



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: MARCH 14TH, 2013

Date: March 7th, 2013
Case No.: 2012.1307CV
Project Address: 1270 SANCHEZ STREET
Zoning: RH-2 (Residential, House, Two-Family) Zoning District and
40-X Height and Bulk District.
Block/Lot: 6553/001
Project Sponsor: Kristin Sachen
Bethany United Methodist Church
P. O. Box 31130
San Francisco, CA 94131
Staff Contact: Tom Wang – (415) 558-6335
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PROJECT DESCRIPTION

Within the RH-2 Zoning District, the Project includes the following work:

- (A) The Project Sponsor seeks Conditional Use Authorization, pursuant to Planning Code Sections 209.3(f) and 303, to establish a child-care facility (d.b.a. Moldovan Academy), providing less than 24-hour care for 15 or more and up to a maximum of 45 children, at the Bethany United Methodist Church, 1270 Sanchez Street. Based upon the Project Sponsor's statement, the proposed child-care facility would be allowed to accommodate up to a maximum of 45 children, according to its total square feet of the outdoor activity areas and the restroom capacity of the restroom under the Child Care Center General Licensing Requirements of the State of California.

The Bethany United Methodist Church received a major interior and exterior renovation, which was completed in June 2012. The proposed child-care facility would be located on the southern end of the church and occupy the existing 1,123 square feet fellowship hall and the 242 square feet nursery on the second floor. The fellowship hall and the nursery are not in use by the congregation during the weekdays. It would include the use of the kitchen and the women's restroom on the second floor. The proposed child-care facility will have access to outdoor activity areas, including a courtyard, approximately 851 square feet, on the second floor and a second one, approximately 430 square feet, on the third floor. The proposed child-care facility's operating hours would be from 7:30 a.m. to 6:00 p.m. Mondays through Fridays, serving children from two and a half years to six years old. Five staff members would manage the daily child-care operation. The Project Sponsor expects the proposed child-care facility to typically provide care for 25 to 35 children and up to a maximum of 45 children throughout the day. The children's arrival and departure times will be staggered. Drop-off times for children will be between 7:30 a.m. and 9 a.m. and pick-up times for children will be between 4:30 p.m. to 6 p.m. The Project Sponsor has applied for a white passenger loading zone,

accommodating two parking spaces, on Sanchez Street in front of the entrance to the proposed child-care facility. Furthermore, the operator will be required to obtain a license issued by the State of California and adhere to the Child Care Center General Licensing Requirements of the State of California.

- (B) The Project Sponsor seeks an off-street parking variance, pursuant to Planning Code Sections 151 and 153, to establish a child-care facility providing less than 24-hour care for 15 or more and up to a maximum of 45 children without including a minimum of two required off-street parking spaces on the Subject Property.

The Project Sponsor has submitted a Variance Application No. 2012.1307CV for the required minimum of two off-street parking spaces. The Zoning Administrator will hold a public hearing on the requested variance while the Planning Commission will consider Conditional Use Application.

SITE DESCRIPTION AND PRESENT USE

The Subject Property is on the southwest corner of Sanchez and Clipper streets; Lot 001 in Assessor's Block 6553 within the RH-2 (Residential, House Two-Family) Zoning District and a 40-X Height and Bulk District. The Subject Property, a rectangular shaped lot, has 114 feet of frontage on Sanchez Street and 80 feet of frontage on Clipper Street and contains an area of 9,120 square feet. The Subject Property is developed with a religious institution, the Bethany United Methodist Church. The current church occupies the entire lot and contains a gross floor area of approximately 10,446 square feet. Based upon the Historical Resource Evaluation, the Bethany United Methodist Church, which was constructed circa 1907, is a Victorian era church with Gothic Revival decorative elements.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The proposed child-care facility, at the Bethany United Methodist Church, is in the Noe Valley neighborhood. The surrounding residential neighborhood, which is predominantly in the RH-2 zoning district, contains mostly two-story, single-family dwellings with a consistent visual continuity in terms of scale, materials and age. There is a row of Victorian cottages with Stick detailing, constructed circa 1890, fronting on Clipper Street located west of the Subject Property. The adjacent lot to the south of contains a two-story, single-family dwelling.

ENVIRONMENTAL REVIEW STATUS

The Application was determined by the San Francisco Planning Department to be exempt from environmental review, as a Class 1 categorical exemption, pursuant to California Environmental Quality Act (CEQA) Guidelines.

HEARING NOTIFICATION REQUIREMENTS

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	February 22 nd , 2013	February 20 th , 2013	22 days
Posted Notice	20 days	February 22 nd , 2013	February 22 nd , 2013	20 days
Mailed Notice	10 days	March 1 st , 2013	March 1 st , 2013	10 days

The Project requires a Notice of Building Permit Application under Planning Code Section 311, which was performed in conjunction with the notice of conditional use authorization.

PUBLIC COMMENT

- The Department is not aware of any opposition to the Project.
- The Department has received numerous letters and e-mails from neighborhood residents, who all expressed support for the Project.

ISSUES AND OTHER CONSIDERATIONS

- The proposed child-care facility will not include any exterior or interior alterations to the Bethany United Methodist Church, which has already received a major interior and exterior renovation, completed in June 2012. The Project; therefore, will not cause any physical impacts upon light and air to the surrounding residential properties. The proposed child-care facility, which will occupy existing under-utilized space in the church, including the fellowship hall and the nursery, will be a compatible use with the surrounding residential neighborhood.

The Project will be a vital development that is both desirable and necessary for children not yet reaching school age in the Noe Valley neighborhood. There are no other child-care facilities currently available on the subject block or the adjacent blocks. The Project Sponsor stated that approximately 80 families in the Noe Valley community had already registered their interest with the operator of the proposed child-care facility.

- The proposed child-care facility for 15 or more and up to a maximum of 45 children would be required to provide a minimum of two off-street parking spaces on the Subject Property, pursuant to Planning Code Sections 151 and 153. The Project would not propose any required off-street parking space and therefore, an off-street parking variance is required. The Zoning Administrator will hold a public hearing on Variance Application while the Planning Commission will consider Conditional Use Application.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant conditional use authorization to allow the following work to be performed at the Subject Property within the RH-2 Zoning District:

The establishment of a child-care facility providing less than 24-hour care for 15 or more children within an RH-2 Zoning District, pursuant to Planning Code Section 209.3(f).

BASIS FOR RECOMMENDATION

The Department believes the proposed child-care facility is necessary and/or desirable, and compatible with the neighborhood under Section 303 of the Planning Code for the following reasons:

- (1) It is not a Formula Retail use but rather an independently owned business;
- (2) It will be a compatible use with the surrounding residential neighborhood;
- (3) It is designed to mainly serve children not yet reaching school age in the Noe Valley neighborhood;
- (4) It is well served by public transit and should have a negligible impact upon the current traffic pattern on the surrounding streets;

- (5) It will create five job openings for city residents;
- (6) It complies with the maximum number of children permitted under the Child Care Center General Licensing Requirements of the State of California.

RECOMMENDATION: Approve with Conditions

Attachments:

Draft Motion
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Site Photographs
Reduced Plans

Exhibit Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input checked="" type="checkbox"/> Letters of Project Support / Opposition |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> Community Meeting Notice |
| <input checked="" type="checkbox"/> Aerial Photo | |
| <input checked="" type="checkbox"/> Context Photos | |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

T.C.W.

Planner's Initials

TCW: U:\TWANG\WP51\MOTIONS\1270 Sanchez Street Executive Summary.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Motion No. XXXXX

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 209.3(f) AND 303 TO ALLOW A CHILD-CARE FACILITY (D.B.A. MOLDOVAN ACADEMY), PROVIDING LESS THAN 24-HOUR CARE FOR FIFTEEN OR MORE CHILDREN, AT THE BETHANY UNITED METHODIST CHURCH, WITHIN THE RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On October 12th, 2012, Kristin Sachen (hereinafter "Project Sponsor"), filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization, pursuant to Planning Code Sections 209.3(f) and 303, to establish a child-care facility (d.b.a. Moldovan Academy), providing less than 24- hour care for 15 or more and up to a maximum of 45 children, at an existing religious institution – the Bethany United Methodist Church, 1270 Sanchez Street; Assessor's Lot 001 in Block 6553 (hereinafter "Subject Property") within the RH-2 (Residential, House, Two-Family) Zoning District and a 40-X Height and Bulk District.

On March 14th, 2013, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2012.1307CV (hereinafter "Application") while the Zoning Administrator considered Variance Application No. 2012.1307CV.

The Application was determined by the San Francisco Planning Department to be exempt from environmental review, as a Class 1 categorical exemption, pursuant to California Environmental Quality Act (CEQA) Guidelines.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2012.1307CV, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Subject Property is on the southwest corner of Sanchez and Clipper streets; Lot 001 in Assessor's Block 6553 within the RH-2 (Residential, House Two-Family) Zoning District and a 40-X Height and Bulk District. The Subject Property, a rectangular shaped lot, has 114 feet of frontage on Sanchez Street and 80 feet of frontage on Clipper Street and contains an area of 9,120 square feet. The Subject Property is developed with a religious institution, the Bethany United Methodist Church. The current church occupies the entire lot and contains a gross floor area of approximately 10,446 square feet. Based upon the Historical Resource Evaluation, the Bethany United Methodist Church, which was constructed circa 1907, is a Victorian era church with Gothic Revival decorative elements.
3. **Surrounding Properties and Neighborhood.** The proposed child-care facility, at the Bethany United Methodist Church, is in the Noe Valley neighborhood. The surrounding residential neighborhood, which is predominantly in the RH-2 zoning district, contains mostly two-story, single-family dwellings with a consistent visual continuity in terms of scale, materials and age. There is a row of Victorian cottages with Stick detailing, constructed circa 1890, fronting on Clipper Street located west of the Subject Property. The adjacent lot to the south of contains a two-story, single-family dwelling.
4. **Project Description.** Within the RH-2 Zoning District, the Project includes the following work:

- (A) The Project Sponsor seeks Conditional Use Authorization, pursuant to Planning Code Sections 209.3(f) and 303, to establish a child-care facility (d.b.a. Moldovan Academy), providing less than 24-hour care for 15 or more and up to a maximum of 45 children, at the Bethany United Methodist Church, 1270 Sanchez Street. Based upon the Project Sponsor's statement, the proposed child-care facility would be allowed to accommodate up to a maximum of 45 children, according to its total square feet of the outdoor activity areas and the restroom capacity of the restroom under the Child Care Center General Licensing Requirements of the State of California.

The Bethany United Methodist Church received a major interior and exterior renovation, which was completed in June 2012. The proposed child-care facility would be located on the southern end of the church and occupy the existing 1,123 square feet fellowship hall and the 242 square feet nursery on the second floor. The fellowship hall and the nursery are not in use by the congregation during the weekdays. It would include the use of the kitchen and the women's restroom on the second floor. The proposed child-care facility will have access to outdoor activity areas, including a courtyard, approximately 851 square feet, on the second floor and a second one, approximately 430 square feet, on the third floor. The proposed child-care facility's operating hours would be from 7:30 a.m. to 6:00 p.m. Mondays through Fridays, serving children from two and a half years to six years old. Five staff members would manage the daily child-care operation. The Project Sponsor expects the proposed child-care facility to typically provide care for 25 to 35 children and up to a maximum of 45 children throughout the day. The children's arrival and departure times will be staggered. Drop-off times for children will be between 7:30 a.m. and 9 a.m. and pick-up times for children will be between 4:30 p.m. to 6 p.m. The Project Sponsor has applied for a white passenger loading zone, accommodating two parking spaces, on Sanchez Street in front of the entrance to the proposed child-care facility. Furthermore, the operator will be required to obtain a license issued by the State of California and adhere to the Child Care Center General Licensing Requirements of the State of California.

- (B) The Project Sponsor seeks an off-street parking variance, pursuant to Planning Code Sections 151 and 153, to establish a child-care facility providing less than 24-hour care for 15 or more and up to a maximum of 45 children without including a minimum of two required off-street parking spaces on the Subject Property.

The Project Sponsor has submitted a Variance Application No. 2012.1307CV for the required minimum of two off-street parking spaces. The Zoning Administrator will hold a public hearing on the requested variance while the Planning Commission will consider Conditional Use Application.

5. **Public Comment.** The Department is not aware of any opposition to the Project. The Department received numerous letters and e-mails sent by the residents from the surrounding neighborhood, who all expressed support for the Project.

