



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Residential Demolition/New Construction

HEARING DATE: MARCH 27, 2014

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Planning
Information:
415.558.6377

Date: March 20, 2014
Case No.: 2013.0094D
Project Address: 439 ALVARADO STREET
Zoning: RH-2 (Residential House, Two-Family)
 40-X Height and Bulk District
Block/Lot: 3625/036
Project Sponsor: David Armour
 Armour + Vokic Architecture
 3350 Steiner Street
 San Francisco, CA 94123
Staff Contact: Michael Smith – (415) 588-6322
michael.e.smith@sfgov.org
Recommendation: **Do not take DR and approve demolition and new construction as proposed.**

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2013.0094D	New Building Case Number	2014.0393D
Recommendation	Do Not Take DR	Recommendation	Do Not Take DR
Demolition Application Number	2013.09.20.7323	New Building Application Number	2013.09.20.7325
Number Of Existing Units	1	Number Of New Units	1
Existing Parking	0	New Parking	2
Number Of Existing Bedrooms	3	Number Of New Bedrooms	5
Existing Building Area	±1,682 Sq. Ft.	New Building Area	±4,034 Sq. Ft.
Public DR Also Filed?	No	Public DR Also Filed?	No
311 Expiration Date	3/22/2014	Date Time & Materials Fees Paid	N/A

PROJECT DESCRIPTION

The Project is to demolish an existing two-story single-family dwelling and construct a new three-story over garage, single-family dwelling.

SITE DESCRIPTION AND PRESENT USE

The property at 439 Alvarado Street is located on the south side of Alvarado Street between Noe and Sanchez Streets. The Property has approximately 26'-10" of lot frontage along Alvarado Street with a lot depth of 114'. The lot slopes down from the street from north to south. The lot is developed with a three-bedroom, single-family dwelling with approximately 1,682 square-feet of habitable area. The building was constructed circa 1898. The dwelling is setback approximately 12 feet from the front property line. The property is within a RH-2 (Residential, House, Two-Family) Zoning District with a 40-X Height and Bulk designation.

SURROUNDING PROPERTIES & NEIGHBORHOOD

439 Alvarado Street is located on a residential block that is defined primarily by two- to three-story, single-family and two-family dwellings, constructed from 1898 to 1912. The south side of the street contains an especially high concentration of Queen Anne buildings designed by master builders Jonathan Anderson and Fernando Nelson. These buildings include (425-427, 439-433, 435, 443, 449, 453, 457, 461, and 465). There is also a strong concentration of Queen Anne buildings that were designed by Anderson and Nelson in the surrounding blocks. Most of the buildings appear to have shaped roofs and are finished in wood siding.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	March 17, 2014	March 17, 2014	10 days
Mailed Notice	10 days	March 17, 2014	March 17, 2014	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	X		
Other neighbors on the block or directly across the street			
Neighborhood groups			

REPLACEMENT STRUCTURE

The replacement structure will provide one dwelling-unit with a two-car garage, and would rise to approximately 40'-0" in height. The ground floor will contain a two-car garage, living room, bedroom, and full bathroom. The second floor contains the main living space, which consist of; a second living room, dining room, family room, and kitchen. The third floor contains three-bedrooms and two full baths. The top floor is located beneath the sloped roof and contains another bedroom and a living room. The building has 4,034 sq. ft. of habitable area.

The overall scale, design, and materials of the proposed replacement structure are compatible with the block-face and are complementary with the residential neighborhood character. The materials for the front façade are traditional in style, with horizontal wood siding, wood single-hung windows with wood window trim, and wood stairs and entry porch.

PUBLIC COMMENT

The Project has completed the Section 311 and Mandatory DR notification. Staff received correspondence from the adjacent neighbor to the west regarding privacy concerns related to side window placement. The project sponsor proposed some changes to the window configuration that the neighbor found acceptable. No separate Discretionary Review was filed.

GENERAL PLAN COMPLIANCE

The Project is, on balance, consistent with the following Objective and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

The proposal would provide a well-designed single-family dwelling that the property owner intends to use for his/her family. The building's design cues were taken from similar buildings found within the neighborhood.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

The proposal would create a larger single-family dwelling on the subject property in a manner that does not substantially impact neighborhood character.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The proposal is residential and therefore would not affect existing neighborhood-serving retail uses.

1. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposal would not retain existing housing however, the project would not decrease the City's housing stock and the proposed building is compatible with neighborhood character.

2. That the City's supply of affordable housing be preserved and enhanced.

Although the existing dwelling proposed for demolition is not above the 80% average price of a single-family home and thus considered "relatively affordable and financially accessible" housing, the dwelling is not defined as an "affordable dwelling-unit" by the Mayor's Office of Housing. By constructing a new larger dwelling-unit where one older dwelling exists, the relative affordability of existing housing is being lost.

3. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The proposal would not affect MUNI service within the neighborhood as the nearest MUNI service is several block away.

4. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The proposal is wholly residential and would not affect the City's industrial or service sectors.

5. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposal will be constructed in compliance with current building code in order to protect against loss of life in an earthquake.

6. Landmarks and historic buildings be preserved.

The existing building was determined not to be a historic resource.

7. Parks and open space and their access to sunlight and vistas be protected from development.

The proposal would not affect any parks or open space because there are no such spaces near the subject property.

ENVIRONMENTAL REVIEW

The Project was issued a Categorical Exemption, Classes 3 [State CEQA Guidelines Section 15301(1)(1) and 15303(b)] on May 14, 2013.

RESIDENTIAL DESIGN TEAM REVIEW

RDT reviewed the project in preparation for the DR hearing and determined that it was in compliance with the Residential Design Guidelines and that no modifications to the project were needed.

Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves new construction on a vacant lot.

BASIS FOR RECOMMENDATION

The Department recommends that the demolition of the existing single-family dwelling and the construction of a new two-family dwelling be approved. The Project is consistent with the Objectives and Policies of the General Plan and complies with the Residential Design Guidelines and Planning Code. The Project meets the criteria set forth in Section 101.1 of the Planning Code in that:

- No tenants will be displaced as a result of this Project.
- Given the scale of the Project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- Although the structure is more than 50-years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark.

RECOMMENDATION:

Case No. 2013.0094D – Do not take DR and approve the demolition.

Case No. XXXX.XXXXD – Do not take DR and approve the new construction as proposed.

DEMOLITION CRITERIA - ADMINISTRATIVE REVIEW

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Project Does Not Meets Criteria

The subject property does not qualify for this exemption because it is located within a RH-2 District. For informational purposes, the property was purchased in September 2012 for \$1,480,000. The current value for financially accessible housing in San Francisco is \$1,506,000. The Project Sponsor does not claim that the property is valued at or above 80% of the median single-family home prices in San Francisco. As such, the property is considered relatively affordable and financially accessible housing for the purposes of this report and Planning Code Section 317.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings);

Project Meets Criteria

The Project Sponsor does not claim that the property is unsound. Therefore, the subject property is deemed to be sound.

DEMOLITION CRITERIA

Existing Building

1. Whether the property is free of a history of serious, continuing code violations;

Project Meets Criteria

A review of the databases for the Department of Building Inspection and the Planning Department did not show any enforcement cases or notices of violation.

2. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project Meets Criteria

The housing is free of Housing Code violations and appears to have been maintained in a decent, safe, and sanitary condition.

3. Whether the property is a "historical resource" under CEQA;

Project Meets Criteria

Although the structure is more than 50-years old, a review of the Historic Resource Evaluation resulted in a determination that it is not an historic resource for the purposes of CEQA.

4. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

Criteria Not Applicable to Project

The property is not a historical resource.

Rental Protection

5. Whether the Project converts rental housing to other forms of tenure or occupancy;

Criteria Not Applicable to Project

The existing unit is currently vacant and thus not rental housing.

6. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

Project Meets Criteria

The building is not currently subject to rent control because it is a single-family dwelling that is currently vacant.

Priority Policies

7. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project Does Not Meet Criteria

The Project does not meet this criterion because the existing dwelling will be demolished.

8. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project Meets Criteria

The Project will conserve the neighborhood character by constructing a replacement building that is compatible with the surrounding neighborhood in regards to materials, massing, glazing pattern, and roofline.

9. Whether the Project protects the relative affordability of existing housing;

Project Does Not Meet Criteria

Although the existing dwelling proposed for demolition is not above the 80% average price of a single-family home and thus considered “relatively affordable and financially accessible” housing, the dwelling is not defined as an “affordable dwelling-unit” by the Mayor’s Office of Housing. By constructing a new larger dwelling-unit where one older dwelling exists, the relative affordability of existing housing is being lost.

10. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Project Does Not Meet Criteria

The Project does not include any permanently affordable units.

Replacement Structure

11. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

Project Meets Criteria

The Project replaces one single-family dwelling with a new single-family dwelling within an established neighborhood characterized by one- and two-family dwellings.

12. Whether the Project creates quality, new family housing;

Project Meets Criteria

The Project will create a quality new single-family dwelling that is ideal for larger families.

13. Whether the Project creates new supportive housing;

Project Does Not Meet Criteria

The Project is not specifically designed to accommodate any particular Special Population Group as defined in the Housing Element.

14. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

Project Meets Criteria

The Project promotes the construction of well-designed housing that is in scale with the surrounding neighborhood and constructed of high-quality materials.

15. Whether the Project increases the number of on-site dwelling units;

Project Does Not Meet Criteria

The Project would not increase the number of dwelling units on the site.

16. Whether the Project increases the number of on-site bedrooms.

Project Meets Criteria

The Project increases the number of bedrooms on the site from three to five.

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The surrounding neighborhood consists of a mixture of two- and three-story buildings, containing mostly one or two residential units, constructed from 1898 to 1912. The south side (subject side) of the street contains an especially high concentration of Queen Anne buildings.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?	X		

Comments: The new building respects the existing block pattern by not impeding into the established mid-block open space and by providing a recess along the side property lines so to respect side spacing and open spaces on adjacent properties. Privacy on adjacent properties has been respected by strategically placement of side and rear windows and the use of obscure glass where necessary. The front yard is the average depth of the two adjacent buildings allowing for a 10' landscaped yard. The overall scale of the

proposed replacement structure is consistent with the block face and is complementary to the neighborhood character

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The replacement building is compatible with the established building scale at the street, as it creates a stronger street wall that is at the height of the two adjacent buildings. The height and depth of the building are compatible with the existing mid-block open space, as most buildings on the block extend up to or close to the 45% required rear yard. The building's hipped roof is similar to that of the adjacent building to the east. Overall the building's form, façade width, and proportions are compatible with the character of the neighborhood.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?			X
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		

Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?			X
Are the dormers compatible with the architectural character of surrounding buildings?	X		
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The location of the entrance is consistent with the predominant pattern of elevated entrances found of the south side of the street. The entrance is recessed within the front porch which is similar to the adjacent porches. The garage door is 10' in width and located below street level which minimizes its presence on the front façade. The roof dormers are setback and would be minimally visible from the street.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The placement and scale of the architectural details are compatible with the turn-of-the-century architectural character of the neighborhood. These details include wood, single-hung windows with wood trim, simple wood paneling and trim, and horizontal wood surfaces. All exposed walls are finished with quality materials that are compatible with the existing buildings in the neighborhood.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 – 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X
Are the character-defining features of the historic building maintained?			X
Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

Comments: The Project is not an alteration, and the dwelling that will be demolished has been determined not to be an historical resource for the purposes of CEQA.

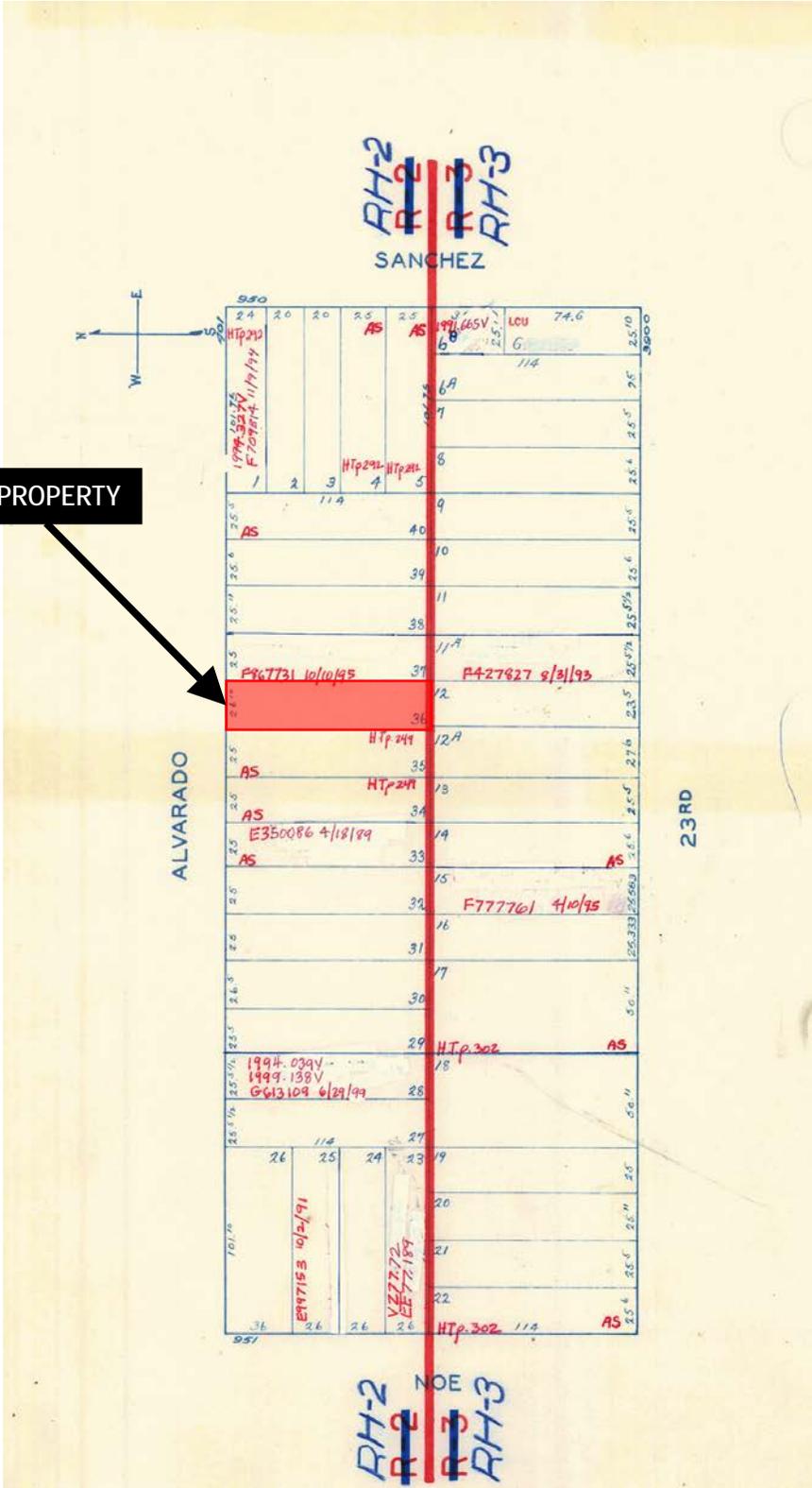
Attachments:

- Design Review Checklist for replacement building
- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Section 311 Notice
- Residential Demolition Application
- Environmental Evaluation / Historic Resources Information
- Reduced Plans
- Context Photos
- Project Rendering

* All page numbers refer to the Residential Design Guidelines

Parcel Map

SUBJECT PROPERTY



Discretionary Review Hearing
 Case Number 2013.0094D
 439 Alvarado Street



Sanborn Map*

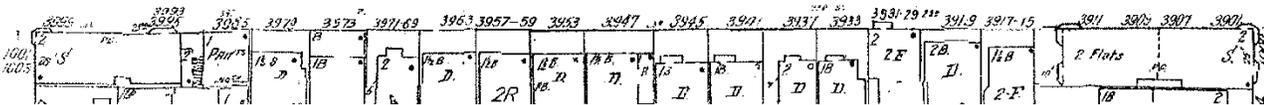
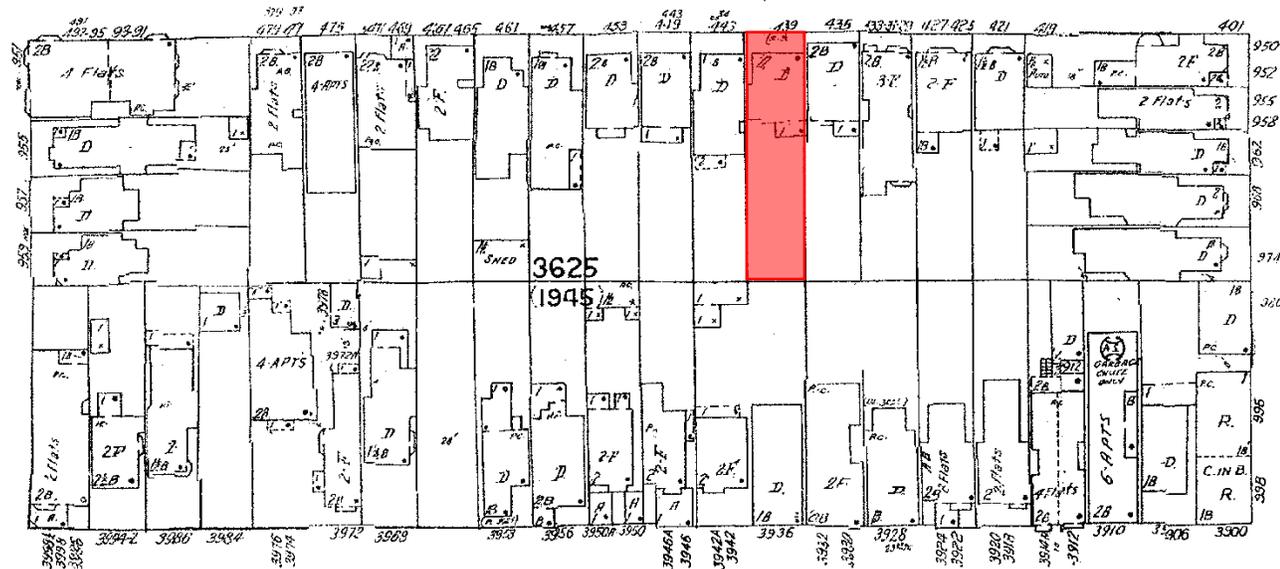
SUBJECT PROPERTY

702

ALVARADO

3625
1945

23RD ST. 64' wide

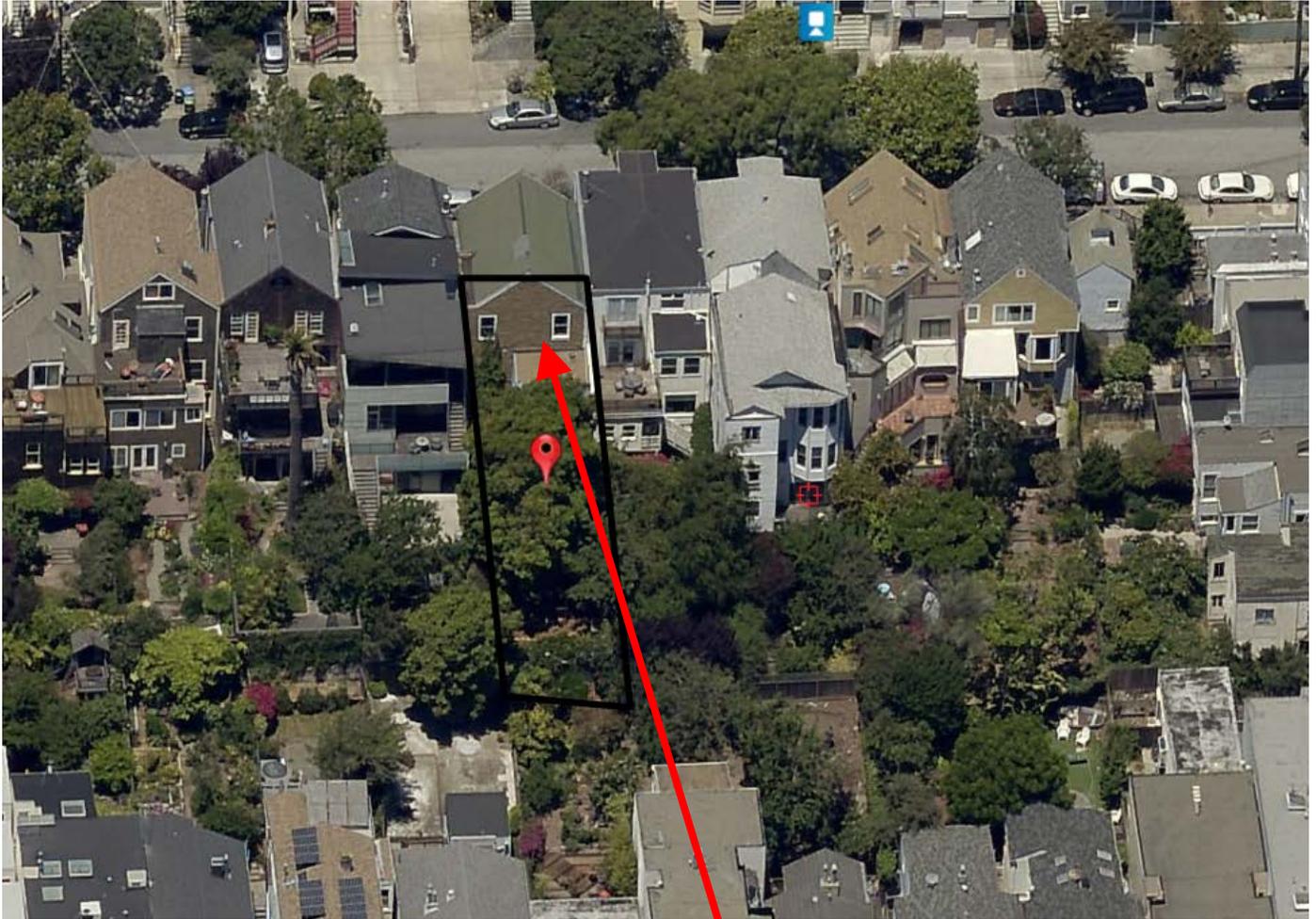


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2013.0094D
439 Alvarado Street

Aerial Photo

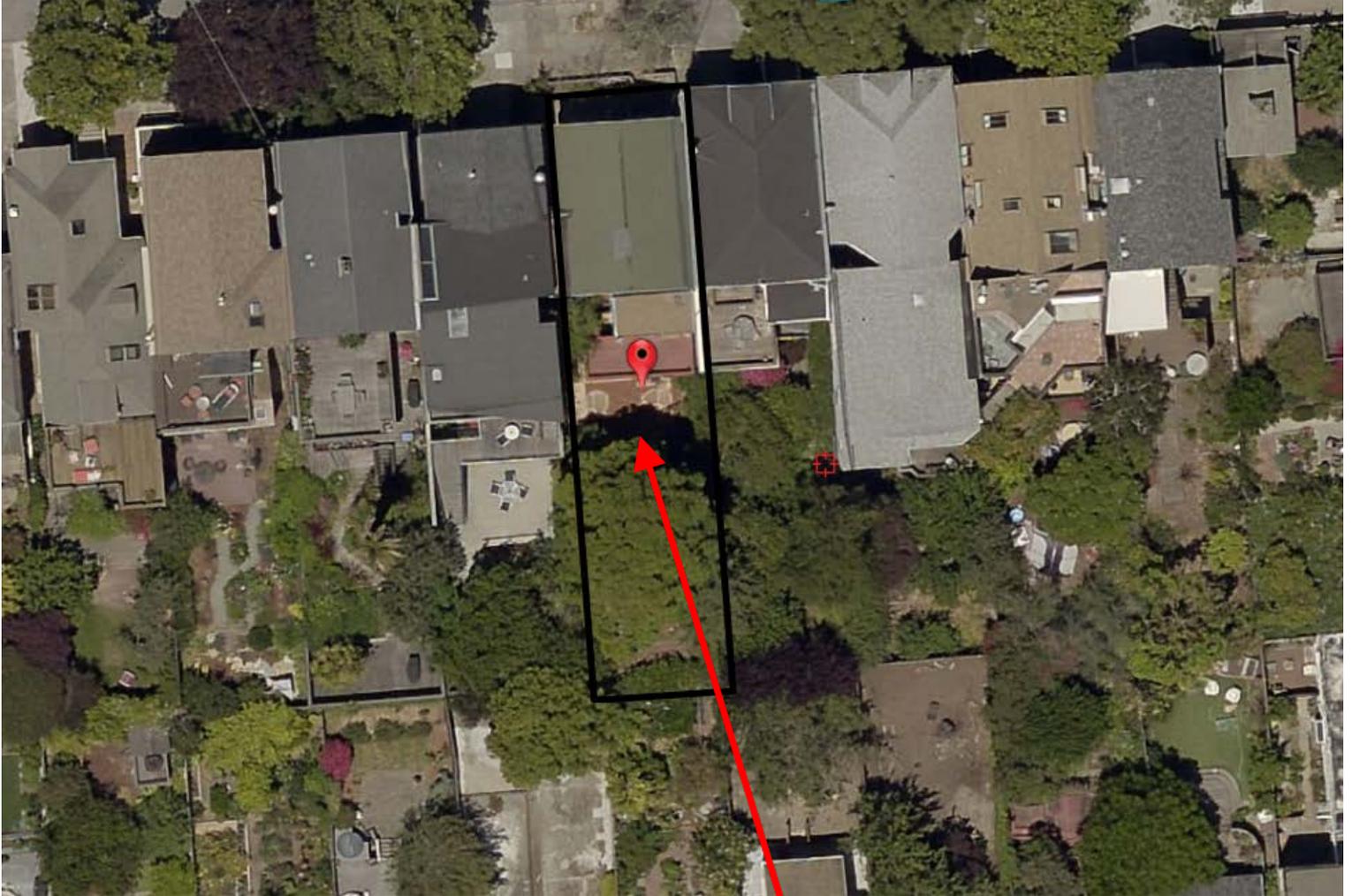


SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0094D
439 Alvarado Street

Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0094D
439 Alvarado Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **September 20, 2013**, the Applicant named below filed Building Permit Application No. **2013.09.20.7325 (New Construction)** and Demolition Permit Application No **2013.09.20.7323** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	439 Alvarado Street	Applicant:	David Armour
Cross Street(s):	Noe and Sanchez Streets	Address:	3350 Steiner Street
Block/Lot No.:	3625/036	City, State:	San Francisco, CA 94123
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 440-2880

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	12 feet	10 feet
Side Setbacks	None	No Change
Building Depth	37 feet	64 feet, 8 inches
Rear Yard (measured to rear wall)	65 feet	39 feet, 4 inches
Building Height (measured above curb)	33 feet, 9 inches	39 feet, 8 inches
Number of Stories	2	3 over garage
Number of Dwelling Units	1	No Change
Number of Parking Spaces	0	2 (tandem)
PROJECT DESCRIPTION		
<p>The proposal is to demolish the existing two-story, single-family dwelling and construct a new three-story over garage, single-family dwelling. The project requires a mandatory staff-initiated discretionary review hearing for demolition of a dwelling the hearing for which will be noticed to the public at a later date. Members of the public with concerns regarding the project can request their own discretionary review of the project the hearing for which would be combined with the hearing for the demolition. See attached plans.</p>		

For more information, please contact Planning Department staff:

Planner: Michael Smith
 Telephone: (415) 558-6322
 E-mail: michael.e.smith@sfgov.org

Notice Date: 2/20/14
 Expiration Date: 3/22/14

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
439 Alvarado Street		3625/036	
Case No.	Permit No.	Plans Dated	
2013.0094D	2013.09.20.7323		
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRER if over 50 years old)	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. demolition of an existing two-story, single-family dwelling and new construction of a three-story over garage. single-family dwelling.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.; change of use if principally permitted or with a CU.
<input checked="" type="checkbox"/>	Class 3 – New Construction. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an air pollution hot spot? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Hot Spots)
<input type="checkbox"/>	Hazardous Materials: Any project site that is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve soil disturbance of any amount or a change of use from industrial to commercial/residential? If yes, should the applicant present documentation of a completed Maher Application that has been submitted to the San Francisco Department of Public Health (DPH), this box does not need to be checked, but such documentation must be appended to this form. In all other circumstances, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment and/or file a Maher Application with DPH. (refer to EP_ArcMap > Maher layer.)

<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional):	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 50 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	3. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	4. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	5. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	6. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	8. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	9. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input checked="" type="checkbox"/>	9. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: <u>May 14, 2013</u> (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: michael smith <small>Digitally signed by michael smith DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, ou=michael smith, email=michael.e.smith@sfgov.org Date: 2014.03.19 16:41:29 -07'00'</small>	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: michael smith Project Approval Action: Building Permit <small>*If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small>	Signature or Stamp: <div style="font-size: 2em; font-weight: bold;">michael smith</div> <small>Digitally signed by michael smith DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, ou=michael smith, email=michael.e.smith@sfgov.org Date: 2014.03.19 16:41:29 -07'00'</small>
<p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		



SAN FRANCISCO PLANNING DEPARTMENT

Historic Resource Evaluation Response

Date: May 14, 2013 (Part I)
Case No.: 2013.0094E
Project Address: 439 Alvarado Street
Zoning: RH-2 (Residential, House, Two-Family) District
40-X Height and Bulk District
Block/Lot: 3625/036
Staff Contact: Michael Smith (Preservation Planner)
(415) 558-6322
michael.e.smith@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PART I: HISTORIC RESOURCE EVALUATION

Buildings and Property Description

439 Alvarado Street is located on the south side of the street between Sanchez and Noe Streets in the Noe Valley neighborhood. The subject building is located on an approximately 3,057 square-foot, rectangular shaped lot located within a RH-2 (Residential, House, Two-Family) Zoning District and a 40-X Height and Bulk District.

The subject property is improved with a two-story, wood-framed, single-family dwelling that was constructed circa 1898. The building's north elevation is its primary elevation and is set back from Alvarado Street. There is a low cast concrete wall with short pillars at the sidewalk that is topped with a wooden fence enclosing a small planted area and a sub grade stairwell to the right. The ground floor features a recessed porch entrance on the left and a canted bay window on the right. The entrance is flanked to the left by a fixed, stained glass window. The bay window features one-over-one, double-hung, wood-sash windows behind security bars. The second floor overhangs the first floor below and extending out to the face of the bay window. The second floor windows are asymmetrically placed with two- one-over-one, wood sash windows centered over the first floor bay window and one double-hung window centered over the entrance. The elevation is topped molded cornice beneath a gabled roof with pedimented gable ends. The building is an example of a modified Queen Anne row house.

Pre-Existing Historic Rating / Survey

The subject property is not included on any historic resource surveys or listed on any local, state or national registries. The building is considered a "Category B" property (Properties Requiring Further Consultation and Review) for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its age (constructed circa 1898).

Neighborhood Context and Description

The subject property is located on Alvarado Street within the Noe Valley neighborhood which is generally considered to be bordered by 21st Street to the north, 30th Street to the south, Grand View Avenue and Diamond Heights Boulevard to the west and Dolores Street to the east. The neighborhood is named after Jose de Jesus Noe, the last Mexican alcalde of Yerba Buena. However, John Meirs Horner is

the person most associated with Noe Valley's development. The area was comprised mainly of dairy farms, grazing land, and farm land but under Horner the neighborhood was plotted, names were given to its streets, and it became known as Horner's Addition.

The area was originally part of Rancho San Miguel which was owned by Jose de Jesus Noe, the last Mexican alcalde of Yerba Buena. During the Gold Rush, Jose Noe, like the other rancheros in San Francisco, had no reasonable means to preserve his rancho. Wages to police the ranchos were high, costs to litigate rancho claims were high, and a series of droughts and floods cut into rancho profits. These factors combined with the Financial Panic of 1852-59 forced Jose Noe to sell his lands.

