



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JUNE 13, 2013

Date: June 6, 2013
Case No.: 2013.0336 C
Project Address: 1096 SOUTH VAN NESS AVE
Zoning: NC-1 (Neighborhood Commercial, Cluster)
Mission Alcoholic Beverage Special Use District
55-X Height and Bulk District
Block/Lot: 3615/010
Project Sponsor: Steve Fox
4366 24th Street
San Francisco, CA 94114
Staff Contact: Corey Teague – (415) 575-9081
corey.teague@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The applicant proposes to establish a restaurant and miniature golf course (d.b.a. Urban Putt) with extended hours of operation of 6:00a.m. to 12:00a.m. Sunday through Thursday, and from 6:00a.m. to 2:00a.m. Friday and Saturday. The approximately 2,100 square foot miniature golf course would be located only on the ground floor. The restaurant would occupy a portion of the ground floor and the entire smaller second floor, and would use the basement for storage, totaling approximately 7,400 square feet. However, that 7,400 square feet includes bathrooms for both the restaurant and miniature golf patrons, a large amount of circulation space, and approximately 2,200 square feet of storage in the basement.

The proposed use is an independent business that is not a Formula Retail use. The proposed operation is anticipated to employ 55 people; 7 of those employees will be salaried and 48 will be hourly. Deliveries will be scheduled between 8:00a.m. and 2:00p.m. Garbage will be picked up from the 22nd Street frontage where garbage containers will be kept behind a garage door.

SITE DESCRIPTION AND PRESENT USE

The project is located on the northwest corner of the intersection of South Van Ness Avenue and 22nd Street. The property is located within the NC-1 (Neighborhood Commercial, Cluster) District with a 55-X height and bulk district. The 6,745 square foot parcel contains a two-story building that also includes a basement. The last business located within the building was a mortuary. However, the Planning Commission authorized the building to be used as a restaurant with "other entertainment" in 2005 per Motion No. 16930. While some improvements for that project were completed, the approved restaurant never opened for business. As such, the building is currently vacant.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located at the intersection of South Van Ness Avenue and 22nd Street, which is only two blocks from the neighborhood commercial corridors of Mission Street and 24th Street. However, the more immediate surroundings are primarily residential, ranging from single-family homes to multi-unit mixed-use buildings. Nearby landmarks include the Hua Zang Si Buddhist temple, the Sheffield Convalescent hospital, and the St Mary & St Martha Lutheran Church. Surrounding zoning includes RH-2 and RH-3 to the east, RTO-M to the north and south, and NC-1 and the Mission NCT District to the west.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	May 24, 2013	May 22, 2013	22 days
Posted Notice	20 days	May 24, 2013	May 24, 2013	20 days
Mailed Notice	20 days	May 24, 2013	May 23, 2013	21 days

PUBLIC COMMENT

- The project sponsor conducted significant outreach with the neighborhood, including individual meetings with nearby property owners and occupants and an open house on May 21, 2013 that drew more than 50 attendees.
- To date, the Department received eight comments of support for the project and no comments of opposition.

ISSUES AND OTHER CONSIDERATIONS

- There is a concern with the potential over-concentration of food-service establishments. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, “the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage.” Additionally, Planning Code Section 303(p) states that a concentration of eating and drinking establishments within 300 feet, and within the same district, should not exceed 25%.

Planning staff has performed a site survey of this NC-1 District along 22nd Street that contains the proposed building. With the proposed restaurant use, approximately 50% of the commercial

frontage of this NC-1 District would be attributed to eating and drinking establishments. However, there are multiple issues to note, including:

1. This NC-1 District consists of only one small block along 22nd Street between South Van Ness Avenue and Capp Street.
2. This NC-1 District includes only one other restaurant (d.b.a. Panchita's). The only other two eating and drinking establishments are a bakery (d.b.a. Pan-Lido) and a bar (d.b.a. El Trebol).
3. The bar is located at the southeast corner of 22nd Street and Capp Street and has a small entrance on 22nd Street. However, the approximately 52 feet of frontage along Capp Street is a blank wall space that includes no storefronts, windows, or public entrances.
4. The subject building for the proposed project is also on a corner parcel, with the entrance facing the shorter frontage along South Van Ness Avenue. The frontage along 22nd Street is 90 feet and does not include any storefronts or public entrances. In general, the subject building does not present itself as a service-oriented business due to its lack of storefronts and high, barred windows. Finally, the restaurant portion of the business will be located primarily along the South Van Ness Avenue façade. The 22nd Street façade primarily includes stairs, restrooms, a coat check, and a garbage room.

If these long, generally blank, corner frontages are removed from the calculation, then only approximately 22% of the commercial frontage of this District would be attributed to eating and drinking establishments.

- The Mission Alcoholic Beverage Special Use District permits “no new establishment where alcoholic beverages are sold, served or given away for on-site or off-site consumption.” However, it does permit “a Restaurant Use, as defined in Section 790.91, operating as a Bona Fide Eating Place, as defined in Section 790.142” to be permitted within the district.
- The Zoning Administrator intends to modify the parking requirements for this project, pursuant to Planning Code Section 161(j), to allow no off-street parking because:
 1. the project is located in an area very well served by transit, bicycling, and pedestrian facilities,
 2. the project site is only two blocks from two NCT Districts that require no off-street parking,
 3. providing the required parking would result in some impact to an historic resource, and

4. the Mission Bartlett parking garage is within four blocks of the project site, and at least one other parking facility is within five blocks.

REQUIRED COMMISSION ACTION

In order for the proposed restaurant and miniature golf establishment to be approved, the Commission must grant conditional use authorization to allow the restaurant and “other entertainment” to occupy the entire building, including the second floor, and to operate with extended hours beyond 11:00p.m., within the NC-1 Zoning District, pursuant to Planning Code Sections 186.2(a), 249.60, 303, 303(p), 703.2, 710.27, 710.43, 710.48, and 727.44.

BASIS FOR RECOMMENDATION

- The project would occupy a historic resource that has been vacant for more than ten years with a locally-owned, neighborhood-serving use that will provide a service (miniature golf) that is offered nowhere else in the City.
- The project is an adaptive reuse that preserves the exterior of an historic resource.
- The project will provide a business that is accessible to people of almost all ages, and will create more than 50 jobs for occupants of the neighborhood and City.
- The size and intensity of the proposal are appropriate considering the project site’s close proximity to the Mission Street NCT District and the 24th Street – Mission NCT District.
- The project will enhance the land use and economic diversity of the neighborhood.
- The project is consistent with the Planning Code, Mission Area Plan, and the General Plan overall.

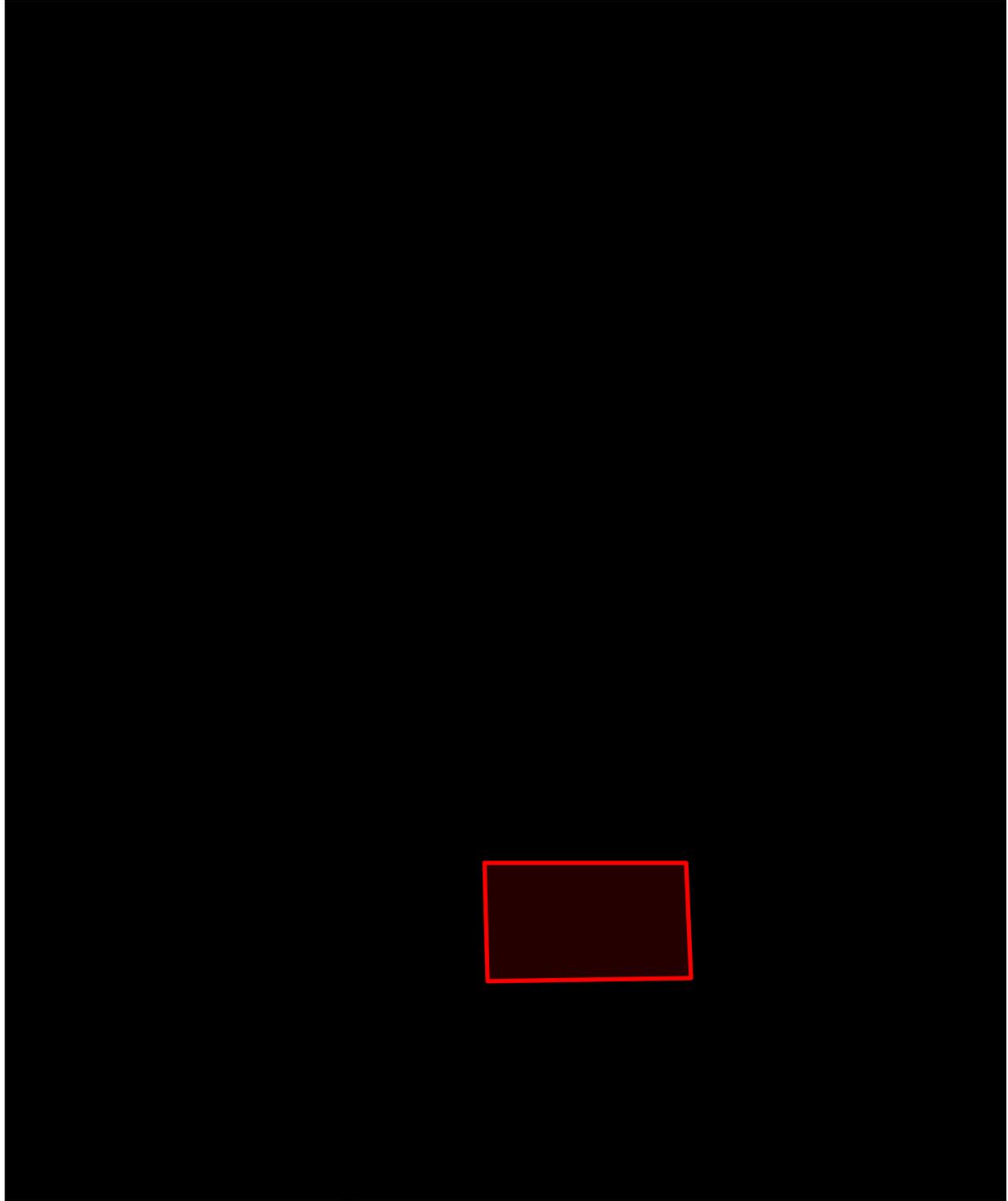
RECOMMENDATION: Approval with Conditions
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Attachments:

Parcel Map
Sanborn Map
Aerial Photographs
Site Photo
Zoning Map
Draft Motion
Letters of Support
Sponsor Submittal
 -Pictures and Graphics
 -Reduced Size Plans

CT: G:\Documents\CL2012\1096 South Van Ness Ave\Executive Summary.doc

Sanborn Map*



SUBJECT PROPERTY

**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Conditional Use Hearing
Case Number 2013.0336C
Restaurant and Miniature Golf
1096 South Van Ness Avenue

Aerial Photo



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2013.0336C
Restaurant and Miniature Golf
1096 South Van Ness Avenue

Aerial Photo



SUBJECT PROPERTY



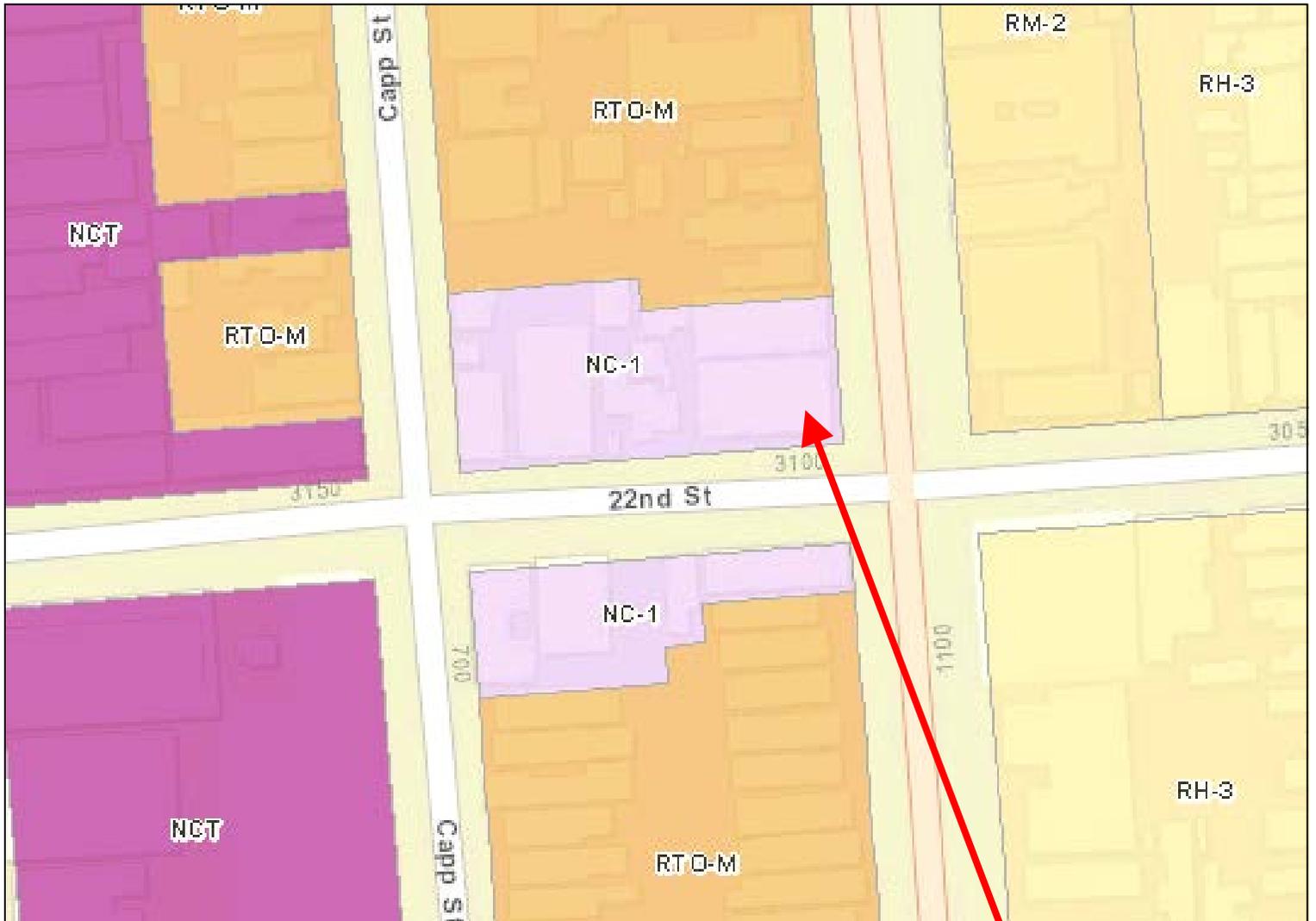
Conditional Use Hearing
Case Number 2013.0336C
Restaurant and Miniature Golf
1096 South Van Ness Avenue

Site Photo



Conditional Use Hearing
Case Number 2013.0336C
Restaurant and Miniature Golf
1096 South Van Ness Avenue

Zoning Map



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2013.0336C
Restaurant and Miniature Golf
1096 South Van Ness Avenue



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 186.2(A), 249.60, 303, 303(P), 703.2, 710.27, 710.43, 710.48, AND 727.44, OF THE PLANNING CODE TO ALLOW AN APPROXIMATELY 9,500 GROSS SQUARE FOOT RESTAURANT AND MINIATURE GOLF ESTABLISHMENT (D.B.A. URBAN PUTT) WITH EXTENDED HOURS TO OCCUPY THE ENTIRE BUILDING WITHIN AN NC-1 (NEIGHBORHOOD COMMERCIAL CLUSTER) ZONING DISTRICT, THE MISSION ALCOHOLIC BEVERAGE SPECIAL USE DISTRICT, AND A 55-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On March 21, 2013 Steve Fox (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 186.2(a), 249.60, 303, 303(p), 703.2, 710.27, 710.43, 710.48, and 727.44, to allow an approximately 9,500 gross square foot restaurant and miniature golf establishment (d.b.a. Urban Putt) with extended hours to occupy the entire building within an NC-1 (Neighborhood Commercial Cluster) Zoning District, the Mission Alcoholic Beverage Special Use District, and a 55-X Height and Bulk District.

