



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary Conditional Use

HEARING DATE: OCTOBER 24, 2013

*Date:* October 17, 2013  
*Case No.:* **2013.0160CV**  
*Project Address:* **470 – 476 Castro Street**  
*Zoning:* Castro Neighborhood Commercial District (Castro NCD)  
40-X Height and Bulk District  
*Block/Lot:* 2647/012  
*Project Sponsor:* Nancy Durlleston Dubois  
San Francisco AIDS Foundation  
1035 Market Street  
Suite 400  
San Francisco, CA 94103  
*Staff Contact:* Jessica Look – (415) 575-6812  
[jessica.look@sfgov.org](mailto:jessica.look@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The San Francisco AIDS Foundation, the project sponsor, has proposed to consolidate three existing programs, which are currently housed at three separate locations in the Castro neighborhood, into the project site at 470-476 Castro Street. The concept is to bring these groups together to be a holistic wellness clinic for gay, bi and trans gender men in the Castro. This consolidation will allow for a more visible presence, greater efficiencies in service delivery and expansion of the range of services offered. The San Francisco AIDS Foundation is a non-profit that was established in 1982, and whose mission is to work to end the HIV epidemic in San Francisco through education, advocacy and direct services.

The proposed project would include a 3,750 sq. ft., one-story addition, which would approximately result in a 14,713 sq. ft., 40-foot, three-story tall structure. The project also includes a façade alteration and interior renovations that is meant to eliminate any stigma that still exists around AIDS and to be a welcoming inviting and open place for their clients. To allow for this consolidation, a Conditional Use Authorization, under Section 303, Section 121.2 and Section 715.21, will be needed to allow an institution, other large (as defined in Section 790.50) that is being operated by a non-profit and is neighborhood serving to exceed 4,000 square feet in the Castro NCD.

### SITE DESCRIPTION AND PRESENT USE

The subject property, 470-476 Castro Street, is located on a rectangular-shaped lot measuring 45 x 125 feet on the western side of Castro Street. It is bounded by Market, Collingwood and 18th Streets. The existing two-story, 35-foot-tall building on the project site contains approximately 10,963 sq.ft. of space (5,625 sq.ft. of retail and 5,338 sq.ft. of office). Currently, Blush Wine Bar operates out of 476 Castro Street and

contains approximately 1, 157 sq.ft. of retail space and is on the ground floor. In addition, various medical and professional offices were previously leasing the space.

## **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The project site is located on Castro Street in the Corona Heights/Castro neighborhood. The land-use pattern in the area is a mix of two- to three stories mixed use buildings with ground floor commercial and residential on the upper stories. The parcels immediately adjacent to the site include a three story mixed use (commercial/residential) to the north, a two story mixed use building to the south. Other uses on the subject block include two- to three-story mixed-use buildings with ground floor commercial uses including a hardware/variety store, retail, eating and drinking establishments and a movie theater. Transit lines, including bus and light rail are within a short walking distance of the site.

The surrounding properties are located within the Upper Market Street Neighborhood Commercial District and RH-3 (Residential House Three-Family) Districts. Surrounding parcels are also within the 65-B height and bulk district, with areas transitioning to 40-X districts in the core commercial corridor and residential areas.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

## **HEARING NOTIFICATION**

<b>TYPE</b>	<b>REQUIRED PERIOD</b>	<b>REQUIRED NOTICE DATE</b>	<b>ACTUAL NOTICE DATE</b>	<b>ACTUAL PERIOD</b>
Classified News Ad	30 days	September 24, 2013	September 24, 2013	30 days
Posted Notice	20 days	October 4, 2013	October 3, 2013	21 days
Mailed Notice	20 days	October 4, 2013	October 3, 2013	21 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

## **PUBLIC COMMENT**

- At of the date of this report, the Planning Department has received four letters of support in regards to the proposed entitlement from the Castro Community Benefit District (Castro CBD), Merchants of Upper Market & Castro (MUMC), Castro/Eureka Valley Neighborhood Association (EVNA) and a Castro homeowner.

## **ISSUES AND OTHER CONSIDERATION**

- On March 19, 2013, Supervisor Wiener introduced legislation that would amend the Castro Street NCD controls, to allow a neighborhood serving nonprofit institution to exceed the use size limits with CU Authorization. On June 20, 2013, the Planning Commission passed unanimously

Planning Commission's Resolution No. 18911, which recommended approval of this Ordinance (BF 13-0263). This was then approved by the Board of Supervisor on 7/25/2013

- There is currently no off-street vehicular parking, and none is proposed and as such, the project sponsor is requesting a reduction in parking requirements pursuant Planning Code Section 161. The Zoning Administrator will consider this request as the Planning Commission considers the Conditional Use application
- In addition, the project sponsor is requesting a modification pursuant to Planning Code Section 134 (e) for the required rear yard to the third floor addition and has met the thresholds required by code for this modification. The Zoning Administrator will consider this request as the Planning Commission considers the Conditional Use application
- Furthermore, a variance will be sought, pursuant to Planning Code 136, to extend the length of the 2nd floor balcony on the front façade beyond the 15 foot requirement and to not have a 1 foot separation from the interior lot line. The Zoning Administrator will consider this request as the Planning Commission considers the Conditional Use application
- The project site currently houses Blush Wine Bar. Their commercial lease expires on April 17, 2017 and if they choose to move, SFAF has the first right of refusal on the space. Blush Wine Bar has a square footage that is roughly 1,200 sq.ft and has been included in the total amount of space that SFAF would like to use, which is 14,713 sq.ft. In addition, the façade of the Blush Wine Bar will be integrated into the overall façade.

## **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant conditional use authorization under Section 303, Section 121.2 and Section 715.21, to allow this institution other large (as defined in Section 790.50), non-profit and neighborhood serving use to exceed 4,000 square feet in the Castro NCD.

## **BASIS FOR RECOMMENDATION**

- The project creates a new home for health and wellness in the Castro District, and will consolidate and expand popular programs for the community.
- The continued, controlled expansion of neighborhood serving non-profit institutions is important to the city in the provision of providing valuable and needed services to residents.
- Nonprofit, neighborhood-serving social services are already an existing and desired use in the Castro NCD and are consistent with the neighborhood character.
- The project is within close access to public transit, specifically, the Muni metro line and several bus lines. Therefore, customers should not adversely affect traffic.
- The project, aside from the variance request, meets all applicable requirements of the Planning Code.

RECOMMENDATION:            Approval with Conditions
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**Attachments:**

Exhibit A

Parcel Map  
Sanborn Map  
Zoning Map  
Aerial Map  
Site Photos (Block Face and Block Face opposite Side of Street)

Exhibit B

Reduced Plans  
Supplementary Information – September 6, 2013

Exhibit C

Certificate of Determination – Exemption from Environmental Review  
Castro HRER Part II  
Letters of Support

Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary           | <input checked="" type="checkbox"/> Project sponsor submittal                                 |
| <input checked="" type="checkbox"/> Draft Motion                | Drawings: <u>Existing Conditions</u>  |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Zoning District Map         | Drawings: <u>Proposed Project</u>   |
| <input type="checkbox"/> Height & Bulk Map                      | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Parcel Map                  | <input type="checkbox"/> Health Dept. review of RF levels                                     |
| <input checked="" type="checkbox"/> Sanborn Map                 | <input type="checkbox"/> RF Report  |
| <input checked="" type="checkbox"/> Aerial Photo                | <input type="checkbox"/> Community Meeting Notice   |
| <input type="checkbox"/> Context Photos                         | <input type="checkbox"/> Inclusionary Affordable Housing Program:<br>Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos                 |   |

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_ JL \_\_\_\_\_  
Planner's Initials

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# SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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## Planning Commission Motion No. XXXXX HEARING DATE: OCTOBER 24, 2013

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**ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 121.2 AND 715.21 OF THE PLANNING CODE FOR ALLOW AN INSTITUTION, OTHER LARGE AS DEFINED IN SECTION 790.50 THAT IS BEING OPERATED BY A NON-PROFIT AND IS NEIGHBORHOOD SERVING TO EXCEED 4,000 SQ.FT. (D.B.A SF AIDS FOUNDATION) WITHIN THE CASTRO NEIGHBORHOOD COMMERCIAL DISTRICT (CASTRO NCD) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On March 8, 2013, Nancy Durlleston Dubois/SF AIDS Foundation (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 303, 121.2 and 715.21 to allow an institution, other large (and a non-profit/neighborhood serving use) to exceed 4,000 sq.ft. within the Castro Neighborhood Commercial District and a 40-X Height and Bulk district.

On October 24, 2013, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.0160CV.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption under CEQA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.0160CV, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.

2. **Site Description and Present Use.**

The subject property, 470-474 Castro Street, is located on a rectangular-shaped lot measuring 45 x 125 feet on the western side of Castro Street. It is bounded by Market, Collingwood and 18th streets. The existing two-story, 35-foot-tall building on the project site contains approximately 10,963 sq.ft. of space (5,625 sq.ft. of retail and 5,338 sq.ft. of office). Currently, Blush Wine Bar operates out of 476 Castro Street and contains approximately 1,157 sq.ft. of retail space and is on the ground floor. In addition, various medical and professional offices were previously leasing the space.

3. **Surrounding Properties and Neighborhood.**

The project site is located on Castro Street in the Corona Heights/Castro neighborhood. The land-use pattern in the area is a mix of two- to three stories mixed use buildings with ground floor commercial and residential on the upper stories. The parcels immediately adjacent to the site include a three story mixed use (commercial/residential) to the north, a two story mixed use building to the south. Other uses on the subject block include two- to three-story mixed-use buildings with ground floor commercial uses including a hardware/variety store, retail, eating and drinking establishments and a movie theater. Transit lines, including bus and light rail are within a short walking distance of the site.

The surrounding properties are located within the Upper Market Street Neighborhood Commercial District and RH-3 (Residential House Three-Family) Districts. Surrounding parcels are also within the 65-B height and bulk district, with areas transitioning to 40-X districts in the core commercial corridor and residential areas.

4. **Project Description.**

The San Francisco AIDS Foundation, the project sponsor, has proposed to consolidate three existing programs, which are currently housed at three separate locations in the Castro neighborhood, into the project site at 470-476 Castro Street. The concept is to bring these groups together to be a holistic wellness clinic for gay, bi and trans gender men in the Castro. This

consolidation will allow for a more visible presence, greater efficiencies in service delivery and expansion of the range of services offered. The San Francisco AIDS Foundation is a non-profit that was established in 1982, and whose mission is to work to end the HIV epidemic in San Francisco through education, advocacy and direct services.

The proposed project would include a 3,750 sq. ft., one-story addition, which would approximately result in a 14,713 sq. ft., 40-foot, three-story tall structure. The project also includes a façade alteration and interior renovations..

5. **Public Comment.** To date, the Planning Department has received four letters of support in regards to the proposed entitlement from the Castro Community Benefit District (Castro CBD), Merchants of Upper Market & Castro (MUMC), Castro/Eureka Valley Neighborhood Association (EVNA) and a Castro homeowner.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Rear Yard .** Planning Code Section 134 requires a rear yard equal to 25% of the depth of the lot measured at grade level and all stories above. Planning Code Section 134(e) permits this requirement to be modified or waived by the Zoning Administrator.

*The Zoning Administrator will consider this request as the Planning Commission considers the Conditional Use application on 10/24/2013.*

- B. **Streetscape Improvements.** Planning Code Section 138.1 requires streetscape and pedestrian improvements the addition of gross floor area equal to 20% or more the gross floor area of an existing building. One street tree is required for every 20 lineal feet of street frontage.

*The project is required to provide two street trees, however preparation of the final construction documents for the Castro Street Redesign, a project sponsored by San Francisco DPW and San Francisco Planning Department are still underway. Estimated date for final construction documents is for Winter 2013 and construction to begin in Fall 2014. Upon approval of submittal building permit, project planner will work with DPW and confirm the location of the proposed street trees per the Castro Street Design and if any additional street trees are needed, project sponsor will submit an in-lieu fee or if feasible, plant an additional street tree.*

- C. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The

use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed.

*The project would provide active uses along the street frontages including retail space, a reception area and lobby. No less than 60 percent of the street frontage at the ground level would be fenestrated with transparent windows to allow visibility to the inside of the building.*

- D. Parking.** Planning Section 151 of the Planning Code requires off-street parking for every 200 square-feet of occupied floor area, where the occupied floor area exceeds 5,000 square-feet.

*The Subject Property contains approximately 12,099 square-feet of occupied floor area and currently has no off street parking and none is proposed. As such, there is an off street parking deficit. Since the project is located within a Neighborhood Commercial District, it is allowed to seek a reduction in parking requirements pursuant to Section 161 and 307. The Zoning Administrator will consider this request as the Planning Commission considers the Conditional Use application on 10/24/2013.*

- E. Loading.** Section 152 of the Planning Code requires off-street loading be provided in the for retail uses exceeding 10,000 square feet in area and offices uses exceeding 100,000 square feet in area.

*The project contains 1,157 square feet of retail space (the space currently occupied by Blush Wine Bar) and 13,556 square feet of office. As such, the project is not required to provide off-street loading and provides none. In the event that the project sponsor converts Blush Wine Bar to office space for use, it would still not trigger loading requirements.*

- F. Bicycle Parking.** Section 155.2 of the Planning Code requires bicycle parking spaces for buildings that are undergoing an addition to a building that increases the building's gross floor area by more than 20%. As such, Medical Office use requires one Class 1 space for every 5,000 occupied square feet, and 1 Class 2 space for every 15,000 sq.ft. of occupied floor area, but no less than four located near each public entrance. In addition, when the occupied floor area exceeds 10,000 sq.ft, one shower and six clothes lockers shall be provided.

*The project proposes 3 Class 1 parking Spaces and 4 Class 2 parking spaces. The Class 2 bicycle spaces are assumed to be provided through the Castro Street Redesign and to date draft plans have the spaces located in the public right-of-way fronting the subject lot. Since the Castro Street Redesign is currently underway, project planner will work with DPW and assure that at time of building permit approval that the project complies with Section 155. In addition, the project proposed one shower and six clothes lockers.*

- G. **Signage.** Planning Code Section 186 states that any signs on the property shall be made to comply with the requirements of Article 6 of the Code applying to nonconforming uses.

*Any proposed signage will be subject to the review and approval of the Planning Department.*

- H. **Use Size Limits.** Planning Code Section 715.21 states that a Conditional Use Authorization is required for nonresidential uses within this District that exceed a floor area of 4,000 square feet for a use that is being operated by an Institution, Other Large, as defined in Section 790.50, and is a neighborhood serving non-profit. The proposed use size is approximately 14,713 sq.ft. In addition to the criteria set forth in Section 303(c), Planning Code Section 121.2 requires that, with respect to an application for Conditional Use authorization for nonresidential use size, the Planning Commission shall consider the following criteria:

- i. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

*The area is an active neighborhood commercial district that contains adequate small-scale uses. The project would not foreclose the location of other needed institutional uses in the area.*

- ii. The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.

*The proposed use is a much needed service that will serve the neighborhood. Currently, there are three existing programs that are in the neighborhood and they are very popular with the gay and bisexual men who reside in the area.*

- iii. The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

*The third floor addition is setback from both the front and back building wall and respects the scale of development in the area. The design of the building has been developed in consultation with neighborhood groups and the Planning Department and is respectful of the scale of the neighborhood.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed use and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*This project proposes to consolidate already existing services that are located within the Castro neighborhood and are currently located at 4200 18th Street, 4122 18th Street and 2128 15th*

*Street and occupy a total of approximately 7,000 square feet. The HIV/AIDS related services and programs to be consolidated generally consist of HIV testing, counseling, health related services, community building and social services. These consolidated activities would be conducted at the new SF AIDS Foundation facility being leased at 470-474 Castro Street. The project will adaptively reusing a two-story structure that currently has ground floor retail and second-story office uses. This third floor expansion would be incorporated within the existing building envelope and set back from the front and rear building wall.*

*The proposed San Francisco AIDS Foundation facility will operate at a size and intensity that is compatible with neighborhood character and appropriate to the level and types of services uniquely needed by residents of the Castro neighborhood and by patrons who frequent the Castro Neighborhood Commercial District. Providing HIV/AIDS related services at this location is eminently appropriate since it brings these services to a most convenient proximity to concentrations of people who most need these services.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The project site is well suited for health and wellness center for the San Francisco AIDS Foundation. The location of the property at the center of the Castro District is appropriate for the use as it is well served by transit and community services of the Castro neighborhood.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The project site is well served by MUNI, being directly adjacent to MUNI Metro, the "F" Line and Market Street MUNI service. Traffic patterns will remain substantially unaltered by the Project because patrons will have ample walking, bicycling, taxi and public transit options.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The Project will not create substantial emissions. The San Francisco AIDS Foundation facility will function as a community center, providing HIV testing, education, counseling, clinical services, and social services. Consequently, the Project, upon completion, will not prove to be offensive regarding noise, dust, glare, and odors.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The Project does not require any additional landscaping or screening, and any proposed signage shall be subject to review by the Planning Department and required to meet all applicable provisions set forth in Article 6.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **COMMERCE AND INDUSTRY ELEMENT**

### **POLICY 1.1:**

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development which has substantial undesirable consequences that cannot be mitigated.

### **POLICY 4.2:**

Promote and attract those economic activities with potential benefit to the City.

### **OBJECTIVE 6:**

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

### **POLICY 6.1:**

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

### **OBJECTIVE 7:**

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENTAL, HEALTH, AND EDUCATIONAL SERVICES

### **Policy 7.2:**

Encourage the extension of needed health and educational services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

*By allowing larger institutional uses/neighborhood serving nonprofits to exist in the Castro NCD, this would result in positive community and social benefit for residents and for those who come to the neighborhood to seek services. The proposed project does not have adverse environmental and or negative*

*economic effects and thus should be encouraged. The essential character of this neighborhood corridor will be maintained by encouraging and protecting uses which provide a necessary services to the area.*

## **COMMUNITY FACILITIES ELEMENT**

### **OBJECTIVE 3:**

ASSURE THAT NEIGHBORHOOD RESIDENTS HAVE ACCESS TO NEEDED SERVICES AND A FOCUS FOR NEIGHBORHOOD ACTIVITIES.

*One component contributing to the quality of the living environment is the availability of community services and facilities designed to meet the cultural, social and health needs of neighborhood residents. This project would promote the development of providing needed and desired services to the community.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

*The proposed project will not have a negative impact on neighborhood serving retail uses and will not impact opportunities for resident employment in and ownership of neighborhood-serving retail. It would in fact enhance future opportunities for residential employment and current institutional businesses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

*The proposed project will help preserve existing housing and neighborhood character by promoting institutional and social service needs that are desired by the community. The project will not impact existing housing.*

- C. That the City's supply of affordable housing be preserved and enhanced;

*The proposed project will have no adverse effect on the City's supply of affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking;

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

*The proposed project would not cause displacement of the industrial or service sectors due to office development, and future opportunities for resident employment or ownership in these sectors would not be impaired.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

*The proposed project would not affect the preparedness against injury and loss of life in an earthquake is unaffected.*

- G. That the landmarks and historic buildings be preserved;

*Landmarks and historic buildings would not be negatively impacted by the proposed project.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development;

*The City's parks and open space and their access to sunlight and vistas would be unaffected.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.0160CV** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated September 10, 2013, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.**

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 24, 2013.

Jonas P. Ionin  
Acting Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:     October 24, 2013

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to allow an Institution, Large/Non-Profit (d.b.a. San Francisco AIDS Foundation) located at 470-476 Castro, Block 2647, and Lot 012 pursuant to Planning Code Section(s) 303 and 121.2 and 715.21 within as Castro Neighborhood Commercial District with a 40-X Height and Bulk District; in general conformance with plans, dated September 10, 2013, and stamped "EXHIBIT B" included in the docket for Case No. **2012.0160CV** and subject to conditions of approval reviewed and approved by the Commission on October 24, 2013 under Motion No. **XXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on October 24, 2013 under Motion No. **XXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the Project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed Project and conveys no independent right to construct the Project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## DESIGN – COMPLIANCE AT PLAN STAGE

1. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Street Trees.** Pursuant to Planning Code Section 138.1 the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of

such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

- 3. Bicycle Parking.** Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than the required amount of Class 1 and Class 2 bicycle parking.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING

- 3. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

- 4. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

- 5. Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>*

- 6. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

7. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

*For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, [www.sfdph.org](http://www.sfdph.org)*

*For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, [www.sfdbi.org](http://www.sfdbi.org)*

*For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, [www.sf-police.org](http://www.sf-police.org)*

8. **Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed to prevent any significant noxious or offensive odors from escaping the premises.

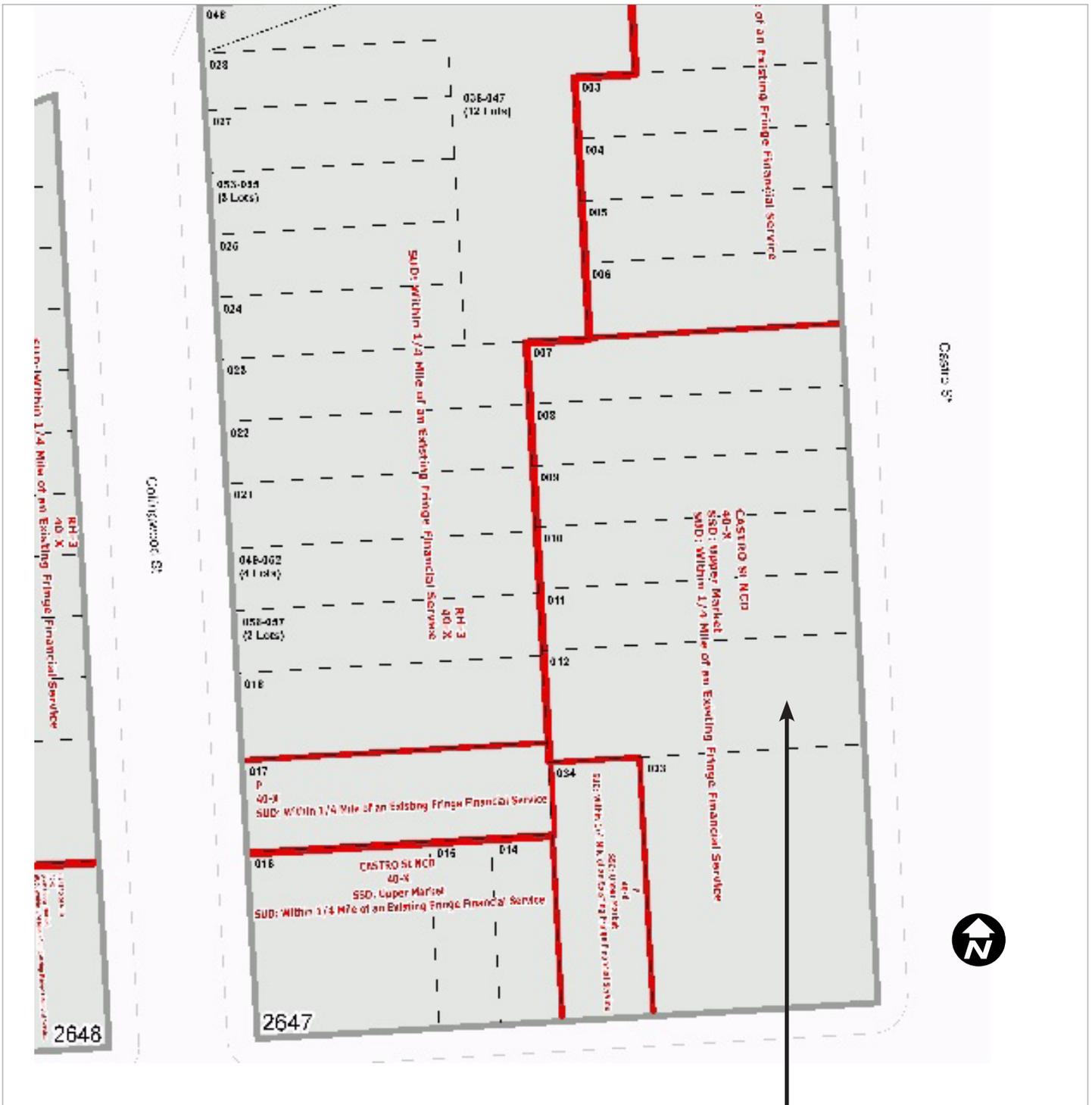
*For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), [www.baaqmd.gov](http://www.baaqmd.gov) and Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

9. **Community Liaison.** Prior to issuance of a building permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

