



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JUNE 20, 2013

Date: June 13, 2013
Case No.: **2013.0479C**
Project Address: **443 CLEMENT STREET**
Zoning: Inner Clement NCD (Neighborhood Commercial District)
40-X Height and Bulk District
Block/Lot: 1437/039
Project Sponsor: Judy Cheong
1858 23rd Avenue
San Francisco, CA 94122
Staff Contact: Sharon Lai – (415) 575-9087
sharon.w.lai@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
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415.558.6377

PROJECT DESCRIPTION

The Project Sponsor proposes to convert the existing vacant commercial space (formerly Five Star Discount Store) into a Restaurant (d.b.a. Happy Sushi), which will allow on-site beer, wine and/or liquor sales for drinking on the premises (with ABC license types 41, 47, 49, 59 or 75) provided that the business operates as a Bona Fide Eating Establishment as defined in Planning Code Section 790.142. The Project does not include any exterior alterations.

The proposed restaurant, will occupy approximately 1,650 square feet of ground floor commercial space, and will consist of a dining area for approximately 16 persons, sushi counter for approximately 7 persons, kitchen, service area, and restroom. The mezzanine level has an existing ceiling height of approximately 5 feet and will be used for storage. The proposal will involve interior improvements to the ground floor commercial tenant space, with no expansion of the existing building envelope.

According to the Project Sponsor, the business will be operating as a bona fide restaurant that specializes in Japanese cuisine offering both raw and cooked food items. The project sponsor has indicated that the proposed hours of operation will be 10:00 AM to 10:00 PM daily, and the proposed operation will employ six staff members including a chef, chef assistant, a kitchen helper, two waiters, and a manager.

SITE DESCRIPTION AND PRESENT USE

The Project Site is on the south side of Clement Street, between 5th and 6th Avenues; Assessor's Block 1437; Lot 039. It is located within the Inner Clement Street Neighborhood Commercial District (NCD) and 40-X Height and Bulk District. The subject lot is approximately 5,000 square feet (50 feet wide by 100 feet deep) in size and is occupied by a one-story commercial building with a mezzanine level that was constructed circa 1923. The subject building contains three commercial tenant spaces: 441 Clement Street is occupied by a bar called The Bitter End; the subject vacant space, 443 Clement Street was last occupied by Five Star Discount Store; and 445 Clement Street is occupied by Taiwan Restaurant.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project Site is located within the Inner Richmond Neighborhood. The surrounding development consists of a variety of commercial and mixed-use buildings mostly featuring residential uses above ground-floor commercial establishments within the Inner Clement NCD. The scale of development in the area consists primarily of one- to three-story structures. Upper floors of buildings are generally occupied by offices or residential units. The Inner Clement NCD is bounded by residential and mixed-uses in the surrounding RM-1 (Residential, Mixed) District. The Inner Clement NCD is located on Clement Street between Arguello Boulevard and Funston Avenue in the eastern portion of the Richmond District.

The shopping area contains a variety of small-scale convenience businesses which primarily include a mix of restaurants, specialty groceries, variety merchandise stores, and personal service establishments. Uses in the subject block along Clement Street includes: restaurant, bar, jewelry store, bakery, flower shop, and café.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	May 31, 2013	May 29, 2013	22 days
Posted Notice	20 days	May 31, 2013	May 31, 2013	20 days
Mailed Notice	20 days	May 31, 2013	May 29, 2013	22 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

PUBLIC COMMENT

1. To date, the Department has received one communication in opposition to the proposal expressing concern and opposition to the concentration of eating establishments in the neighborhood and the potential negative impacts on air quality.

ISSUES AND OTHER CONSIDERATIONS

- The eating and drinking concentration within the subject NCD will increase from 21.9% to 22%, whereas the General Plan policy indicates 20% as an over-concentration of the use.
- The proposed restaurant will increase the existing eating and drinking concentration within the immediate area (defined as within 300feet of the Subject Property) of the subject site from 38% to 39%, whereas Planning Code Section 303(p) states that the concentration of such use shall not exceed 25% of the total commercial frontage within 300 feet.

- The project proposes to operate from 10:00 AM to 10:00 PM daily, within the principally permitted hours of operation.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization to allow a change of use from a vacant retail space to a Restaurant, pursuant to Planning Code Section 303, 716.44 and 790.91.

BASIS FOR RECOMMENDATION

- The proposed Restaurant will replace an existing vacant storefront, which is consistent with the City's General Plan policies of economic vitality.
- Clustering of uses can lead to economic vitality of the Inner Clement NCD, where public transit is accessible, which is consistent with General Plan policy 6.1.
- The proposed establishment will create six new employment opportunities at varying skill levels.
- The proposed Restaurant will enable an independent, locally-owned business to operate while providing desirable goods and services to the surrounding neighborhood.
- The Project meets all applicable requirements of the Planning Code.
- The Project is desirable for, and compatible with the surrounding neighborhood.
- The business is not a Formula Retail use and would serve the immediate neighborhood.