John Meirs Horner, an ambitious Mormon who had arrived on the sailing ship *Brooklyn* in 1846, purchased the eastern portion of Rancho San Miguel, from Jose de Jesus Noe in 1853. The area was comprised mainly of dairy farms, grazing land, and farm land but under Horner the neighborhood was plotted, names were given to its streets, and it became known as Horner's Addition. Of all the Rancho San Miguel neighborhoods, those in Horner's Addition developed first because they were closer to downtown. As a result, the oldest buildings of any Rancho San Miguel neighborhoods can be found in Noe and Eureka Valleys. Because the area was spared in the aftermath of the 1906 Earthquake and Fire, settlement in these neighborhoods boomed as Earthquake refugees settled in the area during the reconstruction period (1906 - 1914). The refugees that settled in Noe Valley were primarily of Irish, German, and Scandinavian decent. The neighborhood was developed as a working class one and its early development reflected it. Building plans were primarily taken from pattern books for efficiency with trim and ornamentation options depending on the owner's tastes and finances. Noe Valley's primary development period was from 1880 - 1920, though its higher more remote locations remained undeveloped until the middle of the century which resulted in clusters of mid-century development scattered throughout its higher elevations.

Due to its family friendly atmosphere, proximity to transit lines going downtown, and rapidly increasing land values the neighborhood rapidly gentrified to the white collar neighborhood that it is today.

439 Alvarado Street is located on a residential block that is defined primarily by two- to three-story, single-family and two-family dwellings, constructed from 1898 to 1912. The south side of the street contains an especially high concentration of Queen Anne buildings designed by master builders Jonathan Anderson and Fernando Nelson. These buildings include (425-427, 439-433, 435, 443, 449, 453, 457, 461, and 465). There is also a strong concentration of Queen Anne buildings that were designed by Anderson and Nelson in the surrounding blocks. The buildings retain good visual integrity and may be one of the larger collections of high styled, working class, Queen Anne buildings. As such, the property appears to be within a potential historic district. The boundaries of the district appear to extend to 22nd Street to the north, 23rd Street to the south, Castro Street to the west, and Sanchez Street to the east. It should be noted that the immediate blocks surrounding the site have not been formally surveyed and that the Liberty Hill Historic District is the nearest historic district located a few blocks east of the subject property.

CEQA Historical Resource(s) Evaluation

Step A: Significance

Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." The fact that a resource is not listed in, or

determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA.

Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:
Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 1 - Event: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Period of Significance:	Period of Significance: 1885 - 1915
	<input type="checkbox"/> Contributor <input checked="" type="checkbox"/> Non-Contributor

To assist in the evaluation of the subject property, the Project Sponsor has submitted Supplemental Historic Information about the property dated November 2012, prepared by Tim Kelley Consulting (TKC). Based upon the information prepared by TKC and found within the Planning Department's background files, Preservation staff finds that the subject property is a non-contributing property within an eligible historic district and therefore is not eligible for inclusion on the California Register.

Criterion 1: Property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

Constructed circa 1898, the subject property was developed during Noe Valley's primary development period (1880 - 1920) as it was transitioning from a rural area to an urban neighborhood. To be eligible under the event Criterion, the building cannot merely be associated with historic events or trends but must have a specific association to be considered significant. Staff finds that the subject building has no specific association with this period of development that would make it eligible for inclusion on the California Register under this Criterion. Additional research has not revealed that any significant events occurred on the property that would make it individually eligible for listing under this Criterion.

There does appear to be a collection of buildings designed by Jonathan Anderson and Fernando Nelson from Noe Valley's development period as it was transitioning to a streetcar suburb. This collection of buildings demonstrates the broad patterns of San Francisco post-Mexican era settlement, development as a working class street-car suburb of the city. The collection of buildings within the boundaries of 22nd Street to the north, 23rd Street to the south, Castro Street to the west, and Sanchez Street to the east appear to be eligible for the California Register under this Criterion. However, the subject building does not appear to be a contributor to this potential district because its Queen Anne ornamentation has been removed.

Criterion 2: Property is associated with the lives of persons important in our local, regional or national past.

Based upon the information prepared by TKC, in 1898 the property was transferred from Alexander and Bridget Davidson to Owen Casey, a capitalist and liquor store owner. In 1906, title was transferred again to Alexander Davidson. Mr. Davidson, an inspector for U.S. Customs, owned the property until his death in 1920 though the property was owned by the Davidson family until 1937 when it was transferred to Charles and Lucille Evans. The Evans promptly sold the property to Rebecca Stooksbury. During this time, the property was rented to Frederick and Ella Mellars until 1943. Mr. Mellars was a superintendent for the Pacific Instruments Company. Up to present day, the property had eight more owners. None of the people associated with the property were found to be significant persons in our local, regional, or national past, therefore, the property is not eligible for listing under California Register Criterion 2.

Criterion 3: Property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.

There is no extant original permit or water tap records for the subject property though it first appears on Sanborn Maps in 1900. The property's first transactional record was in 1898. It is therefore, unknown whether the building is the work of a master such as Jonathan Anderson or Fernando Nelson who designed many buildings within the immediate vicinity. A permit was issued in 1942 to cover the front of the building with asbestos siding which resulted in either the removal or covering of the building's character defining, Queen Anne ornamentation. As a result of the alteration, the building lacks high artistic values and does not truly embody the Queen Anne aesthetic for it to be a contributor to the potential historic district.

As stated above, the property is located among a collection of similar styled Queen Anne buildings with good visual integrity and high styled ornamentation. This collection of buildings embodies the distinctive characteristics of a working class Victorian neighborhood. The subject building does not contribute to this collection of buildings because it is not a strong example of Queen Anne architecture due to the removal of its original ornamentation. The building's original ornamentation is unknown but the properties that contribute to the potential historic district generally have wood gable detailing, pent roofs at the second floor, decorative brackets, textured wall shingles, and decorative frieze detailing. None of these details are present on the subject building and therefore it is determined that there is an eligible historic district pursuant to Criterion 3 of the California Register, to which the subject property does not contribute.

Criterion 4: Property yields, or may be likely to yield, information important in prehistory or history.

Based upon a review of archaeological information in the Departments records, the subject property is not likely to yield legally significant resources are anticipated in excavated areas. Therefore, the subject property is eligible for listing under California Register Criterion 4.

Step B: Integrity

To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as "the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance." Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

The subject property has retained or lacks integrity from the period of significance noted in Step A:

- | | | | | | |
|---------------------|----------------------------------|--------------------------------|-------------------|----------------------------------|--------------------------------|
| Location: | <input type="checkbox"/> Retains | <input type="checkbox"/> Lacks | Setting: | <input type="checkbox"/> Retains | <input type="checkbox"/> Lacks |
| Association: | <input type="checkbox"/> Retains | <input type="checkbox"/> Lacks | Feeling: | <input type="checkbox"/> Retains | <input type="checkbox"/> Lacks |
| Design: | <input type="checkbox"/> Retains | <input type="checkbox"/> Lacks | Materials: | <input type="checkbox"/> Retains | <input type="checkbox"/> Lacks |
| Workmanship: | <input type="checkbox"/> Retains | <input type="checkbox"/> Lacks | | | |

Since 439 Alvarado Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, an analysis of integrity was not conducted. However, it should be noted that the subject property has undergone prominent alterations including the removal of ornamentation and replacement of cladding that have significantly altered its original appearance.

Step C: Character Defining Features

If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

Since 439 Alvarado Street was determined not to meet any of the criteria that would identify it as eligible for the California Register of Historical Resources, this analysis was not conducted.

CEQA Historic Resource Determination

- Historical Resource Present
 - Individually-eligible Resource
 - Contributor to an eligible Historic District
 - Non-contributor to an eligible Historic District

No Historical Resource Present

PART I: SENIOR PRESERVATION PLANNER REVIEW

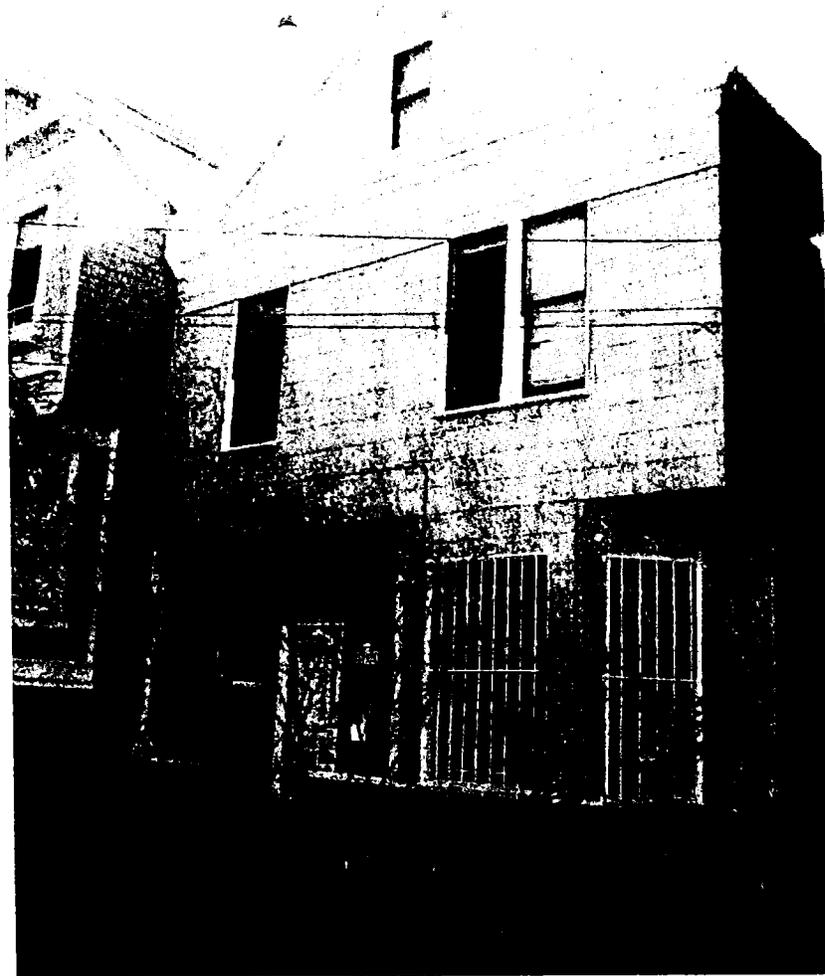
Signature: Tina Tam Date: 5-14-2013
Tina Tam, Senior Preservation Planner

- cc: Vimaliza Byrd, Environmental Division/ Historic Resource Impact Review File
Ferolyn Powell, Property Owner
Jeremy Paul, Project Sponsor
Adrian Putra, Project Planner

SUPPLEMENTAL INFORMATION REPORT

439 ALVARADO STREET

SAN FRANCISCO, CALIFORNIA



TIM KELLEY CONSULTING, LLC

HISTORICAL RESOURCES

2912 DIAMOND STREET #330

SAN FRANCISCO, CA 94131

415.337-5824

TIM@TIMKELLEYCONSULTING.COM

APPLICATION FOR Dwelling Unit Removal Merger, Conversion, or Demolition

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Luke and Kitty Sung	
PROPERTY OWNER'S ADDRESS: 585 25th Avenue San Francisco, CA 94121	TELEPHONE: (415) 533-8854
	EMAIL: lukeandkitty@gmail.com

APPLICANT'S NAME: David Armour, Armour+Vokic Architecture		Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS: 3350 Steiner Street San Francisco, CA 94123	TELEPHONE: (415) 440-2880	EMAIL: david@armour-vokic.com

CONTACT FOR PROJECT INFORMATION:		Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE: ()	EMAIL:

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):		Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE: ()	EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT: 439 Alvarado Street, San Francisco, CA		ZIP CODE: 94114
CROSS STREETS: Sanchez Street		
ASSESSORS BLOCK/LOT: 3625 / 036	LOT DIMENSIONS: 26'-10"x114'	LOT AREA (SQ FT): 3,059
ZONING DISTRICT: RH-2		HEIGHT/BULK DISTRICT: 40-X

	PROJECT INFORMATION	EXISTING	PROPOSED	NET CHANGE
1	Total number of units	1	1	0
2	Total number of parking spaces	0	2	+2
3	Total gross habitable square footage	1,671	3,506	+1,433
4	Total number of bedrooms	3	4	+1
5	Date of property purchase	9/26/12	N/A	N/A
6	Total number of rental units	0	0	0
7	Number of bedrooms rented	0	0	0
8	Number of units subject to rent control	0	0	0
9	Number of bedrooms subject to rent control	0	0	0
10	Number of units currently vacant	1	0	+1
11	Was the building subject to the Ellis Act within the last decade?	NO	N/A	N/A
12	Number of owner-occupied units	1	1	0

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

9.20.13

Print name, and indicate whether owner, or authorized agent:

David Armour (authorized agent)

Owner / Authorized Agent (circle one)

Loss of Dwelling Units Through **Demolition**

(FORM A - COMPLETE IF APPLICABLE)

Pursuant to Planning Code Section 317(d), the demolition of residential dwellings not otherwise subject to a Conditional Use Authorization shall be either subject to a Mandatory Discretionary Review hearing or will qualify for administrative approval. Administrative approval only applies to (1) single-family dwellings in RH-1 Districts proposed for Demolition that are not affordable or financially accessible housing (valued by a credible appraisal within the past six months to be greater than 80% of combined land and structure value of single-family homes in San Francisco); or (2) residential buildings of two units or fewer that are found to be unsound housing. Please see website under Publications for Loss of Dwelling Units Numerical Values.

The Planning Commission will consider the following criteria in the review of applications to demolish Residential Buildings. Please fill out answers to the criteria below:

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

see attached

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings).

see attached

3. Whether the property is free of a history of serious, continuing code violations;

see attached

Existing Building (continued)

4. Whether the housing has been maintained in a decent, safe, and sanitary condition;

see attached

5. Whether the property is a *historical resource* under CEQA;

see attached

6. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

see attached

Rental Protection

7. Whether the Project converts rental housing to other forms of tenure or occupancy;

see attached

8. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

see attached

Priority Policies

9. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

see attached

10. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

see attached

11. Whether the Project protects the relative affordability of existing housing;

see attached

12. Whether the Project increases the number of permanently affordable units as governed by Section 415;

see attached

Replacement Structure

13. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

see attached

Replacement Structure

14. Whether the Project creates quality, new family housing;

see attached

15. Whether the Project creates new supportive housing;

see attached

16. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

see attached

17. Whether the Project increases the number of on-site dwelling units;

see attached

18. Whether the Project increases the number of on-site bedrooms.

see attached



Priority General Plan Policies – Planning Code Section 101.1 (APPLICABLE TO ALL PROJECTS SUBJECT TO THIS APPLICATION)

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed alterations and demolitions are consistent with eight priority policies set forth in Section 101.1 of the Planning Code. These eight policies are listed below. Please state how the Project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. If a given policy does not apply to your project, explain why it is not applicable.

Please respond to each policy; if it's not applicable explain why:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

see attached

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

see attached

3. That the City's supply of affordable housing be preserved and enhanced;

see attached

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

see attached

Please respond to each policy; if it's not applicable explain why:

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

see attached

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

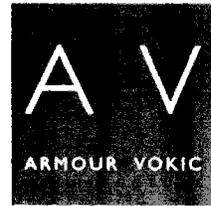
see attached

7. That landmarks and historic buildings be preserved; and

see attached

8. That our parks and open space and their access to sunlight and vistas be protected from development.

see attached



Dwelling Unit Removal Application

Project: Sung Residence
Address: 439 Alvarado Street
Date: 20 September 2013

Loss of Dwelling Unit through Demolition: Form A Criteria

Existing Value and Soundness

1. The home was recently purchased for \$1,480,00.
2. The house was not found to be unsound.
3. The property is free of a history of serious, continuing code violations.
4. The house appears to have lacked regular maintenance over the past several decades. The existing basement has numerous unsafe areas.
5. The property is NOT a historic resource under CEQA. Planning changed the status of the property to a Category "C" as a result of the HRE process.
6. Does not apply as the property is NOT a historic resource under CEQA.

Rental Protection

7. The property has been owner occupied since 1986 and for the majority of its history dating back to 1900, having been rented from 1920-43, from 1950-54 and then last from 1976-86.
8. The property is owner occupied and has not been rented since 1986.

Priority Policies

9. The project proposes to replace a dilapidated single family dwelling with a new single family dwelling that is designed to fit within the prevailing neighborhood architectural and cultural style. The existing property is above the affordability threshold and thus does not contribute to the economic diversity of the neighborhood.
10. The Project will conserve and enhance neighborhood character through its design that respects the prevailing block massing, materials and patterns of bay windows and gabled roofs.
11. The property is not affordable housing.
12. The project does not increase the number of permanently affordable housing units.

Replacement Structure

13. The Project replaces a dilapidated single family residence with an appropriately scaled and detailed single family residence that respects the established neighborhood patterns.
14. The Project replaces a dilapidated 3 bedroom family home lacking a garage with a 4 bedroom family home with a garage. The project sponsors have 3 children.
15. The Project does not create supportive housing.
16. The Project is designed to strengthen the prevailing block pattern through its massing, materials and patterns of bay windows and gabled roofs thus respecting and enhancing the existing neighborhood character. The existing house does not enhance the block pattern.
17. The Project does not increase the number of on-site dwelling units.
18. The Project increases the number of on-site bedrooms from 3 to 4.

Priority General Plan Policies – Planning Code Section 101.1 (Prop M)

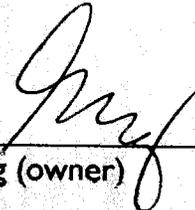
1. The proposal does not include any retail uses and there are none in the immediate vicinity.
2. The project proposes to replace a dilapidated single family dwelling with a new single family dwelling that is designed to fit within the prevailing neighborhood architectural and cultural style. The existing property is above the affordability threshold and thus does not contribute to the economic diversity of the neighborhood.
3. The existing home does not fall into the category of affordable housing.
4. There is no MUNI service on the subject block. There will be no increase in commuter traffic as the property is and will remain a single family dwelling.
5. The proposal involves an existing single family home. There are no existing industrial or service uses on the site or in the immediate vicinity.
6. The construction of the proposed work will be in full compliance with all current building codes which establish the required level of seismic strengthening in the event of an earthquake.
7. The property possesses a Class C Historic Status Code according to the Planning Department.
8. There are no parks or public open space in the immediate vicinity.

17 September 2013
585 25th Avenue
San Francisco, CA 94121
lukeandkitty@gmail.com

City of San Francisco,

We hereby authorize Armour+Vokic Architecture to act on our behalf to apply for a Dwelling Unit Removal, Environmental Evaluation, Building Permit and/or any other action in connection with planning and building for our home at 439 Alvarado Street, San Francisco, CA 94114.

Regards,



Luke Sung (owner)



Kitty Sung (owner)

13.0094 D

13.0094 D

Uniform Residential Appraisal Report

The purpose of this summary appraisal report is to provide the lender/client with an accurate, and adequately supported, opinion of the market value of the subject property.

Property Address 439 Alvarado St, City San Francisco, State CA, Zip Code 94114. Borrower Luke Sung, Owner of Public Record Carlos C Barrios, County San Francisco. Legal Description Lot 36 Block 3625. Assessor's Parcel # 3625-036, Tax Year 2011, R.E. Taxes \$ 972. Neighborhood Name Noe Valley, Map Reference 667-G2, Census Tract 211.00. Occupant [X] Owner, [] Tenant, [] Vacant. Special Assessments \$ 0. PUD [] HOA \$ 0. Property Rights Appraised [X] Fee Simple, [] Leasehold, [] Other (describe). Assignment Type [X] Purchase Transaction, [] Refinance Transaction, [] Other (describe). Lender/Client RMR Financial, Address 16780 Lark Ave, Los Gatos, CA 95032. Is the subject property currently offered for sale or has it been offered for sale in the twelve months prior to the effective date of this appraisal? [X] Yes, [] No. Report data source(s) used, offering price(s), and date(s). DOM 16; Listed on SFAR# 400062 on 8/21/2012 for \$1,195,000.

I [X] did [] did not analyze the contract for sale for the subject purchase transaction. Explain the results of the analysis of the contract for sale or why the analysis was not performed. Arms length sale; The standard sales contract for this area was utilized. A 10-page contract including counters was provided and reviewed. Per the listing agent, there were multiple offers (total of 4 offers). Contract Price \$ 1,480,000, Date of Contract 08/30/2012. Is the property seller the owner of public record? [X] Yes, [] No. Data Source(s) tax records. Is there any financial assistance (loan charges, sale concessions, gift or downpayment assistance, etc.) to be paid by any party on behalf of the borrower? [] Yes, [X] No. If Yes, report the total dollar amount and describe the items to be paid. \$0; No financial assistance provided.

Note: Race and the racial composition of the neighborhood are not appraisal factors. Neighborhood Characteristics: Location [X] Urban, [] Suburban, [] Rural. Property Values [X] Increasing, [] Stable, [] Declining. One-Unit Housing Trends: Demand/Supply [] Shortage, [X] In Balance, [] Over Supply. One-Unit Housing: PRICE \$710, AGE 0. Present Land Use %: One-Unit 50%, 2-4 Unit 5%, Multi-Family 5%, Commercial 5%, Other open 35%. Neighborhood Boundaries on the North by 19th St., on the East by Dolores St., on the South by Clipper St., and on the West by Douglas St. Neighborhood Description Located in a very established and highly desirable area comprised primarily of attached SFR's built in the Victorian style of the early 1900's. Market Conditions (including support for the above conclusions) Increasing values (11%-13% in 6 months) are attributed to the ongoing success of San Francisco-based hi-tech companies (e.g., Twitter, Zynga, Yelp, Salesforce.com). Inventory has been consistently low for the last 12 months. Dimensions 26.83 x 114, Area 3059 sf, Shape Rectangular, View N;Res;LtdSght. Specific Zoning Classification Rh2, Zoning Description Single Family Residential. Zoning Compliance [X] Legal, [] Legal Nonconforming (Grandfathered Use), [] No Zoning, [] Illegal (describe). Is the highest and best use of the subject property as improved (or as proposed per plans and specifications) the present use? [X] Yes, [] No. If No, describe.

Utilities: Electricity [X], Gas [X], Water [X], Sanitary Sewer [X]. Off-site Improvements: Street Asphalt [X], Alley None. FEMA Special Flood Hazard Area [] Yes, [X] No. FEMA Flood Zone X, FEMA Map # 06029800001N, FEMA Map Date 05/04/2009. Are the utilities and off-site improvements typical for the market area? [X] Yes, [] No. Are there any adverse site conditions or external factors (easements, encroachments, environmental conditions, land uses, etc.)? [] Yes, [X] No. If Yes, describe.

GENERAL DESCRIPTION: Units [X] One, # of Stories 2, Type [X] Det., Design (Style) Victorian, Year Built 1900, Effective Age (Yrs) 25. FOUNDATION: [] Concrete Slab, [X] Partial Basement, Basement Finish 100%. EXTERIOR DESCRIPTION: Foundation Walls Concrete/Average, Exterior Walls Wood/Shg/Avg, Roof Surface Comp/Tar/Grvl/Av, Gutters & Downspouts Galv.Metal/Avg, Window Type Single Pane/Avg, Storm Sash/Insulated None, Screens None. INTERIOR: Floors Cpt/Tile/Average, Walls Drywall/Average, Trim/Finish Wd/Paint/Avg, Bath Floor Tile/Vinyl/Avg, Bath Wainscot Tile/Average, Car Storage [X] None, Driveway # of Cars 0, Amenities [X] Fireplaces # 1, [X] Fence Wood, [X] Porch Entry, [X] Washer/Dryer.

IMPROVEMENTS: Appliances [X] Refrigerator, [X] Range/Oven, [X] Dishwasher, [X] Disposal, [X] Microwave, [X] Washer/Dryer. Finished area above grade contains: 6 Rooms, 3 Bedrooms, 2.0 Bath(s), 1,680 Square Feet of Gross Living Area Above Grade. Additional features (special energy efficient items, etc.) None noted. Describe the condition of the property (including needed repairs, deterioration, renovations, remodeling, etc.). C4; Kitchen updated one to five years ago; Bathrooms not updated; For updated kitchen features, see photos which are annotated. All systems (electrical, heating and plumbing) as well as built-in appliances were tested and found to be in working.

Are there any physical deficiencies or adverse conditions that affect the livability, soundness, or structural integrity of the property? [] Yes, [X] No. Does the property generally conform to the neighborhood (functional utility, style, condition, use, construction, etc.)? [X] Yes, [] No. The subject's value is below the predominant value because it is smaller than the predominant SFR in the neighborhood (the median GLA is 1763sf). The subject's size is within the range for this area and the subject is not X. Its size and value have no impact on its marketability.

Uniform Residential Appraisal Report

There are 5 comparable properties currently offered for sale in the subject neighborhood ranging in price from \$ 949,000 to \$ 1,595,000

There are 39 comparable sales in the subject neighborhood within the past twelve months ranging in sale price from \$ 749,000 to \$ 2,027,475

FEATURE	SUBJECT	COMPARABLE SALE NO. 1	COMPARABLE SALE NO. 2	COMPARABLE SALE NO. 3
439 Alvarado St Address San Francisco, CA 94114	255 Chattanooga St San Francisco, CA 94114	4381 25th St San Francisco, CA 94114	3573 22nd St San Francisco, CA 94114	
Proximity to Subject		0.27 miles ESE	0.50 miles SW	0.21 miles ENE
Sale Price	\$ 1,480,000	\$ 1,525,000	\$ 1,535,525	\$ 1,525,000
Sale Price/Gross Liv. Area	\$ 880.95 sq. ft.	\$ 968.25 sq. ft.	\$ 1,096.80 sq. ft.	\$ 802.63 sq. ft.
Data Source(s)	SFAR #396092;DOM 24	SFAR #398767;DOM 26	SFAR #397956;DOM 26	
Verification Source(s)	Realist; Tax Doc#K699-200	Realist; Tax Doc#K703-168	Realist; Tax Doc#K690-253	

VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) \$ Adjustment	DESCRIPTION	+(-) \$ Adjustment	DESCRIPTION	+(-) \$ Adjustment
Sale or Financing		ArmLth Conv;0		ArmLth Conv;0		ArmLth Conv;0	
Concessions							
Date of Sale/Time		s06/12;c05/12		s08/12;c07/12		s07/12;c06/12	
Location	N;Res;	N;Res;		N;Res;		N;Res;	
Leasehold/Fee Simple	Fee Simple	Fee Simple		Fee Simple		Fee Simple	
Site	3059 sf	3525 sf	0	2848 sf	0	1947 sf	11,120
View	N;Res;LtdSght	N;Res;LtdSght		N;Res;LtdSght		N;Res;LtdSght	
Design (Style)	Victorian	Victorian		Victorian		Victorian	
Quality of Construction	Q3	Q3		Q3		Q3	
Actual Age	112	132	0	108	0	112	
Condition	C4	C4	25,000	C4		C3	-30,000
Above Grade	Total Bdrms Baths	Total Bdrms Baths	50,000	Total Bdrms Baths	50,000	Total Bdrms Baths	
Room Count	6 3 2.0	5 2 2.0	0	5 2 2.0	0	6 3 3.0	-10,000
Gross Living Area	50 1,680 sq. ft.	1,575 sq. ft.	5,250	1,400 sq. ft.	14,000	1,900 sq. ft.	-11,000
Basement & Finished Rooms Below Grade	390sf390sfwo	0sf	0	0sf	0	0sf	0
Functional Utility	Good	Good		Good		Good	
Heating/Cooling	FWA none	FWA none		FWA none		FWA none	
Energy Efficient Items	Typical	Typical		Typical		Typical	
Garage/Carport	None	1 Car Garage	-50,000	2 Car Garage	-100,000	1 Car Garage	-50,000
Porch/Patio/Deck	Patio/Deck	Patio/Deck		Deck/Garden	0	Small Patio	20,000
Net Adjustment (Total)		<input checked="" type="checkbox"/> + <input type="checkbox"/> -	\$ 30,250	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ 36,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ 69,880
Adjusted Sale Price of Comparables		Net Adj. 2.0% Gross Adj. 8.5%	\$ 1,555,250	Net Adj. -2.3% Gross Adj. 10.7%	\$ 1,499,525	Net Adj. -4.6% Gross Adj. 8.7%	\$ 1,455,120

did did not research the sale or transfer history of the subject property and comparable sales. If not, explain

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data source(s) Bareis MLS & Tax Records searched

My research did did not reveal any prior sales or transfers of the comparable sales for the year prior to the date of sale of the comparable sale.

Data source(s) Bareis MLS and Tax Records

Report the results of the research and analysis of the prior sale or transfer history of the subject property and comparable sales (report additional prior sales on page 3)

ITEM	SUBJECT	COMPARABLE SALE NO. 1	COMPARABLE SALE NO. 2	COMPARABLE SALE NO. 3
Date of Prior Sale/Transfer				
Price of Prior Sale/Transfer				
Data Source(s)	Tax records	Tax records	Tax records	Tax records
Effective Date of Data Source(s)	09/06/2012	09/06/2012	09/06/2012	09/06/2012

Analysis of prior sale or transfer history of the subject property and comparable sales No prior sales or transfers

Summary of Sales Comparison Approach. See attached addendum

Indicated Value by Sales Comparison Approach \$ 1,480,000

Indicated Value by: Sales Comparison Approach \$ 1,480,000 Cost Approach (if developed) \$ 1,481,600 Income Approach (if developed) \$

See attached addendum

This appraisal is made as is, subject to completion per plans and specifications on the basis of a hypothetical condition that the improvements have been completed,

subject to the following repairs or alterations on the basis of a hypothetical condition that the repairs or alterations have been completed, or subject to the following required inspection based on the extraordinary assumption that the condition or deficiency does not require alteration or repair:

Based on a complete visual inspection of the interior and exterior areas of the subject property, defined scope of work, statement of assumptions and limiting conditions, and appraiser's certification, my (our) opinion of the market value, as defined, of the real property that is the subject of this report is \$ 1,480,000

as of 09/06/2012 which is the date of inspection and the effective date of this appraisal.

Uniform Residential Appraisal Report

Per Fannie Mae guidelines with regard to appraiser independence (AIR):

No employee, director, officer, agent of the seller or any other third party acting as joint venture partner, independent contractor, appraisal company, appraisal management company or partner on behalf of the borrower, influenced or attempted to influence the development, reporting, result or review of this appraisal through coercion, extortion, collusion, compensation, inducement, intimidation, bribery or in any other manner.

Per USPAP 2012 changes:

I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of the work under review within the three-year period immediately preceding acceptance of this assignment.

The definition of exposure time is the estimated length of time that the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal. Exposure time is a retrospective opinion based on an analysis of past events assuming a competitive and open market.

In addition to the two USPAP changes cited above, the appraiser acknowledges the following additional changes in USPAP 2012:

1. The creation of a new RECORD KEEPING RULE and related edits to the Conduct Section of the ETHICS RULE
2. Revisions to Advisory Opinion 21 and USPAP Compliance
3. Revisions to STANDARDS 7 & 8: Personal Property Appraisal, Development & Reporting.

The 2012-213 7-hour National USPAP Update Course was completed by this appraiser on 11/29/2011 (CA OREA Course Approval#: 1116C149)

ADDITIONAL COMMENTS

COST APPROACH TO VALUE (not required by Fannie Mae)

Provide adequate information for the lender/client to replicate the below cost figures and calculations.

Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value) No current sales of similar residential lots were found therefore, the land value in this report is determined by abstraction. High land to improvement value (exceeding 50%) is very typical in this market. Also note that Fannie Mae does NOT require that the cost approach be developed in areas of limited land sales as is the case in this market. With no land sales, the cost approach is not effective or reliable for determining value.

ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input checked="" type="checkbox"/> REPLACEMENT COST NEW	OPINION OF SITE VALUE			= \$	850,000
Source of cost data Local builders	Dwelling	1,680 Sq. Ft. @ \$	350	= \$	588,000
Quality rating from cost service n/a Effective date of cost data current	Bsmt: 390	Sq. Ft. @ \$	75	= \$	29,250
Comments on Cost Approach (gross living area calculations, depreciation, etc.)	Ext Improvements				35,000
No functional or economic obsolescence noted. Land is valued by abstraction. Reproduction cost figures were obtained from local builders. Depreciation is calculated by the age life method.	Garage/Carport			Sq. Ft. @ \$	
	Total Estimate of Cost-New			= \$	652,250
	Less	50 Physical	Functional	External	
	Depreciation	7%	0%	0%	= \$ (45,658)
	Depreciated Cost of Improvements			= \$	606,592
	"As-is" Value of Site Improvements			= \$	25,000
Estimated Remaining Economic Life (HUD and VA only) 50 Years	INDICATED VALUE BY COST APPROACH			= \$	1,481,600

COST APPROACH

INCOME APPROACH TO VALUE (not required by Fannie Mae)

Estimated Monthly Market Rent \$ X Gross Rent Multiplier = \$ Indicated Value by Income Approach
Summary of Income Approach (including support for market rent and GRM)

INCOME

PROJECT INFORMATION FOR PUDs (if applicable)

Is the developer/builder in control of the Homeowners' Association (HOA)? Yes No Unit type(s) Detached Attached

Provide the following information for PUDs ONLY if the developer/builder is in control of the HOA and the subject property is an attached dwelling unit.

Legal name of project

Total number of phases Total number of units Total number of units sold

Total number of units rented Total number of units for sale Data source(s)

Was the project created by the conversion of an existing building(s) into a PUD? Yes No If Yes, date of conversion.

Does the project contain any multi-dwelling units? Yes No Data source(s)

Are the units, common elements, and recreation facilities complete? Yes No If No, describe the status of completion.

Are the common elements leased to or by the Homeowners' Association? Yes No If Yes, describe the rental terms and options.

Describe common elements and recreational facilities.

PUD INFORMATION

Uniform Residential Appraisal Report

This report form is designed to report an appraisal of a one-unit property or a one-unit property with an accessory unit; including a unit in a planned unit development (PUD). This report form is not designed to report an appraisal of a manufactured home or a unit in a condominium or cooperative project.

This appraisal report is subject to the following scope of work, intended use, intended user, definition of market value, statement of assumptions and limiting conditions, and certifications. Modifications, additions, or deletions to the intended use, intended user, definition of market value, or assumptions and limiting conditions are not permitted. The appraiser may expand the scope of work to include any additional research or analysis necessary based on the complexity of this appraisal assignment. Modifications or deletions to the certifications are also not permitted. However, additional certifications that do not constitute material alterations to this appraisal report, such as those required by law or those related to the appraiser's continuing education or membership in an appraisal organization, are permitted.

SCOPE OF WORK: The scope of work for this appraisal is defined by the complexity of this appraisal assignment and the reporting requirements of this appraisal report form, including the following definition of market value, statement of assumptions and limiting conditions, and certifications. The appraiser must, at a minimum: (1) perform a complete visual inspection of the interior and exterior areas of the subject property, (2) inspect the neighborhood, (3) inspect each of the comparable sales from at least the street, (4) research, verify, and analyze data from reliable public and/or private sources, and (5) report his or her analysis, opinions, and conclusions in this appraisal report.

INTENDED USE: The intended use of this appraisal report is for the lender/client to evaluate the property that is the subject of this appraisal for a mortgage finance transaction.

INTENDED USER: The intended user of this appraisal report is the lender/client.

DEFINITION OF MARKET VALUE: The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller, each acting prudently, knowledgeably and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby: (1) buyer and seller are typically motivated; (2) both parties are well informed or well advised, and each acting in what he or she considers his or her own best interest; (3) a reasonable time is allowed for exposure in the open market; (4) payment is made in terms of cash in U. S. dollars or in terms of financial arrangements comparable thereto; and (5) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions* granted by anyone associated with the sale.

*Adjustments to the comparables must be made for special or creative financing or sales concessions. No adjustments are necessary for those costs which are normally paid by sellers as a result of tradition or law in a market area; these costs are readily identifiable since the seller pays these costs in virtually all sales transactions. Special or creative financing adjustments can be made to the comparable property by comparisons to financing terms offered by a third party institutional lender that is not already involved in the property or transaction. Any adjustment should not be calculated on a mechanical dollar for dollar cost of the financing or concession but the dollar amount of any adjustment should approximate the market's reaction to the financing or concessions based on the appraiser's judgment.

STATEMENT OF ASSUMPTIONS AND LIMITING CONDITIONS: The appraiser's certification in this report is subject to the following assumptions and limiting conditions:

1. The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it, except for information that he or she became aware of during the research involved in performing this appraisal. The appraiser assumes that the title is good and marketable and will not render any opinions about the title.
2. The appraiser has provided a sketch in this appraisal report to show the approximate dimensions of the improvements. The sketch is included only to assist the reader in visualizing the property and understanding the appraiser's determination of its size.
3. The appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other data sources) and has noted in this appraisal report whether any portion of the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.
4. The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand, or as otherwise required by law.
5. The appraiser has noted in this appraisal report any adverse conditions (such as needed repairs, deterioration, the presence of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property or that he or she became aware of during the research involved in performing this appraisal. Unless otherwise stated in this appraisal report, the appraiser has no knowledge of any hidden or unapparent physical deficiencies or adverse conditions of the property (such as, but not limited to, needed repairs, deterioration, the presence of hazardous wastes, toxic substances, adverse environmental conditions, etc.) that would make the property less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied. The appraiser will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, this appraisal report must not be considered as an environmental assessment of the property.
6. The appraiser has based his or her appraisal report and valuation conclusion for an appraisal that is subject to satisfactory completion, repairs, or alterations on the assumption that the completion, repairs, or alterations of the subject property will be performed in a professional manner.

Uniform Residential Appraisal Report

APPRAISER'S CERTIFICATION: The Appraiser certifies and agrees that:

1. I have, at a minimum, developed and reported this appraisal in accordance with the scope of work requirements stated in this appraisal report.
2. I performed a complete visual inspection of the interior and exterior areas of the subject property. I reported the condition of the improvements in factual, specific terms. I identified and reported the physical deficiencies that could affect the livability, soundness, or structural integrity of the property.
3. I performed this appraisal in accordance with the requirements of the Uniform Standards of Professional Appraisal Practice that were adopted and promulgated by the Appraisal Standards Board of The Appraisal Foundation and that were in place at the time this appraisal report was prepared.
4. I developed my opinion of the market value of the real property that is the subject of this report based on the sales comparison approach to value. I have adequate comparable market data to develop a reliable sales comparison approach for this appraisal assignment. I further certify that I considered the cost and income approaches to value but did not develop them, unless otherwise indicated in this report.
5. I researched, verified, analyzed, and reported on any current agreement for sale for the subject property, any offering for sale of the subject property in the twelve months prior to the effective date of this appraisal, and the prior sales of the subject property for a minimum of three years prior to the effective date of this appraisal, unless otherwise indicated in this report.
6. I researched, verified, analyzed, and reported on the prior sales of the comparable sales for a minimum of one year prior to the date of sale of the comparable sale, unless otherwise indicated in this report.
7. I selected and used comparable sales that are locationally, physically, and functionally the most similar to the subject property.
8. I have not used comparable sales that were the result of combining a land sale with the contract purchase price of a home that has been built or will be built on the land.
9. I have reported adjustments to the comparable sales that reflect the market's reaction to the differences between the subject property and the comparable sales.
10. I verified, from a disinterested source, all information in this report that was provided by parties who have a financial interest in the sale or financing of the subject property.
11. I have knowledge and experience in appraising this type of property in this market area.
12. I am aware of, and have access to, the necessary and appropriate public and private data sources, such as multiple listing services, tax assessment records, public land records and other such data sources for the area in which the property is located.
13. I obtained the information, estimates, and opinions furnished by other parties and expressed in this appraisal report from reliable sources that I believe to be true and correct.
14. I have taken into consideration the factors that have an impact on value with respect to the subject neighborhood, subject property, and the proximity of the subject property to adverse influences in the development of my opinion of market value. I have noted in this appraisal report any adverse conditions (such as, but not limited to, needed repairs, deterioration, the presence of hazardous wastes, toxic substances, adverse environmental conditions, etc.) observed during the inspection of the subject property or that I became aware of during the research involved in performing this appraisal. I have considered these adverse conditions in my analysis of the property value, and have reported on the effect of the conditions on the value and marketability of the subject property.
15. I have not knowingly withheld any significant information from this appraisal report and, to the best of my knowledge, all statements and information in this appraisal report are true and correct.
16. I stated in this appraisal report my own personal, unbiased, and professional analysis, opinions, and conclusions, which are subject only to the assumptions and limiting conditions in this appraisal report.
17. I have no present or prospective interest in the property that is the subject of this report, and I have no present or prospective personal interest or bias with respect to the participants in the transaction. I did not base, either partially or completely, my analysis and/or opinion of market value in this appraisal report on the race, color, religion, sex, age, marital status, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property or of the present owners or occupants of the properties in the vicinity of the subject property or on any other basis prohibited by law.
18. My employment and/or compensation for performing this appraisal or any future or anticipated appraisals was not conditioned on any agreement or understanding, written or otherwise, that I would report (or present analysis supporting) a predetermined specific value, a predetermined minimum value, a range or direction in value, a value that favors the cause of any party, or the attainment of a specific result or occurrence of a specific subsequent event (such as approval of a pending mortgage loan application).
19. I personally prepared all conclusions and opinions about the real estate that were set forth in this appraisal report. If I relied on significant real property appraisal assistance from any individual or individuals in the performance of this appraisal or the preparation of this appraisal report, I have named such individual(s) and disclosed the specific tasks performed in this appraisal report. I certify that any individual so named is qualified to perform the tasks. I have not authorized anyone to make a change to any item in this appraisal report; therefore, any change made to this appraisal is unauthorized and I will take no responsibility for it.
20. I identified the lender/client in this appraisal report who is the individual, organization, or agent for the organization that ordered and will receive this appraisal report.
21. The lender/client may disclose or distribute this appraisal report to: the borrower; another lender at the request of the borrower; the mortgagee or its successors and assigns; mortgage insurers; government sponsored enterprises; other secondary market participants; data collection or reporting services; professional appraisal organizations; any department, agency, or instrumentality of the United States; and any state, the District of Columbia, or other jurisdictions; without having to obtain the appraiser's or supervisory appraiser's (if applicable) consent. Such consent must be obtained before this appraisal report may be disclosed or distributed to any other party (including, but not limited to, the public through advertising, public relations, news, sales, or other media).

Uniform Residential Appraisal Report

File No. Alvarado439

22. I am aware that any disclosure or distribution of this appraisal report by me or the lender/client may be subject to certain laws and regulations. Further, I am also subject to the provisions of the Uniform Standards of Professional Appraisal Practice that pertain to disclosure or distribution by me.

23. The borrower, another lender at the request of the borrower, the mortgagee or its successors and assigns, mortgage insurers, government sponsored enterprises, and other secondary market participants may rely on this appraisal report as part of any mortgage finance transaction that involves any one or more of these parties.

24. If this appraisal report was transmitted as an "electronic record" containing my "electronic signature," as those terms are defined in applicable federal and/or state laws (excluding audio and video recordings), or a facsimile transmission of this appraisal report containing a copy or representation of my signature, the appraisal report shall be as effective, enforceable and valid as if a paper version of this appraisal report were delivered containing my original hand written signature.

25. Any intentional or negligent misrepresentation(s) contained in this appraisal report may result in civil liability and/or criminal penalties including, but not limited to, fine or imprisonment or both under the provisions of Title 18, United States Code, Section 1001, et seq., or similar state laws.

26. I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of the work under review within the three-year period immediately preceding acceptance of this assignment.

SUPERVISORY APPRAISER'S CERTIFICATION: The Supervisory Appraiser certifies and agrees that:

1. I directly supervised the appraiser for this appraisal assignment, have read the appraisal report, and agree with the appraiser's analysis, opinions, statements, conclusions, and the appraiser's certification.
2. I accept full responsibility for the contents of this appraisal report including, but not limited to, the appraiser's analysis, opinions, statements, conclusions, and the appraiser's certification.
3. The appraiser identified in this appraisal report is either a sub-contractor or an employee of the supervisory appraiser (or the appraisal firm), is qualified to perform this appraisal, and is acceptable to perform this appraisal under the applicable state law.
4. This appraisal report complies with the Uniform Standards of Professional Appraisal Practice that were adopted and promulgated by the Appraisal Standards Board of The Appraisal Foundation and that were in place at the time this appraisal report was prepared.
5. If this appraisal report was transmitted as an "electronic record" containing my "electronic signature," as those terms are defined in applicable federal and/or state laws (excluding audio and video recordings), or a facsimile transmission of this appraisal report containing a copy or representation of my signature, the appraisal report shall be as effective, enforceable and valid as if a paper version of this appraisal report were delivered containing my original hand written signature.

APPRAISER

Signature Chantal Griffin
 Name Chantal Griffin
 Company Name Griffin Appraisals
 Company Address 211 Hawthorne Ave
Mill Valley, CA 94941
 Telephone Number 415-381-6992
 Email Address chantalgriffin@comcast.net
 Date of Signature and Report 09/08/2012
 Effective Date of Appraisal 09/06/2012
 State Certification # AR039714
 or State License # _____
 or Other (describe) _____ State # _____
 State CA
 Expiration Date of Certification or License 03/07/2014

ADDRESS OF PROPERTY APPRAISED

439 Alvarado St
San Francisco, CA 94114

APPRAISED VALUE OF SUBJECT PROPERTY \$ 1,480,000

LENDER/CLIENT

Name Princeton Capital - AMC
 Company Name RMR Financial
 Company Address 16780 Lark Ave
Los Gatos, CA 95032
 Email Address rmrappraisalorders@rmrfinancial.com

SUPERVISORY APPRAISER (ONLY IF REQUIRED)

Signature _____
 Name _____
 Company Name _____
 Company Address _____
 Telephone Number _____
 Email Address _____
 Date of Signature _____
 State Certification # _____
 or State License # _____
 State _____
 Expiration Date of Certification or License _____

SUBJECT PROPERTY

Did not inspect subject property
 Did inspect exterior of subject property from street
 Date of Inspection _____
 Did inspect interior and exterior of subject property
 Date of Inspection _____

COMPARABLE SALES

Did not inspect exterior of comparable sales from street
 Did inspect exterior of comparable sales from street
 Date of Inspection _____

Uniform Residential Appraisal Report

FEATURE	SUBJECT	COMPARABLE SALE NO. 4	COMPARABLE SALE NO. 5	COMPARABLE SALE NO. 6
439 Alvarado St Address San Francisco, CA 94114	383 Fair Oaks St San Francisco, CA 94114	3749 21st St San Francisco, CA 94114	914 Diamond St San Francisco, CA 94114	
Proximity to Subject	0.44 miles ESE	0.17 miles N	0.40 miles SW	
Sale Price	\$ 1,480,000	\$ 1,290,000	\$ 1,400,000	\$ 1,595,000
Sale Price/Gross Liv. Area	\$ 880.95 sq. ft.	\$ 645.00 sq. ft.	\$ 871.19 sq. ft.	\$ 1,042.48 sq. ft.
Data Source(s)	SFAR #395692;DOM 20	SFAR #393875;DOM 50	SFAR #400015;DOM 1	
Verification Source(s)	Realist; Tax Doc#K643-48	Realist; Tax Doc#K629-218	Tax Records	
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
Sale or Financing		ArmLth	ArmLth	ArmLth
Concessions		Conv;0	Conv;0	Conv;0
Date of Sale/Time		s05/12;c04/12	s04/12;c03/12	Active
Location	N;Res;	N;Res;	N;Res;	N;Res;
Leasehold/Fee Simple	Fee Simple	Fee Simple	Fee Simple	Fee Simple
Site	3059 sf	2495 sf	2850 sf	1999 sf
View	N;Res;LtdSght	N;Res;LtdSght	B;Res;CtySky	N;Res;LtdSght
Design (Style)	Victorian	Victorian	Contemporary	Victorian
Quality of Construction	Q3	Q3	Q3	Q3
Actual Age	112	112	112	104
Condition	C4	C4	C3	C3
Above Grade	Total Bdrms Baths	Total Bdrms Baths	Total Bdrms Baths	Total Bdrms Baths
Room Count	6 3 2.0	6 3 1.1	5 2 2.0	6 3 1.1
Gross Living Area	50 1,680 sq. ft.	2,000 sq. ft.	1,607 sq. ft.	1,530 sq. ft.
Basement & Finished Rooms Below Grade	390sf390sfwo 0rr0br0.0ba1o	400sf400sfwo 0rr0br0.0ba1o	0sf	0sf
Functional Utility	Good	Good	Good	Good
Heating/Cooling	FWA none	FWA none	FWA none	FWA none
Energy Efficient Items	Typical	Typical	Typical	Typical
Garage/Carport	None	None	None	1 Car Garage
Porch/Patio/Deck	Patio/Deck	Small Deck/Yard	Patio/Yard	Patio/Deck/Yard
Net Adjustment (Total)	<input checked="" type="checkbox"/> + <input type="checkbox"/> -	\$ 144,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ 6,350
Adjusted Sale Price of Comparables	Net Adj. 11.2% Gross Adj. 13.6%	\$ 1,434,000	Net Adj. -0.5% Gross Adj. 11.0%	\$ 1,393,650
ITEM	SUBJECT	COMPARABLE SALE NO. 4	COMPARABLE SALE NO. 5	COMPARABLE SALE NO. 6
Date of Prior Sale/Transfer				
Price of Prior Sale/Transfer				
Data Source(s)	Tax records	Tax records	Tax records	Tax records
Effective Date of Data Source(s)	09/06/2012	09/06/2012	09/06/2012	09/06/2012
Summary of Sales Comparison Approach				

Condition Ratings and Definitions

C1 The improvements have been very recently constructed and have not previously been occupied. The entire structure and all components are new and the dwelling features no physical depreciation.*

**Note: Newly constructed improvements that feature recycled materials and/or components can be considered new dwellings provided that the dwelling is placed on a 100% new foundation and the recycled materials and the recycled components have been rehabilitated/re-manufactured into like-new condition. Recently constructed improvements that have not been previously occupied are not considered "new" if they have any significant physical depreciation (i.e., newly constructed dwellings that have been vacant for an extended period of time without adequate maintenance or upkeep).*

C2 The improvements feature no deferred maintenance, little or no physical depreciation, and require no repairs. Virtually all building components are new or have been recently repaired, refinished, or rehabilitated. All outdated components and finishes have been updated and/or replaced with components that meet current standards. Dwellings in this category either are almost new or have been recently completely renovated and are similar in condition to new construction.

C3 The improvements are well maintained and feature limited physical depreciation due to normal wear and tear. Some components, but not every major building component, may be updated or recently rehabilitated. The structure has been well maintained.

C4 The improvements feature some minor deferred maintenance and physical deterioration due to normal wear and tear. The dwelling has been adequately maintained and requires only minimal repairs to building components/mechanical systems and cosmetic repairs. All major building components have been adequately maintained and are functionally adequate.

C5 The improvements feature obvious deferred maintenance and are in need of some significant repairs. Some building components need repairs, rehabilitation, or updating. The functional utility and overall livability is somewhat diminished due to condition, but the dwelling remains useable and functional as a residence.

C6 The improvements have substantial damage or deferred maintenance with deficiencies or defects that are severe enough to affect the safety, soundness, or structural integrity of the improvements. The improvements are in need of substantial repairs and rehabilitation, including many or most major components.

Quality Ratings and Definitions

Q1 Dwellings with this quality rating are usually unique structures that are individually designed by an architect for a specified user. Such residences typically are constructed from detailed architectural plans and specifications and feature an exceptionally high level of workmanship and exceptionally high-grade materials throughout the interior and exterior of the structure. The design features exceptionally high-quality exterior refinements and ornamentation, and exceptionally high-quality interior refinements. The workmanship, materials, and finishes throughout the dwelling are of exceptionally high quality.

Q2 Dwellings with this quality rating are often custom designed for construction on an individual property owner's site. However, dwellings in this quality grade are also found in high-quality tract developments featuring residences constructed from individual plans or from highly modified or upgraded plans. The design features detailed, high-quality exterior ornamentation, high-quality interior refinements, and detail. The workmanship, materials, and finishes throughout the dwelling are generally of high or very high quality.

Q3 Dwellings with this quality rating are residences of higher quality built from individual or readily available designer plans in above-standard residential tract developments or on an individual property owner's site. The design includes significant exterior ornamentation and interiors that are well finished. The workmanship exceeds acceptable standards and many materials and finishes throughout the dwelling have been upgraded from "stock" standards.

Q4 Dwellings with this quality rating meet or exceed the requirements of applicable building codes. Standard or modified standard building plans are utilized and the design includes adequate fenestration and some exterior ornamentation and interior refinements. Materials, workmanship, finish, and equipment are of stock or builder grade and may feature some upgrades.

Q5 Dwellings with this quality rating feature economy of construction and basic functionality as main considerations. Such dwellings feature a plain design using readily available or basic floor plans featuring minimal fenestration and basic finishes with minimal exterior ornamentation and limited interior detail. These dwellings meet minimum building codes and are constructed with inexpensive, stock materials with limited refinements and upgrades.

Q6 Dwellings with this quality rating are of basic quality and lower cost; some may not be suitable for year-round occupancy. Such dwellings are often built with simple plans or without plans, often utilizing the lowest quality building materials. Such dwellings are often built or expanded by persons who are professionally unskilled or possess only minimal construction skills. Electrical, plumbing, and other mechanical systems and equipment may be minimal or non-existent. Older dwellings may feature one or more substandard or non-conforming additions to the original structure.

Definitions of Not Updated, Updated, and Remodeled**Not Updated**

Little or no updating or modernization. This description includes, but is not limited to, new homes.

Residential properties of fifteen years of age or less often reflect an original condition with no updating, if no major components have been replaced or updated. Those over fifteen years of age are also considered not updated if the appliances, fixtures, and finishes are predominantly dated. An area that is 'Not Updated' may still be well maintained and fully functional, and this rating does not necessarily imply deferred maintenance or physical /functional deterioration.

Updated

The area of the home has been modified to meet current market expectations. These modifications are limited in terms of both scope and cost.

An updated area of the home should have an improved look and feel, or functional utility. Changes that constitute updates include refurbishment and/or replacing components to meet existing market expectations. Updates do not include significant alterations to the existing structure.

Remodeled

Significant finish and/or structural changes have been made that increase utility and appeal through complete replacement and/or expansion.

A remodeled area reflects fundamental changes that include multiple alterations. These alterations may include some or all of the following: replacement of a major component (cabinet(s), bathtub, or bathroom tile), relocation of plumbing/gas fixtures/appliances, significant structural alterations (relocating walls, and/or the addition of square footage). This would include a complete gutting and rebuild.

Explanation of Bathroom Count

The number of full and half baths is reported by separating the two values by a period. The full bath is represented to the left of the period. The half bath count is represented to the right of the period. Three-quarter baths are to be counted as a full bath in all cases. Quarter baths (baths that feature only toilet) are not to be included in the bathroom count.

ADDENDUM

Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
City: San Francisco	State: CA
Lender: RMR Financial	Zip: 94114

Site Comments

The subject value indication is based on the assumption that there are no apparent environmental problems, no soil or structural problems or unapparent or unstated externalities adversely affecting the subject property. The appraiser is not trained to detect or identify environmental or soil problems. It is possible that a qualified expert(s) would detect such conditions and that if such conditions were detected they could adversely affect the value indication of the subject property.

Comments on Sales Comparison

Intro: The sales comparison approach to value is based on the principal of substitution which is defined by the appraisal institute as follows: "The principal of substitution as applied in the sale comparison approach holds that the value of a property that is replaceable in the market tends to be set by the cost of acquiring an equally desirable substitute property." This principal is applied using the well-accepted method of paired sales analysis by applying reasonable adjustments to generally accepted units of comparison and bracketing for salient features.

Criteria: Particular attention is devoted to bracketing the fair market value (FMV) of the subject by the adjusted sales prices of the closed sale comps. The comps chosen SHOULD also bracket the subject's gross living area (GLA) and every effort is made for the comps to be no larger or smaller than 20% of the subject's GLA as well as its FMV value before and after adjustments. Additionally, the comps SHOULD be within one-half mile (for urban areas) of the subject to ensure a neighborhood match as much as possible using three closed sales that have occurred in the last 6 months with at least two in the last 90 days as well as one active, contingent or pending listings to ensure the data is as current as possible.

Adjustments are noted in the grid were derived using match pair analysis and are typical for the area. No time adjustments were made to the active listings because the list-to-sales price ratio in the last 12 months has been at or over 100% (1004MC). Despite increasing values, no time adjustments were made to the closed sale comps because positive time adjustments are not standard practice. It should be noted that values have increased at the rate of 11-13% from the prior two periods reported on the 1004MC. A location adjustment was made to Comp 4 which is between Dolores and Guerrero Streets which are two feeder streets. Site adjustments, or lack thereof, were calculated at \$10 per square foot. Condition adjustments refer to kitchen and baths updates and were made as follows: kitchen at \$25,000 and baths \$15,000 each.

In the final conclusion to value, the most emphasis was placed on Comps 1, 2 and 3 which are the most recent sales which is very relevant because values are increasing. The active listing which supports the indicated value was not weighted. Personal property is not included in the estimate of market value.

Final Reconciliation

Primary consideration was given to the sales comparison approach to value, as this approach is deemed to be the most accurate indicator of value. The cost approach is not considered to be a valid approach to value in this market but the cost section was completed as per requirements. The income approach was not considered because properties of this type are usually not purchased for their income producing capabilities.

Conditions & Scope of the Appraisal

The following steps were taken in arriving at the final estimate of value included in the appraisal report of the subject property:

After receiving the assignment, a preliminary search of all available resources was made to determine market trends, influences, and other significant factors pertinent to the subject property.

An interior and exterior inspection of the subject property was done noting the condition, quality of construction, updating and depreciation, if any. The physical inspection is of visible and accessible areas only. While due diligence was exercised during the inspection of the subject property, the appraiser is not an expert in such matters as pest control, structural engineering, hazardous wastes, or construction and no warranties are given or implied as to these or other elements outside the analysis of market data. Inspections by various professionals within these fields may be recommended with the final estimate of market value for the subject property.

A highest and best use analysis was performed with regard to the subject property. The sales comparison approach to value (described above) was utilized in arriving at a value conclusion. All sales were verified by two reliable sources not associated with the subject property.

The appraisal report was completed in accordance with standards dictated by the appraisal foundation and comply with the Uniform Standards of Professional Appraisal Practices. The report includes sufficient data and information needed to lend a reader to a similar conclusion of estimated market value. The appraisal report was then delivered to the client which constituted the completion of the assignment.

Market Conditions Addendum to the Appraisal Report

File No. Alvarado439

The purpose of this addendum is to provide the lender/client with a clear and accurate understanding of the market trends and conditions prevalent in the subject neighborhood. This is a required addendum for all appraisal reports with an effective date on or after April 1, 2009.

Property Address **439 Alvarado St** City **San Francisco** State **CA** Zip Code **94114**

Borrower **Luke Sung**

Instructions: The appraiser must use the information required on this form as the basis for his/her conclusions, and must provide support for those conclusions, regarding housing trends and overall market conditions as reported in the Neighborhood section of the appraisal report form. The appraiser must fill in all the information to the extent it is available and reliable and must provide analysis as indicated below. If any required data is unavailable or is considered unreliable, the appraiser must provide an explanation. It is recognized that not all data sources will be able to provide data for the shaded areas below; if it is available, however, the appraiser must include the data in the analysis. If data sources provide the required information as an average instead of the median, the appraiser should report the available figure and identify it as an average. Sales and listings must be properties that compete with the subject property, determined by applying the criteria that would be used by a prospective buyer of the subject property. The appraiser must explain any anomalies in the data, such as seasonal markets, new construction, foreclosures, etc.

Inventory Analysis	Prior 7-12 Months	Prior 4-6 Months	Current - 3 Months	Overall Trend		
Total # of Comparable Sales (Settled)	20	8	11	<input checked="" type="checkbox"/> Increasing	<input type="checkbox"/> Stable	<input type="checkbox"/> Declining
Absorption Rate (Total Sales/Months)	3.33	2.67	3.67	<input checked="" type="checkbox"/> Increasing	<input type="checkbox"/> Stable	<input type="checkbox"/> Declining
Total # of Comparable Active Listings	1	3	5	<input type="checkbox"/> Declining	<input type="checkbox"/> Stable	<input checked="" type="checkbox"/> Increasing
Months of Housing Supply (Total Listings/Ab. Rate)	0.30	1.12	1.36	<input type="checkbox"/> Declining	<input type="checkbox"/> Stable	<input checked="" type="checkbox"/> Increasing
Median Sale & List Price, DOM, Sale/List %	Prior 7-12 Months	Prior 4-6 Months	Current - 3 Months	Overall Trend		
Median Comparable Sale Price	1,375,000	1,350,000	1,530,000	<input checked="" type="checkbox"/> Increasing	<input type="checkbox"/> Stable	<input type="checkbox"/> Declining
Median Comparable Sales Days on Market	36	16	25	<input type="checkbox"/> Declining	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Increasing
Median Comparable List Price	139,000	1,245,000	1,295,000	<input type="checkbox"/> Increasing	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Declining
Median Comparable Listings Days on Market	40	17	25	<input type="checkbox"/> Declining	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Increasing
Median Sale Price as % of List Price	100.00%	110.40%	106.90%	<input type="checkbox"/> Increasing	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Declining
Seller-(developer, builder, etc.) paid financial assistance prevalent?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			<input type="checkbox"/> Declining	<input checked="" type="checkbox"/> Stable	<input type="checkbox"/> Increasing

Explain in detail the seller concessions trends for the past 12 months (e.g., seller contributions increased from 3% to 5%, increasing use of buydowns, closing costs, condo fees, options, etc.).
Seller concessions are not tracked by the MLS for this market.

Are foreclosure sales (REO sales) a factor in the market? Yes No If yes, explain (including the trends in listings and sales of foreclosed properties).

Cite data sources for above information **Baries MLS**

Summarize the above information as support for your conclusions in the Neighborhood section of the appraisal report form. If you used any additional information, such as an analysis of pending sales and/or expired and withdrawn listings, to formulate your conclusions, provide both an explanation and support for your conclusions.

The MLS search for the sale and listing data reported above and for the numbers reported on top of page 2 was based on a half-mile radius search of SFR's within 20% of the subject's GLA. The conclusions for the "One-Unit Housing Trends" reported on page 1 were based on a the results reported above.

EXPOSURE TIME for the subject property at the indicated value is: 1 month.

If the subject is a unit in a condominium or cooperative project, complete the following:

Project Name:

Subject Project Data	Prior 7-12 Months	Prior 4-6 Months	Current - 3 Months	Overall Trend		
Total # of Comparable Sales (Settled)				<input type="checkbox"/> Increasing	<input type="checkbox"/> Stable	<input type="checkbox"/> Declining
Absorption Rate (Total Sales/Months)				<input type="checkbox"/> Increasing	<input type="checkbox"/> Stable	<input type="checkbox"/> Declining
Total # of Active Comparable Listings				<input type="checkbox"/> Declining	<input type="checkbox"/> Stable	<input type="checkbox"/> Increasing
Months of Unit Supply (Total Listings/Ab. Rate)				<input type="checkbox"/> Declining	<input type="checkbox"/> Stable	<input type="checkbox"/> Increasing

Are foreclosure sales (REO sales) a factor in the project? Yes No If yes, indicate the number of REO listings and explain the trends in listings and sales of foreclosed properties.

Summarize the above trends and address the impact on the subject unit and project.

