



SAN FRANCISCO PLANNING DEPARTMENT

Consent Calendar Executive Summary Conditional Use

HEARING DATE: FEBRUARY 27, 2014

Date: February 20, 2014
Case No.: **2012.0990CEUV**
Project Address: **3032 - 38 CLEMENT STREET**
Zoning: NC-1 (Neighborhood Commercial Cluster) District and
40-X Height and Bulk District
Block/Lots: 1402/022 and 023
Project Sponsor: 3038 Clement, LLC
c/o John Kevlin
Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Mary Woods – (415) 558-6315
mary.woods@sfgov.org
Recommendation: **Approve with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposed project consists of three components: (1) the merger of the two lots on the project site; (2) the demolition of the existing one-story retail building and carport, and (3) the construction of a new, 40-foot tall, four-story mixed-use building. The new building will contain a retail space (approximately 900 square feet), six parking spaces and 10 bicycle spaces on the ground floor, and six dwelling units on the upper floors, including 3 two-bedroom units, and 3 three-bedroom units. The proposed ground floor level occupies the entire lot, resulting in the need for a rear yard modification per the Variance process (Case 2012.0990V). The development would total approximately 15,500 square feet.

The proposed project requires public notice per Planning Code Section 312 and the related Variance request for a rear yard modification, which was conducted in conjunction with the Conditional Use authorization process.

SITE DESCRIPTION AND PRESENT USE

The project site is on the north side of Clement Street between 31st and 32nd Avenues, in Assessor's Block 1402, Lots 022 and 023. The property is located within an NC-1 (Neighborhood Commercial Cluster) District and 40-X Height and Bulk District. The project site is improved with a one-story retail building occupying almost the entire depth of both lots, and an ancillary carport for two tandem parking spaces on the east side of the property. The existing approximately 17-foot tall, 4,100 square-foot building is currently used as a specialty European grocery store.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The proposed project is situated towards the western end of the NC-1 District along the one-block commercial corridor in the Outer Richmond neighborhood. The MUNI line "38-Geary" is one block south of the project site linking the Richmond area to Downtown and the Financial District. Other transit lines are also nearby and are within walking distance of the site. Except for the commercial uses located on the subject block and adjacent blocks, the project site is surrounded by predominantly residential dwellings and residentially zoned districts to the north and east of the site. To the west of the site on Clement Street and 32nd Avenue, uses include a large supermarket and Lincoln Park and Golf Course. Buildings on the subject block and facing block on Clement Street range from one to two stories tall with primarily commercial uses on the ground floor and residential units on the upper floor. Commercial uses on the subject and facing blocks on Clement Street include restaurants, a flower shop, a clothing store, a dry cleaner, a Laundromat, a dance school, a convenience store, and other professional offices. The Geary Boulevard commercial corridor is one block south of the project site.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as Class One and Class Three Categorical Exemption under CEQA.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	February 7, 2014	February 7, 2014	20 days
Posted Notice	20 days	February 7, 2014	February 7, 2014	20 days
Mailed Notice	20 days	February 7, 2014	February 7, 2014	20 days

PUBLIC COMMENT

- The Department has received eight letters in support of the project, and none received in opposition to the project.

ISSUES AND OTHER CONSIDERATIONS

- The General Plan encourages commercial activities in the neighborhood commercial districts as well as the construction of new dwelling units.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization to allow a development lot size of 5,000 square feet, pursuant to Planning Code Sections 121.1, 303(c) and 710.11.

BASIS FOR RECOMMENDATION

- The project would add six dwelling units, including three two-bedroom units and three three-bedroom units to the City's housing stock.

- The project consists of an in-fill development, which replaces an underutilized one-story retail building with a combined residential and retail building, consistent with the established uses in the neighborhood.
- The project would provide a new retail storefront, which would add pedestrian interest and vitality along Clement Street.

RECOMMENDATION: Approve with Conditions

Attachments:

Draft Motion

Zoning/Parcel Map

Sanborn Map

Zoning Map

Environmental Determination

Residential Pipeline Report

Project Sponsor Submittal, including:

- Attorney's Brief
- Context and Site Photographs
- Support Letters
- 3-D Renderings
- Reduced Plans

Attachment Checklist

- Executive Summary
- Draft Motion
- Environmental Determination
- Zoning District Map
- Height & Bulk Map
- Parcel Map
- Residential Pipeline Report
-
-

- Project sponsor submittal
- Drawings: Existing Conditions
- Check for legibility
- Drawings: Proposed Project
- Check for legibility
- Context and Site Photos
- Support Letters

Exhibits above marked with an "X" are included in this packet



Planner's Initials

MW:G:\Documents\CU\3032-38 Clement - ExeSum Peet's.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|------------------------------------------------------------------|-------------------------------------------------------------------------------|
| <input type="checkbox"/> Inclusionary Housing (Sec. 415) | <input type="checkbox"/> Better Streets Plan (Sec. 138.1) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 313) | <input type="checkbox"/> First Source Hiring (Admin. Code Chapter 83) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 139) | <input checked="" type="checkbox"/> Transit Impact Development Fee (Sec. 411) |

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Draft Motion HEARING DATE: FEBRUARY 27, 2014

Date: February 20, 2014
Case No.: **2012.0990CEUV**
Project Address: **3032 - 3038 CLEMENT STREET**
Zoning: NC-1 (Neighborhood Commercial Cluster) District
40-X Height and Bulk District
Block/Lots: 1402/022 and 023
Project Sponsor: 3038 Clement, LLC
c/o John Kevlin
Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Mary Woods – (415) 558-6315
mary.woods@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 121.1, 303(C) AND 710.11 OF THE PLANNING CODE TO ALLOW A DEVELOPMENT LOT SIZE OF 5,000 SQUARE FEET, IN AN NC-1 (NEIGHBORHOOD COMMERCIAL CLUSTER) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On November 13, 2012, 3030 Clement, LLC (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use authorization under Planning Code Sections 121.1, 303(c) and 710.11 to allow a development lot size of 5,000 square feet, in an NC-1 (Neighborhood Commercial Cluster) District, and a 40-X Height and Bulk District.

On February 27, 2014, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2012.0990CEUV.

On November 6, 2013, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as Class One and Class 3 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project (Case 2012.0990E).

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the Project Sponsor, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2012.0990CEUV, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project is located on the north side of Clement Street between 31st and 32nd Avenues, in Assessor's Block 1402, Lots 022 and 023. The property is located within an NC-1 (Neighborhood Commercial Cluster) District and 40-X Height and Bulk District. The Project Site is improved with a one-story retail building occupying almost the entire depth of both lots, and an ancillary carport for two tandem parking spaces on the east side of the property. The existing approximately 17-foot tall, 4,100 square-foot building is currently used as a specialty European grocery store.
3. **Surrounding Properties and Neighborhood.** The Project Site is situated towards the western end of the NC-1 District along the one-block commercial corridor in the Outer Richmond neighborhood. The MUNI line "38-Geary" is one block south of the Project Site linking the Richmond area to Downtown and the Financial District. Other transit lines are also nearby and are within walking distance of the Site. Except for the commercial uses located on the subject block and adjacent blocks, the Project Site is surrounded by predominantly residential dwellings and residentially zoned districts to the north and east of the site. To the west of the site on Clement Street and 32nd Avenue, uses include a large supermarket and Lincoln Park and Golf Course. Buildings on the subject block and facing block on Clement Street range from one to two stories tall with primarily commercial uses on the ground floor and residential units on the upper floor. Commercial uses on the subject and facing blocks on Clement Street include restaurants, a flower shop, a clothing store, a dry cleaner, a Laundromat, a dance school, a convenience store, and other professional offices. The Geary Boulevard commercial corridor is one block south of the Project Site.
4. **Project Description.** The proposed Project consists of three components: (1) the merger of the two lots on the Project Site; (2) the demolition of the existing one-story retail building and carport, and (3) the construction of a new, 40-foot tall, four-story mixed-use building. The new

building will contain a retail space (approximately 900 square feet), six parking spaces and 10 bicycle spaces on the ground floor, and six dwelling units on the upper floors, including 3 two-bedroom units, and 3 three-bedroom units. The proposed ground floor level occupies the entire lot, resulting in the need for a rear yard modification per the Variance process (Case 2012.0990V). The development would total approximately 15,500 square feet.

The proposed Project requires public notice per Planning Code Section 312 and the related Variance request for a rear yard modification, which was conducted in conjunction with the Conditional Use authorization process.

5. **Public Comment.** To date, the Department has received eight letters in support of the Project, and none received in opposition to the Project.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Lot Size.** Sections 121.1 and 710.11 state that a Conditional Use authorization is required for development of a lot size exceeding 4,999 square feet in Neighborhood Commercial Districts.

The Project's two combined lots will total 5,000 square feet.

- B. **Basic Floor Area Ratio.** Section 124 limits the building square footage to 1.8 square feet of building area for every 1 square foot of lot area, or approximately 9,000 square feet of building area for the subject site. However, in NC Districts, the FAR limits do not apply to dwellings or to other residential uses per Section 124(b).

The entire Project would total approximately 15,500 square feet, of which, approximately 14,600 square feet is related to residential uses. The remaining 900 square feet is devoted to non-residential uses.

- C. **Residential Density.** Section 710.91, which sets forth density restrictions for dwelling units in NC Districts, states that one dwelling unit is allowed for each 800 square feet of lot area.

Based on a lot area of 5,000 square feet, six dwelling units are permitted. The Project proposes to develop up to six dwelling units.

- D. **Front Setback.** Section 132 is not applicable. There is no front setback requirement for buildings in NC-1 Districts.

- E. **Rear Yard.** Section 134(a)(1) requires that a rear yard equal to 25% of the lot depth be provided opposite the site's frontage. Section 134(a)(1)(A) requires that in NC-1 Districts, rear yards must be provided at the ground level and at each succeeding story of the building. Further, Section 134(e)(1) allows for a modification to the rear yard requirement to be granted by the Zoning Administrator in NC Districts when three alternative findings are made.

The proposed ground floor occupies the entire depth of the lot while the upper three floors have a 25-foot rear yard setback (25% of the 100-foot lot depth) at all the residential levels. The Project, therefore, requires a rear yard modification pursuant to the Variance procedures.

- F. Useable Open Space.** Section 135 typically requires 100 square feet of usable open space be provided for every dwelling unit, when provided as private open space, in NC-1 Districts. The open space requirement must be multiplied by 1.33 when provided as common open space.

For the proposed six-unit Project, approximately 800 square feet of common useable open space would be required. For four of the units, the Project will provide common useable open space at the roof deck totaling approximately 2,000 square feet (532 square feet required). The remaining two units contain private useable open space in the form of private decks, totaling approximately 1,200 (200 square feet required). All private open spaces meet the minimum area requirements of the Code.

- G. Dwelling Unit Exposure.** Section 140 requires that all dwelling units face a public street or side yard at least 25 feet in width, a required rear yard, or an open area of 25 feet in width.

All of the units in the proposed Project meet this requirement.

- H. Street Frontage in Neighborhood Commercial Districts.** Section 145.1 requires in NC Districts containing specific uses, including retail stores, that off-street parking at street grade on a development lot be set back at least 25 feet on the ground floor from any facade facing a street at least 30 feet in width, that parking entrances are no more than 17 feet wide, that active uses be provided within the first 25 feet of building depth on the ground floor, that ground floors have a minimum 10-foot ceiling height, that street-fronting interior spaces for non-residential active uses and lobbies be as close as possible to the sidewalk, and that the ground floor street frontage be at least 60% transparent in order to allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or decorated grille work, other than wire mesh, which is placed in front or behind ground floor windows, shall be at least 75 percent open to perpendicular view.

The proposed Project is consistent with the relevant provisions under Section 145.1. The proposed ground floor parking is set back approximately 55 feet from the building facade. The parking entrance is 8 feet wide. The ground floor ceiling height is 10.6 feet. The proposed retail space and residential lobby are designed to be set back three feet from the front property line. Along the 50-foot wide Clement Street frontage, approximately 30 feet are fenestrated with transparent windows and doorways, which is equivalent to approximately 60 percent transparency.

- I. Parking.** Section 151 requires one off-street parking space for each dwelling unit. Section 155.2(b) requires one Class 1 bicycle space for every dwelling unit, and a minimum of two Class 2 spaces for the retail use.

The proposed Project meets the provisions of the parking requirements as follows: six off-street parking spaces for the dwelling units, and 10 Class 1 bicycle spaces. The Project will provide two on-street Class 2 bicycle spaces. The Project would not be required to have off-street freight loading spaces because the Project proposes approximately 900 square feet of retail use on the ground floor. Adequate signs or notices of the availability of bicycle parking will be provided at the Project Site.

- J. Transit Impact Development Fee.** Sections 411 through 411.8 authorizes the imposition of certain development impact fees on new non-residential development projects or conversion of non-residential space of at least 800 gross square feet to offset impacts on the transit system. Land use categories for all impact fees are defined in Section 401.

The Project Sponsor will comply with the requirements of this section prior to the issuance of a Site Permit.

- K. Inclusionary Affordable Housing Program.** Section 415 (formerly Section 315) sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, these requirements apply to projects that consist of 10 or more units, where the first application (EE or BPA) was applied for before July 18, 2006.

The proposed Project for six dwelling units is not required to provide any inclusionary affordable housing units.

- L. Signage.** Any proposed signage will be subject to the review and approval of the Planning Department and must comply with Article 6 of the Planning Code.

- 7. Planning Code Section 303(c)** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the Project does comply with said criteria in that:

- A.** The proposed uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The existing Project Site is underutilized. It contains a one-story building currently used as a specialty European grocery store, and a carport for two tandem parking spaces. The proposed Project would create six new dwelling units and an approximately 900 square-foot retail space on the ground floor.

The City is currently facing a housing crisis due to economic and employment changes. The Mayor had issued an executive order establishing a working group to develop policies to address the housing crisis. The working group has recommended that the Planning Commission encourage density in new housing projects. The Project maximizes the permitted residential density allowed in the NC District. The Project is necessary and desirable because it is also located at a unique in-fill location in the Outer Richmond neighborhood, where new housing would be appropriate and desirable. The Mayor, in his latest State of the City speech, called for the construction of 30,000 new dwelling units in the next six

years. The proposed mixed-use development will add six dwelling units to the City's housing stock. A new retail storefront will be provided, adding pedestrian interest and vitality along Clement Street.

(1) In Neighborhood Commercial Districts, if the proposed development lot exceeds the limitation (4,999 square feet) found in Planning Code Section 121.1, the following shall be considered:

(i) The mass and façade of the proposed structure are compatible with the existing scale of the district; and

The proposed Project is compatible with the existing scale of the district in that it is typified by ground floor commercial uses with housing on the upper floors. The new four-story building is typical of the surrounding three to four-story residential buildings in the district. The façade of the Project is also consistent with other multi-family developments in the area. It has vertical, multi-story bay windows. The ground floor provides significant transparency, consistent with the street frontage requirements.

(ii) The façade of the proposed structure is compatible with design features of adjacent facades that contribute to the positive visual quality of the district.

The lot to the west of the Project Site is a non-conforming automobile service station, which is not consistent with the character of the neighborhood. The Project's façade is compatible with the building adjacent to the east of the site. The Project is situated on a double-wide lot with a single building with its mass at the street broken into two halves, providing a mass that communicates two separate buildings of the same width as the building adjacent to the east. Each "half" of the building provides two lateral bays, similar to the two bays on the east building. Other multi-family buildings in the neighborhood also provide similar vertical, multi-story bay windows similar to the proposed Project. The Project will provide a building with a contemporary design that is still harmonious with the aesthetic character of the surrounding buildings.

B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project is four stories tall with an arcaded ground floor level. There are numerous four-story buildings on the subject block and adjacent blocks, near the Project Site. The design of the new building has been created to be compatible with the scale and context of the surrounding neighborhood.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Project Site is well-served by public transit. Several MUNI transit lines (1-California, 1AX, 2-Clement, and 38-Geary) run directly in front of or near the Site. The Project proposes ground level parking for six cars, 10 Class 1 bicycle spaces, as well as two on-street bicycle spaces.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

No noxious or offensive emissions will be associated with the Project. The Project's retail or commercial tenant (to be determined) will incorporate appropriate measures in order to avoid any such emissions.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project provides both private and common useable open space at the second level decks and a roof deck. Landscaping will be provided at the outdoor open spaces. The proposed garage door is set back approximately 5 feet from the front property line. The parking spaces will be fully enclosed within the new building.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with relevant requirements and standards of the Planning Code, and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed Project is consistent with the stated purpose of the NC-1 (Neighborhood Commercial Cluster) District in that the intended use is to replace an underutilized one-story building with a four-story mixed use development. The larger lot size is required to create six new housing units on upper floors, and a retail space, automobile and bicycle parking spaces on the ground floor.