RECOMMENDATION: Approval with Conditions
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Attachments:

Draft Motion
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Site Photo
Reduced Plans

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Wireless Telecommunications Materials |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> RF Report |
| | <input type="checkbox"/> Community Meeting Notice |
| | <input type="checkbox"/> Housing Documents |
| | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |
| | <input type="checkbox"/> Residential Pipeline |

Exhibits above marked with an "X" are included in this packet

SL

Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 716.44, and 790.91 OF THE PLANNING CODE TO ALLOW A CHANGE OF USE FROM A VACANT COMMERCIAL SPACE THAT WAS LAST OCCUPIED BY A RETAIL STORE (DBA FIVE STAR DISCOUNT STORE) TO A RESTAURANT USE (DBA HAPPY SUSHI). THE PROPERTY IS LOCATED WITHIN THE INNER CLEMENT NEIGHBORHOOD COMMERCIAL DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On April 18, 2013, Judy Cheong (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 303, 716.44, and 790.91 to allow a new restaurant (d.b.a. Happy Sushi) within the Inner Clement NCD (Neighborhood Commercial District) and a 40-X Height and Bulk District.

On June 20, 2013, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.0479C.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.0479C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project Site at 443 Clement Street is on the south side of Clement Street, between 5th and 6th Avenues; Assessor's Block 1437; Lot 039. It is located within the Inner Clement Street Neighborhood Commercial District (NCD) and 40-X Height and Bulk District. The subject lot is approximately 5,000 square feet (50 feet wide by 100 feet deep) in size and is occupied by a one-story commercial building with a mezzanine level that was constructed circa 1923. The subject building contains three commercial tenant spaces: 441 Clement Street is occupied by a bar The Bitter End; the subject vacant space, 443 Clement Street was last occupied by Five Star Discount Store; and 445 Clement Street is occupied by Taiwan Restaurant.
3. **Surrounding Properties and Neighborhood.** The Project Site is located within the Inner Richmond Neighborhood. The surrounding development consists of a variety of commercial and mixed-use buildings mostly featuring residential uses above ground-floor commercial establishments within the Inner Clement NCD. The scale of development in the area consists primarily of one- to three-story structures. Upper floors of buildings are generally occupied by offices or residential units. The Inner Clement NCD is bounded by residential and mixed-uses in the surrounding RM-1 (Residential, Mixed) District. The Inner Clement NCD is located on Clement Street between Arguello Boulevard and Funston Avenue in the eastern portion of the Richmond District.

The shopping area contains a variety of small-scale convenience businesses which primarily include a mix of restaurants, specialty groceries, variety merchandise stores, and personal service establishments. Uses in the subject block along Clement Street includes: restaurant, bar, jewelry store, bakery, flower shop, and café.

4. **Project Description.** The Project Sponsor proposes to convert the existing vacant commercial space (formerly Five Star Discount Store) into a Restaurant (d.b.a. Happy Sushi), which will allow on-site beer, wine and/or liquor sales for drinking on the premises (with ABC license types 41, 47, 49, 59 or 75) provided that the business operates as a Bona Fide Eating Establishment as defined in Planning Code Section 790.142. The Project does not include any exterior alterations.

The proposed restaurant, will occupy approximately 1,650 square feet in ground floor commercial space, and will consist of a dining area for approximately 16 persons, a sushi counter for approximately 7 persons, kitchen, service area, and restroom. The mezzanine level has an existing ceiling height of approximately 5 feet and will be used for storage. The proposal will involve interior improvements to the ground floor commercial tenant space, with no expansion of the existing building envelope.

According to the Project Sponsor, the business will be operating as a bona fide restaurant that specializes in Japanese cuisine offering both raw and cooked food items. The project sponsor has indicated that the proposed hours of operation will be 10:00 AM to 10:00 PM daily, and the proposed operation will employ six staff members including a chef, chef assistant, a kitchen helper, two waiters, and a manager.

5. **Public Comment.** The Department has received one phone call in opposition to the proposal expressing concern and opposition to the concentration of eating establishments in the neighborhood and the potential negative impacts on air quality.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Planning Code Section 716.44 states that a Conditional Use Authorization is required for a Restaurant on the first story, as defined by Planning Code Section 790.91.

The Subject Property is located within the Inner Clement NCD and pursuant to Planning Code Section 716.44; Restaurants are permitted on the first story with a Conditional Use authorization. The Project Sponsor is requesting Conditional Use authorization in order to allow a Restaurant on the first story of a tenant space, which is currently vacant. A Restaurant may provide on-site beer, wine, and/or liquor sales for drinking on the premises (with ABC license types 41, 47, 49, 59 or 75); however, if it does so it shall be required to operate as a Bona Fide Eating Place. The Project Sponsor proposes to provide on-site beer and wine sales for drinking on the premises with an ABC license type 41 and will operate as a Bona Fide Eating Place as defined by Planning Code Section 790.142.