APPRaiser

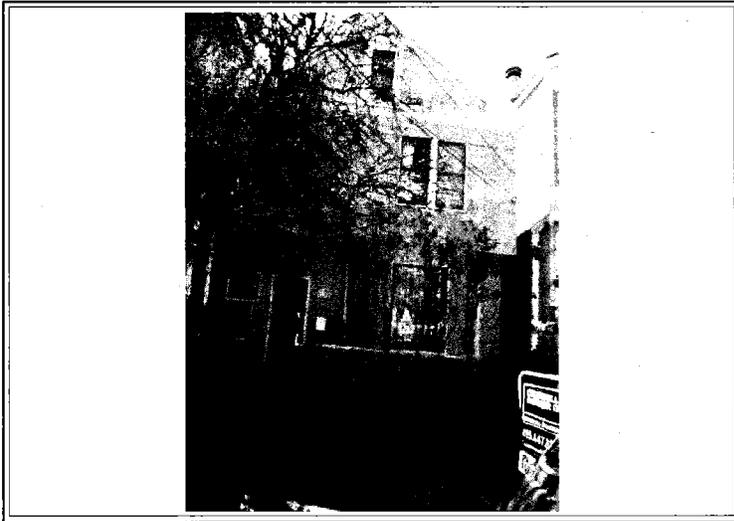
SUPERVISORY APPRAISER (ONLY IF REQUIRED)

Signature Chantal Griffin
 Name Chantal Griffin
 Company Name Griffin Appraisals
 Company Address 211 Hawthorne Ave
Mill Valley, CA 94941
 State License/Certification # AR039714 State CA
 Email Address chantalgriffin@comcast.net

Signature _____
 Name _____
 Company Name _____
 Company Address _____
 State License/Certification # _____ State _____
 Email Address _____

SUBJECT PROPERTY PHOTO ADDENDUM

Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
City: San Francisco	State: CA
Lender: RMR Financial	Zip: 94114



**FRONT VIEW OF
SUBJECT PROPERTY**

Appraised Date: September 6, 2012
Appraised Value: \$ 1,480,000



**REAR VIEW OF
SUBJECT PROPERTY**



STREET SCENE

COMPARABLE PROPERTY PHOTO ADDENDUM

Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
City: San Francisco	State: CA
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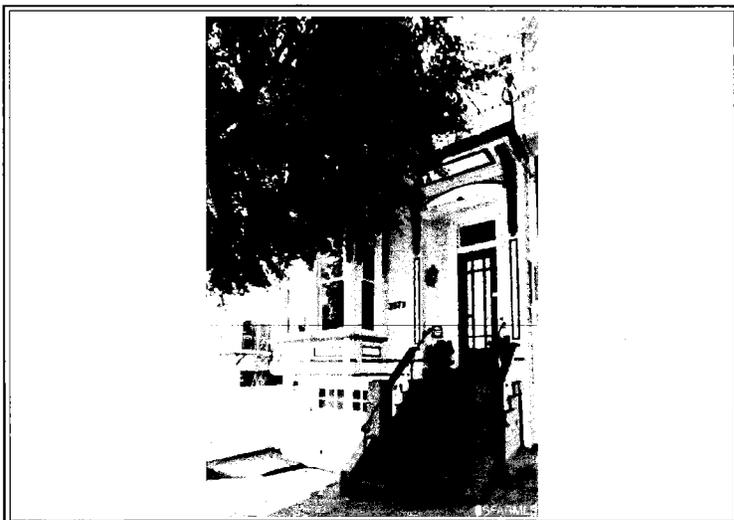
COMPARABLE SALE #1

255 Chattanooga St
San Francisco, CA 94114
Sale Date: s06/12;c05/12
Sale Price: \$ 1,525,000



COMPARABLE SALE #2

4381 25th St
San Francisco, CA 94114
Sale Date: s08/12;c07/12
Sale Price: \$ 1,535,525



COMPARABLE SALE #3

3573 22nd St
San Francisco, CA 94114
Sale Date: s07/12;c06/12
Sale Price: \$ 1,525,000

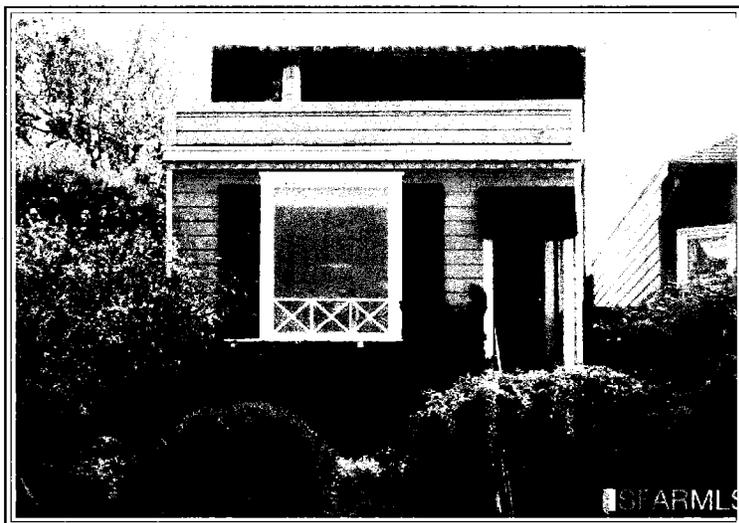
COMPARABLE PROPERTY PHOTO ADDENDUM

Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
City: San Francisco	State: CA
Lender: RMR Financial	Zip: 94114



COMPARABLE SALE #4

383 Fair Oaks St
San Francisco, CA 94114
Sale Date: s05/12;c04/12
Sale Price: \$ 1,290,000



COMPARABLE SALE #5

3749 21st St
San Francisco, CA 94114
Sale Date: s04/12;c03/12
Sale Price: \$ 1,400,000



COMPARABLE SALE #6

914 Diamond St
San Francisco, CA 94114
Sale Date: Active
Sale Price: \$ 1,595,000

Subject photos

Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
City: San Francisco	State: CA
Lender: RMR Financial	Zip: 94114

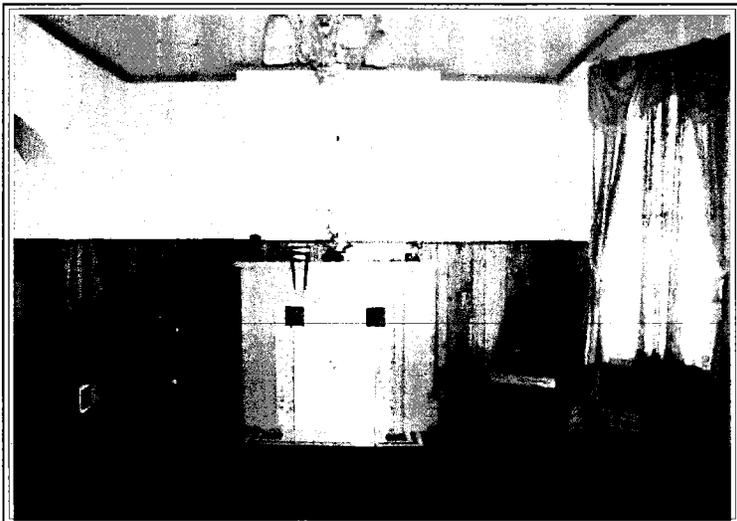


Kitchen - view 1

features custom wood cabinets, granite countertops and tile floor



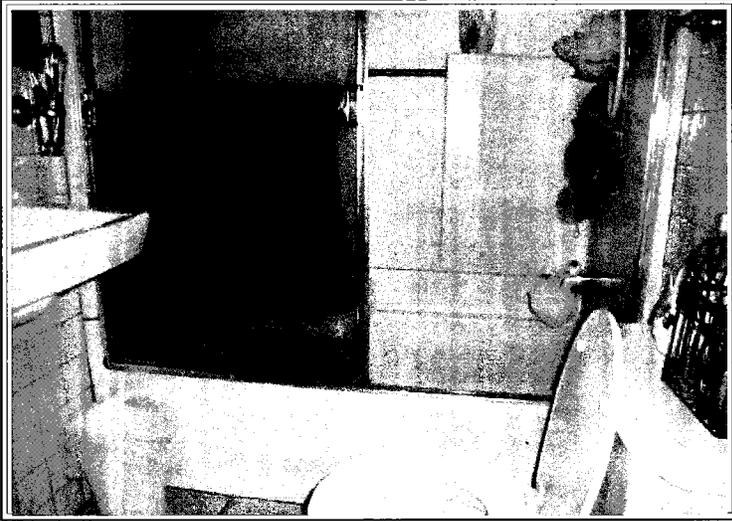
Kitchen - view 2



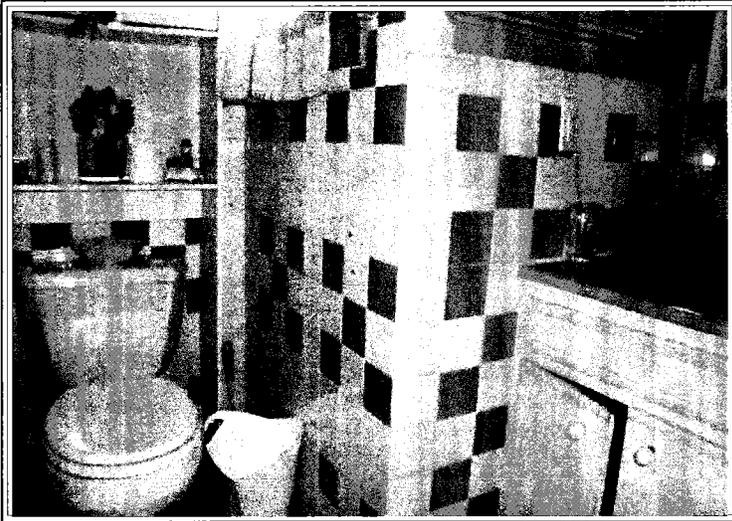
Living Room

Subject photos

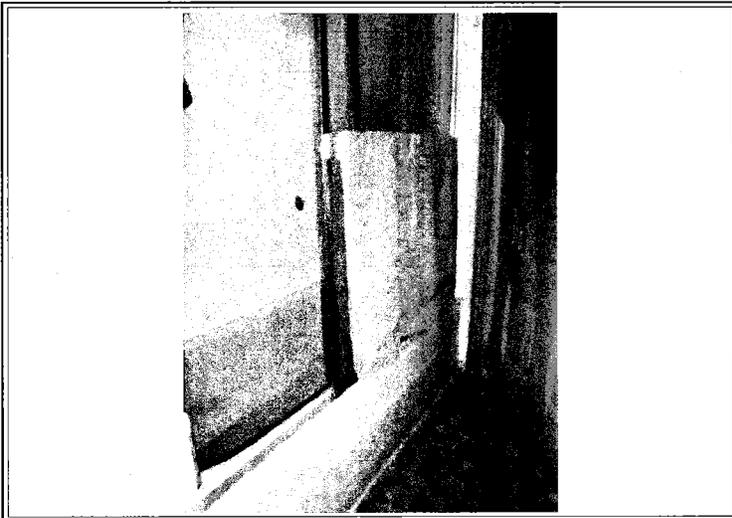
Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
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Lender: RMR Financial	Zip: 94114



Bath 1



Bath 2- view 1



Bath 2- view 2

Subject photos

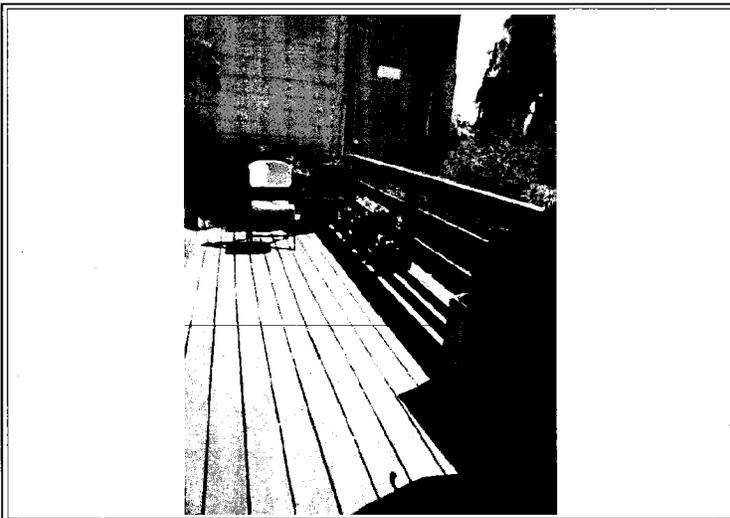
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Lender: RMR Financial	Zip: 94114



Flagstone Patio



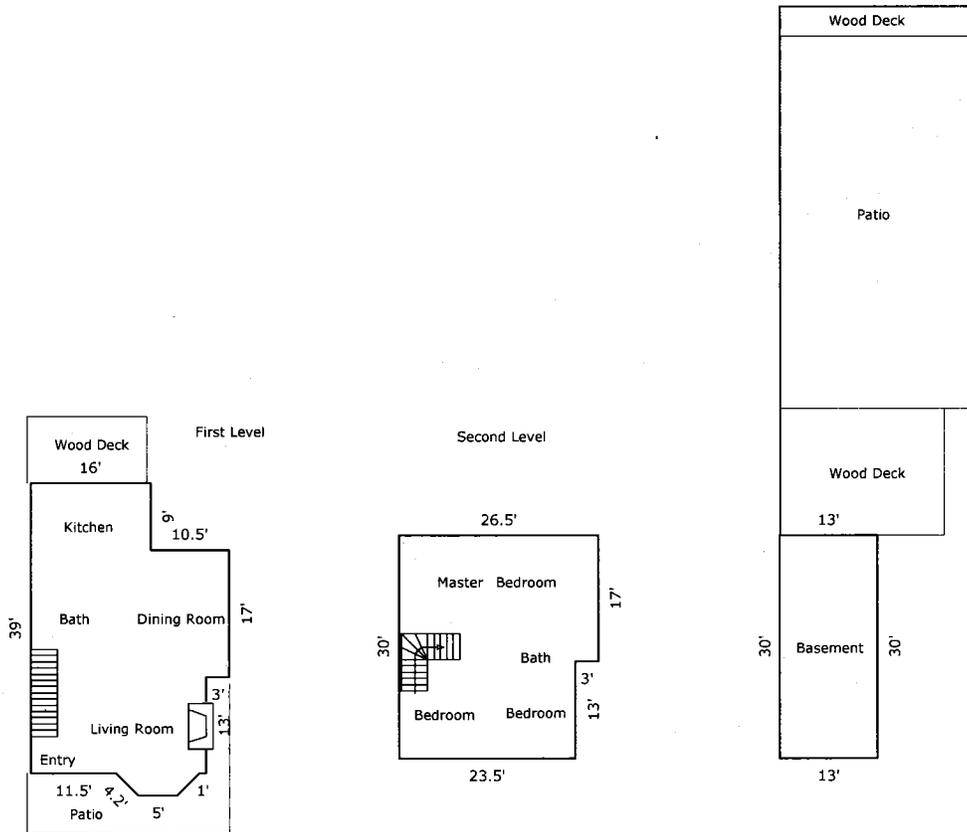
Back part of patio with adjacent deck



Deck adjacent to Kitchen

FLOORPLAN SKETCH

Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
City: San Francisco	State: CA
Lender: RMR Financial	Zip: 94114



Sketch by Apex Medina™

Comments:

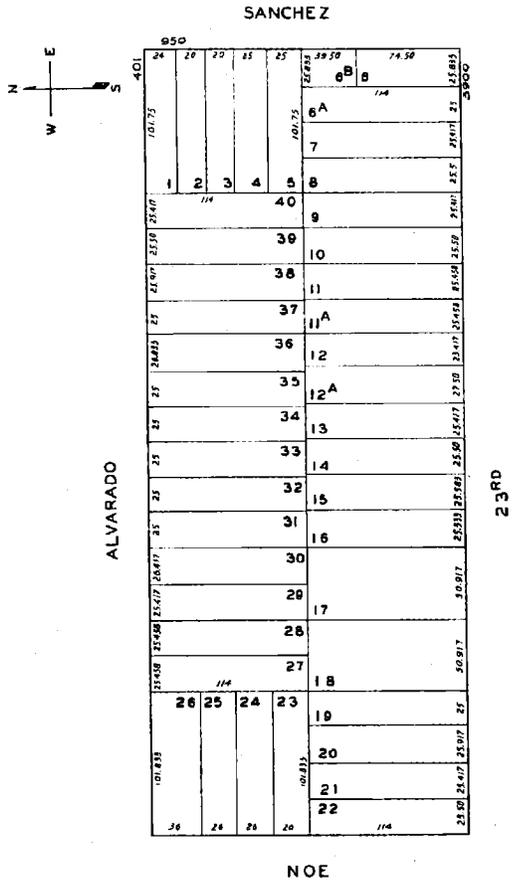
AREA CALCULATIONS SUMMARY				LIVING AREA BREAKDOWN		
Code	Description	Net Size	Net Totals	Breakdown		Subtotals
GLA1	First Floor	924.0	1680.0	First Floor		450.5
	Second Floor	756.0		26.5 x 17.0	17.0	305.5
BSMT	Basement	390.0		13.0 x 23.5	23.5	144.0
				9.0 x 16.0	16.0	4.5
				0.5 x 3.0	3.0	15.0
				5.0 x 3.0	3.0	4.5
				0.5 x 3.0	3.0	4.5
				Second Floor		450.5
				26.5 x 17.0	17.0	305.5
				13.0 x 23.5	23.5	
Net LIVABLE Area		(rounded)	1680	8 Items	(rounded)	1680

PLAT MAP

Borrower: Luke Sung
 Property Address: 439 Alvarado St
 City: San Francisco
 Lender: RMR Financial

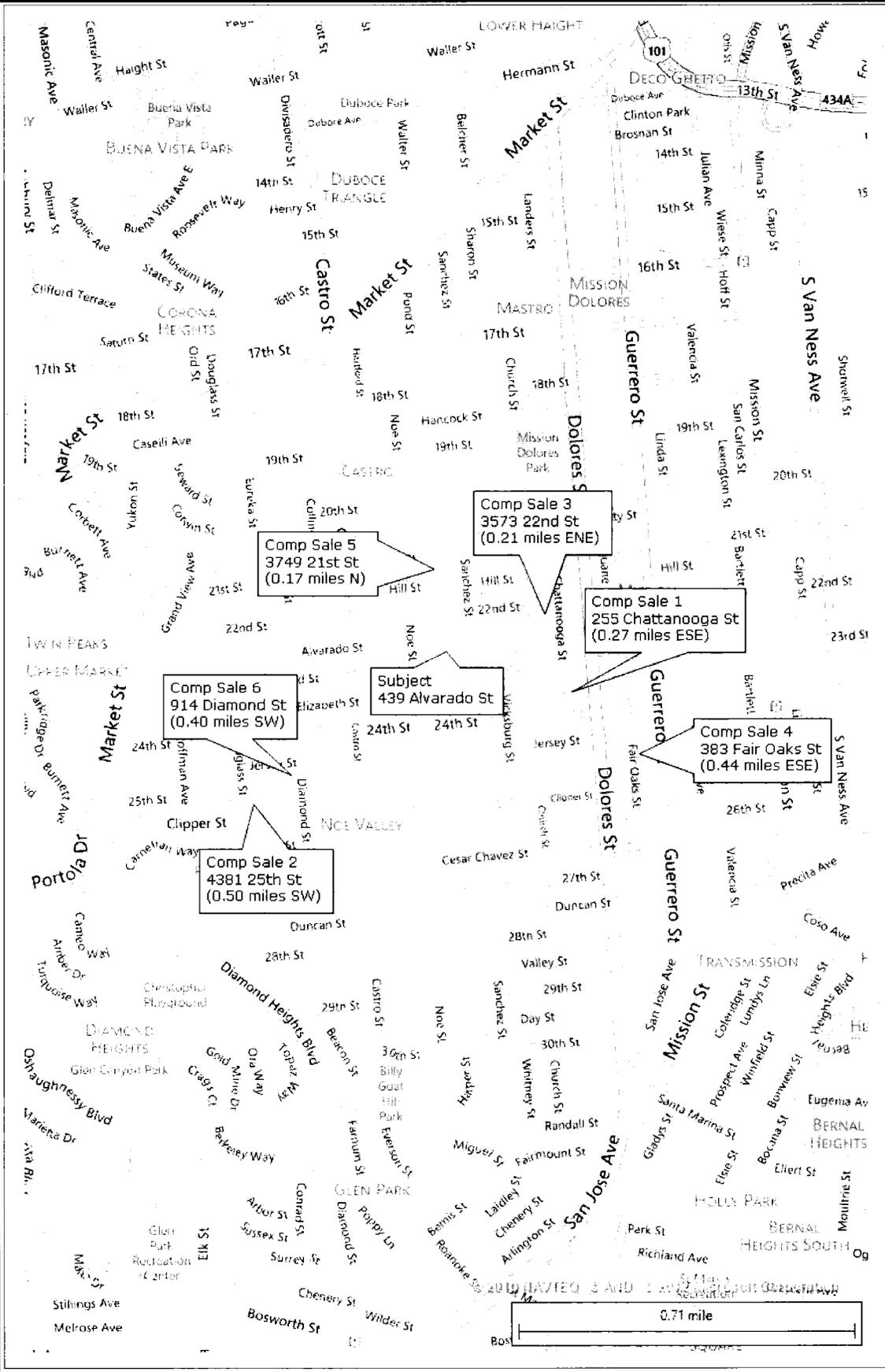
File No.: Alvarado439
 Case No.: PC#1207085039
 State: CA
 Zip: 94114

3625
 BLK.136



LOCATION MAP

Borrower: Luke Sung	File No.: Alvarado439
Property Address: 439 Alvarado St	Case No.: PC#1207085039
City: San Francisco	State: CA
Lender: RMR Financial	Zip: 94114



License

Borrower: Luke Sung
Property Address: 439 Alvarado St
City: San Francisco
Lender: RMR Financial
File No.: Alvarado439
Case No.: PC#1207085039
Zip: 94114
State: CA

STATE OF CALIFORNIA

Business, Transportation & Housing Agency
OFFICE OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

CHANTAL GRIFFIN

has successfully met the requirements for a license as a residential real estate appraiser in the State of California and is, therefore, entitled to use the title "Certified Residential Real Estate Appraiser".

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law:

OREA APPRAISER IDENTIFICATION NUMBER AR039714

Date Issued: March 8, 2012
Date Expires: March 7, 2014



Director, OREA

Audit No. 137574

THIS DOCUMENT CONTAINS A TRUE WATERMARK - HOLD UP TO LIGHT TO SEE "CHAIN LINK"

***** INVOICE *****

File Number: Alvarado439

Princeton Capital
16780 Lark Ave
Los Gatos, CA 95032

Borrower : Luke Sung

Invoice # :
Order Date : 09/05/2012
Reference/Case # : PC#1207085039
PO Number :

439 Alvarado St
San Francisco, CA 94114

1004 Appraisal	\$	450.00
Rush	\$	75.00

Invoice Total	\$	525.00
State Sales Tax @	\$	0.00
Deposit	(\$)
Deposit	(\$)

Amount Due	\$	525.00

Terms: 30 days - not contingent upon funding

Please Make Check Payable To:

Chantal Griffin
16 Tower Drive
Mill Valley, CA 94941

Fed. I.D. #: 571-43-2226

Thank you for your business

Certificate Date: September 8, 2012

CERTIFICATE

OF NON-INFLUENCE AND DODD-FRANK COMPLIANCE

Property Address: **439 Alvarado Street**
San Francisco, CA, 94114

Borrower Name: **Luke Sung**

Appraisal Order Date: **September 4, 2012**

Appraisal Type: **FNMA1004**

Chantal Griffin attests that the above referenced appraisal report was completed in compliance with the appraisal independence requirements of the federal Truth in Lending Act. In producing this appraisal, Chantal Griffin has not been influenced, nor has been subject to an attempt to influence, the result of this review through coercion, extortion, collusion, compensation, intimidation, or bribery. No estimate regarding the subject property's value, proposed loan amount, or proposed loan-to-value ratio, was provided or communicated to Chantal Griffin, except if a purchase agreement was provided for a purchase transaction as required by USPAP Standards Rule 1-5(a).

Appraisal Name: **Chantal Griffin**
Appraiser License: **AR039714**
Appraiser Company: **Griffin Appraisals**



Discretionary Review – 439 Alvarado Street
March 27, 2014



Discretionary Review – 439 Alvarado Street

March 27, 2014



Dear Commissioners,

Thank you for your consideration of the proposed demolition and new construction of 439 Alvarado Street in Noe Valley. This project began as a renovation and addition and was modified to a demolition and new construction only after considerable effort was made and a building permit application filed to expand and improve the existing house.

The owners are Luke and Kitty Sung, local restaurateurs. Luke was born in Taiwan and moved to San Francisco as an early teen and followed in the footsteps of his family by entering the restaurant business, eventually becoming a chef and operating several successful eateries in the city with his wife Kitty, a native of San Francisco, managing the family businesses. They now have a family of 5 and desire a proper home that can accommodate a multi-generational family as their parents age.



Street perspective from original Building Application 2013-01-17-8219 submitted on January 17, 2013

Luke and Kitty purchased the house in October of 2012 for \$1,480,000, considerably less than the current estimated value of \$1,800,000. The house has been owner occupied for the majority of its history, including the last 26 years by the previous owners. The existing house has significant deferred maintenance needs and defects and is not suitable for safe habitation.

Luke and Kitty initially asked me to design a contemporary renovation of the existing building that would be sensitive to the original structure as well as the history and pattern of building in the neighborhood. The proposal included lifting the building about 5' to incorporate a much needed garage.

Designs were drawn, Environmental Evaluation and Variance applications filed, neighbor meetings held and Planning approval sought under building permit application #2013-0117-8219. A variance was required as the existing building sat within the required front setback and lifting the building was an intensification of this non-conforming condition.

Michael Smith was assigned to review both the Site Permit and the EEA. The house was determined NOT to be a historic resource and a Categorical Exemption to CEQA was issued on May 14th of 2013; the project moved toward its 30 day notification under Section 311 of the Planning Code and the owners began discussing the project with a contractor with the hope of beginning construction by late fall 2013.

While consulting with a general contractor about the construction costs and site conditions given the immediate adjacencies of the neighboring homes, it became apparent that the taller, neighboring building to the west was leaning on the subject building, essentially pinning it down.

It was determined by the builder that demolition of the entire west property line wall and cutting back the existing floor framing would be required to free the building and allow it to be lifted for the garage. This additional extensive demolition was essentially tantamount to a full demolition under Section 317 of the Planning Code and would also significantly undermine the structure, requiring significant and costly mitigation measures and further complicating an already challenging and dangerous construction process.

These issues were brought to the attention of the project planner, Michael Smith, and a decision was made by the owners to withdraw the Site Permit and file new permit applications to replace the existing structure entirely and build a newly constructed home, based largely on the previous renovation design, though not requiring a variance.

The intent of the new permit approach is to essentially create the same family home through new construction that would have been created through a renovation/addition but without the safety risk to people and property (particularly to the neighboring buildings and their occupants). Additionally, new construction can be done more efficiently and expeditiously, easing the burden of the construction cost on the family's budget and reducing the time that the construction project will present a nuisance for the neighbors.

Additionally, during the interval between demolition and new construction, the neighbors will be given the rare opportunity to inspect the previously concealed property line walls of their homes and make repairs as needed before the new home is built.

The immediate neighbors to the east, Margaret and Conrad of 435 Alvarado have provided the attached letter of support and have themselves been working with an architect to design a future rearward expansion of their own home. Preliminary designs for 435 Alvarado were shared with my firm and taken into consideration when designing the improvements for 439 Alvarado.



Image of relationship between 439 Alvarado (left) and 443 Alvarado (right)



Street perspective from Building Application 2013-09-20-7325 submitted on September 20, 2013

Carmen and John, the immediate neighbors to the west at 443 Alvarado, working with the help of the architect who designed the expansion of their home, collaborated with my firm to address a number of concerns they had. Numerous revisions including scaling back the footprint of the top floor terrace and employing the use of obscured glazing on some west facing windows were been incorporated into the design to the satisfaction of the owners of 443 Alvarado.

No other objections to the project have come to my attention during the extent of the permit and notification processes. Luke and Kitty are excited to be on the cusp of realizing their vision for a new family home and ask for your support regarding their project. The decision to seek a demolition permit was not reached lightly and the additional time required to alter the permit process has increased the project cost, however the owners feel that this is the most sensible approach for this site. The Planning Department staff supports the demolition application and have recommended approval to the Commission.

Thank you for your consideration.

David Armour, Principal

Margaret Howe & Conrad Herrmann
435 Alvarado St
San Francisco, CA 94114
March 19, 2014

The Commissioners of the San Francisco Planning Commission
1650 Mission St., Suite 400
San Francisco, CA 94103

Dear Commissioners,

We, Margaret Howe and Conrad Herrmann, live at 435 Alvarado Street, immediately to the east of the proposed project at 439 Alvarado. We are writing to offer our enthusiastic support for the demolition and new construction proposed for 439 Alvarado. The current house is in poor condition, does not contribute to the pattern of homes on the block and the lack of parking is problematic.

The architects of 439 Alvarado met with us on several occasions and have worked with us and our architect to coordinate their design and massing with our planned future rear addition.

We were concerned that the previous renovation concept that proposed to lift the existing building could present a hazard to our home and family and feel that the proposed demolition and new construction is a more logical and safe approach to reaching the owner's original goal of creating a family home that enhances the block and neighborhood in general.

We recommend that the project be approved and the Commission not take Discretionary Review.

Sincerely,

The image shows two handwritten signatures in black ink. The signature on the left is for Margaret Howe, and the signature on the right is for Conrad Herrmann. Both signatures are fluid and cursive.

Margaret Howe & Conrad Herrmann
Owners, 435 Alvarado Street

Sung Residence

439 Alvarado St, San Francisco, CA 94114



Sung Residence

439 Alvarado Street
San Francisco
94114



Date & Issue

DR Hearing
27 March 2014

439 Alvarado Street

File: 1208
Job #: 1208
Drawn By: bM/MH
DO NOT SCALE DRAWINGS
Scale: 12" = 1'-0"

Cover Sheet, Index &
Project Information

A0.0

PERSPECTIVE



PERSPECTIVE VIEW FROM ALVARADO STREET

SCOPE OF WORK

Construct new single family dwelling with 4 bedrooms,
3 1/2 baths & 2 car garage.

