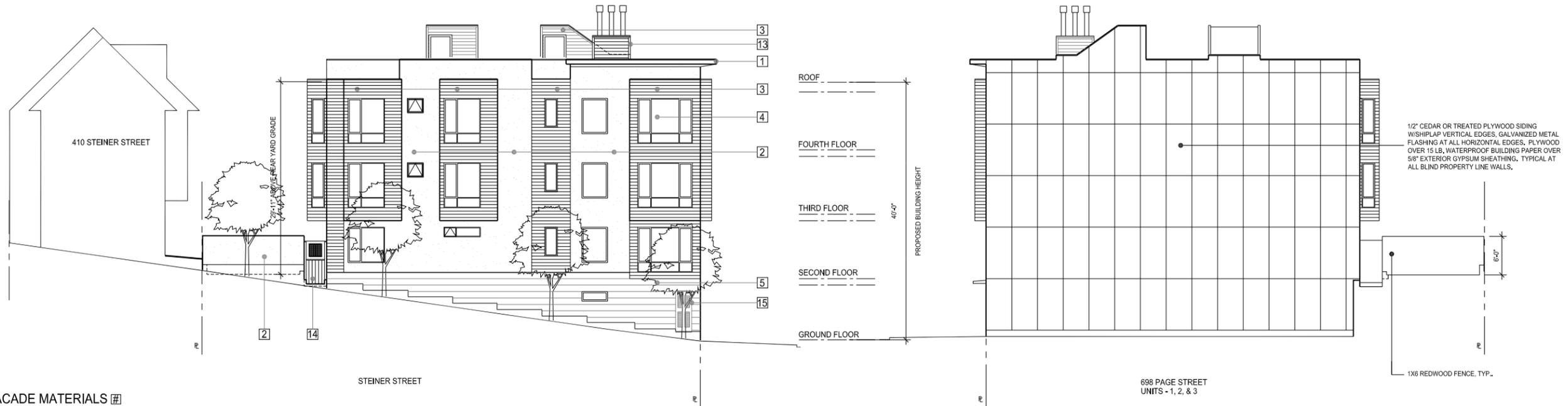
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|     | REVISION PER PLANNING<br>02.03.14      |
|     | REVISION PER PLANNING<br>02.10.14      |
|     | DR SUBMITTAL<br>11.04.14               |

### Elevations (Scheme 5)

Scale: 1/8" = 1'-0"

# A3.2



### FACADE MATERIALS (#)

1. PAINTED 'SMOOTH' PANEL CANOPY
2. METAL TOWELED 'SMOOTH' CEMENT PLASTER
3. PAINTED 'SMOOTH' 1X6 SIDING, TYPICAL
4. PAINTED METAL WINDOW, TYPICAL
5. 1'X6' STONE PANEL, 'SANDSTONE TEXTURE'
6. PAINTED METAL DOOR
7. STAINED WOOD SECTIONAL GARAGE DOOR
8. STAINED SOILD WOOD DOOR W/ TEMPER GLASS PANEL
9. GALVANIZED METAL CANOPY WITH TEMPER GLASS PANEL
10. PAINTED METAL RAILING
11. 18" X 6' BLOCK PANEL 'SMOOTH' FACTORY PAINTED
12. STAINED WOOD CANOPY
13. PAINTED 1X4 TRIM
14. STAINED WOOD GATE
15. PAINTED WOOD LOUVER PANEL MOUNTED TO TRACK

698 PAGE STREET WEST ELEVATION  
(STEINER STREET ELEVATION)

SCALE: 1/4"=1'-0"

698 PAGE STREET EAST ELEVATION

SCALE: 1/4"=1'-0"

692-696 PAGE STREET WEST ELEVATION

SCALE: 1/4"=1'-0"

692-696 PAGE STREET EAST ELEVATION

SCALE: 1/4"=1'-0"

1/2" CEDAR OR TREATED PLYWOOD SIDING  
W/SHIPLAP VERTICAL EDGES. GALVANIZED METAL  
FLASHING AT ALL HORIZONTAL EDGES. PLYWOOD  
OVER 15 LB. WATERPROOF BUILDING PAPER OVER  
5/8" EXTERIOR GYPSUM SHEATHING. TYPICAL AT  
ALL BLIND PROPERTY LINE WALLS.