On June 13, 2013, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.0336C.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.0336C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the northwest corner of the intersection of South Van Ness Avenue and 22nd Street. The property is located within the NC-1 (Neighborhood Commercial, Cluster) District with a 55-X height and bulk district. The 6,745 square foot parcel contains a two-story building that also includes a basement. The last business located within the building was a mortuary. However, the Planning Commission authorized the building to be used as a restaurant with "other entertainment" in 2005 per Motion No. 16930. While some improvements for that project were completed, the approved restaurant never opened for business. As such, the building is currently vacant.
3. **Surrounding Properties and Neighborhood.** The project site is located at the intersection of South Van Ness Avenue and 22nd Street, which is only two blocks from the neighborhood commercial corridors of Mission Street and 24th Street. However, the more immediate surroundings are primarily residential, ranging from single-family homes to multi-unit mixed-use buildings. Nearby landmarks include the Hua Zang Si Buddhist temple, the Sheffield Convalescent hospital, and the St Mary & St Martha Lutheran Church. Surrounding zoning includes RH-2 and RH-3 to the east, RTO-M to the north and south, and NC-1 and the Mission NCT District to the west.
4. **Project Description.** The applicant proposes to establish a restaurant and miniature golf course (d.b.a. Urban Putt) with extended hours of operation of 6:00a.m. to 12:00a.m. Sunday through Thursday, and from 6:00a.m. to 2:00a.m. Friday and Saturday. The approximately 2,100 square foot miniature golf course would be located only on the ground floor. The restaurant would occupy a portion of the ground floor and the entire smaller second floor, and would use the basement for storage, totaling approximately 7,400 square feet. However, that 7,400 square feet includes bathrooms for both the restaurant and miniature golf patrons, a large amount of circulation space, and approximately 2,200 square feet of storage in the basement.

The proposed use is an independent business that is not a Formula Retail use. The proposed operation is anticipated to employ 55 people; 7 of those employees will be salaried and 48 will be hourly. Deliveries will be scheduled between 8:00a.m. and 2:00p.m. Garbage will be picked up from the 22nd Street frontage where garbage containers will be kept behind a garage door.

5. **Public Comment.** The Department received eight comments of support for the project and no comments of opposition.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Uses.** Planning Code Section 710.44 permits a restaurant as of right on the ground floor only within the NC-1 District. However, if the NC-1 District is within ¼ mile of a named NC District that contains a more restrictive control, then that control applies. The subject property is within ¼ mile of the 24th Street – Mission NCT District, which requires a Conditional Use Authorization for new restaurants.

Planning Code Section 249.60 (Mission Alcoholic Beverage Special Use District) states that “no new establishment where alcoholic beverages are sold, served or given away for on-site or off-site consumption, shall be established in this special use district.” However, it also states that “a Restaurant Use, as defined in Section 790.91, operating as a Bona Fide Eating Place, as defined in Section 790.142, shall be permitted to serve alcoholic beverages in this special use district.”

Planning Code Section 186.2(a) states that “in (1) multi-story buildings, or (2) buildings with a ground story with a ceiling height in excess of 15 feet or mezzanines, which buildings were originally constructed for single-tenant occupancy, a use which is permitted as a principal or conditional use at the first story and below may also locate in the upper stories of the building as a nonconforming use as provided in Section 186.1(b) above, if the use occupies all stories as a single tenant. The nonconforming use area in the upper stories occupied by the single use shall be limited to the use approved by the conditional use authorization and shall not be transferable to any other party or parties except upon approval by the City Planning Commission as a new conditional use authorization.”

Planning Code Section 710.48 permits “other entertainment” (i.e. miniature golf) only on the ground floor and only with a Conditional Use Authorization.

The Project requests a Conditional Use Authorization for the proposed a restaurant (Bona Fide Eating Place) on the ground and second floors, and for the other entertainment on the ground floor only.

- B. **Hours of Operation.** Planning Code Section 710.27 states that a Conditional Use Authorization is required for maintaining hours of operation from 11p.m. to 2 a.m, as defined by Planning Code Section 790.48.

The Project requests a Conditional Use Authorization to operate until 12:00a.m. Sunday through Thursday and until 2:00a.m. Friday and Saturday.

- C. **Parking.** Planning Section 151 requires parking for commercial and residential uses within the NC-1 District. However, Section 161(j) allows the Zoning Administrator to modify the parking requirements in the NC-1 District as part of the review of the Building Permit Application.

The Zoning Administrator intends to modify the parking requirements for this project to allow no off-street parking because 1) the project is located in an area very well served by transit, bicycling, and pedestrian facilities, 2) the project site is only two blocks from two NCT Districts that require no off-street parking, 3) providing the required parking would result in some impact to an historic resource, and 4) the Mission Bartlett parking garage is within four blocks of the project site, and at least one other parking facility is within five blocks.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposal will occupy a prominent corner building that has been vacant for more than ten years with a neighborhood-serving use that is only two blocks from both the Mission Street NCT District and the 24th Street – Mission NCT District. Additionally, the proposal will create more than fifty new jobs, many of which can be filled by local residents, and will provide a service than can be used by almost all ages.

The subject building was designed to be used by a single business, with minimal windows and/or storefronts on either frontage. Additionally, the building was determined to be eligible for the California Register of Historic Places by the South Mission Historic Resource Survey. It would be difficult to use the building for multiple businesses without creating significant impacts to one or both facades. Therefore, the project is necessary and desirable, and quite compatible with the surrounding neighborhood.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing historic resource (two-story, full lot coverage) will remain the same and the project will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project site is very well served by public transit, pedestrian, and bicycling facilities, including:

- *Two blocks from the 14, 14L, 49, 12, 48, and 67 MUNI bus routes;*
- *Four blocks from the 24th Street BART station;*
- *Direct access to "bicycle-friendly" 22nd Street (shared travel bicycle route);*
- *One block from "bicycle-friendly" 23rd Street (bicycle sharrows); and*
- *Four blocks from dedicated bicycle lanes on Valencia Street and Folsom Street.*

Additionally, the project site is four blocks from the Mission Bartlett parking garage. However, the project sponsor will encourage patrons to walk, bicycle, or use public transit, and plans to install bike racks at the project site.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As an eating and drinking establishment, the project is subject to the operation conditions of Planning Code Section 703.5, which account for issues of odor, noise, emissions, and garbage. The project will comply with Section 703.5.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The project site includes no parking, open space, or landscaped areas. All trash containers will be screened by the garage door on 22nd Street. All lighting and signing will meet Planning Code requirements.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The project is consistent with the NC-1 District's intended purpose of serving as a local neighborhood shopping district, providing convenience retail goods and services for the immediately surrounding neighborhoods.

- E. With respect to applications filed pursuant to Article 7, Section 703.2(a), for a movie theater use as defined in Planning Code Section 790.64, an Adult Entertainment use as defined in Planning Code Section 790.36, or Other Entertainment uses as defined in Planning Code Section 790.38, that such use or feature will:

- i. Not be located within 1,000 feet of another such use, if the proposed use or feature is an Adult Entertainment Use, as defined by Section 790.36 of this Code; and/or

The proposed "Other Entertainment" is a miniature golf establishment and not an "Adult Entertainment Use."

- ii. Not be open between two a.m. and six a.m.; and

The proposed miniature golf establishment will not be open between 2:00a.m. and 6:00a.m.

- iii. Not use electronic amplification between midnight and six a.m.; and

The proposed "Other Entertainment" is a miniature golf establishment and will not include electronic amplification.

- iv. Be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

The proposed miniature golf establishment will create less noise than typical entertainment uses (i.e. night clubs, performance venues, etc.) due to the lack of amplified music and/or performances. Any fixed-noise equipment associated with the project will meet all requirements of the San Francisco Noise Control Ordinance.

8. Planning Code Section 303(p) establishes additional criteria for the Planning Commission to consider when reviewing applications for Conditional Use Approval of eating and drinking establishments in NC and Mixed Use Districts. On balance, the project does comply with said criteria in that:

- a. The existing concentration of eating and drinking uses in the area. Such concentration should not exceed 25 percent of the total commercial frontage as measured in linear feet within the immediate area of the subject site. For the purposes of this Section of the Code, the immediate area shall be defined as all properties located within 300 feet of the subject property and also located within the same zoning district.

Planning staff performed a site survey of this NC District, which is less than 300 feet total, and contains the project site. With the proposed restaurant use, approximately 50 percent of the commercial frontage of this District is attributed to eating and drinking establishments. However, there are multiple issues to note, including:

- 1. This NC-1 District consists of only one small block along 22nd Street between South Van Ness Avenue and Capp Street.*
- 2. This NC-1 District includes only one other restaurant (d.b.a. Panchita's). The only other two eating and drinking establishments are a bakery (d.b.a. Pan-Lido) and a bar (d.b.a. El Trebol).*
- 3. The bar is located at the southeast corner of 22nd Street and Capp Street and has a small entrance on 22nd Street. However, the approximately 52 feet of frontage along Capp Street is a blank wall space that includes no storefronts, windows, or public entrances.*
- 4. The subject building for the proposed project is also on a corner parcel, with the entrance facing the shorter frontage along South Van Ness Avenue. The frontage along 22nd Street is 90 feet and does not include any storefronts or public entrances. In general, the subject building does not present itself as a service-oriented business due to its lack of storefronts and high, barred windows. Finally, the restaurant portion of the business will be located primarily along the South Van Ness Avenue façade. The 22nd Street façade primarily includes stairs, restrooms, a coat check, and a garbage room.*

If these long, generally blank, corner frontages are removed from the calculation, then only approximately 22 percent of the commercial frontage of this District is attributed to eating and drinking establishments.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The project will occupy a historic resource that has been vacant for more than ten years with a locally-owned, neighborhood-serving use that will provide a service (miniature golf) that is offered nowhere else in the City. Additionally, the project will be subject to the operational conditions for eating and drinking establishments outlined in Planning Code Section 703.5.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Eating and Drinking Establishments

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses, which can serve similar functions and create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.
- The regulation of eating and drinking establishments should consider the following:
 - Balance of retail sales and services;
 - Current inventory and composition of eating and drinking establishments;
 - Total occupied commercial linear frontage, relative to the total district frontage;
 - Uses on surrounding properties;
 - Available parking facilities, both existing and proposed;
 - Existing traffic and parking congestion; and
 - Potential impacts on the surrounding community.

There is a concern with the potential over-concentration of food-service establishments. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage." Planning staff performed a site survey of this NC District, which contains the project site. With the proposed restaurant use, approximately 50 percent of the commercial frontage of this District is attributed to eating and drinking establishments. However, there are multiple issues to note, including:

- 1. This NC-1 District consists of only one small block along 22nd Street between South Van Ness Avenue and Capp Street.*
- 2. This NC-1 District includes only one other restaurant (d.b.a. Panchita's). The only other two eating and drinking establishments are a bakery (d.b.a. Pan-Lido) and a bar (d.b.a. El Trebol).*
- 3. The bar is located at the southeast corner of 22nd Street and Capp Street and has a small entrance on 22nd Street. However, the approximately 52 feet of frontage along Capp Street is a blank wall space that includes no storefronts, windows, or public entrances.*
- 4. The subject building for the proposed project is also on a corner parcel, with the entrance facing the shorter frontage along South Van Ness Avenue. The frontage along 22nd Street is 90 feet and does not include any storefronts or public entrances. In general, the subject building does not present itself as a service-oriented business due to its lack of storefronts and high, barred windows. Finally, the restaurant portion of the business will be located primarily along the South Van Ness Avenue façade. The 22nd Street façade primarily includes stairs, restrooms, a coat check, and a garbage room.*

If these long, generally blank, corner frontages are removed from the calculation, then only approximately 22 percent of the commercial frontage of this District is attributed to eating and drinking establishments.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

The proposal will occupy a long-vacant historic resource with a locally owned independent business that will provide unique services to the neighborhood and City.

MISSION AREA PLAN

Objectives and Policies

OBJECTIVE 1:

STRENGTHEN THE MISSION'S EXISTING MIXED USE CHARACTER, WHILE MAINTAINING THE NEIGHBORHOOD AS A PLACE TO LIVE AND WORK.

Policy 1.1.6:

Permit and encourage small and moderate size retail establishments in neighborhood commercial areas of the Mission, while allowing larger retail in the formerly industrial areas when part of a mixed-use development.

The proposal is a locally owned, moderate size retail establishment that will expand the mixed use character of the Mission by providing a service that is not currently available within the City (i.e. miniature golf).

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposal will create a new neighborhood-serving retail use in a prominent building that has been vacant for more than ten years. The business is locally-owned and will provide more than 50 jobs for neighborhood and City residents.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site is only two blocks from Mission Street and 24th Street. The Mission Street NCT District places no controls on hours of operations for businesses, and the 24th Street – Mission NCT District permits businesses to operate until 2:00a.m. as of right. Therefore, permitting a retail business to operate until midnight Sunday through Thursday, and until 2:00a.m. on Fridays and Saturdays is consistent with the neighborhood character.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is created or removed as part of this project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is very well served by public transit, pedestrian, and bicycling facilities, including:

- *Two blocks from the 14, 14L, 49, 12, 48, and 67 MUNI bus routes;*
- *Four blocks from the 24th Street BART station;*
- *Direct access to "bicycle-friendly" 22nd Street (shared travel bicycle route);*
- *One block from "bicycle-friendly" 23rd Street (bicycle sharrows); and*
- *Four blocks from dedicated bicycle lanes on Valencia Street and Folsom Street.*

Additionally, the project site is four blocks from the Mission Bartlett parking garage. However, the project sponsor will encourage patrons to walk, bicycle, or use public transit, and plans to install bike racks at the project site.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project only includes interior tenant improvement and will not impact the structural or seismic stability of the building.

- G. That landmarks and historic buildings be preserved.

The project will occupy a historic resource that has been vacant for more than ten years.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no impact on existing parks and open spaces.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.0336C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated June 4, 2013, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 13, 2013.