The Project Sponsor also provided the following statement: "The Bethany congregation has conducted substantial community outreach regarding the proposed child-care facility. The Public was invited to come see the facility at a community open house on September 15th, 2012,

and the proposed venture with Moldovan Academy has been advertised three times in the Noe Valley Voice (a local newspaper) as well as in news articles about the re-opening of Bethany UMC. The community has enthusiastically responded to the possibility of additional local preschool slots at Bethany UMC. The congregation has received no negative verbal or written comments about the proposal from the Public.”

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Institutions – Child-Care Facility.** Planning Code Section 209.3(f) requires Conditional Use authorization for child-care facilities providing less than 24 hour care for 15 or more children by licensed personnel and meeting the open space and other requirements of the State of California within the RH-2 Zoning District.

The Project Sponsor seeks Conditional Use authorization to establish a child-care facility providing less than 24-hour care for 15 or more and up to a maximum of 45 children within the RH-2 Zoning District.

- B. **Off-Street Parking.** Planning Code Section 151 requires one off-street parking space for each 25 children to be accommodated at any one time, where the number of such children exceeds 24. Planning Code 153 provides Rule for Calculation for Required Spaces.

The proposed child-care facility for 15 or more and up to a maximum of 45 children would be required to provide a minimum of two off-street parking spaces on the Subject Property, pursuant to Planning Code Sections 151 and 153. The Project would not include any required off-street parking space, which would be subject to an off-street parking variance. The Project Sponsor has submitted a Variance Application No. 2012.1307CV. The Zoning Administrator will hold a public hearing on Variance Application while the Planning Commission will consider Conditional Use Application.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the Project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project will not include any exterior or interior alterations to the current Bethany United Methodist Church, which has received a major renovation completed approximately in June 2012. The Project therefore, will not cause any physical impacts upon light and air to the surrounding residential properties. The proposed child-care facility, which will occupy existing under-utilized church facilities, including a fellowship hall and a nursery, will be a compatible use with the surrounding residential neighborhood.

The Project will be a vital development that is both desirable and necessary for children not yet reaching school age in the Noe Valley neighborhood. There are no other child-care facilities currently available on the subject block or the adjacent blocks and approximately 80 families in the Noe Valley community have already registered their interest with the operator of the proposed child-care facility, as described by the Project Sponsor.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. The nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity since it does not involve any alteration to the exterior of the current Bethany United Methodist Church.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Subject Property is in an established residential neighborhood that is well served by public transit, including 24th Street and Castro-Divisadero Muni Bus Lines and J-Streetcar within one to two blocks of the Subject Property. Additionally, the proposed child-care facility is intended to meet the needs of the residents in the immediate neighborhood and should not generate significant amounts of vehicular trips citywide. The Project Sponsor has applied for a white passenger loading zone, accommodating two parking spaces, on Sanchez Street in front of the child-care facility's entrance.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will not cause any noxious or offensive emissions such as noise, glare, dust and odor.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project will not include any change to the existing, landscaping or lighting. Proposed signage for the Project will be subject to the review and approval of the Planning Department.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

11. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

The Project would enhance the living and working environment in the City by providing needed child-care services for residents and workers within the City. The Project would also need to comply with State licensing requirements for child-care facilities further minimizing possible undesirable consequences from such a use.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

Policy 3:

Maintain a favorable social cultural climate in the city in order to enhance its attractiveness as a firm location.

The Project will enhance a sound and diverse economic base for the City.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

The Project will create approximate five employment opportunities for San Francisco residents.

GOVERNMENT, HEALTH AND EDUCATION SERVICES

Objectives and Policies

OBJECTIVE 7:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENT, HEALTH, AND EDUCATIONAL SERVICES.

Policy 7.2:

Encourage the extension of needed health and educational services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

The proposed child-care facility will offer educational services to pre-school children of San Francisco residents. No exterior alteration will be proposed to the existing Bethany United Methodist Church grounds. The proposed child-care facility's activities will take place either indoors or at an open court yard in the center of the church, which will result in little or no impact on adjacent residential areas.

12. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

No neighborhood-serving retail use would be affected by the Project.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project will not include any alteration to the exterior of the Bethany United Methodist Church therefore; it will not adversely affect existing housing or neighborhood character.

- C. That the City's supply of affordable housing be preserved and enhanced,

No affordable housing will be removed as a result of this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Due to the nature of the Project, there should be no anticipated adverse effects upon MUNI service or on neighborhood parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

Approval of this Project will not adversely affect any industrial or service sector jobs rather it will create new service sector employment opportunities for workers of that sector.

- F. That the City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will not affect the Subject Property's ability to withstand an earthquake. The Project will not include either exterior or interior work at the Bethany United Methodist Church.

- G. That landmarks and historic buildings be preserved.

No designated landmarks or historic buildings will be adversely affected by the Project.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not adversely affect existing parks and open spaces and their access to sunlight and vistas because it will not include any alteration to the exterior of the current Bethany United Methodist Church.

13. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
14. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2012.1307CV** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. 18449. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 14th, 2013.

Jonas P. Ionin
Acting Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: March 14th, 2013

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a child-care facility (d.b.a. Moldovan Academy), providing less than 24- hour care for 15 or more and up to a maximum of 45 (forty five) children, at an existing religious institution – the Bethany United Methodist Church, 1270 Sanchez Street; Assessor's Lot 001 in Block 6553, pursuant to Planning Code Sections 209.3(f) and 303 in the RH-2 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated **January 25th, 2013**, and stamped "EXHIBIT B" included in the docket for Case No. **2012.1307CV** and subject to conditions of approval reviewed and approved by the Planning Commission on March 14th, 2013 under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on March 14th, 2013 under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the Project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Planning Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

MONITORING - AFTER ENTITLEMENT

3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

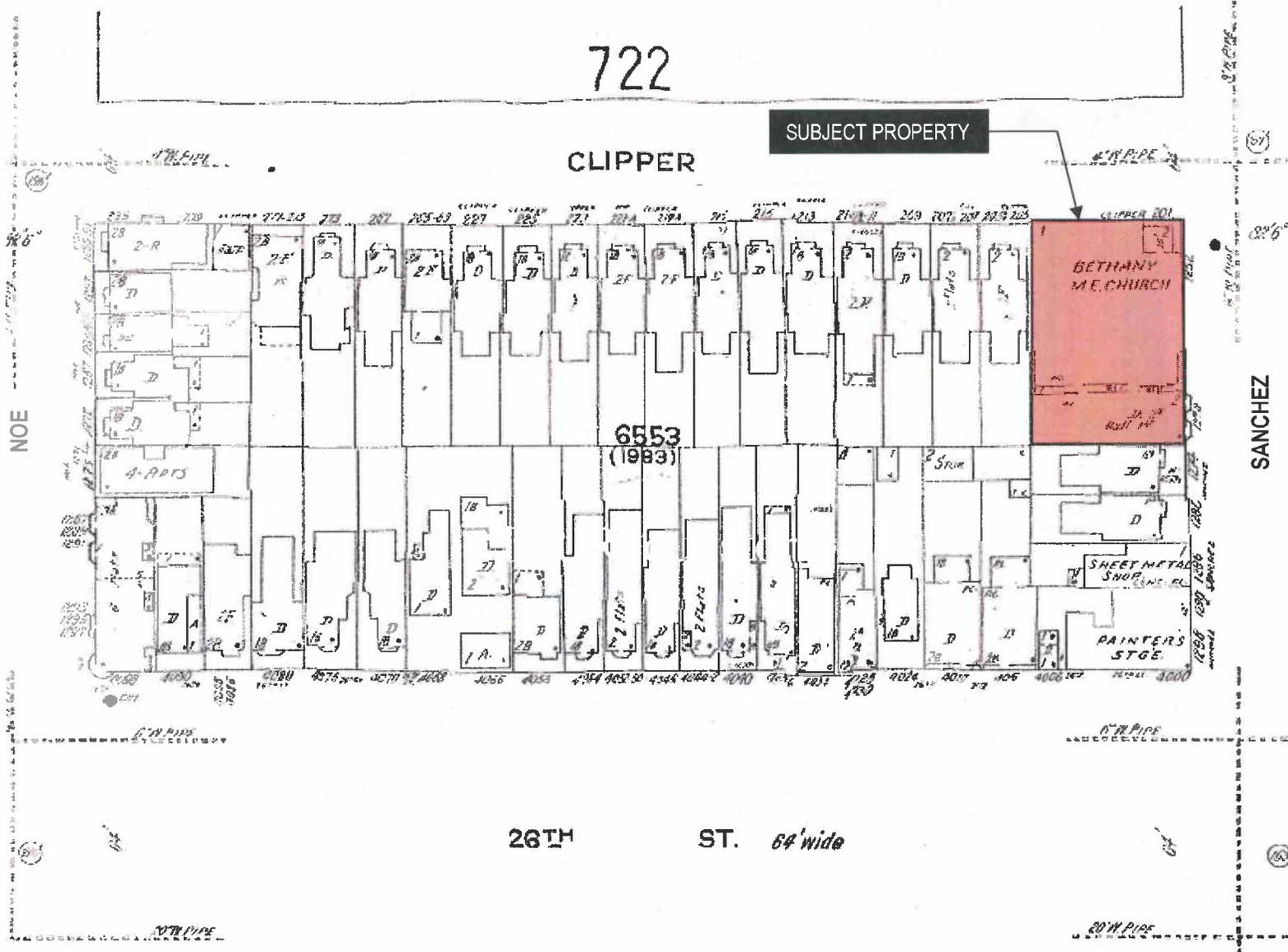
4. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Planning Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

5. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>
6. **Community Liaison.** Prior to issuance of a building permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with a written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
7. **Traffic Plan.** The Project Sponsor shall provide a traffic plan that will include a white passenger loading zone on Sanchez Street in front of the entrance to the proposed child-care facility. Additionally, crossing guard(s) shall monitor the passenger white passenger loading zone during morning pick-up and afternoon drop-off hours.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Sanborn Map*