# 690 Page Street Project

Building 692-696 Page Street,  
Building 698 Page Street,  
Units #1, #2, & #3

A Condominium Project  
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Project No. 12-010 Date 01.10.12

### Revisions

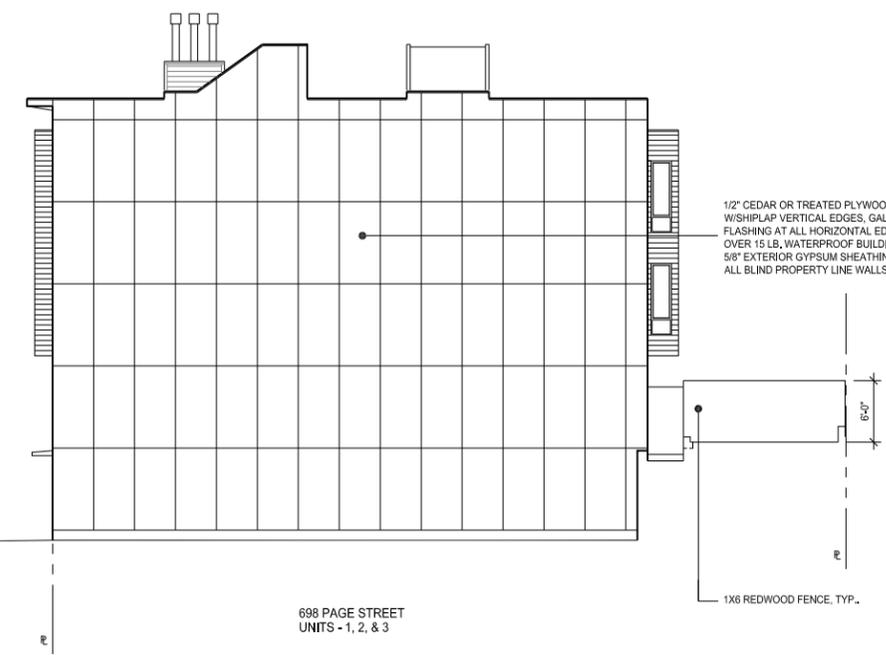
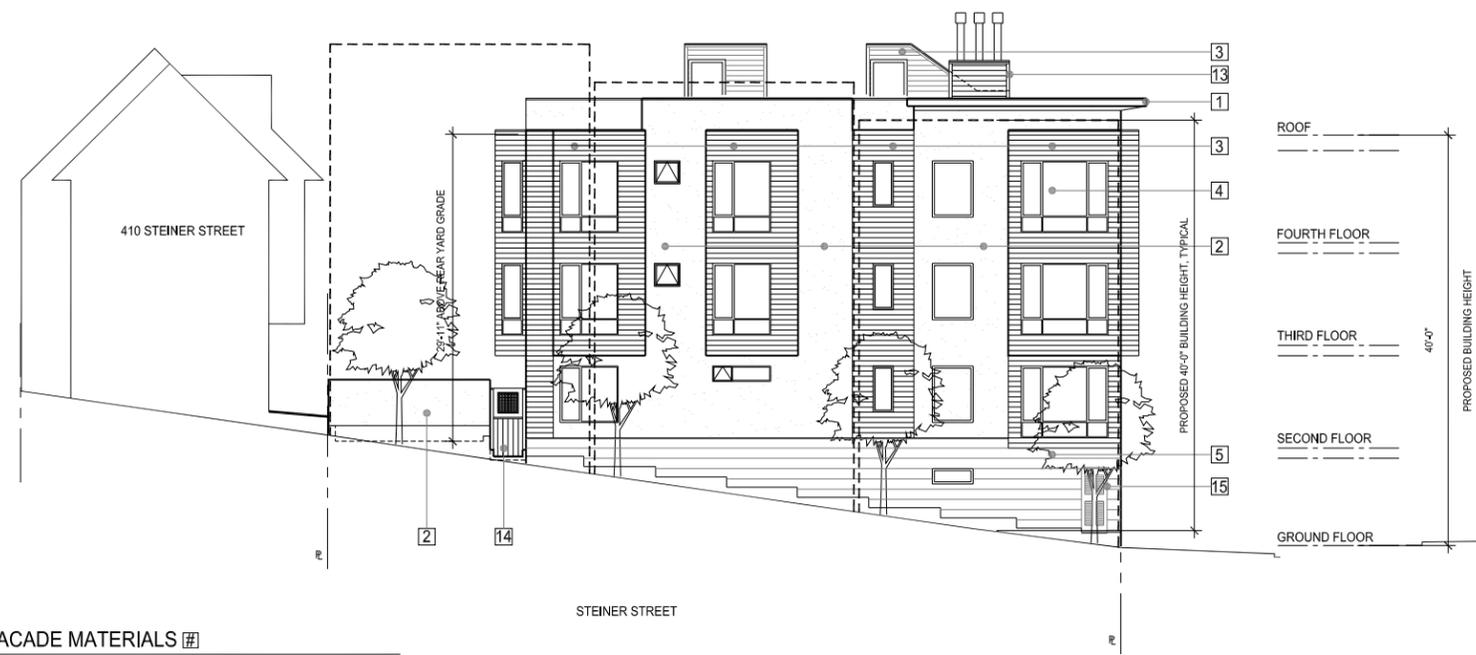
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|     | REVISION PER PLANNING 02.03.14      |
|     | REVISION PER PLANNING 02.10.14      |
|     | DR SUBMITTAL 11.04.14               |