Jonas P. Ionin
Acting Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: June 13, 2013

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a restaurant and miniature golf establishment (d.b.a. **Urban Putt**) located at 1096 South Van Ness Avenue, Block 3615, and Lot 10, pursuant to Planning Code Section(s) **186.2(a), 249.60, 303, 303(p), 703.2, 710.27, 710.43, 710.48, and 727.44** within the NC-1 District, the Mission Alcoholic Beverage Special Use District, and a **55-X** Height and Bulk District; in general conformance with plans, dated **June 4, 2013**, and stamped "EXHIBIT B" included in the docket for Case No. **2013.0336C** and subject to conditions of approval reviewed and approved by the Commission on **June 13, 2013** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **June 13, 2013** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN

6. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

PROVISIONS

7. **Transit Impact Development Fee.** Pursuant to Planning Code Section 411 (formerly Chapter 38 of the Administrative Code), the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) if applicable to the drawings submitted with the Building Permit Application. Prior to the issuance of a temporary certificate of occupancy, the Project Sponsor shall provide the Planning Director with certification that the fee has been paid.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

MONITORING

8. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

9. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

10. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>.

11. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>.

12. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

13. **Alcoholic Beverages.** Planning Code Section 249.60 currently only permits the serving and/or consumption of alcoholic beverages within the restaurant portion of the project, as defined in Section 790.91, operating as a Bona Fide Eating Place, as defined in Section 790.142. Consequently, no alcohol service shall be served or consumed within the miniature golf ("other entertainment," as defined in Section 790.38) portion of the project. However, changes to the Planning Code which could modify or remove this provision are under consideration by the Board of Supervisors. The Planning Commission acknowledges that, should such changes be adopted, the project sponsor may wish to serve alcoholic beverages within the Other Entertainment portion of the project. Accordingly, if the Planning Code is amended after the date of this Conditional Use Authorization to allow the serving and/or consumption of alcoholic beverages within the miniature golf portion of the project, a corresponding change in operation at the project would be in general conformity with this Motion and no new Planning Commission authorization would be required to conduct that activity unless it is explicitly required by the Planning Code.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

14. **Hours of Operation.** The subject establishment is limited to the following hours of operation: Sunday through Thursday from 6:00a.m. to 12:00a.m. and Friday through Saturday 6:00a.m. to 2:00a.m.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

Teague, Corey

From: Craig Weber <cpatax@sbcglobal.net>
Sent: Wednesday, June 05, 2013 1:00 PM
To: Teague, Corey
Subject: Mini Golf proposal at 1096 South Van Ness

Hello Mr. Teague,

I wanted to send you my endorsement for the proposed buildout plans for "The Urban Putter". I understand that your office will need to evaluate the proposed changes to the zoning status and I would hope that you would consider giving Mr. Steve Fox, lessor, the necessary approvals to begin work on the facility. I attended the neighborhood meeting with Mr. Fox, who presented his plans and responded to neighbors questions. I base my endorsement of the proposed plans on the honesty and genuine concern Mr. Fox expressed during his meeting with neighbors. I think he will be a good neighbor and I wish him a successful outcome with his business plans. Please understand that he is taking on a significant financial risk in this venture. I would hope that you and other members of the SF Planning Commission would help Mr. Fox realize his dream.

Best regards,

Craig Weber

1150 Shotwell St.

San Francisco, CA 94110

May 31, 2013

Corey Teague
Planning Department
1650 Mission Street, Fourth Floor,
San Francisco, CA 94103

CASE #2013.0336C

Dear Mr. Teague,

I am writing to throw my unequivocal support behind Urban Putt and their desire for a conditional use permit (CUP), which would permit them to operate as a restaurant and miniature golf establishment in San Francisco.

As a native San Franciscan and lifelong resident, I am delighted by the Urban Putt concept. It strikes me as the sort of original idea that would add to the unique character of our fair city. Not only that, but Urban Putt will make use of a property that has been empty and shuttered for well over decade.

I have also been mightily impressed with Steve Fox's transparency, his efforts to include the neighborhood in the planning, and his desire to create both a destination and jobs for his community.

Until about a month ago, I did not know who Steve was, but because I take an interest in civic affairs, I was curious about the project and it's impact on our community. I reached out to Mr. Fox and he granted me access to the site, spending considerable time answering all my questions.

I hope to be present for the hearing on June 13th, but am writing to ensure my voice is heard on this matter.

I urge you to grant this permit to Urban Putt, which I hope will soon become one of San Francisco's favorite attractions.

Sincerely,

A handwritten signature in black ink that reads "Mark J Barbeau". The signature is written in a cursive, flowing style.

Mark Barbeau
936 Leavenworth Street, #2
San Francisco, CA 94109
415-871-5653

cc: Steve Fox, Urban Putt

Teague, Corey

From: ANAMARIE PASDAR <pinkpasdar@me.com>
Sent: Monday, June 03, 2013 8:36 PM
To: Teague, Corey
Subject: Urban Putt

Hi Corey,

I live in the neighborhood and I think Urban Putt sounds like a great idea. It would be great to have a place to take my kids. I'm writing in support of their planning permission.

Best,

Anamarie Pasdar
548 shotwell st

Belinda Choi

152 Albion Street

San Francisco, CA 94110

RECEIVED

JUN 03 2013

**CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
RECEPTION DESK**

Corey Teague

Planning Department

1650 Mission St., Fourth Floor

San Francisco, CA 94103

May 29, 2013

Re: Case No. 2013.0336C

To the San Francisco Planning Department:

I am writing in support of Urban Putt at 1096 South Van Ness. I have been a Mission resident for 17 years, residing at 152 Albion Street. There are no mini-golf places in San Francisco and nothing else like it anywhere nearby. The neighborhood needs more creative, family-friendly venues like Urban Putt to offset the onslaught of upscale bars and restaurants that keep opening. The neighborhood needs diverse spots to attract a diverse crowd.

Please grant the conditional use authorization so we can make sure that miniature golf comes to San Francisco.

Thank you,



Belinda Choi

Teague, Corey

From: johngoldie@gmail.com on behalf of John Goldie <john@johngoldie.com>
Sent: Thursday, May 30, 2013 2:06 PM
To: Teague, Corey
Cc: info@urbanputt.com
Subject: case number 2013.0336C - Urban Putt

I am not going to be able to attend the hearing on June 13, but I just wanted to give my voice to an endorsement for Urban Putt.

I am an absolute lover of Putt Putt Golf and a course in the city is an exciting prospect. I do not own a car, and there is nowhere nearby that does anything similar. The closest courses are an hour away by car and are not accessible via public transportation (without about 3-4 hours of travel each way). Believe me, I've looked!

The fact that it's in the neighborhood is even more exciting. The Mission is amidst an amazing time of rejuvenation and this would do great things toward that.

The fact that it will take an abandoned building and put it into service is great. Creating local jobs is great, and a venue that is good for both children and adults alike is an amazing thing. I also appreciate the fact that they are not going to have live music which will impact the neighbor positively by not bothering anyone and keeping the rowdiness level down.

I would also like to say that it's in an amazing location. No body in the city will have to worry about parking. If they do drive, there's a bunch of parking lots within 2-3 blocks (I know most of my friends have to park farther than that away from their houses!), there's two BART stations nearby with 2th St being only 2-3 blocks away and the fact that there's 3-5 bus lines within a block or two will make this location truly accessible and the neighbors won't have to worry about people taking their precious parking spots (which really aren't their's to begin with, but anyone who has a car!!).

I'm giving this 2 thumbs up!

And you can quote me!

Sincerely,

--John

We could learn a lot from crayons. Some are sharp, some are pretty and some are dull. Some have weird names and all are different colors, but they all have to live in the same box.

John Goldie
[personal] 415.672.0818 • john@johngoldie.com
FAX 415.325.5987 • www.johngoldie.com
[office] 415.836.8333 • jgoldie@salesforce.com

Teague, Corey

From: Carrie <carriev@gmail.com>
Sent: Thursday, May 30, 2013 1:31 PM
To: Teague, Corey
Cc: Urban Putt
Subject: In full support of the CUP for Urban Putt!

Hi Corey,

I am writing today to voice my strong support for Urban Putt, a small, local business that is up for a conditional use permit on June 13th (case number 2013.0336C). Urban Putt will be revitalizing a space that has spent more than a decade unoccupied with mini-golf, a family-friendly fun activity. As a SF resident with a 6 year old Mission-district dwelling nephew, I can tell you that our City is in need of more kid-friendly businesses like Urban Putt!

Sincerely,
Carrie Varoquiers

Matthew Gast
379 Capitol Ave
San Francisco, CA 94112

May 26, 2013

RECEIVED

MAY 29 2013

**CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
RECEPTION DESK**

Corey Teague
City of San Francisco, Planning Department
1650 Mission St., 4th Floor
San Francisco, CA 94103

Re: Statement of Support for Conditional Use Permit #2013.0336C

Mr. Teague:

I am sending this letter to support the conditional use permit application of Urban Putt to operate an indoor miniature golf course and restaurant at 1096 South Van Ness Avenue.

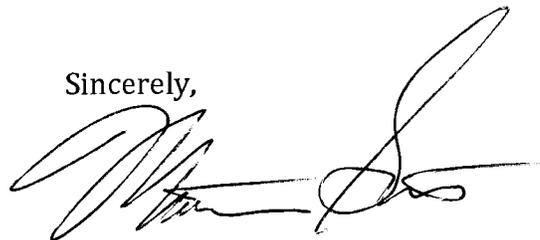
I have been an avid miniature golfer since the age of five, when my father first taught me to play. I can still remember the first time I was able to outpace him, and one of my favorite childhood memories is thinking back to a time when my skills had grown enough that I was able to consistently claim victory over him just a few short years later.

To my great delight, Steve Fox is working hard to open an indoor course in San Francisco. I attended his recent open house and looked at some of the hole designs, and he is building exactly the kind of offbeat spot that San Francisco is known for. (I am especially looking forward to the hole that pays tribute to the 1906 earthquake with falling buildings!)

My career has taken me around the world more times than I care to count. (Commenting on my fatigue once, a friend of mine observed that I had spent the previous year with an average flying speed of about 30 miles per hour, for every hour of the year, because I had flown so extensively.) When I travel, I spend extra time to seek out experiences that are memorable, often because they have an unmistakable local flavor. I can't think of any other city that would enable the dream of combining miniature golf with good food.

Please approve Urban Putt's conditional use permit so that I can start immediately planning to take my out-of-town colleagues there for a round of golf after work. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Matthew Gast', with a large, stylized flourish extending to the right.

Matthew Gast

RECEIVED

MAY 29 2013

**CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
RECEPTION DESK**

Dear Corey Teague,

I will be unable to attend the public hearing to consider the conditional use authorization for the restaurant and miniature golf place at 1096 South Van Ness Avenue on June 13. So I wanted to go on record as being firmly in support. As a local resident, I am excited about the prospect of this opening in San Francisco. It's such a fun concept, so full of vitality, and so quirky--like the city itself, and most especially like the Mission. Things like this will continue to push the Mission into being even more of a destination for both locals and visitors.

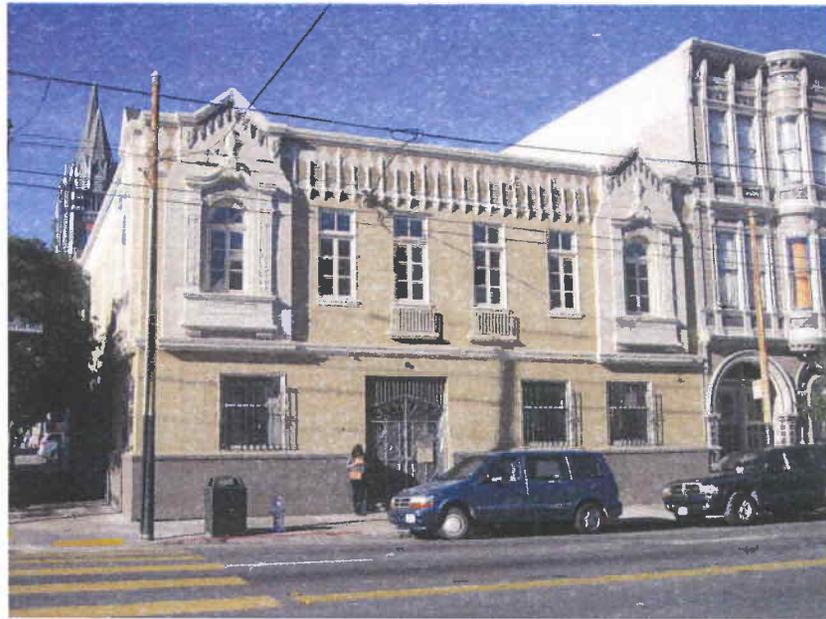
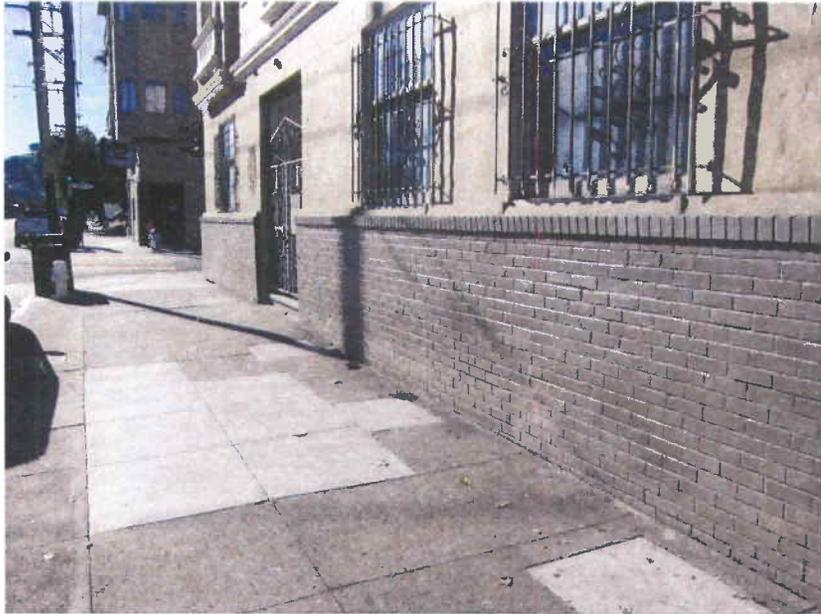
San Francisco should be welcoming of novel ideas like this one.

Kira Mead

A handwritten signature in black ink, appearing to be 'Kira Mead', with a long horizontal stroke extending to the right.