PROJECT DIRECTORY

Owner

Luke & Kitty Sung
585 25th Avenue
San Francisco, CA 94121
lukeandkitty@gmail.com

Architect

ARMOUR+VOKIC Architecture
3350 Steiner Street
San Francisco, CA 94123
(415) 440-2880

David Armour, Principal
Project Designer
david@armour-vokic.com

Kathryn Wiens
Job Captain
kathryn@armour-vokic.com

BUILDING DATA

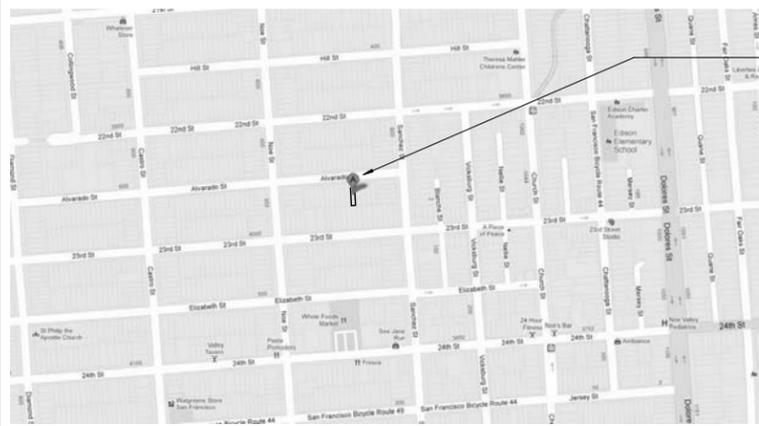
Block & Lot No. 3625 / 36
Zoning RH-2
(E) Occupancy R-3
(N) Occupancy R-3, U
(N) Use Single Family Dwelling
(N) Use Single Family Dwelling, Private Garage
(E) Const. Type V-B
(N) Const. Type V-B
(E) No. of Stories 3
(N) No. of Stories 3
(E) Height +/- 33'-8" (L.O. (E) Roof Peak)
(N) Height +/- 39'-7" (L.O. (N) Roof Peak)

Effective CODES:

2010 CBC & SF Amendments
2010 CMC & SF Amendments
2010 CPC & SF Amendments
2010 California Electrical Code & SF Amendments
2010 California Energy Code & SF Amendments
2010 CFC & SF Amendments
2007 San Francisco Housing Code Amendments

Building to Receive an Automatic Sprinkler System in
Accordance to 2010 CBC 903, Under Seperate Permit

VICINITY MAP



PROJECT LOCATION:
439 Alvarado Street,
San Francisco 94114



AREA CALCULATIONS

PROPOSED AREAS			
Level	Unconditioned Area	Conditioned Area	Gross Square Footage
Ground Level	576 sq. ft	991 sq. ft	1,567 sq. ft
Second Level	0 sq. ft	1,311 sq. ft	1,311 sq. ft
Third Level	0 sq. ft	1,250 sq. ft	1,250 sq. ft
Fourth Level	0 sq. ft	482 sq. ft	482 sq. ft
Subtotal (N)	576 sq. ft	4,034 sq. ft	4,610 sq. ft

NOTE: LOT AREA = 3,059 SF
(26'-10" x 114'-0")

CONTRACTOR NOTES

- The contractor will visit the site and be fully cognizant of all existing conditions prior to submitting any propositions or bids.
- Contractor shall be responsible for the safekeeping of all existing utilities, amenities and site improvements during construction, whether or not shown on drawings or uncovered during work.
- Contractor shall provide positive drainage away from residence.
- The contractor shall at all times, keep the construction site free from accumulation of waste materials or rubbish caused by contractor's operations.
- At the completion of the work, contractor shall clean all surfaces and leave the work "broom clean". All carpets are to be vacuumed clean.
- Trench backfill within public right-of-way shall conform to city or county standards.
- Contractor shall provide for traffic control as required.
- Contractor shall provide and utilize facilities necessary to control dust.
- If any asbestos or known materials containing asbestos are discovered, the contractor will be responsible to coordinate with the owner, as required for the removal of these conditions, prior to the beginning of this project. If the contractor participates in any portion of the removal process in his coordination with the owner, then the contractor will provide the owner with a written statement releasing the owner of any future liability from the contractor, his employees and any subcontractors hired by the contractor related to this work.
- These drawings and specifications do not represent an assessment of the presence or an assessment of the absence of any toxic or hazardous materials on this project site. The owners are solely responsible for such assessment and should be consulted for any questions, therein. The contractor will resolve the applicable regulations and procedures with the owner at the time of discovery.
- All work will be performed in accordance with all applicable codes, laws, ordinances and regulations, which relate to this project, including but not limited to: State of Cal. Administrative Code Title 24, last accepted edition: CBC 2007 or last accepted edition: CEC 2007 or last accepted edition: CPC 2007 or last accepted edition: CMC 2007 or last accepted edition.
- It is the responsibility of the contractor to notify the Architect at once upon discovery of any conflicts or discrepancies between the aforementioned and the drawings and specifications of this project.
- The contractor will coordinate and be responsible for all work by subcontractors and their compliance with all these general conditions. The contractor will identify any conflicts between the work of the subcontractors, as directed by these drawings, during the layout of the affected trades. The contractor will review these conditions with the architect for design conformance before beginning any installation.
- The contractor will field verify all existing and proposed dimensions and conditions. It is the responsibility of the contractor to notify the architect at once upon discovery of any conflicts or discrepancies between the aforementioned and the drawings and specifications. Contractor shall follow dimensions and is not to scale drawings. If dimensions are required but not shown the contractor shall notify the architect.
- Any changes, alternatives or modifications to these drawings and specifications must be approved in writing from the architect and owner, and only proceed when such written approval clearly states the agreed cost or credit of the change, alternative or modification to this project.
- The intent of these drawings and specifications is to include all items necessary for a complete job. The contractor will provide all materials, labor and expertise necessary to achieve a complete job as shown in these drawings and specifications or not shown, but intended.
- The contractor is fully responsible for construction means, methods, techniques, sequences and procedures for the work shown on these drawings and specifications. It is the contractor's responsibility to enact the aforementioned in compliance with generally accepted standards of practice for the construction industry for the type of work shown on these drawings and specifications.
- The architect reserves the right of review for all materials and products, for which no specific brand name or manufacturer is identified in these drawings and specifications. The contractor shall verify with the architect the need for shop drawings or samples of materials and products, which were not identified, as well as any material, products or equipment substitutions proposed in place of those items identified in these drawings and specifications.
- It is the contractor's responsibility to verify and coordinate all utility type connections, utility company's requirements and include any related costs associated with this responsibility in their proposal or bid. The contractor is responsible for writing letters regarding operative agreements for this project between the contractor and the local fire department, the local water agency, the local natural or propane gas providers, TV provider, the owner's security service provider and any unnamed utility type service provider. The contractor will provide copies of any such agreements to the architect and owner, if required or requested.
- The contractor is fully responsible to enact the appropriate safety precautions required to maintain a safe working environment. The contractor will also indemnify and hold harmless the owner, the architect, their consultants, and their employees from and against any claims for damages, including any injury claims by the contractor, his employees, his subcontractors or anyone he allows on the construction site, which result from the contractor's performance of the work shown on these drawings and specifications.
- The contractor will carry the appropriate workman's compensation and liability insurance as required by the local government agency having jurisdiction for this issue, as well as comply with the generally accepted industry standards of practice for a project of his scope. It will be the responsibility of the contractor to verify with the owner if owner will be required to carry fire insurance or other types of insurance for the duration of the project, and assist the owner in identifying the amount of coverage required.
- Where intended, all new work shall align and be of the same material finish and quality.
- The sealant, caulking and flashing locations shown on these drawings are not intended to cover all conditions requiring these products. It is the responsibility of the Contractor to identify all conditions requiring these products, to review conditions not identified in the drawings with the Owner's Agent for design conformance and to provide and warrant a complete waterproof installation.
- All connectors and fasteners are intended to be concealed, unless otherwise noted. Where such devices cannot be concealed, as intended, notify the Owner's Agent for review of design conformance.

GENERAL NOTES

- Comply all with codes, laws, ordinances, rules, and regulations of public authorities governing the work.
- Obtain and pay for permits and inspections required by public authorities governing the work.
- Review documents, verify dimensions and field conditions and confirm that work is buildable as shown. Report any conflicts or omissions to the architect for clarification prior to performing any work in question.
- Submit requests for substitutions, revisions, or changes to architect for review prior to purchase, fabrication or installation.
- Coordinate work with the owner, including scheduling time and locations for deliveries, building access, use of building services and facilities, and use of elevators. Minimize disturbance of building functions and occupants.
- Owner will provide work noted "by others" or "NIC" under separate contract. Include schedule requirements in construction progress schedule and coordinate to assure orderly sequence of installation.
- Coordinate telecommunications, data and security system installations.
- Maintain exits, exit lighting, fire protective devices, and alarms in conformance with codes and ordinances.
- Protect area of work and adjacent areas from damage.
- Maintain work areas secure and lockable during construction. Coordinate with tenant and landlord to ensure security.
- Do not scale drawings. Written dimensions govern. In case of conflict, consult the architect.
- Maintain dimensions marked "clear". Allow for thickness of finishes.
- Coordinate and provide backing for millwork and items attached or mounted to walls or ceilings.
- Where existing access panels conflict with construction, relocate panels to align with and fit within new construction.
- Undercut doors to clear top of floor finishes by 1/4 inch, unless otherwise noted.
- If the Contractor finds fault, disagrees, objects or would like to change the scope of these conditions and his stated responsibilities as outlined in these General Notes, then the Contractor must resolve such changes with the Owner in writing before signing a contract. Failure to do so will constitute an understanding of these General Notes and their acceptance by the Contractor.

DEMOLITION NOTES

- The demolition work shown on this drawing is not the complete demolition required to accommodate the new work. The intent of this drawing is to generally show the scope of work expected of the Contractor. The contractor will be responsible to coordinate any additional work required, but not shown, in order to accommodate any new work.
- All the dimensions shown or not shown, but required, must be verified in the field by the Contractor. The information shown on these drawings was derived by the architect without any surveying or engineering type equipment. Anyone relying on this information, should be reminded, that they do so at their own risk.
- Where necessary, the Contractor will coordinate the capping and patching of all existing plumbing fixtures and related equipment, shown to be removed, with the existing system to remain. The Contractor will verify the work required to install and patch the new plumbing fixtures and related equipment, as shown on the new work plans, into the remaining existing system. The Contractor will review with the Designer in the field any conditions, which will conflict with this intent.
- Where necessary the Contractor will coordinate the patching of the mechanical system and related devices, shown to be removed, with the existing system to remain. The Contractor will verify the work required to install any new mechanical system and related equipment, as shown on the new work plans, into the remaining existing system (where required). The Contractor will review with the Designer in the field any conditions, which will conflict with this intent.
- Where necessary the Contractor will coordinate the capping and patching of all existing electrical fixtures and related equipment, shown to be removed, with the existing system to remain (where required). The Contractor will verify the work required to install and patch the new electrical fixtures and related equipment, as shown on the new work plans, into the remaining existing system. The Contractor will review with the Owner's Representative in the field any conditions, which will conflict with this intent.
- Where necessary the Contractor will protect existing wood and carpeted floors with at least one layer of heavy craft paper and one layer of Masonite.
- The Contractor is solely responsible for all shoring and protection of excavation cuts and holes, as required by CAL-OSHA and the local authorities. The Contractor is solely responsible for obtaining any additional permits, engineering, and construction documents related to this work, whether or not they are required, from the local authorities.
- Comply with applicable Local, State and Federal Codes and Regulations pertaining to safety of persons, property and environmental protection.
- Provide and maintain barricades, lighting, and guardrails as required by applicable codes and regulations to protect occupants of building and workers.
- Erect and maintain dustproof partitions as required to prevent spread of dust, fumes, and smoke, etc. to other parts of the building. On completion, remove partitions and repair damaged surfaces to match adjacent surfaces.
- If demolition is performed in excess of that required, restore effected areas at no cost to the owner.
- Remove from site daily and legally dispose of refuse, debris, rubbish, and other materials resulting from demolition operations.
- Remove designated partitions, components, building equipment, and fixtures as required for new work.
- Remove abandoned HVAC equipment, including duct work.
- Remove abandoned electrical, telephone and data cabling and devices, unless otherwise noted.
- Remove existing floor finishes and prepare subfloor as required for new floor finishes.

ABBREVIATIONS (where not otherwise defined)

ℙ	PROPERTY LINE	ENCL.	Enclosure	O.C.	On Center
⊕	SQUARE FEET	E.P.	Electrical Panel	O.D.	Outside Diameter or Overflow Drain
&	AND	EQ.	Equal	O.H.	Opposite Hand (Mirror Image)
∠	ANGLE	EQUIP.	Equipment	OPNG.	Opening
@	AT	EXPO.	Exposed	OPP.	Opposite
∅	DIAMETER	EXT.	Exterior		
L	PERPENDICULAR	F.D.	Floor Drain	PL	Plate
#	POUND OR NUMBER	FDN.	Foundation	PLAS.	Plaster
<	LESS THAN	FF. (FF)	Finish Face	PLWD.	Plywood
>	GREATER THAN	FIN.	Finish	PNL.	Panel
⌄	CENTERLINE	FL.	Floor	PT.	Point
		FLASH.	Flashing	PR.	Pair
		FLOUR.	Flourescent	PTD.	Painted
		F.O.	Face of	PTN.	Partition
		F.O.C.	Face of Concrete	P.T.	Pressure Treated
ABV.	Above	F.O.F.	Face of Finish		
ACOUS.	Acoustic(al)	F.O.S.	Face of Stud	R.	Riser or Radius
A.D.	Area Drain	FS	Face of Stud	REINF.	Reinforcing
ADJ.	Adjacent	FPRF.	Fireproof	R.D.	Roof Drain
AFF	Above Finish Floor	FRG. (FRG)	Framing	REQ.	Required
AGGR.	Aggregate	FT.	Foot/Feet	RESIL.	Resilient
AL. (AL)	Aluminum	FTG.	Footing	R.O.	Rough Opening
A.P.	Access Panel	FURR.	Furring	RDWD.	Redwood
A.P.N.	Assessor's Parcel Number	FUT.	Future	RWL	Rainwater Leader
APPROX.	Approximate	GA.	Gauge	S.	South
ARCH.	Architect	GALV.	Galvanized	S.C. (SC)	Solid Core
ASPH.	Asphalt	G.B.	Grab Bar	SCHED.	Schedule
		GDRL.	Guardrail	SH.	Shelf
BD.	Board	GL. (GL)	Grid Line	SHR.	Shower
BKG.	Backing	GLS.	Glass	SHT.	Sheet
BLDG.	Building	GFCI	Ground Fault Circuit Interrupt	SIM.	Similar
BLKG.	Blocking	GND.	Ground	SPEC.	Specification
BM.	Beam	GR.	Grade	SQ.	Square
B.O.	Bottom of	GYP.	Gypsum	S.S.	Stainless Steel
B.U.R.	Built-up Roofing	GWB	Gypsum	S.S.D.	See Structural Drawings
		G.I.	Galvanized Iron	STD.	Standard
CAB.	Cabinet	H.B.	Hose Bib	STL.	Steel
C.B.	Catch Basin	H.C. (HC)	Hollow Core	STOR.	Storage
CEM.	Cement	HDWD.	Hardwood	STRL.	Structural
CER.	Ceramic	HDWR.	Hardware	S.V.	Sheet Vinyl
C.I.	Cast Iron	HDRL.	Handrail	SYM.	Symmetrical
C.J.	Control Joint	H.M. (HM)	Hollow Metal		
CL	Centerline	HORIZ.	Horizontal	T.	Tread
CLG.	Ceiling	H.P.	High Point	T.B.	Towel Bar
CLKG.	Caulking	HR.	Hour	TEL.	Telephone
CLO.	Closet	HT.	Height	TEMP.	Tempered
CLR.	Clear	I.D.	Inside Diameter	T&G	Toungue & Groove
C.M.U.	Concrete Masonry Unit	INFO.	Information	TH.	Threshold
		INSUL.	Insulation	THK.	Thick
CNTR.	Counter	INT.	Interior	T.O.	Top of
C.O.	Clean Out	INT.	Interior	T.O.W.	Top of Wall
COL.	Column			T.P.D.	Toilet Paper Dispenser
CONC.	Concrete			T.V.	Television
CONC.	Continuous	JT.	Joint	T.S.	Tube Steel
C.SWK.	Casework	KIT.	Kitchen	TYP.	Typical
C.R.	Cold Rolled	LAM.	Laminate		
C.T.	Ceramic Tile	LAV.	Lavatory	UNF.	Unfinished
CTR.	Center	L.P.	Low Point	U.O.N.	Unless Otherwise Noted
CTSK.	Countersunk	LT.	Light		
		MAX.	Maximum	VEN.	Veneer
DBL.	Double	M.C.	Medicine Cabinet	VERT.	Vertical
DET.	Detail	MECH.	Mechanical	VEST.	Vestibule
DIA.	Diameter	MEMB.	Membrane	V.T.	Vinyl Tile
DIM.	Dimension	MET.	Metal	V.I.F.	Verify in Field
DN. (DN)	Down	MFR.	Manufacturer		
D.O.	Door Opening	MNFR.	Manufacturer	W.	West
DR.	Door	MIN.	Minimum	W/	With
DWR.	Drawer	MISC.	Miscellaneous	WD. (WD)	Wood
D.S.	Downspout	MUL.	Mullion	W.O.	Where Occurs
DWG.	Drawing	(N)	New	WO	Without
(E)	Existing	N.	North	WP.	Waterproofing
E.	East	N.I.C.	Not in Contract	WR.	Water Resistant
EA.	Each	NOM.	Nominal	WT.	Weight
E.B.	Expansion Bolt	N.T.S.	Not to Scale		
E.J.	Expansion Joint				
EL.	Elevation				
ELEC.	Electrical				
ELEV.	Elevator				

SYMBOL LEGEND

	Reference Datum		EXISTING EXTERIOR or INTERIOR WALL (TO REMAIN)
	Window Type Callout		NEW EXTERIOR or INTERIOR WALL
	Interior and Exterior Door Type Callout		1 HOUR RATED WALL EXISTING/NEW
	Elevation Callout -ID Number -Sheet Number		EXISTING EXTERIOR or INTERIOR WALL TO BE DEMOLISHED
	SIM		OVERHEAD LINE
	Section Callout -ID Number -Sheet Number		GAS SERVICE
	Detail Plan Callout -ID Number -Sheet Number		HOSE BIBB (STANDARD)
	Ref		HOSE BIBB (CONCEALED)
			HOSE BIBB (CONCEALED) - HOT/COLD
			STAND PIPE

PROJECT NOTES

- All walls to be 2x4 framing, U.O.N.
- Notes on **Architectural Dimensions**:
 - All interior wall dimensions are to face of stud wall, U.O.N.
 - +/- dimensions provided for verification purposes.
 - Verify any dimensional discrepancies with Architect.
 - Abbreviations used for Architectural Dimensioning:
 - CLR Clear (maintain clear dimension)
 - FF Finish Face
 - FS Face of Stud
 - FRG Framing
 - GL Grid Line
 - ℙ Property Line
- All Grid Lines are referenced to Face of Stud, U.O.N.
See Slab Plan, Sheet A2.0 for Grid Line location descriptions.



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www.armour-vokic.com

Sung Residence

439 Alvarado Street
San Francisco
94114



Date & Issue

DR Hearing
27 March 2014

439 Alvarado Street

File: _____
Job #: 1208
Drawn By: DV
DO NOT SCALE DRAWINGS
Scale: 1/4" = 1'-0"

Notes, Legend & Abbreviations

A0.1



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439 Alvarado Street
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Scale:

Project Photos

A0.2



Street View (Opposite Side) - South Elevation with BUILDINGS ON FACING SIDE OF STREET



Street View - (E) Front Facade - North Elevation - Looking SE



Street View - (E) Front Facade - North Elevation with BUILDINGS ON SAME SIDE OF STREET



Street View - (E) Front Facade - North Elevation - Looking SW



Rear View - (E) Back Facade - South Elevation - Looking NW



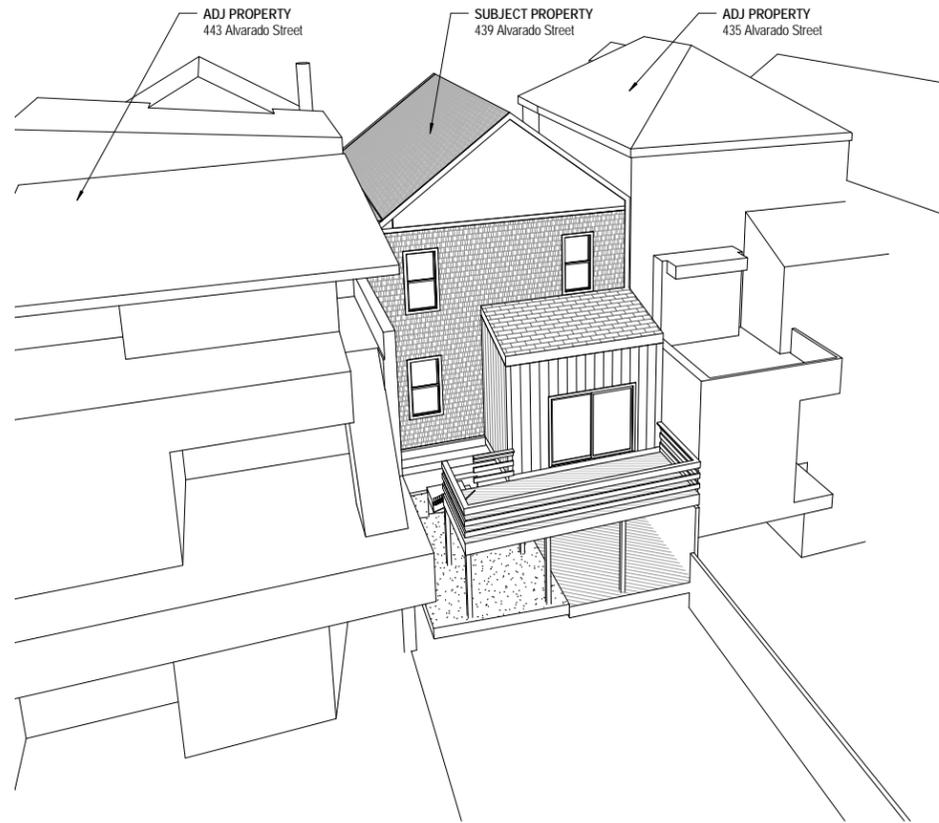
Rear View - (E) Back Facade - South Elevation - Looking NE



Rear View - (E) Back Facade - South Elevation - Looking NE



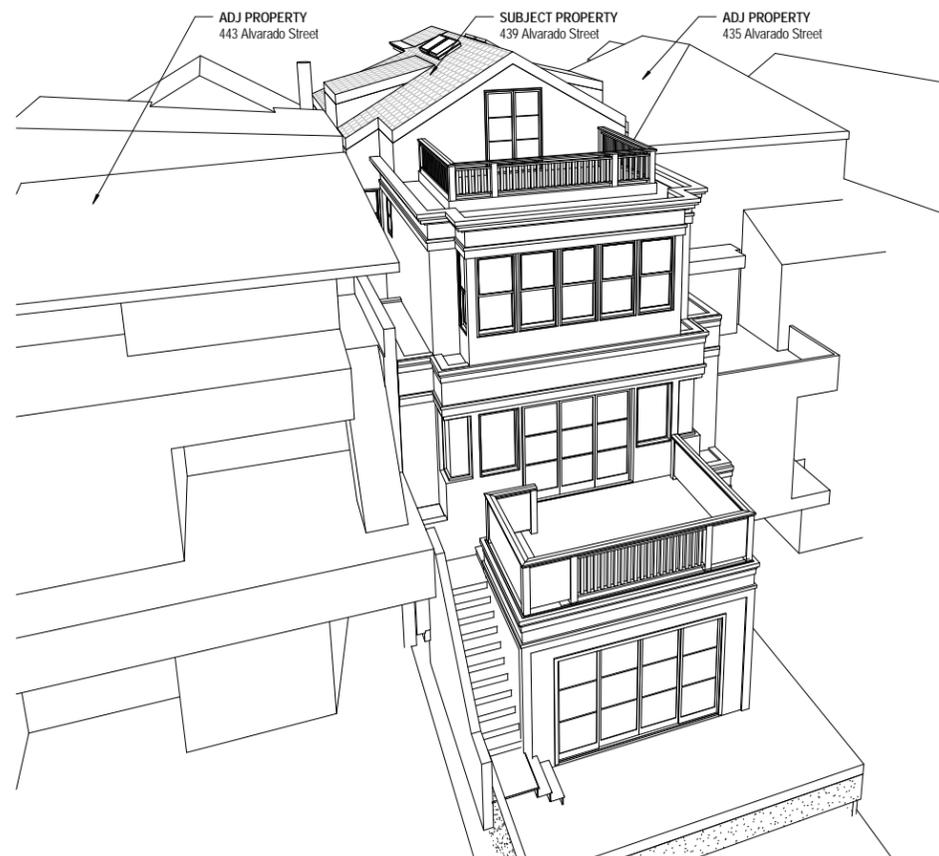
Rear View - Looking E



Existing SW Perspective 4
SCALE:



Existing NW Perspective 2
SCALE:



Proposed SW Perspective 3
SCALE:



Proposed NW Perspective 1
SCALE:



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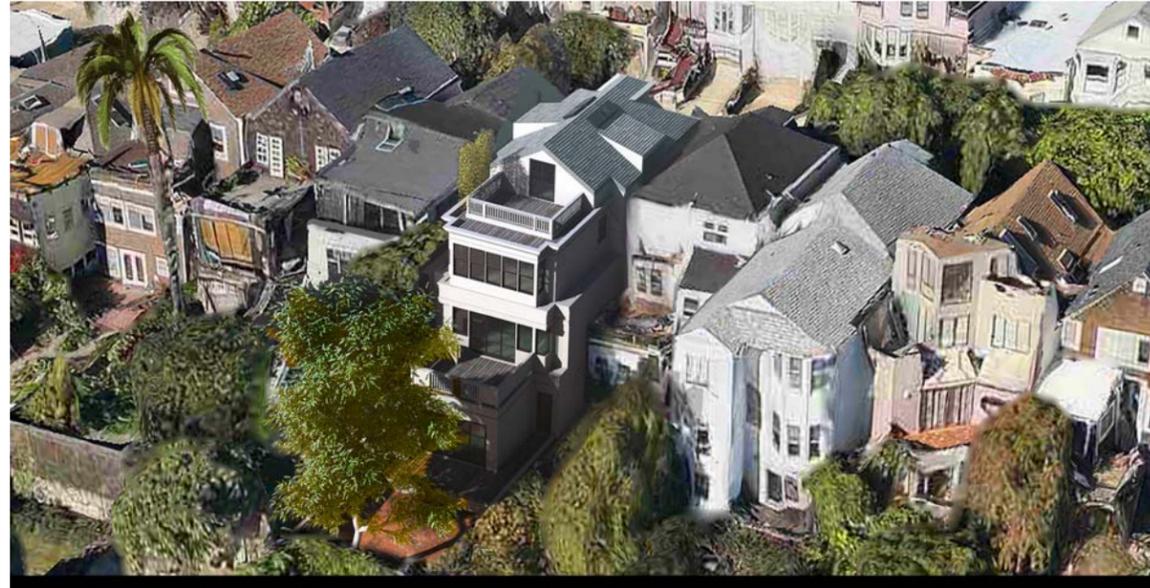
439 Alvarado Street

File: _____
Job #: 1208
Drawn By: _____ Author
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Scale: _____

Perspective Views

A0.3

Proposed SE Perspective



Existing SE Perspective

Proposed NW Perspective



Existing NW Perspective



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439 Alvarado Street

File:
Job #: 1208
Drawn By: Author
DO NOT SCALE DRAWINGS
Scale:

Perspective Renderings

A0.4

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name Sung Residence	Block/Lot 3625 / 36	Address 439 Alvarado Street, San Francisco, CA 94114
Gross Building Area 4,074 sq. ft.	Primary Occupancy RH-3, Single Family Dwelling	Design Professional/Applicant: Sign & Date
# of Dwelling Units 1	Height to highest occupied floor (+/-) 18' - 8 3/4"	Number of occupied floors 3

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS

Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	X
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	20
Final number of required points (base number +/- adjustment)	95
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

LEED PROJECTS

Type of Project Proposed (Indicate at right)	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●				Meet LEED prerequisites	
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●		Meet LEED prerequisites	
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS4.2. (13C.5.106.4)	●		n/r	●	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●		See CBC 1207	●	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS

Type of Project Proposed (Check box if applicable)	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	(Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.6
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r



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27 March 2014

439 Alvarado Street

File: 1208
Job #: 1208
Drawn By: Author
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Scale: 1/2" = 1'-0"

Attachment C-2 Green Building Site Permit Submittal

A0.5

GENERAL NOTES

- (1) ALL DISTANCES: (RECORD) = MEASURED, UNLESS OTHERWISE NOTED.
 - (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - (3) PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
 - (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
 - (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
 - (6) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY.
 - (7) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF LUKE SUNG AND HIS ARCHITECT / ENGINEER, USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED.
 - (8) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
 - (9) THIS IS A BOUNDARY SURVEY.
 - (10) A RECORD OF SURVEY IS IN PROCESS, IN ACCORDANCE WITH SECTION 8762 OF THE PROFESSIONAL LAND SURVEYORS' ACT, BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA AND LOCAL ORDINANCE(S).
 - (11) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENTERS THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY.
 - (12) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN. THIS SURVEY DOES NOT SHOW THE LOCATION OF, OR ENCROACHMENTS BY SUBSURFACE UTILITIES, FOOTING, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS.
- ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC, QUASI-PUBLIC AND GIS UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION.

BASIS OF ELEVATION

FOUND CROW CUT OUTER RIM STORM WATER INLET AT THE SOUTHWEST CORNER OF ALVARADO AND SANCHEZ STREETS. ELEVATION = 242.291' CITY AND COUNTY OF SAN FRANCISCO VERTICAL DATUM.

BASIS OF SURVEY

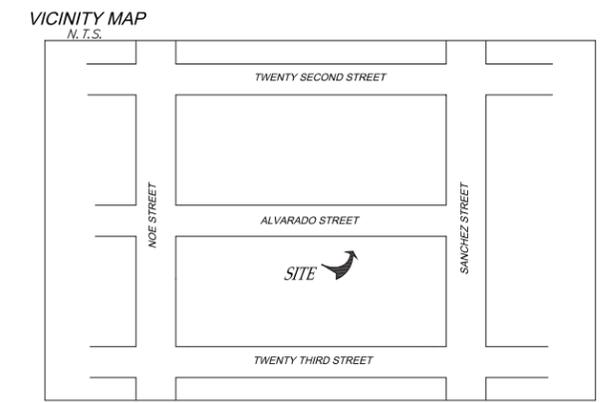
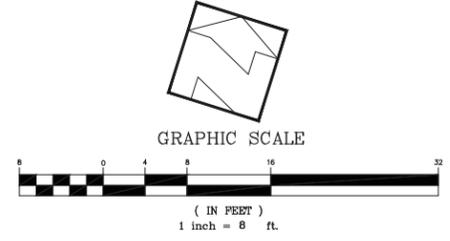
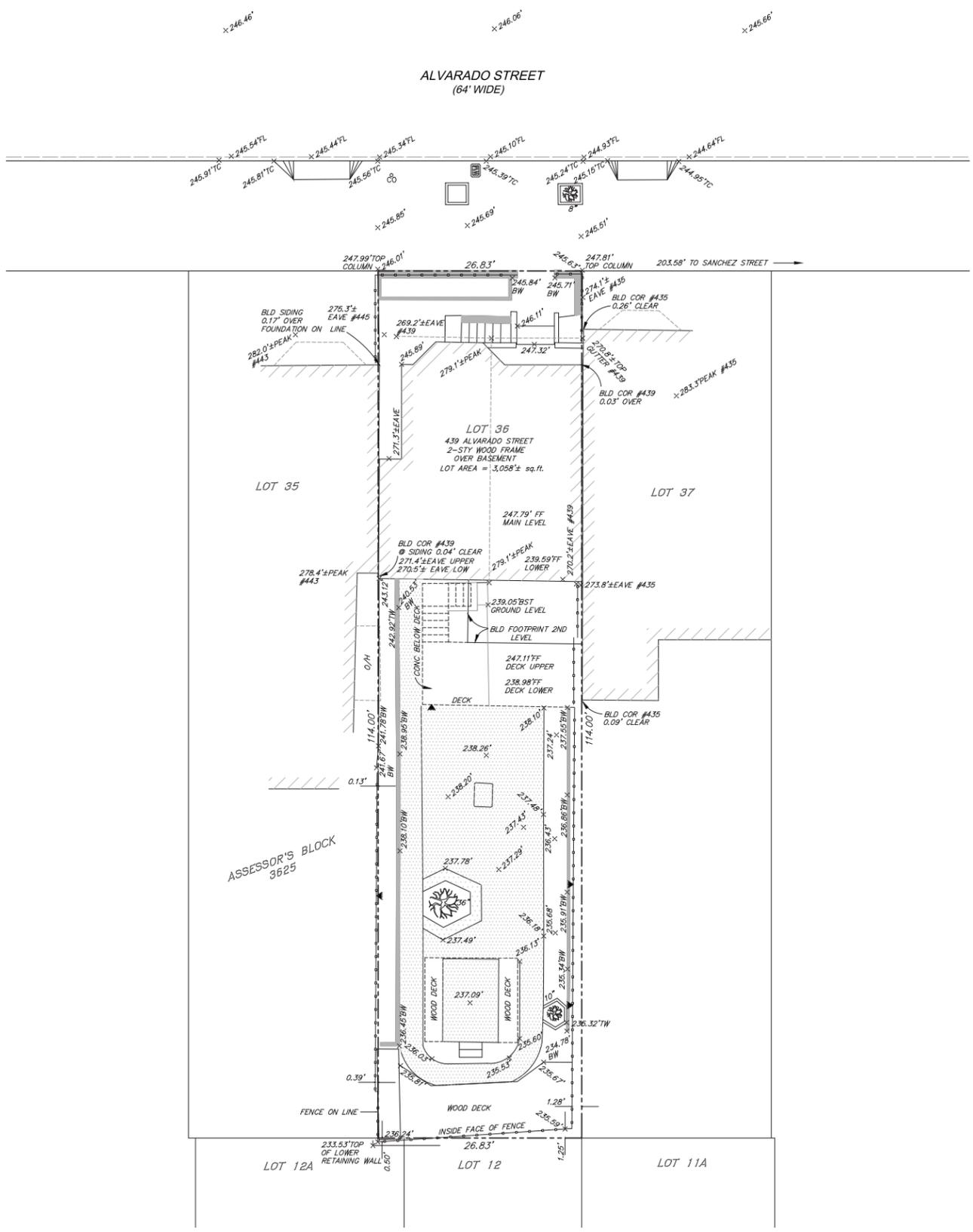
GRANT DEED RECORDED JUNE 13TH 2007 IN REEL J411 IMAGE 0164. OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

MAP REFERENCES

- (1) GRANT DEED RECORDED IN REEL J411 IMAGE 0164.
- (2) BLOCK DIAGRAM OF ASSESSOR'S BLOCK 3625 ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.
- (3) CITY AND COUNTY OF SAN FRANCISCO MONUMENT MAP NO. 236. ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.
- (4) CITY AND COUNTY OF SAN FRANCISCO GRADE MAP NO. 236. ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.