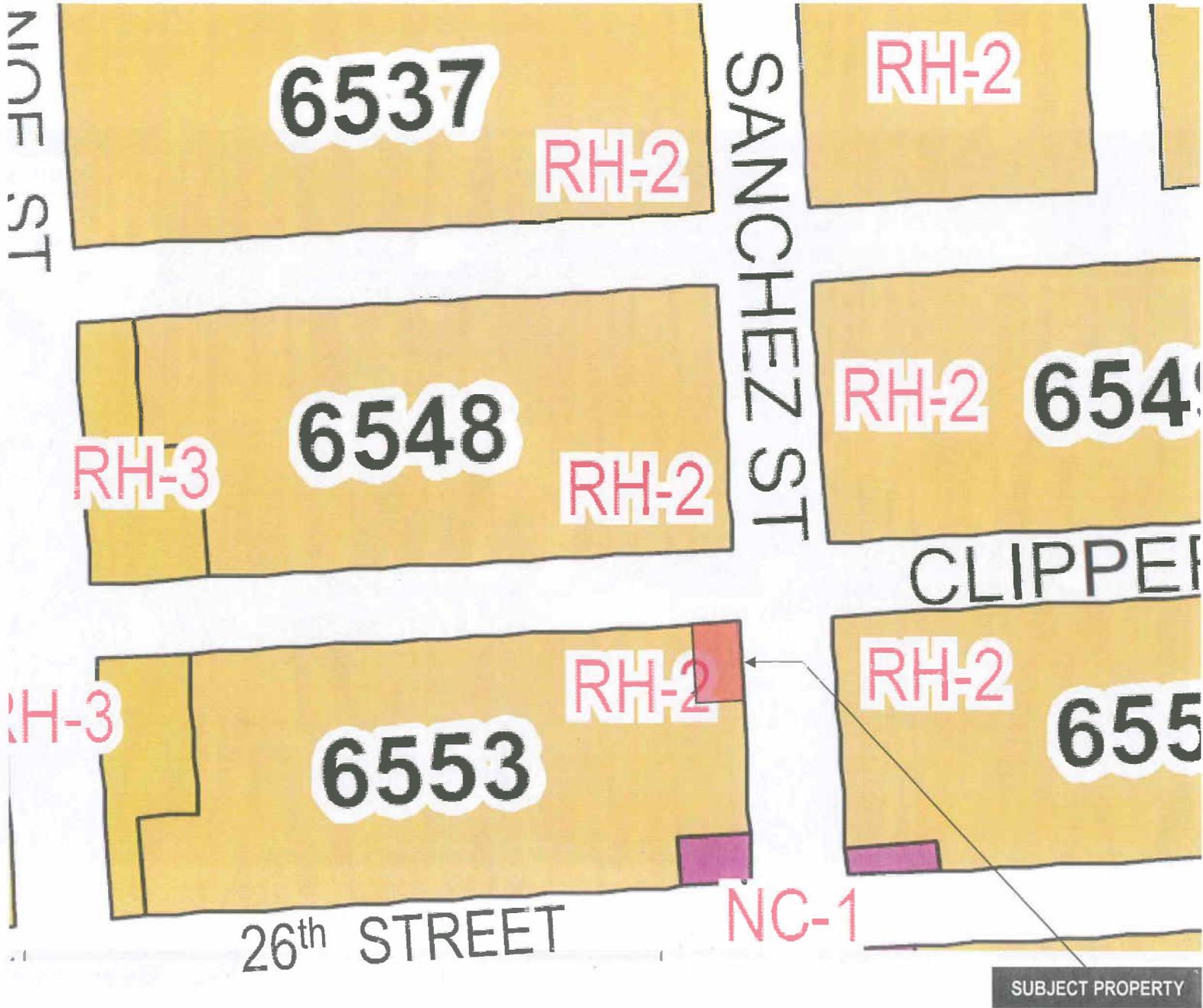


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



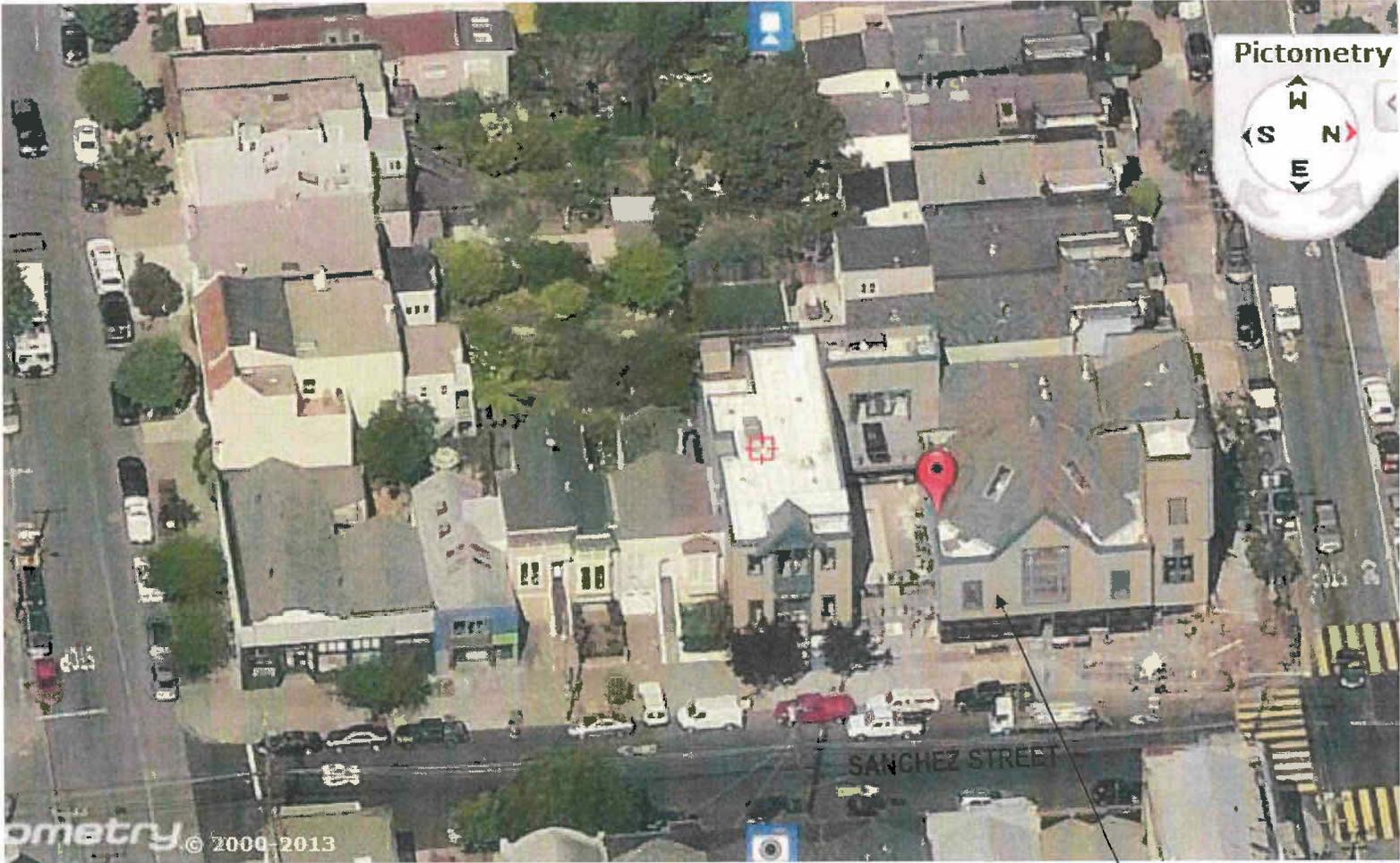
Planning Commission Hearing
Case Number 2012.1307CV
1270 Sanchez Street

Zoning Map



Planning Commission Hearing
Case Number 2012.1307CV
1270 Sanchez Street

Aerial Photo

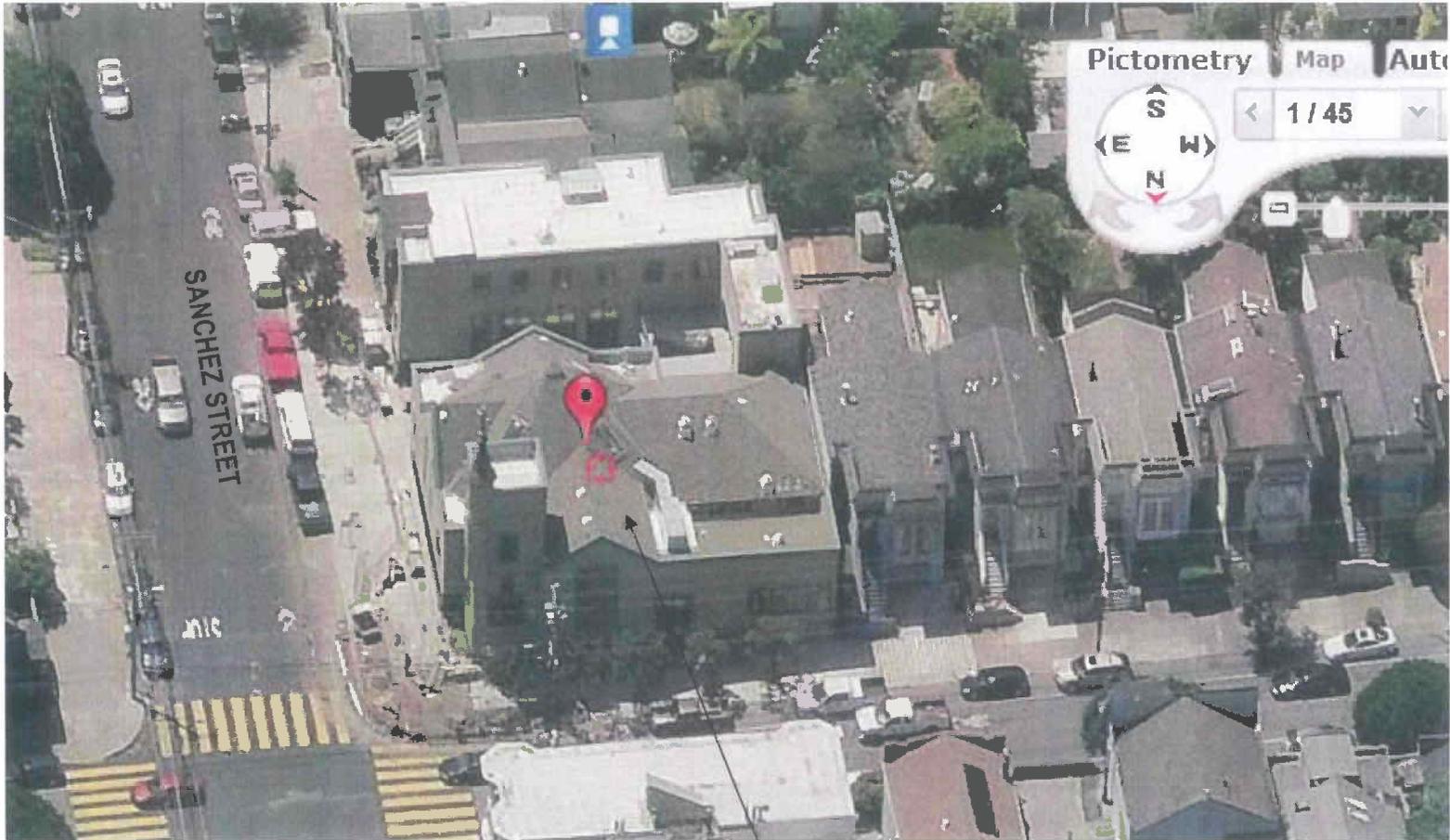


SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2012.1307CV
1270 Sanchez Street

Aerial Photo



SUBJECT PROPERTY



Planning Commission Hearing
Case Number 2012.1307CV
1270 Sanchez Street

**Application for Conditional Use Permit
And
Parking Variance**

San Francisco Planning Commission

March 14, 2013

President Rodney Fong, Presiding

**Bethany United Methodist Church
1270 Sanchez Street (at Clipper)
San Francisco, CA 94114**

Index

- Tab 1 Conditional Use Permit Application**
- Tab 2 Priority General Plan Policies Findings**
- Tab 3 Variance Application**

Bethany United Methodist Church
P.O. Box 31130
San Francisco, CA 94131

Mr. Rodney Fong, President
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

March 6, 2013

Re: Conditional Use Permit and Parking Variance for 1270 Sanchez Street
Case No. 2012.1307 C; Account No. 20123410
Hearing: March 14, 2013

Dear President Fong,

With this letter, we are submitting an application for a Conditional Use Permit and Parking Variance for our church, located at 1270 Sanchez (at Clipper) in San Francisco. The building was first erected in 1907 and we completed a multi-year remodeling in July 2012. The Bethany church has served the Noe Valley community as a center of Christian worship, education and fellowship as well as a meeting place for a wide variety of purposes. Upon our return to our building in 2012, we have sought to use the newly constructed space in ways that seem most in keeping with the needs of the neighborhood.

Besides our weekly worship services and congregational meetings, we welcome a non-profit business group to a lunch meeting once a week, share space with the Noe Valley Ministries staff as they begin their own major remodeling of their building, and hosted concerts of chamber music, an a cappella choir and a community bell choir. We had an art installation for Veterans Day in our courtyard and a valentine card workshop for all ages in our fellowship hall.

Our request for a conditional use permit is to allow us to engage a preschool, the Moldovan Academy, to operate in our building. The Moldovan Academy, opened in 2008 in downtown Sonoma, is owned and directed by Ms. Kathleen Moldovan. She has been looking for space in San Francisco to open a second site. We have been noticing and hearing from the neighbors that Noe Valley has a growing population of preschoolers and parents are very interested in finding a quality preschool for them. The competition is currently very tight and there are simply not enough spaces in the area to serve the need.

The Moldovan Academy curriculum is based on the High/Scope early childhood education approach. This approach is an active learning one, giving students hands on experiences with people, objects, events and ideas. The children construct their own knowledge through interactions with the world and the people around them. They make choices and follow through on their plans

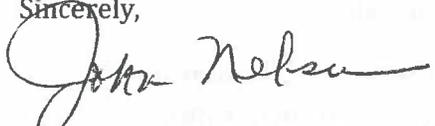
and decisions. Teachers provide physical, emotional and intellectual support and expand children's thinking with diverse materials and nurturing interactions. A task force from the Bethany Church visited the Moldovan site in Sonoma and was very impressed with their use of space, their orderliness, the attractive variety of learning centers, and the obvious strong relationship between children, teachers and parents. While we cannot offer all of the outdoor amenities they have in their Sonoma site (such as an outdoor vegetable garden and grassy playing field), we do have a bright, well lit space indoors and a courtyard space outdoors that can accommodate the school. Based on the number of sinks and toilets that we have (3 each), we believe we could have up to 45 enrolled students. Ms. Moldovan is in the process of securing a license to operate a pre-school on our site, and is awaiting the decision of the Planning Commission for a conditional use permit and parking variance before she can go further.

The interest in the neighborhood is very strong in the possibility that this particular school might be able to open in Noe Valley at the Bethany site. Over 80 families have registered an interest in receiving information about enrollment and have encouraged both the Academy and Bethany to pursue this course of action. The requirements of the City include dedicated parking space for a preschool – with one space for every 24 students. Bethany has never had a dedicated parking space and the way that the building is located on the property prohibits any possibility of establishing one. We have begun the application for a “white zone” along the curb directly in front of the building on Sanchez to be used as a passenger loading zone. Our experience has been that people in the neighborhood make use of walking and public transportation because of the limited parking. We believe that the families who would use the Academy would be local, would recognize the parking limitations and would take advantage of walking their children to the school.