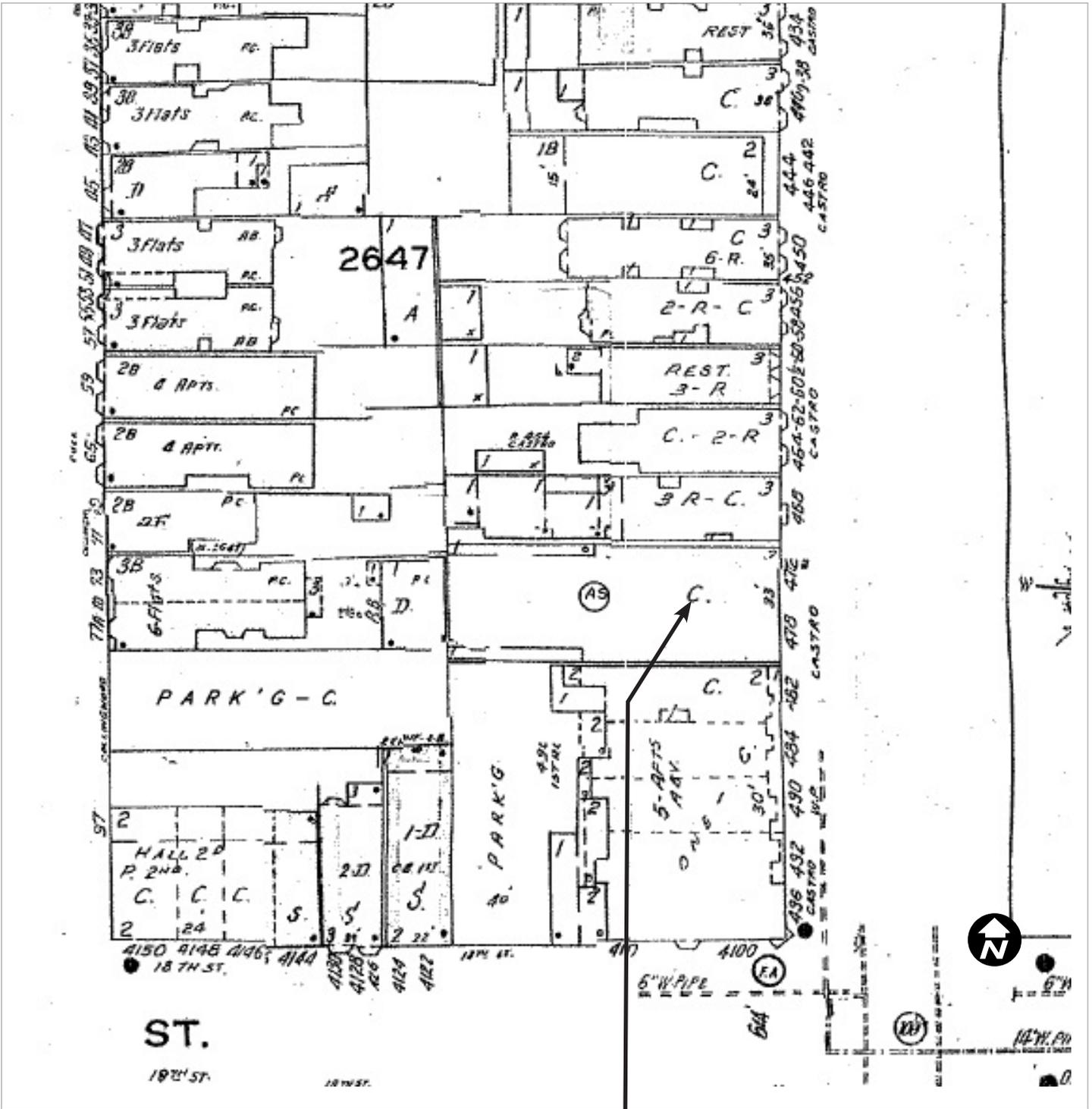
# Exhibit A

# Parcel Map



**Subject Property**

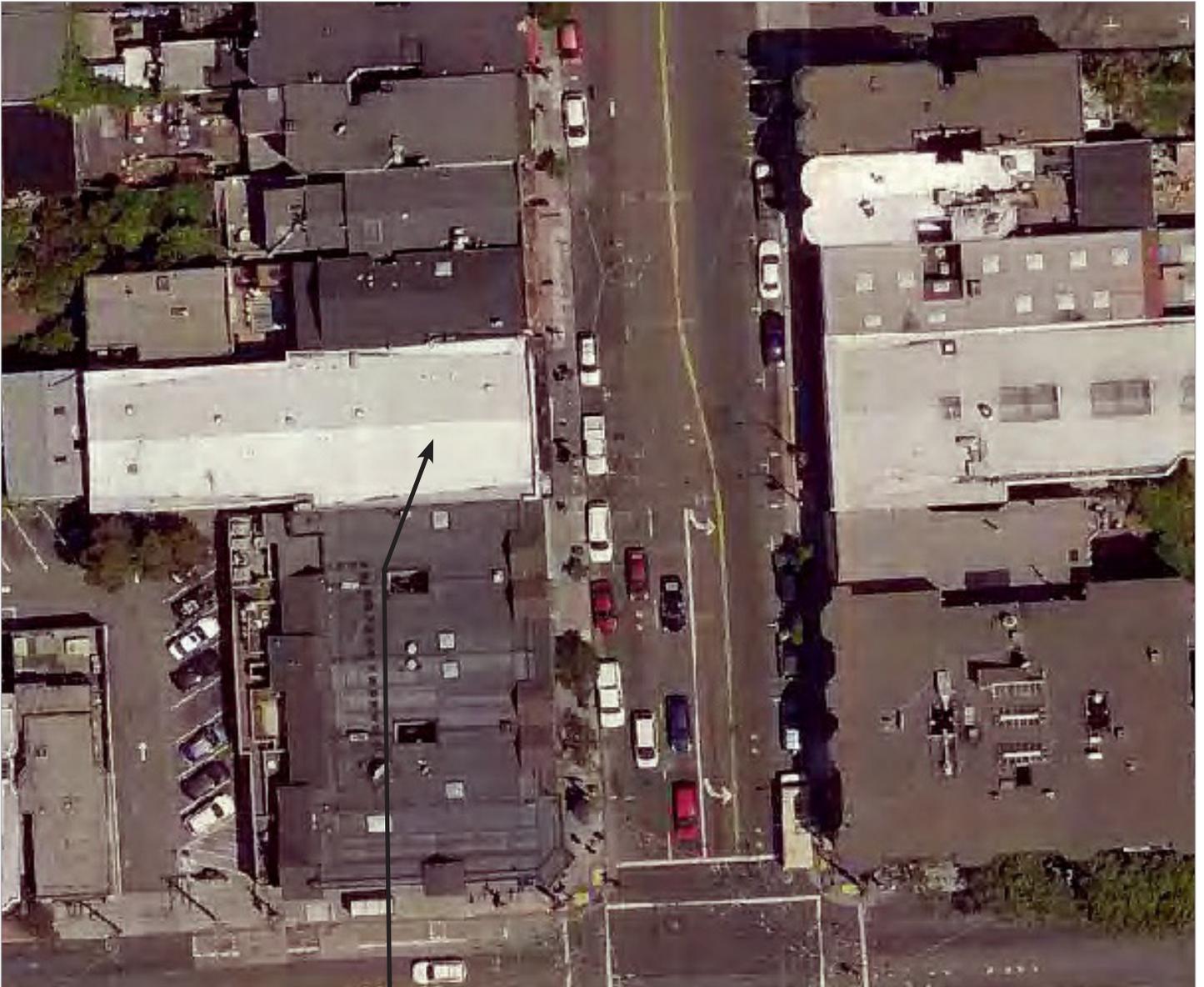
# Sanborn Map



Subject Property



# Aerial Map

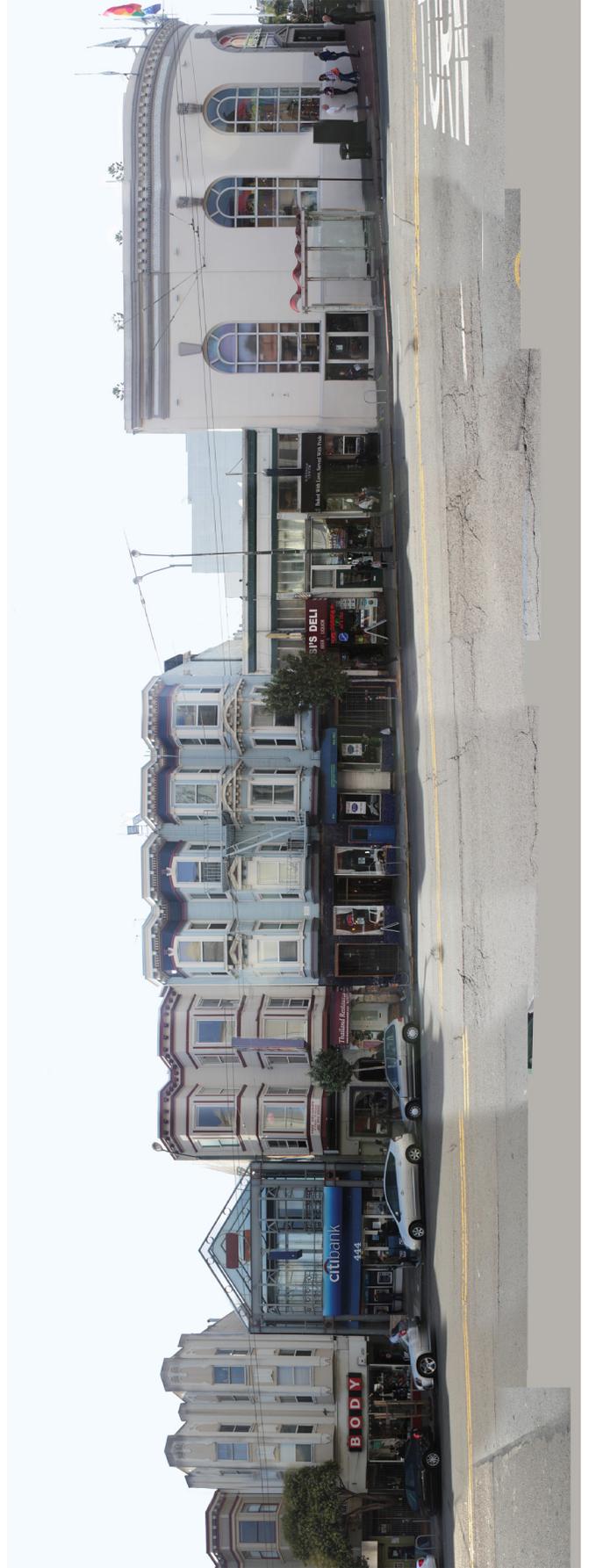
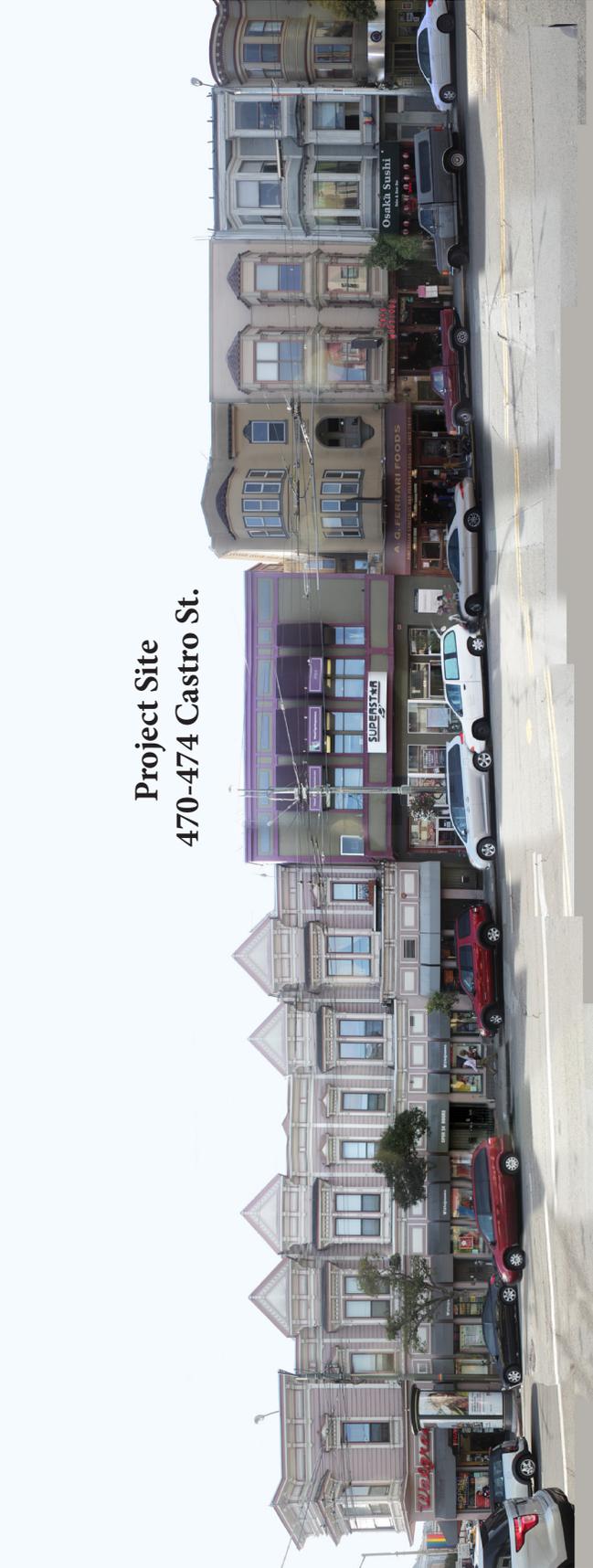


**Subject Property**

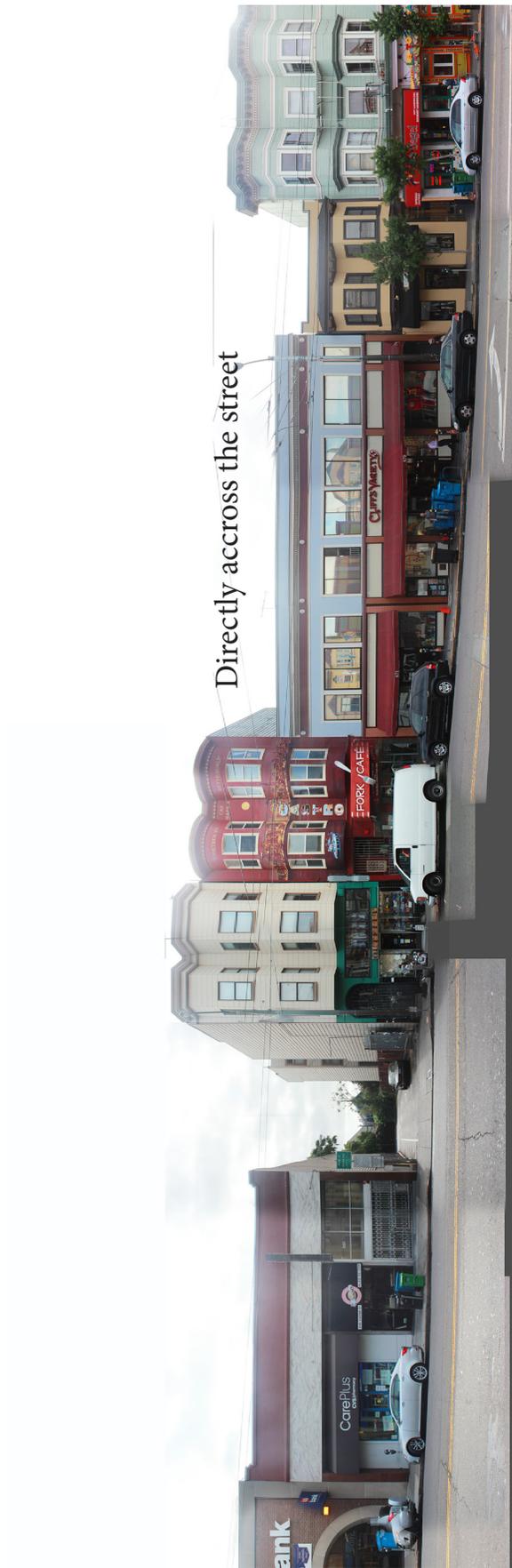


# Site Photos

Project Site  
470-474 Castro St.



# Block Face Across the Street



# Exhibit B

# San Francisco AIDS Foundation

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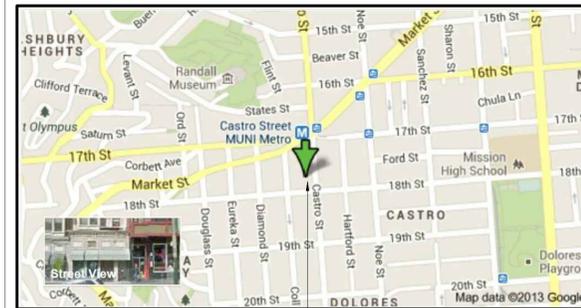
Re-Issue for Conditional Use Application  
#2013.0160C

470 - 474 Castro Street  
San Francisco  
CA 94114

## **Gensler**

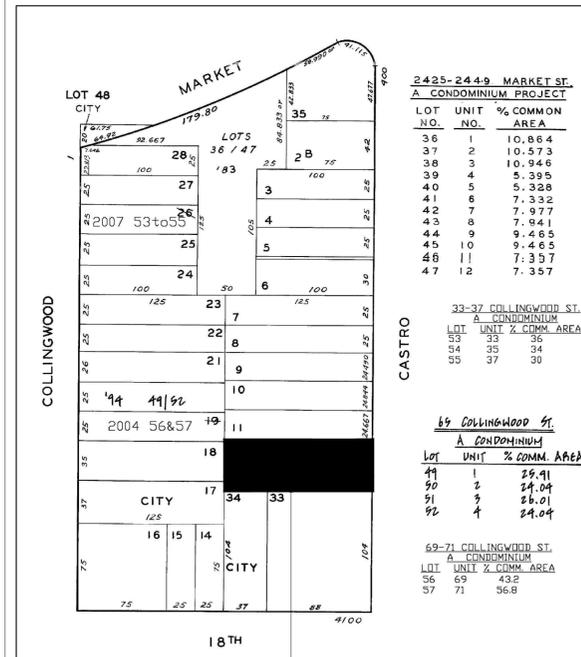
Architect  
Two Harrison Street Suite 400  
San Francisco, CA 94105  
415.433.3700

## VICINITY MAP



SITE

## BLOCK PLAN



SITE

## PROJECT INFORMATION

BUILDING ADDRESS: 470 CASTRO STREET SAN FRANCISCO, CA 94114

BLOCK AND LOT NUMBER: BLOCK 2647 / LOT 012

OCCUPANCY TYPE: B

CONSTRUCTION TYPE: V B

BUILDING AREA: 14,713 (PROPOSED)

PROJECT DATUM ELEVATION: 0.00'

FIREPROOFING: FULLY SPRINKLERED

ZONING: CASTRO NCD

ALLOWABLE HEIGHT: 45'-0"

## APPLICABLE CODES

2013 - CALIFORNIA BUILDING CODE  
 2010 - SAN FRANCISCO BUILDING CODE AMENDMENTS  
 2010 - CALIFORNIA ELECTRICAL CODE  
 2010 - SAN FRANCISCO ELECTRICAL CODE AMENDMENTS  
 2010 - CALIFORNIA MECHANICAL CODE  
 2010 - SAN FRANCISCO MECHANICAL CODE AMENDMENTS  
 2010 - CALIFORNIA PLUMBING CODE  
 2010 - SAN FRANCISCO PLUMBING CODE AMENDMENTS  
 2010 - CALIFORNIA ENERGY CODE (TITLE 24, PART 6)  
 2010 - CALIFORNIA FIRE CODE

## SCOPE OF WORK

THE PROJECT CONSISTS OF THE RENOVATION OF APPROXIMATELY 11,000 +/-SF OF AN EXISTING BUILDING LOCATED AT 470-474 CASTRO STREET. THE BUILDING WAS BUILT IN 1907 AND HAS BEEN MODIFIED SEVERAL TIMES OVER THE YEARS. THE BUILDING IS A WOOD FRAME STRUCTURE AND APPEARS TO HAVE A CONCRETE FOUNDATION WITH A SLAB ON THE GROUND FLOOR AND A SMALL CRAWLSPACE LOCATED UNDER THE NORTHEASTERN PORTION OF THE BUILDING.

- THE SCOPE OF WORK WILL INCLUDE THE FOLLOWING:
- DEMOLITION OF ALL EXISTING INTERIOR FINISHES AND NON-BEARING WALL CONSTRUCTION OF THE OFFICE TENANT SPACE
  - DEMOLITION OF THE EXISTING STAIRCASE AND ELEVATOR SERVING THE UPPER FLOORS
  - REMOVAL OF THE EXISTING STOREFRONT ON THE GROUND FLOOR, BALCONY, FIRE ESCAPE, WINDOWS AND FAÇADE ON THE UPPER FLOOR
  - FULL SEISMIC UPGRADE TO STABILIZE THE EXISTING BUILDING AND SUPPORT NEW THIRD FLOOR
  - NEW HVAC SYSTEM
  - EXPANSION OF THE EXISTING SPRINKLER SYSTEM.
  - NEW PLUMBING
  - NEW ELECTRICAL
  - NEW OPEN STAIRCASE LOCATED TOWARD THE EASTERN FAÇADE TO SERVE ALL THREE FLOORS
  - NEW ELEVATOR
  - NEW SECONDARY STAIRCASE AND FIRE RATED CORRIDOR EXITING ON TO CASTRO STREET AS A SECOND MEANS OF EGRESS
  - NEW TENANT IMPROVEMENTS FOR OFFICE TENANT
  - NEW RESTROOMS ON EACH FLOOR
  - NEW FAÇADE OF STUCCO AND GLASS CURTAIN WALL - SEE EXTERIOR ELEVATIONS
  - NEW STOREFRONT AT RETAIL TENANT

THE FOLLOWING IS NOT INCLUDED IN THE SCOPE:

- INTERIOR RENOVATIONS OF EXISTING RETAIL TENANT SPACE

SUMMARILY, THE GROSS SQUARE FOOTAGE OF EACH TYPE OF SPACE BREAKS DOWN AS FOLLOWS:

**RETAIL**  
 EXISTING TO BE RETAINED = 1,157 GSF

**OFFICE**  
 EXISTING TO BE RETAINED = 9,806 GSF  
 NET NEW / ADDED = 3,750 GSF

**TOTAL** = 14,713 GSF

## DEFERRED SUBMITTALS

FIRE SPRINKLER WILL BE DESIGN BUILD

## DRAWING INDEX

### ARCHITECTURAL

A00.00 DRAWING INDEX, VICINITY MAP, LOCATION MAP & PROJECT INFORMATION  
 A00.01 GRAPHICS SYMBOLS AND MATERIALS LEGEND  
 A00.02 ALTA MAP  
 A00.03 ALTA MAP  
 A00.04 EXISTING SITE PLAN  
 A00.05 SITE PLAN  
 A00.06 REAR YARD SETBACK ANALYSIS

A01.00/01 DEMOLITION PLAN - BASEMENT & FIRST FLOOR  
 A01.02/03 DEMOLITION PLAN - SECOND FLOOR & ROOF

A02.00/01 CONSTRUCTION PLAN - BASEMENT & FIRST FLOOR  
 A02.02/03 CONSTRUCTION PLAN - SECOND & THIRD FLOOR  
 A02.04 CONSTRUCTION PLAN - ROOF

A09.00 EXTERIOR ELEVATIONS - (FRONT - 1/4" = 1'-0")  
 A09.01 EXTERIOR ELEVATIONS  
 A09.02 EXTERIOR ELEVATIONS  
 A09.03 EXTERIOR ELEVATIONS  
 A09.04 EXTERIOR STREET WALL ELEVATIONS  
 A09.10 DIAGRAMMATIC SECTION  
 A09.11 BUILDING SECTION

### SUPPLEMENTARY INFORMATION (SEPARATE)

P. 3-4 SHADOW STUDIES  
 P. 5-8 RENDERINGS  
 P. 9 EXTERIOR MATERIALS

# San Francisco AIDS Foundation

470 - 474 Castro Street  
 San Francisco, CA 94114

**Gensler**  
 2 Harrison Street  
 Suite 400  
 San Francisco, CA 94105  
 Telephone 415.433.3700  
 Facsimile 415.836.4599

Issue	Date & Issue Description	By	Check
1	06-28-13	PB / LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	

Seal/Signature

Project Name  
 San Francisco AIDS Foundation

Project Number  
 H:/ 01,9106,000  
 CAD File Name  
 A00-00  
 Description  
 INDEX

Scale

# A00.00

## ABBREVIATIONS

<b>G</b>	GA GAUGE GFRC GLASS FIBER REINFORCED CONCRETE GFRG GLASS FIBER REINFORCED GYPSUM GFRP GLASS FIBER REINFORCED PLASTER GL GLASS GR GRAD(E)(ING) GYP GYPSUM	<b>A</b>	ACCES ACCESSORY ACOUS ACOUSTIC(AL) AFF ABOVE FINISHED FLOOR AL ALUMINUM ALT ALTERNATE ANNUNC ANNUNCIATOR ANOD ANODIZED APPL APPLIANCE ARCH ARCHITECT(URAL) AUTO AUTOMATIC AVG AVERAGE & AND
<b>H</b>	HD HEAD HDWD HARDWOOD HDWE HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HVAC HEATING, VENTILATING, AND AIR CONDITIONING	<b>B</b>	BLDG BUILDING BOLLD BOLLARD BD BOARD BLKG BLOCKING BRDLM BROADLOOM BU BUILT UP
<b>I</b>	INFO INFORMATION INSTRUM INSTRUMENT(ATION) INSUL INSULATION INTLK INTERLOCK(ING) INT INTERIOR INFILTR INFILTRATION	<b>C</b>	CAB CABINET CPT CARPET CEM CEMENT(ITIOUS) CER CERAMIC CLG CEILING COATG COATING COILG COILING CONC CONCRETE CONSTR CONSTRUCTION CONT CONTINUOUS(ATION) CONTR CONTRACT(OR) COV COVER CMU CONCRETE MASONRY UNIT
<b>J</b>	JAN JANITOR	<b>D</b>	DBL DOUBLE DEPT DEPARTMENT DES DESIGN(ED) DET DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DIFF DIFFUSER DIM DIMENSION DISP DISPENSER DIV DIVISION DN DOWN \$ DOLLAR (US CURRENCY) DR DOOR DSCON DISCONNECT DWR DRAWER
<b>K</b>	KIT KITCHEN	<b>E</b>	ELAST ELASTOMERIC ELEC ELECTRICAL EMBED EMBEDD(ED)(ING) ENGR ENGINEER(ED) ENR ENTRANCE EQ EQUAL EQUIP EQUIPMENT EXIST EXISTING EXP JT EXPANSION JOINT EXPS EXPOSE(D) EXT EXTERIOR
<b>L</b>	LAV LAVATORY LB POUND £ BRITISH POUND (CURRENCY) LT LIGHT LVLG LEVELING LVR LOUVER	<b>F</b>	FAB FABRICATION FD FLOOR DRAIN FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER AND CABINET FHC FIRE HOSE CABINET FIN FINISH FLDG FOLDING FPLC FIREPLACE FR FIRE RAT(ING)(ED) FRMG FRAMING FXD FIXED FXTR FIXTURE FLR FLOOR(ING) FURN FURNITURE FWC FABRIC WALL COVERING
<b>M</b>	MAX MAXIMUM MFD MANUFACTURED MFR MANUFACTURER MECH MECHANICAL MET METAL MEMB MEMBRANE MEZZ MEZZANINE MIN MINIMUM MISC MISCELLANEOUS MLWK MILLWORK MOIST MOISTURE MOT MOTOR(IZED) MTD MOUNTED	<b>N</b>	NIC NOT IN CONTRACT NO NUMBER NTS NOT TO SCALE
<b>N</b>	ORNA ORNAMENTAL OVFL OVERFLOW OVHD OVERHEAD OPNG OPENING(S) OPR OPERABLE	<b>O</b>	
<b>P</b>	PTN PARTITION PEDTR PEDESTRIAN PBD PARTICLE BOARD PNL PANEL POLYST POLYSTYRENE PORT PORTABLE PREFIN PREFINISHED PREFAB PREFABRICATED PLAM PLASTIC LAMINATE PLAS PLASTER PLSTC PLASTIC PLYWD PLYWOOD PRTECN PROTECTION		

## ABBREVIATIONS (CONT)

<b>T</b>	THK THICK TLT TOILET TRAF TRAFFIC TRANS TRANSPARENT TRTD TREATED T&G TONGUE AND GROOVE TYP TYPICAL	<b>R</b>	RDR READER RECES RECESSED RECTP RECEPTACLE REF REFER(ENCE) REFL REFLECTED REFR REFRIGERATOR REQD REQUIRED RESIS RESIST(ANT)(IVE) REIN REINFORCE(D)(ING)(MENT) RESIL RESILIENT RFG ROOFING RM ROOM RO ROUGH OPENING
<b>U</b>	UNDRLAY UNDERLAYMENT UTIL UTILITY UNO UNLESS NOTED OTHERWISE	<b>S</b>	SCR SCRIBE SECUR SECURITY SF SQUARE FEET SGL SINGLE SHORG SHORING SIM SIMILAR SST STAINLESS STEEL STD STANDARD STL STEEL STRFR STOREFRONT STRUCT STRUCTURAL SURF SURFACE SUSP SUSPENDED SYS SYSTEM(S)
<b>V</b>	VEH VEHICLE VERT VERTICAL VIF VERIFY IN FIELD		
<b>W</b>	W WITH WC WATER CLOSET WD WOOD WDW WINDOW W/O WITHOUT WT WEIGHT WTRPRF WATERPROOFING		

## GRAPHIC SYMBOLS

### ELEVATION INDICATIONS

	GLASS SYMBOL
	MASONRY COURSING
	WOOD VENEER
	STONE

### SECTION INDICATIONS

	ACOUSTICAL CEILING TILE
	ALUMINUM
	BRICK
	CARPET
	CONCRETE
	CONCRETE MASONRY UNIT
	EQUAL
	CUTSTONE
	EARTH OR GROUND
	FABRIC WRAPPED PANEL
	GLASS
	GRAVEL
	GYPSUM BOARD
	INSULATION (LOOSE OR BATT)
	INSULATION (RIGID)
	METAL
	PLASTER
	PLASTER/LATH
	PLYWOOD
	PRE-CAST PANELS
	SAND OR GROUT
	STONE
	WOOD (FINISHED)
	WOOD (CONTINUOUS MEMBER)
	WOOD (INTERRUPTED MEMBER)