- 8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPEMNT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The new four-story mixed-use building will contain a retail space (approximately 900 square feet) on the ground floor, and six dwelling units on the upper floors, including three two-bedroom units, and three three-bedroom units.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

The Project consists of an in-fill development, which replaces an underutilized one-story retail building with a combined residential and retail building, consistent with the established uses in the neighborhood.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

Policy 6.3

Preserve and promote the mixed commercial-residential character in neighborhood commercial districts. Strike a balance between the preservation of existing affordable housing and needed expansion of commercial activity.

Policy 6.9

Regulate uses so that traffic impacts and parking problems are minimized

The Project's commercial component will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. Further, the Project Site is located within a Neighborhood Commercial District and is thus consistent with activities in the commercial land use plan.

By providing a modified rear yard, the Project will be able to provide adequate on-site parking to meet the needs of the residential use so that the Project will not significantly increase traffic congestion or parking problems in the neighborhood.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.2:

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

Policy 1.3:

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The Project consists of an in-fill development, which replaces an underutilized one-story retail building with a four-story mixed use building. The new building is consistent with the existing pattern of four-story buildings on the subject block and adjacent blocks in the neighborhood.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Respect the character of older development nearby in the design of new buildings.

The design of the Project draws on architectural features of surrounding older development and is compatible with the existing character of the neighborhood. The Project also echoes similar multi-family housing developments on the block and adjacent blocks by providing similar vertical, multi-story bay windows on residential levels.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposed Project will replace an underutilized one-story building with a four-story mixed use building with a retail space on the ground floor and residential units on the upper floors. The Project's new retail space will offer new employment opportunities and business ownership.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The design of the new mixed-use building will be compatible with the scale and design of the existing neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project Site currently does not have any housing units. With the Project, six new dwelling units will be added to the City's housing stock.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is well-served by public transit. Several MUNI transit lines (1-California, 1AX, 2-Clement, and 38-Geary) run directly in front of or near the Site. The Project proposes ground level parking for six cars, 10 Class 1 bicycle spaces, as well as two on-street bicycle spaces. The Transit Impact Development Fee also applies to the retail component of the Project, thereby providing additional funds to support MUNI and other public transit services.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The Project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this Project.

- F. That the City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will comply will all current earthquake safety requirements of the City's Building Code for the new building as well as the existing theatre building.

- G. That landmarks and historic buildings be preserved.

The existing building is not a landmark nor considered a historic resource.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The new building will not exceed the 40-foot height limit; therefore, the Project will not affect existing parks and open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Project Sponsor, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2012.0990CEUV** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated January 31, 2014, and labeled "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. _____. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on February 27, 2014.

Jonas P. Ionin
Commission Secretary

AYES:
NAYS:
ABSENT:

ADOPTED: February 27, 2014

EXHIBIT A

Conditions of Approval

AUTHORIZATION

This authorization is for a Conditional Use Authorization to allow a development lot size of 5,000 square feet, pursuant to Planning Code Sections 121.1, 303(c) and 710.11, in an NC-1 (Neighborhood Commercial Cluster) District, and a 40-X Height and Bulk District; in general conformance with plans dated January 31, 2014 and labeled "EXHIBIT B" included in the docket for Case No. 2012.0990CEUV and subject to conditions of approval reviewed and approved by the Commission on February 27, 2014 under Motion No. _____. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the Building Permit Application or commencement of use for the project, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on February 27, 2014 under Motion No. _____.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the "EXHIBIT A" of this Planning Commission Motion No. _____ shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building Permit Application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section, or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a Building Permit. The Project Sponsor shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent Pursuit.** Once a Site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Planning Department staff review and approval. The Building/Site Permit Application

and/or the Architectural Addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

7. **Garbage, Composting and Recycling Storage Placement.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the Building Permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

8. **Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department's approval of the Building or Site Permit Application.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

9. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the Building Permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

10. **Signage Program.** Any proposed signage shall be subject to the review and approval of the Planning Department and must comply with Article 6 of the Planning Code. However, if the creation of a "City Center Special Sign District" is adopted by the Board of Supervisors, then the provisions of that Special Sign District shall be effective. All subsequent sign permits shall conform to the approved signage program. The signage program/plan information shall be submitted and approved as part of the Site Permit for the Project.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

11. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:

- (a) On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
- (b) On-site, in a driveway, underground;

- (c) On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
- (d) Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
- (e) Public right-of-way, underground; and based on Better Streets Plan guidelines;
- (f) Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
- (g) On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact the Bureau of Street use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>.

PARKING AND TRAFFIC

12. **Automobile Parking.** The Project Sponsor shall provide six spaces for the Project.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
13. **Bicycle Parking.** The Project Sponsor shall provide ten (10) on-site "Class 1" bicycle parking spaces, and two (2) "Class 2" bicycle parking spaces. Adequate signs or notices of the availability of bicycle parking shall also be provided at the Project Site.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
14. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation impacts during construction of the Project.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

PROVISIONS

15. **Transit Impact Development Fee.** Pursuant to Planning Code Section 411 (formerly Chapter 38 of the Administrative Code), the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) as required by and based on drawings submitted with the Building Permit Application. Prior to the issuance of a temporary certificate of occupancy, the Project Sponsor shall provide the Planning Director with certification that the fee has been paid.
For information about compliance, contact the Case Planner, Planning department at 415-558-6378, www.sfplanning.org

MONITORING - AFTER ENTITLEMENT

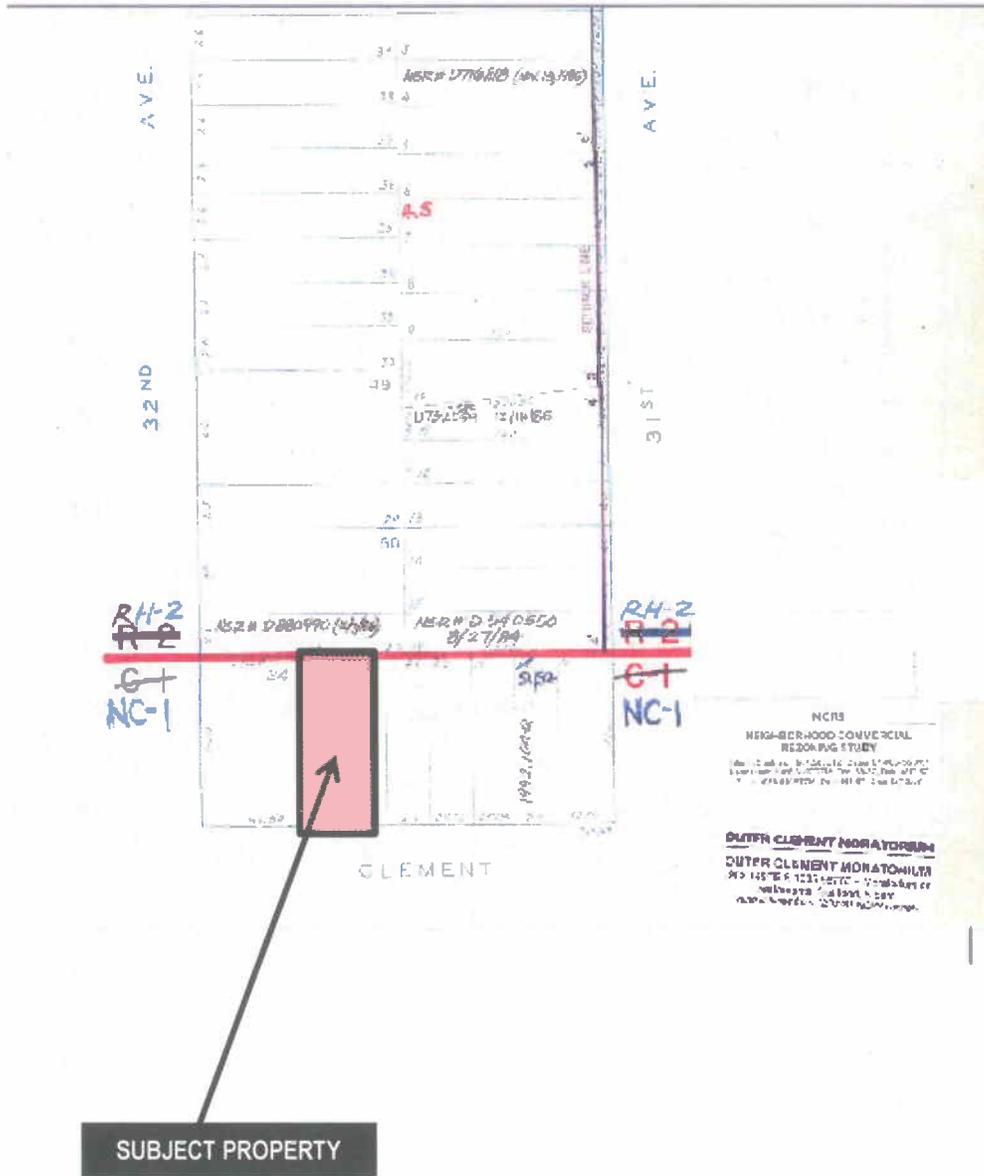
16. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
17. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

18. **Community Liaison.** Prior to issuance of a Building Permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
19. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within trash enclosures on the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org/> .
20. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works' Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>

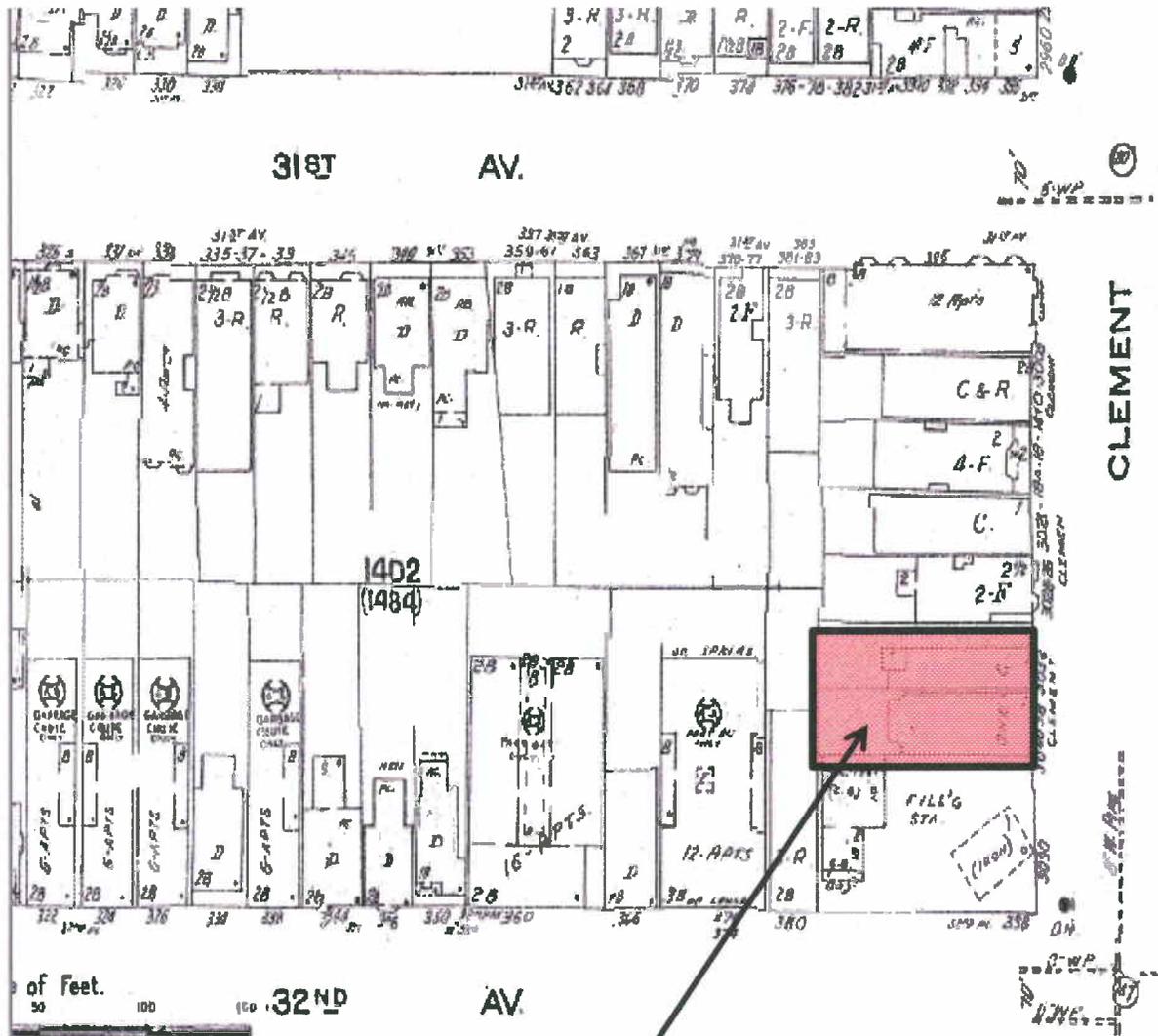
Zoning / Parcel Map

Assessor's Block 1402, Lots 022 & 023



Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

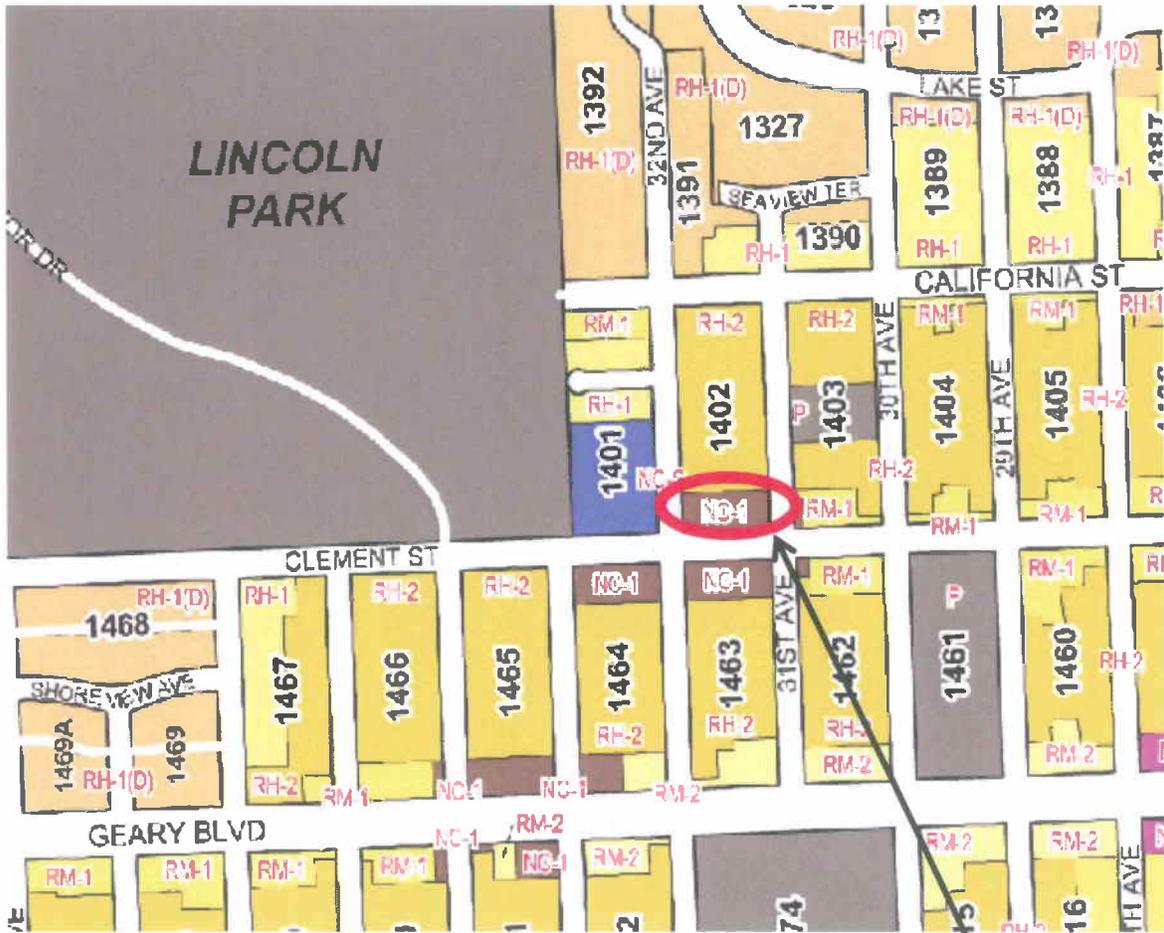


SUBJECT PROPERTY

Conditional Use Hearing
Case Number 2012.0990CEUV
3032 - 3038 Clement Street



Zoning Map



PROJECT SITE

ZONING USE DISTRICTS

RESIDENTIAL, HOUSE DISTRICTS

RH-1(D) RH-1 RH-1(S) RH-2 RH-3

RESIDENTIAL, MIXED (APARTMENTS & HOUSES) DISTRICTS

RM-1 RM-2 RM-3 RM-4

NEIGHBORHOOD COMMERCIAL DISTRICTS

NC-1 NC-2 NC-3 NCD NC-S

SOUTH OF MARKET MIXED USE DISTRICTS

SPD RED RSD SLR SLI SSO

COMMERCIAL DISTRICTS

C-2 C-3-S C-3-G C-3-R C-3-O C-3-O(SD)