### Elevations

Scale: 1/8" = 1'-0"

# A3.2.1

## THREE BUILDING FRONTAGE ON STEINER STREET

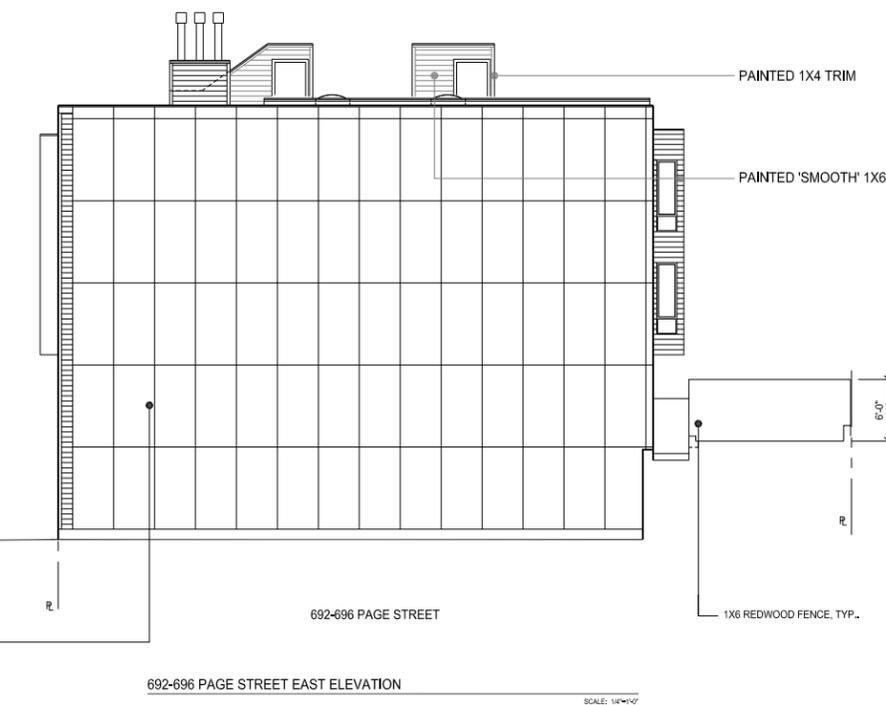
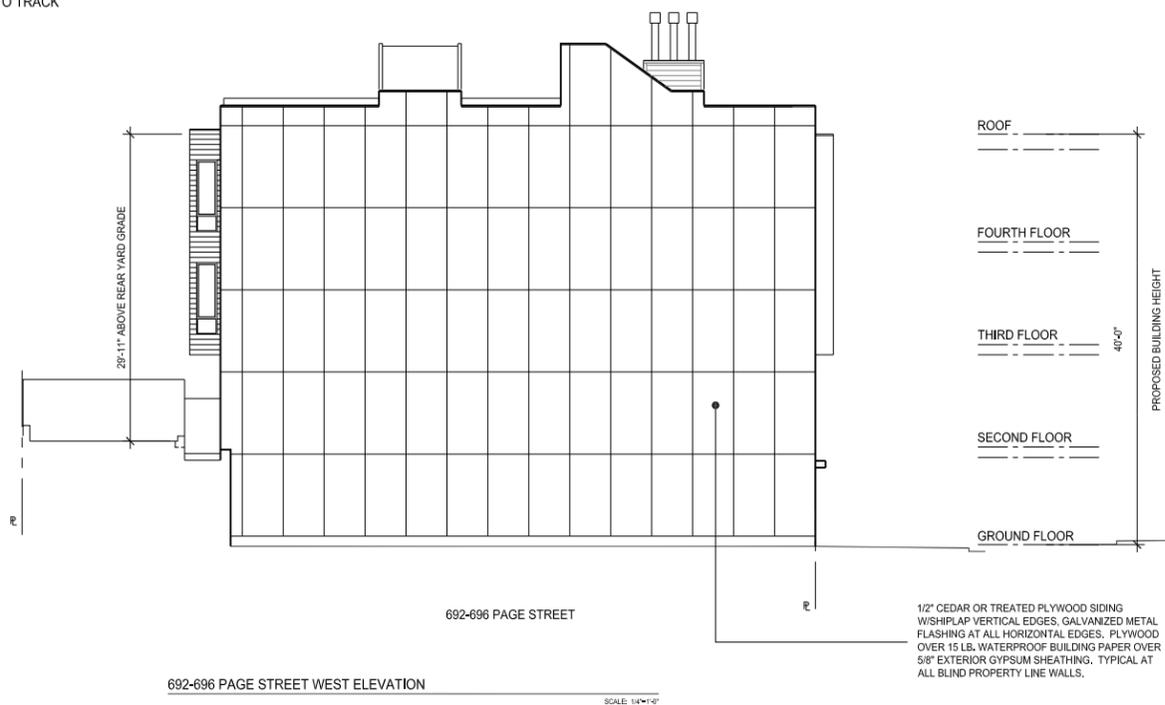