## GRAPHIC SYMBOLS

### CONSTRUCTION

	COLUMN GRID REFERENCE NUMBER
	COLUMN GRID LINES AND REFERENCE NUMBER
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW PARTITION
	1 HR. RATED PARTITION
	2 HR. RATED PARTITION
	3 HR. RATED PARTITION
	4 HR. RATED PARTITION
	SMOKE PARTITION
	EGRESS PATH PRIMARY
	EGRESS PATH SECONDARY
	MILLWORK
	MILLWORK ABOVE
	DETAIL NUMBER
	SHEET NUMBER
	DESCRIPTION OF SIMILAR OR OPPOSITE
	FLOOR NUMBER AND AREA OR PHASE
	AREA TO BE DETAILED
	LOCATION ON ROW WHERE ELEVATION IS SHOWN
	DIRECTION OF ELEVATION
	ROW ON SHEET WHERE ELEVATION IS SHOWN
	SHEET NUMBER WHERE ELEVATION IS SHOWN
	REVISION REFERENCE NUMBER
	REVISION CLOUD DEPICTING AREA REVISED
	OFFICE ROOM NAME ROOM NUMBER
	SHEETNOTE REFERENCE
	WALL TYPE REFERENCE
	DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)
	DOOR TYPE
	HARDWARE TYPE
	DOOR NUMBER
	DOOR TYPE   HARDWARE TYPE
	WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE)
	MILLWORK REFERENCE NUMBER (REFER TO MILLWORK SCHEDULE)
	ELEVATION DATUM REFERENCE
	MATCH LINE SYMBOL
	ALIGN WITH ESTABLISHED SURFACES
	FIRE ALARM PULL
	FIRE WARDEN STATION
	WALL MOUNTED, FIRE EXTINGUISHER CABINET
	WALL MOUNTED FIRE EXTINGUISHER
	WALL MOUNTED FIRE HOSE CABINET
	WALL MOUNTED FIRE VALVE
	WALL MOUNTED FIRE VALVE CABINET

### FINISH

	WALL FINISH
	BASE FINISH
	WALL FINISH
	WAINSCOT FINISH
	BASE FINISH
	EXTENT OF WALL/WAINSCOT/BASE FINISH
	SPECIAL FINISH
	FLOOR FINISH
	CHANGE IN FLOOR FINISH

# San Francisco AIDS Foundation

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San Francisco, CA 94114

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Suite 400  
San Francisco, CA 94105  
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Facsimile 415.836.4599

## Gensler

Issue	Date & Issue Description	By	Check
1	06-28-13	PB / LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
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CAD File Name  
A00-01  
Description  
GRAPHIC SYMBOLS

Scale

# A00.01



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## Gensler

### ALTA MAP FOR SAN FRANCISCO AIDS FOUNDATION

BEING LOT 12 OF BLOCK NO. 2647  
ALSO BEING A PART OF HORNER'S ADDITION BLOCK NO. 197  
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA

MAY 2013

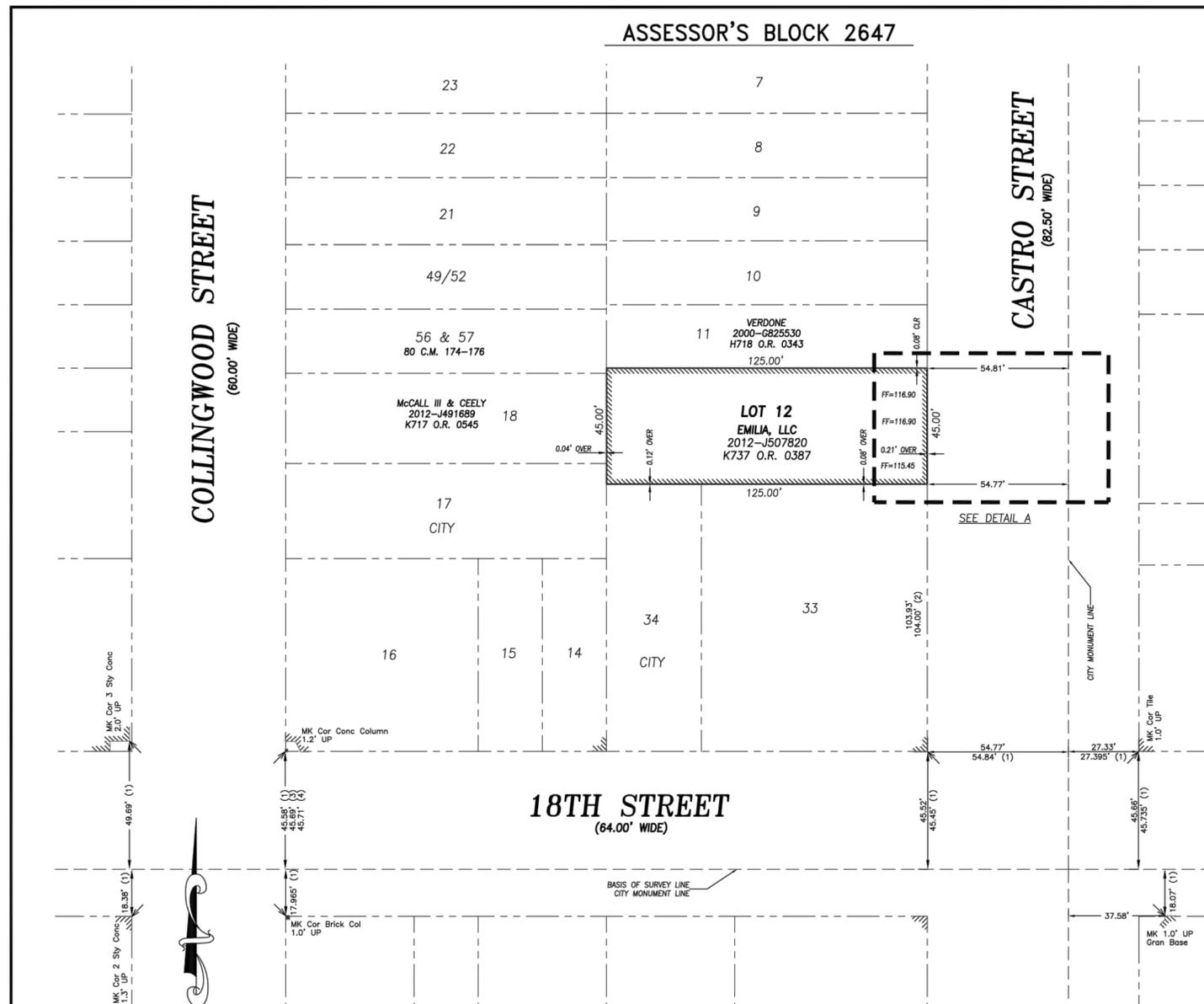
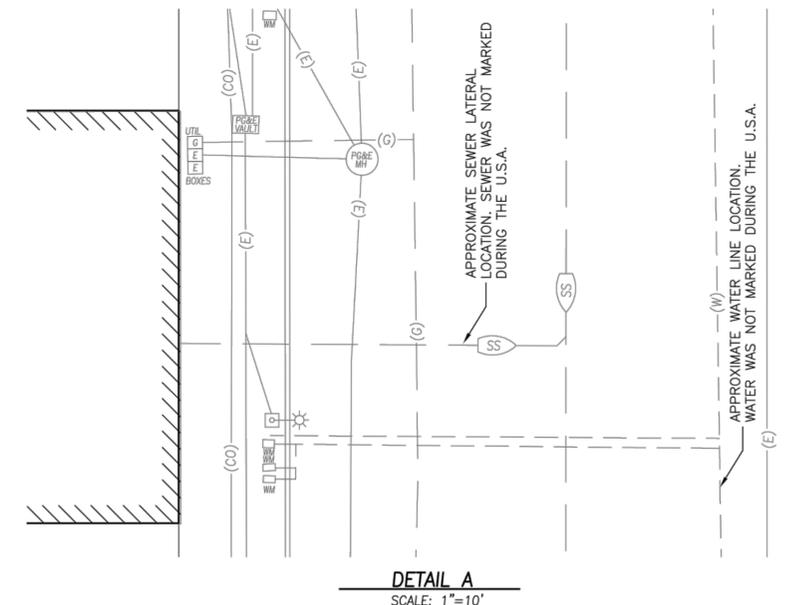


#### MAP AND DEED REFERENCES:

- (1) MONUMENT MAP NOS. 232 & 235 ON FILE IN THE OFFICE OF THE CITY ENGINEER
- (2) GRANT DEED RECORDED SEPTEMBER 21, 2012 ON REEL K737 AT IMAGE 0387 DOCUMENT NUMBER 2012-J507820-00 ON FILE IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO.
- (3) MAP OF 65 COLLINGWOOD STREET, RECORDED MARCH 09, 1993 IN BOOK 39 OF CONDO MAPS AT PAGES 46-48, ON FILE IN THE OFFICE OF THE CITY ENGINEER.
- (4) MAP OF 69-71 COLLINGWOOD STREET, RECORDED MAY 27, 2003 IN BOOK 80 OF CONDO MAPS AT PAGES 174-176, ON FILE IN THE OFFICE OF THE CITY ENGINEER.

#### BOUNDARY NOTES:

1. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. MONUMENT LINES ARE AS SHOWN.
2. ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
3. BLOCK LINES OF BLOCK 2647 WERE ESTABLISHED PARALLEL AND PERPENDICULAR TO THE CITY MONUMENT LINE IDENTIFIED AS BASIS SURVEY LINE. RELATIONSHIPS BETWEEN MONUMENT LINES AND THE BLOCK LINES OF BLOCK 2647 WERE ESTABLISHED IN CONFORMANCE WITH COMPELLING EVIDENCE OF OCCUPATION AND FIELD SURVEY DATA, SUCH AS: BUILDING STRUCTURES, FENCES, RETAINING WALL AND OFFICIAL CONCRETE SIDEWALKS AND CURBS.



#### LEGEND:

- ( ) INDICATES RECORD DATA, PER REFERENCE.
- INDICATES EXISTING BUILDING CORNER
- INDICATES EXISTING BUILDING LINE
- (S) SEWER MAIN
- (G) GAS MAIN
- (CO) COMMUNICATION UTILITIES
- EXISTING CURB
- (W) EXISTING WATER LINE
- (E) ELECTRICAL LINE



**kpff**  
Consulting Engineers  
1508 Eureka Road  
Suite 290  
Roseville, California 95661  
Phone: (916) 772-7688  
Fax: (916) 772-7699

ALTA/ACSM LAND TITLE SURVEY  
470 CASTRO STREET  
SAN FRANCISCO, CA

JOB No.: 213-511  
DESIGNED BY: RJL  
DRAWN BY: RJL  
CHECKED BY: KJN  
PLOT DATE: 5/31/13  
PLOTTED BY: Kevin J. Nelson



REVISION	DATE	DESCRIPTION	BY

Drawing No.  
**2**  
OF  
**2**

Project Name	San Francisco AIDS Foundation
Project Number	H/ 01,9106,000
CAD File Name	A00-03
Description	ALTA MAP
Scale	



**A00.03**

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470 - 474 Castro Street  
San Francisco, CA 94114

## Gensler

2 Harrison Street  
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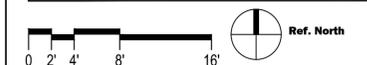
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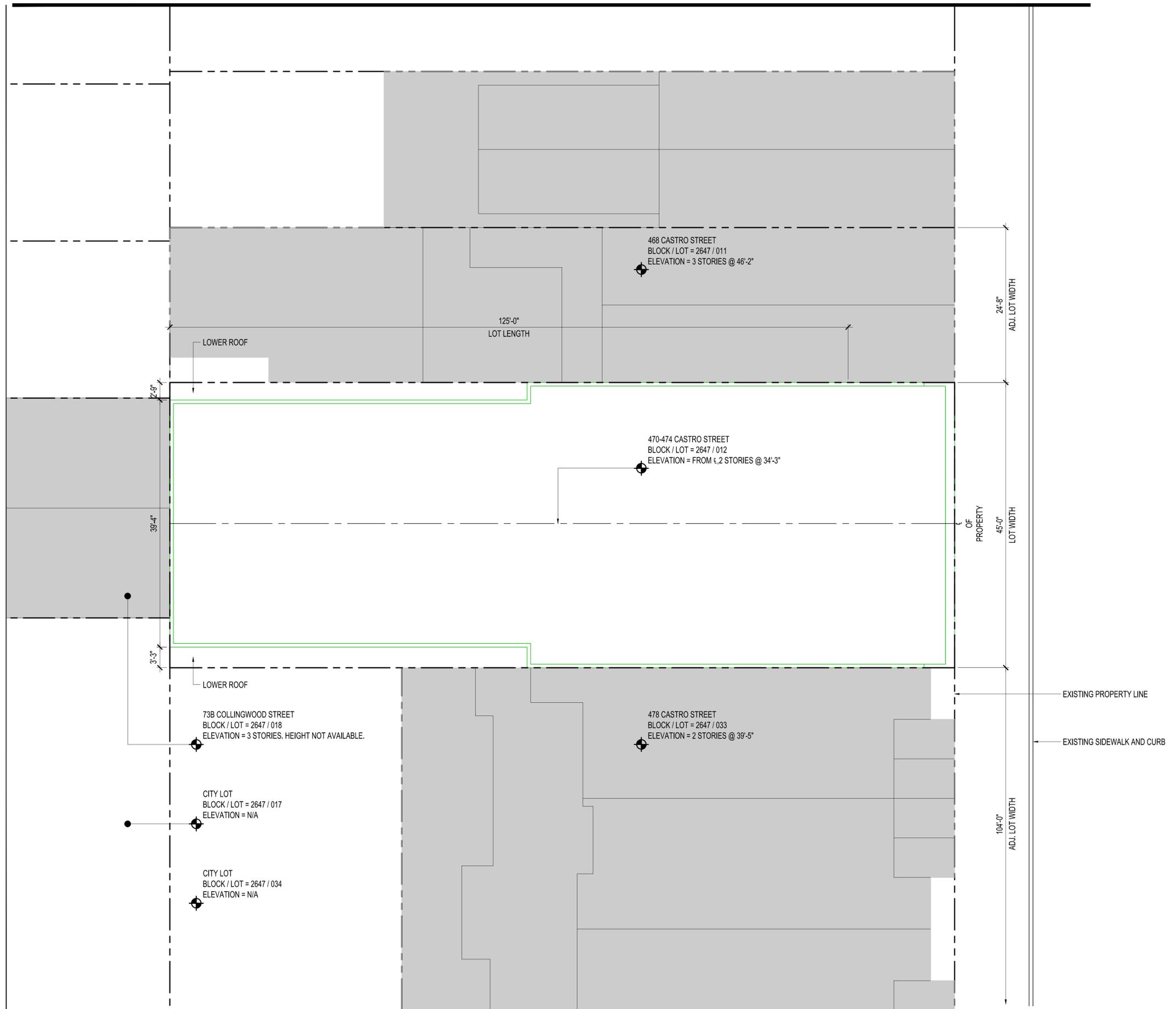
Project Number  
H:/ 01,9106,000  
CAD File Name  
A00-04  
Description  
EXISTING SITE PLAN

Scale



### A00.04

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**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"

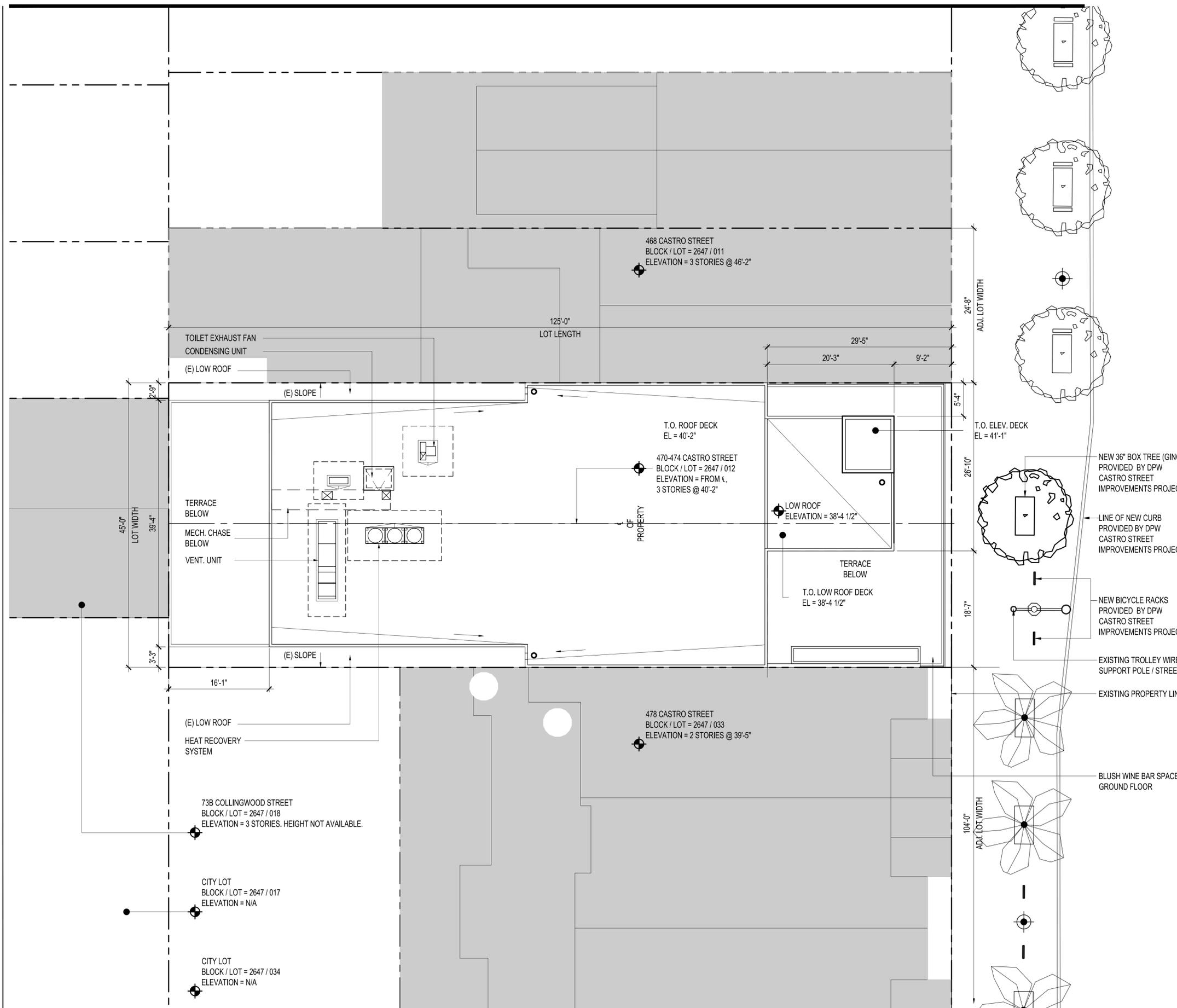
1

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2 Harrison Street  
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Facsimile 415.836.4599

Issue	Date & Issue Description	By	Check
1	06-28-13	PB/LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	



**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

1

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A00-05  
Description  
SITE PLAN

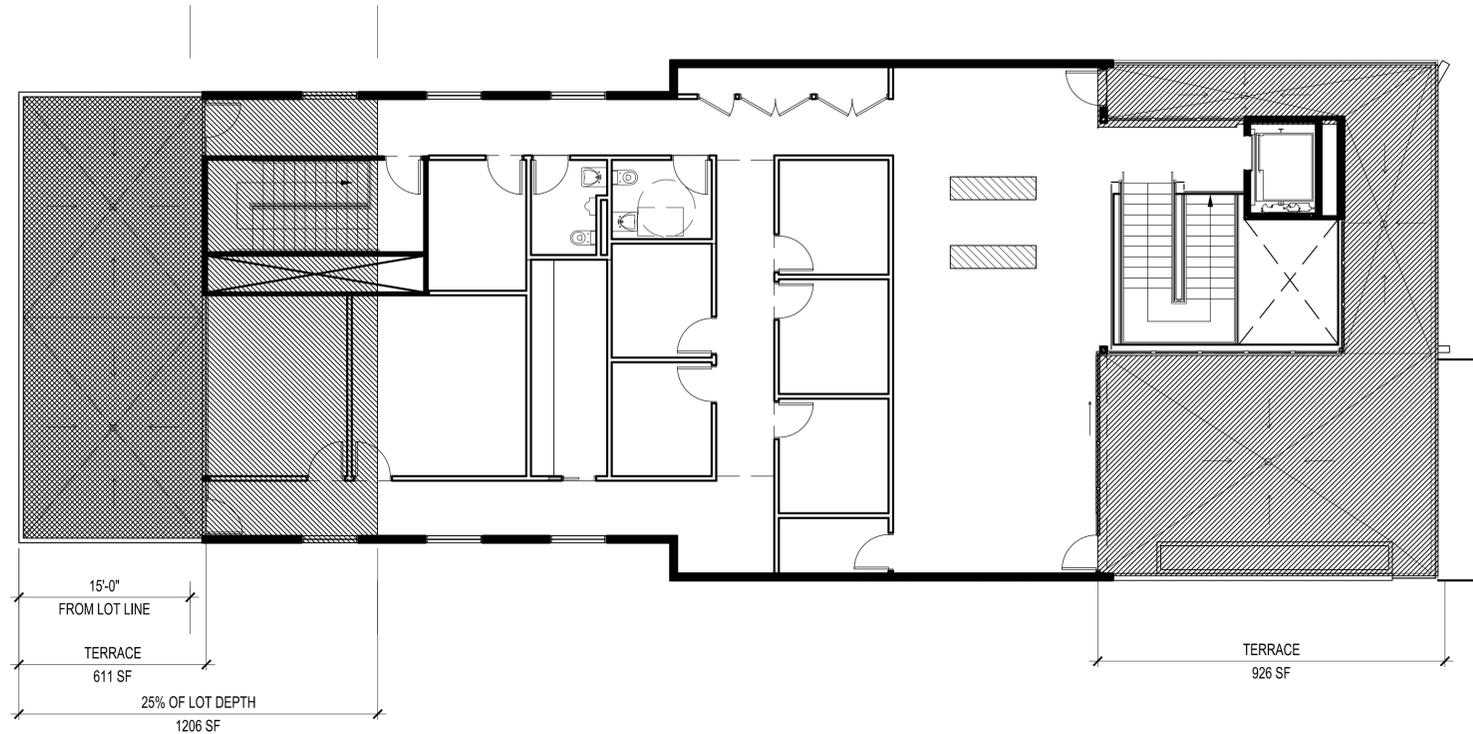
Scale



**A00.05**

©2013 Gensler

**KEY NOTES**



**REAR YARD SETBACK ANALYSIS**

SCALE: 1/8" = 1'-0"

**1**

**SHEET NOTES**

1. REQUIRED 25% SETBACK AREA = 1206 SF  
FRONT TERRACE AREA = 926 SF  
REAR TERRACE AREA = 611 SF  
TOTAL TERRACE AREA = 1537 SF

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Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB/LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	

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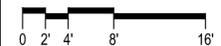
Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106.000

CAD File Name  
A00.06

Description  
REAR YARD SETBACK ANALYSIS  
THIRD FLOOR

Scale



**A00.06**

**KEY NOTES**

- 01 REMOVE (E) PLUMBING FIXTURES.
- 02 (E) FOUNDATION WALL AT 3'-0" TO REMAIN.
- 03 (E) FOUNDATION WALL AT FLOOR TO REMAIN.
- 04 (E) FOUNDATION WALL AT 2'-1" HIGH TO REMAIN.
- 05 (E) FOUNDATION WALL AT 1'-1" TO REMAIN.
- 06 REMOVE (E) ELEVATOR PIT AND ASSOCIATED EQUIPMENT.

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Issue	Date & Issue Description	By	Check
1	06-28-13	PB/LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	

**SHEET NOTES**

Seal/Signature

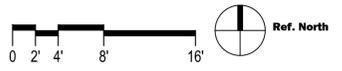
Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000

CAD File Name  
A01-01

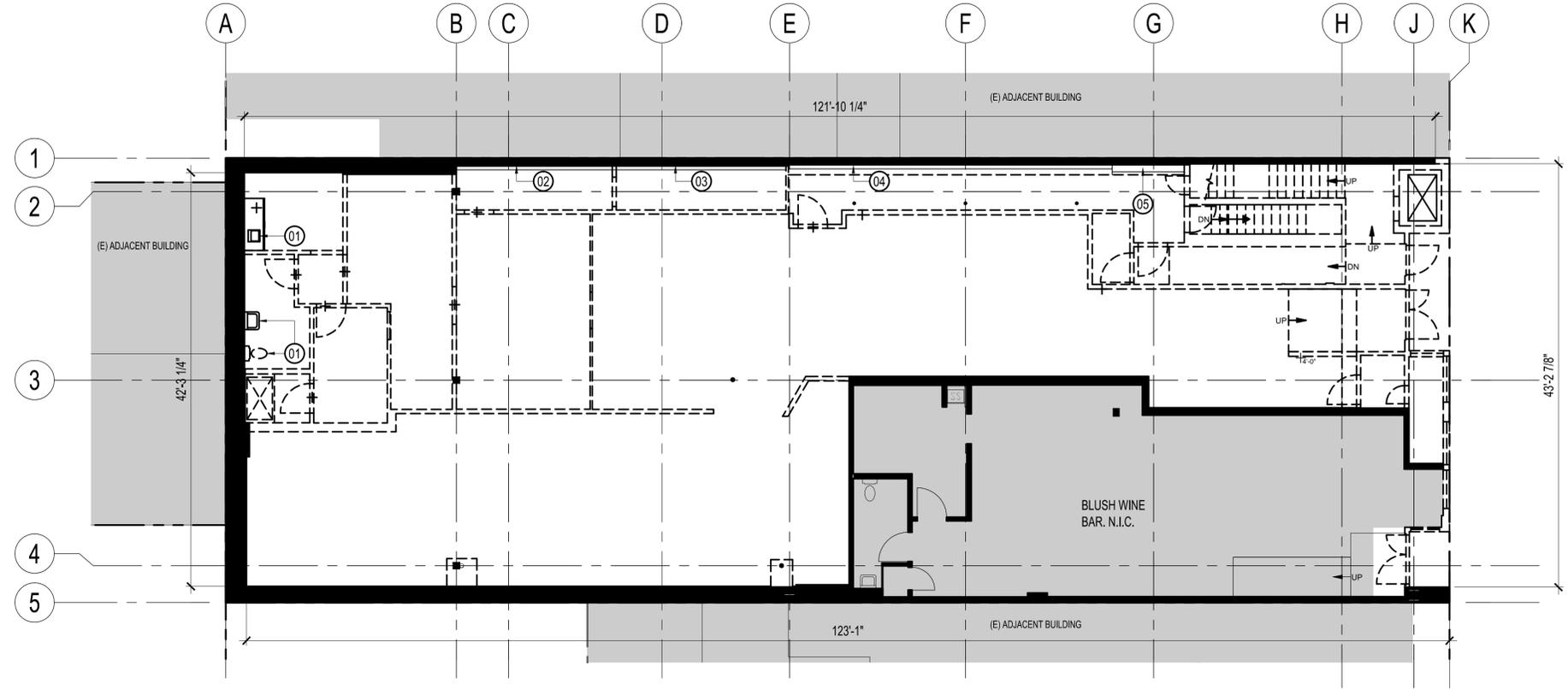
Description  
DEMOLITION PLAN  
BASEMENT & FIRST FLOOR