We are currently licensed for a religious institution. We planned our remodel with an eye for possible pre-school use and do not intend any further changes to our building. We would greatly appreciate receiving a conditional use permit to establish a pre-school, and a parking variance for two spaces that would allow that school to open.

We look forward to meeting with you.

Sincerely,

 , President, BOARD OF TRUSTEES

Bethany United Methodist Church

3. Project Description

(Please check all that apply)		PRESENT OR PREVIOUS USE:
<input checked="" type="checkbox"/> Change of Use	ADDITIONS TO BUILDING:	Religious Purposes
<input type="checkbox"/> Change of Hours	<input type="checkbox"/> Rear	PROPOSED USE:
<input type="checkbox"/> New Construction	<input type="checkbox"/> Front	part-time pre-school
<input type="checkbox"/> Alterations	<input type="checkbox"/> Height	BUILDING APPLICATION PERMIT NO.:
<input type="checkbox"/> Demolition	<input type="checkbox"/> Side Yard	DATE FILED:
<input checked="" type="checkbox"/> Other <small>Please clarify:</small>	request for additional use	NA

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

EXISTING USES:	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS:
PROJECT FEATURES			
Dwelling Units			
Hotel Rooms			
Parking Spaces			
Loading Spaces			
Number of Buildings			
Height of Building(s)			
Number of Stories			
Bicycle Spaces			
GROSS SQUARE FOOTAGE (GSF)			
Residential			
Retail			
Office			
Industrial/PDR <small>Production, Distribution, & Repair</small>			
Parking			
Other (Specify Use)			
TOTAL GSF			

Please describe any additional project features that are not included in this table:
(Attach a separate sheet if more space is needed)

The proposed building is the same as the existing building. We are asking for a permit to allow a pre-school to operate out of the building, using approximately 1457 square feet of space. They would operate Monday through Friday.

5. Action(s) Requested (include Planning Code Section which authorizes action)

Conditional Use Findings

Pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - (b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - (c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - (d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.
 1. The proposed use (preschool) does not require any change in the property. it will be housed in existing structure. The preschool is desirable for and compatible with Noe Valley neighborhood which has a large number of young children.
 2. a) the preschool will be held in our community room, a classroom and enclosed center courtyard.
 - b) The building is ADA accessible. There is no parking assigned to the Church, but there is a loading zone. There would be no more than 33 children at any one time and stop and start times are varied.
 - c) The outdoor area is recessed from the street (Sanchez) and is enclosed by a fence. Play time would be limited. The indoor area abuts one home. The classroom is in the interior and would not be heard outdoors.
 - d) The existing landscape, screening, open spaces, parking and loading areas, service areas, lighting and signs will not be affected.
 3. The use of the property as a day time preschool complies with the applicable provisions of this Code and will not adversely affect the Master Plan.

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

This use will not affect neighborhood-serving retail uses. It will provide some additional employment of teachers and aides.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The existing housing and neighborhood will be unchanged by this use.

3. That the City's supply of affordable housing be preserved and enhanced;

The property is used for religious purposes, but not housing.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;
- Muni does not travel on Sanchez or the property's cross streets. Muni serves the area within a one or two block walk. It is anticipated that many clients of the preschool will walk from within the neighborhood.

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Nothing will be displaced by the conditional use of a preschool on this property.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The congregation has recently retrofitted the property for earthquake standards and participates in the interfaith disaster relief training and coordinated response.

7. That landmarks and historic buildings be preserved; and

No landmarks or historic buildings are involved.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

No parks or open spaces are impacted by this conditional use.

Estimated Construction Costs

TYPE OF APPLICATION: Conditional Use Permit	
OCCUPANCY CLASSIFICATION: currently RH2	
BUILDING TYPE: Church	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION: No construction is needed for the preschool.	BY PROPOSED USES: na
ESTIMATED CONSTRUCTION COST: 0	
ESTIMATE PREPARED BY: Kristin Sachen	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Danton Johnson / by Kristin Sachen Date: Oct. 12 2012

Print name, and indicate whether owner, or authorized agent:

Danton Johnson, Treasurer
Owner / Authorized Agent (circle one)

BETHANY UNITED METHODIST CHURCH

1270 Sanchez Street
San Francisco, CA 94114

October 12, 2012

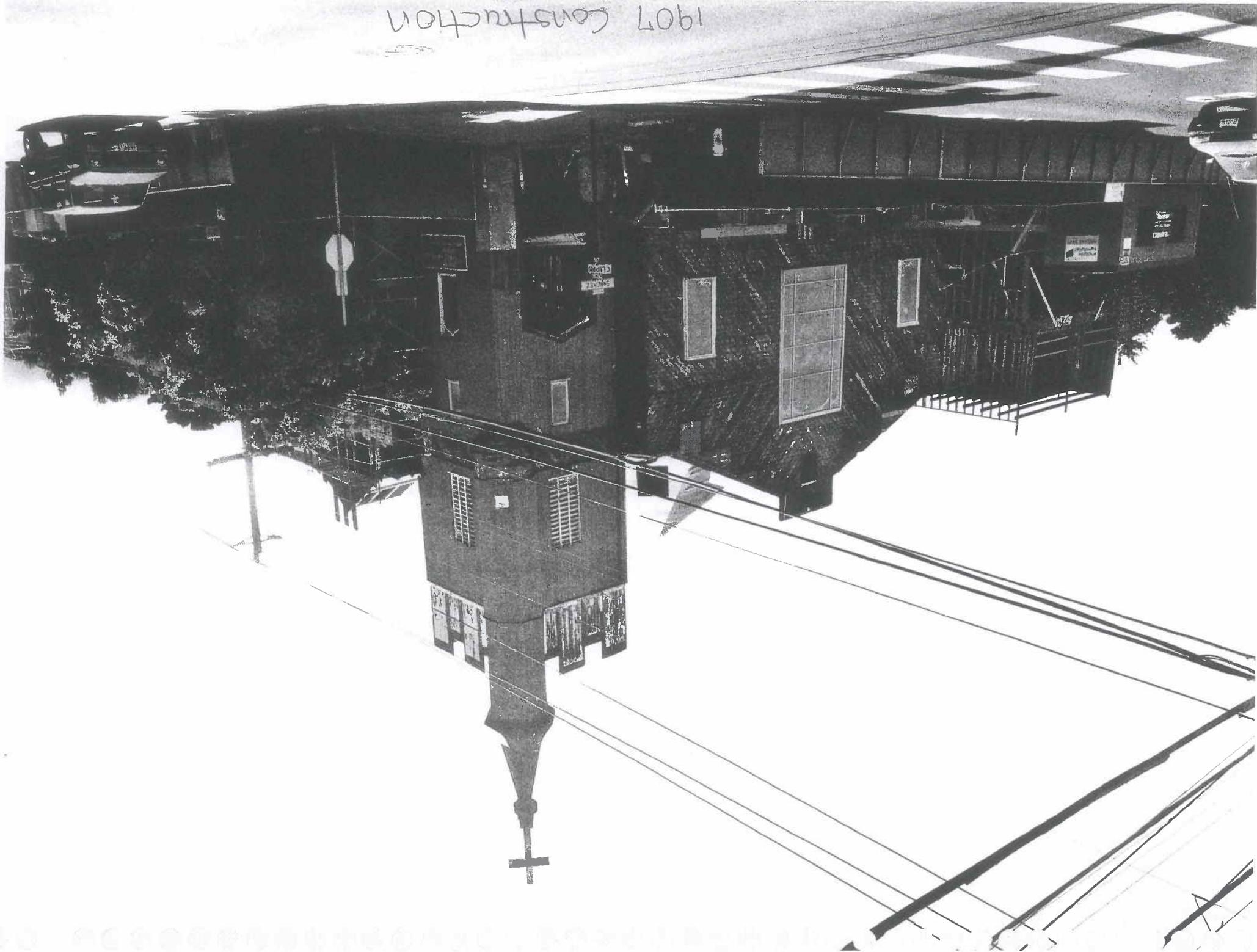
To: The Planning Commission

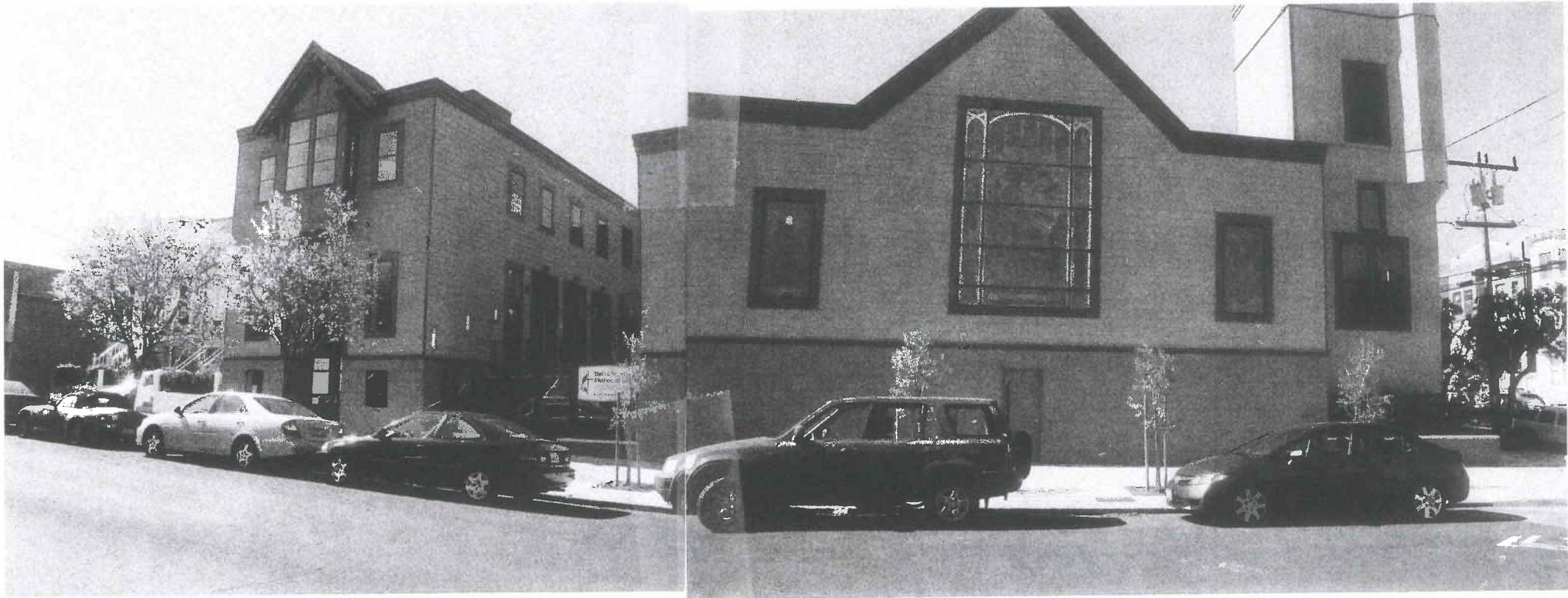
This is to certify that Dan Johnson is a duly elected officer of the Bethany United Methodist Church, authorized to represent the church in all matters pertaining to its real property. He was elected January 15, 2012 at a duly called meeting of the Board of Trustees.



Kristin L. Sachen
Pastor, Bethany United Methodist Church

1907 Construction





1270 Sanchez Street

APPLICATION FOR Variance from the Planning Code

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Bethany Methodist Church of San Francisco	
PROPERTY OWNER'S ADDRESS: 1270 Sanchez St San Francisco, CA 94114	TELEPHONE: (415) 7-8393 EMAIL: ksqchen329@gmail.com

APPLICANT'S NAME:	Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS:	TELEPHONE: ()
	EMAIL:

CONTACT FOR PROJECT INFORMATION: Kristin Sochen	
ADDRESS: 829 Duncan St. San Francisco, CA 94131	TELEPHONE: (415) 800-7170 EMAIL: ksochen329@gmail.com

2. Location and Classification

STREET ADDRESS OF PROJECT: 1270 Sanchez Street San Francisco		ZIP CODE: 94114
CROSS STREETS: Clipper and 26 th Street		
ASSESSORS BLOCK/LOT: 6553 / 1001	LOT DIMENSIONS: 114 x 80	LOT AREA (SQ FT): 9120
ZONING DISTRICT: RH2	HEIGHT/BULK DISTRICT: 40x	

3. Project Description

(Please check all that apply) <input type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input type="checkbox"/> New Construction <input type="checkbox"/> Alterations <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> Other Please clarify: Parking Variance	ADDITIONS TO BUILDING: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	PRESENT OR PREVIOUS USE: Church
		PROPOSED USE: Church and Preschool
		BUILDING APPLICATION PERMIT NO.: NA

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS
PROJECT FEATURES				
Dwelling Units				
Hotel Rooms				
Parking Spaces				
Loading Spaces				
Number of Buildings				
Height of Building(s)				
Number of Stories				
Bicycle Spaces				
GROSS SQUARE FOOTAGE (GSF)				
Residential				
Retail				
Office				
Industrial/PDR <small>Production, Distribution, & Repair</small>				
Parking				
Other (Specify Use)				
TOTAL GSF				

Please describe what the variance is for and include any additional project features that are not included in this table. Please state which section(s) of the Planning Code from which you are requesting a variance.
(Attach a separate sheet if more space is needed)

No new construction is needed. Property is a church, located at this site over 100 years. There has never been dedicated parking. We are applying for a conditional use permit to have a preschool in our building. Section 151.3 requires one parking space for every 25 children. There is no place on the property to put parking. We are in the process of applying for a passenger unloading zone on Sanchez Street. We request a variance from the required one parking space per 24 students. We anticipate up to 48 students.