### FACADE MATERIALS (#)

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9. GALVANIZED METAL CANOPY WITH TEMPER GLASS PANEL
10. PAINTED METAL RAILING
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12. STAINED WOOD CANOPY
13. PAINTED 1X4 TRIM
14. STAINED WOOD GATE
15. PAINTED WOOD LOUVER PANEL MOUNTED TO TRACK

698 PAGE STREET WEST ELEVATION  
(STEINER STREET ELEVATION) SCALE: 1/4"=1'-0"

698 PAGE STREET EAST ELEVATION SCALE: 1/4"=1'-0"



692-696 PAGE STREET WEST ELEVATION SCALE: 1/4"=1'-0"

692-696 PAGE STREET EAST ELEVATION SCALE: 1/4"=1'-0"

# 690 Page Street Project

Building:  
698 Page Street,  
Units #1, #2, & #3

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GEE  
AIA**

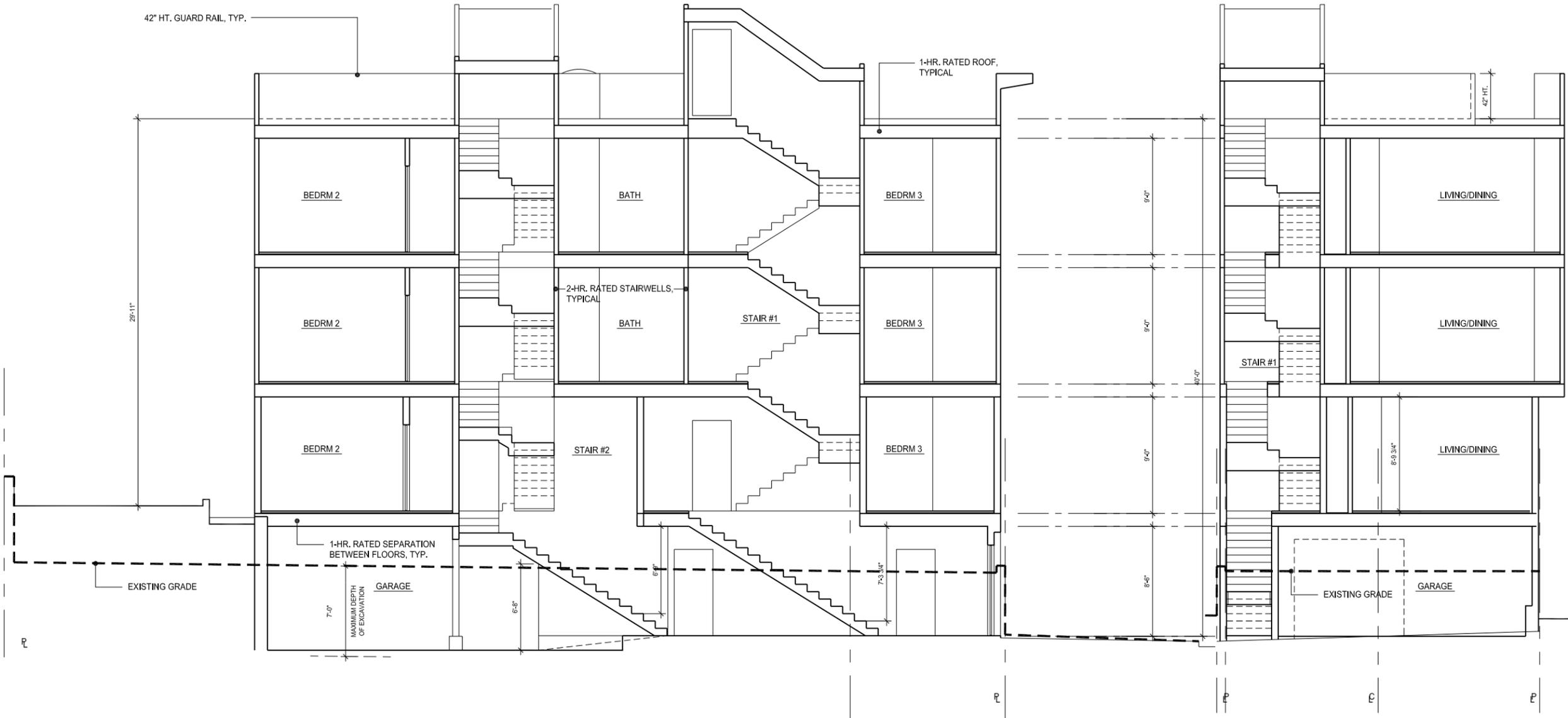
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|     | REVISION PER PLANNING 02.10.14      |
|     | DR SUBMITTAL 11.04.14               |