Scale



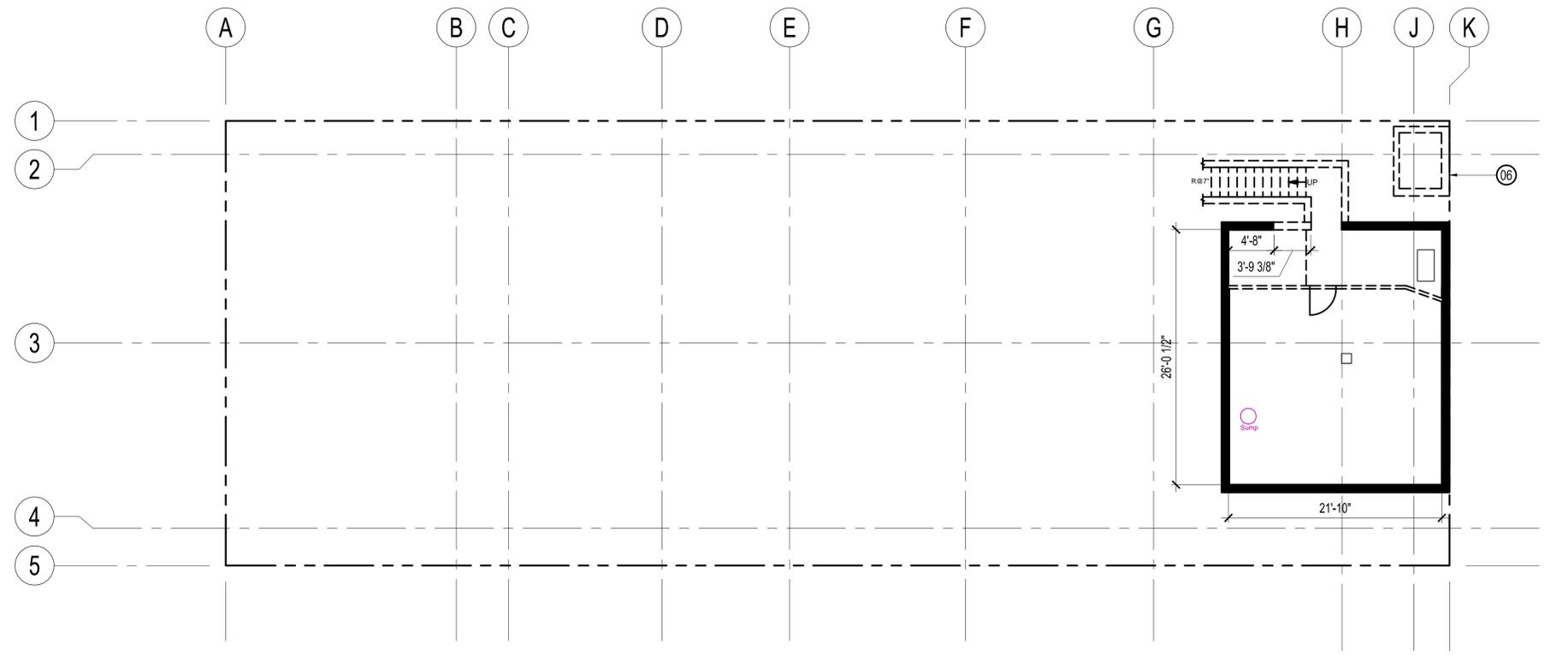
**A01.00/01**

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**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

**2**



**BASEMENT DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

**1**

**KEY NOTES**

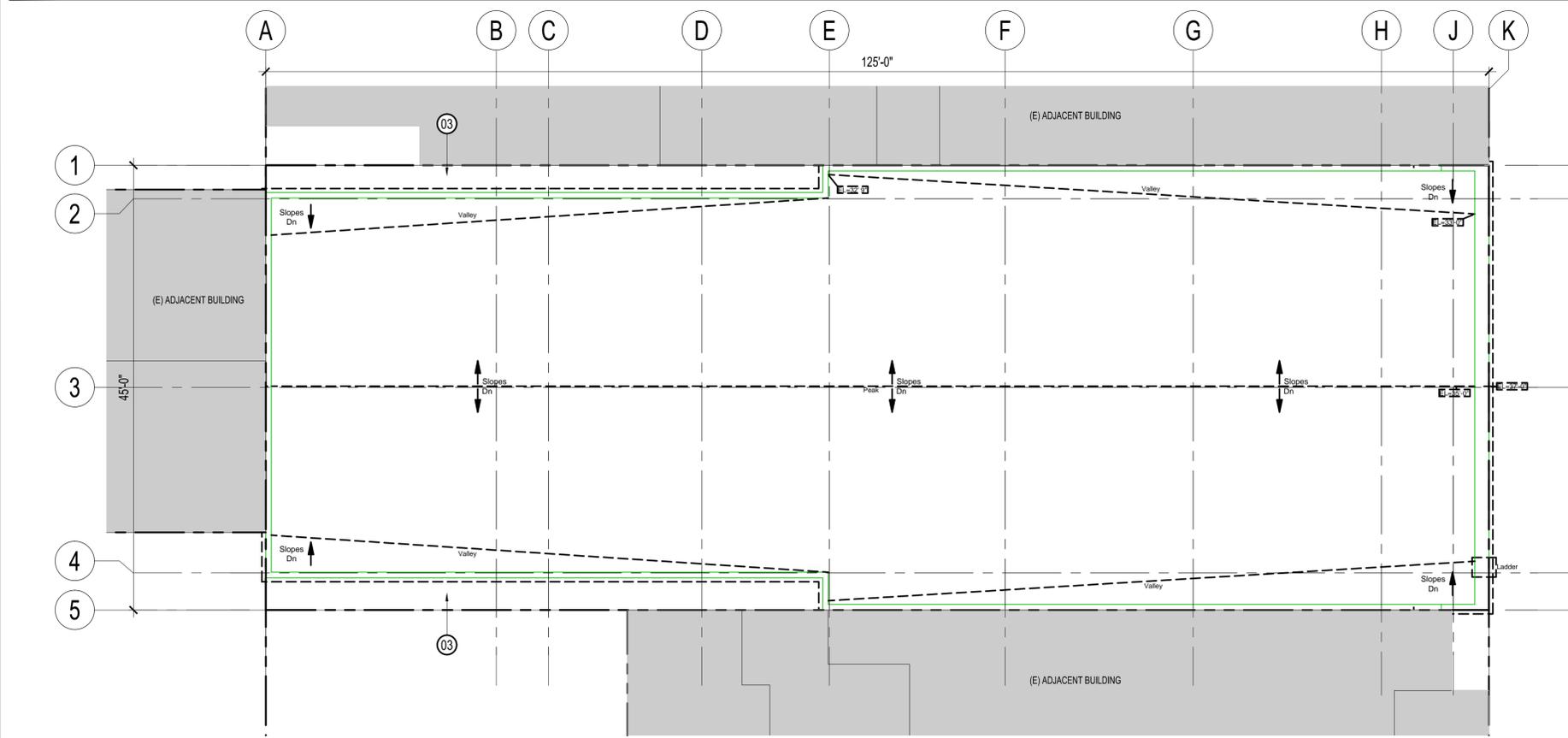
- ⓪1 (E) FIRE ESCAPE TO BE REMOVED.
- ⓪2 REMOVE (E) ELEVATOR CAB, RAILINGS, AND ASSOCIATED EQUIPMENT.
- ⓪3 (E) LOWER ROOF TO REMAIN.
- ⓪4 (E) GLAZING AND FRAME TO BE REMOVED.

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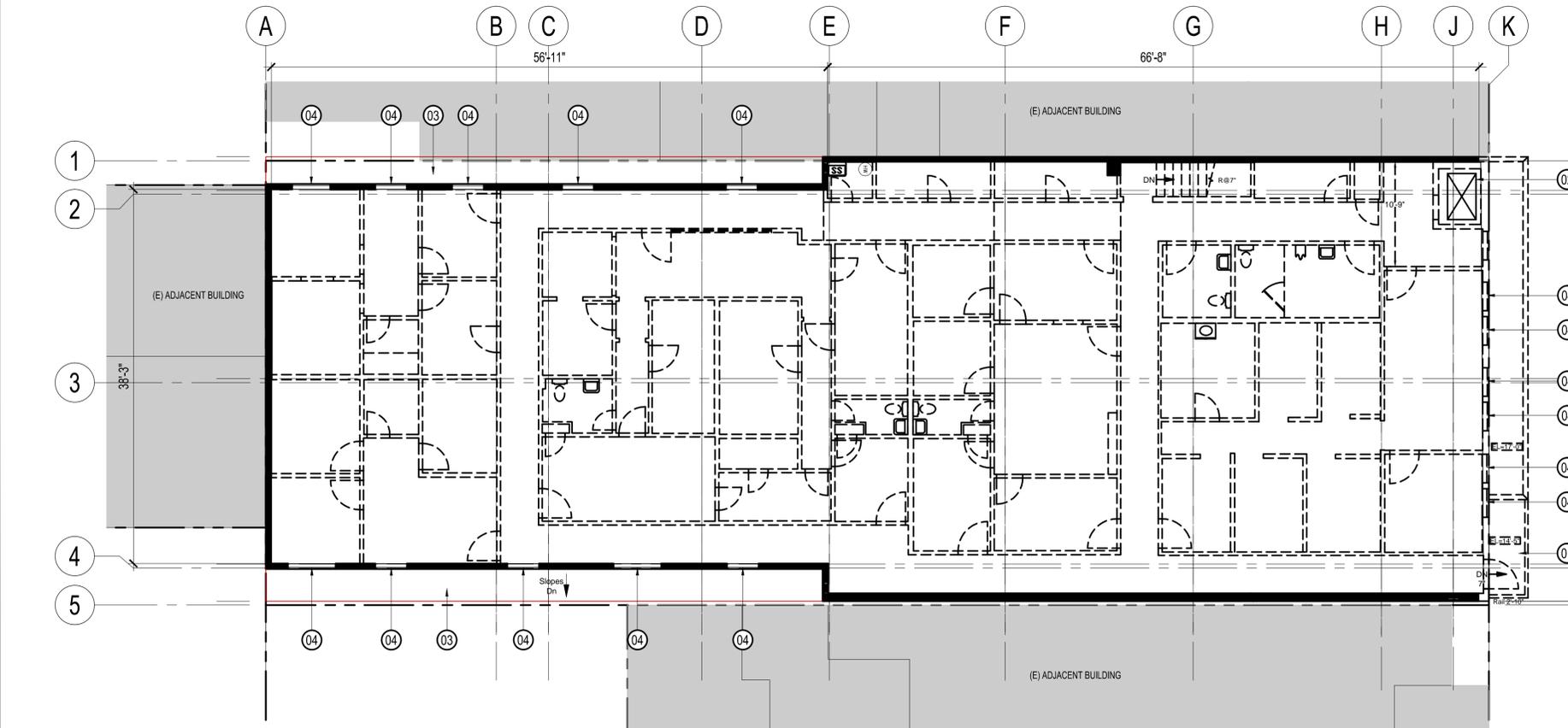
Issue	Date & Issue Description	By	Check
1	06-28-13	PB/LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	



**ROOF DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"

**2**



**SECOND FLOOR DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"

**1**

**SHEET NOTES**

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01.9106.000  
CAD File Name  
A01-02

Description  
DEMOLITION PLAN  
SECOND FLOOR & ROOF

Scale



**A01.02/03**

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**KEY NOTES**

- 01 ACCESS DOOR ABOVE
- 02 BEAM ABOVE
- 03 (E) FOUNDATION WALL; VARIES
- 04 PROPERTY LINE
- 05 BALCONY ABOVE; SEE SECOND FLOOR CONSTRUCTION PLAN
- 06 MECH. EQUIPMENT
- 07 GRADE BEAM RE: STRUCTURAL
- 08 OUTLINE OF FLOOR ABOVE

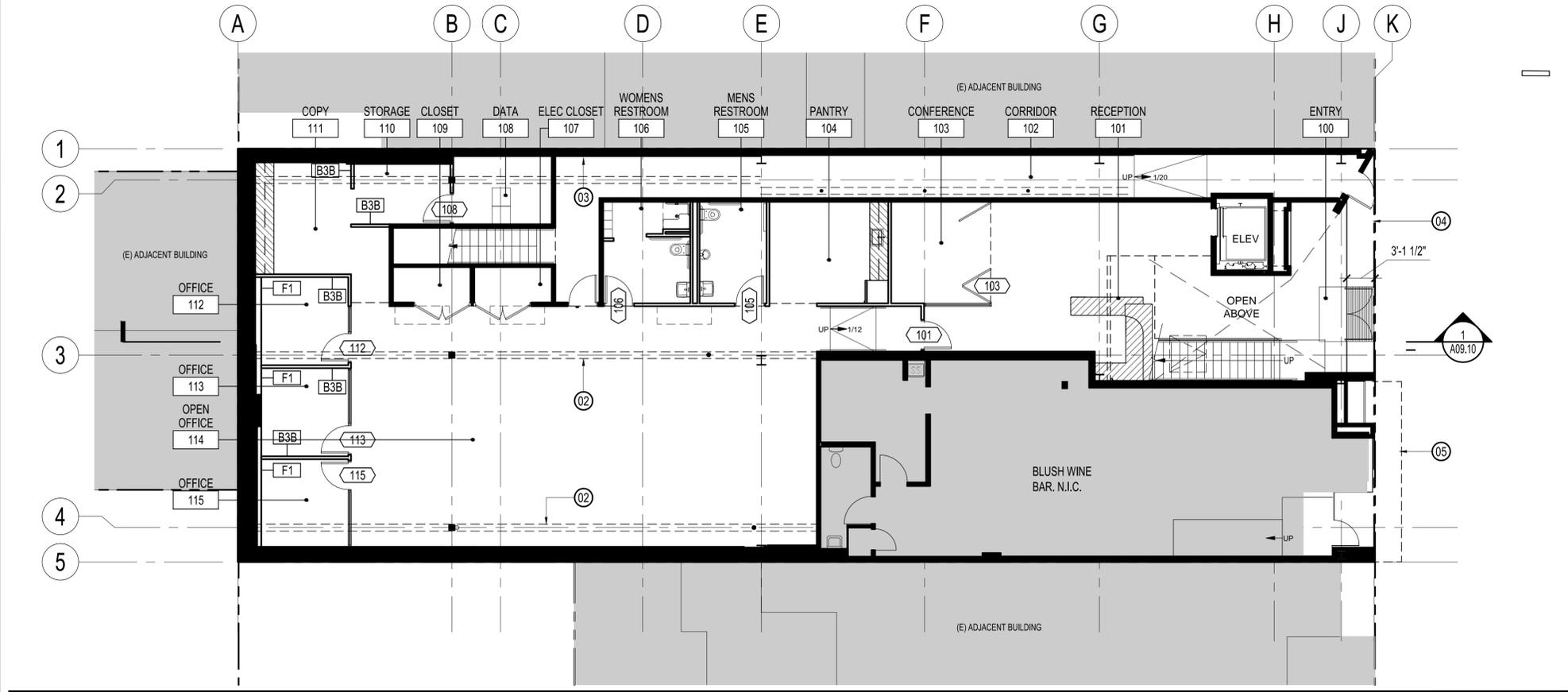
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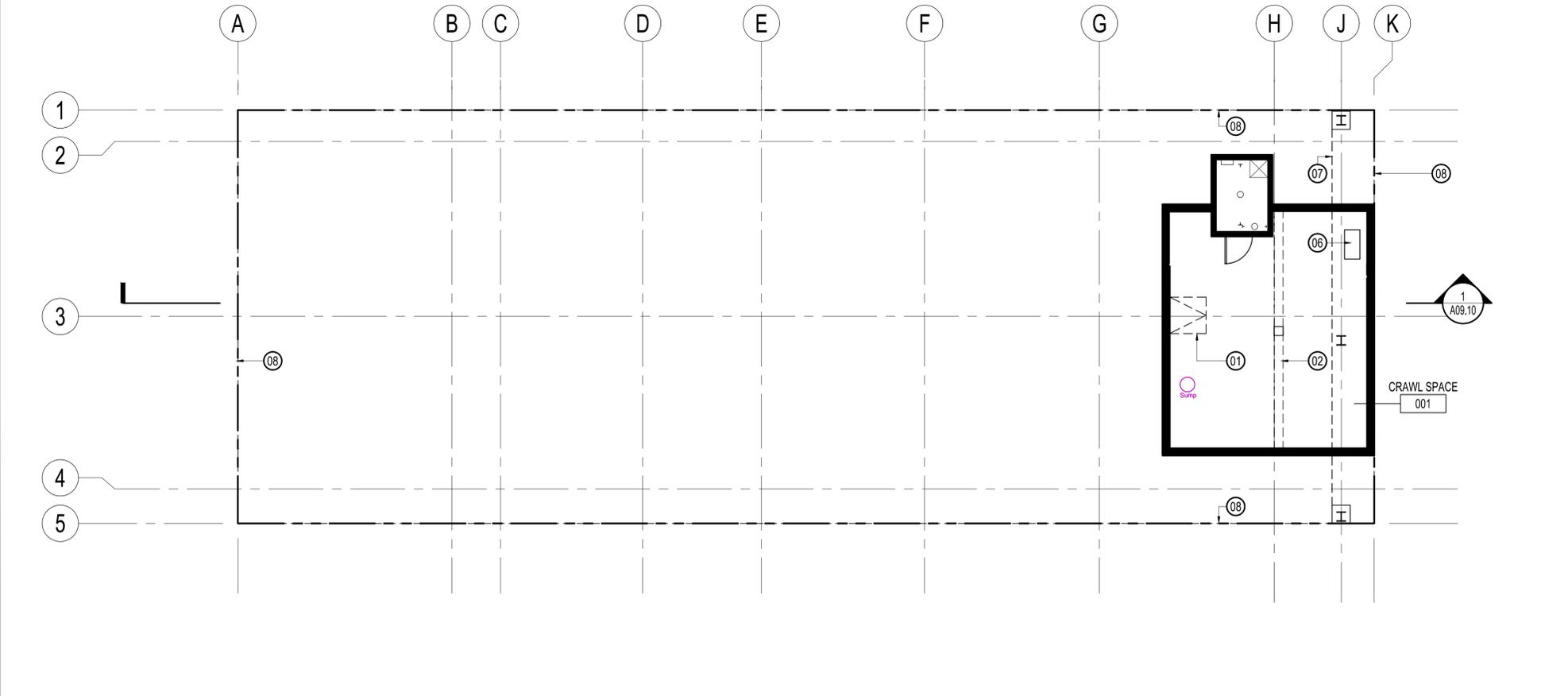
## Gensler

Issue	Date & Issue Description	By	Check
1	06-28-13	PB/LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	



**FIRST FLOOR CONSTRUCTION PLAN**  
SCALE: 1/8" = 1'-0"

**2**



**BASEMENT CONSTRUCTION PLAN**  
SCALE: 1/8" = 1'-0"

**1**

**SHEET NOTES**

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A02-01  
Description  
CONSTRUCTION PLAN  
BASEMENT & FIRST FLOOR

Scale  
0 2 4 8 16' Ref. North

**A02-00/01**

**KEY NOTES**

NOTE: NOT ALL KEYNOTES ARE USED ON THIS SHEET

- ① BLOOD PASS THROUGH SEE SPECS
- ② PROVIDE WATER CONNECTION INTO BACK WALL
- ③ PROVIDE DRAIN UNDER WALK OFF MAT PAN
- ④ (E) NON-COMPLIANT WINDOW AT (E) ADJACENT BUILDING.

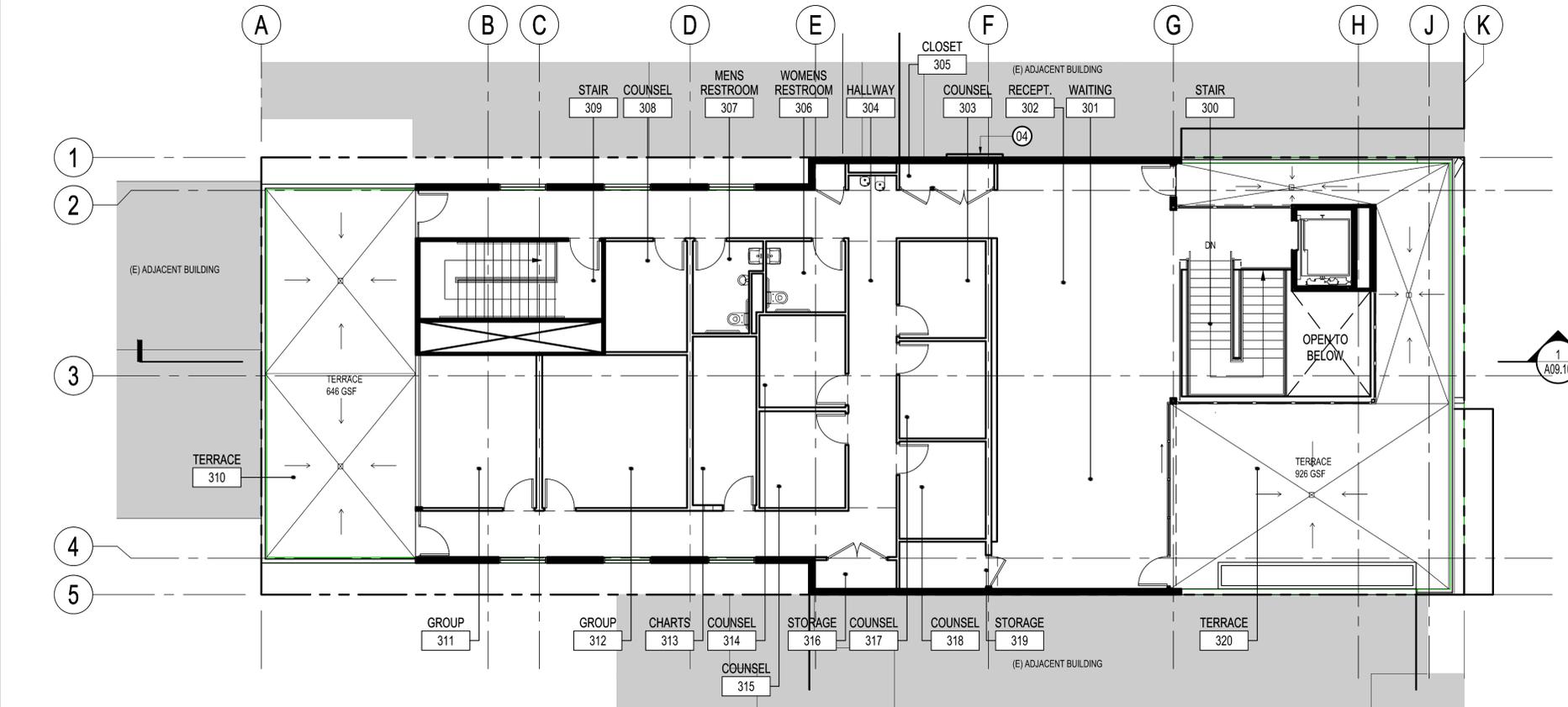
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## Gensler

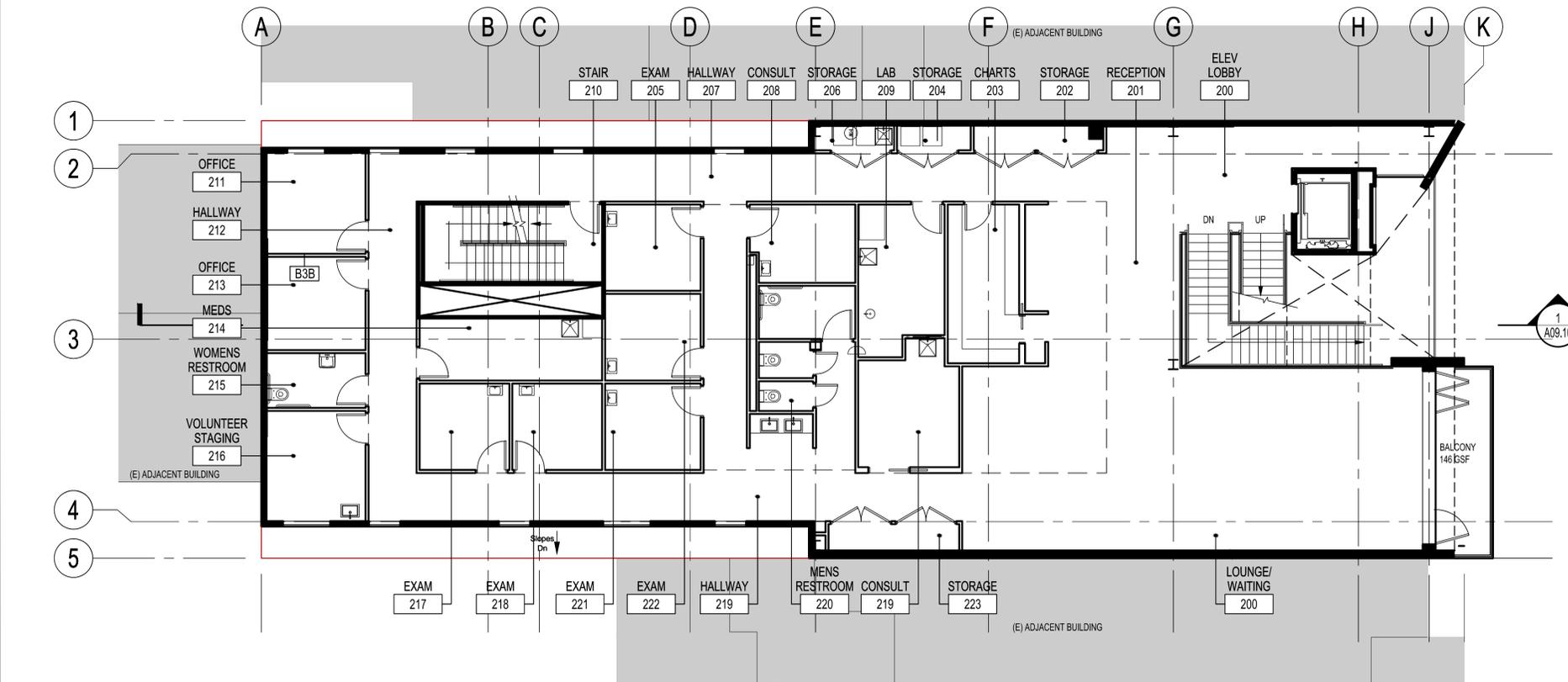
Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB/LJP	BS
	CONDITIONAL USE APPLICATION		
2	08-19-13	PB/LJP	
	CONDITIONAL USE APPLICATION		
3	09-10-13	JB/PB	
	CONDITIONAL USE APPLICATION		



**THIRD FLOOR CONSTRUCTION PLAN**

SCALE: 1/8" = 1'-0"

2



**SECOND FLOOR CONSTRUCTION PLAN**

SCALE: 1/8" = 1'-0"

1

**SHEET NOTES**

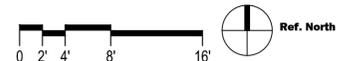
Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A02-02