INDUSTRIAL DISTRICTS

C-M M-1 M-2

CHINATOWN MIXED USE DISTRICTS

CRNC CVR CCB

RESIDENTIAL-COMMERCIAL DISTRICTS

RC-3 RC-4

REDEVELOPMENT AGENCY DISTRICTS

MB-RA HP-RA

DOWNTOWN RESIDENTIAL DISTRICTS

RH DTR TB DTR

MISSION BAY DISTRICTS

MB-OS MB-O

PUBLIC DISTRICT

P



Conditional Use Hearing
Case Number 2012.0990CEUV
3032 - 3038 Clement Street



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination EXEMPTION FROM ENVIRONMENTAL REVIEW

Case No.: 2012.0990E
 Project Title: 3032-3038 Clement Street
 Zoning: NC-1 (Neighborhood Commercial Cluster) District
 40-X Height and Bulk District
 Block/Lot: 1402/022 and 023
 Lot Size: 5,000 square feet
 Project Sponsor: Reza Khoshnevisan, SIA Consulting, (415) 922-0203
 Staff Contact: Kei Zushi, (415) 575-9036
kei.zushi@sfgov.org

1650 Mission St.
 Suite 400
 San Francisco,
 CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
 Information:
415.558.6377

PROJECT DESCRIPTION:

The project site is located on the north side of Clement Street between 31st Avenue to the east and 32nd Avenue to the west in the Outer Richmond Neighborhood. The project site consists of two lots, Assessor's Block 1402, Lots 022 and 023, totaling 5,000 square feet (sf) in area. The proposed project would involve: 1) merger of the two lots on the project site; 2) demolition of an existing 17.5-foot-tall, one-story, 4,100-sf building currently used as a specialized grocery store and 9-foot-tall, one-story, 190-sf carport; and 3) construction of a 40-foot-tall, four-story, 15,300-sf residential building with ground-floor retail space.

(Continued on Second Page.)

EXEMPT STATUS:

Categorical Exemption, Class 1 [State CEQA Guidelines Section 15301(l)(3)] and Class 3 [State CEQA Guidelines Section 15303(b)]

REMARKS:

See next page.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and Local requirements.


 SARAH B. JONES

Environmental Review Officer

November 6, 2013

Date

cc: Reza Khoshnevisan, Project Contact
 David Lindsay, NW Quadrant
 Supervisor Eric Mar, District 1

Historical Preservation List
 Bulletin Board
 M.D.F

PROJECT DESCRIPTION (continued):

The proposed building would provide: 1) 6 three-bedroom dwelling units, totaling 11,400 sf in area; 2) 1,200 sf of retail space on the ground floor level; 3) a 2,700-sf garage on the ground floor level including 6 parking spaces and 8 bicycle parking spaces. The project would include 2,000 sf of common open space at the roof top level and private open spaces for four dwelling units, totaling 1,350 sf in area. Access to the parking garage on the ground floor level would be from Clement Street.

A raft footing foundation system would be used for the proposed building.¹ Approximately 250 cubic yards of soil would be excavated as part of this project.² The proposed building would be contemporary in design.

PROJECT APPROVALS NEEDED:

The approval action for this project is the Conditional Use Authorization from the Planning Commission. The proposed project also requires a rear yard variance from the Zoning Administrator and a building permit from the Department of Building Inspection (DBI).

REMARKS (continued):

Historic Architectural Resources

According to the Planning Department's records, the existing building on the project site was built in 1916 and the project site is considered to be a potential historic resource, or a Category "B" property.³ An Historical Resource Evaluation (HRE) was prepared for the proposed project.⁴ The HRE found that the project site is not listed on any state or federal historical resources registries and that the property does not qualify for listing in the California Register because the property does not meet any of the applicable eligibility criteria, including Criterion 1 (association with events), Criterion 2 (association with persons), Criterion 3 (design/construction), and Criterion 4 (source of new information). The HRE notes that a windshield survey conducted as part of the HRE of the three-block commercial-residential mixed section of Clement Street suggests that a historic district that would include the project site lacks historic integrity and cohesion as a group of built resources with a significant and shared historical association(s). Based on the HRE, a Preservation Team Review Form has been prepared by the Planning Department's

¹ Aidin Massoudi, SIA Consulting. *Email to Kei Zushi, San Francisco Planning Department, Foundation & Excavation: 3032-3038 Clement St.*, October 10, 2013. This email is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

² Aidin Massoudi, SIA Consulting. *Email to Kei Zushi, San Francisco Planning Department, Foundation & Excavation: 3032-3038 Clement St.*, October 22, 2013. This email is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

³ Category B properties are properties that do not meet the criteria for listing in Categories A.1 (resources listed on or formally determined to be eligible for the California Register) or A.2 (resources listed on adopted local registers, and properties that have been determined to appear or may become eligible, for the California Register), but for which the City has information indicating that further consultation and review will be required for evaluation whether a property is an historical resource for the purposes of CEQA.

⁴ ICF International. *Historic Resource Evaluation for 3032-3038 Clement Street, San Francisco, CA*, June 2013. This document is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

historic preservation technical specialist.⁵ The historic preservation technical specialist found that the property does not appear eligible for listing on the California Register, either individually or as a contributor to a historic district and determined that the proposed project would not have a significant adverse impact to historic resources.

Archeological Resources

The Planning Department reviewed the proposed project to determine if any archeological resources would be impacted. The Planning Department staff determined that the proposed project would not adversely affect CEQA-significant archeological resources.⁶

Geology

According to the Planning Department's records, the project site is not located within a liquefaction hazard zone or landslide hazard zone. A geotechnical investigation report was prepared for the proposed project, and the conclusions of that report are summarized below.⁷ The geotechnical investigation report recommends that the building foundation consist of a raft footing founded on the medium dense sand material. The project sponsor has agreed to implement all applicable recommendations outlined in the geotechnical investigation report.⁸

One boring was drilled to a depth of 16.5 feet in the northeastern corner of the lot located at 3038 Clement Street (Assessor's Block 1402, Lot 023) on July 10, 2012. The boring encountered medium dense and dense fine dune sand. The geotechnical report notes that maps prepared by the United States Government Geological Survey Department indicate the site is underlain by undivided surficial deposits (dune sand) and at depth by the Franciscan sandstone formation.

The final building plans will be reviewed by DBI. In reviewing building plans, DBI refers to a variety of information sources to determine existing hazards. Sources reviewed include maps of Special Geologic Study Areas and known landslide areas in San Francisco as well as the building inspectors' working knowledge of areas of special geologic concern. DBI will review the geotechnical report and building plans for the proposed project to determine the adequacy of the proposed engineering and design features and to ensure compliance with all applicable San Francisco Building Code provisions regarding structure safety. The above-referenced geotechnical investigation report would be available for use by DBI during its review of building permits for the site. In addition, DBI could require that additional site specific soils report(s) be prepared in conjunction with permit applications, as needed. The DBI requirement for a geotechnical report and review of the building permit application pursuant to DBI's

⁵ Shelley Caltagirone, San Francisco Planning Department. *Preservation Team Review Form, 3032-3038 Clement Street*, August 2, 2013. This document is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

⁶ Randall Dean, San Francisco Planning Department. *Archeological Review Log*.

⁷ Philip Whitehead, P. Whitehead and Associates Consulting Engineers. *Geotechnical Report, 3038 Clement Street, San Francisco, CA, Block 1402 Lot 023*, July 24, 2012. This report is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

⁸ Aidin Massoudi, SIA Consulting. *Email to Kei Zushi, San Francisco Planning Department, Foundation & Excavation: 3032-3038 Clement St.*, October 10, 2013. This email is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

implementation of the Building Code would ensure that there is no damage to structures from potential geologic hazards.

Hazards and Hazardous Materials

A Phase I Environmental Site Assessment (ESA) report and soil vapor investigation report were prepared for the project site.^{9,10} These reports have been reviewed by the San Francisco Department of Public Health (SFDPH). The Phase I ESA notes that the property was developed with two commercial buildings in 1916 and 1925. The site was occupied by dry cleaning businesses from 1931 to 1938 and 1948 to 1968. A gas station was located adjacent to the west. A dry cleaning business was located adjacent to the south. Current area land uses include commercial and residential uses including an auto repair business.

The results of the soil vapor investigation report indicated concentrations of chemicals associated with dry cleaning (chlorinated ethenes) at below reporting limits for indoor and outdoor air samples. However, the laboratory reporting limits for the indoor sub-floor air space samples were over ten times the regulatory guidelines. SFDPH determined that these data cannot be used to determine if concentrations meet regulatory criteria.¹¹ SFDPH requested a subsurface investigation work plan to assess potential contaminants in soil and soil vapor beneath the proposed residential building. Based on the results of the subsurface investigation, SFDPH may request preparation of a Site Mitigation Plan (SMP). The SMP would describe environmental soils and site management procedures, identifies the proposed soil transporter and disposal locations, and describes collection of post excavation confirmation samples.

The project sponsor has enrolled into the Maher program,¹² in which contaminated soil and/or groundwater is remediated under the authority provided in Health Code Article 22A (the Maher Ordinance) administered by SFDPH. Based on the above, the proposed project would not result in any significant impacts with respect to hazards and hazardous materials.

Exempt Status

The CEQA Guidelines Section 15301, or Class 1, provides for the exemption from the environmental review for the demolition and removal of individual small structures including stores and restaurants designated for an occupant load of 30 persons or less. In urbanized areas, the exemption also applies to the demolition of up to three such commercial buildings on sites zoned for such use. The proposed project would involve demolition of an existing 4,100-sf building currently used as a specialized grocery store. The project site is located in an urbanized area and zoned for commercial uses. The maximum

⁹ AEI Consultants. *Phase I Environmental Site Assessment, 3032-3040 Clement Street, San Francisco, California 94121*, December 6, 2012. This document is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

¹⁰ AEI Consultants. *Soil Vapor Investigation Report, 3032-3040 Clement Street, San Francisco, California 94121*, January 31, 2013. This document is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

¹¹ Scott J. Nakamura, San Francisco Department of Public Health. *Letter to Edward Shoiket, Request for Work Plan, 3032-3038 Clement, San Francisco, SMED 948*, August 9, 2013. This document is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.

¹² Elyse Heilshorn, SFDPH. *Email to Kei Zushi, San Francisco Planning Department, 3032-3038 Clement Street (Case No. 2012.0990E)*, October 10, 2013.

occupant load of the existing building proposed for demolition is 40 persons,¹³ which does not exceed the total occupancy load of three buildings designated for an occupant load of 30 persons, which is 90 persons.

The CEQA Guidelines Section 15303, or Class 3, provides for the exemption from the environmental review for the "construction and location of limited numbers of new, small facilities or structures." Specifically, Section 15303(b) states in "urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for not more than six dwelling units." The proposed project would include a total of six dwelling units in an urbanized area.

Therefore, the proposed project would be exempt under Classes 1 and 3.

Conclusion

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. The proposed project would not have a significant effect on a historic resource, surrounding historic district, or other historic buildings in the vicinity. The project sponsor has entered into the Maher program administered by SFDPH. There are no other unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant environmental effect. The project would be exempt under the above-cited classification. For the above reasons, the proposed project is appropriately exempt from environmental review.

¹³ Aidin Massoudi, SIA Consulting. Email to Kei Zushi, San Francisco Planning Department, 3032-3038 Clement Street, November 1, 2013. This email is available for review as part of Case File No. 2012.0990E at 1650 Mission Street, Suite 400, San Francisco, CA.



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date: 7/22/2013	Date of Form Completion 8/2/2013
--------------------------------------------------	-----------------------------------------

PROJECT INFORMATION:		
Planner: Shelley Caltagirone	Address: 3032-3038 Clement Street	
Block/Lot: 1402/022 and 023	Cross Streets: 31st and 32nd Avenues	
CEQA Category: B	Art. 10/11:	BPA/Case No.: 2012.0990E

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW: 4/15/2013

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	

PRESERVATION TEAM REVIEW:				
Historic Resource per CEQA		<input type="radio"/> Yes	<input checked="" type="radio"/> No *	<input type="radio"/> N/A
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:

The Department concurs with the findings of the Historic Resource Evaluation report prepared by Edward Yarbrough, June 2013. The property does not appear eligible for listing on the CA Register either individually or as a contributor to a historic district. Please refer to the attached report for details. Therefore, the project would not have a significant adverse impact to historic resources.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
<i>Uma</i>	<i>2-2013</i>

HISTORICAL RESOURCE EVALUATION FOR 3032-3038 CLEMENT STREET, SAN FRANCISCO, CA



PREPARED BY:

ICF International

620 Folsom St., Ste. 200

San Francisco, CA

Contact: Edward Yarbrough, Sr. Architectural Historian

415.677.7170

June 2013



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Residential Pipeline

ENTITLED HOUSING UNITS 2007 TO Q1 2012

State law requires each city and county to adopt a Housing Element as a part of its general plan. The State Department of Housing and Community Development (HCD) determines a Regional Housing Need Allocation (RHNA) that the Housing Element must address. The need is the minimum number of housing units that a region must plan for in each RHNA period.

This table represents all development projects adding residential units that have been entitled since January 2007. The total number of entitled units is tracked by the San Francisco Planning Department, and is updated quarterly in coordination with the Pipeline Report. Subsidized housing units, including moderate and low income units, are tracked by the Mayor's Office of Housing, and are also updated quarterly.

2012 - QUARTER 1	RHNA Allocation 2007-2014	Units Entitled To Date	Percent Entitled
Total Units Entitled¹	31,193	11,130	35.7%
Above Moderate (> 120% AMI)	12,315	7,457	60.6%
Moderate Income (80-120% AMI)	6,754	360	5.3%
Low Income (< 80% AMI)	12,124	3,313	27.3%

¹ Total does not include entitled major development projects such as Treasure Island,, Candlestick, and Park Merced. While entitled, these projects are not projected to be completed within the current RHNA reporting period (through June 2014).

REUBEN & JUNIUS_{LLP}

February 7, 2014

VIA MESSENGER

Mr. Rodney Fong, President
San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**Re: 3038 Clement Street
Planning Department Case No. 2012.0990C
Hearing Date: February 27, 2014
Our File No.: 7991.01**

Dear President Fong and Commissioners:

This office represents 3038 Clement LLC, the project sponsor for a proposed new residential building with ground floor retail (the "Project") to be located at 3038 Clement Street (the "Property"), on the north side of the block between 31st and 32nd Avenues.

The Property is currently improved with a single story retail building occupying virtually the entire lot. The existing building is currently occupied by a grocery store. The Project proposes to demolish the existing retail building, and to construct a 40-foot-tall, four-story building with six dwelling units over a ground floor, 914 square foot retail space. Six off-street parking spaces and 10 Class 1 bicycle parking spaces are provided at the rear of the ground floor. The ground floor maintains full lot coverage, and a 25% rear yard setback is provided on the upper three stories that contain dwelling units. Two private decks of 619 square feet each are provided at the second floor in the rear yard setback, and a 2,030 square foot common roof deck is provided on the fourth floor roof. In this zoning district, a 25% rear yard is required at all levels, and since the proposed building is occupying the entirety of the lot at the ground floor, the Project requires a variance from the rear yard requirement at the ground floor.