LEGEND

- FL FLOWLINE
- TC TOP OF CURB
- FF FINISHED FLOOR
- THRESH THRESHOLD
- TW TOP OF WALL
- BW BOTTOM OF WALL
- BLD BUILDING
- CO CLEANOUT
- N.T.S. NOT TO SCALE
- PAC PAC BELL
- OH OVERHANG
- WM WATER METER
- PROPERTY LINE
- OVERHANG
- FLOWLINE
- FENCE
- TREE DIAMETER IN INCHES
- LIGHT



SHEET 1 OF 1 SHEETS
 JOB No. #12005

DATE:	REVISED:



SITE SURVEY
439 AVLARADO STREET
 SAN FRANCISCO, CA
 BLOCK 3625 LOT 36
 CITY AND COUNTY OF SAN FRANCISCO CALIFORNIA

FORESIGHT
LAND SURVEYING
 524 UNION STREET, SUITE #295
 SAN FRANCISCO, CA 94133
 415-735-6180

DATE: 10-3-12
 SCALE: 1"=8'
 DRAWN: GTT

SHEET NOTES

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GENERAL NOTES

- 1. 50% OF THE FRONT SETBACK AREA SHALL BE PERMEABLE PER SEC. 132 (h)

439 Alvarado Street

File: 1208

Job #: 1208

Drawn By: bM/MH

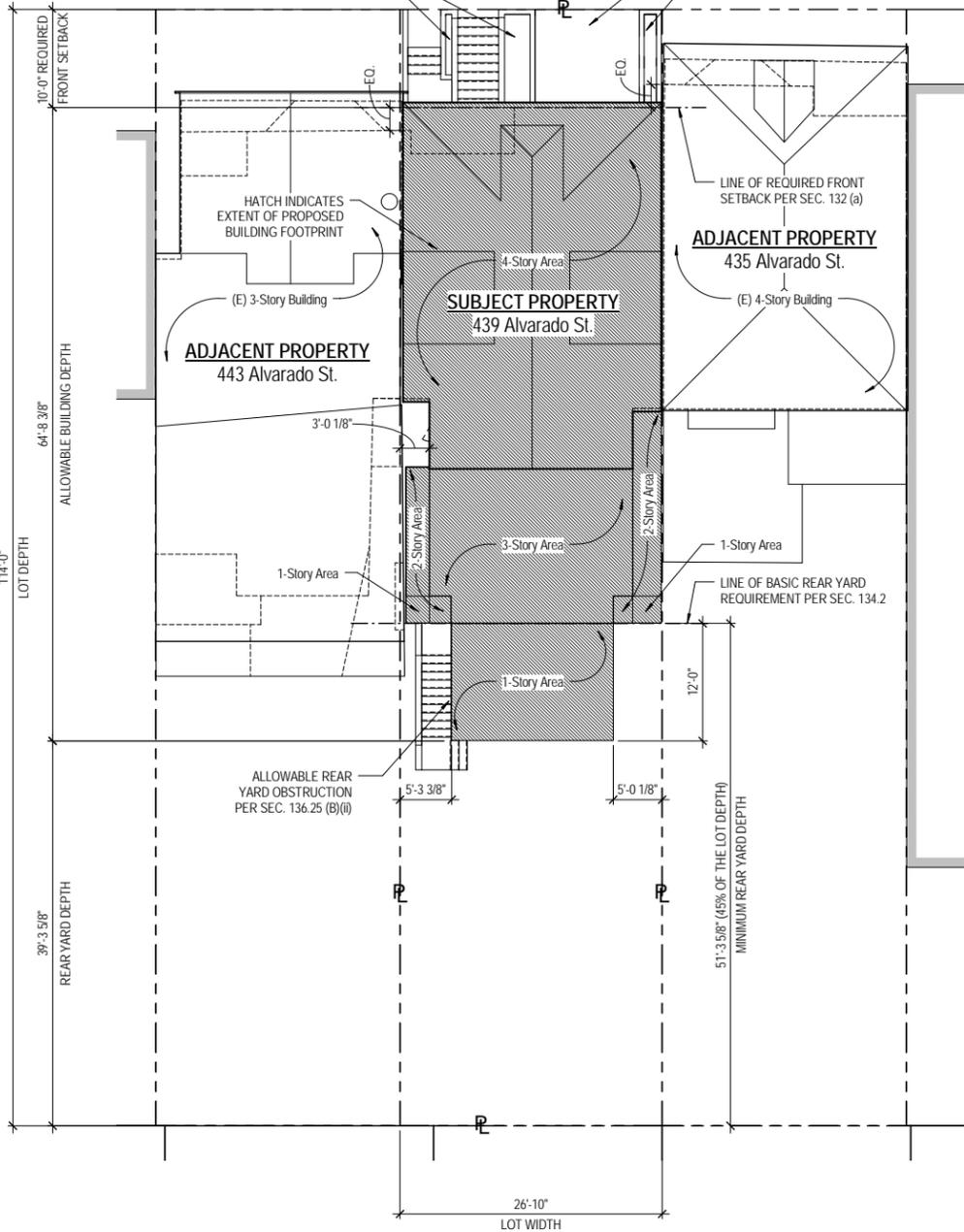
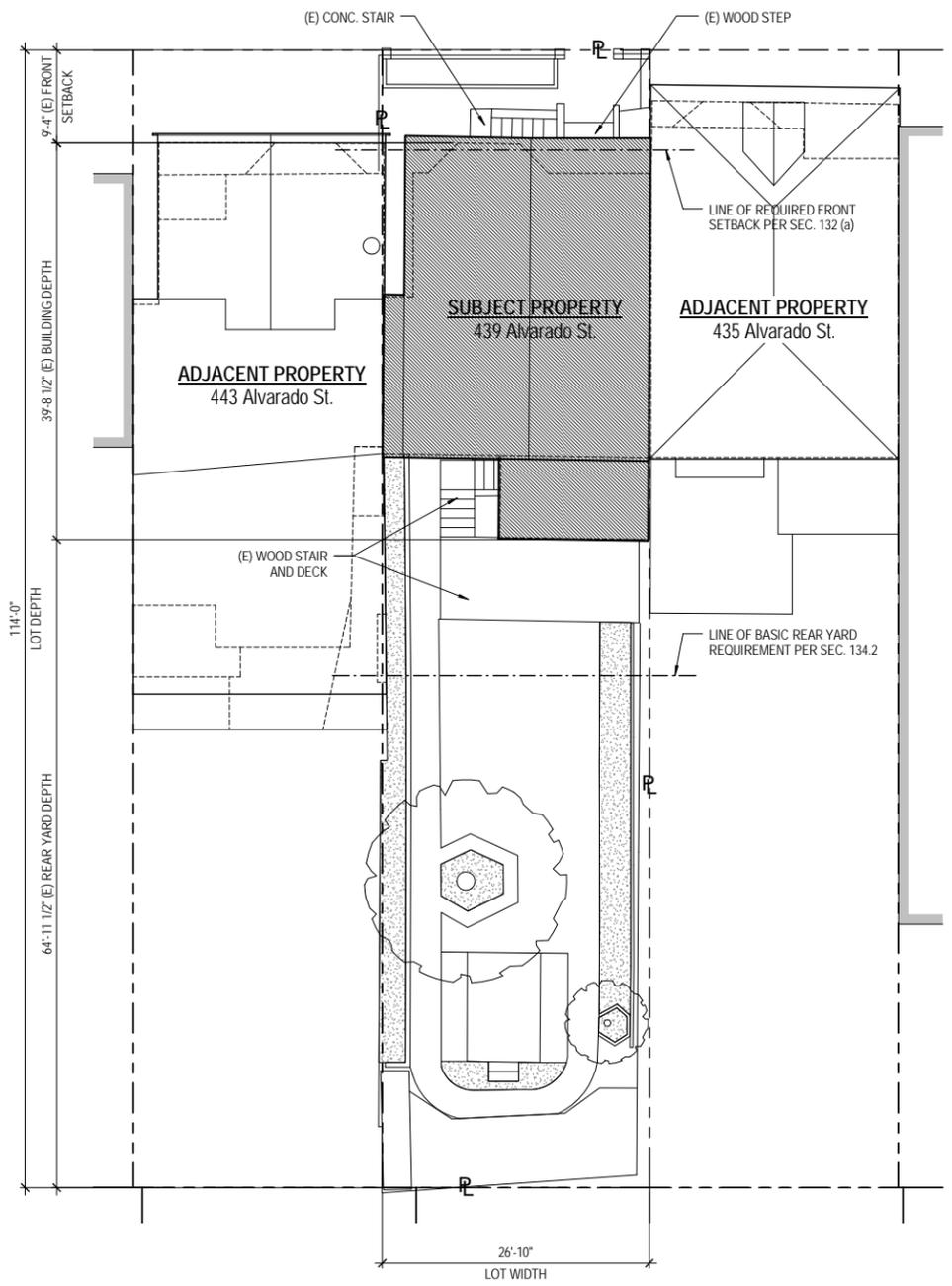
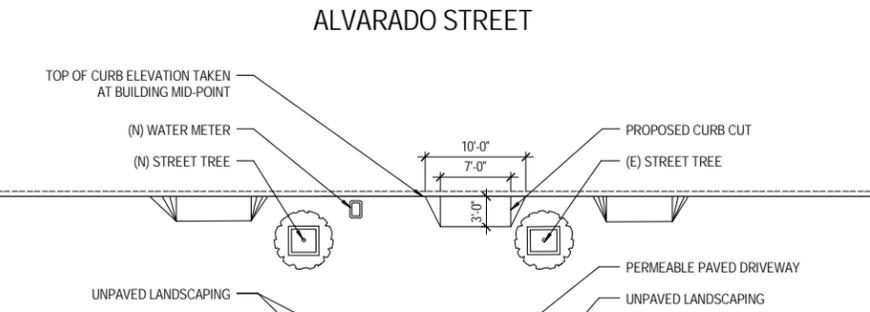
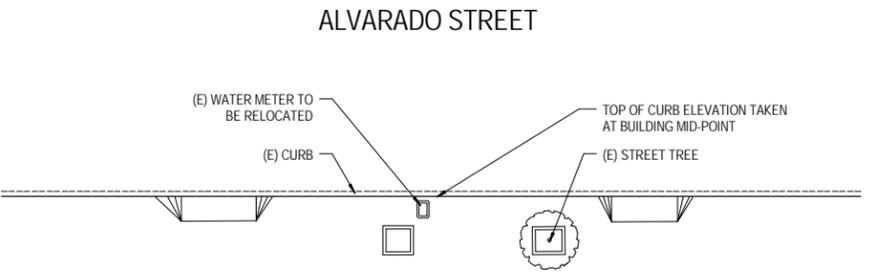
DO NOT SCALE DRAWINGS

Scale: 1/8" = 1'-0"



Existing & Proposed Site Plans

A1.1



Existing Site Plan

SCALE: 1/8" = 1'-0"

Proposed Site Plan

SCALE: 1/8" = 1'-0"

SHEET NOTES



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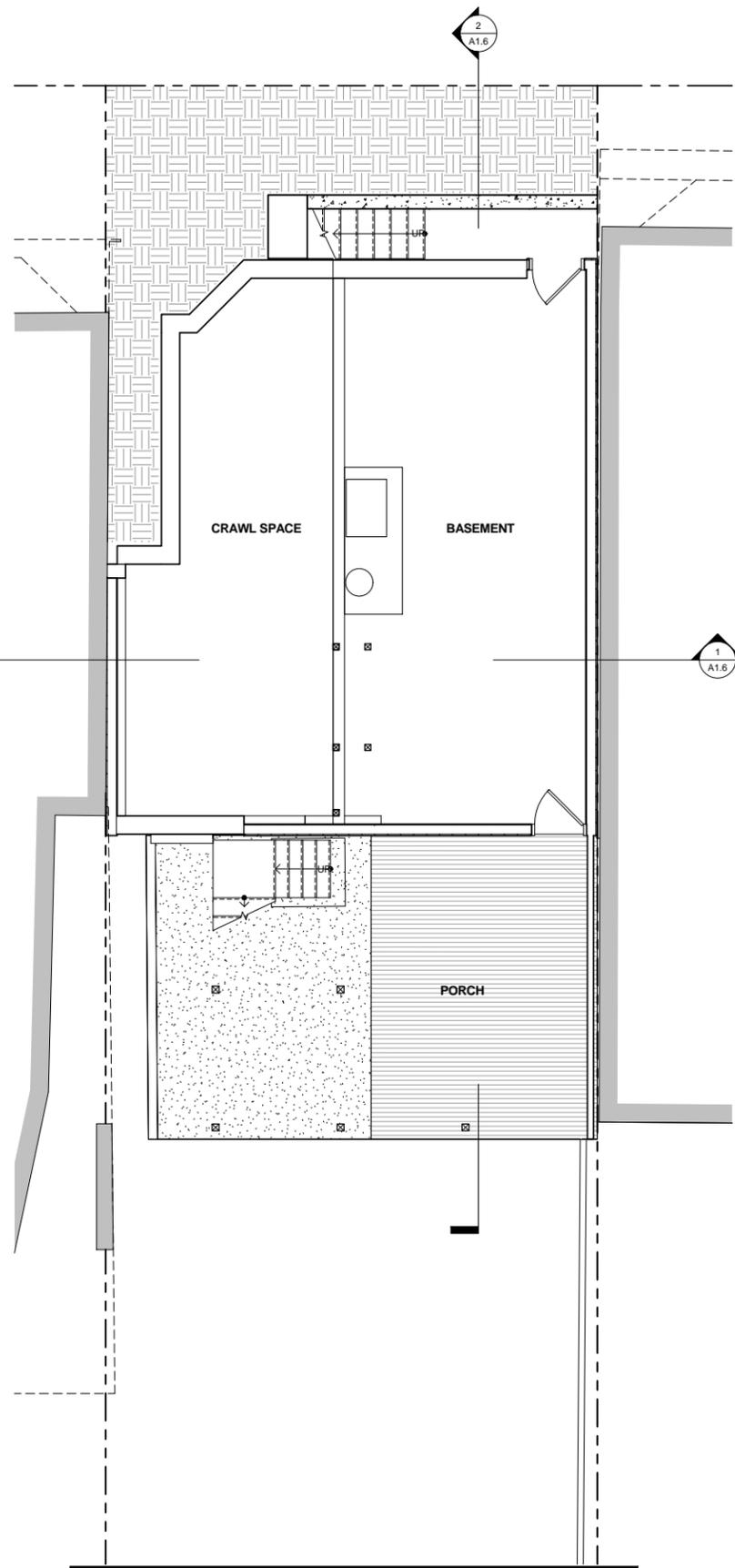
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Scale: 1/4" = 1'-0"



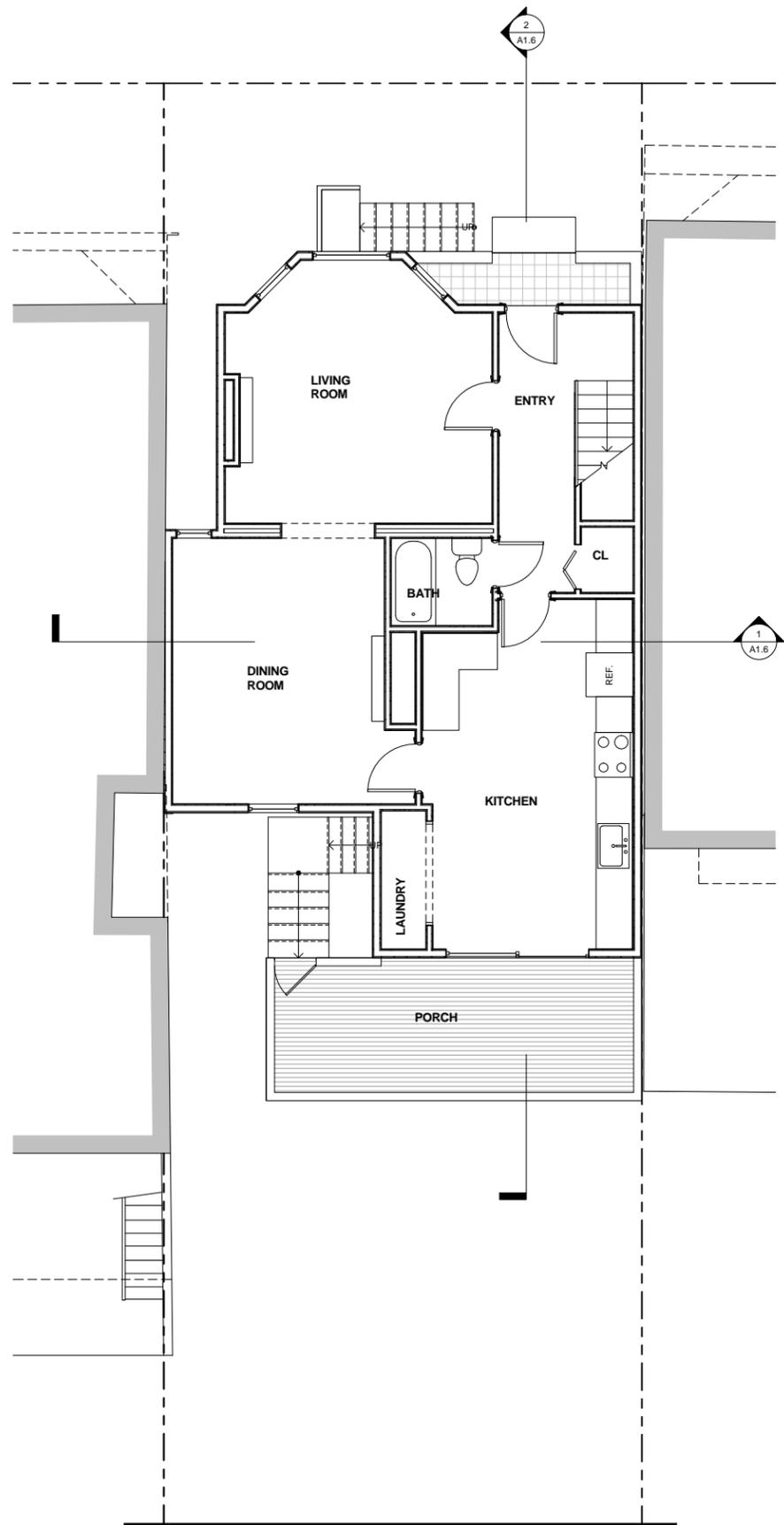
Existing Ground & Second Floor Plans

A1.2

GENERAL NOTES



Existing Ground Floor Plan
SCALE: 1/4" = 1'-0" **1**



Existing Second Floor Plan
SCALE: 1/4" = 1'-0" **2**



SHEET NOTES



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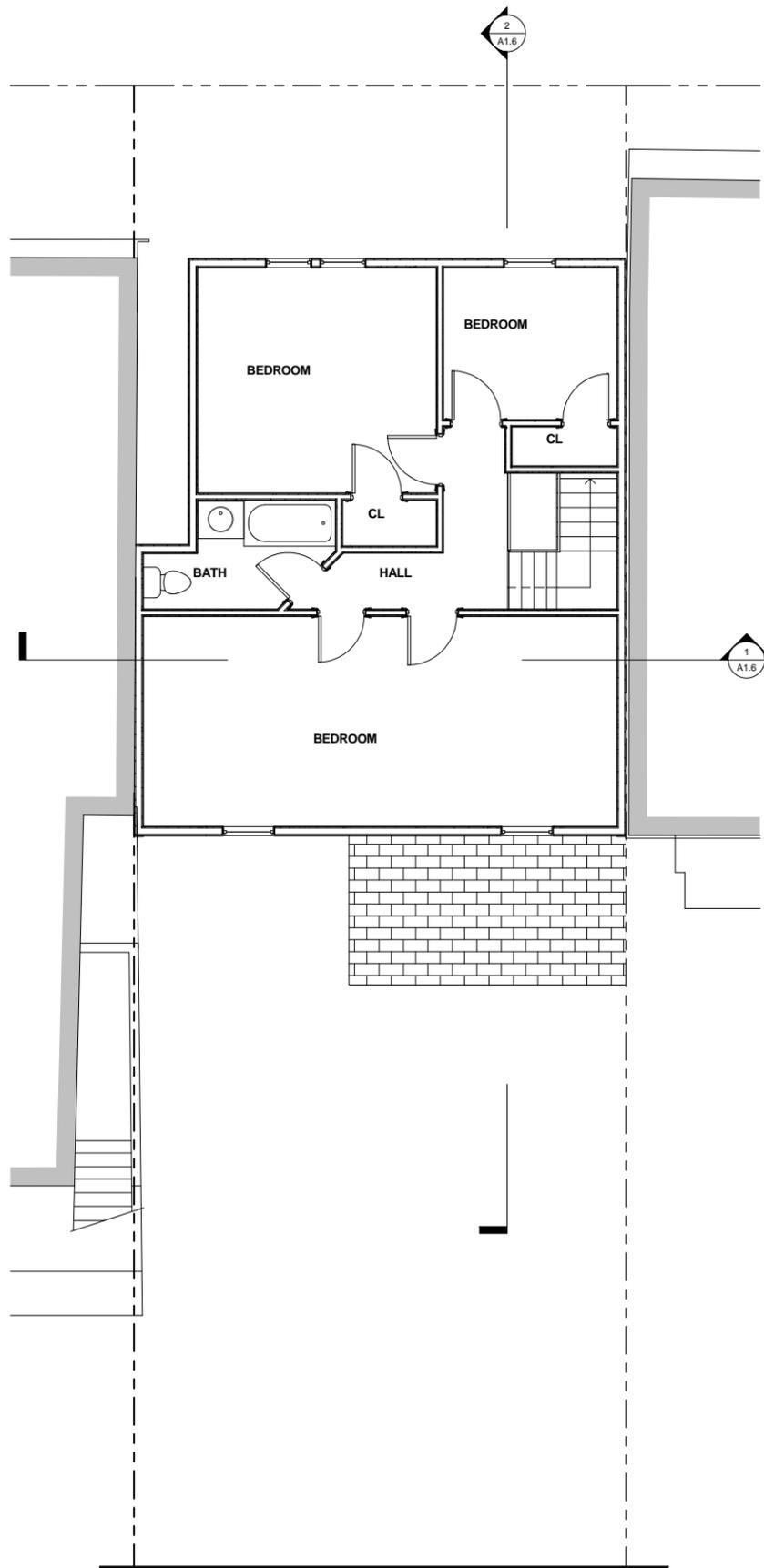
439 Alvarado Street

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Job #: 1208
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DO NOT SCALE DRAWINGS
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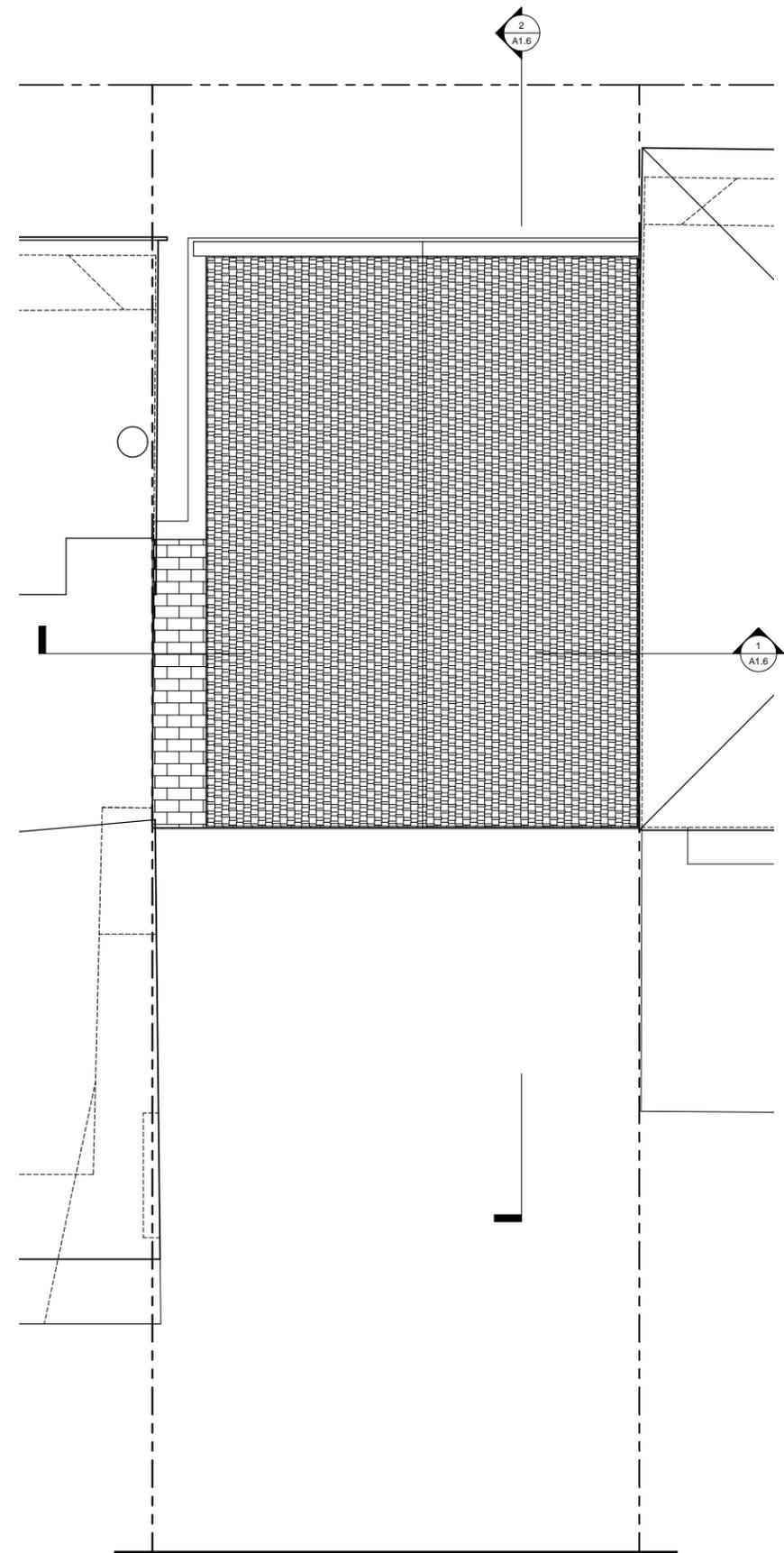
Existing Third Floor & Roof Plans

A1.3

GENERAL NOTES



Existing Third Floor Plan
SCALE: 1/4" = 1'-0"

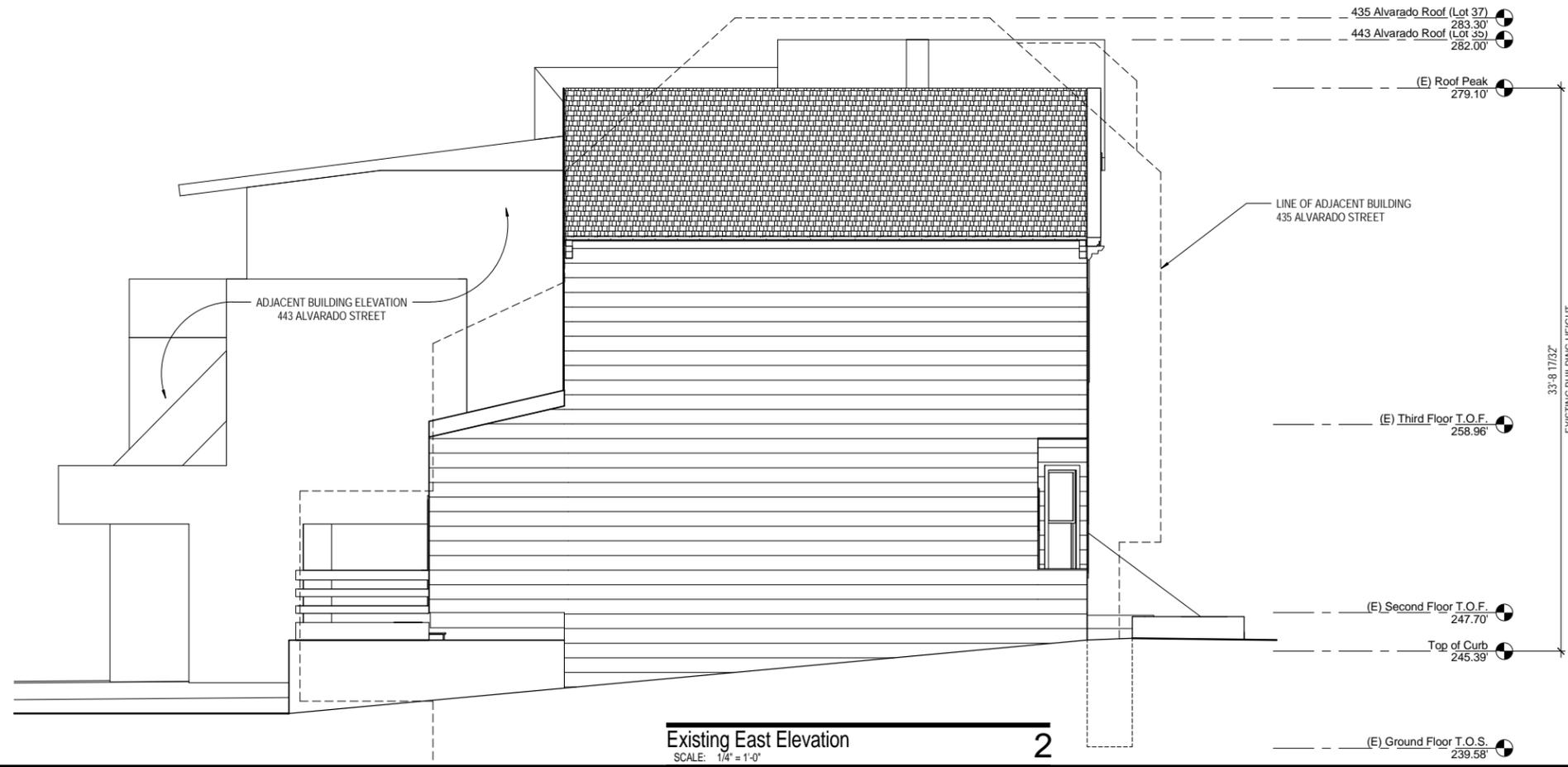


Existing Roof Plan
SCALE: 1/4" = 1'-0"