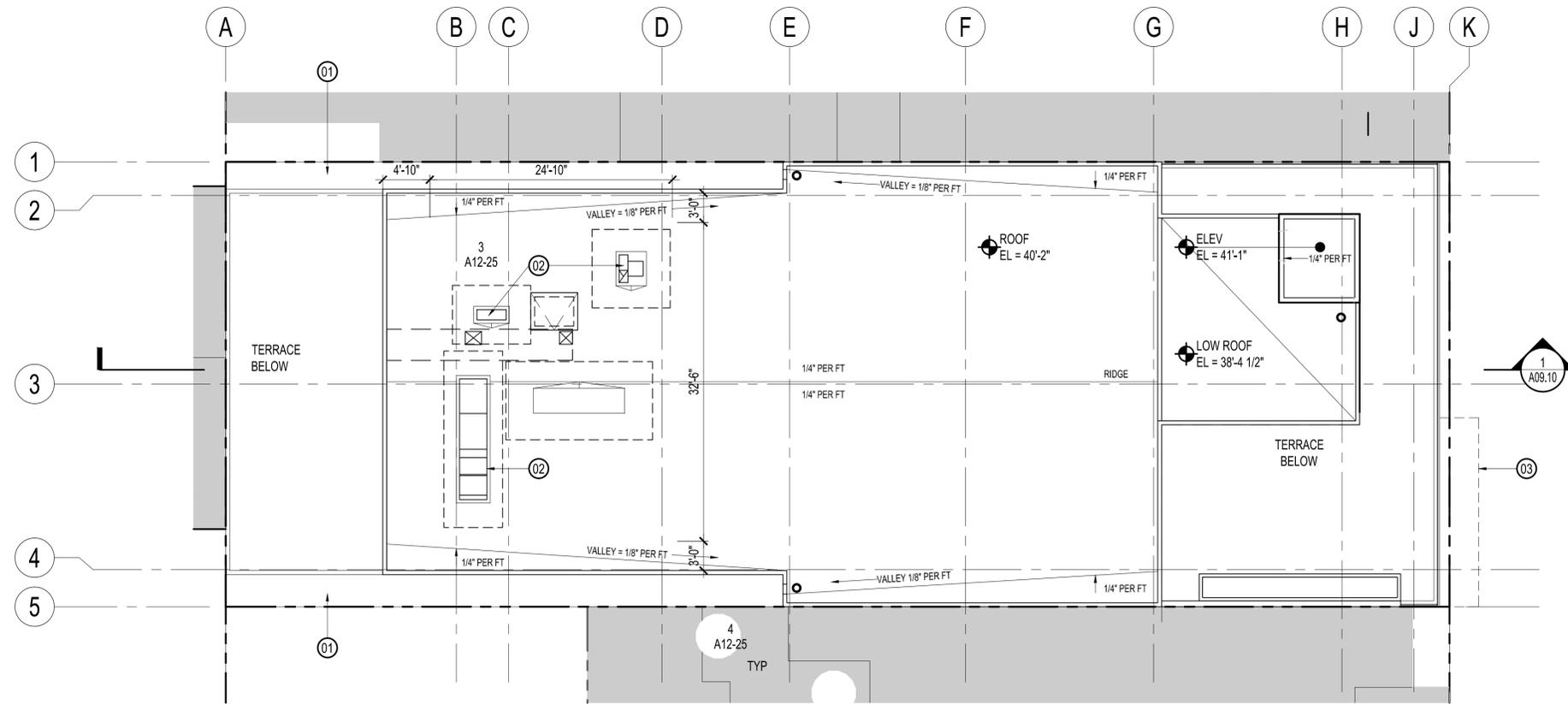
Description  
CONSTRUCTION PLAN  
SECOND FLOOR & THIRD FLOOR

Scale



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**KEY NOTES**

- 01 (E) LOWER ROOF TO REMAIN
- 02 MECHANICAL EQUIPMENT
- 03 LINE OF BALCONY BELOW

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Issue	Date & Issue Description	By	Check
1	06-28-13	PB / LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	

**SHEET NOTES**

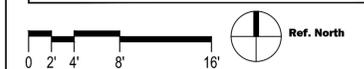
Seal/Signature \_\_\_\_\_

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A02-04

Description  
CONSTRUCTION PLAN  
ROOF

Scale



**A02-04**

**KEY NOTES**

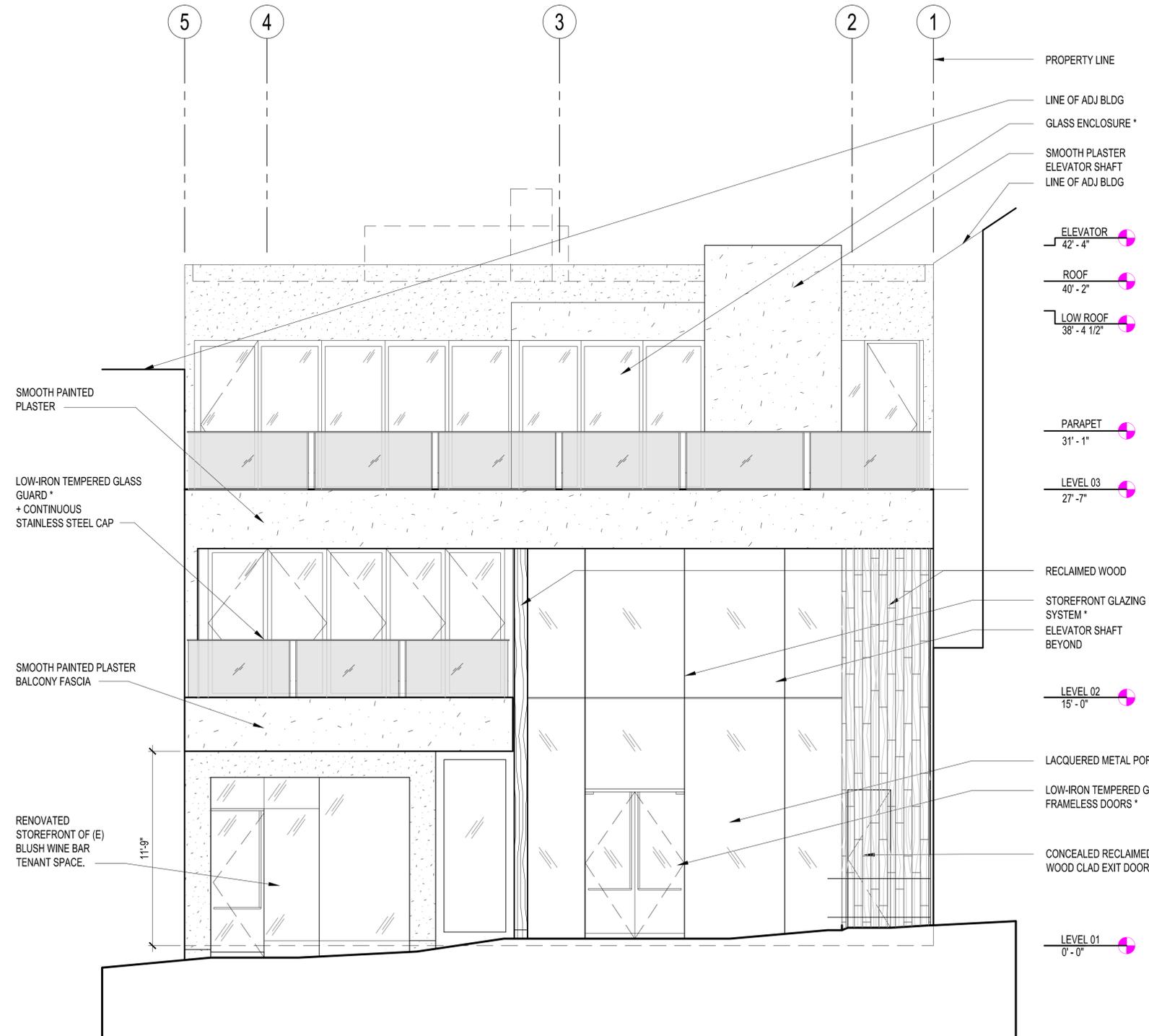
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Issue	Date & Issue Description	By	Check
1	06-28-13	PB / LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	



**SHEET NOTES**

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H/ 01.9106.000  
CAD File Name  
A09-00

Description  
EXTERIOR ELEVATION

Scale



**A09.00**

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## KEY NOTES

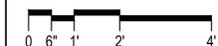
Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB/LJP	BS
	CONDITIONAL USE APPLICATION		
2	08-19-13	PB/LJP	
	CONDITIONAL USE APPLICATION		
3	09-10-13	JB/PB	
	CONDITIONAL USE APPLICATION		

Seal/Signature \_\_\_\_\_

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A09-01  
Description  
EXTERIOR ELEVATION

Scale



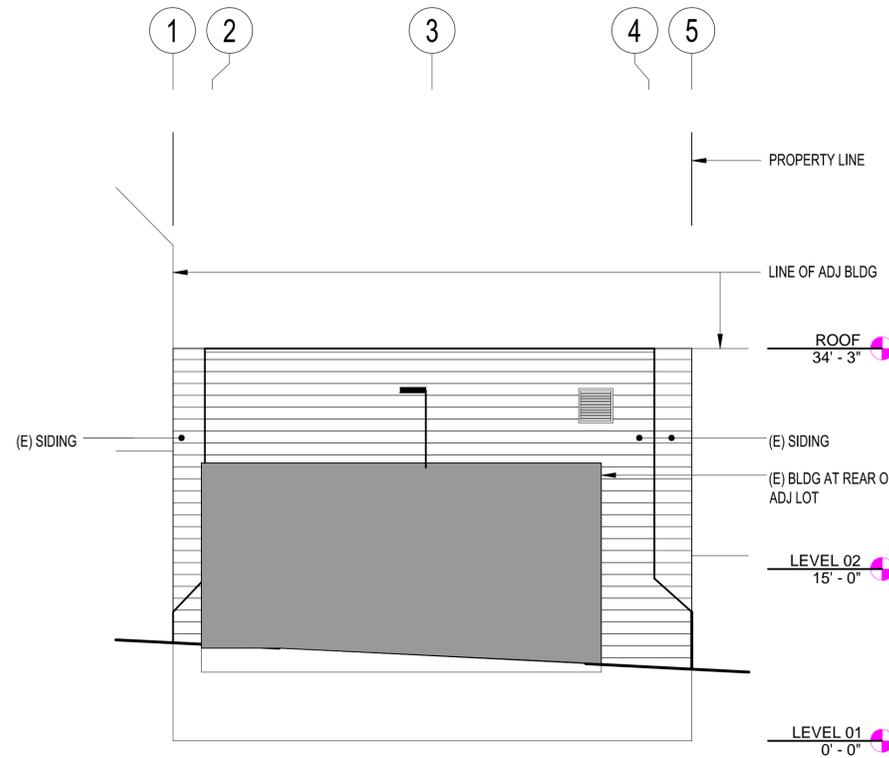
**A09.01**

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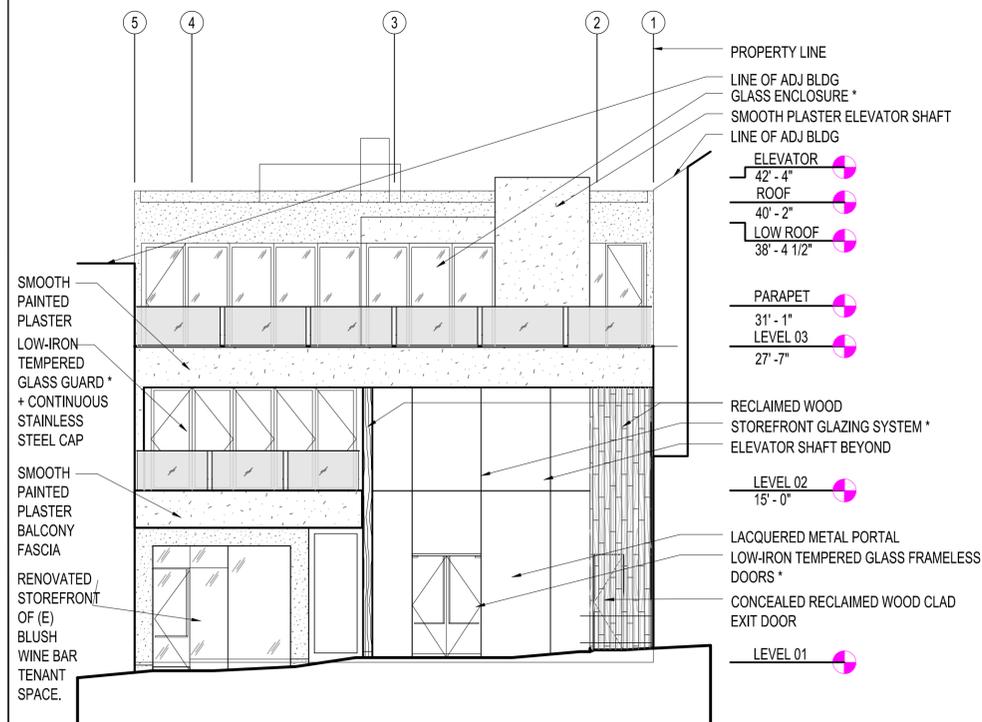
**EAST ELEVATION - EXISTING**  
SCALE: 1/8" = 1'-0"

**2**



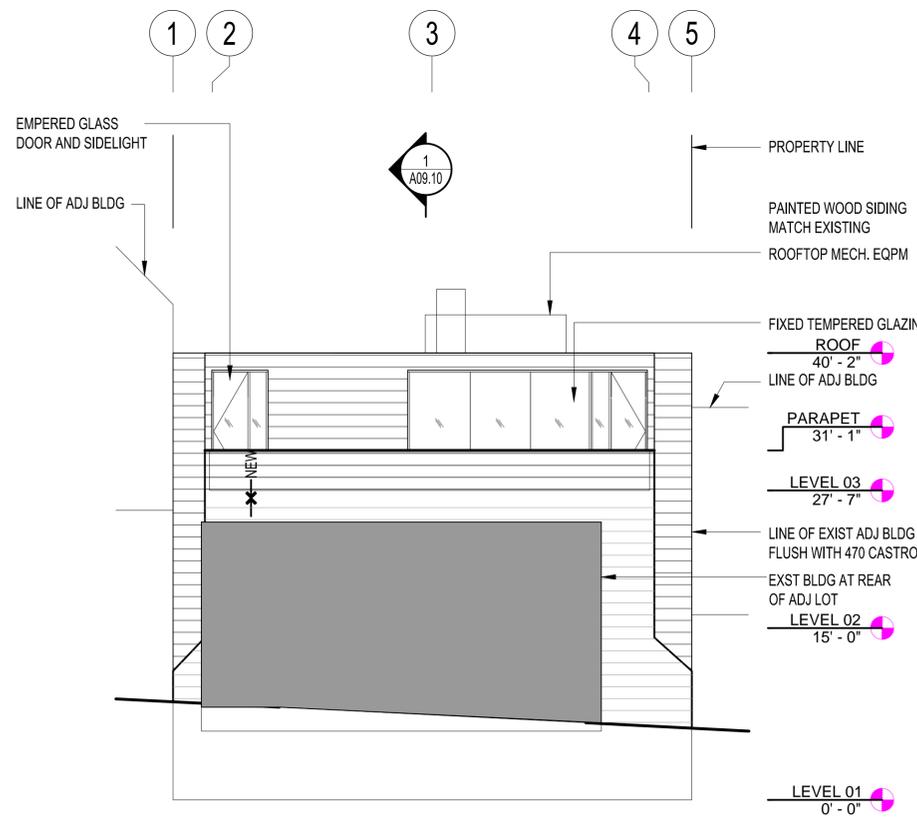
**WEST ELEVATION - EXISTING**  
SCALE: 1/8" = 1'-0"

**1**



**EAST ELEVATION - NEW**  
SCALE: 1/8" = 1'-0"

**4**

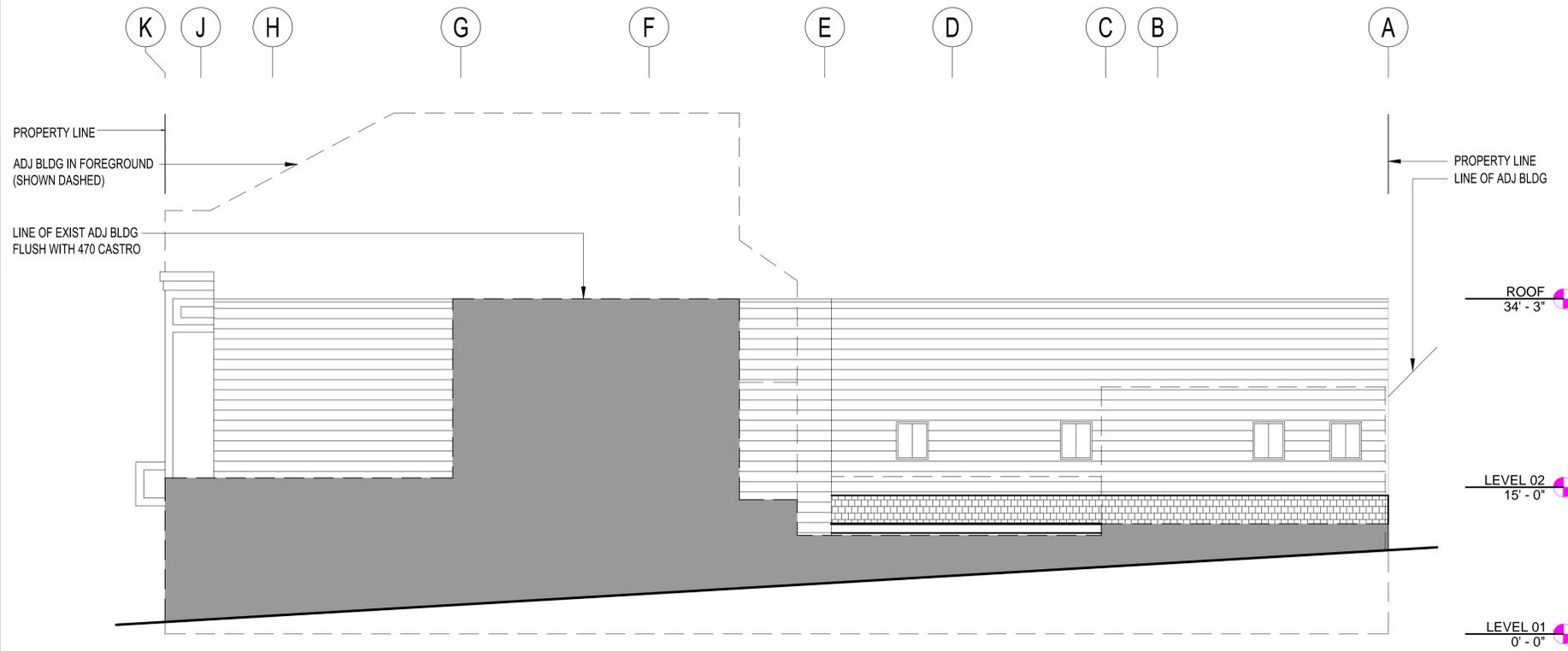


**WEST ELEVATION - NEW**  
SCALE: 1/8" = 1'-0"

**3**

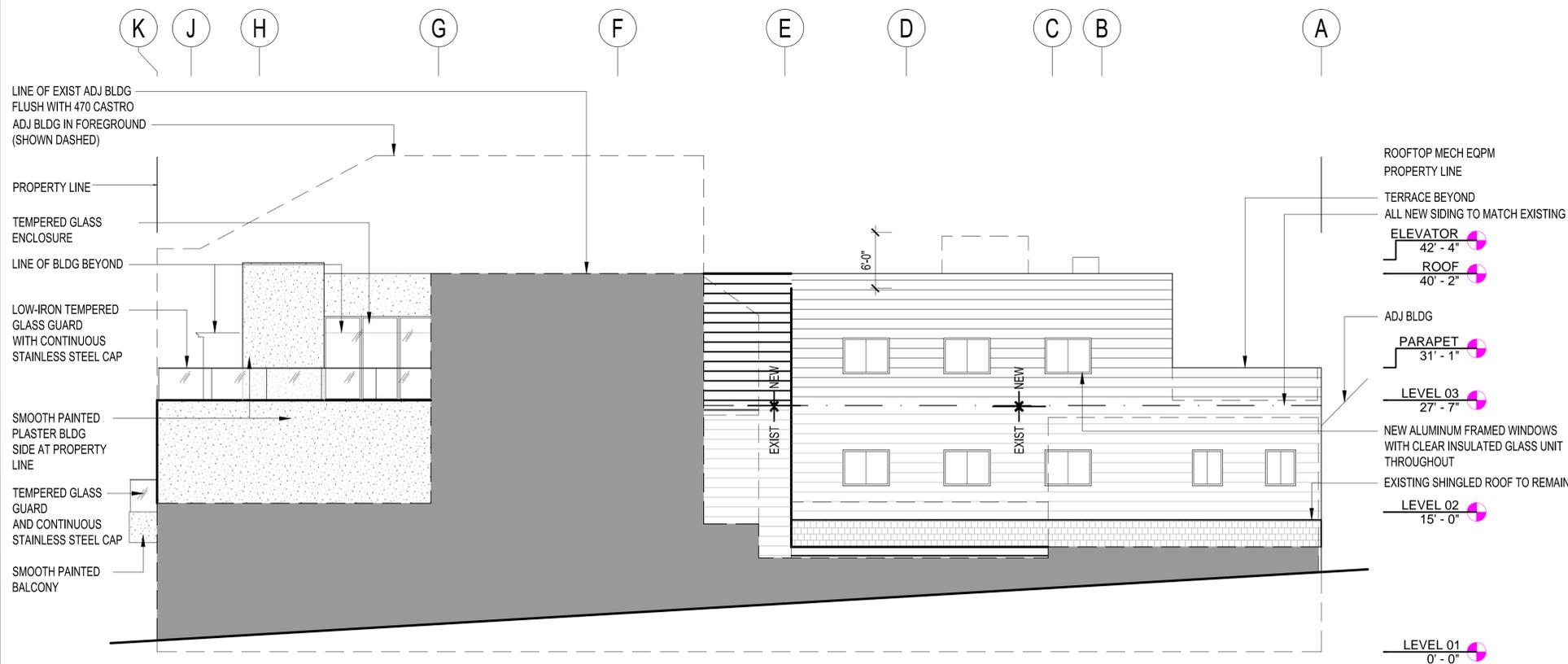
## SHEET NOTES

\* ALL GLAZING SUBJECT TO THE STANDARDS FOR BIRD-SAFE BUILDING TO BE TREATED TO MEET THE REQUIREMENT OF SAN FRANCISCO PLANNING CODE SECTION 139



**NORTH ELEVATION - EXISTING**  
SCALE: 1/8" = 1'-0"

1



**NORTH ELEVATION - NEW**  
SCALE: 1/8" = 1'-0"

2

**KEY NOTES**

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Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB / LJP	BS
	CONDITIONAL USE APPLICATION		
2	08-19-13	PB/LJP	
	CONDITIONAL USE APPLICATION		
3	09-10-13	JB/PB	
	CONDITIONAL USE APPLICATION		

**SHEET NOTES**

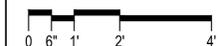
\* ALL GLAZING SUBJECT TO THE STANDARDS FOR BIRD-SAFE BUILDING TO BE TREATED TO MEET THE REQUIREMENT OF SAN FRANCISCO PLANNING CODE SECTION 139

Seal/Signature

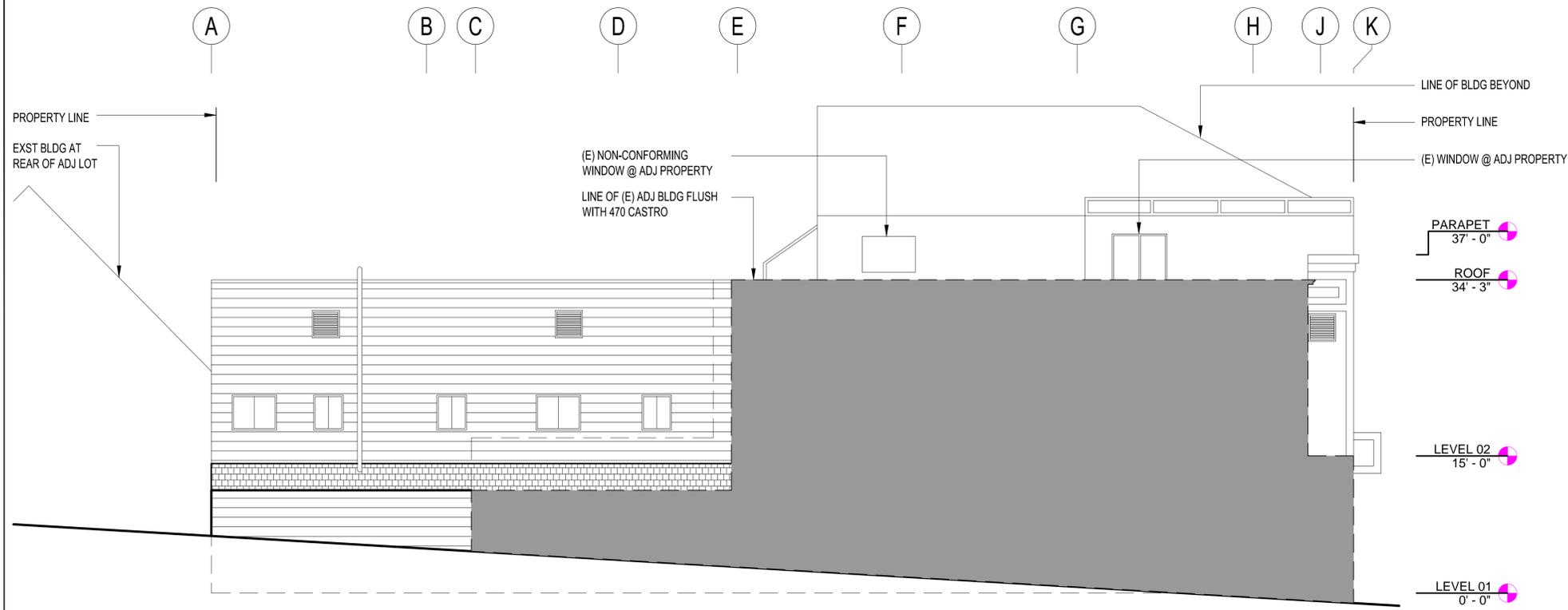
Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A09-02  
Description  
EXTERIOR ELEVATION

Scale



**A09.02**



**KEY NOTES**

# San Francisco AIDS Foundation

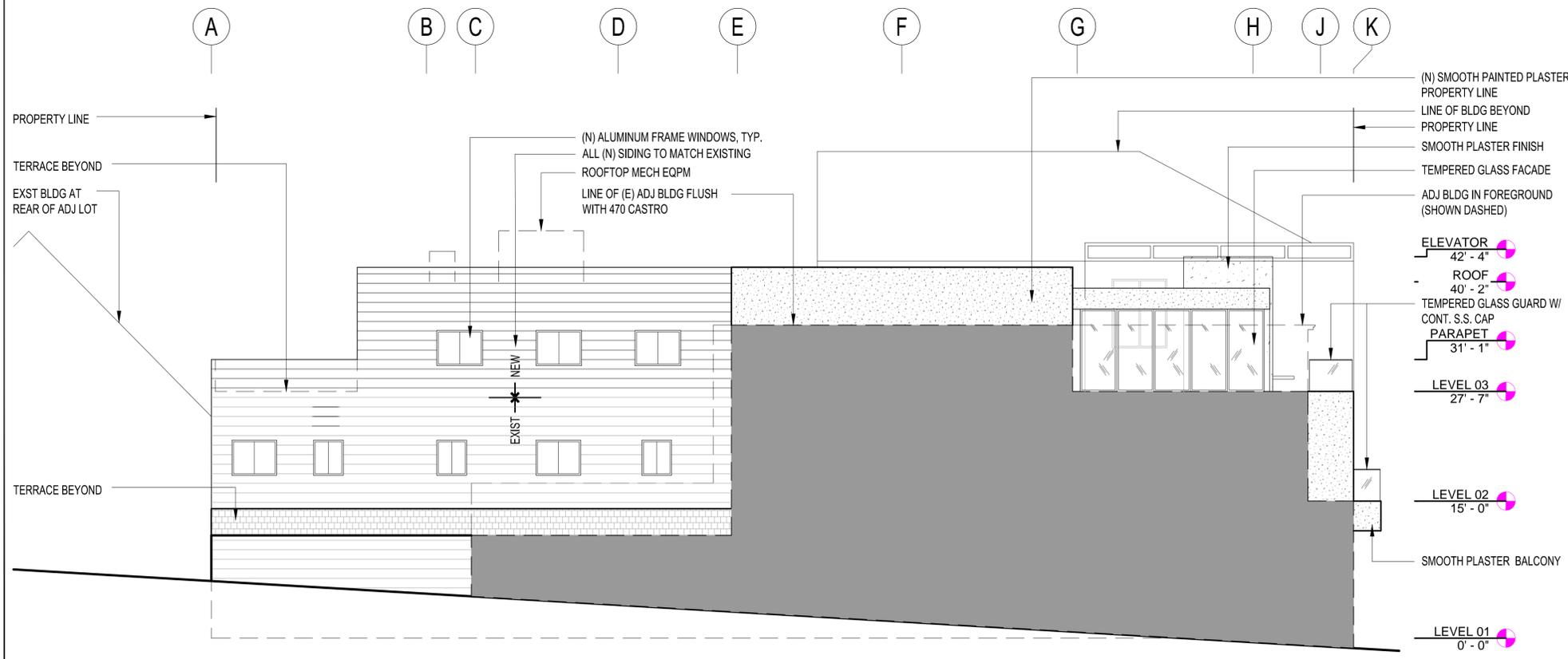
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Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB/LJP	BS
	CONDITIONAL USE APPLICATION		
	2 08-19-13	PB/LJP	
	CONDITIONAL USE APPLICATION		
	3 09-10-13	JB/PB	
	CONDITIONAL USE APPLICATION		