The Property is a particularly appropriate location for the Project. It would provide six new dwelling units in a mostly residential neighborhood with some modest commercial uses along Clement Street. As described in greater detail below, the City is in an extreme housing crisis, and building new dwelling units, while being sensitive to existing neighborhood character, has been identified by both the Mayor and the Mayor's Working Group as a primary method to achieve this goal. The Project will also provide a modest retail space on a street with other modest retail spaces, which, due to its size, is expected to be occupied by a neighborhood-serving retailer.

RECEIVED

FEB 18 2014

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Tuija I. Catalano | David Silverman | Sheryl Reuben¹ | Jay F. Drake
Daniel A. Frattin | Stephen R. Miller | Lindsay Petrone | John Kevlin | Alison L. Krumbein | John McInerney²

1. Also admitted in New York 2. Of Counsel

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

www.reubenlaw.com

Mr. Rodney Fong
February 7, 2014
Page 2

The Project Sponsor is currently reaching out to neighbors to notify them of the final Project plans and to obtain their support for the Project.

The current proposal requires Planning Commission approval of a conditional use authorization for development on a lot larger than 4,999 square feet. Project plans and photographs of the surrounding neighborhood are included in your packet.

A. Benefits of the Project

Benefits of the Project will include:

- Creation of six new, family-sized dwelling units on a underutilized lot (3 three-bedroom units and 3 two-bedroom units);
- Creation of new neighborhood-serving retail space;
- Provision of six new off-street parking spaces to serve the dwelling units, to avoid any impacts on parking in the neighborhood;
- Provision of 10 new Class 1 bicycle spaces (four more than required) in order to give new residents multiple options of travel beyond automobiles;
- Creation of new dwelling units in close proximity of several public transit options. The Project is adjacent to the 1 and 1AX MUNI bus lines, and one block north of the 38 lines. The Project's residents will have several options for transportation beyond automobile use.

B. New Housing Development Sensitive to Existing Neighborhood

The Project will provide six new, family-sized dwelling units in the Outer Richmond district. It has been virtually universally recognized that the City is in the midst of an extreme housing crisis. In just the last year, San Francisco rents have increased 10.6%, the largest increase in the country and three times more than the national average of 3%. (<http://trends.truliablog.com/2014/01/price-and-rent-monitors-dec-2013/>). 42,452 jobs have been created in San Francisco since 2011, yet an average of only 1,500 new dwelling units have been constructed per year since then. This imbalance clearly creates a higher demand for housing that has now exacerbated a housing stock that was already in short supply.

City government has identified this problem, and has taken the following recent actions to help improve our housing situation:

- Mayor Lee set out a seven-point housing plan in his State of the City speech last month, calling for the construction of 30,000 dwelling units in the next six years (5,000 per year);
- The Mayor's Working Group (consisting of the heads of relevant city agencies) has drafted a number of short-, medium- and long-term recommendations to ease the crisis, including asking the Planning Commission to encourage new residential projects to maximize the density allowed by zoning.

These new policies coincide with the City's existing Transit First policies, which encourage new, dense housing projects at infill sites near transit.

The Project is a perfect example of the type of new development that, with others like it, has the ability to ease the housing crisis: a residential project that maximizes density at an infill site while staying consistent with the character of the existing neighborhood. The Project proposes a four-story, six-unit residential development over ground floor retail. The density permitted by zoning at the Property is maximized by the Project. It is consistent with the neighborhood in the following ways:

1. The Project proposes a four-story building. There are at least six four-story buildings within one block of the site, all of them adjacent to smaller structures, and many with very similar vertical bay designs as proposed by the Project. (See map/images attached as Exhibit A.)
2. The Project proposes a small, 914 square foot, ground floor retail space. This stretch of Clement Street has numerous small retail spaces, all occupied by small, neighborhood-serving retailers. (See images attached as Exhibit B.)
3. The Project provides six off-street parking spaces (one per dwelling unit) to provide space for each resident to park, and eliminate any conflict with the existing, scarce, on-street parking. In addition, the current grocery store uses on-street parking spaces on Clement Street for large deliveries, and cars often double-park to access the store. The Project would eliminate these conflicts with available on-street parking.
4. While the Project occupies two, 25-foot wide lots, its massing emulates two buildings, consistent with the horizontal scale on this street;

While the Project requires a variance from the 25% rear yard requirement at its ground floor, **it creates minimal additional mass at the ground floor beyond what currently exists.** The existing retail building occupies virtually the entire lot at the ground floor. The Project occupies the entire lot at the ground floor. The variance will allow 1:1 off-street parking to be

Mr. Rodney Fong
February 7, 2014
Page 4

provided to the six dwelling units, a key issue for existing residents who cite the lack of on-street parking. The Project will have minimal encroachment on the mid-block open space beyond existing conditions.

The Project fulfills the City's goals of providing new dwelling units at an infill location while maintaining consistency with the existing neighborhood. It is also located at a unique infill location in the Outer Richmond district – an area of the City which is absorbing very little of the new housing development. As a result, the Project helps spread the balance of housing development throughout the city.

C. Community Outreach

The Project Sponsor conducted a preapplication meeting on August 15, 2012 that was attended by just one neighbor. As the Planning Commission hearing approaches, the project sponsor has reached out to neighbors, and has so far received six letters of support, including one from the neighbor directly across the street from the Project. (See attached as **Exhibit C.**) The Project Sponsor is continuing to gather support letters and will submit them prior to the Planning Commission hearing.

D. Conclusion

The Project requires conditional use authorization for development of a lot greater than 4,999 square feet. The Project creates six units of much-needed housing while being sensitive to the character of the surrounding neighborhood. It creates a more consistent street frontage along this block, and will provide space for a new, neighborhood-serving retailer. The Project is a prime example of the type of infill housing that will help relieve the City of the current housing crisis – and does so at an infill location in the Outer Richmond where there are few opportunities for new residential development. For all of these reasons and those listed in the application, we respectfully request the Commission grant this conditional use authorization for this Project.

Very truly yours,

REUBEN & JUNIUS, LLP



John Kevlin

Encls.

cc: Vice President Cindy Wu
Commissioner Michael Antonini

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

REUBEN & JUNIUS_{LLP}

www.reubenlaw.com

Mr. Rodney Fong
February 7, 2014
Page 5

Commissioner Gwyneth Borden
Commissioner Rich Hillis
Commissioner Kathrin Moore
Commissioner Hisashi Sugaya
John Rahaim - Planning Director
Edward Shoikhet – 3038 Clement LLC
Reza Khoshnevisan – SIA Consulting Corporation

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

REUBEN & JUNIUS

www.reubenlaw.com

4-Story Residential Buildings w/in One Block of 3038 Clement St





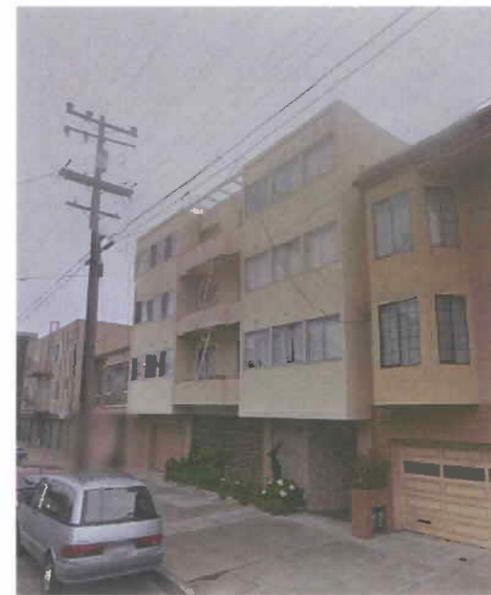
3015 Clement St



395 31st Ave



405 33rd Ave



370 32nd Ave



2924 Clement Street

7001 California Street





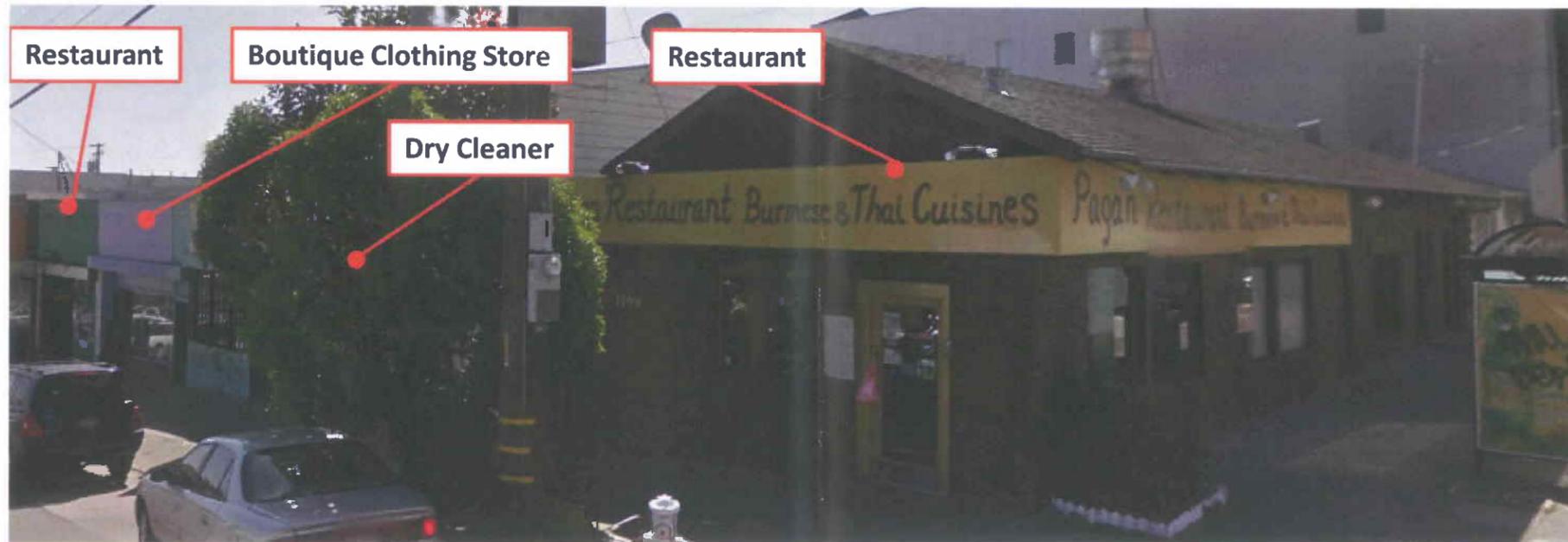
Across Clement Street from Project

Clement St and
31st Ave





South Side of
3100 Block of
Clement Street



February 3, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

3038 Clement Street Project
Planning Department Case No. 2012.0990

Dear Ms. Woods,

I am a San Francisco resident living at 3033 Clement Street. I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project would replace the existing building that stretches over the entire lot and provides no parking for customers who use the market. The new building would provide parking for each unit, which will reduce the number of cars parking on Clement Street and 32nd Avenue.

Thank you and please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Fu Yutai', written in a cursive style.

Dr. Fu Yutai

February 2, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**3038 Clement Street Project
Planning Department Case No. 2012.0990**

Dear Ms. Woods,

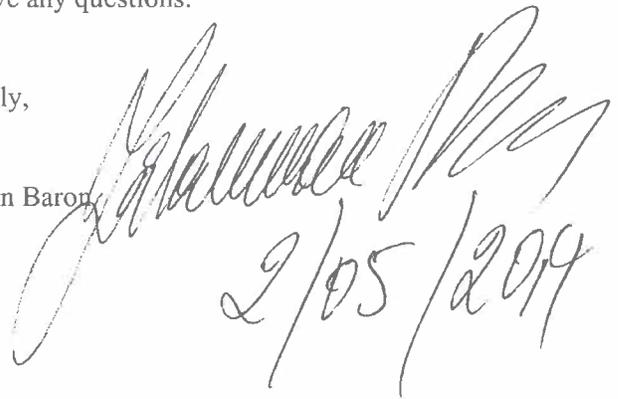
I am a San Francisco resident living at 441 30th Ave I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project will create a new residential building that is modest in size and fits into the character of the neighborhood, and will also continue to provide retail services to nearby residents.

Thank you and please let me know if you have any questions.

Sincerely,

Zalaman Baron



2/05/2014

February 1, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**3038 Clement Street Project
Planning Department Case No. 2012.0990**

Dear Ms. Woods,

I am a San Francisco resident living at 322 31nd Ave. I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project will eliminate a commercial building that is adjacent to two residential buildings as well as the mid-block area on a residential block. In its place, a residential building will be built with comparable massing at its rear and which will be more consistent with the character of the block. The project still maintains a small retail space serving neighborhood residents, but overall will be more consistent with the mixture of smaller retail uses in a predominantly residential neighborhood.

Thank you and please let me know if you have any questions.

Sincerely,



Anatoly Kalika

February 3, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**3038 Clement Street Project
Planning Department Case No. 2012.0990**

Dear Ms. Woods,

I am a San Francisco resident living at 334 32nd Ave. I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project would replace the existing building that stretches over the entire lot and provides no parking for customers who use the market. The new building would provide parking for each unit, which will reduce the number of cars parking on Clement Street and 32nd Avenue.

Thank you and please let me know if you have any questions.

Sincerely,

 2.5.14

Dianna Sklovsky

January 31, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

3038 Clement Street Project
Planning Department Case No. 2012.0990

Dear Ms. Woods,

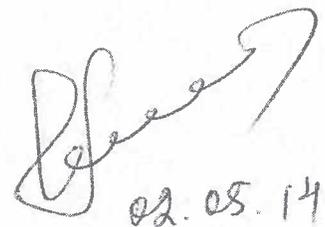
I am a San Francisco resident living at 344 32nd Ave. I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project will eliminate a commercial building that is adjacent to two residential buildings as well as the mid-block area on a residential block. In its place, a residential building will be built with comparable massing at its rear and which will be more consistent with the character of the block. The project still maintains a small retail space serving neighborhood residents, but overall will be more consistent with the mixture of smaller retail uses in a predominantly residential neighborhood.

Thank you and please let me know if you have any questions.

Sincerely,

Marina Shnyder



02.05.14

February 3, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

3038 Clement Street Project
Planning Department Case No. 2012.0990

Dear Ms. Woods,

I am a San Francisco resident and an owner of the property at 3119 Clement Street. I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project will create a new residential building that is modest in size and fits into the character of the neighborhood, and will also continue to provide retail services to nearby residents.

Thank you and please let me know if you have any questions.

Sincerely,

Veerawat Tanverakul



2-6-14

February 3, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**3038 Clement Street Project
Planning Department Case No. 2012.0990**

Dear Ms. Woods,

I am a San Francisco resident and own a store located at 3020 Clement Street. I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project would replace the existing building that stretches over the entire lot and provides no parking for customers who use the market. The new building would provide parking for each unit, which will reduce the number of cars parking on Clement Street and 32nd Avenue.

Thank you and please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tony Petersen', with a long horizontal line extending to the right.

Tony Petersen

February 5, 2014

Mary Woods
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

3038 Clement Street Project
Planning Department Case No. 2012.0990

Dear Ms. Woods,

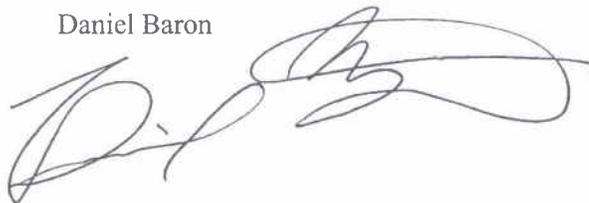
I am a San Francisco resident living at 7004 California St. I want to express my support for the proposed four-story residential project at 3038 Clement Street, which will replace the existing retail building that covers the entire lot.

Edward Shoikhet, the project sponsor, has personally reached out to me and explained the project. Based on our conversation, I am in support of the project. The project will eliminate a commercial building that is adjacent to two residential buildings as well as the mid-block area on a residential block. In its place, a residential building will be built with comparable massing at its rear and which will be more consistent with the character of the block. The project still maintains a small retail space serving neighborhood residents, but overall will be more consistent with the mixture of smaller retail uses in a predominantly residential neighborhood.

Thank you and please let me know if you have any questions.