1. Extraordinary circumstances apply to the property involved in that there has never been space on the property that could be converted into use as parking. The building takes up the lot. The congregation has maximum auditorium space of 190 and there has never been a requirement for dedicated parking.
2. This exceptional circumstance prevents the literal enforcement of the dedicated parking space requirement.
3. A variance is necessary for the use of the building as a community resource for the neighborhood's needs. The need for additional preschool spaces is evident by the 80 families who have registered an interest in the school even before it is open.
4. The granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity. The property owner is in the process of requesting a passenger unloading curb on Sanchez Street in front of the property. The need for loading and unloading passengers is more in keeping with the need of students in the preschool than parking per se.
5. Granting of this variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the Master Plan.

Parking Variance Application, Priority General Plan Policies Findings (Prop M)

Property 1270 Sanchez Street, San Francisco

1. No impact on neighborhood retail; no impact on future opportunities for resident employment or business ownership.
2. No impact on housing, neighborhood character.
3. No impact on supply of affordable housing.
4. Muni transit does not travel on Sanchez Street. Streets and/or neighborhood parking will not be overburdened as there will be a passenger loading/unloading zone and the majority of students will be walking from the neighborhood.
5. No impact on economic base.
6. No impact on earthquake preparedness.
7. No landmarks or historic buildings involved.
8. No impact on parks, open spaces, sunlight or vistas.

Estimated Construction Costs

TYPE OF APPLICATION:	
OCCUPANCY CLASSIFICATION:	
BUILDING TYPE:	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION:	BY PROPOSED USES:
ESTIMATED CONSTRUCTION COST:	
ESTIMATE PREPARED BY:	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Shirley Perkins

Date: Feb 15 2013

Print name, and indicate whether owner, or authorized agent:

Shirley Perkins, Vice Chairperson Board of Trustees

Owner / Authorized Agent (circle one)

Bethany United Methodist Church

1270 Sanchez Street

San Francisco, CA 94114

February 11, 2013

To: The Planning Commission

In Re: Request for parking variance

This is to certify that **Shirley Perkins** is a duly elected officer of the Bethany United Methodist Church, authorized to represent the church in all matters pertaining to its real property. She was elected January 27, 2013 at a duly called meeting of the Board of Trustees.



Kristin L. Sachen

Pastor, Bethany United Methodist Church



Looking North on Sanchez

N
W E
S



Looking South on Sanchez

S
E W
N



Looking East Down Clipper

E
N S
W



Looking West up Clipper

W
S N
E

ABBREVIATIONS

AR	Architectural	INSU	Insulation
AS	Asphalt	INT	Interior
ASB	Asbestos	JAN	Janitor
ASD	Asphalt Driveway	JCM	Joint
ASL	Asphalt	JL	Junction
ASU	Adjustable	JLH	Jamb
ASV	Asphalt	JLW	Jamb
ASW	Asphalt	JLX	Jamb
ASX	Asphalt	JLY	Jamb
ASZ	Asphalt	JLZ	Jamb
AS1	Asphalt	JL1	Jamb
AS2	Asphalt	JL2	Jamb
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Bethany United Methodist Church

1270 Sanchez Street
San Francisco, CA 94114

CONDITIONAL USE PERMIT SET

SYMBOL KEY	VICINITY MAP	DRAWING INDEX	PROJECT INFORMATION	PROJECT DESCRIPTION														
<p>SPRINKLER SYSTEM MONITORING AND ALARMS CBC SECTION 800.4: All valves controlling the water supply for automatic sprinkler systems, pumps, tanks, water levels and controllers, control air pressures, and water flow switches shall be electrically supervised.</p> <p>FIRE ALARM BOX CBC SECTION 901.2.1: except un- manual fire alarm boxes are not required where the building is equipped with an automatic sprinkler system and the alarm notification appliance will activate upon sprinkler water flow.</p>	<p>LOT - 001 BLOCK - 6553 LOT AREA - 9120 sq.ft.</p>	<p>ARCHITECTURAL</p> <p>A00 COVER SHEET</p> <p>A2.1 FLOOR PLANS</p> <p>A2.2 FLOOR PLANS</p> <p>A2.3 BASEMENT FLOOR PLAN - NORTH</p> <p>A2.4 BASEMENT FLOOR PLAN - SOUTH</p> <p>A2.5 FIRST FLOOR PLAN - NORTH</p> <p>A2.6 FIRST FLOOR PLAN - SOUTH</p> <p>A2.7 SECOND FLOOR PLAN - NORTH</p> <p>A2.8 SECOND FLOOR PLAN - SOUTH</p> <p>A2.9 ROOF PLAN - NORTH</p> <p>A2.10 ROOF PLAN - SOUTH</p> <p>A3.1 EAST ELEVATION</p> <p>A3.2 NORTH ELEVATION</p> <p>A3.3 WEST ELEVATION</p> <p>A3.4 SOUTH ELEVATION</p> <p>A3.5 COURTYARD ELEVATION LOOKING SOUTH</p> <p>A3.6 COURTYARD ELEVATION LOOKING NORTH</p>	<p>AREAS:</p> <table border="1"> <tr><th>AREAS:</th><th>SQUARE FOOTAGE</th></tr> <tr><td>FIRST FLOOR COURTYARD</td><td>7,653</td></tr> <tr><td>COURTYARD</td><td>1,054</td></tr> <tr><td>SECOND FLOOR UPPER COURTYARD</td><td>2,773</td></tr> <tr><td>UPPER COURTYARD</td><td>471</td></tr> <tr><td>TOTAL GROSS AREA INCLUDING COURTYARDS</td><td>11,951 sq.ft.</td></tr> <tr><td>TOTAL GROSS AREA EXCLUDING COURTYARDS</td><td>10,240 sq.ft.</td></tr> </table> <p>* MEASURED AS OUTSIDE FACE OF EXTERIOR WALLS</p>	AREAS:	SQUARE FOOTAGE	FIRST FLOOR COURTYARD	7,653	COURTYARD	1,054	SECOND FLOOR UPPER COURTYARD	2,773	UPPER COURTYARD	471	TOTAL GROSS AREA INCLUDING COURTYARDS	11,951 sq.ft.	TOTAL GROSS AREA EXCLUDING COURTYARDS	10,240 sq.ft.	<p>THIS PERMIT SET IS ONLY TO PROPOSE A CHANGE OF USE IN THE EXISTING FELLOWSHIP HALL AND NURSERY TO CHILD CARE.</p>
AREAS:	SQUARE FOOTAGE																	
FIRST FLOOR COURTYARD	7,653																	
COURTYARD	1,054																	
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UPPER COURTYARD	471																	
TOTAL GROSS AREA INCLUDING COURTYARDS	11,951 sq.ft.																	
TOTAL GROSS AREA EXCLUDING COURTYARDS	10,240 sq.ft.																	
<p>REVISION</p> <p>1. PARTITION TYPE</p>																		

NOTE:
NO CHANGES ON THE PLAN.
NO CHANGES ON THE ELEVATIONS.
PROPOSED CHANGE OF USE: CHILD CARE.
CURRENT USE: FELLOWSHIP HALL AND NURSERY.

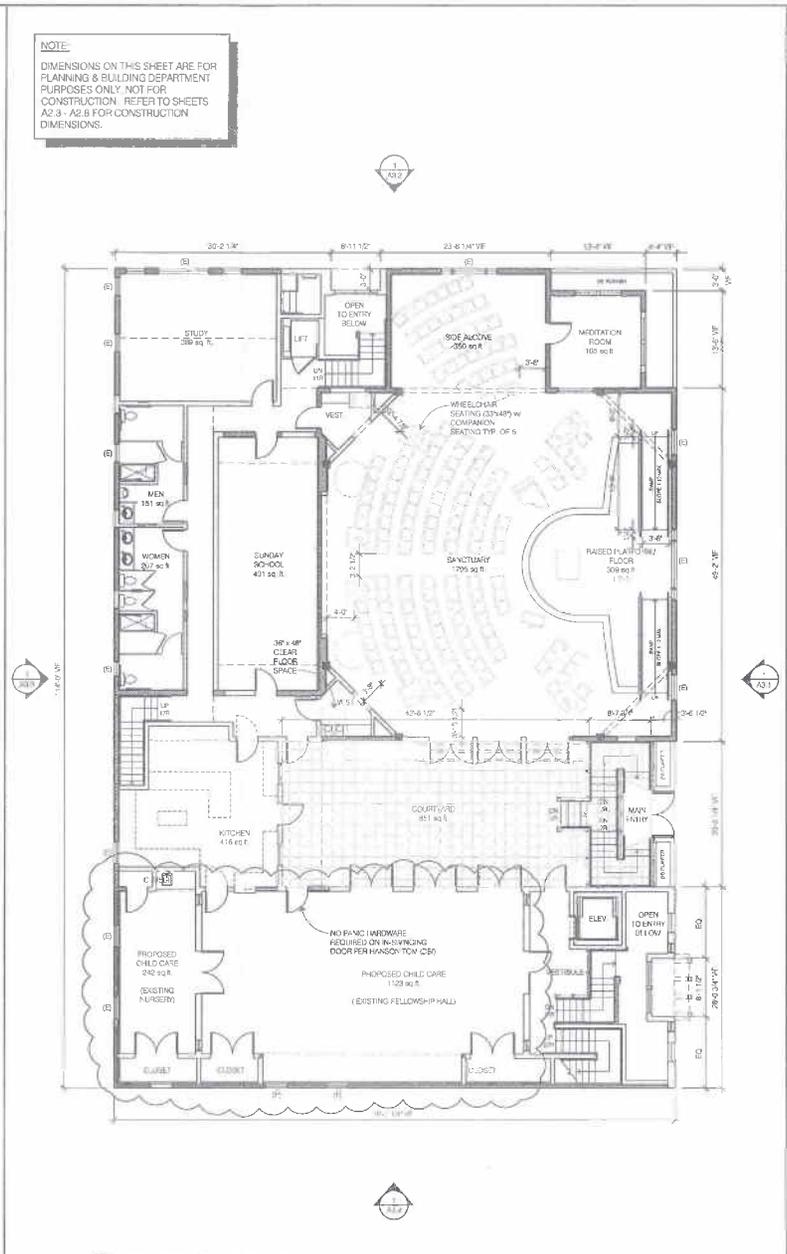
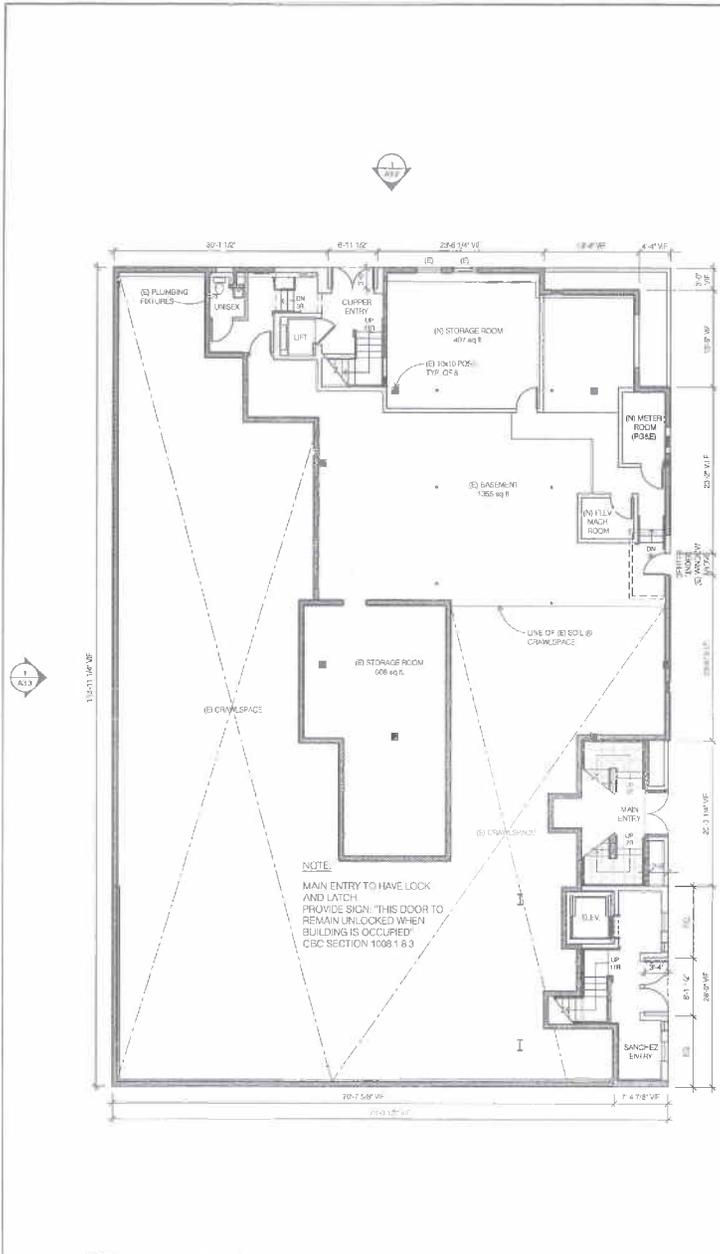
GOLD MAN ARCHITECTS