SECTION A-A

SCALE: 1/4"=1'-0"

SECTION B-B

SCALE: 1/4"=1'-0"

Building  
Sections  
(Scheme 5)

Scale: 1/8" = 1'-0"

**A4.0**

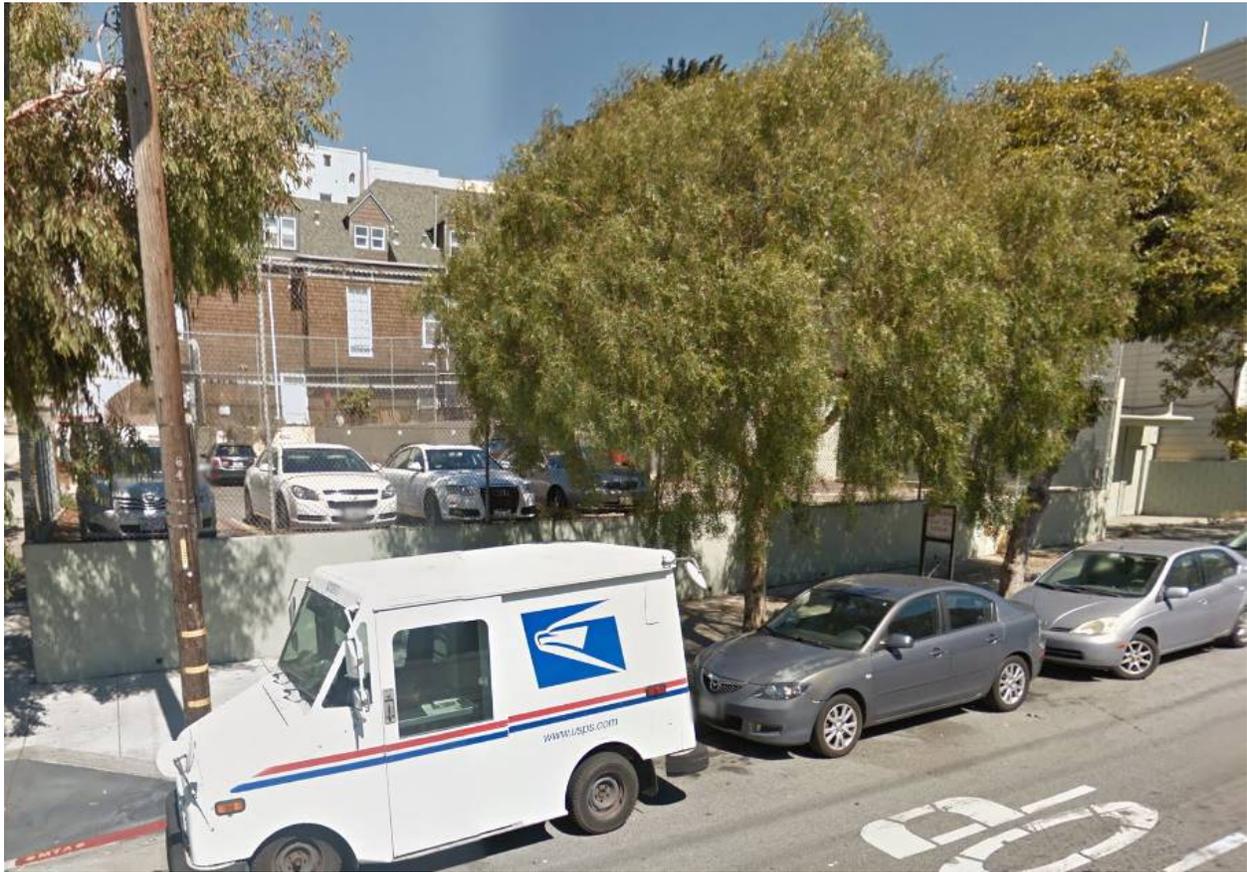




## 690 Page Street – Existing Site And Surrounding Area Conditions



**690 Page Street (Property), looking north from Page Street**



**690 Page Street, Looking north from Page Street**

**690 Page Street – Existing Site And Surrounding Area Conditions**



**690 Page Street, looking east from Steiner Street**



**668-676 Page Street, neighboring property to east**

**690 Page Street – Existing Site And Surrounding Area Conditions**



**690 Page and 668-678 Page, looking west from Page Street**



**Block face across Page Street from 690 Page**

**690 Page Street – Existing Site And Surrounding Area Conditions**



**399 Steiner Street, across intersection from 690 Page**



**Block face across Steiner Street from 690 Page**

**690 Page Street – Existing Site And Surrounding Area Conditions**



**Neighboring Steiner Street properties, north of 690 Page**



Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu;

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,

| Name | Address | Date |
|------|---------|------|
|------|---------|------|

|         |             |          |
|---------|-------------|----------|
| Alan K. | 681<br>Page | 10/21/14 |
|---------|-------------|----------|

Signed with [www.xyzmo.com](http://www.xyzmo.com)

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name        | Address     | Date    |
|-------------|-------------|---------|
| Lenny Semis | 681 Page St | 11/3/14 |

Cindy Wu, President

San Francisco Planning Commission

1660 Mission Street, Suite 400

San Francisco, CA 94103

RE: 690 Page Street Project

San Francisco, CA

Dear President Wu;

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City of San Francisco.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Neplokh", with a long horizontal flourish extending to the right.