- B. **Hours of Operation.** Planning Code Section 716.27 states that hours of operation from 6:00 AM to 2:00 AM are principally permitted in the Inner Clement NCD while hours of operation from 2:00 AM to 6:00 AM are conditionally permitted. Hours of operation are defined by Planning Code Section 790.48 as the permitted hours during which any commercial establishment may be open.

The Project's proposed hours of operation will be from 10:00 AM to 10:00 PM, daily. The Project will operate within the principally permitted hours of operation.

- C. **Parking.** Planning Section 151 of the Planning Code requires off-street parking for every 200 square-feet of occupied floor area, where the occupied floor area exceeds 5,000 square-feet.

The Subject Property contains approximately 1,650 square-feet of occupied floor area and thus does not require any off-street parking.

- D. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

The subject commercial space has approximately 16 feet, 6 inches of frontage on Clement Street with approximately 13 feet devoted to either the restaurant entrance or window space. The windows are clear and unobstructed. There are no changes proposed to the commercial frontage.

- E. **Signage.** Currently, there is not a proposed sign program on file with the Planning Department. The proposed business does not have a name as of this writing. Any proposed signage will be subject to the review and approval of the Planning Department.
7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:
- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed use is in keeping with other storefronts on the block face. This restaurant will compliment and support the mix of goods and services currently available in the district and contribute to the economic vitality of the neighborhood by occupying a vacant storefront. The proposed use will not increase the size of the existing commercial space, which was previously used as a retail store. The Project frontage on Clement Street is 16 feet, 6 inches and no exterior changes are proposed.

B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require parking or loading for a 1,650 square-foot restaurant. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. Furthermore, the subject site is well served by transit with 12 bus stops within ¼ mile radius, that are serviced by nine different bus routes (Golden Gate Transit #92, and MUNI buses # 1AX,1BX,38BX, 38L, 1, 2, 38, and 44).

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The project is not anticipated to produce noxious or offensive emissions related to noise, glare and dust or odor. The restaurant will be subject to the Condition 8 of Exhibit A, regarding odor control.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposed restaurant does not propose any exterior modifications and the Department shall review all lighting and signs proposed for the new business in accordance with Condition 7 of Exhibit A.

C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code. The project as a whole is consistent with objectives and policies of the General Plan as detailed below.

D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purposes of the Inner Clement NCD in that the intended use is located at the first floor, and will provide a compatible convenience service for the immediately surrounding neighborhoods during daytime hours.

- E. The existing concentration of eating and drinking uses shall not exceed 25% of the total commercial frontage as measured in linear feet within the immediate area of the subject site. The immediate area shall be defined as all properties located within 300 feet of the subject property and also located within the same zoning district.

Planning staff has performed a site survey of the Inner Clement Neighborhood Commercial District including the immediate area of the Subject Site. The existing eating and drinking establishments occupy approximately 38% of the total commercial frontage within the immediate area, and will be 39% with the proposed project. The proposed change of use from retail to Restaurant will result in a net increase of 1% in commercial frontage attributed to eating and drinking uses within 300 feet of the Subject site.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The Project will provide desirable goods and services, as well as employment opportunities to those in the community. No existing commercial tenant will be displaced as the current space is vacant. The conditions of approval will ensure that the use meets minimum, reasonable performance standards.

Further, the Project Site is located within a Neighborhood Commercial District and is thus consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will replace an existing vacant storefront with a desirable neighborhood-serving use, thereby revitalizing commercial activity for the subject block and neighborhood and will enhance the diverse economic base of the City.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

The Project will provide approximately six additional employment opportunities for local residents, including positions for skilled, unskilled and semi-skilled.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced as the space is currently vacant. The project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood, since the proposed eating use will only minimally increase the eating and drinking establishment concentration.

Eating and Drinking Establishments

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses, which can serve similar functions and

create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.
- The regulation of eating and drinking establishments should consider the following:
 - Balance of retail sales and services;
 - Current inventory and composition of eating and drinking establishments;
 - Total occupied commercial linear frontage, relative to the total district frontage;
 - Uses on surrounding properties;
 - Available parking facilities, both existing and proposed;
 - Existing traffic and parking congestion; and
 - Potential impacts on the surrounding community.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

- The establishment should not add to an over-concentration of eating and drinking establishments in a single district. The balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage. Proposals for eating and drinking establishments which would increase the proportion of total occupied commercial frontage above 20% should be reviewed to ensure that they would not reduce the variety of neighborhood-serving uses; nor create substantial noise, traffic, parking problems or other nuisances in the district or surrounding neighborhood. Those establishments that would do the above should not be permitted. Except in districts with an established pattern of service to a broad market, such as North Beach, such establishments should not occupy more than 25% of the total commercially occupied frontage in a district. To minimize the problems they can create, eating and drinking uses should generally be at least 100 feet apart from each other, unless there are factors making clustering of uses appropriate. For example, a configuration of clustered eating and drinking uses where off-street parking is shared might be more appropriate than an even distribution of such establishments.
- New, expanding or relocating eating and drinking uses should not impose significant adverse impacts on traffic and transit volumes and circulation and parking congestion. If such impacts are anticipated, especially on transit-preferential streets, the proposed use, expansion or relocation should be redesigned to mitigate such impacts, or it should be prohibited.