Existing North Elevation
SCALE: 1/4" = 1'-0" **1**



Existing East Elevation
SCALE: 1/4" = 1'-0" **2**

SHEET NOTES

GENERAL NOTES

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DO NOT SCALE DRAWINGS
Scale: 1/4" = 1'-0"
0 1 2 4 8

Existing North & East Elevations

A1.4

435 Alvarado Roof (Lot 37)
283.30'
443 Alvarado Roof (Lot 35)
282.00'

SHEET NOTES

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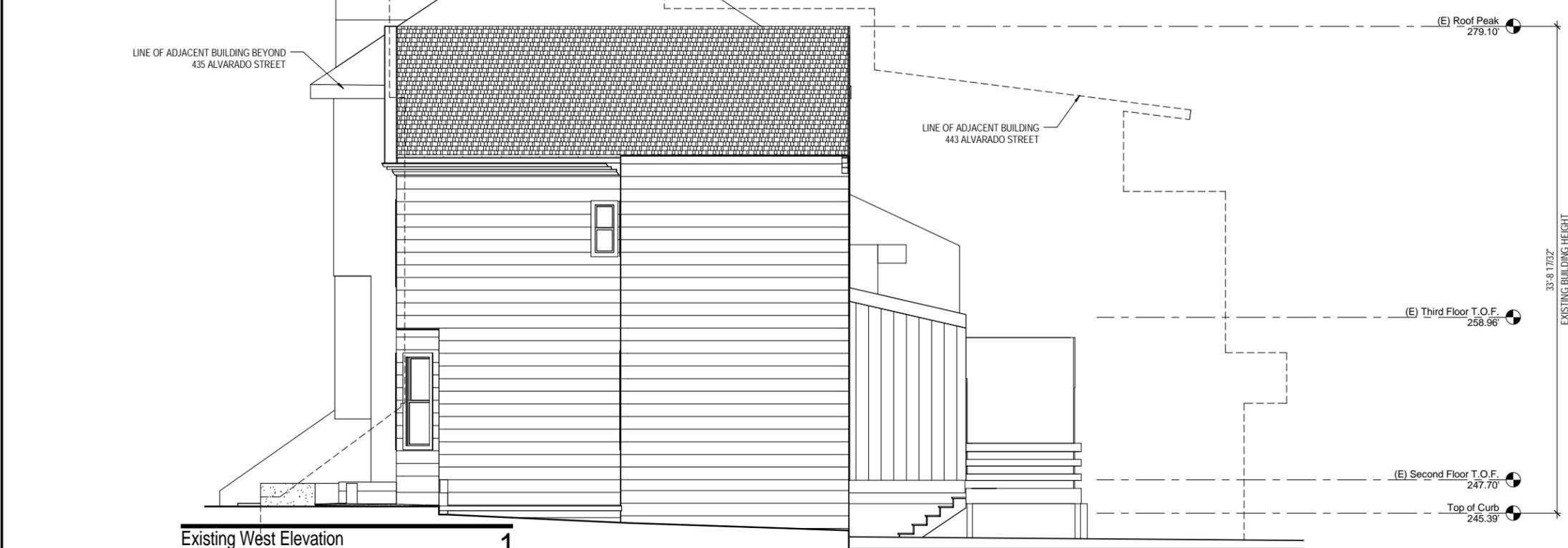
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27 March 2014

GENERAL NOTES



Existing South Elevation **2**
SCALE: 1/4" = 1'-0"

435 Alvarado Roof (Lot 37)
283.30'
443 Alvarado Roof (Lot 35)
282.00'



Existing West Elevation **1**
SCALE: 1/4" = 1'-0"

439 Alvarado Street

File:
Job #: 1208
Drawn By: Author
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Scale: 1/4" = 1'-0"
0 1 2 4 8

**Existing South & West
Elevations**

A1.5

GENERAL NOTES

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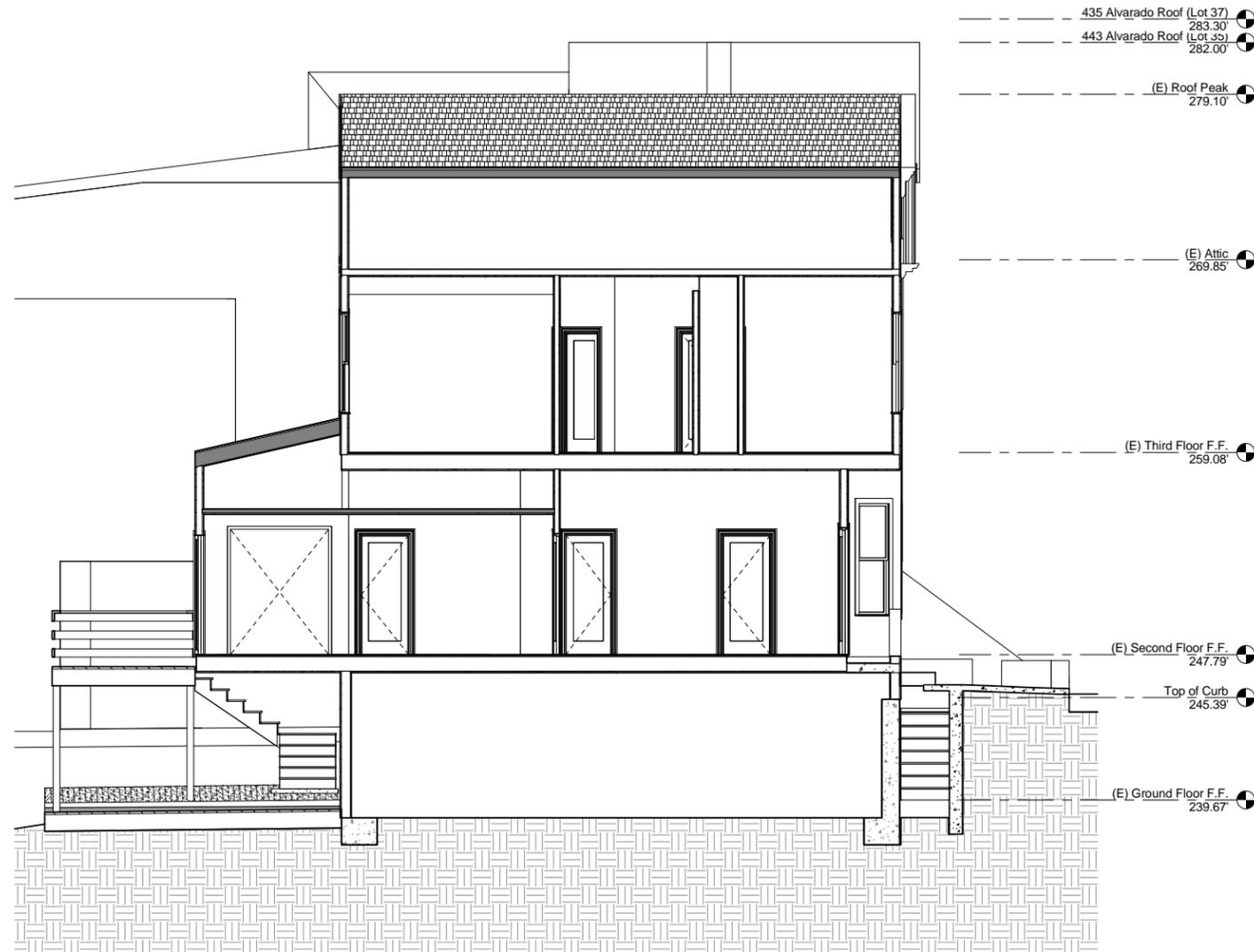


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 DO NOT SCALE DRAWINGS
 Scale: 1/4" = 1'-0"

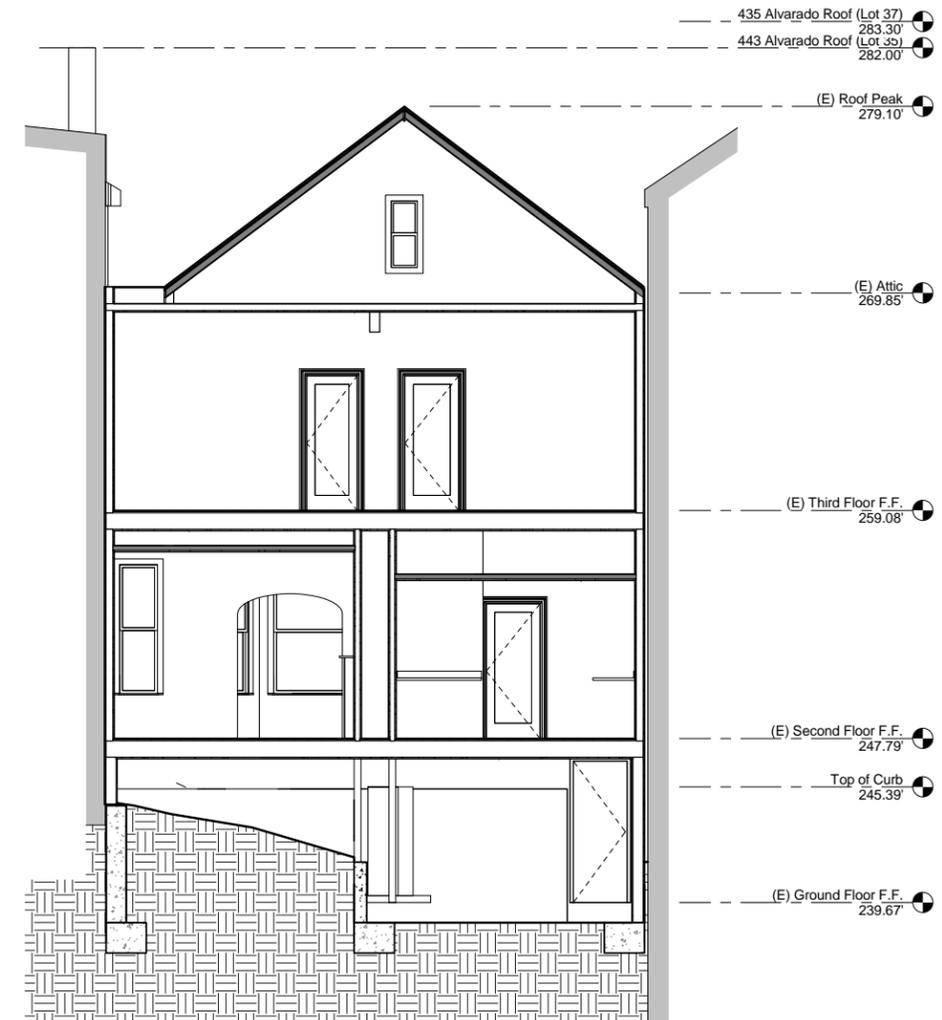
Existing Building
 Sections

A1.6



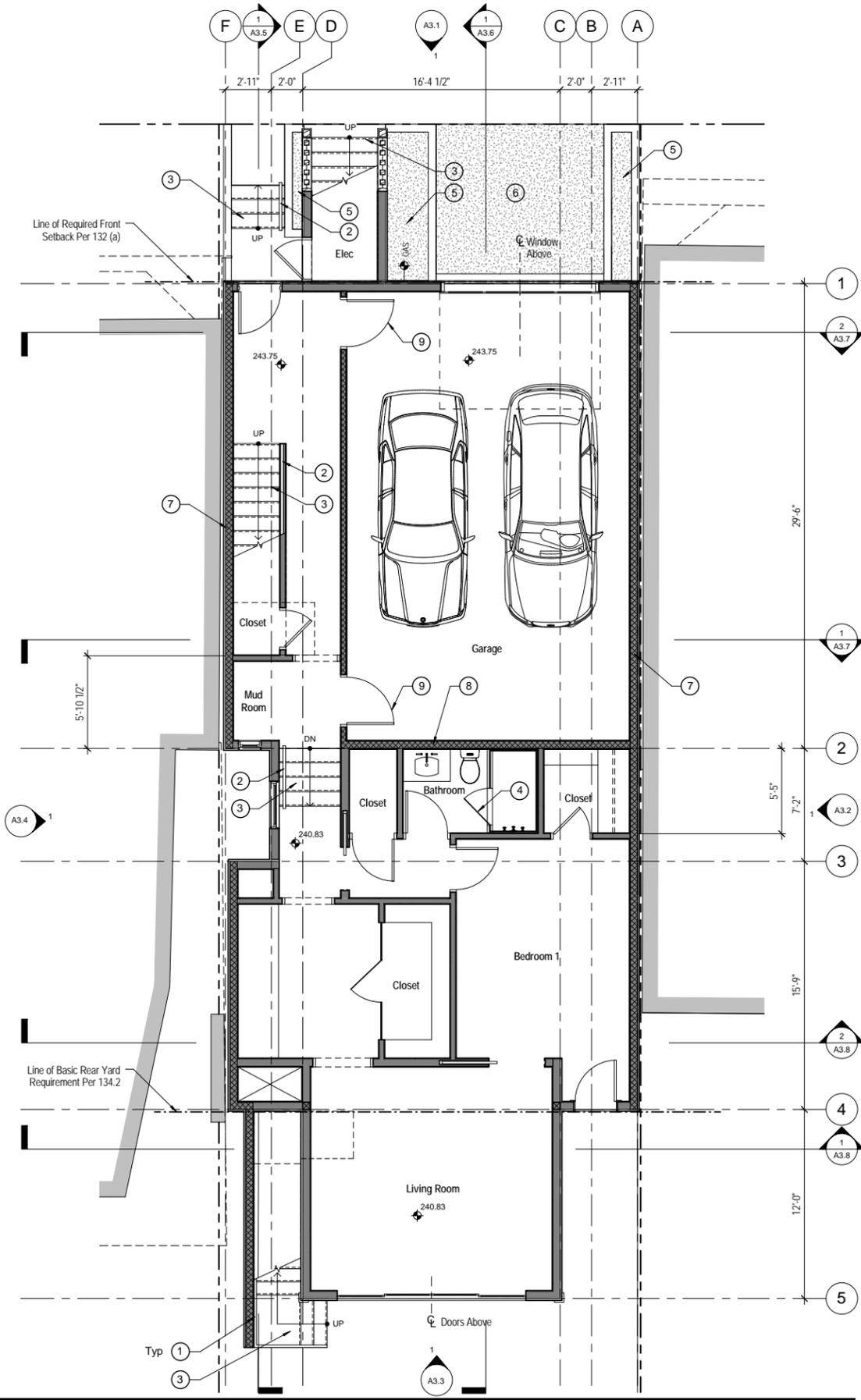
Existing Longitudinal Section
 SCALE: 1/4" = 1'-0"

2



Existing Transverse Section
 SCALE: 1/4" = 1'-0"

1



SHEET NOTES

- ① (N) Guardrail - 42" MIN AFF
- ② (N) Handrail - 34" - 38" AFF
- ③ (N) Stair, Risers @ 7 5/8" max. Treads @ 10" min. Stair profile to comply w/ section 1009.4.5 CBC 2010
- ④ (N) Temp glass shower door & enclosure.
- ⑤ (N) Planter
- ⑥ (N) Permeable Driveway Per Section 102.33
- ⑦ (N) 1-Hour Rated Property Line Wall
- ⑧ (N) 1-Hour Rated Separation Between Garage and Living Spaces
- ⑨ (N) 20-Minute Self-Closing Door



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EXTERIOR WALL OPENINGS
(Per CBC Table 705.8)

Ground Floor:
(3' to less than 5' from Property Line)

Total Wall Area	86 SF
Total Areas of Openings	15 SF
Total Percentage	17 %

GENERAL NOTES

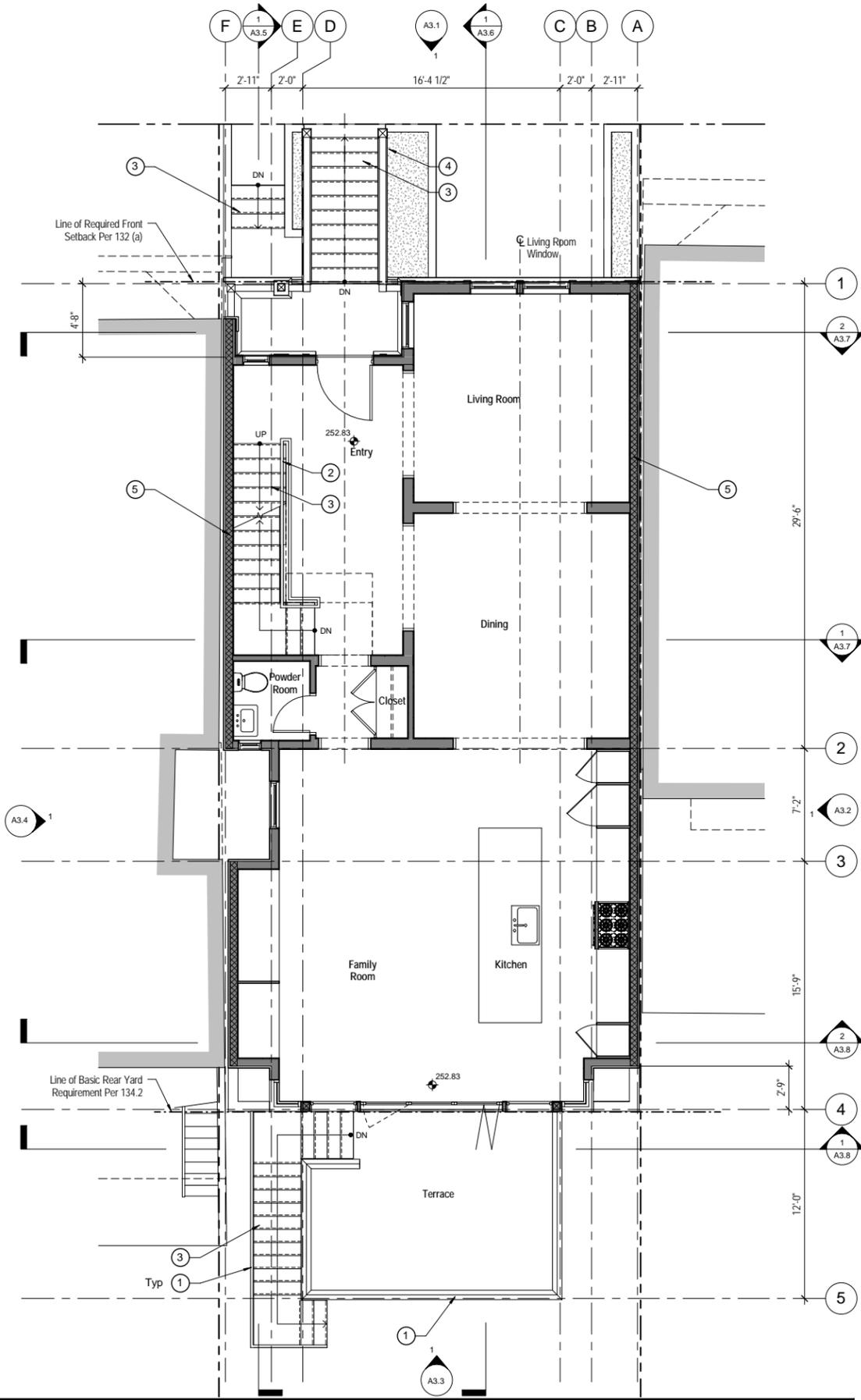
439 Alvarado Street
File:
Job #: 1208
Drawn By: Author
DO NOT SCALE DRAWINGS
Scale: 1/4" = 1'-0"
0 1 2 4 8

Proposed Ground Floor Plan



A2.1

Proposed Ground Floor Plan
SCALE: 1/4" = 1'-0"



SHEET NOTES

- ① (N) Guardrail - 42" MIN AFF
- ② (N) Handrail - 34" - 38" AFF
- ③ (N) Stair. Risers @ 7 5/8" max. Treads @ 10" min. Stair profile to comply w/ section 1009.4.5 CBC 2010
- ④ (N) Guardrail - 36" MIN AFF
- ⑤ (N) 1-Hour Rated Property Line Wall

EXTERIOR WALL OPENINGS
(Per CBC Table 705.8)

Ground Floor:
(3' to less than 5' from Property Line)

Total Wall Area	148 SF
Total Areas of Openings	35 SF
Total Percentage	24 %

GENERAL NOTES



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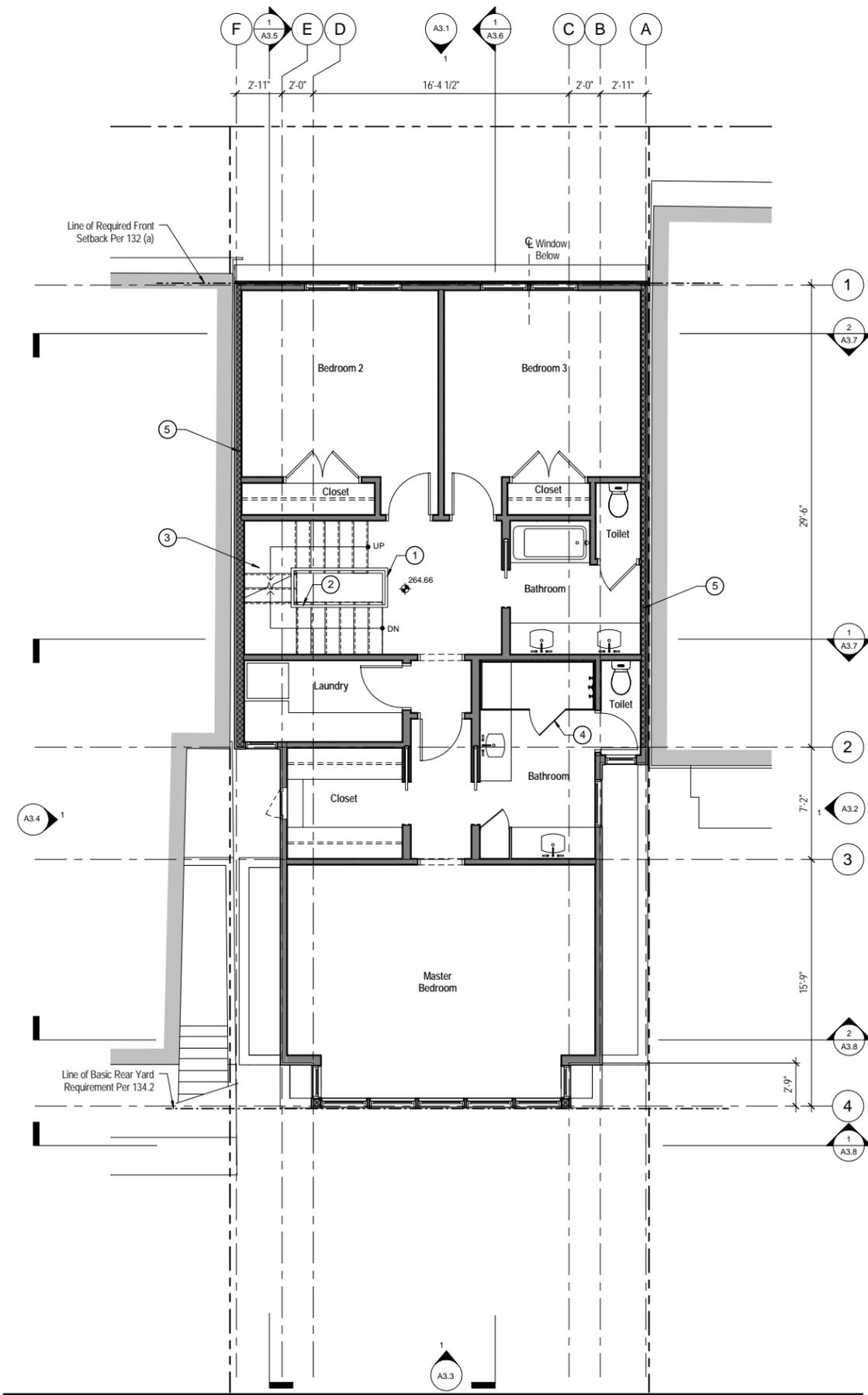
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Job #: 1208
Drawn By: Author
DO NOT SCALE DRAWINGS
Scale: 1/4" = 1'-0"
0 1 2 4 8

Proposed Second Floor Plan

A2.2



Proposed Second Floor Plan
SCALE: 1/4" = 1'-0"



SHEET NOTES

- ① (N) Guardrail - 42" MIN AFF
- ② (N) Handrail - 34" - 38" AFF
- ③ (N) Stair. Risers @ 7 5/8" max. Treads @ 10" min. Stair profile to comply w/ section 1009.4.5 CBC 2010
- ④ (N) Temp glass shower door & enclosure.
- ⑤ (N) 1-Hour Rated Property Line Wall

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EXTERIOR WALL OPENINGS
 (Per CBC Table 705.8)

Ground Floor:
 (3' to less than 5' from Property Line)

Total Wall Area	414 SF
Total Areas of Openings	30 SF
Total Percentage	7 %

GENERAL NOTES

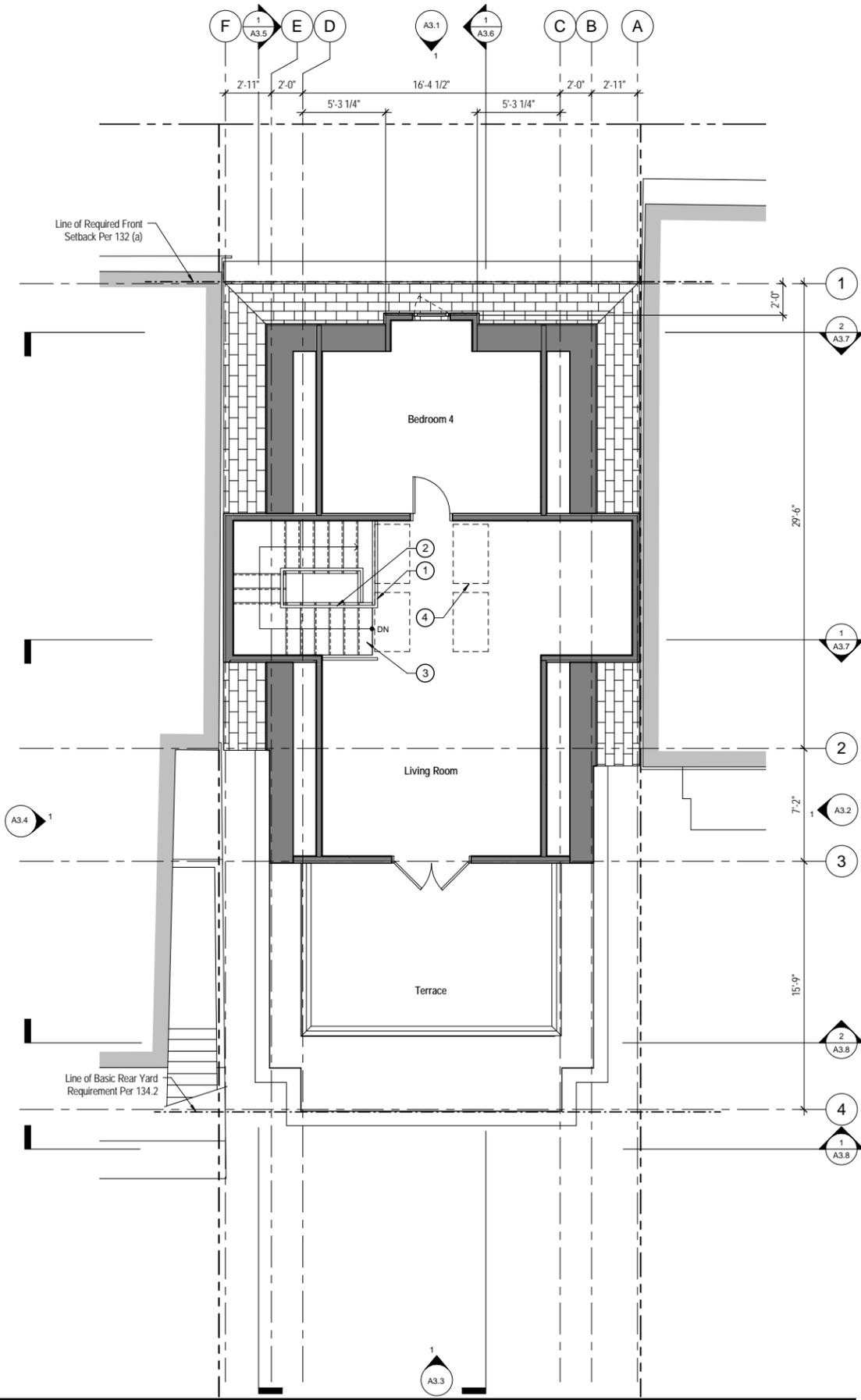
439 Alvarado Street
 File:
 Job #: 1208
 Drawn By: bM/MH
 DO NOT SCALE DRAWINGS
 Scale: 1/4" = 1'-0"

Proposed Third Floor Plan

A2.3



Proposed Third Floor Plan
 SCALE: 1/4" = 1'-0"



SHEET NOTES

- ① (N) Guardrail - 42" MIN AFF
- ② (N) Handrail - 34" - 38" AFF
- ③ (N) Stair. Risers @ 7 5/8" max. Treads @ 10" min. Stair profile to comply w/ section 1009.4.5 CBC 2010
- ④ (N) Skylight Above

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EXTERIOR WALL OPENINGS
 (Per CBC Table 705.8)

Ground Floor:
 (3' to less than 5' from Property Line)

Total Wall Area	xx SF
Total Areas of Openings	xx SF
Total Percentage	xx %

GENERAL NOTES

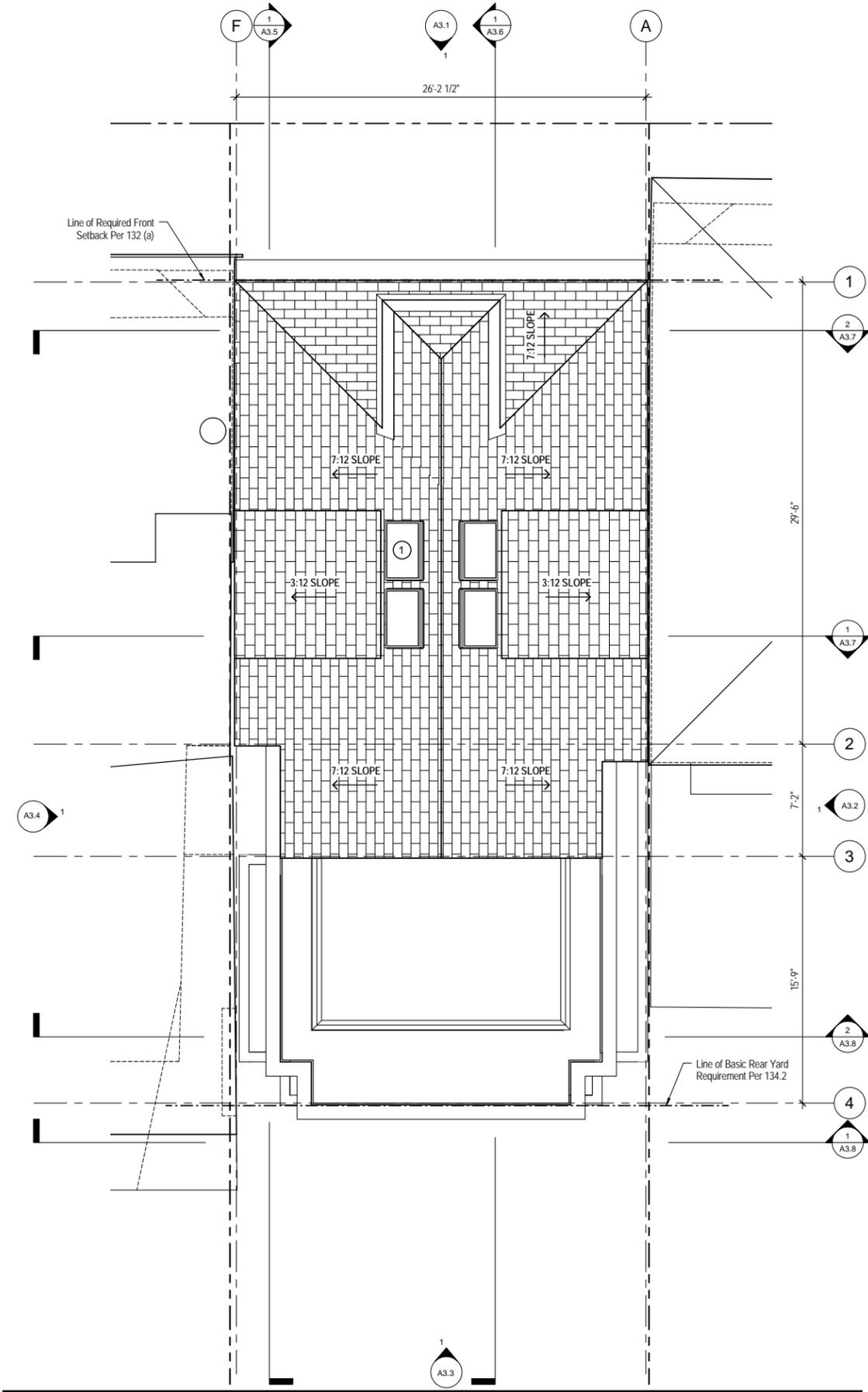
439 Alvarado Street
 File:
 Job #: 1208
 Drawn By: Author
 DO NOT SCALE DRAWINGS
 Scale: 1/4" = 1'-0"

Proposed Fourth Floor Plan

A2.4



Proposed Fourth Floor Plan
 SCALE: 1/4" = 1'-0"



SHEET NOTES

① (N) Skylight, Typ.