Eric Neplokh

410 Steiner Street Managing Member

November 3, 2014

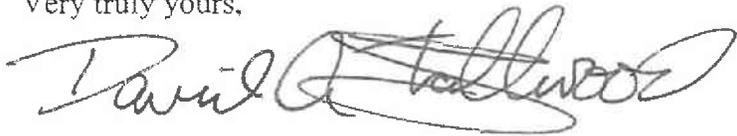
Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express no opposition for the proposed four (4) buildings at 680-690 Page Street.  
The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name            | Address                                   | Date       |
|-----------------|---|------------|
| DAVID STALLWOOD | 665 PAGE ST #1<br>SAN FRANCISCO, CA 94117 | 10-23-2014 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name               | Address     | Date        |
|--------------------|-------------|-------------|
| AUGUSTINE PHILLIPS | 340 STEINER | OCT 23 2014 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name           | Address            | Date           |
|----------------|--------------------|----------------|
| Charles Taylor | 350<br>STINKER ST. | S.F. CA. 94117 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name         | Address         | Date     |
|--------------|-----------------|----------|
| VIOLA J. YEE | 360 STEINER ST. | 10/25/14 |

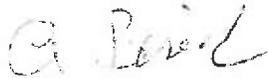
Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name                    | Address                     | Date     |
|-------------------------|-----------------------------|----------|
| Arlene Berick,<br>Owner | 435-439 Steiner<br>SF 94117 | 10-22-14 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street.  
The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



Name

Address

Date

Tamer  
Fakhouri, MD

439  
Steiner  
Street

10/24/14

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu;

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street.  
The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name           | Address         | Date     |
|----------------|-----------------|----------|
| Jeff Davenport | 437 Steiner st. | 10-22-14 |