**SOUTH ELEVATION - EXISTING**  
SCALE: 1/8" = 1'-0"

**1**



**SHEET NOTES**

ALL GLAZING SUBJECT TO THE STANDARDS FOR IRD-SAFE BUILDING TO BE TREATED TO MEET THE REQUIREMENT OF SAN FRANCISCO PLANNING CODE SECTION 139

**SOUTH ELEVATION - NEW**  
SCALE: 1/8" = 1'-0"

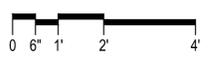
**2**

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A09-03  
Description  
EXTERIOR ELEVATION

Scale



**A09.03**

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**KEY NOTES**



- PARAPET  
37' - 0"
- ROOF  
34' - 3"
- LEVEL 02  
15' - 0"
- LEVEL 01  
0' - 0"

**STREET CONTEXT ELEVATION - EXISTING**

SCALE: 1/8" = 1'-0"

**1**



- ELEVATOR  
41' - 1"
- ROOF  
40' - 2"
- L. ROOF  
38' - 4 1/2"
- PARAPET  
31' - 1"
- LEVEL 03  
27' - 7"
- LEVEL 02  
15' - 0"
- LEVEL 01  
0' - 0"

**SHEET NOTES**

**STREET CONTEXT ELEVATION - NEW**

SCALE: 1/8" = 1'-0"

**2**

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Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB/LJP	BS
2	08-19-13	PB/LJP	
3	09-10-13	JB/PB	

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01,9106,000  
CAD File Name  
A09-04

Description  
EXTERIOR STREET WALL ELEVATION

Scale



**A09.04**

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**KEY NOTES**

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Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB/LJP	BS
	CONDITIONAL USE APPLICATION		
2	08-19-13	PB/LJP	
	CONDITIONAL USE APPLICATION		
3	09-10-13	JB/PB	
	CONDITIONAL USE APPLICATION		

**SHEET NOTES**

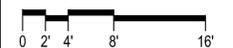
Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01.9106.000  
CAD File Name  
A09-10

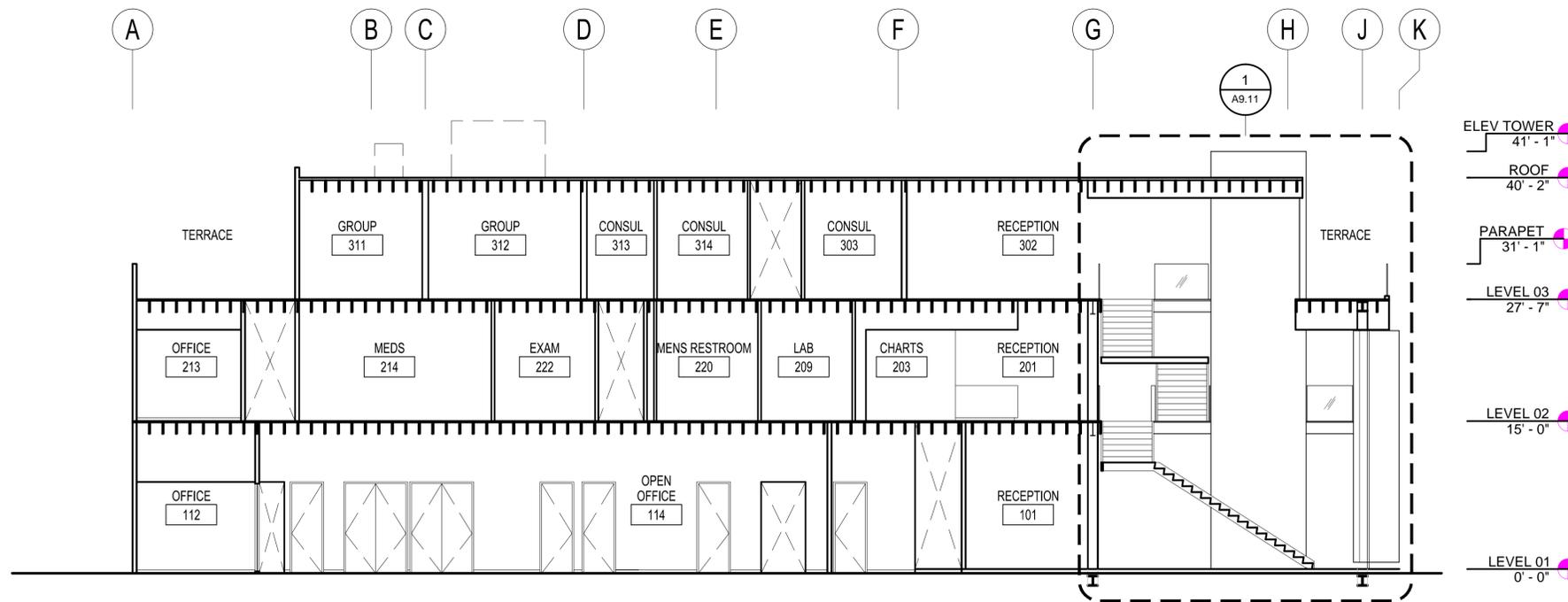
Description  
DIAGRAMMATIC SECTION

Scale



**A09.10**

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- ELEV TOWER 41' - 1"
- ROOF 40' - 2"
- PARAPET 31' - 1"
- LEVEL 03 27' - 7"
- LEVEL 02 15' - 0"
- LEVEL 01 0' - 0"

**DIAGRAMMATIC SECTION - NORTH**  
SCALE: 1/8" = 1'-0"

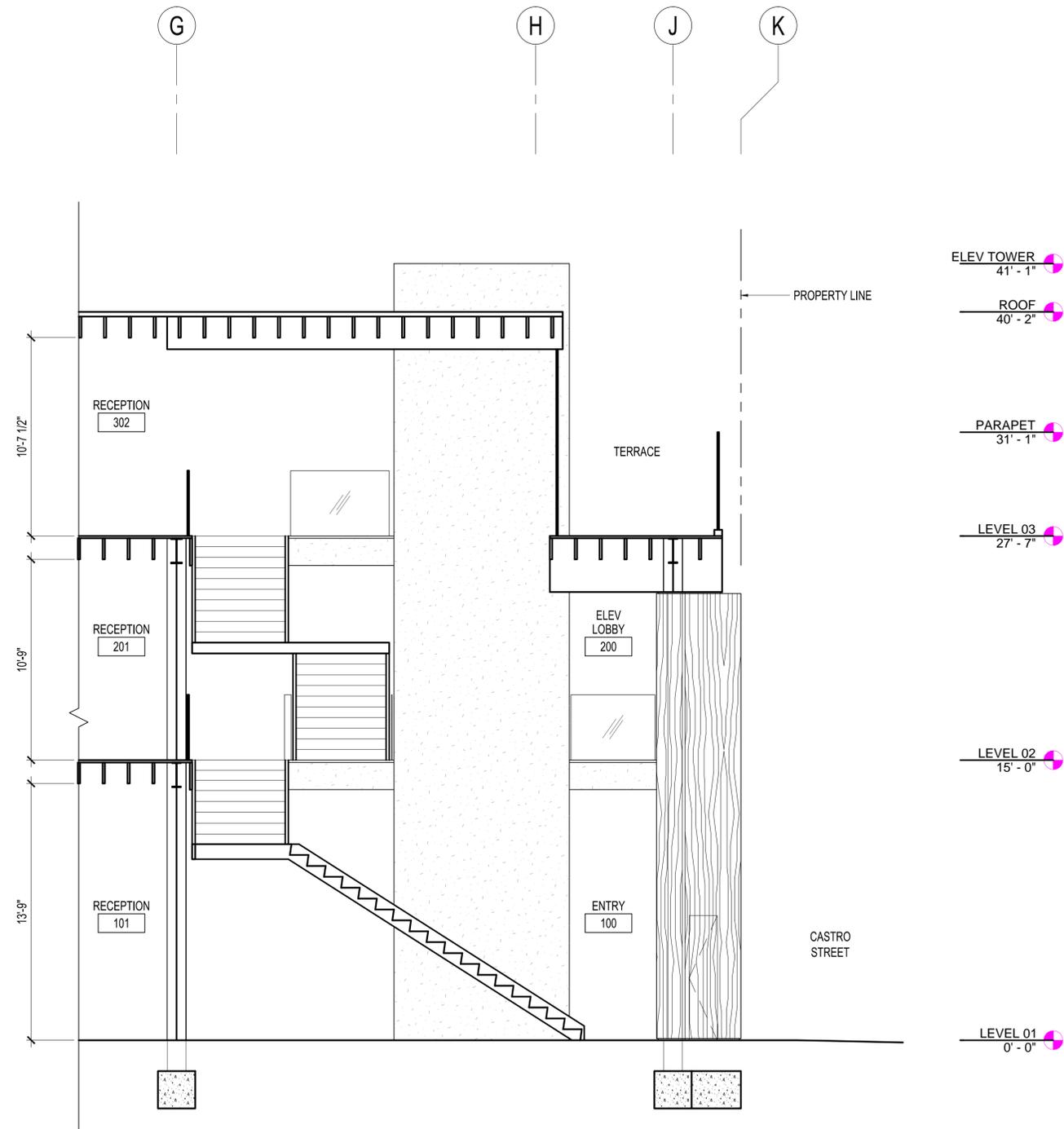
**KEY NOTES**

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**SHEET NOTES**

Issue	Date & Issue Description	By	Check
-	1 06-28-13	PB/LJP	BS
	CONDITIONAL USE APPLICATION		
2	08-19-13	PB/LJP	
	CONDITIONAL USE APPLICATION		
3	09-10-13	JB/PB	
	CONDITIONAL USE APPLICATION		

Seal/Signature

Project Name  
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Project Number  
H:/ 01,9106,000  
CAD File Name  
A09-10  
Description  
BUILDING SECTION

Scale



**A09.11**

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## LEGEND

- AREA NOT IN CONTRACT
- AREA UNDER CORE & SHELL PACKAGE
- OFFICE ROOM NAME  
1A25 ROOM NUMBER
- DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)
- NEW MILLWORK SCOPE (REFER TO ELEVATIONS / DETAILS)

## PARTITION TYPES

- EXISTING CONSTRUCTION TO REMAIN
- PARTITION TYPE A3A:** NEW NON-RATED PARTITION TO STRUCTURE ABOVE (REFER TO DETAIL 2 / A12.00) THROUGHOUT, U.O.N.
- PARTITION TYPE 1A3A:** NEW 1 HOUR RATED PARTITION TO STRUCTURE ABOVE (REFER TO DETAIL 2 & 3 / A12.00)
- PARTITION TYPE B3B:** NEW NON-HOUR RATED PARTITION TO 6" ABOVE CEILING (REFER TO DETAIL 5 / A12.00)
- PARTITION TYPE F0 / F1:** NEW NON-RATED FURRED PARTITION TO STRUCTURE ABOVE (REFER TO DETAIL 8 / A12.00)
- NEW ALUMINUM FRAMED GLAZED PARTITION. REFER TO DETAIL 4 / A12.10.

## KEYNOTES

NOTE: NOT ALL KEYNOTES ARE USED ON THIS SHEET

- 1 AT BREAKROOM MILLWORK INDICATED, PROVIDE:
  - A. UNDERMOUNT SINK: JUST MANUFACTURING US-ADA-1830-A-L.6 LEFT REAR OFFSET DRAIN
  - B. BREAKROOM FAUCET: GROHE ESSENCE
  - C. GARBAGE DISPOSAL: INSINKERATOR EVOLUTION EXCEL WITH AIR SWITCH
  - D. COPPER WATER LINE FOR COFFEE
  - E. CHRONOMITE INSTANT HOT WATER HEATER
- 2 PROVIDE FULLY RECESSED FIRE EXTINGUISHER: LARSENS SOLID PAINTED STEEL DOOR WITH TYPE A LETTERING MOUNTED AT 3'-0" TO CENTER OF CABINET.
- 3 PROVIDE BIKE MOUNT ON CEILING WHERE INDICATED: RACOR PBH-1R BIKE LIFT
- 4 PROVIDE BLOOD PASS THROUGH AT WALL INDICATED: BOBRICK B505.
- 5 PROVIDE HI/LOW DRINKING FOUNTAIN: ELKAY EDFP217C. REFER TO DETAIL 4/A11.20.
- 6 AT EXAM ROOM PROVIDE: PROVIDE PLUMBING CONNECTION SINK AND FAUCET N.I.C.
- 7 AT NICHE, PROVIDE COPPER WATER LINE FOR O.F.C.I. WATER DISPENSER.
- 8 PROVIDE ORION CUP URINE SINK CS7 AND FAUCET.
- 9 AT MILLWORK INDICATED PROVIDE:
  - A. UNDERMOUNT SINK: LAB SINK
  - B. BREAKROOM FAUCET: GROHE LADYLUX WITH 1.0 GPM AERATOR.
- 10 PROVIDE BRUSHED S.S. HANDRAILS AT RAMP
- 11 PROVIDE 4 - 2H LOCKERS (8 TOTAL)

## TYPICAL NOTES

1. ALL PARTITIONS THROUGHOUT TO BE A3A, U.O.N.
2. ANY WALL HUNG EQUIPMENT OR CABINETS TO HAVE METAL BACKING INSTALLED IN WALLS. REFER TO DETAIL 2/A12.01.
3. ALL NEW AND EXISTING DOORS IN THE PATH OF TRAVEL FULLY COMPLY WITH CBC 1133B.2. ALL EXISTING DOORS IN THE PATH OF TRAVEL NOT INDICATED ON A SCHEDULE BUT SHOWN ON PLAN EQUALLY COMPLY.
4. PROVIDE TACTILE SIGNAGE PER CODE. REFER TO DETAIL XX / A12.40.

Issue	Date & Issue Description	By	Check
1	08-23-13	PB / LJP	BS
BID/ CLIENT REVIEW (INTERIOR BUILD-OUT)			

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H/ 01.9106.000  
CAD File Name  
TI 02-01.dwg

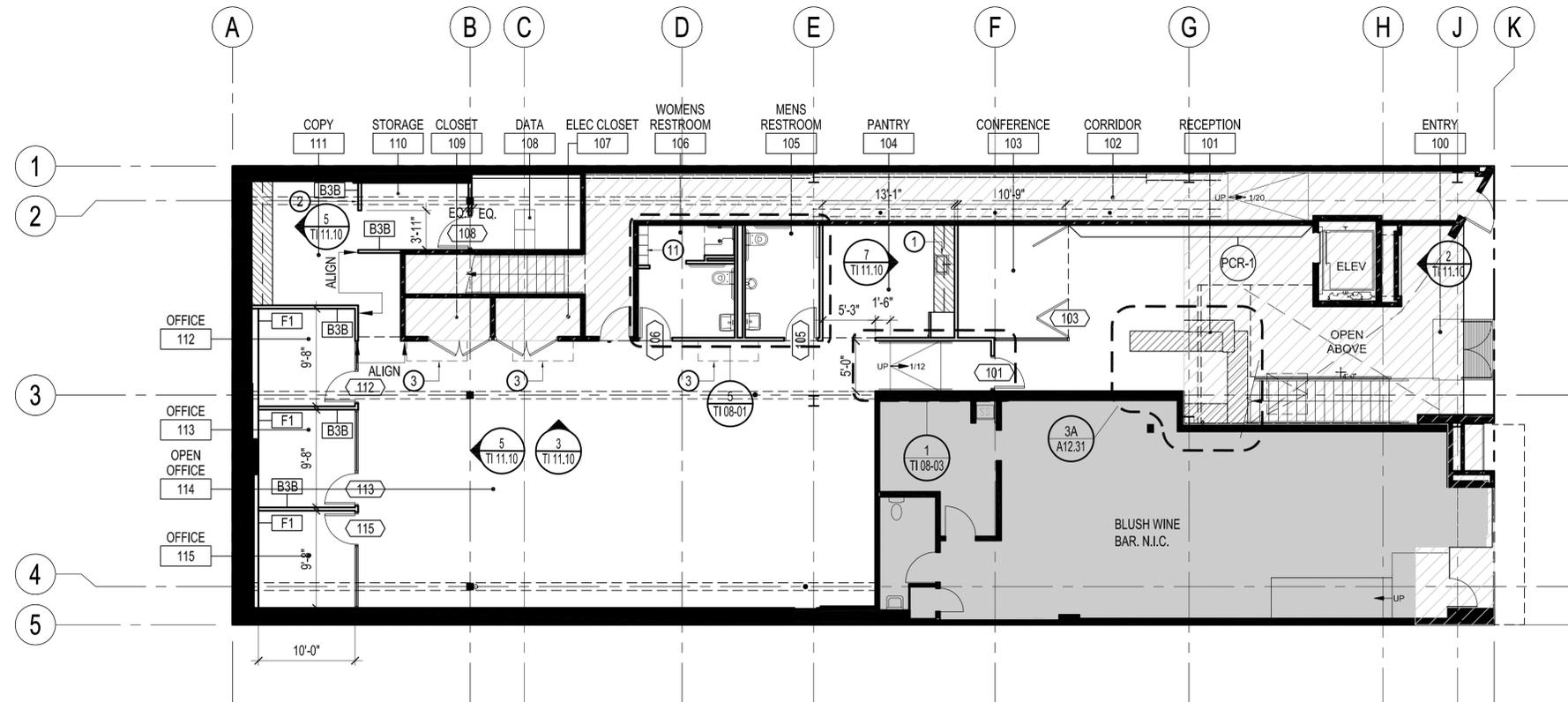
Description  
CONSTRUCTION PLAN  
BASEMENT & FIRST FLOOR

Scale



**TI 02-00/01**

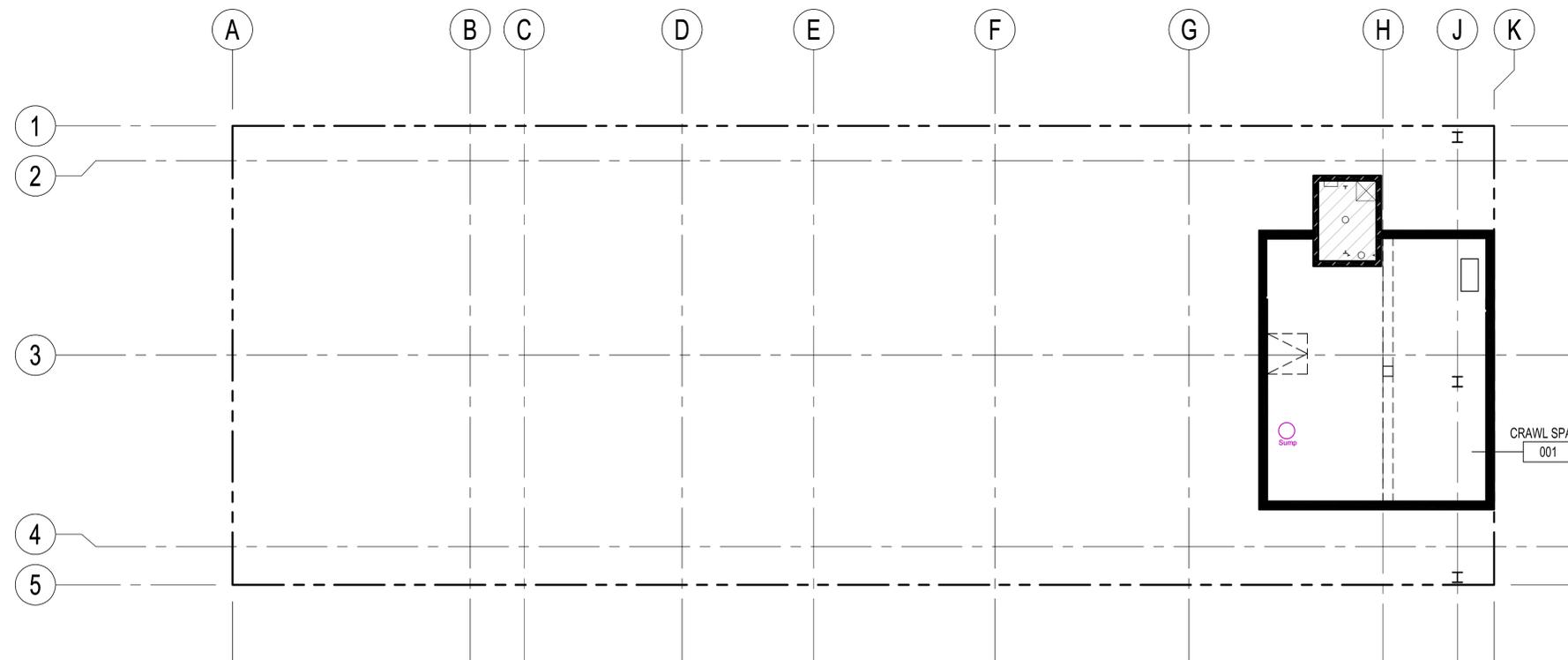
©2013 Gensler



## FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"

2



## BASEMENT CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"

1

# San Francisco AIDS Foundation

470 - 474 Castro Street  
San Francisco, CA 94114

2 Harrison Street  
Suite 400  
San Francisco, CA 94105  
Telephone 415.433.3700  
Facsimile 415.836.4599

## Gensler

### KEY NOTES

### LEGEND - RCP

REFER TO LIGHTING DRAWINGS FOR EXACT SPECIFICATIONS

- F1 RECESSED 1X4 TROFFER
- F2A 4" x 4" RECESSED CAN (ACT)
- F2B 4" x 4" RECESSED CAN (GYP)
- F3 RECESSED WALL WASH
- F8 SUSPENDED DIRECT/INDIRECT
- F9 LINEAR FLUORESCENT UPLIGHT
- F10 SURFACE MOUNT UNDERCABINET
- F13 LINEAR FLUORESCENT STRIP
- F14 SURFACE MOUNT LINEAR FLUORESCENT
- F15 LINEAR CONCEALED UPLIGHT

### SYMBOLS LEGEND

- GYPSUM CEILING**  
HEIGHT: 9'-0" U.O.N.  
FINISH: P-1 FLAT (U.O.N.)  
SPRINKLERS: FULLY RECESSED (WHITE CAP)  
HVAC DIFFUSERS: LINEAR TAPE IN STYLE  
ACCESS PANELS: INTEXFORMS SQUARE CORNERS (LAYOUT WITH ARCHITECT)  
DETAILS: 2/A12.20
- 2x2 LAY-IN ACT CEILING**  
HEIGHT: 9'-0" U.O.N.  
GRID: ARMSTRONG SUPRAFINE  
TILE: ARMSTRONG HEALTH ZONE ULTIMA 9/16" BEVELED TEGULAR  
SPRINKLERS: SEMI-RECESSED WITH WHITE TRIM (CENTER OF TILE)  
HVAC DIFFUSERS: 2X2 TEGULAR DIFFUSER  
DETAILS: 4,5,6,7,8,9 / A12.20
- OPEN TO STRUCTURE ABOVE**  
ALL HVAC UNITS / VAV'S TO BE LOCATED ABOVE ROOMS WITH CEILINGS. ALL EXPOSED HVAC, SPRINKLERS, CONDUITS, ETC. TO RUN PERPENDICULAR / PARALLEL TO BUILDING STRUCTURAL GRID AND TIGHT 90 DEGREE TURNS WHERE REQUIRED. AL DEVICES IN CEILING TO BE WHITE AND ATTACHED DIRECTLY TO STRUCTURAL ELEMENT
- 1 HR FIRE RATED GYP. BOARD CEILING**  
HEIGHT: 9'-0" U.O.N.  
DETAILS: TO FOLLOW

Issue	Date & Issue Description	By	Check
1	08-23-13	PB / LJP	BS
BID/ CLIENT REVIEW (INTERIOR BUILD-OUT)			

Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H/ 01.9106.000  
CAD File Name  
TI 04-01.dwg

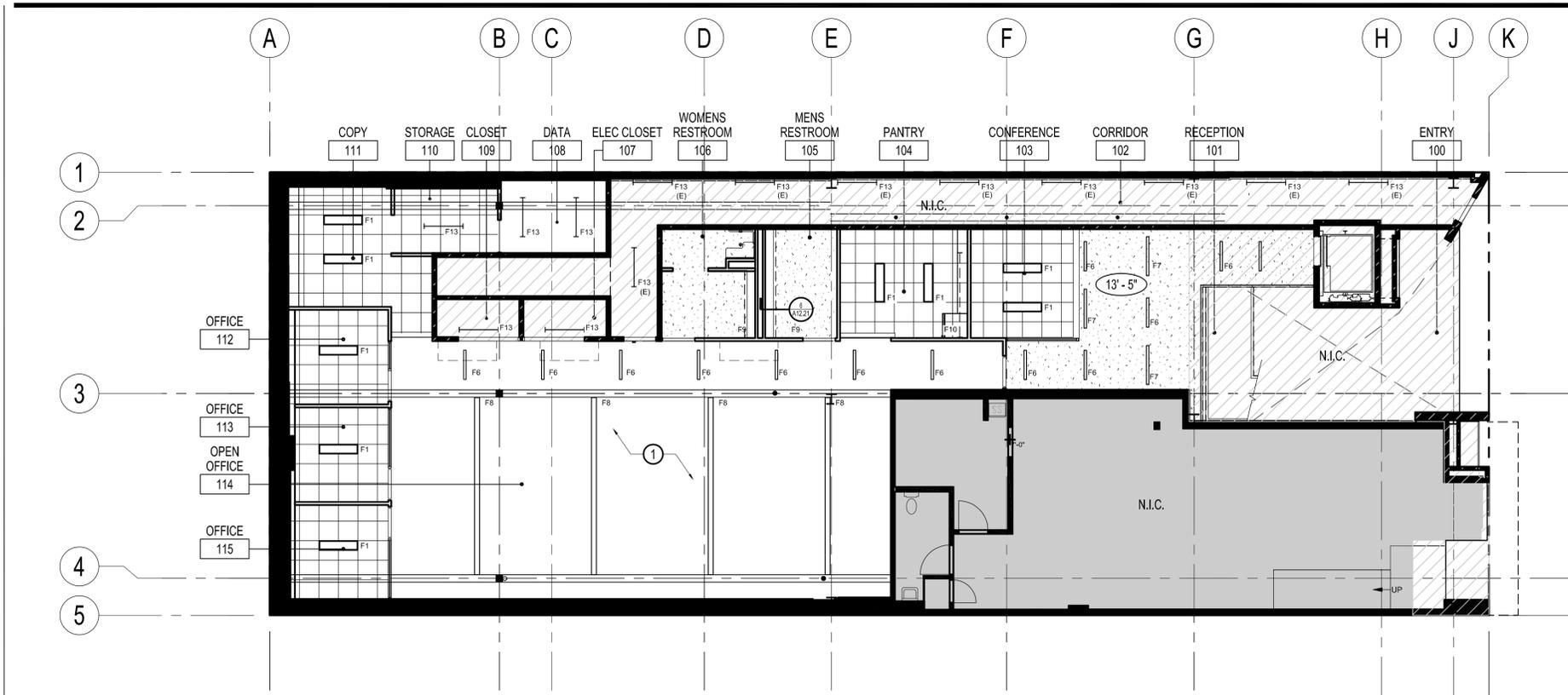
Description  
REFLECTED CEILING PLAN  
BASEMENT & FIRST FLOOR