- Eating and drinking uses should be adequately soundproofed or insulated for noise and operated so as to reasonably protect adjoining and surrounding upper-story residences from disturbances from fixed source equipment.

The General Plan states that there is a concern with the potential over-concentration of eating and drinking establishments. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage." Planning staff has performed a site survey of the Inner Clement Neighborhood Commercial District which includes the Subject Property. With the proposed restaurant use, approximately 22% of the frontage of the Inner Clement Neighborhood Commercial District would be occupied by eating and drinking establishments. The proposed change of use from a retail space to Restaurant will minimally increase the concentration by 0.1%. Furthermore, Policy 6.1 also states that clustering of eating and drinking establishments may be appropriate, in this case, due to the availability and abundance in public transportation options, allowing the subject area to be easily accessible.

Policy 6.2:

Promote economically vital neighborhood commercial district which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

An independent entrepreneur is sponsoring the proposal. The proposed use is a neighborhood-serving use. The proposed eating and drinking establishment is not considered a Formula Retail Use.

Policy 6.3:

Preserve and promote the mixed commercial-residential character in neighborhood commercial districts. Strike a balance between the preservation of existing affordable housing and needed expansion of commercial activity.

The Proposed project will maintain the mixed-use nature of the subject building and the Inner Clement NCD. The Project Site consists of three commercial uses and will not have an impact on the existing affordable housing units as the subject space has historically been a commercial space.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project will not displace any businesses and would occupy an existing vacant storefront. The business would be locally owned and would create six employment opportunities for the community. The proposed alterations are within the existing building footprint.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

Existing housing and neighborhood character would not be adversely affected. The proposed hours of operation are within the standard principally permitted hours in the NCD.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is removed for this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The site is well served by transit. It is presumable that the employees and patrons would commute by transit thereby mitigating possible effects on street parking. The area within ¼ mile of the subject site is served by nine bus lines (Gold Gate Transit #92, and MUNI buses # 1AX,1BX,38BX, 38L, 1, 2, 38, and 44) and 12 bus stops.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not affect the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative effect on existing parks and open spaces. The Project does not have an effect on open spaces as there are no exterior expansions.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.0479C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated April 18, 2013, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 20, 2013.

Jonas P. Ionin
Acting Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: June 20, 2013

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a Restaurant (d.b.a. Happy Sushi) located at 443 Clement Street, Block 1437, and Lot 039, pursuant to Planning Code Section(s) **303, 716.44 and 790.91** within the **Inner Clement Neighborhood Commercial District** and a **40-X** Height and Bulk District; in general conformance with plans, dated **April 18, 2013**, and stamped "EXHIBIT B" included in the docket for Case No. **2013.0479C** and subject to conditions of approval reviewed and approved by the Commission on **June 20, 2013** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **June 20, 2013**, under Motion No. **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