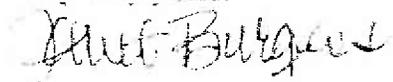
Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name          | Address           | Date       |
|---------------|-------------------|------------|
| JANET BURGESS | 499 STEINER ST #4 | 10/25/2014 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,

*Vernon S. Hamilton*

| Name               | Address                      | Date         |
|--------------------|------------------------------|--------------|
| VERNON<br>HAMILTON | 425 STEINER<br>SAN FRANCISCO | 26 Oct. 2014 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street. The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name            | Address                   | Date     |
|-----------------|---------------------------|----------|
| Urbano Esquivel | 431 Steiner<br>S.F. 94117 | 10-27-14 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street.  
The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



| Name          | Address                                      | Date     |
|---------------|--|----------|
| Steven Olbash | 345 Fillmore St # 2<br>San Francisco, 94 117 | 10/26/14 |

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu;

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street.  
The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours,



Name

Address

Date

STEVE KLICK

10-22-14

OWNER: 401 STEINER ST.

Cindy Wu, President  
San Francisco Planning Commission  
1660 Mission Street, Suite 400  
San Francisco, CA 94103

RE: 690 Page Street Project  
San Francisco, CA

Dear President Wu:

This letter is to express my support for the proposed four (4) buildings at 680-690 Page Street.  
The proposed project complements the neighborhood and adds needed housing to the City.

Very truly yours.

| Name       | Address      | Date     |
|------------|--------------|----------|
| John White | 376 Fillmore | 10-22-14 |



*Architecture/Planning/Interiors*

98 Brady Street, #8 San Francisco, CA 94103-1239

Tel: 415/863-8881 Fax: 415/863-8879

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September 29, 2014

Mr. Michel Bechirian  
678 Page Street  
San Francisco, CA 94117

**RE: 690 Page Street Project      Building Permit Application #2013-05-21-7457**  
**San Francisco, CA                  680-682-684 Page Street Building Via Hand Delivered**

Dear Mr. Bechirian:

Please find attached the following 24"x 36" architectural drawings dated August 25, 2014 and cover letter dated September 9, 2014 which were sent to your home via USPS earlier this month.

If you have any questions, please contact me.

Very truly yours,

Gary Gee, AIA

cc: Christine Lamorena, Planning Department  
Victor Quan  
Urbano Ezquerro



Architecture/Planning/Interiors

98 Brady Street, #8 San Francisco, CA 94103-1239

Tel: 415/863-8881 Fax: 415/863-8879

September 9, 2014

Mr. Michel Bechirian  
678 Page Street  
San Francisco, CA 94117

**RE: 690 Page Street Project Building Permit Application #2013-05-21-7457**  
**San Francisco, CA 680-682-684 Page Street Building Via Mail**

Dear Mr. Bechirian:

Please find attached the following 24"x 36" architectural drawings dated August 25, 2014 for your review:

**Sheet Title**

- A1.0 Site Plan, General Notes, Project Information
- A2.0 Floor Plans – Ground Floor, Second Floor and Third Floor
- A2.1 Floor Plans – Fourth Floor, Roof and Roof Penthouse
- A3.0 Elevations – North (rear yard) and South (Page Street) Building Elevations
- A3.1 Elevations – East and West Elevation (property line)
- A4.0 Building Sections AA and BB

**Per our last Thursday, June 12, 2014 meeting at your 678 Page Street unit, the following design changes have been done to this building:**

**1. We discussed moving the roof deck away from the east property line.**

Because the Planning Code limits the common open space to 15 feet minimum in width, we were not able to locate the common area roof deck to the southern portion of the roof. The roof deck is still located on the northwest corner of the roof. It was moved against the western property line and is now 6'-9" from the east property line.

The project sponsor is willing to insert roof deck usable hours into the CCNR's. This would limit the useable hours on the roof deck.

**2. You asked if the northeast lightwell can be extended south to match the corner of your bedroom bay window.**

The south wall of the northeast lightwell was moved 7'-3-1/2" to increase the length from 18' to 25'-3-1/2" in depth. The southern wall of this lightwell now aligns with the corner of your bedroom bay window.

**3. You asked clarification to the location and height of the fireplace flues at the roof.**

The fireplace flues have been removed on the roof of this building. This was done to minimize the projections at the roof level.

**4. We agreed the northeast lightwell should be painted “white” in color.**

Architectural drawings sheet A3.1 east elevation has a note indicating the exterior siding in this lightwell is to be painted “white” in color.