1772 RUSSELL STREET
SAN FRANCISCO, CALIFORNIA 94103
415.791.1330
415.621.3891

Bethany United Methodist Church
1270 Sanchez Street
San Francisco, CA 94114

COVER SHEET

Date: 25 JAN 2013
Scale:
Drawn: 800
App: 0803
Sheet: **A0.0**



- LEGEND**
- EXISTING WALL
 - NEW CONCRETE WALL, S.S.D.
 - NEW WALL / PARTITION
 - 1-HOUR RATED WALL / PARTITION
 - NEW LOW WALL
 - PANIC HARDWARE

- GENERAL NOTES:**
1. ALL EGRESS DOORS SHALL BE A MINIMUM OF 3'-0" IN WIDTH. ALL DOORS SHALL BE LEVER OR PUSH-PULL TYPE OR WITH PANIC HARDWARE AND SHALL COMPLY WITH ALL ACCESSIBILITY CODES.
 2. PROVIDE A LEVEL LANDING AT ALL DOORS. EXTERIOR DOOR LANDING MAY HAVE A SLOPE NOT TO EXCEED 1.5% (2% SLOPE).
 3. A SIGN DISPLAYING THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE AT ALL MAIN ENTRANCES (SANCHEZ AND CLIFFER). SEE SHEET AS.1 AND AS.2 FOR LOCATIONS. MOUNT 6" ABOVE FINISH GRADE. ALL FIRE EXTINGUISHERS SHALL BE A MINIMUM SIZE OF 2A-10BC.
 5. ELEVATOR TO MEET ALL FIRE FUNCTIONS PER CODE.
 6. ALL WHEELCHAIR LIFTS TO CONFORM WITH ALL CODES APPLICABLE.

MINIMUM PLUMBING FIXTURES:
(PER 2007 SFGC TABLE A-23-A)

GROUP A OCCUPANCY

WORKSHOP PLACES: 1 WC PER 150 (M) / 1 WC PER 75 (F) (30 SQUARE FEET PER OCCUPANT)
REQUIRED: 1 WC FOR MALES / 1 WC FOR FEMALE (S) (1200 sq ft / 30 sq ft = 152 / 2 = 76 each)

GROUP B OCCUPANCY

OFFICES: 1 WC PER 1-16 (M) / 1 WC PER 1-16 (F) (200 SQUARE FEET PER OCCUPANT)
REQUIRED: 1 WC FOR MALES / 1 WC FOR FEMALE (S) (1200 sq ft / 200 sq ft = 6 / 2 = 3 each)

FIXTURES PROVIDED:

MALE: 1 WATER CLOSET AND 1 URINAL WITH 1 LAVATORY
FEMALE: 3 WATER CLOSETS AND 2 LAVATORIES
UNISEX: 2 WATER CLOSET AND 2 LAVATORY (UNISEX - OCCUPANT LOAD LESS THAN 10)
(ONE LAVATORY PER 2 WATER CLOSETS)

ADD ALTERNATES:

1. PANORAMA w/ TRANSMOM WINDOWS BETWEEN SANCTUARY AND SUNDAY SCHOOL. REFER TO BD SET - 30 OCT 2009
2. GI AZING AND WOOD TRIM IN FELLOWSHIP HALL AT ENDS WALLS ADJACENT TO NURSERY AND VESTIBULE. REFER TO BD SET - 30 OCT 2009

NOTE:
NO CHANGES ON THE PLAN. PROPOSED CHANGE OF USE: CHILD CARE. CURRENT USE: FELLOWSHIP HALL AND NURSERY



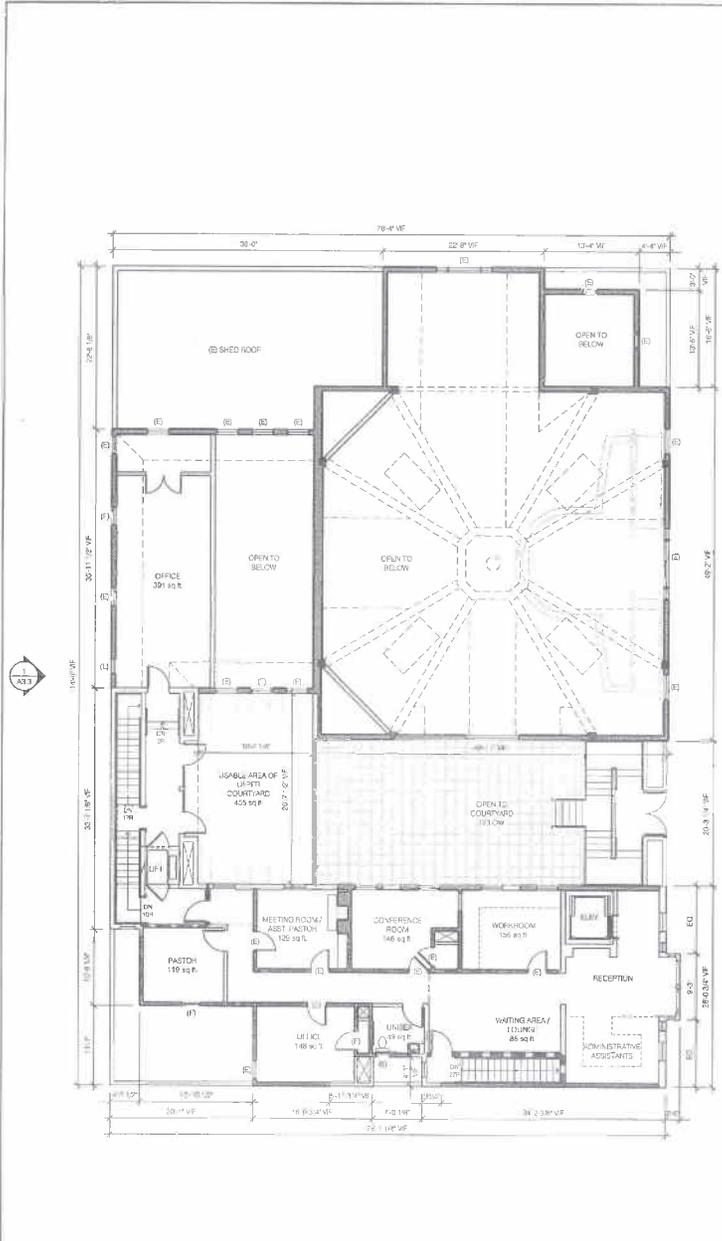
GOLD MAN ARCHITECTS

1270 RUSSELL STREET
SAN FRANCISCO, CALIFORNIA 94109
415-391-1339
415-621-3393

Bethany United Methodist Church
1270 Sanchez Street
San Francisco, CA 94114

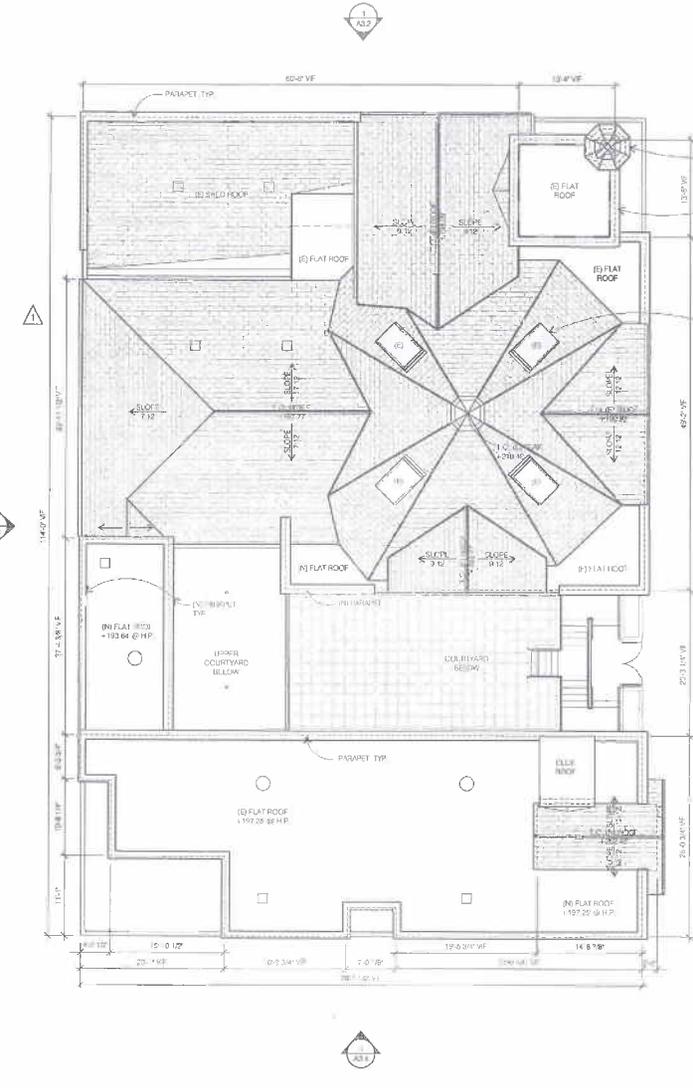
FLOOR PLANS

Date: 25 JAN 2013
Drawn: 168" = 1'-0"
Job: 0603
Sheet: A2.1



1 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"

NOTE:
DIMENSIONS ON THIS SHEET ARE FOR PLANNING & BUILDING DEPARTMENT PURPOSES ONLY. NOT FOR CONSTRUCTION. REFER TO SHEETS A2.3 - A2.8 FOR CONSTRUCTION DIMENSIONS.



2 ROOF PLAN
Scale: 1/8" = 1'-0"

LEGEND

	EXISTING WALL
	NEW CONCRETE WALL, S.S.D.
	NEW WALL / PARTITION
	1-HOUR RATED WALL / PARTITION
	NEW LOW WALL

GENERAL NOTES:

1. ALL EGRESS DOORS SHALL BE A MINIMUM OF 3'-0" IN WIDTH. ALL DOORS SHALL BE LEVER OR PUSH-PULL TYPE OR WITH PANIC HARDWARE AND SHALL COMPLY WITH ALL ACCESSIBILITY CODES.
2. PROVIDE A LEVEL LANDING AT ALL DOORS. EXTERIOR DOOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1:50 (2% SLOPE).
3. A SIGN DISPLAYING THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE AT ALL MAIN ENTRANCES (SMACHEZ AND CLIPPER). SEE SHEET A2.1 AND A2.2 FOR LOCATIONS. MOUNT 6" ABOVE FINISH GRADE.
4. ALL FIRE EXTINGUISHERS SHALL BE A MINIMUM SIZE OF 2A-10B C.
5. ELEVATOR TO MEET ALL FIRE FUNCTIONS PER CODE.
6. ALL WHEELCHAIR LIFTS TO CONFORM WITH ALL CODES APPLICABLE.