Sincerely,

Daniel Baron

A handwritten signature in black ink, appearing to read 'Daniel Baron', written in a cursive style.

3038 Clement Street - Project Site



Subject block



Subject block



Opposite block



Opposite block







SCOPE OF WORK

PROPOSED NEW CONSTRUCTION OF FOUR-STORY BUILDING WITH SIX RESIDENTIAL CONDO UNITS ABOVE FIRST FLOOR, AND ONE COMMERCIAL UNIT AND PRIVATE PARKING GARAGE ON FIRST FLOOR



ASSESSOR'S MAP

DRAWING INDEX

ARCHITECTURAL

A-0.1	COVER SHEET
A-1.1	EXISTING SITE PLAN, & DEMO FLOOR PLAN
A-1.2	PROPOSED SITE PLAN, & NOTES
A-2.1	FIRST FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-2.3	THIRD FLOOR PLAN
A-2.4	FOURTH FLOOR PLAN
A-2.5	ROOF PLAN
A-3.1	BUILDING ELEVATION
A-3.2	BUILDING ELEVATION
A-3.3	BUILDING ELEVATION
A-3.4	BUILDING ELEVATION
A-4.1	BUILDING SECTION A-A
G-0.1	GREEN BUILDING CHECKLIST

RECEIVED

FEB 18 2014

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

PROJECT DATA

LOT AREA:	5,000 S.F.
# OF UNITS:	1 COMMERCIAL & 6 RESIDENTIALS
NUMBER OF STORIES:	4
BUILDING HEIGHT LIMIT:	40'-X
BUILDING HEIGHT:	40'-0"
CONSTRUCTION TYPE:	TYPE V-A
OCCUPANCY GROUP:	R-2 / M / S-2
BLOCK & LOT:	1402-022/023
ZONING:	NC-1
APPLICABLE CODES:	2010 CALIFORNIA CODE EDITIONS W/ SAN FRANCISCO AMENDMENTS

PROJECT NAME

3032-3038 Clement St
SAN FRANCISCO, CA

EXHIBIT B



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL (415) 922.0200
FAX (415) 922.0203
WEBSITE WWW.SIACONSULT.COM

SHEET TITLE

Cover Sheet

ABBREVIATION

# & @	POUND OR NUMBER AND	GWB	GYPSUM WALL BOARD
ABV	ABOVE	GYP	GYPSUM
ACT	ACOUSTIC CEILING TILE	H.C.	HANDICAPPED
AD	AREA DRAIN	HP	HIGH POINT
AF	ABOVE FINISHED FLOOR	HR	HOUR
ALUM	ALUMINUM	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
APPROX	APPROXIMATE	I.L.O.	IN LIEU OF
ASPH	ASPHALT	INSUL	INSULATED
BD	BOARD	INT	INTERIOR
BLDG	BUILDING	LO	LOW
BLKG	BLOCKING	MAX	MAXIMUM
BOT	BOTTOM	MECH	MECHANICAL
BSMT	BASEMENT	MEMBR	MEMBRANE
BST	BOTTOM OF STAIRS	MIN	MINIMUM
BYND	BEYOND	MO	MASONRY OPENING
CIP	CAST IN PLACE	MTL	METAL
CHNL	CHANNEL	(N)	NEW
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CLG	CEILING	NO	NUMBER
CLO	CLOSET	NOM	NOMINAL
CLR	CLEAR	N.T.S.	NOT TO SCALE
CNTR	COUNTER	O.C.	ON CENTER
COL	COLUMN	OFF	OFFICE
COMPR	COMPRESSIBLE	OH	OPPOSITE HAND
CONC	CONCRETE	OZ	OUNCE
CONT	CONTINUOUS	PCC	PRE-CAST CONCRETE
CORR	CORRIDOR	P.L.	PROPERTY LINE
CPT	CARPET	PLUMB	PLUMBING
CTR	CENTER	PLYD	PLYWOOD
CYTD	COURTYARD	PT	PRESSURE TREATED
DBL	DOUBLE	RBR	RUBBER
DEMO	DEMOLISH	RCP	REFLECTED CEILING PLAN
DET	DETAIL	RD	ROOF DRAIN
D.F.	DRINKING FOUNTAIN	RDWD	REDWOOD
DIA	DIAMETER	REQD	REQUIRED
DIMS	DIMENSIONS	RM	ROOM
DN	DOWN	S.F.	SQUARE FOOT
DR	DOOR	SIM	SIMILAR
DWG	DRAWING	SPEC	SPECIFIED OR SPECIFICATION
(E)	EXISTING	SPK	SPRINKLER
EA	EACH	SSTL	STAINLESS STEEL
EL	ELEVATION	STC	SOUND TRANSMISSION COEFFICIENT
ELEC	ELECTRICAL	STD	STANDARD
ELEV	ELEVATOR/ELEVATION	STL	STEEL
EQ	EQUAL	STRUCT	STRUCTURAL
EXT	EXTERIOR	SQ	SQUARE
EXP JT	EXPANSION JOINT	TC	TOP OF CURB
EXT	EXTERIOR	TELE	TELEPHONE
F.D.	FLOOR DRAIN	TLT	TOILET
FIXT	FIXTURE	TO	TOP OF
FLR	FLOOR	TOC	TOP OF CONCRETE
FLUOR	FLUORESCENT	TOS	TOP OF STEEL
FM	FILLED METAL	TP	TOILET PAPER DISPENSER
FND	FOUNDATION	TD	TELEPHONE/DATA
FO	FACE OF	TST	TOP OF STAIRS
F.O.F.	FACE OF FINISH	TYP	TYPICAL
FURR	FURRING	U.N.O.	UNLESS NOTED OTHERWISE
GA	GAUGE	UIS	UNDERSIDE
GALV	GALVANIZED	V.I.F.	VERIFY IN FIELD
G.B.	GRAB BAR	VP	VISION PANEL
GND	GROUND	W	WITH
GRP	GROUP	WD	WOOD
		W.H.	WATER HEATER

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.
- ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DIMENSIONS, AND MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY AND ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, ERRORS OMISSIONS AND/OR CONFLICTS FUNDS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER AND THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.
- UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES. ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.
- DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.
- ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC SEC. 719.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
- ALL NEW SMOKE DETECTORS TO BE HARD WIRED.

NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

- NOTES:**
- BLDG. TO BE FULLY SPRINKLERED, SPRINKLERS AND STANDPIPE REQUIRED PER NFPA 13, 14, & 24, 2001 EDITIONS.
 - FIRE ALARM AND SPRINKLER MONITORING SYSTEM REQUIRED PER NFPA 72 THROUGHOUT
 - THE SPRINKLER AND FIRE ALARM SYSTEMS WILL NEED TO PROVIDED SPRINKLER WATER FLOW AND MONITORING VALVES ON EACH FLOOR
 - ELEVATOR RECALL, DOORS AT ELEVATOR AND FIRE SMOKE DAMPERS ARE REQUIRED TO BE CONNECTED TO FIRE ALARM SYSTEM
 - PROVIDE LOCKBOX AT MAIN ENTRY COORDINATE WITH DISTRICT FIRE INSPECTOR
 - PROVIDE STAIRWELL IDENTIFICATION SIGNS, AS PER CBC 1020.1.6
 - PROVIDE SMOKE DETECTORS REQUIRED IN COMMON CORRIDOR ON FIRST FLOOR

USABLE OPEN SPACES

FLOOR LEVEL	REQUIRED	PROPOSED	TOTAL
1ST FLOOR	COMMERCIAL	NOT REQ'D	N/A
2ND FLOOR	UNIT 201	619 ± S.F. (PRIVATE)	1,238 ± S.F. (PRIVATE)
	UNIT 202	619 ± S.F. (PRIVATE)	
3RD FLOOR	UNIT 301	507.5 ± S.F. (COMMON)	2,030 ± S.F. (COMMON)
	UNIT 302	507.5 ± S.F. (COMMON)	
4TH FLOOR	UNIT 401	507.5 ± S.F. (COMMON)	2,030 ± S.F. (COMMON)
	UNIT 402	507.5 ± S.F. (COMMON)	
ROOF (COMMON ROOF DECK)		2,030 ± S.F. (COMMON)	3,268 ± S.F. (PRIVATE & COMMON)

FLOOR AREA

FLOOR LEVEL	EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL
1ST FLOOR	COMMERCIAL	3,940 ± S.F. (TO BE DEMO)	4,848 ± S.F.
	GARAGE	191 ± S.F. (1 CARPORT TO BE DEMO)	
	COMMON AREA (ELEV., STAIRWAY, ETC.)	N/A	
2ND FLOOR	UNIT 201 (3-BEDROOM)	N/A	3,537 ± S.F.
	UNIT 202 (2-BEDROOM)	N/A	
	COMMON AREA (ELEV., STAIRWAY, ETC.)	N/A	
3RD FLOOR	UNIT 301 (3-BEDROOM)	N/A	3,625 ± S.F.
	UNIT 302 (2-BEDROOM)	N/A	
	COMMON AREA (ELEV., STAIRWAY, ETC.)	N/A	
4TH FLOOR	UNIT 401 (3-BEDROOM)	N/A	3,502 ± S.F.
	UNIT 402 (2-BEDROOM)	N/A	
	COMMON AREA (ELEV., STAIRWAY, ETC.)	N/A	
TOTAL	4,131 ± S.F. (TO BE DEMO)	15,512 ± S.F.	15,512 ± S.F.

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION
DESIGN		R.K.
DRAWN		R.L.
DATE	05/29/2012	
REVISED DATE	01/31/2014	
JOB NO.	12-1526	

SHEET NO.

A-0.1

PROJECT NAME
3032-3038 Clement St
 SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL. (415) 922.0200
 FAX. (415) 922.0203
 WEBSITE WWW.SIACONSULT.COM

SHEET TITLE

(E) Site Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

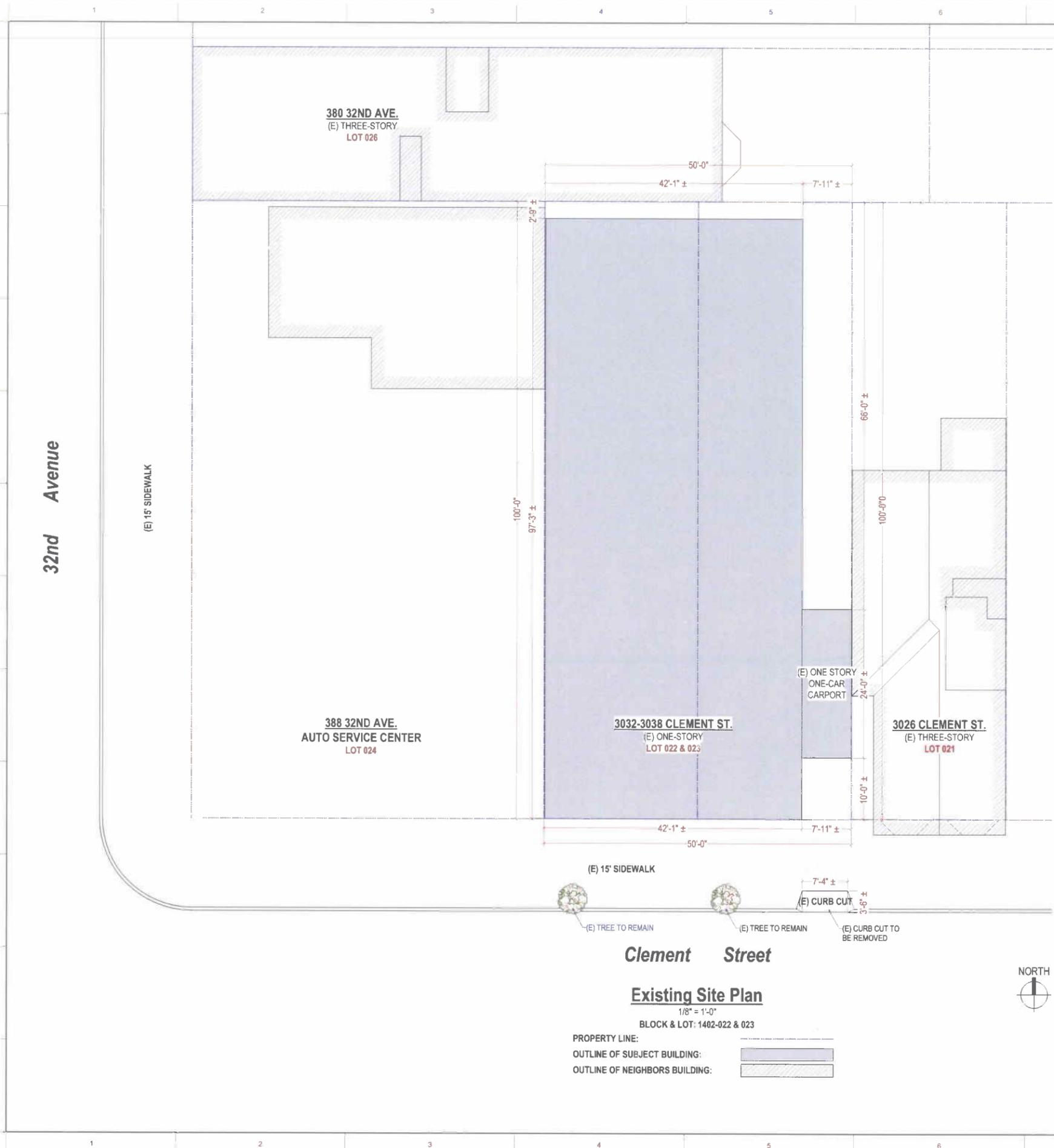
DRAWN R.L.

DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO. **A-1.1**



ELECTRICAL NOTES:

ELECTRICAL SUBPANEL(S) ON FLOOR PLAN(S). PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS.
PANELS IN FIREWALL SHALL BE RELOCATED OR PROPERLY PROTECTED TO MAINTAIN FIREWALL SEPARATION.

GFCI PROTECTED OUTLETS AT THE FOLLOWING LOCATIONS:
(A) GARAGE
(B) UNFINISHED BASEMENT, CRAWL AND STORAGE SPACES
(C) WITHIN 6' OF SINK OR BASIN
(D) EXTERIOR (WATERPROOF)

RECEPTABLE OUTLETS AT THE FOLLOWING LOCATIONS:
(A) 12' O.C. MAX. AND WITHIN 6' OF THE END OF WALLS.
(B) ANY WALL SPACE 2 OR MORE FEET WIDE
(C) AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12'. SO THAT NO POINT IN ANY HALLWAY 10 FEET OR MORE IN LENGTH

LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES AND EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

APPLIANCES FASTENED IN PLACE, SUCH AS DISHWASHERS, GARBAGE DISPOSALS, TRASH COMPACTORS, MICROWAVE OVENS, ETC., SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE OR LOAD SERVED

RECEPTABLES FOR FIXED APPLIANCES SHALL BE ACCESSIBLE, NOT BEHIND APPLIANCE

A CIRCUIT SUITABLE FOR THE LOAD WITH A MINIMUM OF 30 AMPERES IS REQUIRED FOR AN ELECTRIC CLOTHES DRYER.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATION(S)"

ENERGY NOTES:

PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES. UP TO 50% OF WATTAGE, AS DETERMINED IN SECTION 130(C), OF PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS MAY BE IN LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES, PROVIDED THAT THESE LUMINAIRES ARE CONTROLLED BY SWITCHES SEPERATE FROM THOSE CONTROLLING THE HIGH EFFICACY LUMINAIRES.

EACH ROOM CONTAINING A WATER CLOSET SHALL HAVE AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICACY OF NOT LESS THAN 40 LUMENS PER WATT FOR 15 WATT OR SMALLER, 50 LUMENS PER WATT FOR 16 WATT-40WATT, & 60 LUMENS PER WATT FOR 40 WATT OR HIGHER. IF THERE IS MORE THAN ONE LUMINAIRE IN THE ROOM, THE HEIGHT EFFICACY LUMINAIRE SHALL BE SWITCHED AT AN ENTRANCE TO THE ROOM.

LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) BY UNDERWRITERS LABORATORIES OR OTHER APPROVED LABORATORIES

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: INSTALLATION OF FACTORY-BUILT AND MASONRY FIREPLACES SHALL INCLUDE:

- (A) CLOSABLE METAL OR GLASS DOORS
- (B) COMBUSTION AIR INTAKE (6 SQ. IN. MINIMUM) TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE. EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL.
- (C) A FLUE DAMPER WITH AN READILY ACCESSIBLE CONTROL. EXCEPTION: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

PLUMBING AND MECHANICAL NOTES:

AIR DUCTS SHALL BE NO 26 GA. GALVANIZED SHEET METAL OR A FIRE DAMPER PROVIDED WHEN THE DUCTS PENETRATE THE OCCUPANCY SEPARATION BETWEEN THE GARAGE AND THE HOUSE

SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE.

NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.

SIZE OF WATER CLOSETS, MAXIMUM ALLOWABLE 1.6 GALLONS PER FLUSH.

SHOWER & TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION, U.P.C. 4107.

DOORS & PANELS OF SHOWERS AND BATHTUBS ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.

TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.

SANITATION NOTES:

SHOWER STALL FINISH SHALL BE CERAMIC TILE EXTENDING 70 INCHES ABOVE THE DRAIN INLET

MOISTURE RESISTANT UNDERLAYMENT (e.g. WATER RESISTANT GYP. BD.) TO A HEIGHT OF 70 INCHES ABOVE THE DRAIN INLET U.B.C. 8067 1.3.

BEDROOM WINDOWS:

MIN. OPENABLE AREA TO BE 5.7 S.F., MIN WIDTH: 20" MIN HEIGHT: 24" AND MAX SILL HT. 44"

NOTES:

1. PROVIDE STAIRWAY IDENTIFICATION SIGNS AS PER CBC 1003.3.313
2. SMOKE ALARMS ARE REQUIRED IN ALL COMMON CORRIDORS. SEE FIRE ALARM SYSTEM PLAN FOR DETAILS & LOCATION.
3. SMOKE DETECTORS SHALL BE IN ALL BEDROOMS AND AREAS LEADING TO THEM.
4. ENVIRONMENTAL AIR DUCT EXHAUST W/ BACK DRAFT DAMPER SHALL TERMINATE 3 FEET MIN FROM PROPERTY LINE & BUILDING OPENING.
5. VENTING SYSTEMS SHALL TERMINATE NOT LESS THAN 4 FEET BELOW OR 4 FEET HORIZONTALLY FROM, AND NOT LESS THAN ONE FOOT ABOVE A DOOR, AN OPENABLE WINDOW OR A GRAVITY AIR INLET INTO A BUILDING. VENTING SYSTEMS SHALL TERMINATE AT LEAST 3 FEET ABOVE AN OUTSIDE - OR MAKE UP - AIR INLET LOCATED WITHIN 10 FEET AND AT LEAST 4 FEET FROM A PROPERTY LINE, EXCEPT A PUBLIC WAY.



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE WWW.SIACONSULT.COM

SHEET TITLE

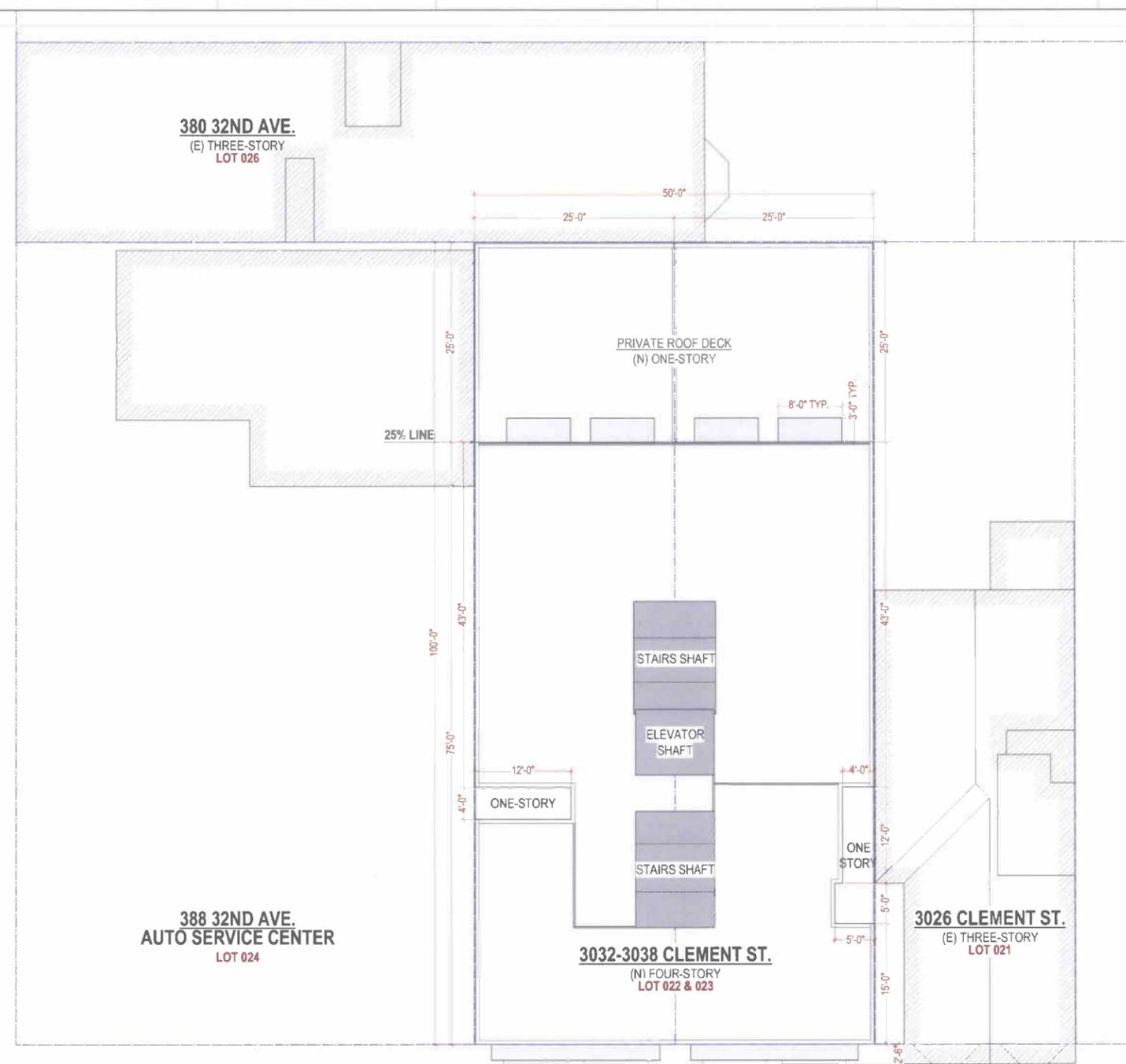
Proposed Site Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN	R.K.
DRAWN	R.L.
DATE	05/29/2012
REVISED DATE	01/31/2014
JOB NO.	12-1526
SHEET NO.	A-1.2



32nd Avenue

(E) 15' SIDEWALK

(E) 15' SIDEWALK

(E) 15' SIDEWALK



Clement Street

Proposed Site Plan

1/8" = 1'-0"

BLOCK & LOT: 1402-022 & 023

PROPERTY LINE:

OUTLINE OF SUBJECT BUILDING:

OUTLINE OF NEIGHBORS BUILDING:



PROJECT NAME
3032-3038 Clement St
 SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 922.0200
 FAX: (415) 922.0203
 WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE
Existing / Demo
First Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

DRAWN R.L.

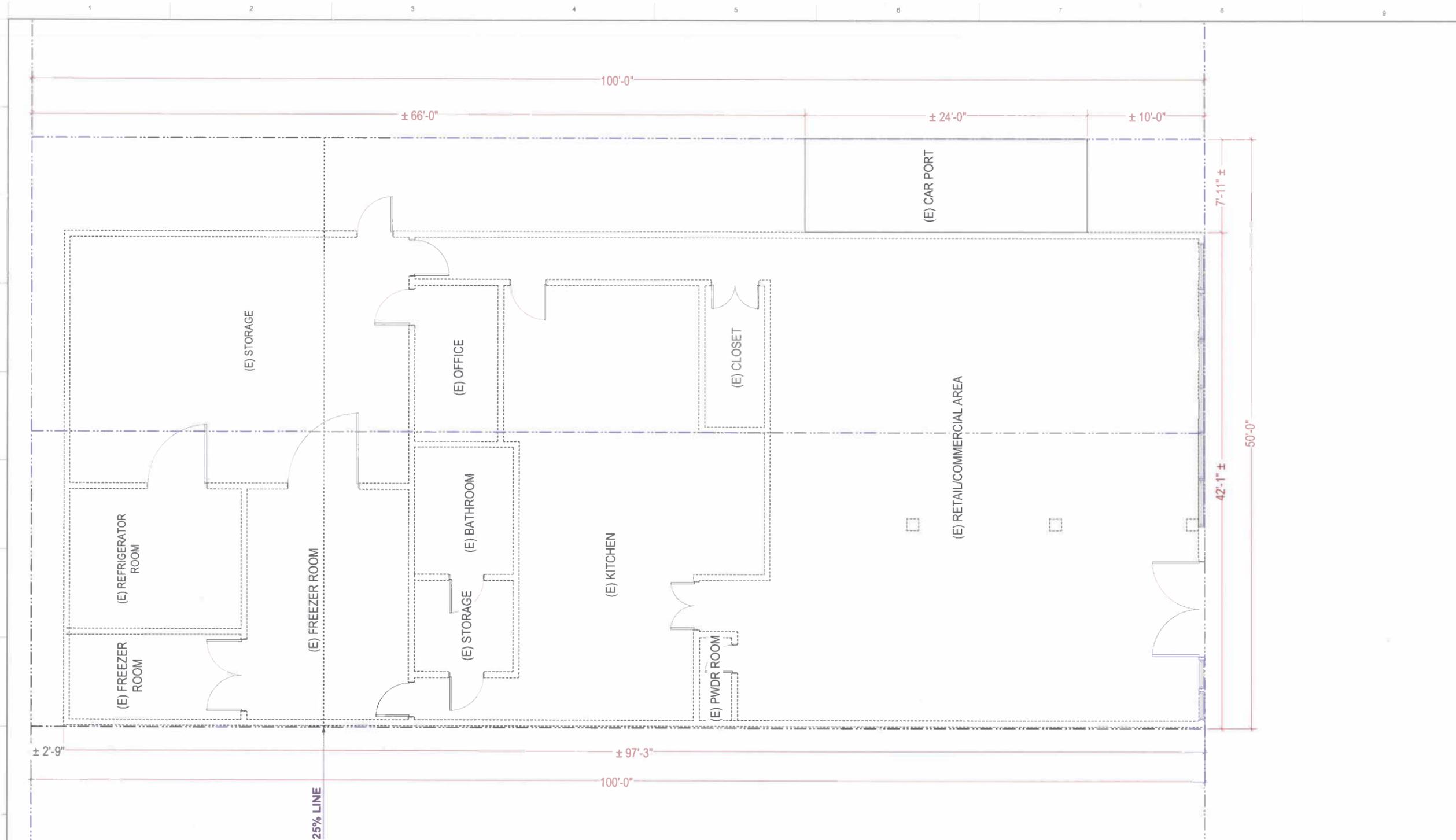
DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.

A-2.0



Existing / Demo First Floor Plan

1/4" = 1'-0"



FLOOR LEVEL		EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL
1ST FLOOR	COMMERCIAL	3,940 ± S.F. (TO BE DEMO)	914 ± S.F.	4,848 ± S.F.
	GARAGE	191 ± S.F. (1 CARPORT TO BE DEMO)	2,942 ± S.F. (FOR 6 SPACES)	
	COMMON AREA (ELEV., STAIRWAY, ETC)	N/A	992 ± S.F.	

(CD)	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
(SD)	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	1-HR. FIRE RATED WALL
---	EXISTING WALLS TO BE REMOVED



**Proposed
 First Floor Plan**

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

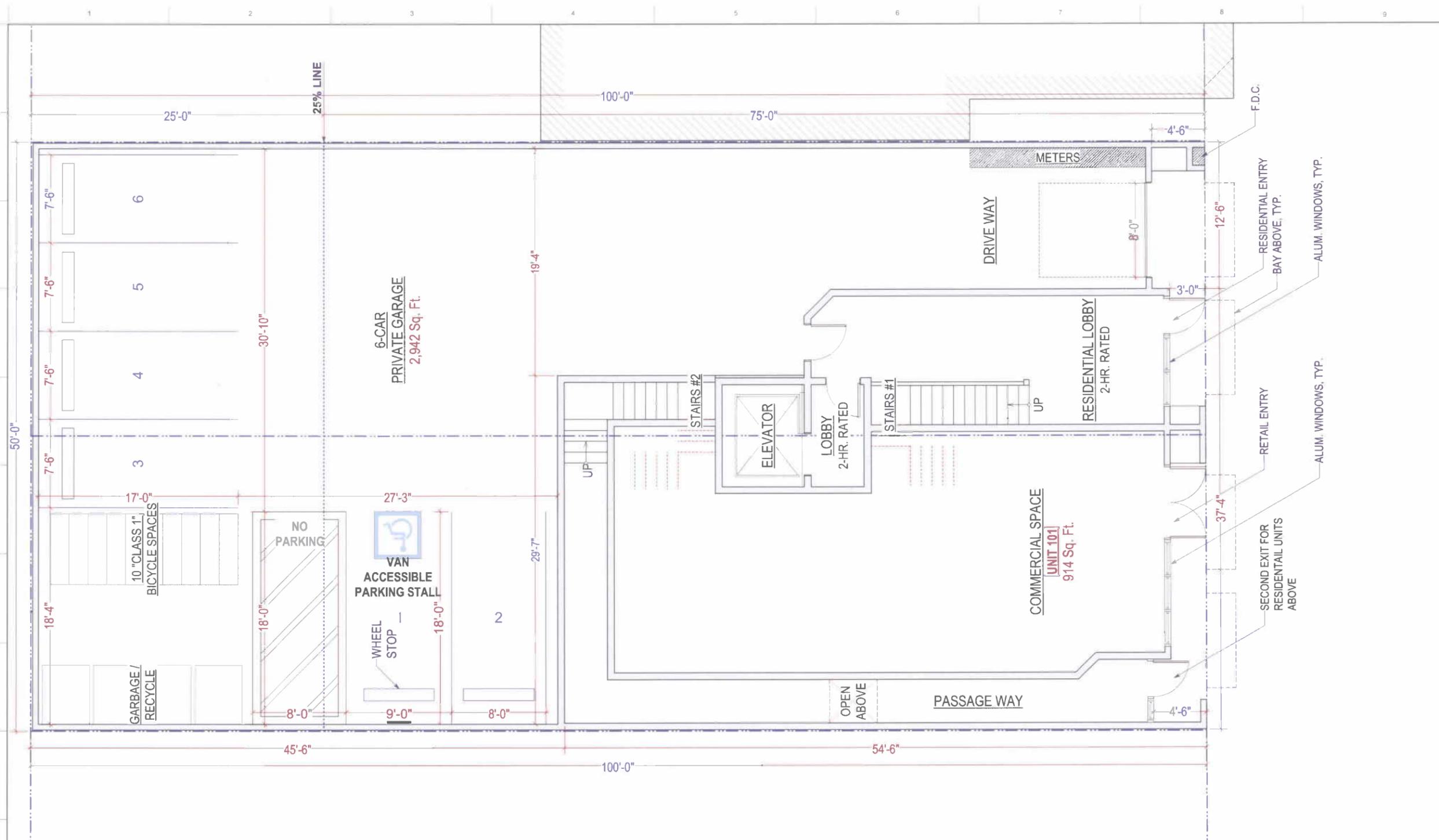
DRAWN R.L.

DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.
A-2.1



Proposed First Floor Plan

1/4" = 1'-0"



FLOOR LEVEL	EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL
1ST FLOOR	COMMERCIAL 3,940 ± S.F. (TO BE DEMO)	914 ± S.F.	4,848 ± S.F.
	GARAGE 191 ± S.F. (1 CARPORT TO BE DEMO)	2,942 ± S.F. (FOR 6 SPACES)	
	COMMON AREA (ELEV., STAIRWAY, ETC) N/A	992 ± S.F.	

Ⓢ	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
Ⓢ	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
==	1-HR. FIRE RATED WALL



**Proposed
 Second Floor Plan**

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

DRAWN R.L.