Scale



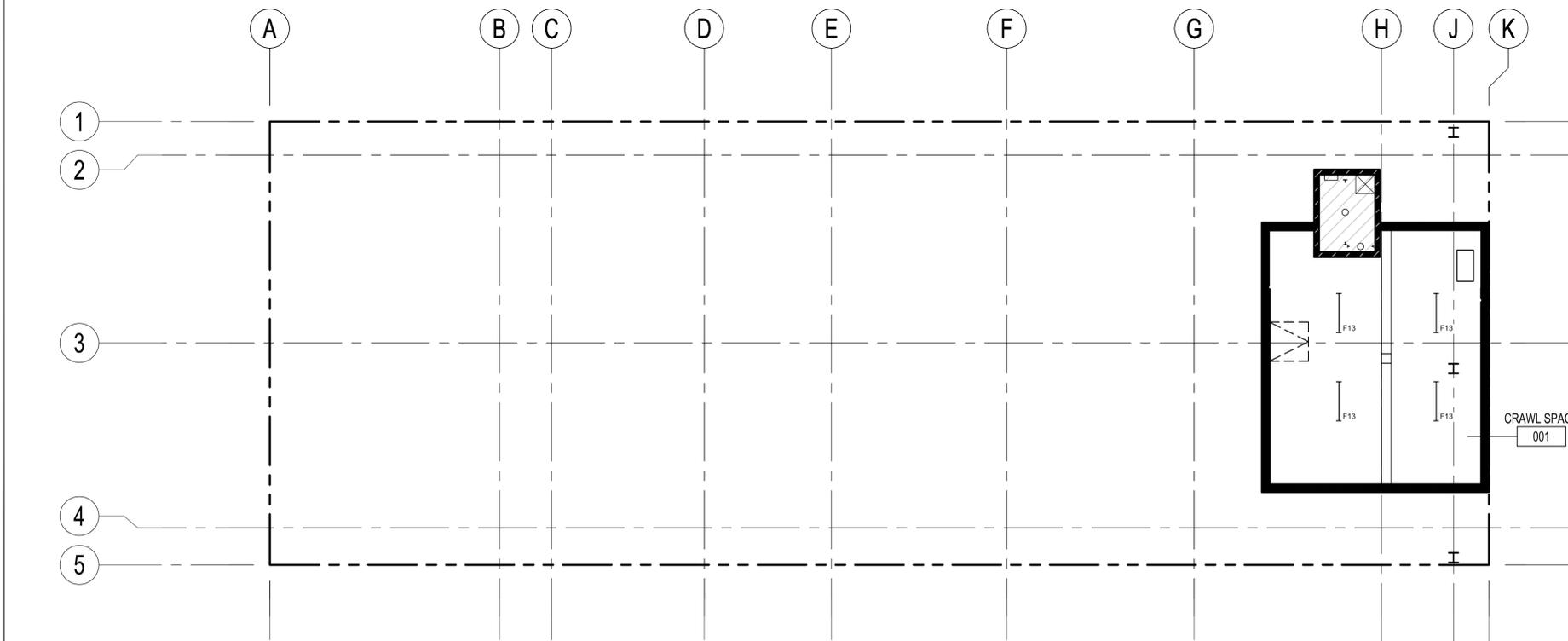
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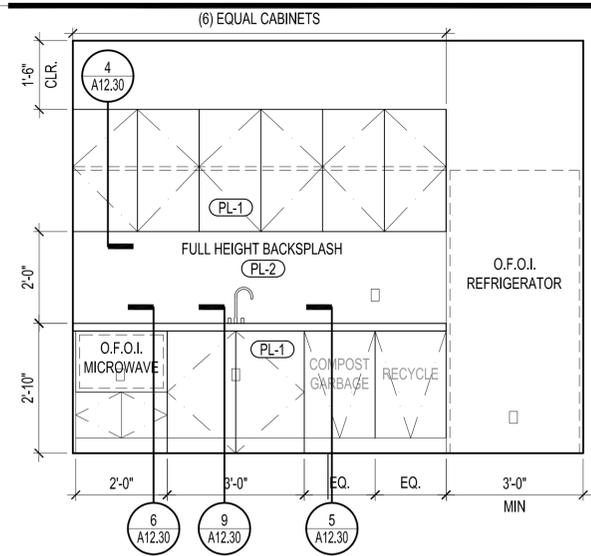
**FIRST FLOOR RCP**  
SCALE: 1/8" = 1'-0"

2

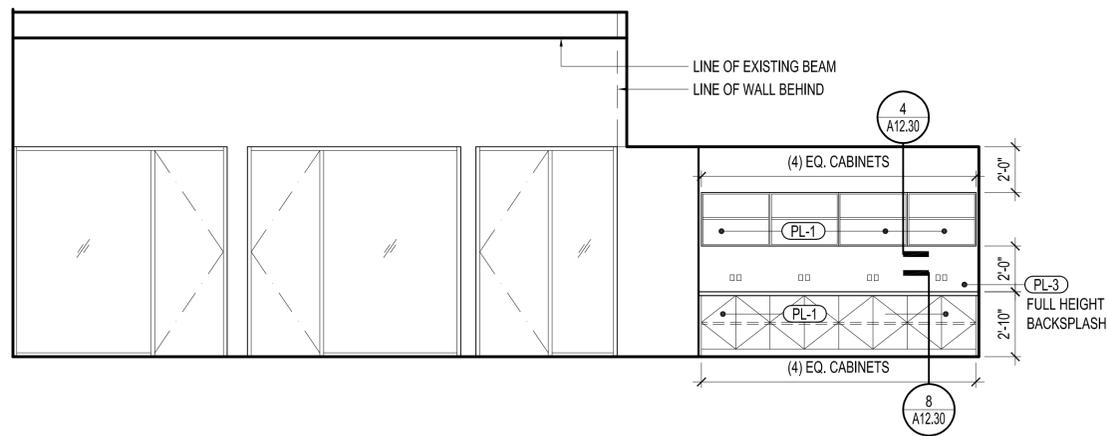


**BASEMENT RCP**  
SCALE: 1/8" = 1'-0"

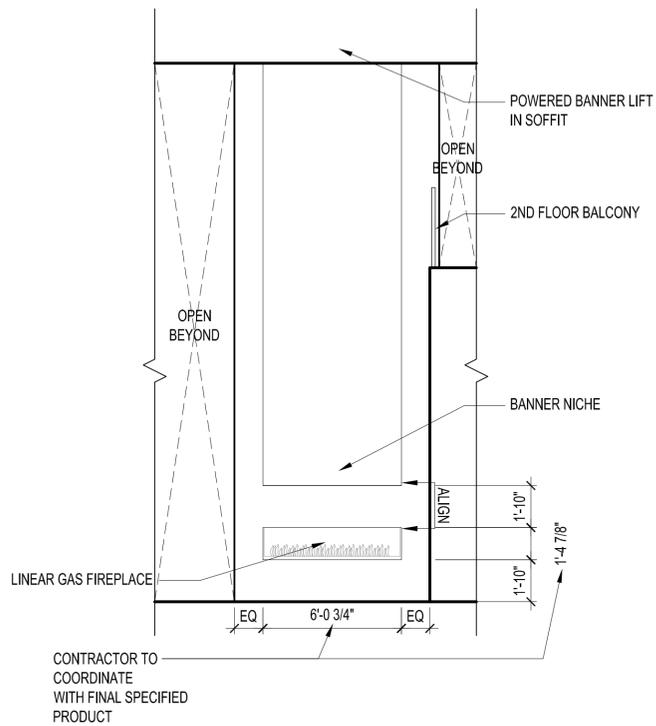
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**BREAKROOM ELEVATION: 1ST FLOOR 7**  
SCALE: 1/2" = 1'-0"

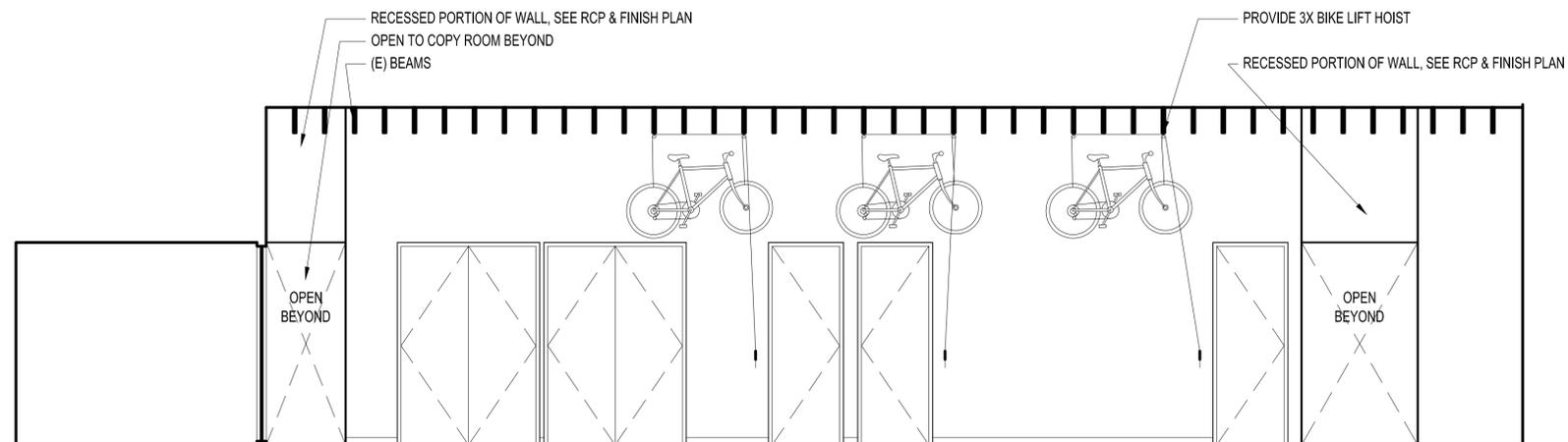


**1ST FLOOR ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"



**5 1ST FLOOR ENTRY**  
SCALE: 1/8" = 1'-0"

**2 SHEET NOTES**



**1ST FLOOR ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"

**3**

**KEY NOTES**

**San Francisco AIDS Foundation**

470 - 474 Castro Street  
San Francisco, CA 94114

**Gensler**  
2 Harrison Street  
Suite 400  
San Francisco, CA 94105  
Telephone 415.433.3700  
Facsimile 415.836.4599

Issue	Date & Issue Description	By	Check
- 1	08-23-13	PB / LJP	BS
BID/ CLIENT REVIEW (INTERIOR BUILD-OUT)			

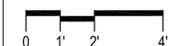
Seal/Signature

Project Name  
San Francisco AIDS Foundation

Project Number  
H:/ 01.9106.000  
CAD File Name  
TI 11-10

Description  
INTERIOR ELEVATIONS 1ST FLOOR

Scale



**TI 11.10**



## Conditional Use Application

Supplementary Information - September 6th, 2013

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Shadow Studies p.3-4

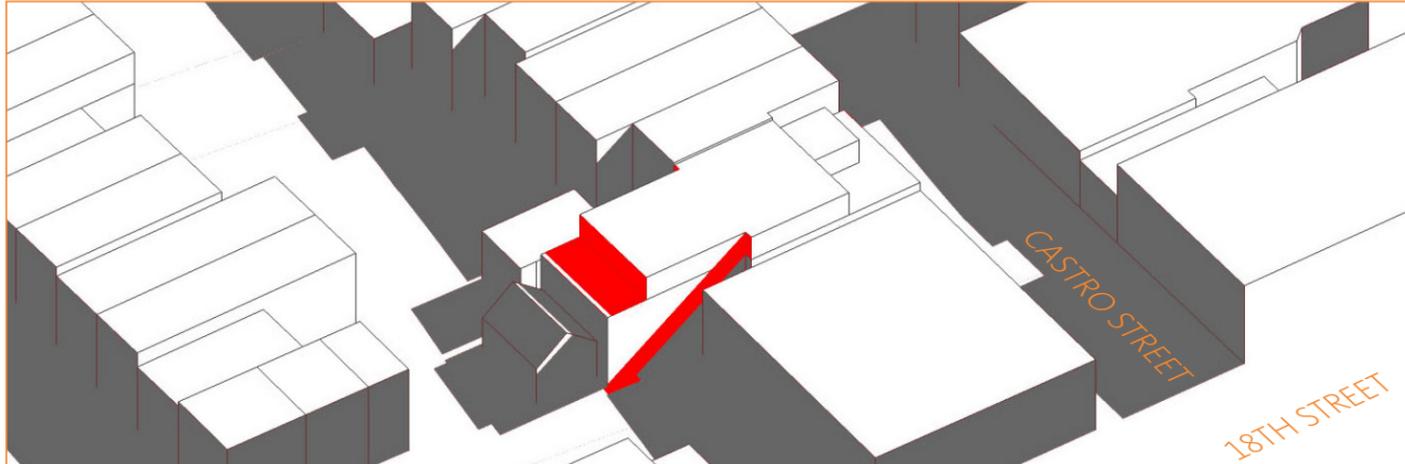
Renderings p.5-8

Exterior Materials p.9

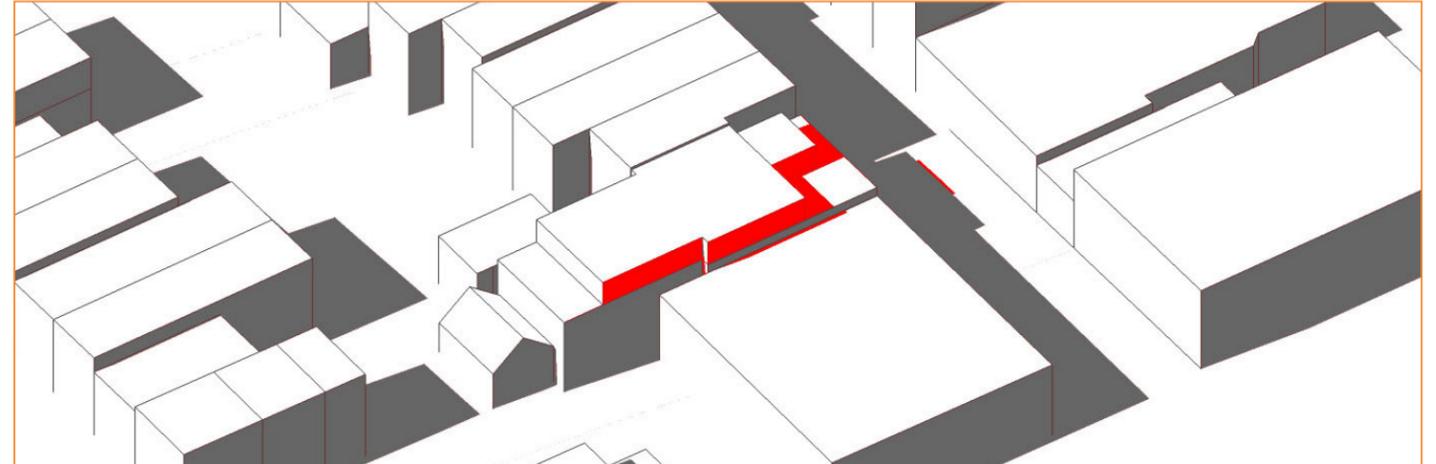
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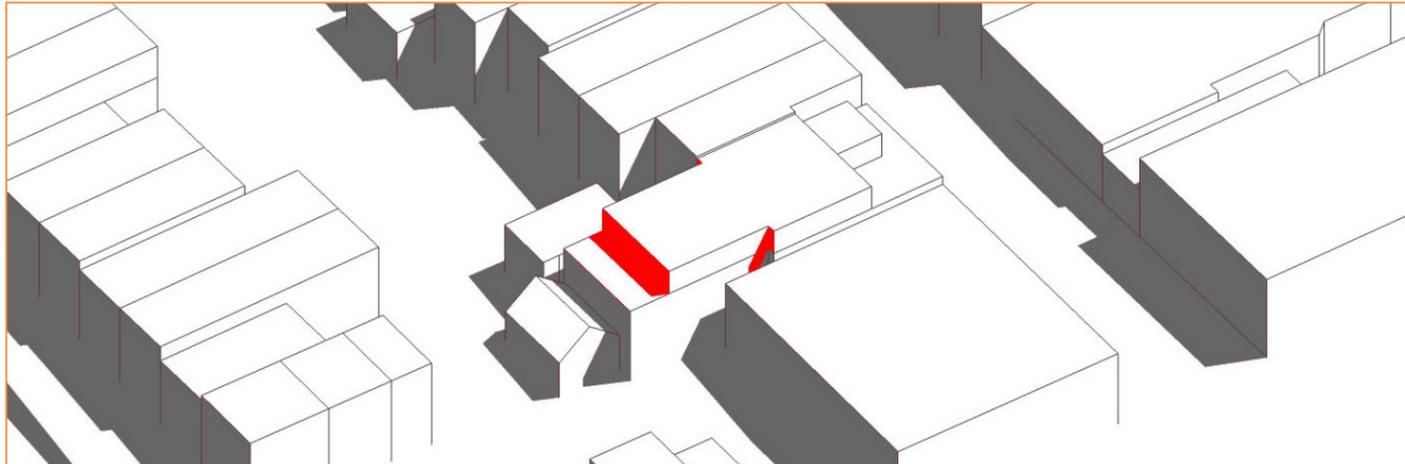
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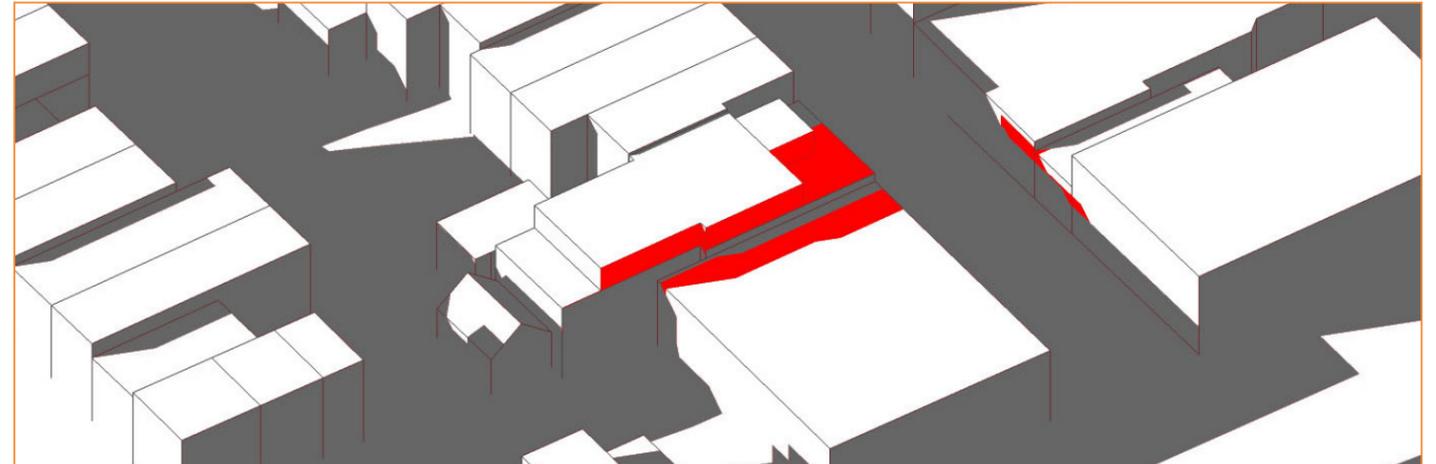
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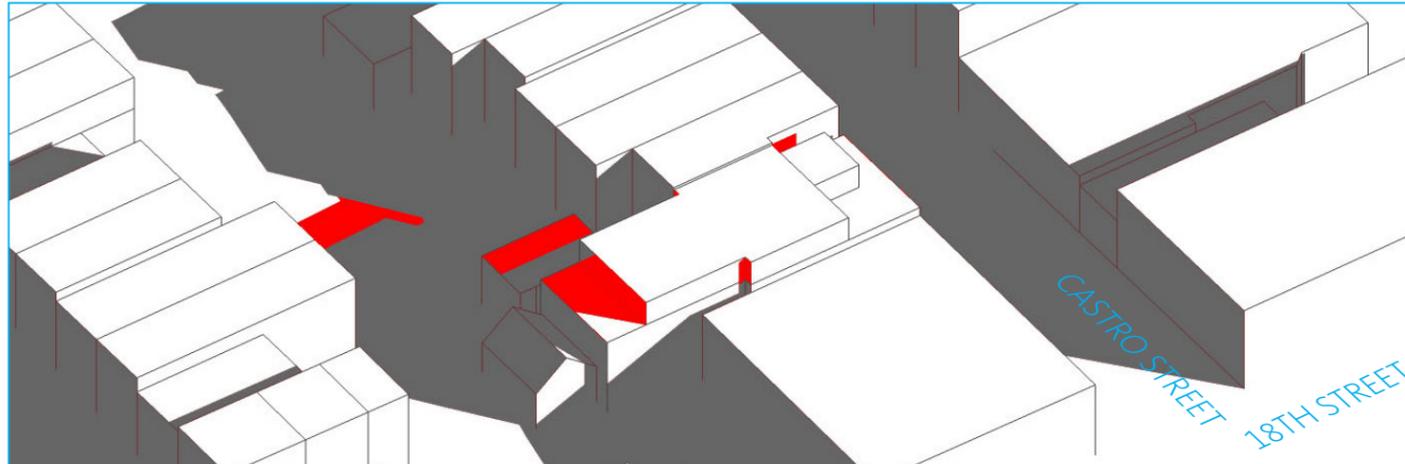


6 PM



# DECEMBER

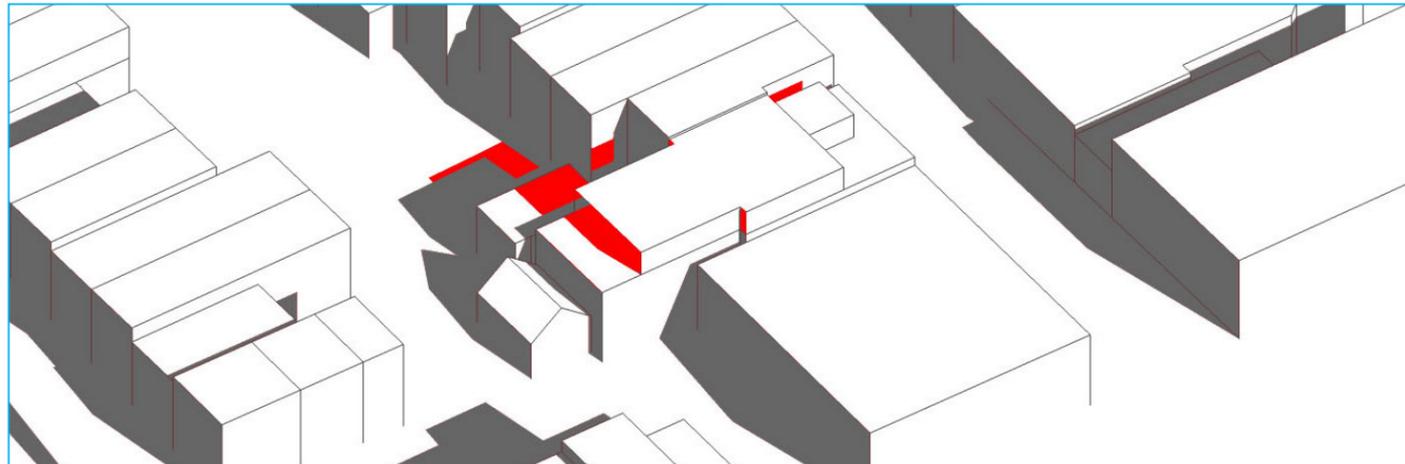
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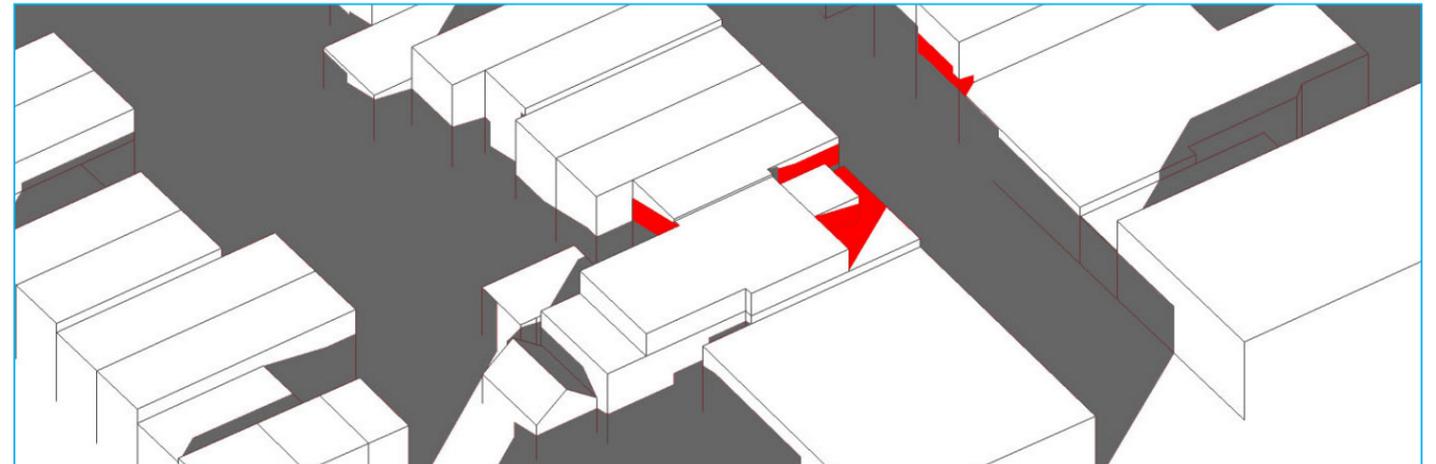
2 PM



11 AM



4 PM









**Gensler** September 6th, 2013 **RENDERED EXTERIOR VIEW - CLOSE UP 1**



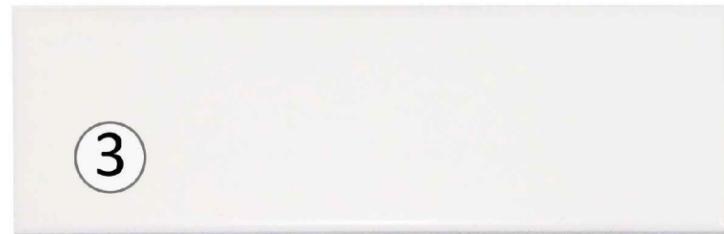




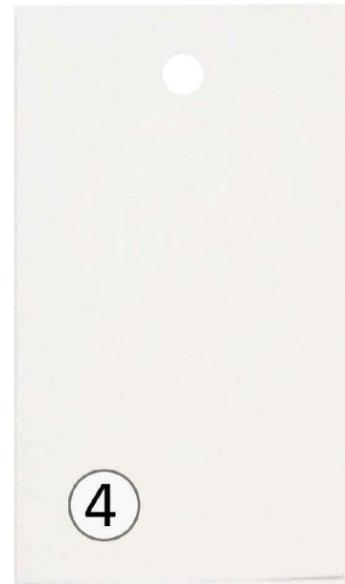
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2



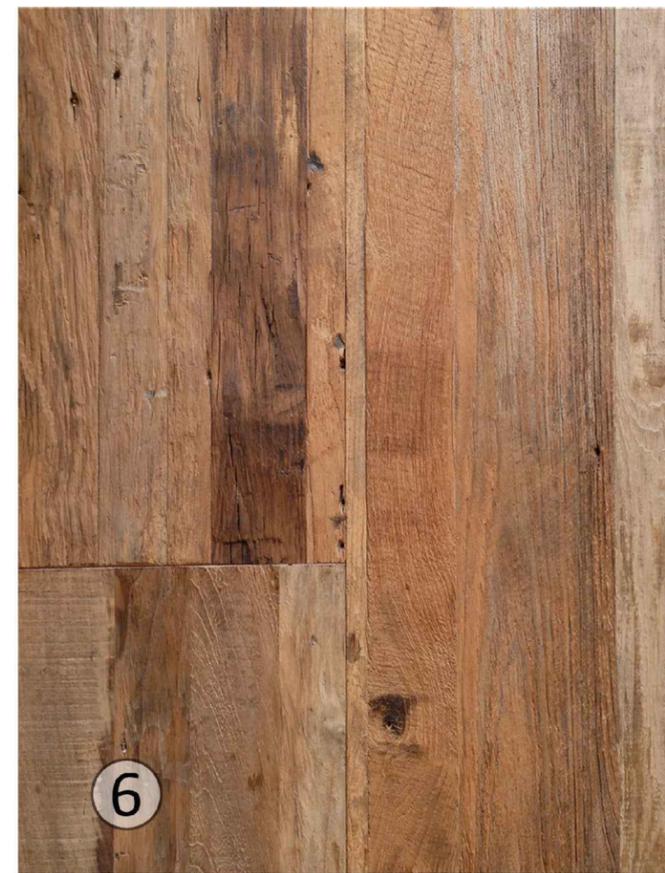
3



4



5



6

① CLEAR INSULATED GLASS UNIT

② LOW-IRON TEMPERED GLASS

③ LACQUERED WOOD / METAL

④ SMOOTH, PAINTED PLASTER

⑤ STAINLESS STEEL HARDWARE

⑥ RECLAIMED WOOD CLADDING ON ENTRY PORTAL

NOTE: SEE ELEVATIONS FOR LOCATIONS OF MATERIALS.