2261 Market St. #615

San Francisco, CA 94114



MH
ARCHITECTS

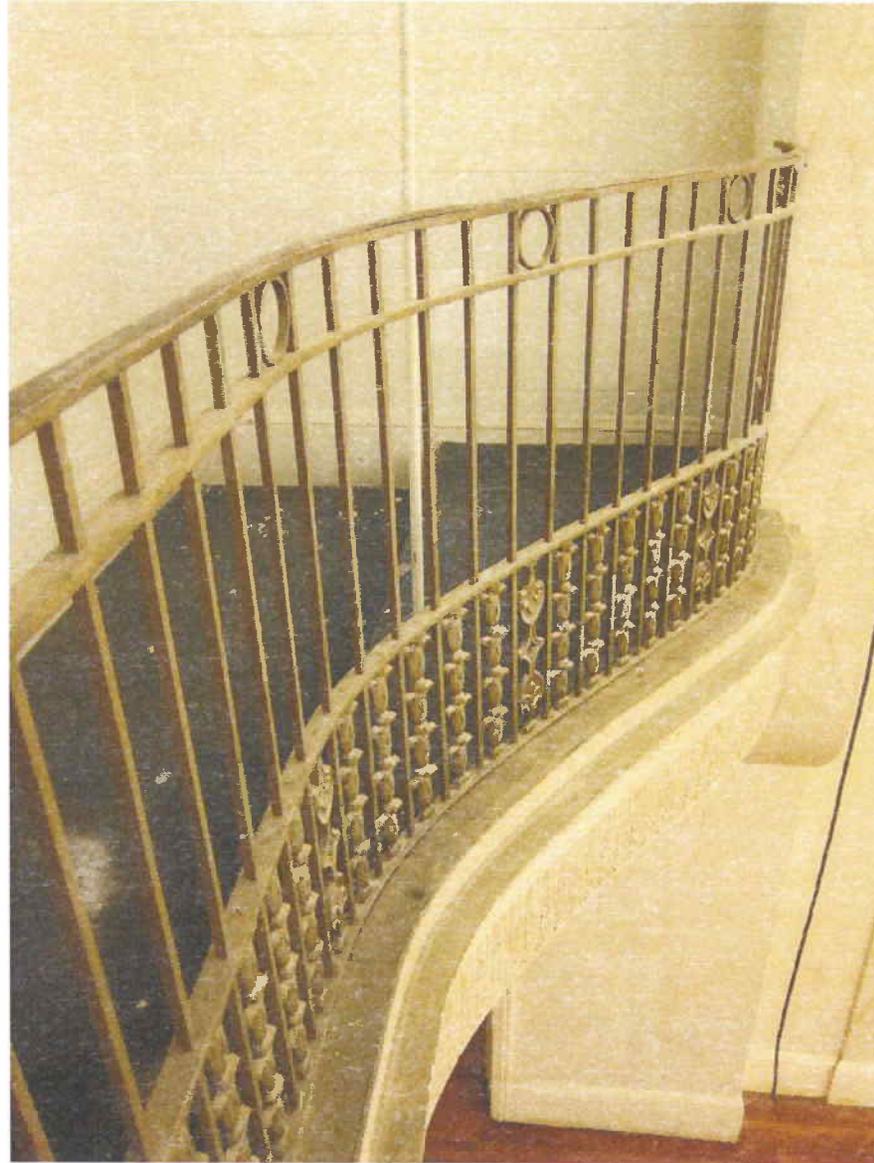
650 Fifth Street Suite 401
San Francisco, CA 94107
www.mattholis.com
T.415.977.0194
F.415.977.0196

This drawing is the property of MH Architects.
Any unauthorized use in part or in whole
without written permission is prohibited.

Urban Putt
1096 South
Van Ness Ave

Exterior
Photos

Date: 01.10.13
Drawn By: SS
Project No.: 1240



MH
ARCHITECTS

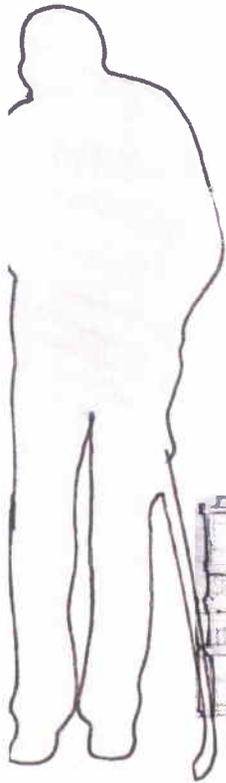
650 Fifth Street Suite 401
San Francisco, CA 94107
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F.415.977.0196

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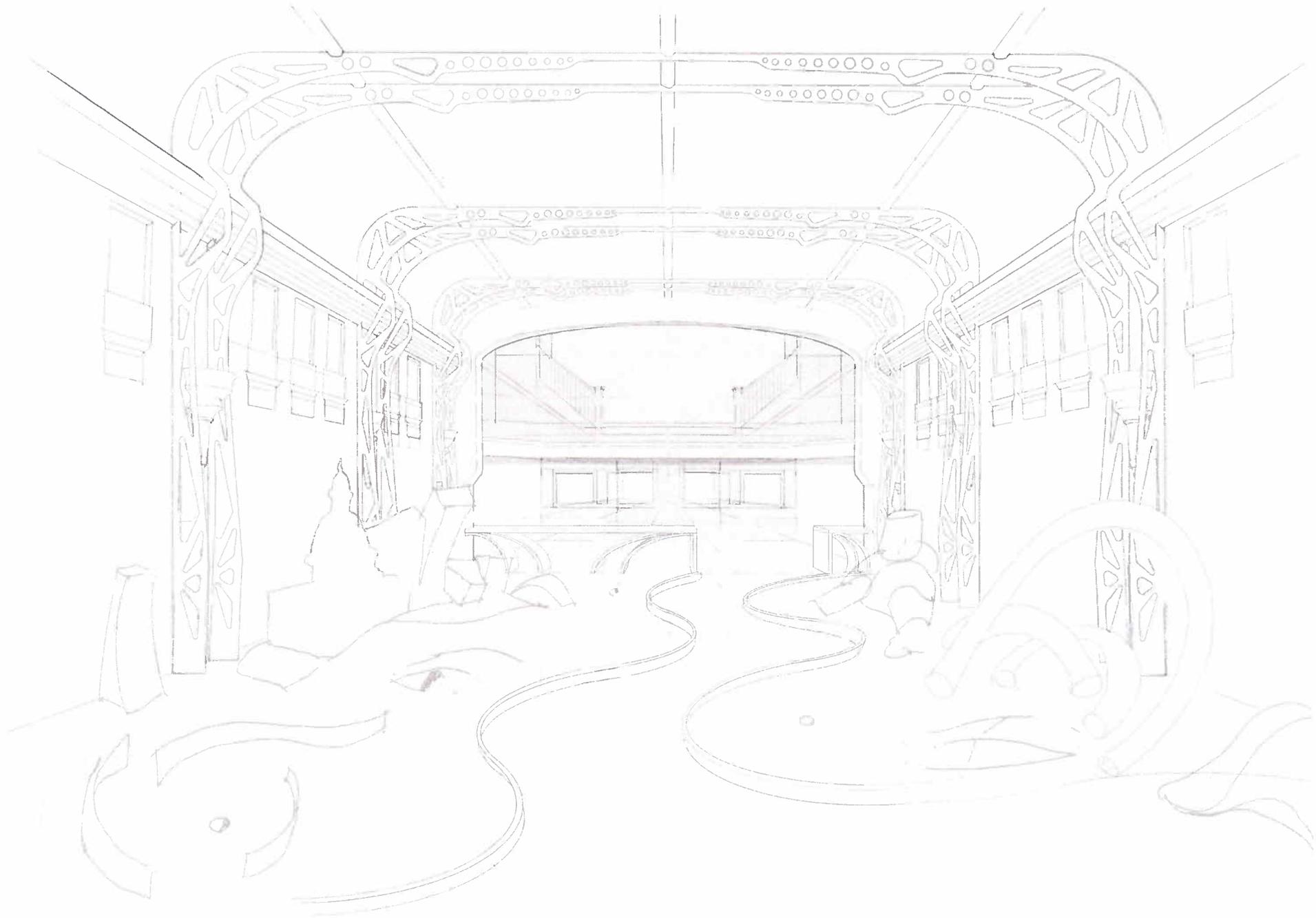
Urban Putt
1096 South
Van Ness Ave

Interior Photos:
Balcony

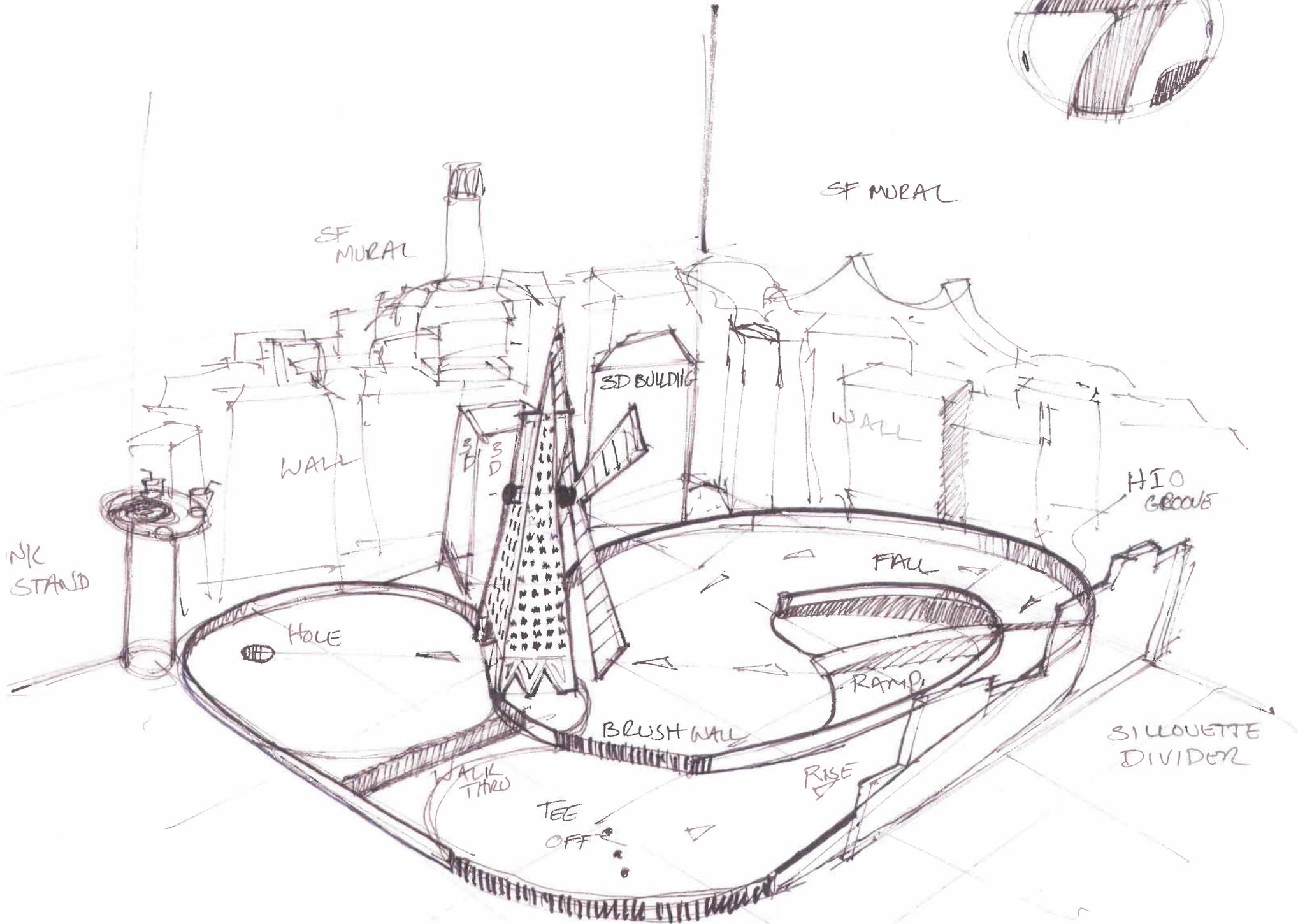
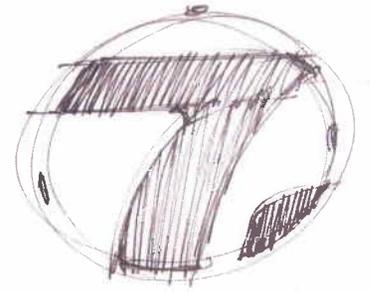
Date: 01.10.13
Drawn By: SS
Project No.: 1240

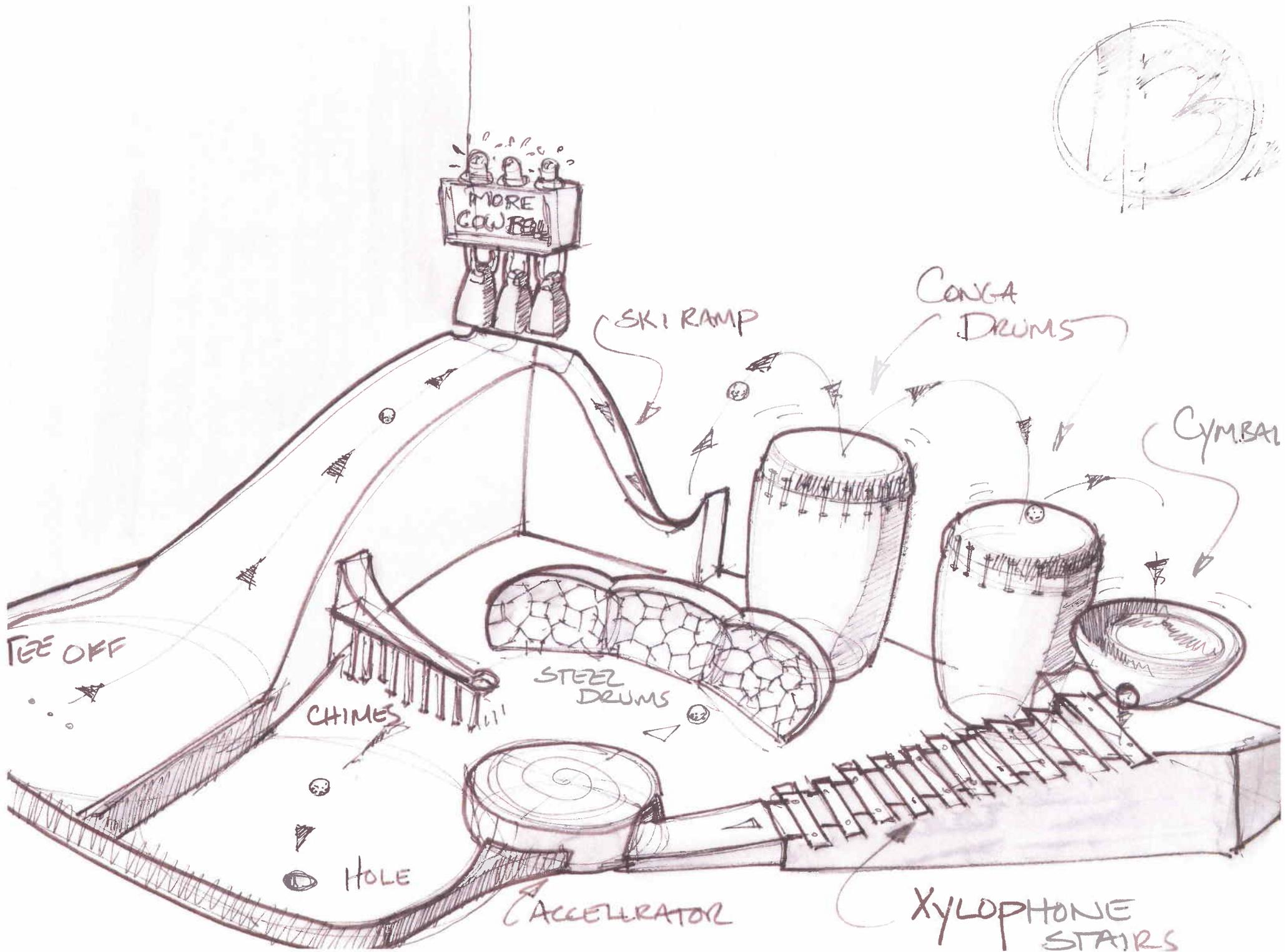


o



TRANS AMERICAN WIND MILL?