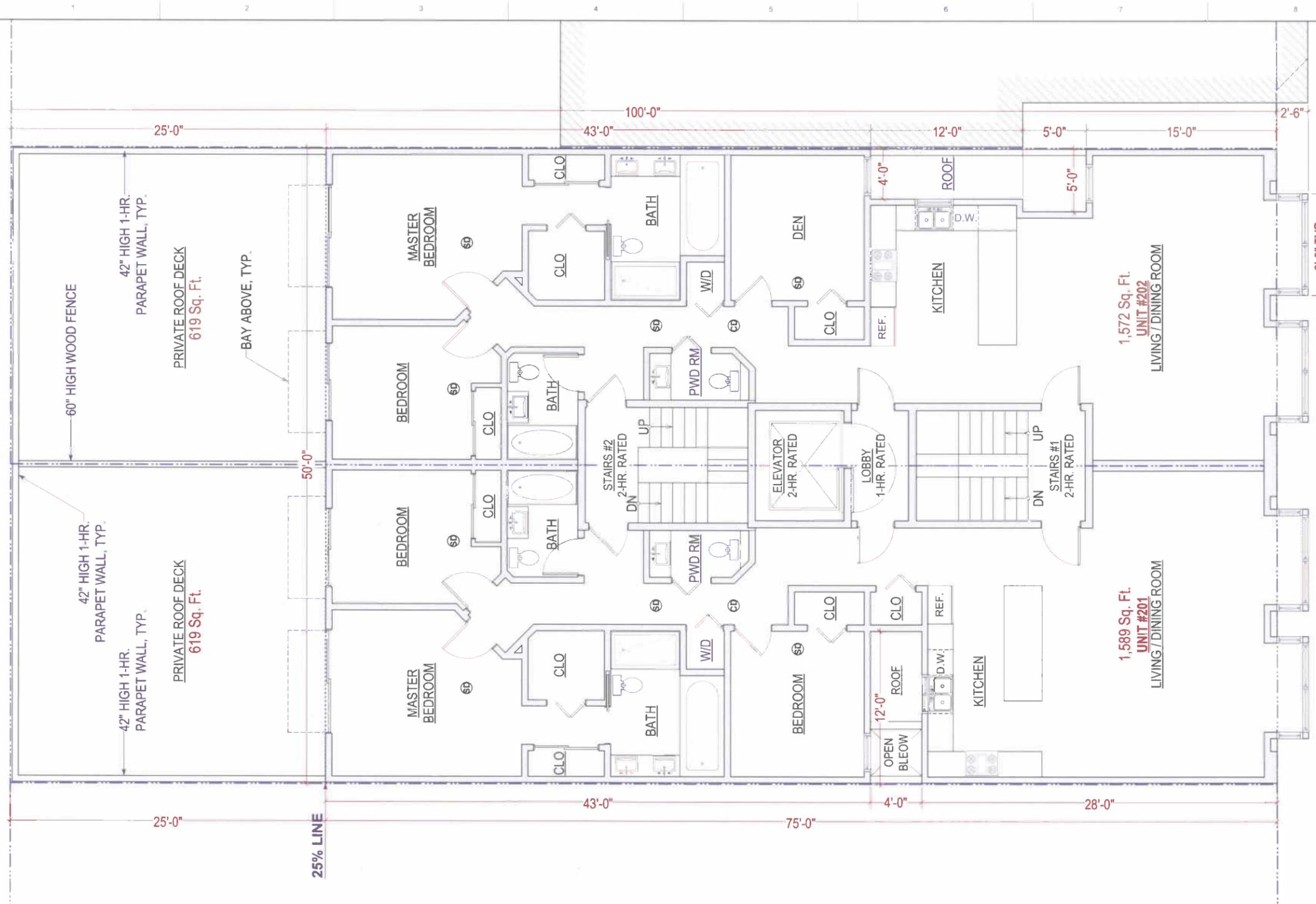
DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.

A-2.2



Proposed Second Floor Plan

1/4" = 1'-0"



FLOOR LEVEL	EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL
2ND FLOOR	UNIT 201 (3-BEDROOM)	N/A	1,589 ± S.F.
	UNIT 202 (2-BEDROOM)	N/A	1,572 ± S.F.
	COMMON AREA (ELEV., STAIRWAY, ETC)	N/A	376 ± S.F.
			3,537 ± S.F.

Ⓢ	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
Ⓢ	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
==	1-HR. FIRE RATED WALL



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 922 0200
 FAX: (415) 922 0203
 WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Proposed Third Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

DRAWN R.L.

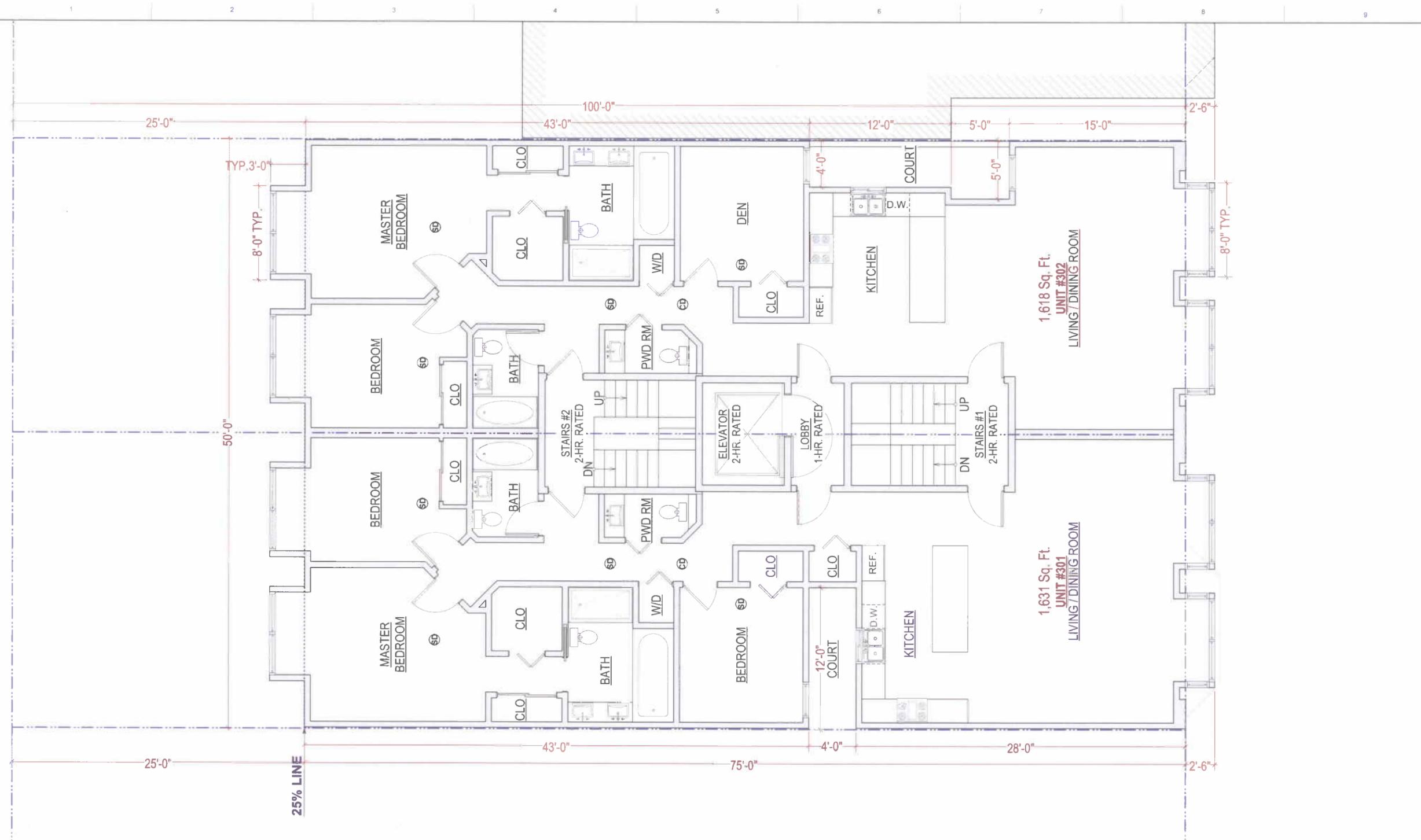
DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.

A-2.3



Proposed Third Floor Plan
 1/4" = 1'-0"

FLOOR LEVEL	EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL
3RD FLOOR	UNIT 301 (3-BEDROOM)	N/A	1,631 ± S.F.
	UNIT 302 (2-BEDROOM)	N/A	1,618 ± S.F.
	COMMON AREA (ELEV., STAIRWAY, ETC)	N/A	376 ± S.F.
			3,625 ± S.F.

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
	PROPERTY LINE
	1-HR. FIRE RATED WALL



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 922.0200
 FAX: (415) 922.0203
 WEBSITE WWW.SIACONSULT.COM

SHEET TITLE

Proposed Fourth Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

DRAWN R.L.

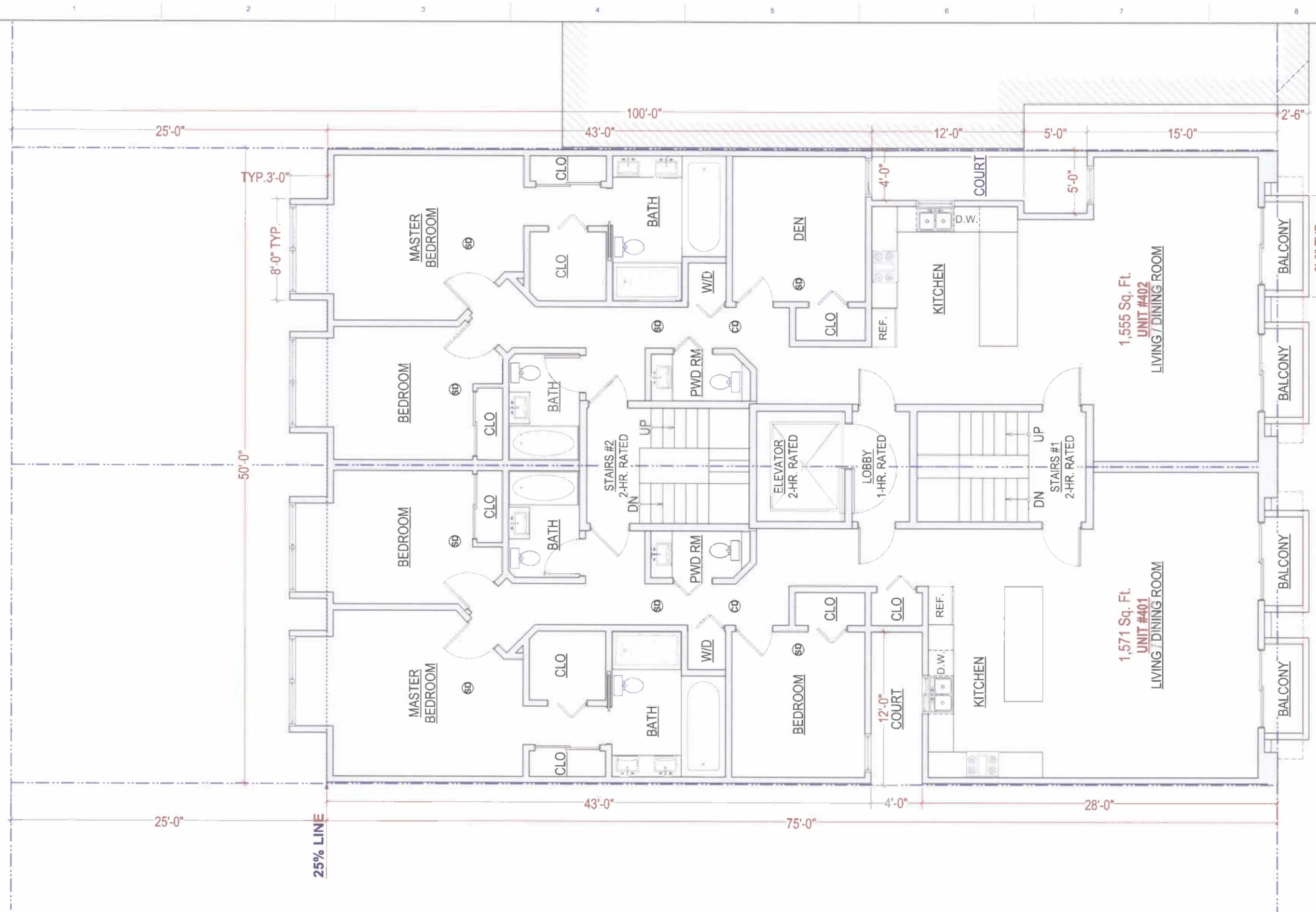
DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.

A-2.4



Proposed Fourth Floor Plan

1/4" = 1'-0"



FLOOR LEVEL	EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL
4TH FLOOR	UNIT 401 (3-BEDROOM)	N/A	1,571 ± S.F.
	UNIT 402 (2-BEDROOM)	N/A	1,555 ± S.F.
	COMMON AREA (ELEV., STAIRWAY, ETC)	N/A	376 ± S.F.
			3,502 ± S.F.

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
	PROPERTY LINE
	1-HR. FIRE RATED WALL



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 922.0200
 FAX: (415) 922.0203
 WEBSITE WWW.SIACONSULT.COM

SHEET TITLE

**Proposed
 Roof Plan**

These documents are property of SIA CONSULTING and are not to be produced, changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

DRAWN R.L.

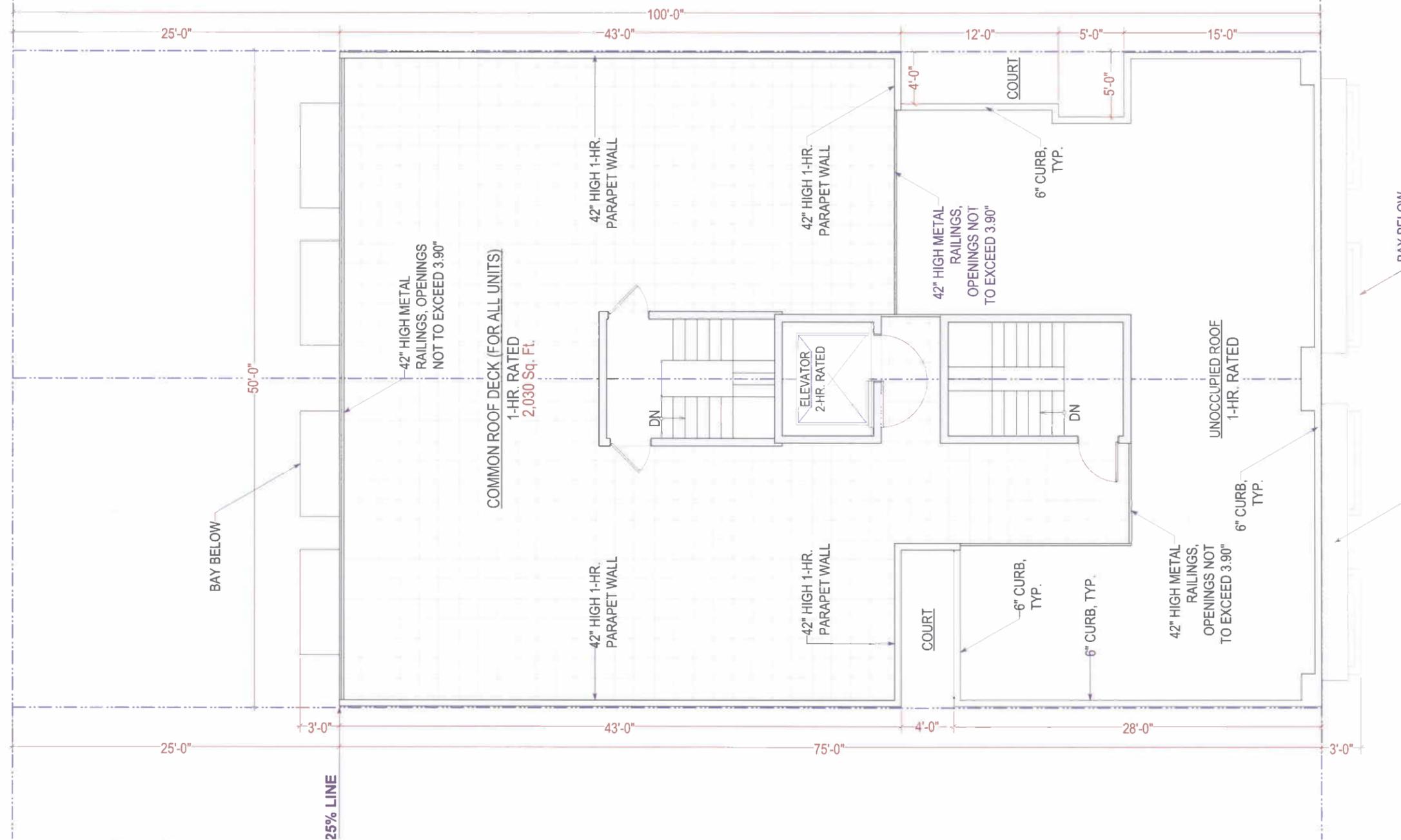
DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.