**In addition to those changes discussed at our June 12, 2014 meeting, we have also modified the architectural drawings with:**

**5. A cyclone fence is now located along the east side of the rear yard fence line.**

This was done to allow per a request from the owner in the lower units and to allow more light into the east adjacent lightwell and west facing windows.

A copy of these drawings will be submitted to Christine Lamorena at the Planning Department. If you have any questions or need any additional information, please contact me.

Very truly yours,

A handwritten signature in black ink, appearing to be 'Gary Gee', written over a horizontal line.

Gary Gee, AIA

cc: Victor Quan  
Urbano Ezquerro  
Christina Lamorena, Planning Department

1. Our initial approach to this property was to design buildings that would fit into the urban pattern of the blockface. We consider the following conditions:
  - A. The RM-1 Zoning promotes the 25-35 foot building modulation at the facades. Page Street was selected to create 25 foot frontages that emulate the facades on Page and Steiner Streets.
  - B. If Steiner Street was selected as the building frontages, the new buildings could be 10' higher in mass due to the steep upslope of Steiner Street.
    - a. Buildings facing Steiner Street creates nine residential units and no affordable unit. These buildings would have 25.83'x 75' footprints.
    - b. Buildings facing Page Street creates 12 residential units and one affordable unit. These buildings will have 25'x 56'-8-1/2" footprints.
  - C. We met with the Planning staff to discuss building adjacencies to our propose project.
    - a. Planning staff recommended the east side of 680 Page building have a three foot setback on the residential levels two-thirds of the depth of the existing 678 Page west lightwell. The 680 Page new building setback is 3'x 18' is size.
    - b. A second 3'x 5' lightwell was located towards the front of the building to match another 678 Page west lightwell.
  - D. The DR requestor has a higher than 40' building on a wider and deeper lot (37.875'x 107) with six (6) front to rear residential flats. This building has a large footprint and occupies a large portion of their lot.
  - E. Therefore, this project should be approved because:
    - a. The proposed project fits into the block face with its 25' frontages and individual stoop entrances. The building pattern of the block is maintained.
    - b. This proposed project creates 12 residential units and one affordable unit for the City.
    - c. The new 680 Page Street building has been modify with side lightwells to respond to the existing adjacent west lightwells at 678 Page Street.
2. The project sponsor interacted with the DR requestor at the following meetings:
  - Initial neighborhood pre-application meeting on January 24, 2013.
  - Neighborhood meeting on April 17, 2014.
  - Private meeting at his residence on June 12, 2014.
  - A. During the last June 12, 2014 meeting the DR requestor asked if the northeast lightwell at the new 680 Page building could be extended south to allow more light into his bedroom. After this meeting I informed the DR requestor via telephone the project sponsors were willing to extend the 3' wide lightwell 18' from the rear of the building to his requested location.
  - B. We also agreed to paint a bright white color to the lightwell to create more indirect light into this area.

- C. Our office has looked at moving the roof deck to the southern portion of the roof. The common area open space requirements for minimum dimension of 15' limit the location and areas for which this area can be located on the south side of the roof. We offered to move the deck as far south and west as possible to create more privacy to the adjacent 678 Page building.
3. As discussed above, the project sponsor has already proposed changes to the new 680 Page Street building as a way to respond to DR requestor concerns. The development of the four (4) buildings facing Page Street provide greater opportunities to the neighborhood and City:
- A. The 25' facades with individual stoop entrances maintain the neighborhood scale along Page Street. We worked with the Planning staff to design each building to acknowledge the existing proportions and architectural massing features of the blockface and neighborhood.
  - B. 12 residential units with 3 bedrooms 2 baths family style units will add to the housing stock along with one affordable family unit. The building fronting Steiner Street offer less family housing units.
  - C. The two (2) buildings to the south at 690 and 689 Page Street could actually be built five feet (5') higher due to the existing grade of the parking lot. The project sponsor consciously decided to design these buildings to a 40' height from the Page Street sidewalk to maintain a consistent urban design form of buildings along Page Street.
  - D. The proposed rear yards for the buildings facing Page Street will be elevated due to the slope of the block and be part of the lower units in each building. This allows the rear yard to be accessible to a residential unit and creates an open space buffer between the new buildings and the north adjacent 410 Steiner multi-family building. The 410 Steiner Street building is situated on the hill above our Page Street site.