General Construction Notes

- 1 SCOPE**
All work on this project provided by the general contractor (GC) shall conform to the contract documents which include the drawings, specifications, all addenda and modifications issued by the architect.
- These contract documents intend to describe a finished project ready for legal use. The GC shall furnish and install all required elements for a complete operating system.
- 2 STANDARDS**
The project shall be constructed according to the locally adopted edition of the uniform building code, the state of California, local municipality amendments and all other applicable codes governing authorities and codes take precedence over drawings and specifications. The GC shall report all discrepancies to the architect immediately.
- The GC shall maintain a current copy of the UBC on site at all times.
- The GC shall install all materials and products in strict accordance with manufacturers' recommendations. All manufacturers' articles, materials and equipment shall be applied installed, connected, erected, cleaned, and conditioned as per the manufacturers' instructions and applicable code reports.
- All materials shall be new unless otherwise noted and like materials shall be consistent in appearance unless specified otherwise.
- The GC and all subcontractors shall provide a one-year guarantee after project completion for all materials and workmanship.
- Mechanics, craftsmen, and workers skilled and experienced in the fabrication and installation of the work involved shall perform shop and fieldwork. All work on this project shall be performed in accordance with the best-accepted practices of the respective trades involved and in accordance with the drawings, submitted shop drawings, and these specifications.
- 3 DIMENSIONS**
Written dimensions on drawings shall take precedence over scaled drawings. Do not scale drawings at any time. Walls and partitions shown in plan or section are to face of finished material unless otherwise noted. Interior elevation and cabinet dimensions are to face of finished material.
- 4 FIELD CONDITIONS**
The GC shall verify dimensions against field conditions. Construction documents are based on observation and documentation of existing conditions by the architect and from documents provided by the owner. The architect makes no claim to the accuracy of hidden conditions or conditions inaccessible from direct observation. Should the GC encounter field conditions that vary from these construction documents and that affect the intent of these drawings or the contract/subcontract sum, the architect shall be notified immediately.
- 5 CONFLICTS**
The GC shall become familiar with the existing conditions of the site and project prior to commencing work and in the case of conflict with the documents, shall notify the architect immediately for clarification.
- The architect shall be notified immediately in the case of conflict between project documents and consultants', manufacturers' or other documents or recommendations.
- Should conflicts occur between drawings and specifications, drawings shall govern in matters of dimension or quantity. Specifications shall govern in matters of materials or finishes.
- 6 SCHEDULE**
All work shall be performed during regular business hours, as permitted by local agencies. Work involving excessive noise or dust, or which would otherwise interfere with the normal operation of the building, site or neighboring sites shall be coordinated with the owner.
- The GC shall coordinate all work, including scheduling times and locations for deliveries, building access, etc.
- The commencement of work shall be deemed as an acknowledgement by the GC that all work of the project shall be completed in conformance with the contract documents and schedule.
- 7 REVISIONS AND CHANGES**
Revisions, and changes must be submitted to the architect for review in the form of a change order, prior to the purchase, fabrication, or installation of the work in question.
- Any change, modification, or interpretation of the scope or requirements of these documents undertaken without consultation of the architect shall be the responsibility of the GC.
- The owner may order extra work or make changes by altering, adding to, or deducting from the work. The contract sum shall be adjusted accordingly.
- 8 UTILITIES**
The architect does not assume responsibility for underground utilities or the existence of other buried objects. The locations of existing underground utilities and/or facilities as shown on the drawings are approximate only. The GC shall contact the respective utility company and provide utility location services as required to obtain the exact depth of burial and horizontal location of utility lines, conduits, piping, etc., prior to performing underground construction. The GC shall make necessary probes and explorations to identify areas of possible.
- The GC shall inspect, test, and disconnect utility services at the main source or main branch. The GC shall securely cap and/or valve-off utility service behind finished surfaces of intended construction or, when noted, at finished face of existing construction prior to demolition. Utility service shall be defined as plumbing, hvac, electric, and fire protection.
- 9 PERMITS**
The GC shall arrange for all inspections and permits necessary to obtain a certificate of occupancy and/or final permit sign-off & inspection.
- 10 EXISTING CONDITIONS**
Access panels, clean outs, and the like shall be maintained for existing building systems. The GC shall verify that existing walls and floors remain as within expected tolerances. The GC shall report to the architect any variations in floor levels greater than 1/4" in 10'-0". The GC shall inform the architect of any existing threshold elevation variations greater than 1/2".
- 11 DEFINITIONS**
"Align" shall be defined as the accurate location of finished faces in the same plane. "typical" or "typ." shall be defined as conditions which are representative of similar conditions throughout. Unless otherwise noted, details are usually keyed and noted. "typ." only once, when they first occur. "similar" or "sim." shall be defined as conditions which are comparable in characteristics for the conditions noted. Verify dimensions and orientation on plans and elevations. "gc" refers to the general contractor, his agents and subcontractors. "architect" refers to the architect of record or his agent.
- 12 MATERIALS STORAGE AND PROTECTION OF WORK**
Improvements on the site, work in progress, stored materials on property shall be protected by the GC from damage arising during the work. All items damaged due to insufficient protection or otherwise shall be fully restored by the GC to their prior condition at no cost to the owner. No part of the structure shall be overloaded beyond its safe carrying capacity at any time.
- 13 SECURITY**
The GC shall be responsible for securing the site during the course of the project. If the site is unattended at any time, it shall be locked.
- 14 TOXIC MATERIALS**
Any materials of unknown constitution uncovered during the course of construction shall be left untouched and immediately brought to the attention of the owner for testing.
- 15 CLEAN UP**
The site shall be kept broom clean and free of debris during the course of construction. At the completion of the work the GC shall clean the project and the surrounding area, remove all waste materials and rubbish from the project as well as tools, construction equipment, machinery and surplus materials. The GC shall remove caulk, putty, and paint from glass and mirrors and wash and polish the same. Clean and remove all labels, grease, dirt, stains, etc. from finished surfaces and equipment to the extent required restoring the intended finish.
- Planters and landscape areas shall be cleaned of debris and rough grading shall be completed.
- END OF GENERAL NOTES

Abbreviations

ACOUS. Acoustical	LAM. Laminated
A.D. Area Drain	LAV. Lavatory
ADJ. Adjustable	LVR. Louver
A.F.F. Above Finish Floor	LP. Low Point
AGGR. Aggregate	M.C. Medicine Cabinet
ARCH. Architectural	MECH. Mechanical
ASPH. Asphalt	MIN. Minimum
AWN. Awning	MIR. Mirror
	MET. Metal
	M.P.R. Multi Purpose Room
BI-FO. DR. Bi-Folding Door	(N) New
BLDG. Building	N.I.C. Not In Contract
BLKG. Blocking	N.T.S. Not To Scale
BM. Beam	
B.O. Bottom Of	
BW. Bottom Of Wall	OBS. Obscure
	O.C. On Center
CPT. Carpet	O.D. Outside Diameter
CAB. Cabinet	OPNG. Opening
C.B. Catch Basin	
CEM. Cement	P.LAM. Plastic Laminated
C.I. Construction Joint	P.L. Property Line
CL. Closet	P.L. Steel Plate
CLG. Ceiling	PL. Plaster
CLR. Clear	PLYWD. Plywood
C.O. Clean Out	PT. Point
COL. Column	
CINC. Concrete	QTY. Quantity
CONT. Continuous	R. Riser
CSMT. Casement	RAD. Radius
C.T. Ceramic Tile	RET. Retaining
C.L. Center Line	RET. AIR. Return Air
C.S. Counter Sink	RD. Round
	R.D. Roof Drain
DEMO Demolition	REF. Refrigerator
DET. Detail	REG. Register
D.H. Double Hung	REIN. Reinforced
D.F. Douglas Fir	REQD. Required
DIAG. Diagonal	R.O. Rough Opening
DIM. Dimension	RWD. Redwood
DWGS. Drawings	R.W.L. Rain Water Leader
DN. Down	
	SAG. Supply Air Grill
(E) Existing	S.V. Sheet Vinyl
E.J. Expansion Joint	S.H. Single Hung
EL. Elevation	SHT. Sheet
EQ. Equal	SHWR. Shower
EXT. Exterior	SIM. Similar
	SM. Sheet Metal
F.B.T. Furnished By Tenant	SKY. Skylight
F.D. Floor Drain	SL. Sliding Glass Door
F.F. Finish Floor	SQ. Square
FIN. Finish	S.S.D. See Structural Drawings
F.O.C. Face Of Concrete	ST. STL. Stainless Steel
F.O.S.F.O.W. Face Of Stud/Face Of Wall	STD. Standard
FR. DR. French Door	STL. Steel
FT. Footing	STG. Storage
FX. Fixed	STRUC. Structural
	T. Tread
GA. Gauge	TC. Top Of Curb
GALV. Galvanized	TEMP. GL. Tempered Glass
G.B. OR G.W. Gypsum Board	TJ. Truss Joist
GL. Glass	T.O. Top Of
GLU. LAM. Glue Laminated	T.O.C. Top Of Concrete
G.S.M. Galv. Sheet Metal	T.P.D. Toilet Paper Dispenser
GWB. Gypsum Board	TYP. Typical
	T.W. Top Of Wall
H.B. Hose Bibb	TS. Tube Steel
HGT. Height	
H.M. Hollow Metal	U.O.N. Unless Otherwise Noted
HOR. Horizontal	VERT. Vertical
H.P. High Point	V.I.F. Verify In Field
H.W.H. Hot Water Heater	
	W. With
I.D. Inside Diameter	W.C. Water Closet
INSUL. Insulation	WD. Wood
INT. Interior	WDW. Window
	WP. Waterproof
J.BOX. Junction Box	W.P. Work Point
JT. Joint	YD. Yard

Project Team

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CONTRACTOR: JM Forster Construction John Forster T: 510.832.3841 E: 510.918.2706 E: john@jforster.com CA Lic # 543685 Class B	STRUCTURAL ENGINEER: Hom-Plasano Engineering, Inc. Mike Horn Jay Pisano 2265 31st Avenue, San Francisco, CA 94116 T: 415.713.8087 F: 415.307.2750 E: hom@hompisano.com E: pisano@hompisano.com
COMMERCIAL RESTAURANT DESIGNER: Kitchen, Restaurant + Bar Specialists (KRBS) Alec Bauer T: 510.710.2694 F: 415.857.2117 E: alec@krbspecialists.com	SPECIALTY DESIGNERS: Isobot Anne Mayoral T: 512.750.8404 E: anne.mayoral@gmail.com Christopher Myers T: 415.374.3199 E: cmyersID@gmail.com

Sheet Index

PROJECT INDEX:	
A0.01	Project Info / General Notes
A0.02	Building Occupancy Diagrams
A1.01	Existing/ Demo Basement Plan
A1.02	Existing/ Demo First Floor Plan
A1.03	Existing/ Demo Second Floor Plan
A1.04	Proposed Basement Plan
A1.05	Proposed First Floor Plan
A1.06	Proposed Second Floor Plan
A2.01	Existing and Proposed Elevations

Project Summary

Application for Conditional Use Authorization : Change of Use

This application is limited to the renovation of an existing two story wood frame building. The renovation includes the introduction of a new indoor miniature golf course, renovated men's and women's bathrooms, two renovated bars, and renovated kitchen and dining areas. Electrical and Mechanical systems shall be upgraded/renovated.

All work shall comply with 2010 versions of California Building Code (CBC), California Residential Code (CRC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), California Fire Code (CFC, if applicable), 2008 California Energy Efficiency Standards (CEES), and all applicable local codes.

Site Information
Site Address: 1096 South Van Ness Ave
San Francisco, CA 94110

APN #: 3615 / 010

No. of Stories: 2 Floors + Basement

Building/ Zoning Information
Existing Use Group/ Occupancy: A-3 Mortuary
Proposed Use Group/ Occupancy: A-2 Restaurant/ Bar
A-3 Miniature Golf Course
S-1 Storage

Zoning District: NC-1 Neighborhood Commercial
Height/ Bulk District: 55-X
Building Type: Type V B, Sprinklered
Year Built: 1906

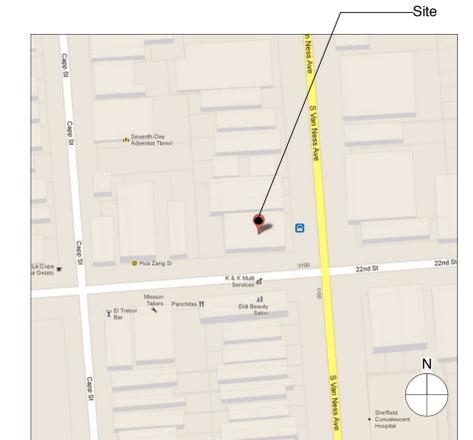
Project Info/ Square Footage

Existing Basement:	2,216 Sq.Ft.
Existing First Floor:	4,400 Sq.Ft.
Existing Second Floor:	2,922 Sq.Ft.
Proposed Total:	9,538 Sq.Ft. (No Change)

Additional Permit Submittals

- Note: Architect to be consulted prior to design/ engineering of all deferred submittal items.
- Alterations to an existing Fire Protection/ Sprinkler System that was installed in 2011 Shall be Performed as Necessary. To be submitted under a deferred submittal.
 - Mechanical Drawings to be submitted under a deferred submittal.