GENERAL NOTES



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File: 1208
Job #: 1208
Drawn By: Author
DO NOT SCALE DRAWINGS
Scale: 1/4" = 1'-0"



Proposed Roof Plan

A2.5



Proposed Roof Plan
SCALE: 1/4" = 1'-0"

SHEET NOTES

- ① (N) Painted Wood Siding, Typ.
- ② (N) Painted Wood Trim, Typ.
- ③ (N) Painted Wood Window, Typ.
- ④ (N) Composition Shingle Roof
- ⑤ Not Used
- ⑥ (N) Handrail - 34" - 38" AFF

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GENERAL NOTES



Proposed North Elevation
 SCALE: 1/4" = 1'-0"

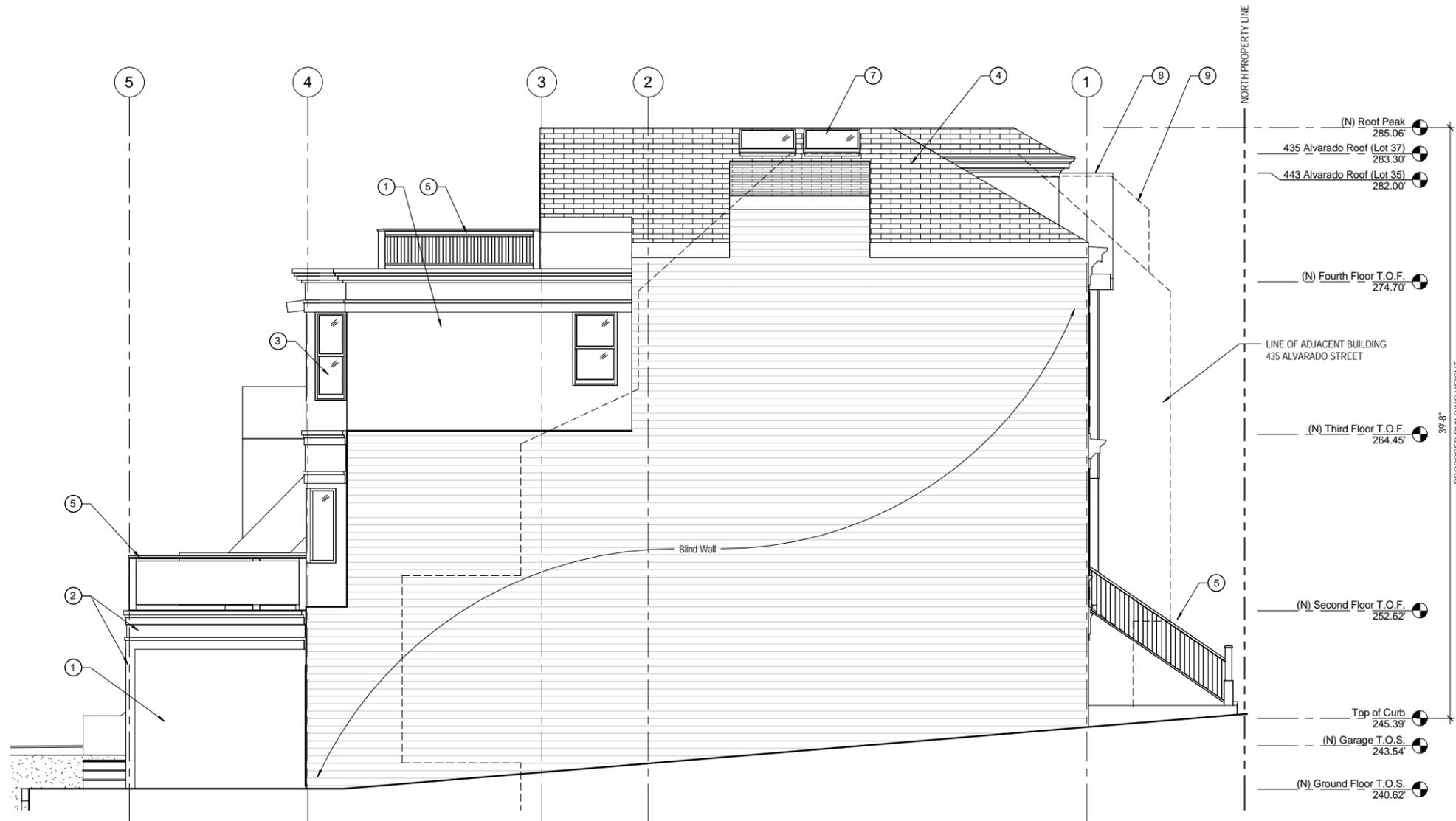
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 File:
 Job #: 1208
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 DO NOT SCALE DRAWINGS
 Scale: 1/4" = 1'-0"

Proposed North
 Elevation

A3.1

SHEET NOTES

- ① (N) Painted Wood Siding, Typ.
- ② (N) Painted Wood Trim, Typ.
- ③ (N) Painted Wood Window, Typ.
- ④ (N) Composition Shingle Roof
- ⑤ (N) Guardrail - 42" MIN AFF
- ⑥ Not Used
- ⑦ (N) Skylight
- ⑧ Adjacent Building Beyond
- ⑨ Adjacent Building in Foreground



GENERAL NOTES



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DO NOT SCALE DRAWINGS
Scale: 1/4" = 1'-0"



Proposed East Elevation

A3.2

Proposed East Elevation

SCALE: 1/4" = 1'-0"

SHEET NOTES

- ① (N) Painted Wood Siding, Typ.
- ② (N) Painted Wood Trim, Typ.
- ③ (N) Painted Wood Window, Typ.
- ④ (N) Painted Wood Door
- ⑤ (N) Guardrail - 42" MIN AFF



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Job #: 1208

Drawn By: bM/MH

DO NOT SCALE DRAWINGS

Scale: 1/4" = 1'-0"



Proposed South Elevation

A3.3



GENERAL NOTES

Proposed South Elevation
SCALE: 1/4" = 1'-0"

SHEET NOTES

- ① (N) Painted Wood Siding, Typ.
- ② (N) Painted Wood Trim, Typ.
- ③ (N) Painted Wood Window, Typ.
- ④ (N) Composition Shingle Roof
- ⑤ (N) Guardrail - 42" MIN AFF
- ⑥ (N) Painted Wood Window w/Obscured Glass
- ⑦ (N) Skylight
- ⑧ Adjacent Building Beyond
- ⑨ Adjacent Building in Foreground



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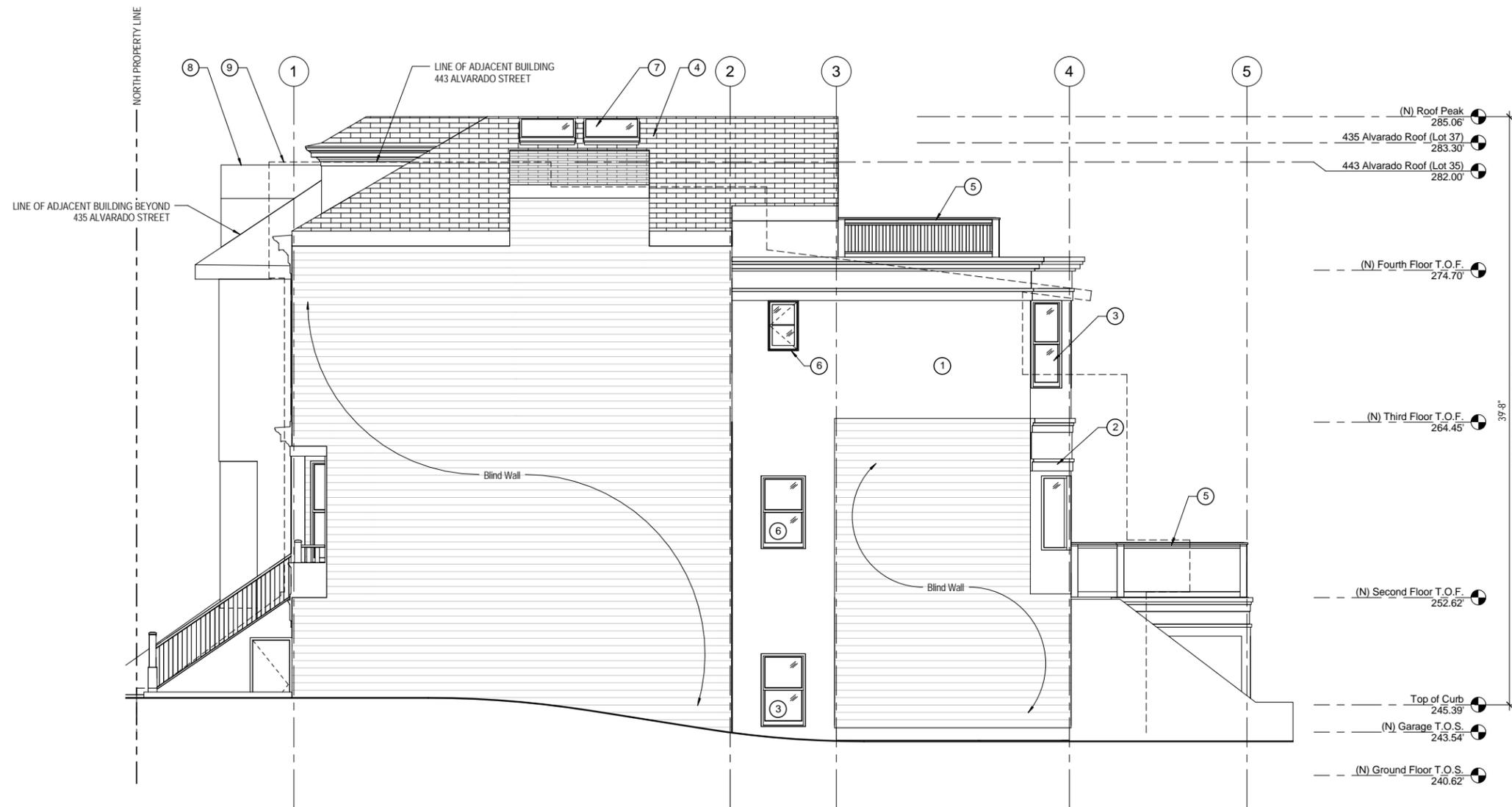
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GENERAL NOTES



Proposed West Elevation
SCALE: 1/4" = 1'-0"

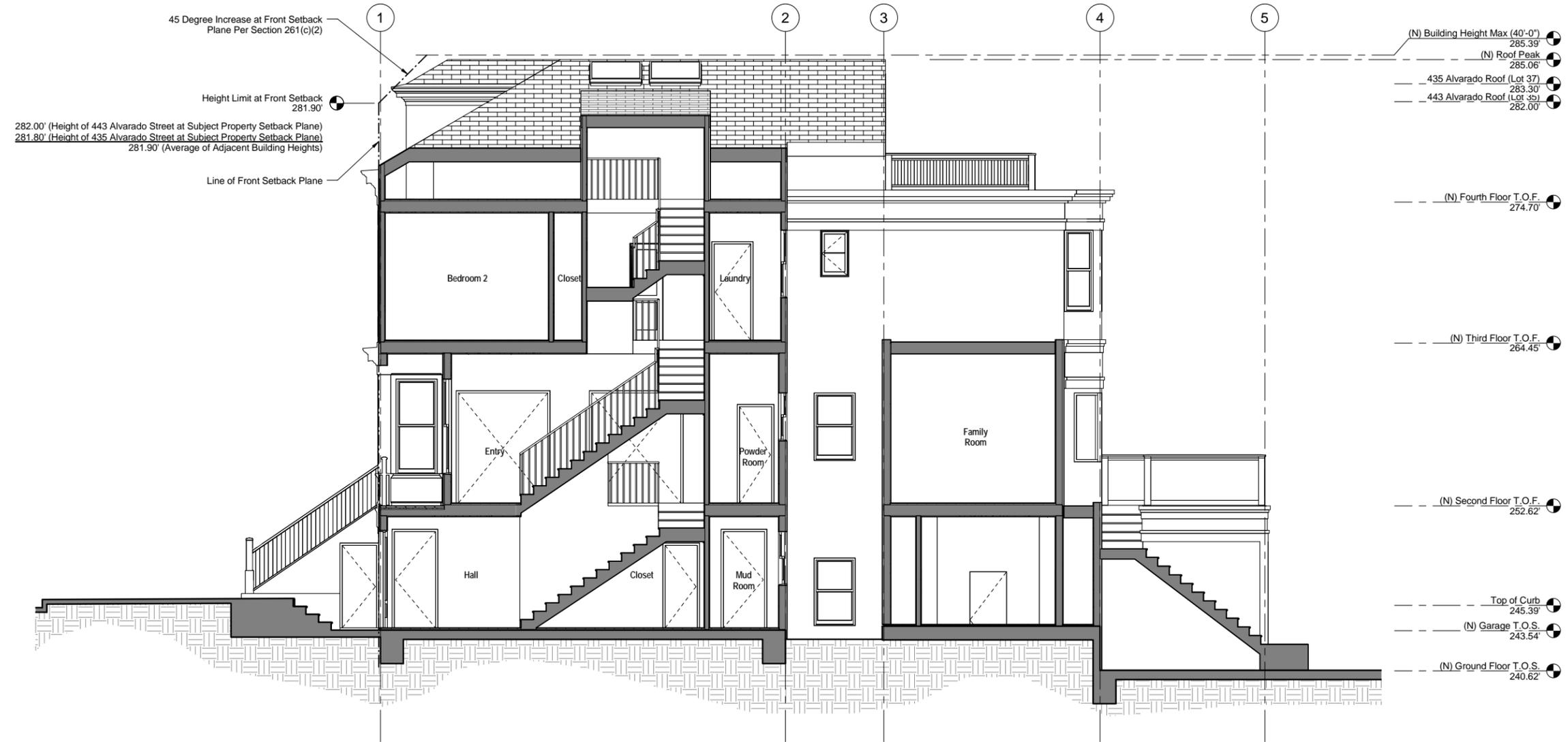
439 Alvarado Street
File:
Job #: 1208
Drawn By: bM/MH
DO NOT SCALE DRAWINGS
Scale: 1/4" = 1'-0"
0 1 2 4 8

Proposed West Elevation

A3.4

GENERAL NOTES

SHEET NOTES



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Longitudinal Building Section

A3.5

Longitudinal Building Section
SCALE: 1/4" = 1'-0"

GENERAL NOTES

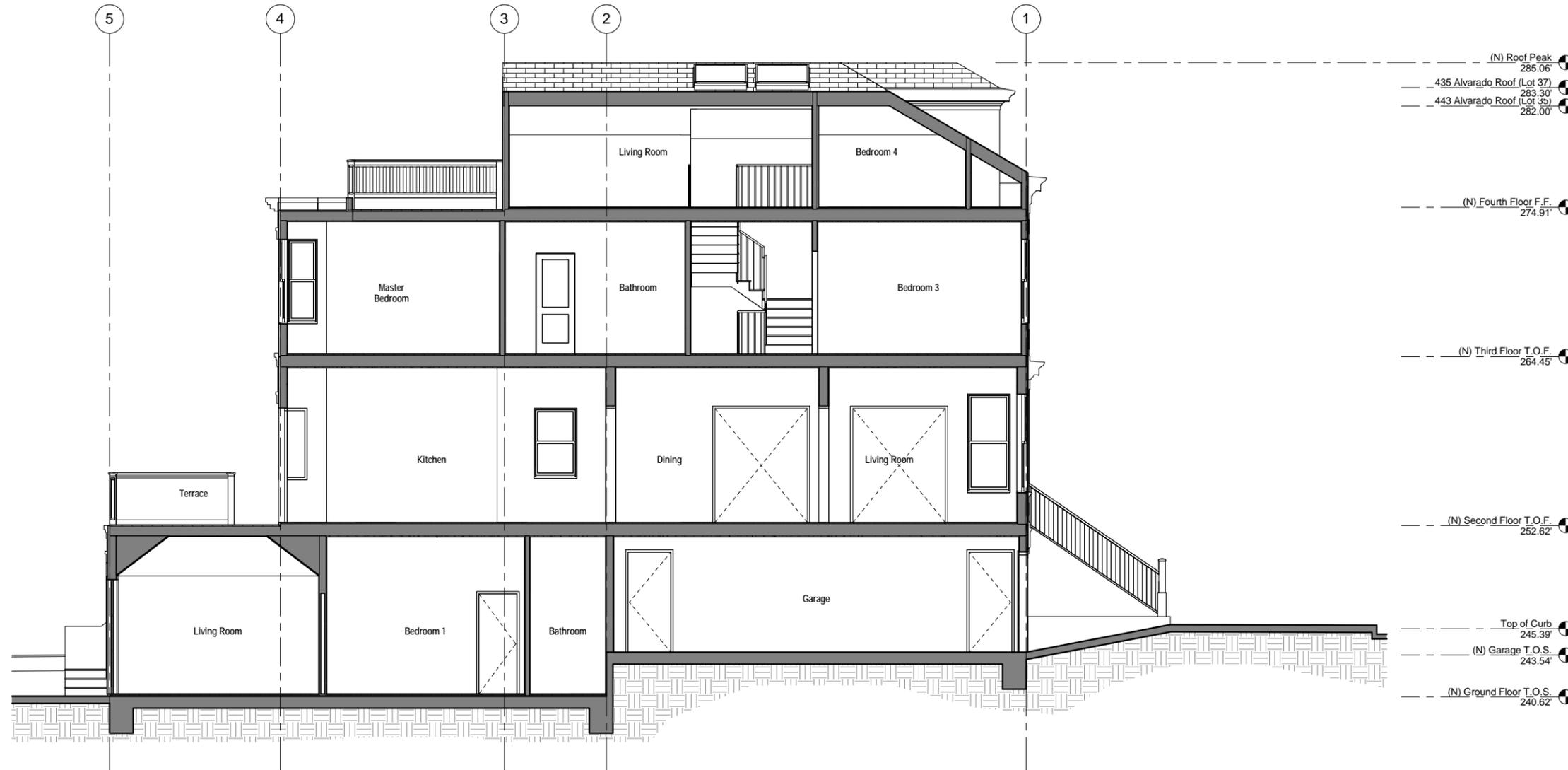
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Longitudinal Building Section

A3.6

Longitudinal Building Section 2
SCALE: 1/4" = 1'-0"

GENERAL NOTES

SHEET NOTES

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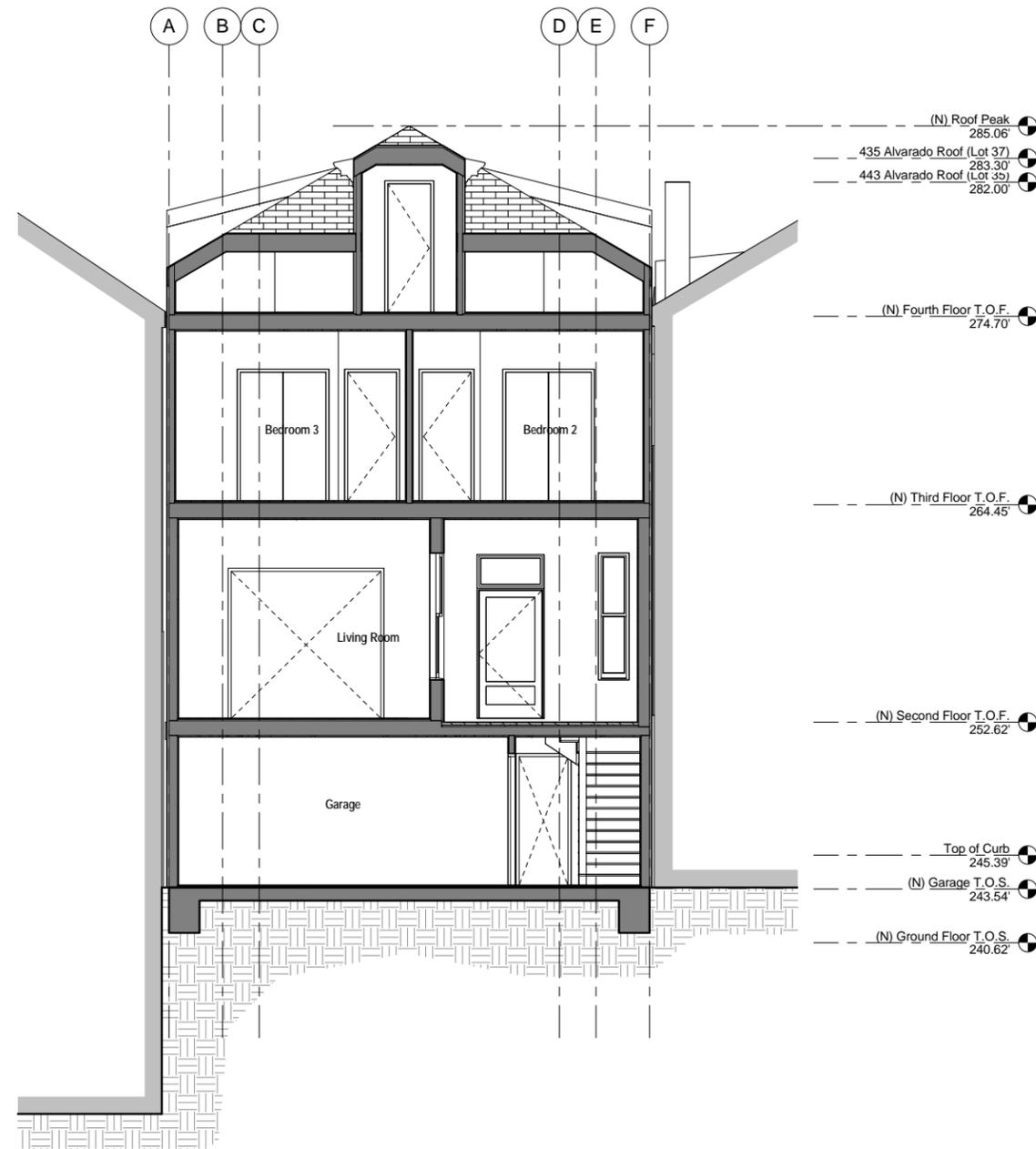
439 Alvarado Street

File: _____
 Job #: 1208
 Drawn By: Author
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 Scale: 1/4" = 1'-0"



Transverse Building Sections

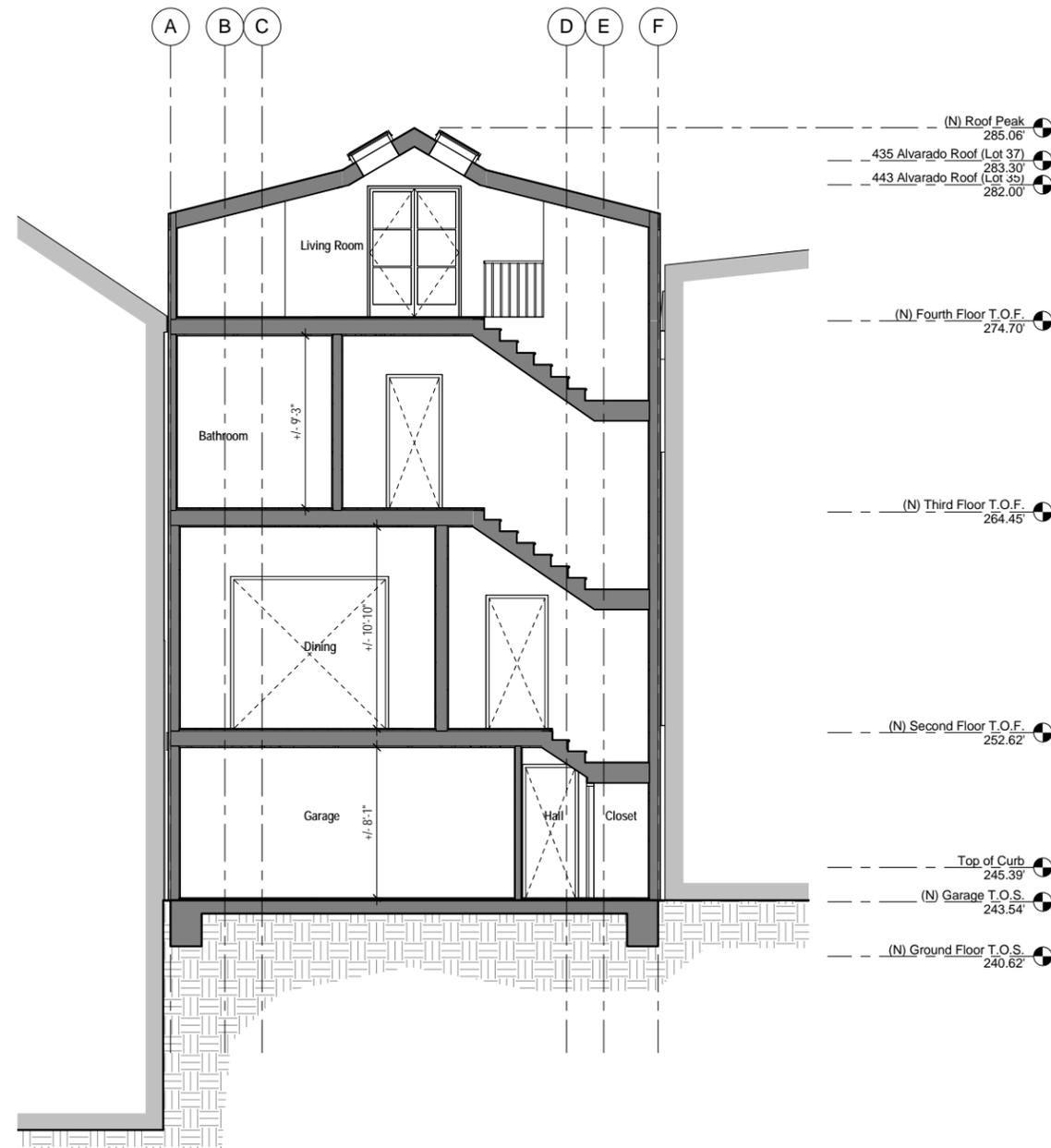
A3.7



Transverse Building Section

SCALE: 1/4" = 1'-0"

2



Transverse Building Section

SCALE: 1/4" = 1'-0"

1

GENERAL NOTES

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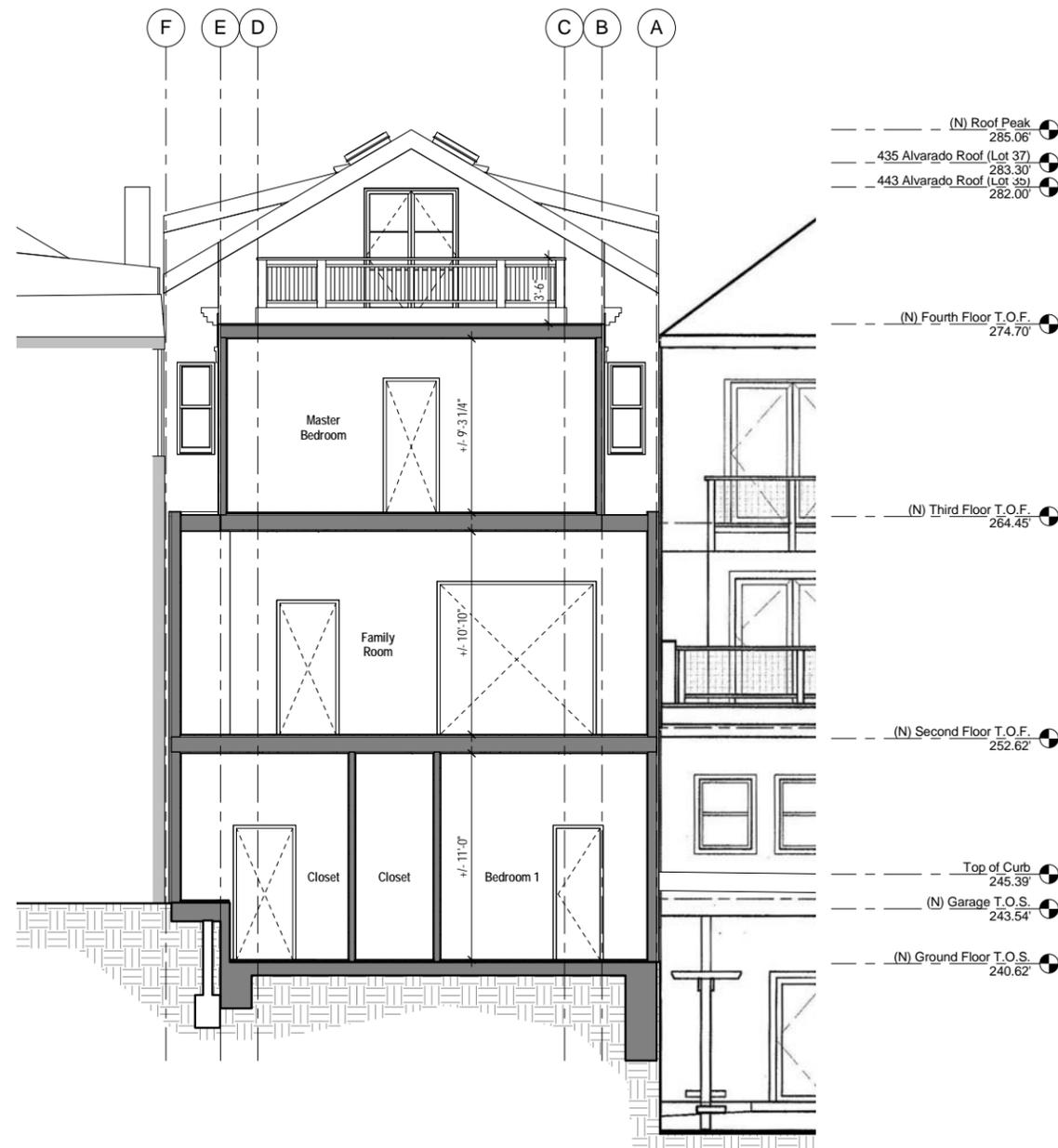
439 Alvarado Street

File: _____
 Job #: 1208
 Drawn By: _____ Author: _____
 DO NOT SCALE DRAWINGS
 Scale: 1/4" = 1'-0"



**Transverse Building
 Sections**

A3.8



Transverse Building Section
 SCALE: 1/4" = 1'-0"

2



Transverse Building Section
 SCALE: 1/4" = 1'-0"

1