A-2.5



Proposed Roof Plan

1/4" = 1'-0"



OPEN SPACE CALCULATION	
REQ'D COMMON OPEN SPACE	133 S.F. / UNIT
TOTAL # OF UNITS WITH NO PRIVATE OPEN SPACE	4
TOTAL REQ'D COMMON OPEN SPACE	532 S.F.
TOTAL PROPOSED COMMON OPEN SPACE	2,030 S.F.



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Building Elevation

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

DRAWN R.L.

DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.

A-3.1



Proposed Front Elevation (Clement Street)
1/4" = 1'-0"

GROUND FLOOR TRANSPARENCY CALC.:
STREET FRONTAGE: 37.3' X 10.5' = 392 SQ. FT.
60% OF AREA OF RETAIL FRONTAGE: 235 SQ. FT.
TOTAL AREA OF TRANSPARENCY:
(5' X 9') + (15' X 9') + (9' X 9') = 261 SQ. FT.
261 SQ. FT. > 235 SQ. FT. (IT'S MORE THAN 60%)



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL (415) 922 0200
 FAX: (415) 922 0203
 WEBSITE WWW.SIACONSULT.COM

SHEET TITLE

Building Elevation

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN	R.K.
DRAWN	R.L.
DATE	05/29/2012
REVISED DATE	01/31/2014
JOB NO.	12-1526
SHEET NO.	

A-3.2



Proposed Rear Elevation (North)
 1/4" = 1'-0"

PROJECT NAME
3032-3038 Clement St
 SAN FRANCISCO, CA

SIA
 CONSULTING CORPORATION

SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL (415) 922 0200
 FAX (415) 922 0203
 WEBSITE WWW.SIACONSULT.COM

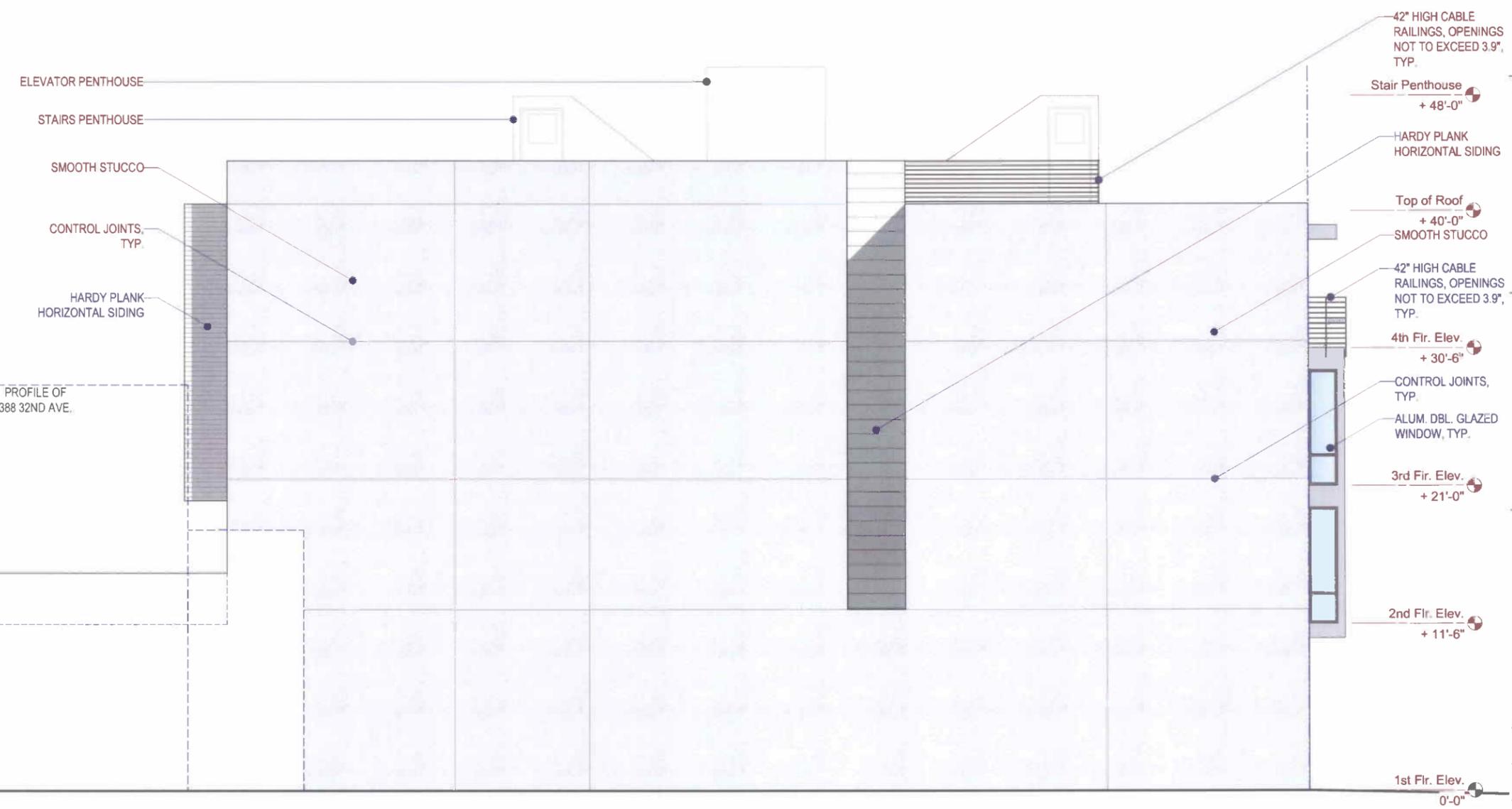
SHEET TITLE
Building Elevation

These documents are property of SIA CONSULTING and are not to be produced, changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN	R.K.
DRAWN	R.L.
DATE	05/29/2012
REVISED DATE	01/31/2014
JOB NO.	12-1526
SHEET NO.	A-3.3



Proposed Left Elevation (West)
 1/4" = 1'-0"

PROJECT NAME
3032-3038 Clement St
 SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 922 0200
 FAX: (415) 922 0203
 WEBSITE: WWW.SIACONSULT.COM

PROFILE OF
 380 32ND AVE

SHEET TITLE

Building Elevation

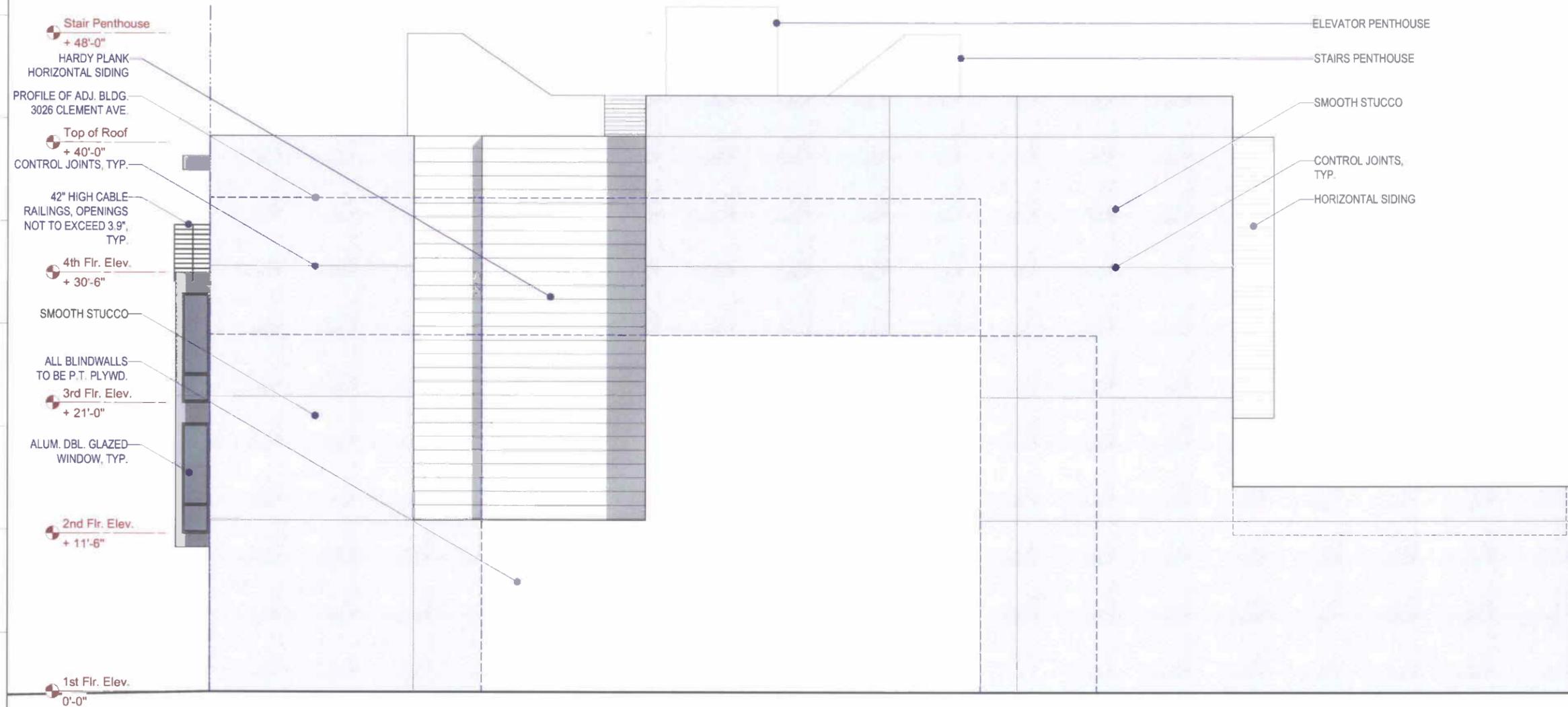
These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN	R.K.
DRAWN	R.L.
DATE	05/29/2012
REVISED DATE	01/31/2014
JOB NO.	12-1526
SHEET NO.	

A-3.4



Proposed Right Elevation (East)

1/4" = 1'-0"

PROJECT NAME

3032-3038 Clement St
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922 0200
FAX: (415) 922 0203
WEBSITE WWW.SIACONSULT.COM

SHEET TITLE

Building Section

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION

DESIGN R.K.

DRAWN R.L.

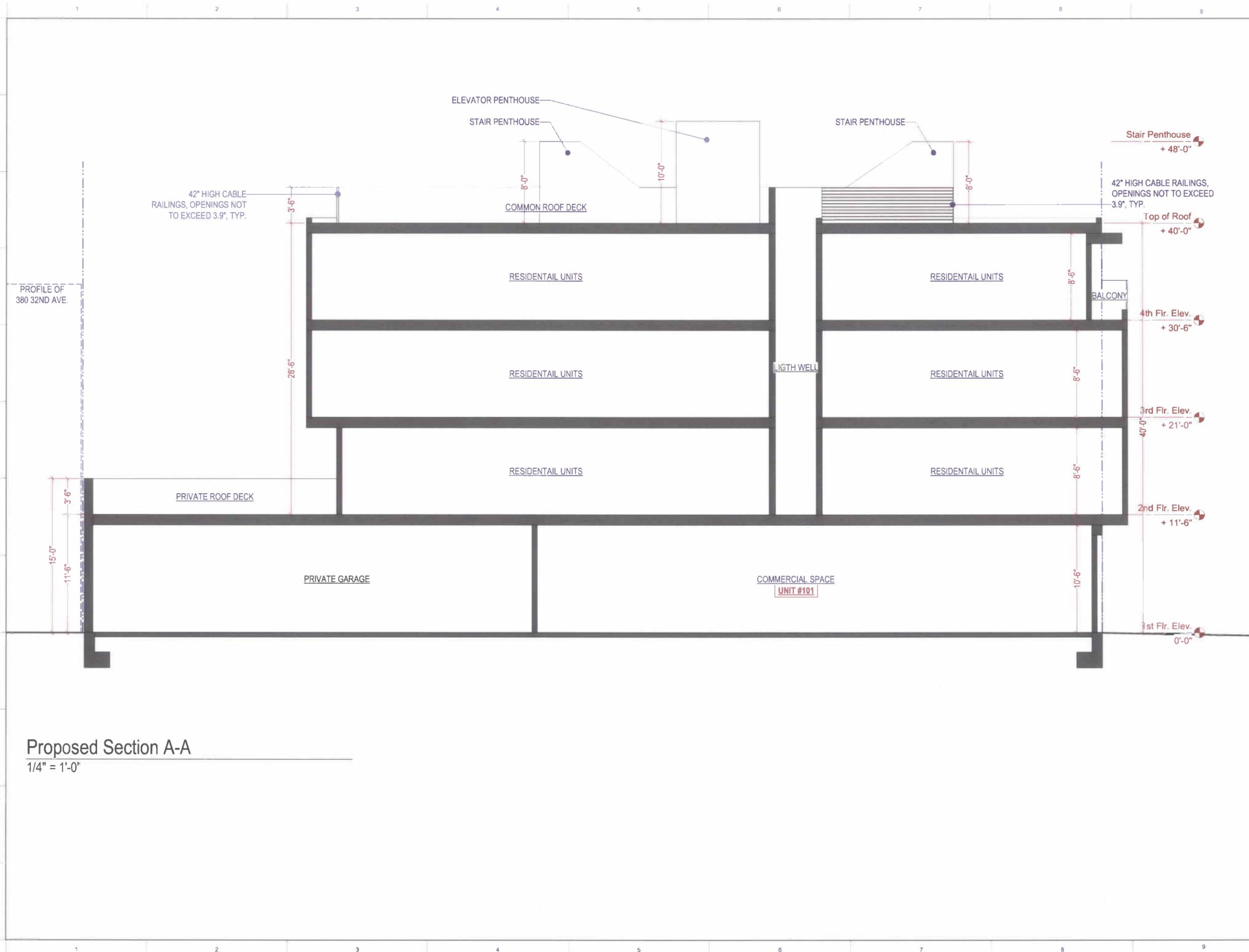
DATE 05/29/2012

REVISED DATE 01/31/2014

JOB NO. 12-1526

SHEET NO.

A-4.1



Proposed Section A-A

1/4" = 1'-0"

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 3032-3038 Clement St.	Block/Lot 1402- 022 & 023	Address 3032-3038 Clement St.
Gross Building Area 16,381 ± S.F.	Primary Occupancy RH-2	Design Professional/Applicant: Sign & Date Sia Tahbazof
# of Dwelling Units 6	Height to highest occupied floor 40'-0"	Number of occupied floors 4

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines.	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management - Divert at least 65% of construction and demolition debris by complying with the San Francisco Construction & Demolition Debris Ordinance.	●

LEED PROJECTS						
Type of Project Proposed (Indicate at right)	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Type of Project Proposed (Indicate at right)		X				
Overall Requirements:						
LEED certification level (includes prerequisites):	SILVER	SILVER	SILVER	SILVER	SILVER	SILVER
Base number of required points:	50	2	50	50	50	50
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management - 75% Diversion LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 5 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Recycling by Occupants: Provide space for storage, collection, and loading of compost, recycling, and trash. Exceeds requirements of LEED MR prerequisite 1. See Administrative Bulletin 088 for details.	●	●	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSC4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207		●	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Type of Project Proposed (Check box if applicable)	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ¹
Recycling by Occupants: Provide space for storage, collection, and loading of recycling, compost and trash. (13C.5.410.1, et al) - See Administrative Bulletin 088 for details.	●	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSC4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	(Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.3
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CAT24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management - Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 5 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	●
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

PROJECT NAME
3032-3038 Clement St
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL (415) 922.0200
FAX (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Green Building Checklist

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS		
NO	DATE	DESCRIPTION
	01/31/2014	PLANNING REVISION
DESIGN		R.K.
DRAWN		R.L.
DATE	05/29/2012	
REVISED DATE	01/31/2014	
JOB NO.	12-1526	
SHEET NO.		G-0.1