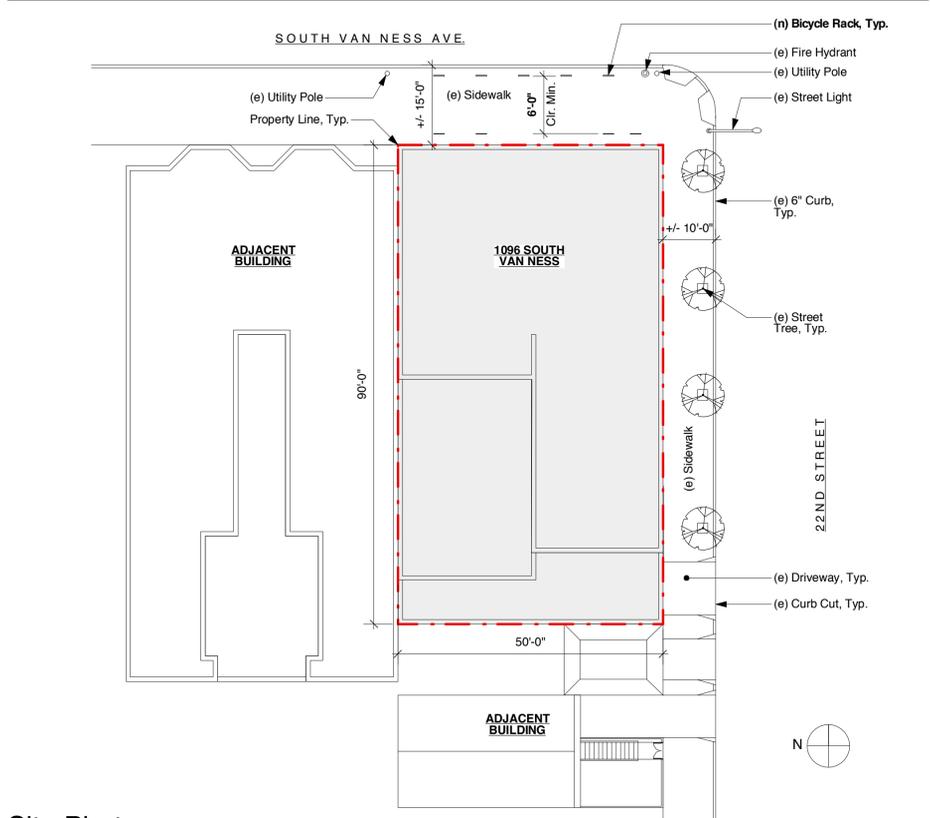
Vicinity Map



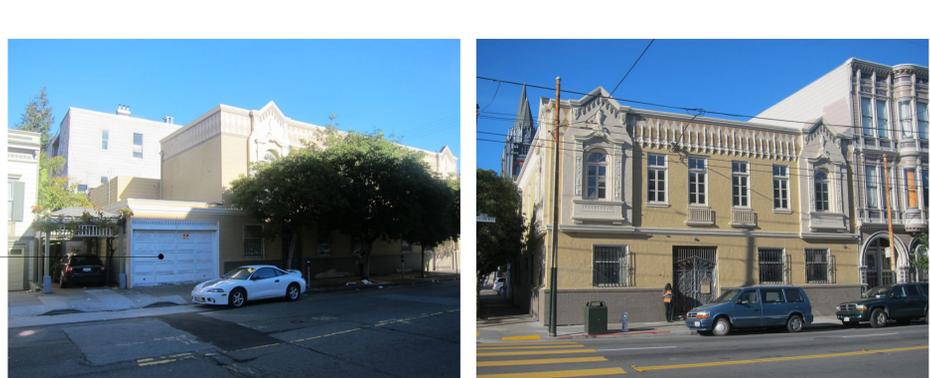
Location Map



Proposed Site Plan



Site Photos



Existing South Elevation, 22nd Street
(no change, u.o.n.)

Existing East Elevation, South Van Ness Ave.
(no change)

Symbol Legend

	Elevation Reference (drawing #/ sheet #)
	Section Reference (drawing #/ sheet #)
	Vantage Point
	Datum or Spot Elevation Point
	Grid Line
	Detail Reference (drawing #/ sheet #)

	Room Number
	Door Symbol
	Window Symbol
	Wall Tag



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URBAN PUTT
Tenant Improvement
1096 South Van Ness
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APN: 3615/010

REV	DATE
As-Built	12.11.12
Schematic Design	01.07.13
Project Review Appl.	01.11.13
Coordination	01.16.13
Design Development	01.30.13
Conditional Use Authorization	03.21.13

Date: 03.21.13
Drawn By: SS
Project No.: 1240
Scale: As Noted

Project Info./
General Notes
SHEET NO.:
A0.01

Existing Square Footage/ Occupant Load For Egress & Plumbing

Program	Use/ Room Name	Function	Occupancy/ Group	Square Footage	Egress Square Factor	Egress Occupant Load
BASEMENT	Storage	Storage	S-1	2216	300	7
FIRST FLOOR	Assembly	Mortuary	A-3	4400	15	293.333
SECOND FLOOR	Assembly	Mortuary	A-3	2922	15	194.8
Total Building				9538		496

NOTE:
Per San Francisco Building Code Section 3408 - Change of Occupancy, A Full Seismic Upgrade is not Required.
A Decrease in the Number of Occupants will Occur with this Change of Use.

Proposed Square Footage/ Occupant Load For Egress & Plumbing

Program	Use/ Room Name	Function	Occupancy/ Group	Square Footage	Egress Square Factor	Plumbing Square Factor	Egress Occupant Load	Plumbing Occupant Load
BASEMENT								
Restaurant/ Bar	Locker Room	Locker Room	A-2	118	50	30	2	4
Restaurant/ Bar	Prep Area	Kitchens, Commercial	A-2	192	200	30	1	6
Restaurant/ Bar	Storage 1	Storage	S-1	558	300	30	2	19
Restaurant/ Bar	Ice Room	Storage	S-1	66	300	30	0	2
Restaurant/ Bar	Storage 2	Storage	S-1	235	300	30	1	8
Restaurant/ Bar	Storage 3	Storage	S-1	480	300	30	2	16
Circulation	Corridor/ Stair/ Elevator	Assembly	A-2	410	15	30	27	14
Misc.	Mechanical Rm.	Mechanical Rm.	S-1	93	300	30	1	3
Misc.	Elevator Mechanical Rm.	Mechanical Rm.	S-1	64	300	30	1	2
Total Basement				2216			37	
FIRST FLOOR								
Restaurant/ Bar	Bar	Kitchens, Commercial	A-2	232	200	30	1	8
Restaurant/ Bar	Bar Seating	Assembly, Unconcentrated	A-2	220	15	30	15	7
Restaurant/ Bar	Private Dining	Assembly, Unconcentrated	A-2	300	15	30	20	10
Restaurant/ Bar	Coat Check	Storage	S-1	92	300	30	1	3
Mini Golf	Golf Course Total:	Assembly	A-3	2133	--	--	--	--
Circulation	Assembly	Assembly	A-3	809	15	30	54	27
Golf Course Holes	Assembly, Gaming Floors	Assembly, Gaming Floors	A-3	662	11	30	60	22
Props (Unoccupied Spaced)	N/A	N/A	A-3	662	N/A	N/A	N/A	N/A
Mini Golf	Club Rentals	Business Area	A-3	14	100	30	1	0
Circulation	Corridor/ Stair/ Elevator	Assembly	A-2	875	15	30	58	29
Misc.	Trash Room	Mechanical Rm.	S-1	83	300	30	1	3
Misc.	Electrical Closet	Storage	S-1	19	300	30	1	1
Misc.	Women's Restroom	N/A	A-2	212	0	30	0	0
Misc.	Men's Restroom	N/A	A-2	220	0	30	0	0
Total First Floor				4400			212	
SECOND FLOOR								
Restaurant/ Bar	Bar	Kitchens, Commercial	A-2	167	200	30	1	6
Restaurant/ Bar	Kitchen	Kitchens, Commercial	A-2	607	200	30	3	20
Restaurant/ Bar	Dining Area	Assembly, Unconcentrated	A-2	900	15	30	60	30
Restaurant/ Bar	Private Dining	Assembly, Unconcentrated	A-2	179	15	30	12	6
Misc.	Balcony	Storage	A-2	163	15	30	11	5
Circulation	Corridor/ Stair/ Elevator	Assembly	A-2	580	15	30	39	19
Misc.	Women's Restroom	N/A	A-2	170	0	30	0	0
Misc.	Men's Restroom	N/A	A-2	156	0	30	0	0
Total Second Floor				2922			125	
Total Building				9538			375	271

Plumbing Fixture Calculations

Per SF Building Code Table 2902.1
Total Occupant Load: 271
136 Men
136 Women

4 water closets and 4 lavatories are required for each gender

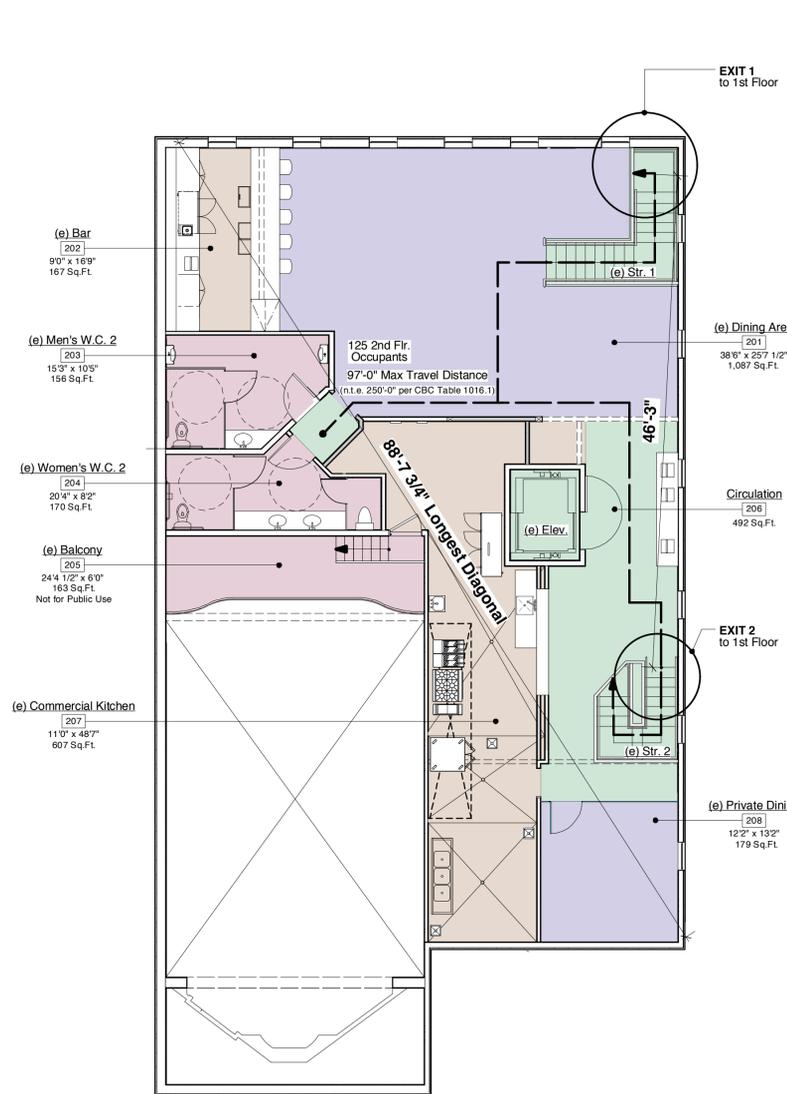
PLUMBING FIXTURES PROVIDED

	M	F
Occupants	136	136
Unisex Water Closets	4	5
Urinal	4	N/A
Lavatories	4	5

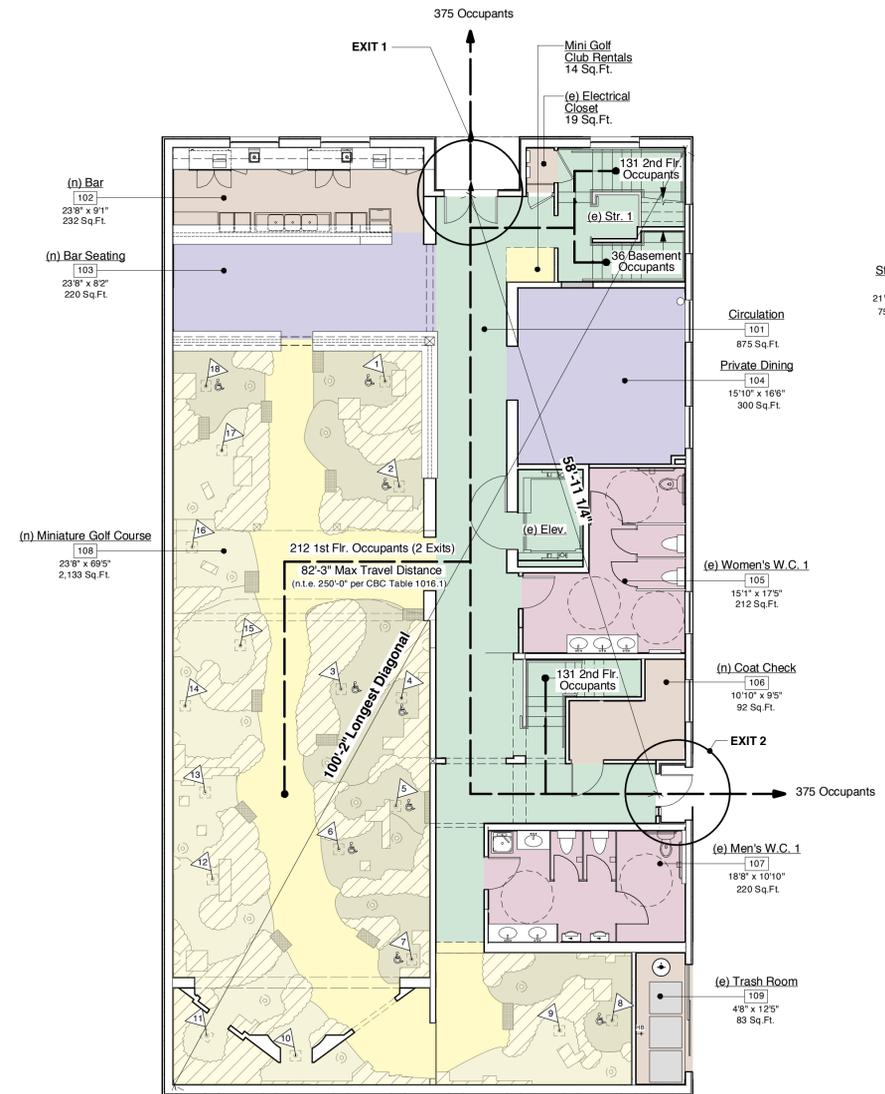
No drinking fountain required due to restaurant.