MONITORING – AFTER ENTITLEMENT

3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

4. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

5. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

6. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>*

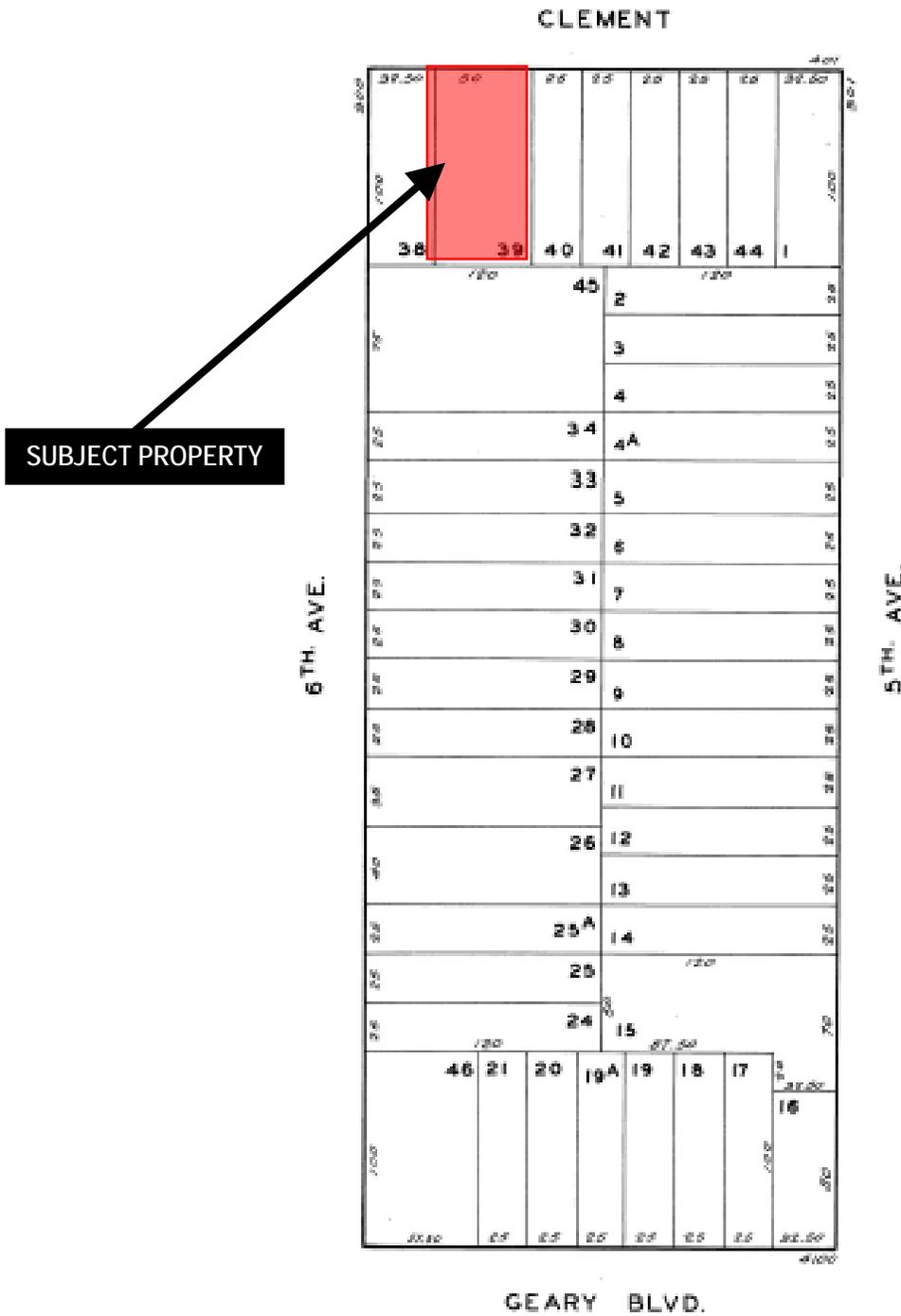
7. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