MINIMUM PLUMBING FIXTURES:
(PER 2007 SFGBC TABLE A-29-A)

GROUP A OCCUPANCY:

WORK SPACES: 1 WC PER 150 (M) / 1 WC PER 75 (F) (30 SQUARE FEET PER OCCUPANT)
REQUIRED: 1 WC FOR MALES / 2 WC FOR FEMALE(S)
(4555 sqft / 30 sqft = 152; 2 = 76 each)

GROUP B OCCUPANCY:

OFFICES: 1 WC PER 15 (M) / 1 WC PER 15 (F) (200 SQUARE FEET PER OCCUPANT)
REQUIRED: 1 WC FOR MALES / 1 WC FOR FEMALE(S)
(1138 sqft / 200 sqft = 5.7; 2 = 3 each)

FIXTURES PROVIDED:

MALE: 1 WATER CLOSET AND 1 URINAL WITH 1 LAVATORY
FEMALE: 3 WATER CLOSETS AND 2 LAVATORIES
UNISEX: 2 WATER CLOSET AND 2 LAVATORIES
(UNISEX OCCUPANT LOAD LESS THAN 10)
(ONE LAVATORY PER 2 WATER CLOSETS)

ADD ALTERNATES:

1. (2) COLUMBARIUM IN UPPER COURTYARD. REFER TO BID SET - 30 OCT 2009
2. (4) SKYLIGHTS IN SACRAMENTARY ROOF. REFER TO BID SET - 30 OCT 2009
3. (1) SKYLIGHT IN ADMIN. WING ROOF. REFER TO BID SET - 30 OCT 2009

NOTE:
NO CHANGES ON THE PLAN



GOLD MAN ARCHITECTS
72 RUSS STREET
SAN FRANCISCO, CALIFORNIA 94103
415-393-1339
415-621-0393

Bethany United Methodist Church
1270 Sanchez Street
San Francisco, CA 94114

FLOOR PLANS

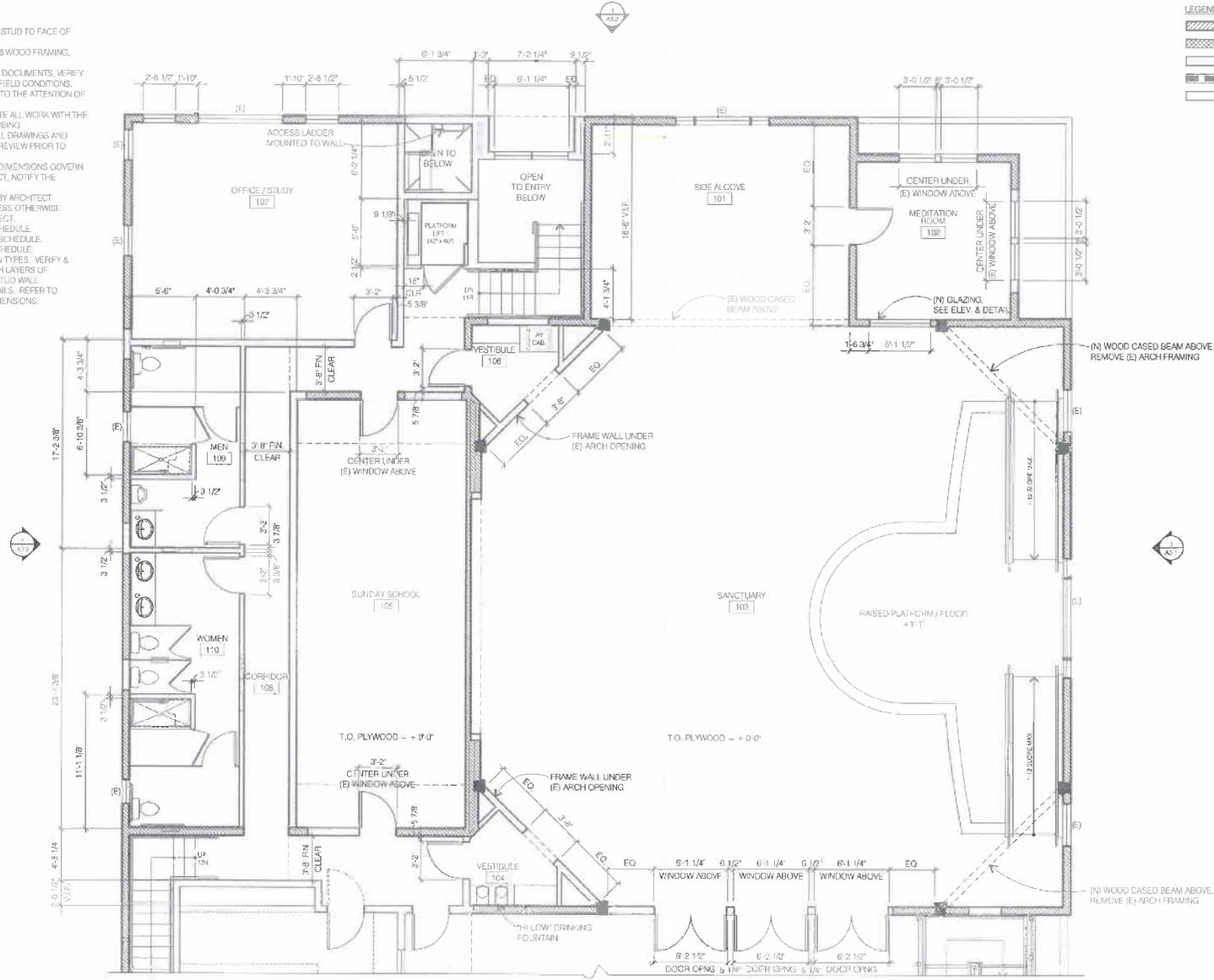
Date: 05 JAN 2013
Scale: 1/8" = 1'-0"
Drawn:
Joc: 0603
Sheet: **A2.2**

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2. ALL WALLS AND PARTITIONS TO BE 2x6 WOOD FRAMING, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS, VERIFY ALL DIMENSIONS, AND CONFIRM ALL FIELD CONDITIONS. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MECHANICAL, ELECTRICAL AND PLUMBING SUB-CONTRACTORS. THEN SLEWIT ALL DRAWINGS AND SUBMITTALS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
5. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL LOCATIONS. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
6. ALL FLOOR PLANS AND DIMENSIONS BY ARCHITECT SUPERSEDES ALL OTHER PLANS, UNLESS OTHERWISE NOTED OR APPROVED BY THE ARCHITECT.
7. REFER TO SHEET A2.11 FOR DOOR SCHEDULE.
8. REFER TO SHEET A2.12 FOR WINDOW SCHEDULE.
9. REFER TO SHEET A2.13 FOR FINISH SCHEDULE.
10. REFER TO SHEET A2.14 FOR PARTITION TYPES. VERIFY & COORDINATE w/ARCHITECT ON WHICH LAYERS OF MATERIALS ARE WHICH SIDE OF THE STUD WALL.
11. REFER TO SHEET A7.1 FOR STAIR DETAILS. REFER TO SHEET A7.2 FOR STAIR PLANS AND DIMENSIONS.

LEGEND

	EXISTING WALL
	NEW CONCRETE WALL, S.S.D.
	NEW WALL / PARTITION
	1-HOUR RATED WALL / PARTITION
	NEW LOW WALL



NOTE: SEE A2.6 FOR CONTINUATION OF PLAN

FIRST FLOOR PLAN - NORTH
Scale: 1/4" = 1'-0"



NOTE:
NO CHANGES ON THE PLAN.
WOMEN RESTROOM ALSO FOR USE
OF CHILD CARE

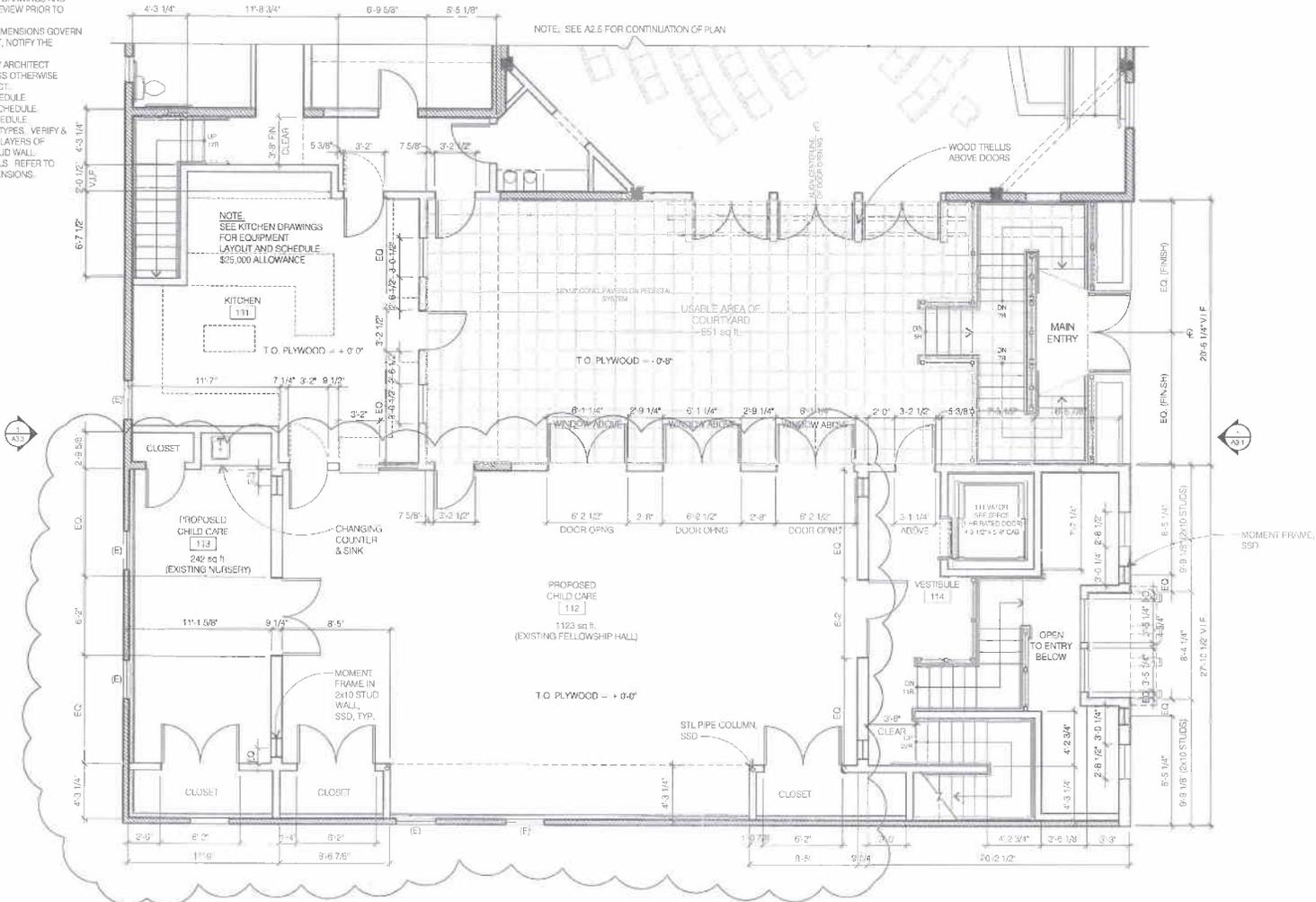
GOLD MAN ARCHITECTS	
172 RUSS STREET	SAN FRANCISCO
415-391-1539	415-621-5593
Bethany United Methodist Church 1270 Sanchez Street San Francisco, CA 94114	
FIRST FLOOR PLAN - NORTH	
Date:	25 JAN 2013
Scale:	1/4" = 1'-0"
Drawn:	
App:	0903
Sheet:	A2.5

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.
2. ALL WALLS AND PARTITIONS TO BE 2x8 WOOD FRAMING, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS, VERIFY ALL DIMENSIONS, AND CONFIRM ALL FIELD CONDITIONS. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING SUB-CONTRACTORS, THEN SUBMIT ALL DRAWINGS AND SUBMITTALS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
5. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL LOCATIONS. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
6. ALL FLOOR PLANS AND DIMENSIONS BY ARCHITECT SUPERSEDES ALL OTHER PLANS, UNLESS OTHERWISE NOTED OR APPROVED BY THE ARCHITECT.
7. REFER TO SHEET A2.11 FOR DOOR SCHEDULE.
8. REFER TO SHEET A2.12 FOR WINDOW SCHEDULE.
9. REFER TO SHEET A2.13 FOR FINISH SCHEDULE.
10. REFER TO SHEET A2.14 FOR PARTITION TYPES. VERIFY & COORDINATE w/ ARCHITECT ON WHICH LAYERS OF MATERIALS ARE WHICH SIDE OF THE STUD WALL.
11. REFER TO SHEET A7.1 FOR STAIR DETAILS. REFER TO SHEET A7.2 FOR STAIR PLANS AND DIMENSIONS.