Legend

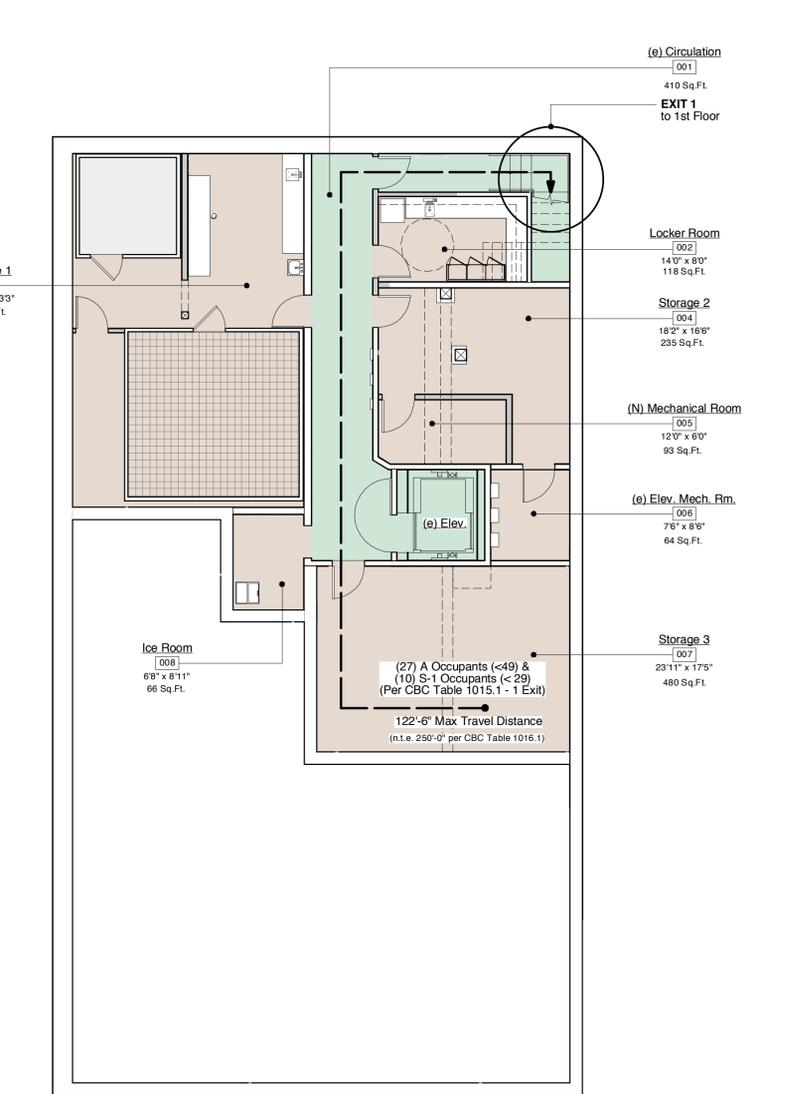
- (n) Wall
- (e) Wall to Remain
- (e) Wall to be Demolished
- Golf Course Props, Unoccupied Space



3 Second Floor Building Occupancy Diagram
Scale: 1/8" = 1'-0"



2 First Floor Building Occupancy Diagram
Scale: 1/8" = 1'-0"



1 Basement Building Occupancy Diagram
Scale: 1/8" = 1'-0"



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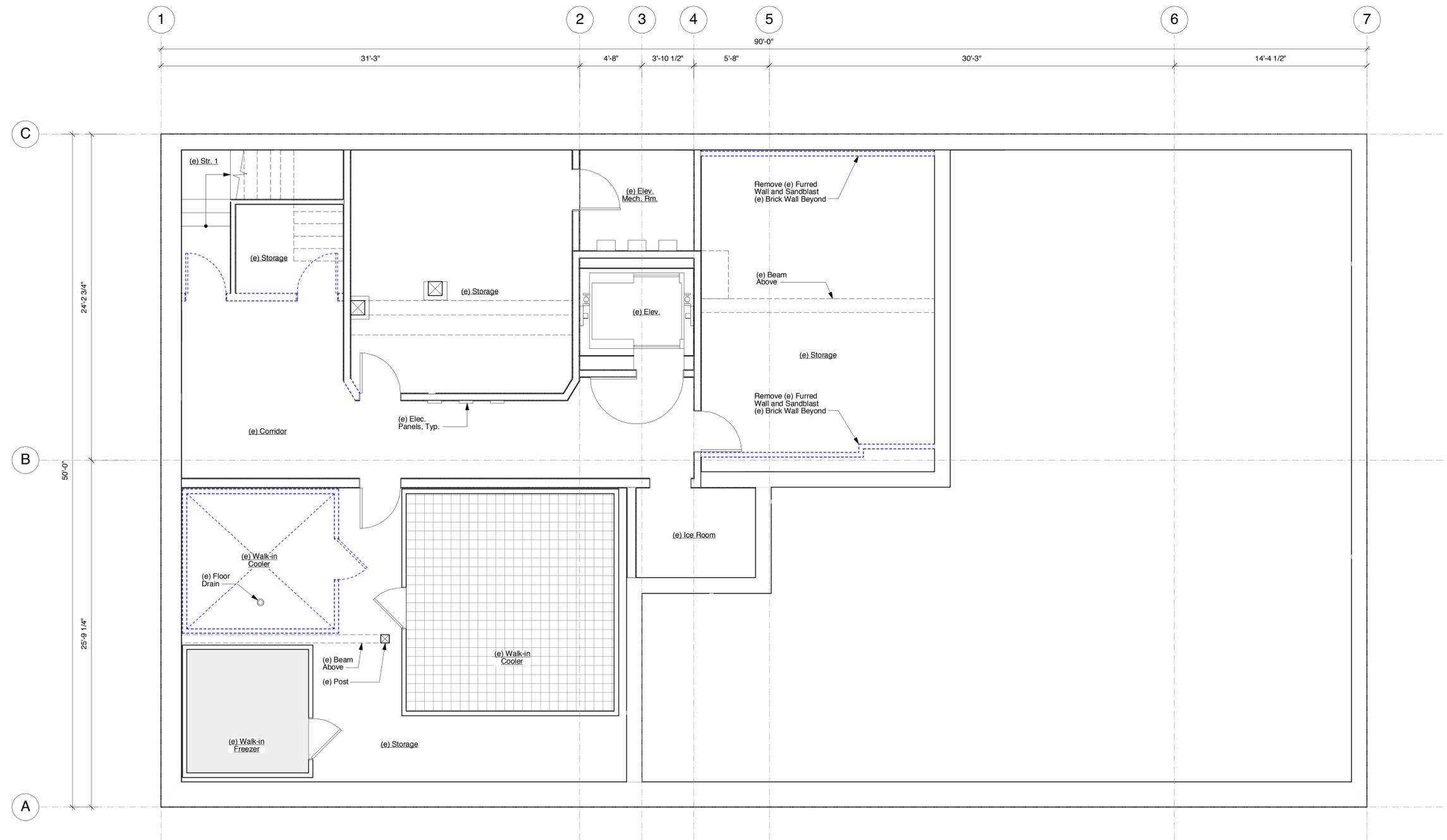
Date:	03.21.13
Drawn By:	SS
Project No.:	1240
Scale:	AS NOTED

Occupancy Diagrams
SHEET NO.: **A0.02**



Legend

-  (n) Wall
-  (e) Wall to Remain
-  (e) Wall to be Demolished
-  Golf Course Props, Unoccupied Space



1 Existing/Demo Basement Plan
Scale: 1/4" = 1'-0"

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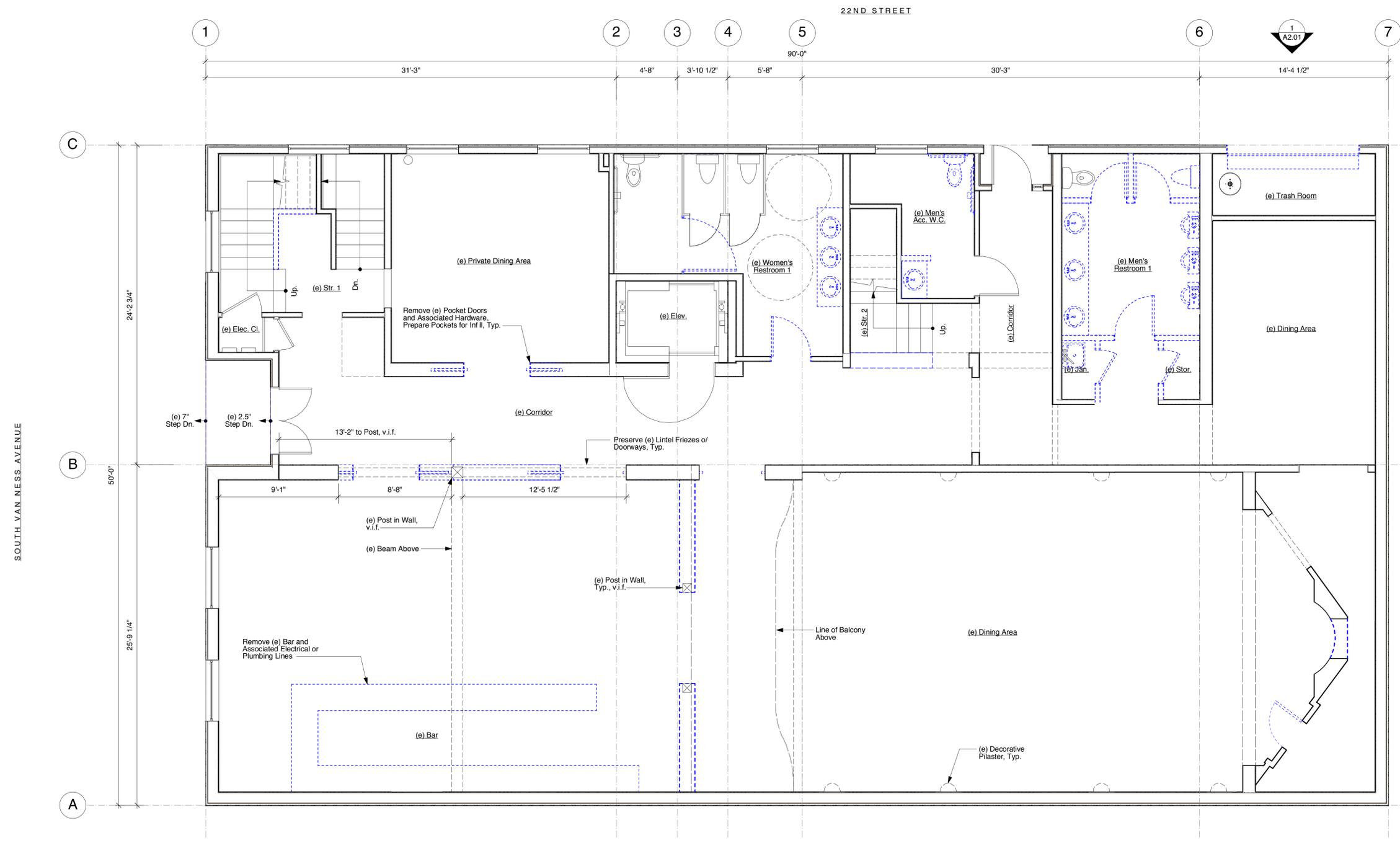
Existing/Demo
Basement Plan
SHEET NO.:
A1.01



Legend

-  (n) Wall
-  (e) Wall to Remain
-  (e) Wall to be Demolished
-  Golf Course Props, Unoccupied Space

- Demo Plan Notes**
- Scope of demolition & removal shall not be limited by these drawings but shall include any and all work necessary to facilitate new construction.
 - Ensure full protection of all existing conditions to remain.
 - GC to prepare for possibility of asbestos and comply with the abatement procedure per local regulations. Found asbestos not the responsibility of the architect.
 - All plumbing supply lines to be capped with a 4" min. stub from floor or wall. Ensure all waste lines are kept free of debris.
 - For all electrical devices remove cap as per UBC.
 - All work shall be performed in accordance with the UBC and all Federal, State, and Municipal authorities having jurisdiction over the work.
 - Demolition work shall comply with ANSI A 10.6 Safety Requirements for Demolition.
 - Materials or items designated to be re-used shall be removed w/ care and stored in a secure location. Remove all other items from the premises and dispose of per city regulations.



1 Existing/ Demo First Floor Plans
Scale: 1/4" = 1'-0"

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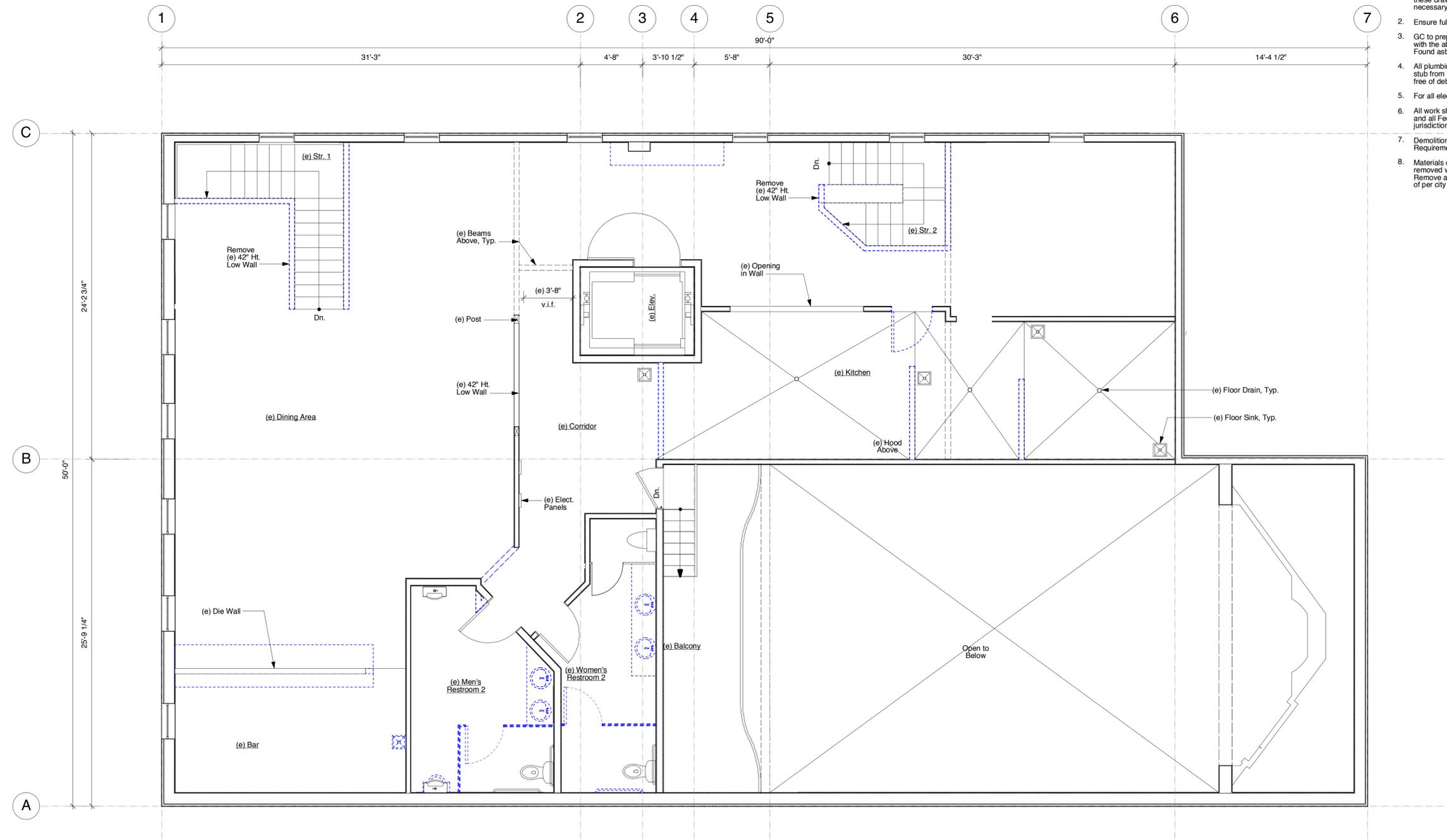
Existing/ Demo
First Floor Plan
SHEET NO.:
A1.02