8. **Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map

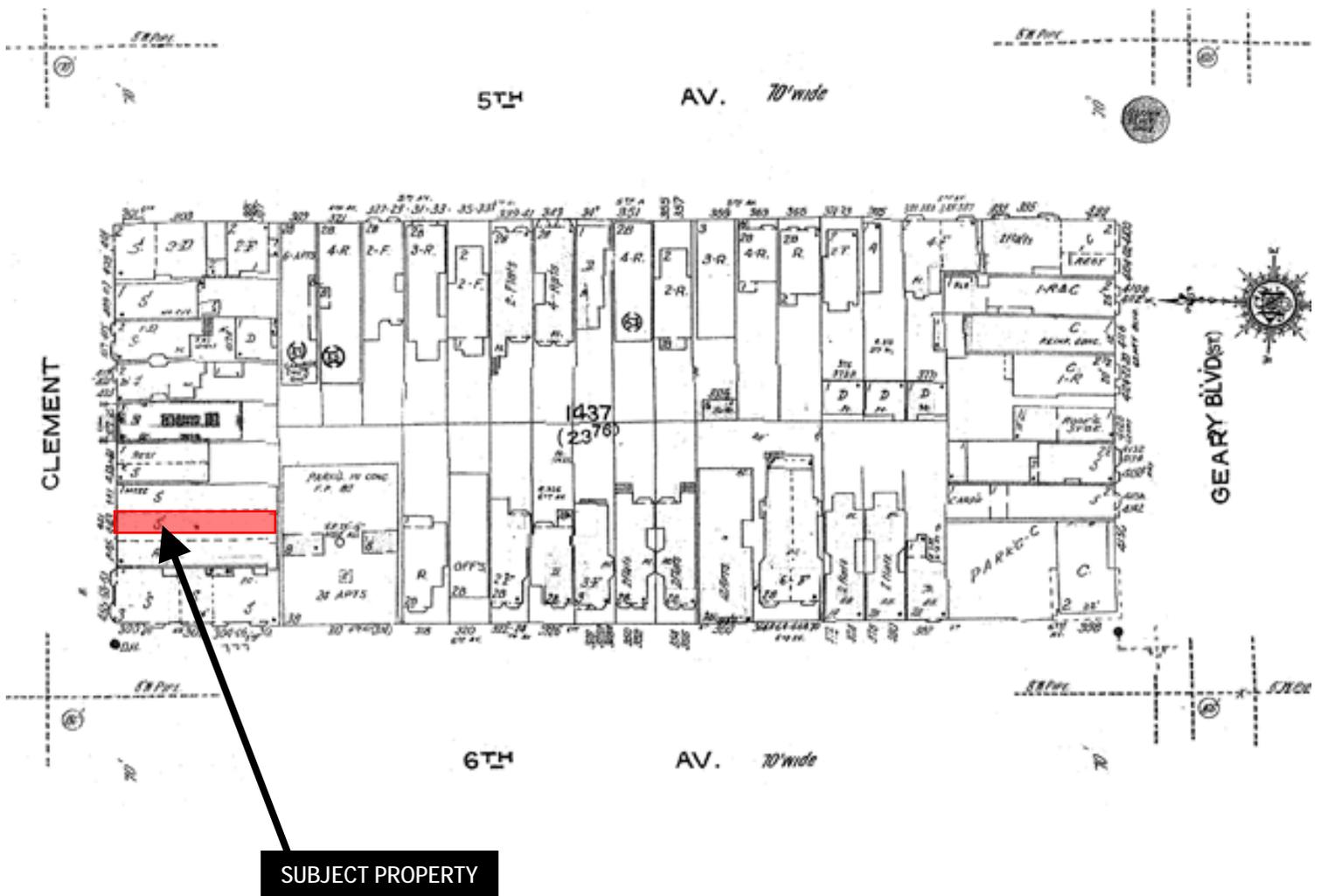


SUBJECT PROPERTY



Conditional Use Authorization
 Case Number 2013.0479C
 Restaurant – Happy Sushi
 443 Clement Street