LEGEND:

-  EXISTING WALL
-  NEW CONCRETE WALL, S.S.D.
-  NEW WALL / PARTITION
-  1-HOUR RATED WALL / PARTITION
-  NEW LOW WALL



FIRST FLOOR PLAN - SOUTH
Scale: 1/4" = 1'-0"



NOTE:
NO CHANGES ON THE PLAN.
PROPOSED CHANGE OF USE: CHILD CARE
CURRENT USE: FELLOWSHIP HALL AND NURSERY

ISSUES	
GOLD MAN ARCHITECTS	
1725 BUSH STREET	SAN FRANCISCO
415-391-1339	CALIFORNIA 94103
415-391-1339	
415-881-3393	
Bethany United Methodist Church 1270 Sanchez Street San Francisco, CA 94114	
	
FIRST FLOOR PLAN - SOUTH	
Drawn	26 JUN 2013
Scale	1/4" = 1'-0"
Drawn	
Job	0653
Sheet	A2.6

NOTES:

1. ALL (E) FINISHES TO REMAIN ARE TO BE FIELD INSPECTED FOR OVERALL QUALITY OF MATERIAL AND ATTACHMENT BEFORE FINAL DETERMINATION FOR PRESERVATION IS MADE.
2. PROVIDE NEW FLASHING PAPER AT ALL EXISTING WINDOWS WHERE APPLICABLE (NEW EXTERIOR FINISH AND PLYWOOD SHEATHING).
3. PREPARE ALL (N) AND (E) EXTERIOR MATERIALS PER SPECIFICATIONS PRIOR TO PAINTING/FINISHING.
4. SEE DETAIL S/A8.3 FOR TYPICAL EXTERIOR WOOD TRIM LAYOUT AT DOORS AND WINDOWS.

ADD ALTERNATES:

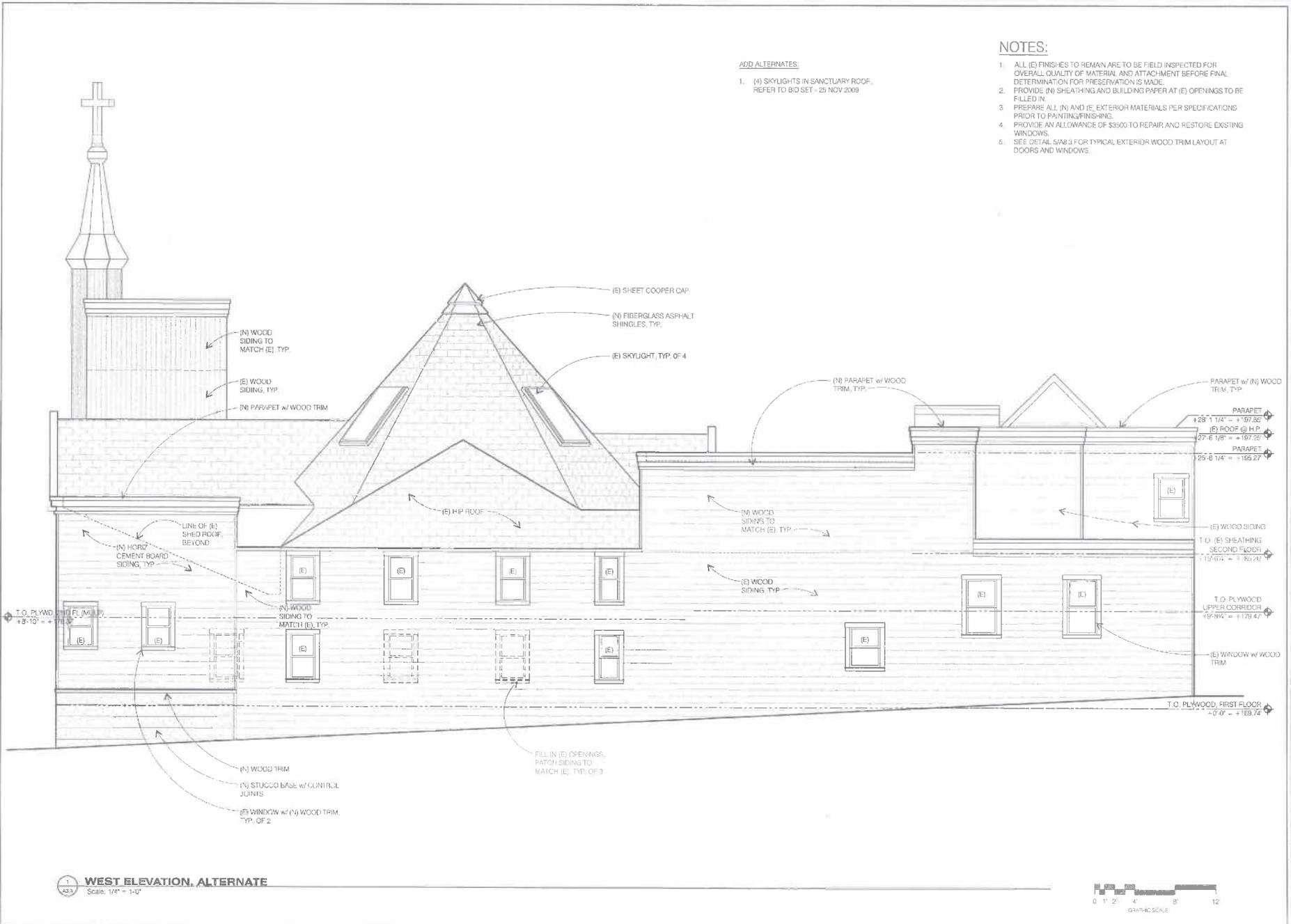
1. PROTECTIVE GLAZING (LEXAN) AT STAINED GLASS WINDOWS. REFER TO BID SET - 25 NOV 2009
2. (N) SKYLIGHTS IN SANCTUARY ROOF. REFER TO BID SET - 25 NOV 2009



ISSUES	
GOLD MAN ARCHITECTS	
172 RUSS STREET	
SAN FRANCISCO	
CALIFORNIA 94103	
415-391-1339	
415-621-3393 F	
Bethany United Methodist Church	
1270 Sanchez Street	
San Francisco, CA 94114	
EAST ELEVATION	
Date:	25 JAN 2013
Scale:	1/4" = 1'-0"
Drawn:	
Rev:	0001
Sheet:	A3.1

EAST ELEVATION, SANCHEZ STREET
Scale: 1/4" = 1'-0"





ADD ALTERNATES:

- 1. (4) SKYLIGHTS IN SANCTUARY ROOF. REFER TO BID SET - 25 NOV 2009

NOTES:

- 1. ALL (E) FINISHES TO REMAIN ARE TO BE FIELD INSPECTED FOR OVERALL QUALITY OF MATERIAL AND ATTACHMENT BEFORE FINAL DETERMINATION FOR PRESERVATION IS MADE.
- 2. PROVIDE (N) SHEATHING AND BUILDING PAPER AT (E) OPENINGS TO BE FILLED IN.
- 3. PREPARE ALL (N) AND (E) EXTERIOR MATERIALS PER SPECIFICATIONS PRIOR TO PAINTING/FINISHING.
- 4. PROVIDE AN ALLOWANCE OF \$3500 TO REPAIR AND RESTORE EXISTING WINDOWS.
- 5. SEE DETAIL, S/AB 3 FOR TYPICAL EXTERIOR WOOD TRIM LAYOUT AT DOORS AND WINDOWS.

NO.	DATE	DESCRIPTION

GOLD MAN ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-621-3393

Bethany United Methodist Church
1270 Sanchez Street
San Francisco, CA 94114



WEST ELEVATION
ALTERNATE

Date:	16 JAN 2011
Scale:	1/4" = 1'-0"
Drawn:	
Rev:	0503
Sheet:	

A3.3

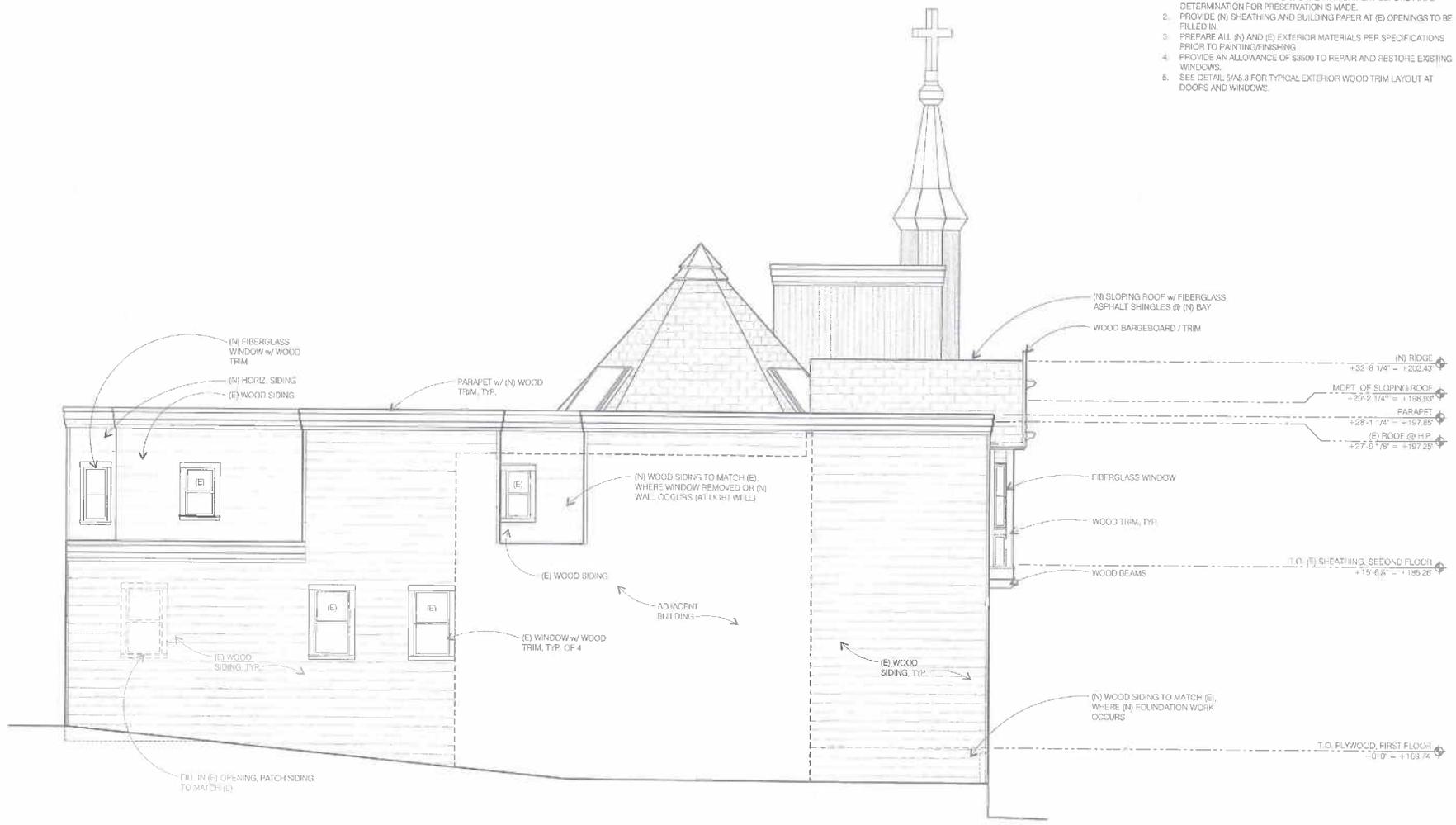
WEST ELEVATION, ALTERNATE
Scale: 1/4" = 1'-0"





NOTES:

1. ALL (E) FINISHES TO REMAIN ARE TO BE FIELD INSPECTED FOR OVERALL QUALITY OF MATERIAL AND ATTACHMENT BEFORE FINAL DETERMINATION FOR PRESERVATION IS MADE.
2. PROVIDE (N) SHEATHING AND BUILDING PAPER AT (E) OPENINGS TO BE FILLED IN.
3. PREPARE ALL (N) AND (E) EXTERIOR MATERIALS PER SPECIFICATIONS PRIOR TO PAINTING/FINISHING.
4. PROVIDE AN ALLOWANCE OF \$3500 TO REPAIR AND RESTORE EXISTING WINDOWS.
5. SEE DETAIL 5/A3.3 FOR TYPICAL EXTERIOR WOOD TRIM LAYOUT AT DOORS AND WINDOWS.



SOUTH ELEVATION, ALTERNATE
Scale: 1/4" = 1'-0"