Legend

-  (n) Wall
-  (e) Wall to Remain
-  (e) Wall to be Demolished
-  Golf Course Props, Unoccupied Space

- Demo Plan Notes**
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1 Existing/ Demo Second Floor Plans
Scale: 1/4" = 1'-0"

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Drawn By:	SS
Project No.:	1240
Scale:	AS NOTED

Existing/ Demo
Second Floor Plan
SHEET NO.:
A1.03



Legend

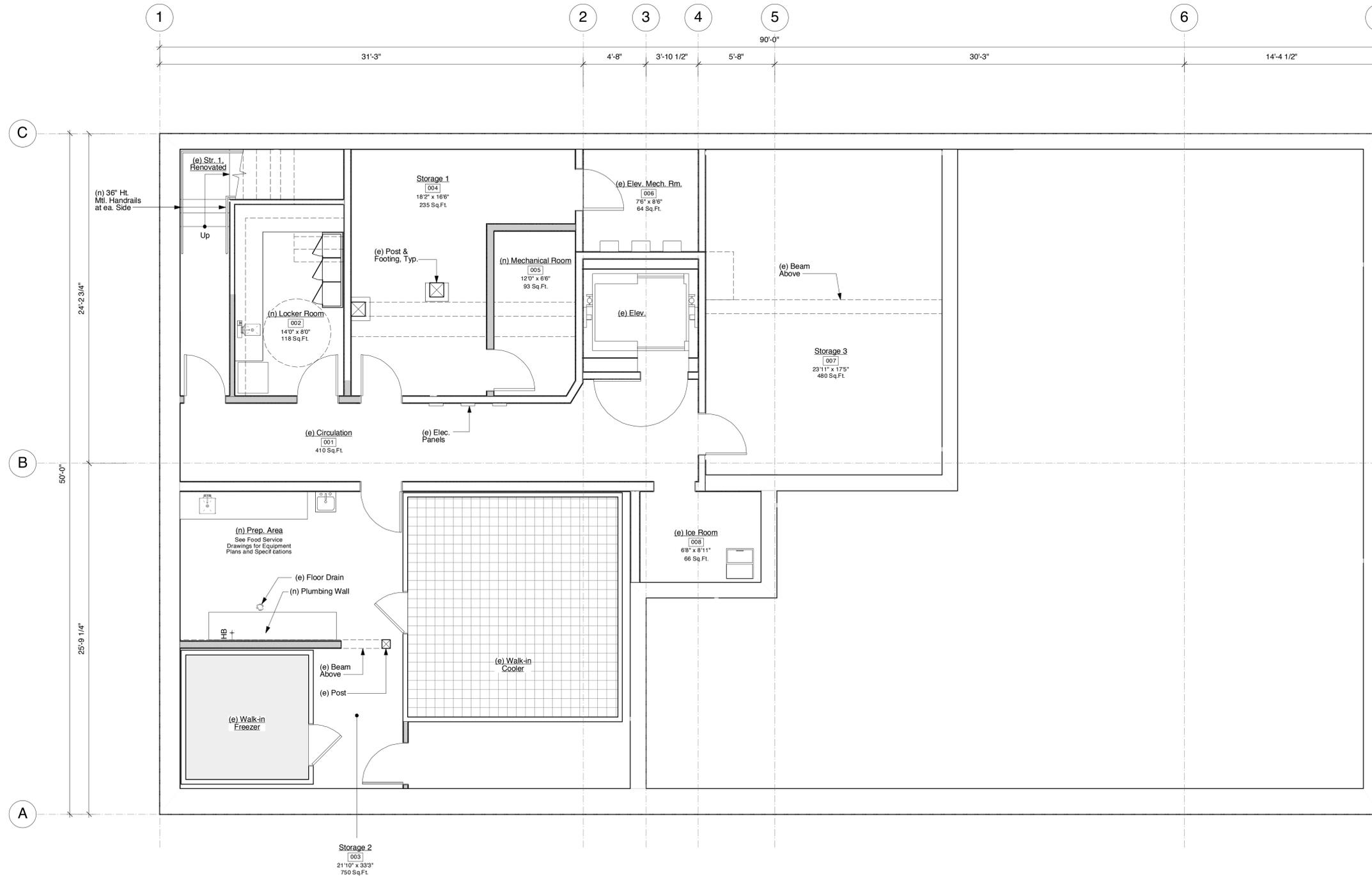
-  (n) Wall
-  (e) Wall to Remain
-  (e) Wall to be Demolished
-  Golf Course Props, Unoccupied Space

Floor Plan Notes

1. All dims. are from finish face to finish wall surface.
2. GC shall provide & install formaldehyde-free acoustic batt insulation at all exterior walls and ceilings open for construction and at all kitchen and bathroom walls.
3. Provide 2x recessed blocking for bath accessories, verify location w/ architect & owner.
4. All kitchen, bathroom & laundry room counters shall be 3'-0" A.F.F., U.O.N.

Plumbing Notes

1. New lavatory faucets shall be 2.5 GPM max.
2. New toilets shall be 1.6 GPM max.



1 Proposed Basement Plan
Scale: 1/4" = 1'-0"

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Date:	03.21.13
Drawn By:	SS
Project No.:	1240
Scale:	As Noted

Proposed
Basement Plan
SHEET NO.:
A1.04



Legend

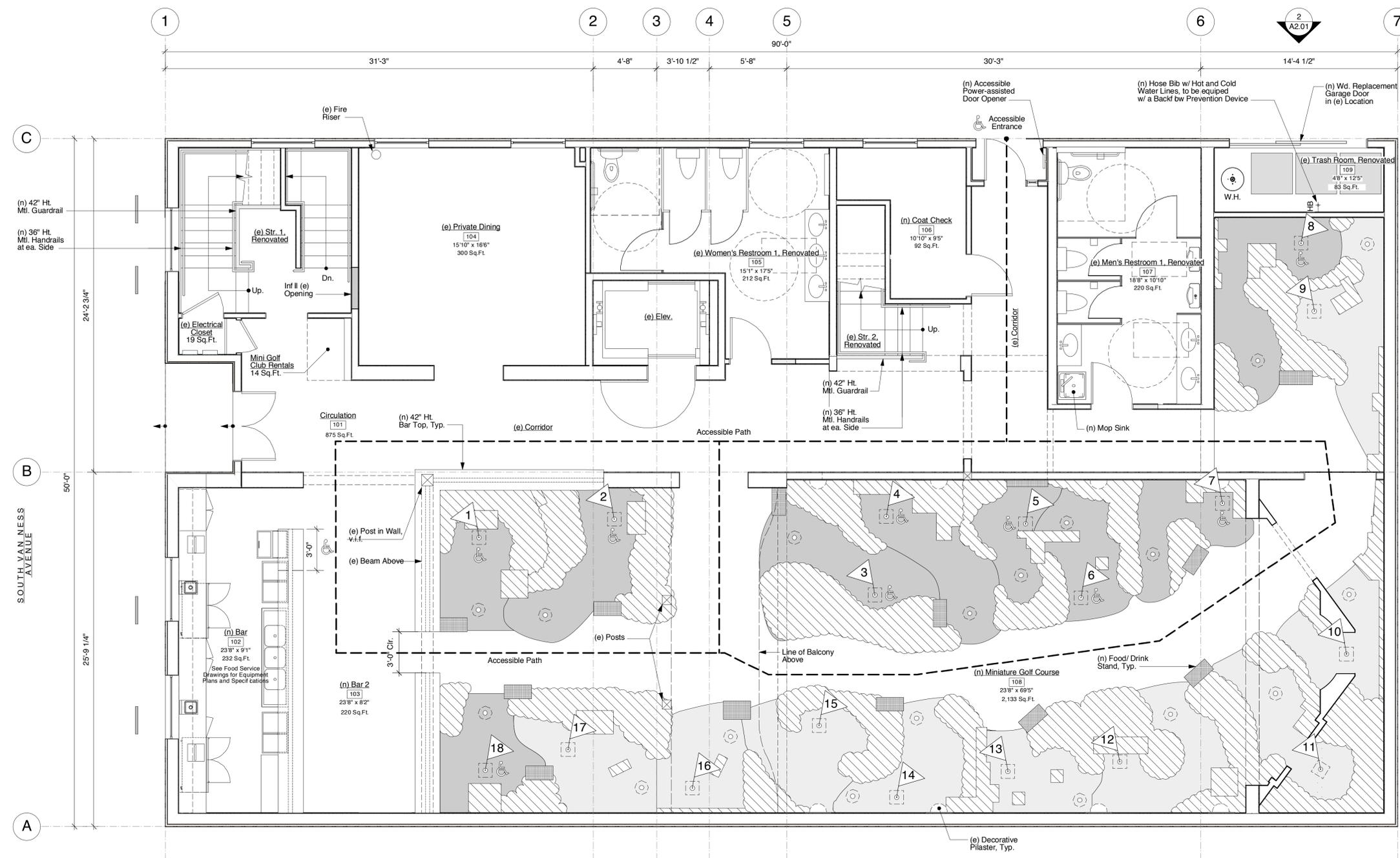
-  (n) Wall
-  (e) Wall to Remain
-  (e) Wall to be Demolished
-  Golf Course Props, Unoccupied Space

Floor Plan Notes

1. All dims. are from finish face to finish wall surface.
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4. All kitchen, bathroom & laundry room counters shall be 3'-0" A.F.F., U.O.N.

Plumbing Notes

1. New lavatory faucets shall be 2.5 GPM max.
2. New toilets shall be 1.6 GPM max.



1 Proposed First Floor Plans
Scale: 1/4" = 1'-0"

URBAN PUTT
Tenant Improvement
1096 South Van Ness
San Francisco, CA 94110
APN: 3615/010

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As-Builts	12.11.12
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Project Review Appl.	01.11.13
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Design Development	01.30.13
Conditional Use Authorization	03.21.13

Date:	03.21.13
Drawn By:	SS
Project No.:	1240
Scale:	As Noted

Proposed
First Floor Plan
SHEET NO.:
A1.05



Legend

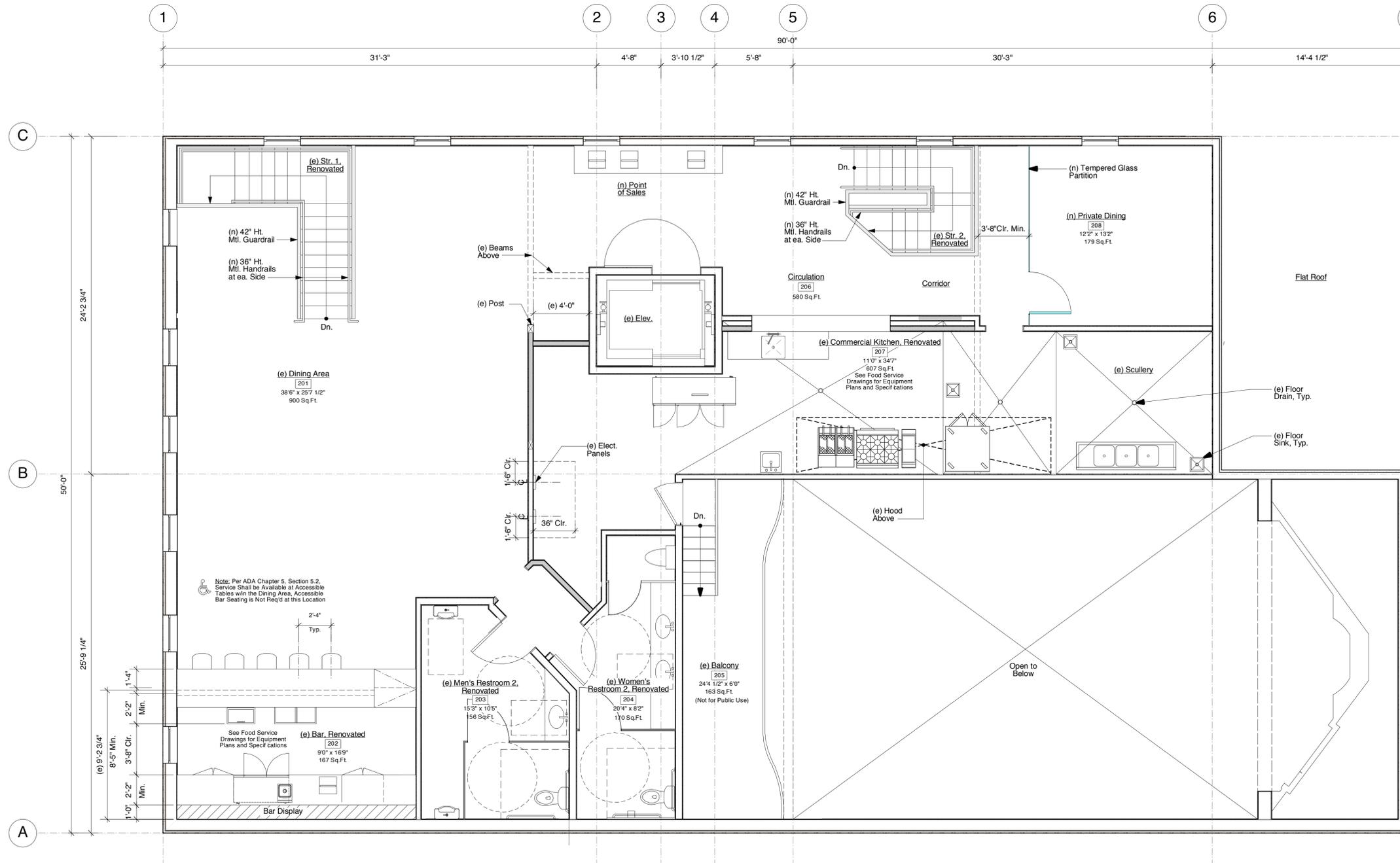
-  (n) Wall
-  (e) Wall to Remain
-  (e) Wall to be Demolished
-  Golf Course Props, Unoccupied Space

Floor Plan Notes

- All dims. are from finish face to finish wall surface.
- GC shall provide & install formaldehyde-free acoustic batt insulation at all exterior walls and ceilings open for construction and at all kitchen and bathroom walls.
- Provide 2x recessed blocking for bath accessories, verify location w/ architect & owner.
- All kitchen, bathroom & laundry room counters shall be 3'-0" A.F.F., U.O.N.

Plumbing Notes

- New lavatory faucets shall be 2.5 GPM max.
- New toilets shall be 1.6 GPM max.



1 Proposed Second Floor Plan
Scale: 1/4" = 1'-0"



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Project No.:	1240
Scale:	As Noted

Proposed
Second Floor Plan
SHEET NO.:
A1.06

(n) Wood Sliding Trash Room Door in (e) Opening



2 Proposed South Elevation
 Not to Scale

(e) Non-Operable Sectional Trash Room Door to be Replaced



1 Existing South Elevation
 Not to Scale

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Project No.:	1240
Scale:	As Noted

Existing/ Proposed Elevations

SHEET NO.:
A2.01