# Exhibit C



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

## Certificate of Determination EXEMPTION FROM ENVIRONMENTAL REVIEW

*Case No.:* 2013.0160E  
*Project Address:* 470-476 Castro  
*Block/Lot:* 2647/012  
*Current Zoning:* Castro Neighborhood Commercial District (Castro NCD)  
40-X Height and Bulk District  
*Project Sponsor:* San Francisco AIDS Foundation  
*Staff Contact:* Laura Lynch – (415) 575-9045  
Laura.Lynch@sfgov.org

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION:

The San Francisco AIDS Foundation, the project sponsor, has proposed to consolidate three existing programs, which are currently housed at three separate locations, onto the project site at 470-476 Castro Street. These programs include counseling, health-related services, community building and social services.

(Continued on reverse side)

### EXEMPT STATUS:

Categorical Exemption, Class 1 (California Environmental Quality Act (CEQA) Guidelines Section 15301(e)(2))

### REMARKS:

Please see next page.

### DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and Local requirements.

SARAH B. JONES  
Environmental Review Officer

September 30, 2013  
Date

cc: SF Aids Foundation, Project Sponsor  
Scott Wiener, Supervisor, District 8  
Spec., Jessica Look, SW Quadrant

Gretchen Hilyard, Historic Preservation Tech  
Virna Byrd, M.D.F

**PROJECT DESCRIPTION (continued):**

The project site is located on the western side of Castro Street, in the block bounded by Market, Collingsworth and 18<sup>th</sup> streets. The existing two-story, 35-foot-tall building on the project site contains 5,625 square feet (sq. ft.) of retail use on the first floor, and 5,338 sq. ft. of office use on the second floor for a total of approximately 10,963 sq. ft. The proposed project would require a change of use from retail to Large Institution and include a 3,750 sq. ft., one-story addition, which would result in an approximately 40' structure. There is currently no off-street vehicular parking or loading, and none is proposed. The project would require a variance for the proposed balcony and a Conditional Use Authorization for the new use of Large Institution to exceed 4,000 sq. ft.

The proposed project is subject to notification under Section 306.3 of the Planning Code. The Planning Commission Hearing associated with the Conditional Use Application would constitute the Approval Action for the project.

**Remarks:****Historic Resources**

In evaluating whether the proposed project would be exempt from environmental review under the California Environmental Quality Act (CEQA), the Planning Department must first determine whether the building at 470 Castro is a historical resource as defined by CEQA. A property may be considered a historic resource if it meets any of the California Register of Historical Resources criteria related to (1) Events, (2) Persons, (3) Architecture, or (4) Information Potential or if it is within a potential historic district.

Preservation staff conducted a Historic Resource Evaluation Response Part I (HRER Part I). Staff compiled Planning Department files and additional research on the historic context of the Eureka Valley/ Castro Street neighborhood. Preservation staff concluded there is a potentially eligible Eureka Valley/ Castro Street Commercial Historic District and it appears to be eligible for listing in the California Register under Criterion 1 (Events) as an intact example of a late-19<sup>th</sup> century streetcar suburb in San Francisco, and for its association with the consolidation of San Francisco's Lesbian, Gay, Bisexual, Transgender (LGBT) community in the 1970s. Preservation staff also evaluated 470 Castro Street in detail for both individual and district eligibility. The HRER Part I determined that since the building has been heavily modified; the subject property is a non-contributor to the eligible Eureka Valley/ Castro Street Commercial Historic District. The building is not individually distinctive such that it would individually qualify under Criterion 1 (Events).

The HRER Part I went on to evaluate whether the subject property met any of the other California Register of Historical Resources criteria as an individual resource. Criterion 2 (Persons) was analyzed and based on information provided by the project sponsor, subsequent research, and Planning Department records, it was determined that no persons of known historical significance have been

---

1 San Francisco Planning Department, *Historic Resource Evaluation Response, Part I*, May 31, 2013. This document is summarized and apart of the case number 2013.0160E and can be reviewed at the San Francisco Planning Department reception, 1650 Mission Street, San Francisco, CA

associated with the subject building. Therefore, the 470 Castro Street property is not eligible for listing in California Register under Criterion 2 either individually or as part of the potentially historic district.

The property has undergone several rounds of façade alterations and the current exterior represents a 1977 appearance. Based on the alterations of the building and the review of the surrounding neighborhood, the property is not individually eligible under Criterion 3 (Architecture). In addition the subject property is not a rare building type and according to Planning Department records, the property is not eligible under Criterion 4 (Information), which is generally associated with archaeological resources.

The HRER Part I concluded that the subject property was determined to be a non-contributor to the potentially eligible historic district, as its current appearance post-dates the periods of significance identified for the district. The building was also found to be ineligible for individual listing due to lack of historic significance and integrity.

The potential district as a whole should be considered a resource for CEQA purposes, and any work done to 470 Castro should be evaluated to ensure there is no potential to materially impair the eligible district. In response to this determination, preservation staff completed a Historic Resource Evaluation Response Part II<sup>2</sup>. This report evaluated whether the proposed project would materially impact the eligible district as a historic resource and identified any modifications to the proposed project that may reduce or avoid impacts.

Staff concluded that the proposed project would not cause a significant adverse impact to a historic resource such that the significance of a historic resource would be materially impaired. The proposed project would involve the alteration of a non-contributing property within the Eureka Valley/Castro Street Commercial Historic District. The proposed project would not result in the removal of any character defining features of the district and would not materially impair the significance of the eligible historic resource.

### **Shadow**

Section 295 of the Planning Code was adopted in response to Proposition K (passed November 1984). Planning Code Section 295 mandates that new structures above 40 feet in height that would cast additional shadows on properties under the jurisdiction of, or designated to be acquired by, the Recreation and Parks Department (RPD) can only be approved by the Planning Commission (based on recommendation from the Recreation and Parks Commission) if the shadow is determined to be insignificant or not adverse to the use of the park. A shadow fan analysis for the proposed change in height for the parcel at 470-476 Castro Street was prepared in compliance with Section 295 of the Planning Code. The shadow analysis found that shadows cast by the proposed project would not shade Section 295 Open Space.

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<sup>2</sup> San Francisco Planning Department, *Historic Resource Evaluation Response, Part II*, September 30, 2013. This document is available for review as part of the case number 2013.0160E at the San Francisco Planning Department, suite 400, 1650 Mission Street, San Francisco, CA.

The proposed increase in height at 470-476 Castro Street would potentially result in increased shadows on the adjacent properties. However, reduction in the amount of lighting into a private parcel resulting from development on an adjacent parcel would not be considered a significant physical environment impact under CEQA.

The increase in height at 470-476 Castro Street would also shade portions of nearby streets and sidewalks at times within the project vicinity. These new shadows would not exceed levels commonly expected in urban areas, and would be considered a less-than-significant effect under CEQA. For this reason, the proposed legislation would not result in a significant impact with regard to shadow

**Exemption Class.**

Under CEQA State Guidelines Section 15301(e)(2), or Class 1(e)(2), additions to existing structures of up to 10,000 sq. ft. are exempt from environmental review provided that the project is located in an area where all public services and facilities are available and the area is not environmentally sensitive or a designated historic district. The proposed project would increase the existing 10,963 sq. ft. floor area by approximately 3,750 sq. ft., substantially less than 10,000 square feet. Therefore, the proposed project would be exempt from environmental review under Class 1.

**Summary.**

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would not have significant impacts on historical resources. The proposed project would have no significant environmental effects. The project would be exempt under the above-cited Class 1. For the above reasons, the proposed project is appropriately exempt from environmental review.



# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Resource Evaluation Response

*Date* September 23, 2013  
*Case No.:* 2013.0160E  
*Project Address:* 470 Castro Street  
*Zoning:* Castro Street NCD (Neighborhood Commercial District)  
40-X Height and Bulk District  
*Block/Lot:* 2647/012  
*Date of Review:* May 31, 2013 (Part I)  
September 23, 2013 (Part II)  
*Staff Contact:* Gretchen Hilyard (Preservation Planner)  
(415) 575-9109  
[gretchen.hilyard@sfgov.org](mailto:gretchen.hilyard@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

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## PART II: PROJECT EVALUATION

### PRE-EXISTING HISTORIC RATING / SURVEY

The subject property, 470 Castro Street, is located on a rectangular-shaped lot measuring 45 feet by 125 feet on the west side of Castro Street between Market and 18th streets in the Castro neighborhood of San Francisco. The property was constructed in 1907 and was heavily modified in the 1960s and 1970s. The property is located within the Castro Street Neighborhood Commercial Zoning District and a 40-X Height and Bulk District. The property is located within the boundaries of the eligible Eureka Valley/Castro Street Commercial Historic District, identified in the Historic Resource Evaluation Response dated May 31, 2013. The property is considered a non-contributor to the district.

Based on its location within the boundaries of an eligible historic district, 470 Castro Street is considered a "Category A.2 – Historical Resource" (Properties that have been determined to appear or may become eligible for the California Register) for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures.

The character-defining features of the eligible Eureka Valley/Castro Street Commercial Historic District include but are not limited to:

- Proximity to the former Castro Street/Market Street Railway cable car line;
- Mixed-use (commercial ground floor and residential upper story use);
- Continuous street wall;
- Two-to-three story height;
- Wood frame construction;
- Wood and stucco cladding materials;
- Traditional storefronts configuration (bulkhead, recessed entry, large storefront windows, and glazed transom);

- Pent roof parapets, many covered with clay tile;
- Victorian-era or Edwardian-era detailing on upper stories such as ornate window and door surrounds, cornices, brackets and paneling;
- Double-hung, wood-sash windows; and
- Square or angled bay windows.

---

**PROPOSED PROJECT**

Demolition    Alteration    New Construction

**PER DRAWINGS DATED:**

September 10, 2013, by Gensler

**PROJECT DESCRIPTION**

The proposed project includes renovation of approximately 11,000 sf of an existing building located at 470-474 Castro Street. The existing wood-frame buildings was constructed in 1907 and modified to its current appearance in 1977. The proposed project is to create a new headquarters and offices for the San Francisco Aids Foundation, as well as rehabilitation of the existing ground floor retail tenant space. Specifically the project will include:

- Demolition of all existing interior finishes and non-bearing wall construction of the office tenant space;
- Demolition of the existing staircase and elevator serving the upper floors;
- Removal of the existing storefront on the ground floor, balcony, fire escape, windows and façade on the upper floors;
- Construction of an approximately 3,750 sf third floor addition;
- Construction of a new roof deck with glass guardrail;
- Installation of a new double-height glass storefront system, balcony and entry portal;
- A full seismic upgrade to stabilize the existing building and support the new third floor;
- New HVAC, plumbing, and electrical systems; and expansion of the existing sprinkler system;
- New open staircase located towards the eastern façade to serve all three floors;
- New elevator and restrooms;
- New secondary staircase and fire rated corridor exiting onto Castro Street;
- New tenant improvements for office tenant;
- New stucco and glass curtain wall façade; and
- The existing commercial tenant space to the south of the ground floor storefront will be retained and rehabilitated with a new storefront and projecting balcony (current tenant Blush Wine Bar).

## PROJECT EVALUATION

*If the property has been determined to be a historic resource in Part I, please check whether the proposed project would materially impair the resource and identify any modifications to the proposed project that may reduce or avoid impacts.*

### Subject Property/Historic Resource:

- The project will not cause a significant adverse impact to the historic resource as proposed.
- The project will cause a significant adverse impact to the historic resource as proposed.

### California Register-Eligible Historic District or Context:

- The project will not cause a significant adverse impact to a California Register-eligible historic district as proposed.
- The project will cause a significant adverse impact to a California Register-eligible historic district as proposed.

Staff finds that the proposed project would not cause a significant adverse impact to a historic resource such that the significance of a historic resource would be materially impaired. The proposed project involves alteration of a non-contributing property within the eligible Eureka Valley/Castro Street Commercial Historic District. The proposed project would not result in the removal of any character-defining features of the district and would not materially impair the significance of the eligible historic resource.

The following is an analysis of the new construction per the applicable *Secretary of the Interior Standards for Rehabilitation* (Secretary's Standards):

#### **Standard 2.**

*The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property will be avoided.*

As a non-contributing building within the eligible Eureka Valley/Castro Street Commercial Historic District, existing exterior features and materials of the subject building are not historic. The project will not remove distinctive materials, nor irreversibly alter features that characterize the district. However, the proposed exterior alterations include a complete façade remodel and introduction of materials, forms, and features that are not entirely consistent with the character of the district and result in some alteration of the spatial relationships of the district. Features of the project that are uncharacteristic of the district include: double-height storefront with large expanses of glazing, double-height vertical wood elements, irregularly recessed entry, visible roof deck with glass railing, elevator penthouse and rooftop addition. The proposed project varies from the district, which is characterized by a pattern of traditional one-story storefronts with upper story residential flats and apartments.

Therefore, the proposed project does not fully comply with Rehabilitation Standard 2.

*Standard 9.*

*New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

While no historic materials of the eligible Eureka Valley/Castro Street Commercial Historic District will be removed, the proposed project introduces new forms, materials, massing and architectural features that are not entirely in character with the district. Differentiation is important to articulate the building as a contemporary design. Standard 9 also requires that designs be detailed to reference the character-defining features of the district in order to achieve compatibility. The new design responds to the surrounding historic context in its overall height. However, the scale, massing and architectural features of the proposed project are not entirely consistent with the character of the district. The new building includes a double-height ground story, non-traditional storefront configuration, introduction of new materials, and rooftop features that introduce an atypical architectural language within the district.

The project responds to the vertical orientation of projections and fenestration patterns of other buildings in the district through the breaking up of the façade into two vertically proportioned areas: one consisting of a storefront/balcony/glazed set of stacked element, and the other characterized by the vertical glazing and wood components. The proposal also introduces guardrail details intended to reference the district's finer-grained ornamentation.

The double-height ground floor does not directly correspond to the clear pattern of one-story, pedestrian-scaled storefronts in the district. The double-height storefront creates a break with the street wall, which has a clear one-story ground floor pattern. The proposed projecting balcony on the retail tenant space serves to break up the double-height storefront and references the characteristic transoms seen throughout the district. This balcony element does not carry across the entire storefront. The single horizontal joint in the glazing references the height of the balcony and helps to break up the double-height glazing.

The absence of a continuous bulkhead is a departure from the typical storefront pattern seen throughout the district. The proposed storefront is designed nearly entirely of glass with the exception of a 6-inch lacquered wood bulkhead in the retail tenant portion of the ground floor, kick plates on the main entry doors, and a baseboard treatment at the bottom of each of the vertical wood elements. The 6-inch bulkhead helps to ground the building, but this reference is not as substantial as other comparable features, and does not carry consistently across the northern section of the storefront.

The materials of the new design include: stainless steel (hardware), lacquered wood (bulkhead), insulated glazing (storefront, addition, and glass doors), low-iron tempered glass (railings), reclaimed wood cladding (entry portal), and painted smooth stucco (balcony, addition, and solid exterior walls). There is some precedent for stucco exterior walls in the district, but the other proposed materials are not typically present in the district.

The district includes a predominant pattern of two and three story buildings with flat and gable roofs concealed behind high parapets. Some roofs feature pent roof parapets and ornamented projecting cornices. The consistent rooflines are a character-defining feature of the district that provides a strong capping element to each building as well as a consistent horizontal line articulating the top of the street wall. The proposed project includes the creation of a third floor addition setback approximately 30 feet

front the front of the property with an exposed roof deck that extends to the front building wall and terminates in a glass railing with stainless steel detailing. An elevator penthouse is set back approximately 8 feet from the front of the property. The setback of the addition and the ornamental stainless steel railing details provides some compatibility with the district.

The design of the proposed project is clearly differentiated as a contemporary addition to the district and some elements are compatible with the character of the district. The new design does not sufficiently reference the character-defining features of the district to provide compatibility with the surrounding historic context. However, the essential form and integrity of the district would be unimpaired.

Therefore, the proposed project does not fully comply with Rehabilitation Standard #9.

**Standard 10.**

*New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed project includes alteration of a non-contributing property within the eligible Eureka Valley/Castro Street Commercial Historic District. While unlikely, if the building was removed and/or redesigned in a similar building vocabulary in the future, the essential form and integrity of the district would be unimpaired.

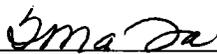
Therefore, the proposed project complies with Rehabilitation Standard 10.

**Summary**

The Department finds that, the project does not appear to comply with the *Secretary of the Interior Standards for Rehabilitation (Standards)*. However, the project as proposed will not have a significant adverse impact upon the historic resource (the eligible Eureka Valley/Castro Street Commercial Historic District), as defined by CEQA.

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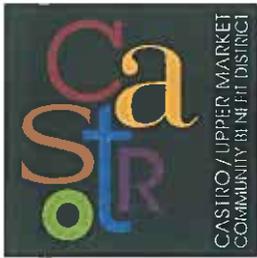
**PART II: SENIOR PRESERVATION PLANNER REVIEW**

Signature:   
Tina Tam, Senior Preservation Planner

Date: 9.23.2013

- cc: Virnaliza Byrd / Historic Resource Impact Review File  
Jessica Look, Current Planning  
Laura Lynch, Environmental Planning  
Nancy DuBois, San Francisco Aids Foundation, 1035 Market Street #400, San Francisco, CA 94103 (Applicant)  
George Antonio Maumer, 2201 Sacramento Street, San Francisco, CA 94115 (Owner)  
I:\Cases\2013\2013.0160

GH: G:\Documents\HRER\470 Castro Street\HRER\HRER Part II\470 Castro Street\_HRER Part II.doc



584 Castro Street #336  
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PH 415.500.1181

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[www.castrocbd.org](http://www.castrocbd.org)

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June 13, 2013

San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

Re: File No. 2013.0160E - SUPPORT  
Application(s) for 470-474 Castro Street from San  
Francisco AIDS Foundation

Dear Commission Members,

The Castro/Upper Market Community Benefit District (Castro CBD) is writing to express its strong support for the change of use authorization and zoning text amendment that will allow San Francisco AIDS Foundation to move forward with plans for an important new center for gay men's health and wellness in the Castro.

This new health and wellness center, located at 474 Castro St., brings together three existing programs in the Castro under one roof. This move enables the San Francisco AIDS Foundation to follow the best practices in public health by offering comprehensive health and wellness services in a one-stop shopping model.

The new facility will also bring a significant amount of activity to Castro Street as people come and go accessing services offered by this new comprehensive health service agency. The Castro CBD welcomes this activity and looks forward to working with the AIDS Foundation to enable the Castro to better meet the comprehensive health needs of gay and bi-sexual men and to integrate this new enterprise into the fabric of the Castro commercial district.

The Castro CBD urges you to consider this request for a change of use authorization and zoning text amendment in a positive light. If you have any questions about our support for this

project, please contact me at 415-500-1181 or  
[execdirector@castrocbd.org](mailto:execdirector@castrocbd.org)

Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Andrea Aiello". The signature is fluid and cursive, with a long horizontal stroke at the end.

Andrea Aiello  
Executive Director

CC: Scott Wiener, Supervisor District 8  
Andres Power, Legislative Aide, Supervisor District 8  
John Rahaim, Director, S.F. Planning Dept.  
Jessica Look, Planner, S.F. Planning Dept.  
Courtney Mulhern-Pearson, SFAF  
Board of Directors, Castro/Upper Market Community  
Benefit District



# CASTRO/EUREKA VALLEY NEIGHBORHOOD ASSOCIATION

The neighborhood association for the Castro, Upper Market and all of Eureka Valley since 1878

EVNA (formerly EVPA)  
PO Box 14137  
San Francisco, CA 94114  
www.evna.org  
Board@EVNA.org

June 6, 2013

San Francisco Planning Commission  
1660 Mission Street, 5<sup>th</sup> floor  
San Francisco Ca. 94103

c/o Delvin Washington, [delvin.washington@sfgov.org](mailto:delvin.washington@sfgov.org)  
Jessica Look, [Jessica.look@sfgov.org](mailto:Jessica.look@sfgov.org)

Re: 2013.0160E 470-474 Castro Street, San Francisco AIDS Foundation and  
Supervisor Scott Wiener's proposed legislation to amend "*Planning Code  
Sections 121.2 and 715.21*"

Dear Commissioners,

Castro/ Eureka Valley Neighborhood Association (EVNA) is the oldest continuously operating Neighborhood Association in San Francisco established as Eureka Valley Promotion Association in 1878. For 135 years, our members have been working to make this neighborhood a great place to live, work and play. Today, we strive to preserve the unique character of our diverse neighborhood while maintaining a balance between prospering business and residential livability.

EVNA Board of Directors and Membership would like to add its support for the San Francisco AIDS Foundation (SFAF)'s proposed move into the Castro/Eureka Valley Neighborhood at 470-474 Castro Street.

Furthermore, we support Supervisor Wiener's proposed ordinance to amend "*Planning Code Sections 121.2 and 715.21 to allow a large neighborhood serving non-profit institution to exceed the 4,000 square foot limit through a Conditional Use Authorization.*"

EVNA believes that SFAF is a vital organization that reaches an impacted population and provides critical services to that population. Bringing a consolidated SFAF into the Castro neighborhood also sends a cultural and historical message to our community.

However, we offer this support with one caveat: EVNA is strongly opposed to the proposed building 's façade design. The design is out of place and has no relevance to the scale of the buildings on the street and in the neighborhood. It is completely out of architectural context and has no consideration for the history of the neighborhood.

Our support, therefore, is contingent upon SFAF working with EVNA and other interested neighborhood groups to refine the street frontage design elements and ask that the Planning Commission make this condition part of the approval process as it did with 376 Castro Street. As with 376 Castro Street, we strongly feel that this will ensure a design that will add to the neighborhood streetscape and character.

Sincerely,

Rob Cox  
Secretary

Cc: Supervisor Scott Wiener, [scott.wiener@sfgov.org](mailto:scott.wiener@sfgov.org)  
Courtney Mulhern-Pearson, [CPearson@sfaf.org](mailto:CPearson@sfaf.org)

#### EXECUTIVE COMMITTEE

Alan Beach-Nelson  
President  
Castro Street

Rob Cox  
Secretary  
Hartford Street

Gary Weiss  
Treasurer  
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#### DIRECTORS:

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17th Street

Mark McHale  
Hearth Real Estate

Dan Risman Jones  
22nd Street

Aaron Seivertson  
Hartford Street

#### EX OFFICIO DIRECTORS:

Steve Clark Hall  
19th Street

San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

Re: File No. 2013.0160E - SUPPORT  
Application(s) for 470–474 Castro Street from San Francisco AIDS Foundation

Dear Commission Members,

As a Castro home owner and resident, I am pleased to express my support for the conditional use authorization and zoning text amendment that will allow San Francisco AIDS Foundation to move forward with plans for an innovative new center for gay men's health and wellness in the Castro.

My property shares the mid-block with the proposed SFAF. I can see the building from my home and back yard. I have no issues with any expansion of building as I understand the plans as of June 1<sup>st</sup>, 2013.

Located at 474 Castro Street, the new facility will provide approximately 7,500 square feet of additional space for expanded sexual health services, additional substance use treatment and mental health counseling opportunities, a new HIV and Aging program, health insurance benefits counseling to help people navigate the complexities of health care reform, and enhanced case management services to ensure linkage to medical care.

The new center will help bring about the day when new HIV infections in San Francisco are incredibly rare, all San Franciscans know their HIV status, and all those living with the virus have the medical care they need.

For these reasons I am pleased to offer my support for the 470–474 Castro project and urge you to approve the conditional use authorization and zoning text amendment before you. Please let me know if you have questions regarding my support for this project.

Respectfully,



Scott Gibree  
43 Collingwood Street, San Francisco, CA 94108

CC: Jessica Look, 1650 Mission Street, Suite 400, San Francisco CA 94103-2479



584 Castro Street, # 333  
San Francisco CA 94114-2512  
415/431-2359  
Email [MUMC-SF@earthlink.net](mailto:MUMC-SF@earthlink.net)  
[www.CastroMerchants.com](http://www.CastroMerchants.com)

Terry Asten Bennett, President  
415/431-5365 Ext. 4  
[TerryAsten@cs.com](mailto:TerryAsten@cs.com)

May 7. 2013

*Via email and USPS hardcopy*

Jessica Look, Staff Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

Re: File No. 2013.0160E  
Application(s) for 470-476 Castro Street from S.F. AIDS Foundation

Dear Ms. Look,

This confirms that the Members of the **Merchants of Upper Market & Castro (MUMC)** voted at their Meeting on May 2, 2013 to SUPPORT the proposals before you for Change of Use; renovations; addition of set-back, partial added top floor; and related changes by San Francisco AIDS Foundation (SFAF) for 470-476 Castro Street, San Francisco.

**MUMC's** support is based on concepts and plans presented to us on May 2. We have asked SFAF to inform **MUMC** with respect to our continued support for this Project, in the event that there are subsequent significant and/or substantial changes from the plans described to us on May 2, especially (but not limited to) with respect to the additional floor, its configuration and resulting shadows; and the mostly-glass front façade. Should **MUMC's** support be withdrawn or change (which we do not currently anticipate), we would notify your Commission and Department.

**MUMC** is the merchants' organization serving San Francisco's Castro-Upper Market area, generally along Upper Market Street from Octavia Blvd. to Castro Street; Castro from Market to 19<sup>th</sup> Street, and cross streets throughout that area. **MUMC** has about 250 currently-paid Members for 2013. The location of the Project described herein is within **MUMC's** service area.

.... *continued*

## Merchants of Upper Market & Castro – MUMC

San Francisco Planning Department  
Re: File No. 2013.0160E, 470-476 Castro Street

May 7, 2012  
Page 2

Please let us know if you have questions regarding MUMC's support for this Project. Please include this letter in the Project's permanent file, and assure that it is provided to all Planning Staff and Commissioners and any other hearing panels at the time that this Project is considered by them. Thank you for considering our comments.

Respectfully,

A handwritten signature in black ink, appearing to read "T. Bennett", with a long horizontal flourish extending to the right.

Terry Asten Bennett, President

cc: Neil Giuliano, Courtney Mulhearn-Pearson, SFAF  
email cc: District 8 Supervisor Scott Wiener and staff  
Capt. Robert Moser, *SFPD Mission Station*