Sanborn Map*

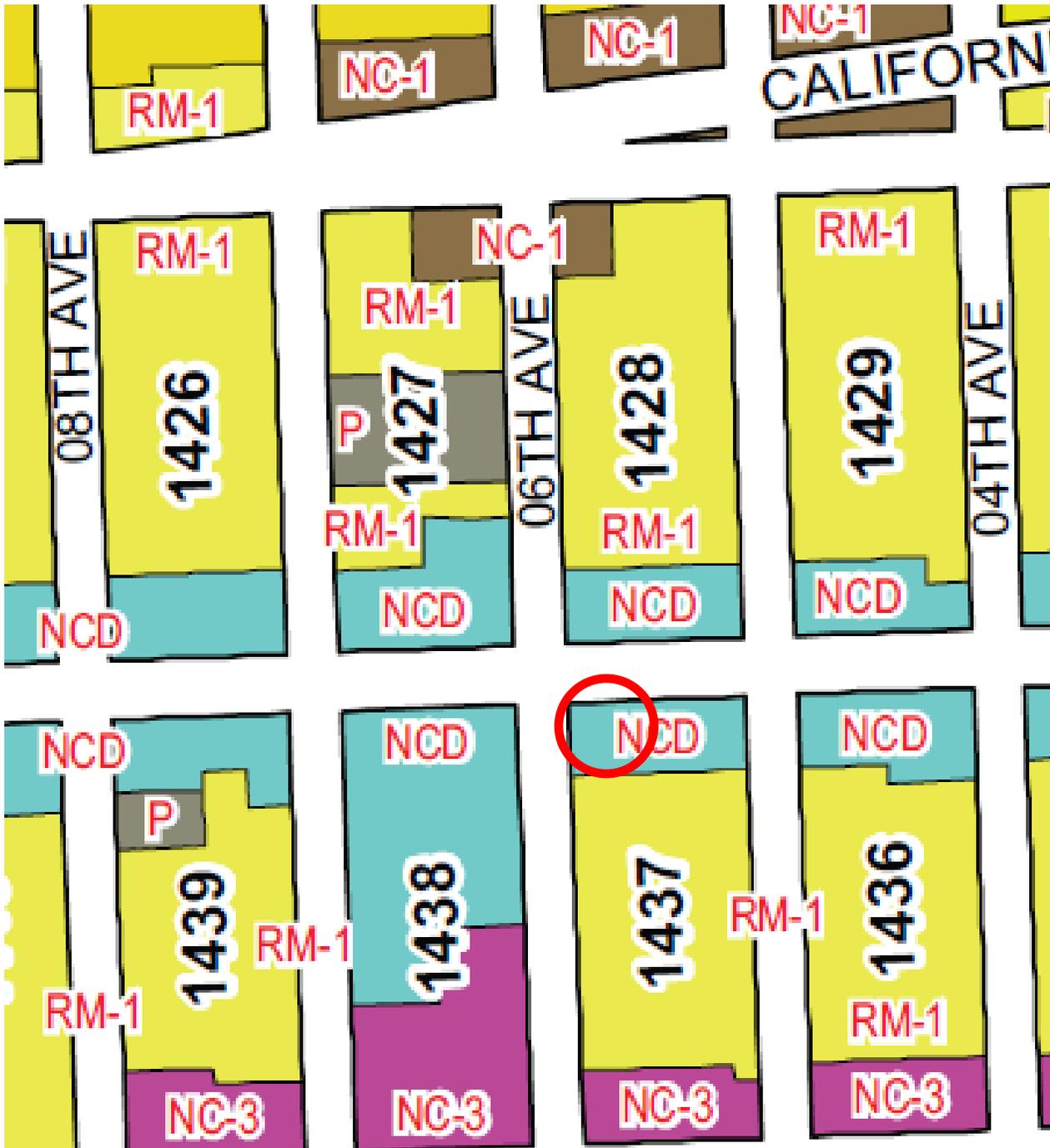


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



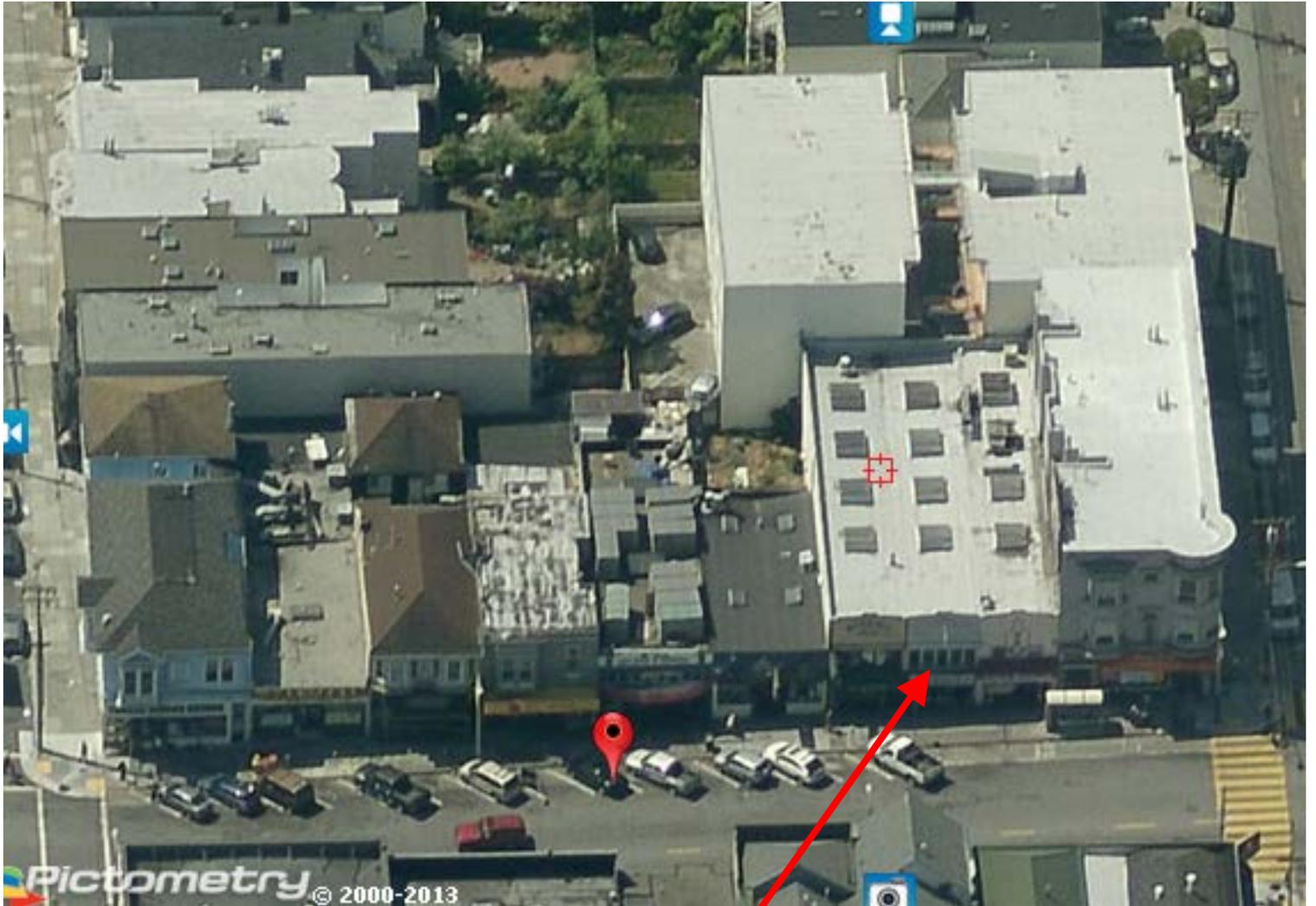
Conditional Use Authorization
Case Number 2013.0479C
Restaurant – Happy Sushi
443 Clement Street

Zoning Map



Conditional Use Authorization
Case Number 2013.0479C
Restaurant – Happy Sushi
443 Clement Street

Aerial Photo View to South



SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2013.0479C
Restaurant – Happy Sushi
443 Clement Street

Aerial Photo View to North



SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2013.0479C
Restaurant – Happy Sushi
443 Clement Street

Site Photo



Conditional Use Authorization
Case Number 2013.0479C
Restaurant – Happy Sushi
443 Clement Street





GENERAL NOTES:

- ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, AND ORDINANCES AND AS SPECIFIED BY ALL GOVERNING AUTHORITIES WHERE APPLICABLE. REFERENCE IS TO THE LATEST ACCEPTED EDITION OR REVISION. IN THE EVENT OF CONFLICT WITH CODE REQUIREMENTS, THAT CODE REQUIREMENT OR NOTE WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS, OR WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- DIMENSIONS ARE FROM FACE OF STUDS OR TO CENTER OF WALL AS INDICATED ON DRAWINGS, UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. WALLS NOT DIMENSIONED ARE TO ALIGN WITH EXISTING WALLS OR BE ABUTTED OR APPLIED TO EXISTING WALLS PER DRAWINGS. DOORS NOT DIMENSIONED AND SHOWN JAMB TIGHT SHALL BE SET 3" FROM PERPENDICULAR WALL TO OUTER EDGE OF DOOR JAMB.
- REFERENCE TO ANY DETAILS OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE AND PROVIDE NECESSARY BRACING PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, M ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AS WELL AS THE DRAWINGS OF OTHER CONSULTANTS, ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWING. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF WORK SHOWN ON THE DRAWINGS OF CONSULTANTS. THE CONTRACTOR SHALL BRING ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS AND NOT BROUGHT TO THE ARCHITECT'S ATTENTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- PRIOR TO PERFORMANCE OF WORK, THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN DRAWINGS FOR HIS TRADE THAT CANNOT BE FULLY QUARANTEED.
- CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL OPENING WITH ALL DRAWINGS AND MANUFACTURED ITEMS WHERE APPLICABLE.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION, MEANS, METHODS, TECHNIQUES, SEQUENCE, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- THE CONTRACTOR HEREIN AGREES TO REPAIR OR REPLACE ANY OR ALL WORK, TOGETHER WITH ANY OTHER ADJACENT WORK WHICH MAY BE DISPLACED IN CONNECTION WITH SUCH REPLACEMENT, THAT MAY PROVE TO BE DEFECTIVE IN WORKMANSHIP OR MATERIALS WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, ORDINARY WEAR AND UNUSUAL ABUSE OR NEGLIGENCE EXCEPTED.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, LANDSCAPING, MATERIALS, ETC., DURING CONSTRUCTION. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACE DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACE.
- THE CONTRACTOR SHALL ON A DAILY BASIS KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS, OR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS FROM IN AND ABOUT THE BUILDING AND LEAVE THE PREMISES "BROOM CLEAN."
- ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS BY THE CONTRACTOR OR OWNER WITHOUT THE ARCHITECT'S APPROVAL RELEASES THE ARCHITECT OR RESPONSIBILITY AND LIABILITY IN CONNECTION WITH ALL WORK SO INVOLVED.
- CLARIFICATION ON AND/OR INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL CHARGES WILL NOT BE GRANTED BASED ON CLAIMS OF INCOMPLETE, INACCURATE, OR INCONSISTENT DRAWINGS AND SPECIFICATIONS.

CODES:

- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2010 CALIF. BUILDING CODE, 2010 PLUMBING CODE, 2010 MECHANICAL CODE 2010 CALIF. RESIDENTIAL CODE AND THE 2010 NATIONAL ELECTRIC CODE, 2010 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
- ALL WORK SHALL MEET TITLE 24, CALIFORNIA ADMINISTRATIVE CODE STANDARDS FOR CONSTRUCTION IN A SEISMIC ZONE 4. THE 2010 CALIF. BUILDING AND RESIDENTIAL CODE IS CURRENTLY IN SEISMIC DESIGN CATEGORY E FOR SAN MATEO COUNTY.

PROPERTY INFORMATION:

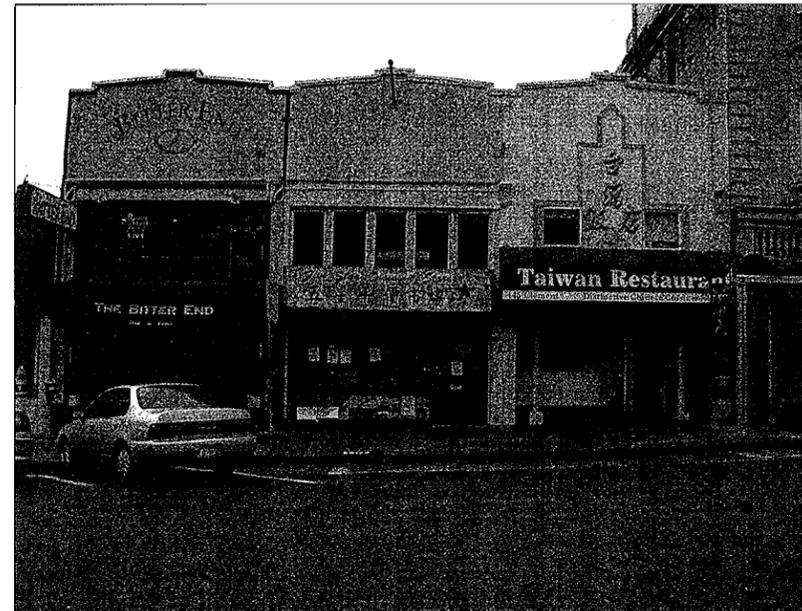
TYPE OF BLDG. 5B
 OCCUPANCY: B.M
 NO. OF STORIES: 1

DRAWING INDEX:

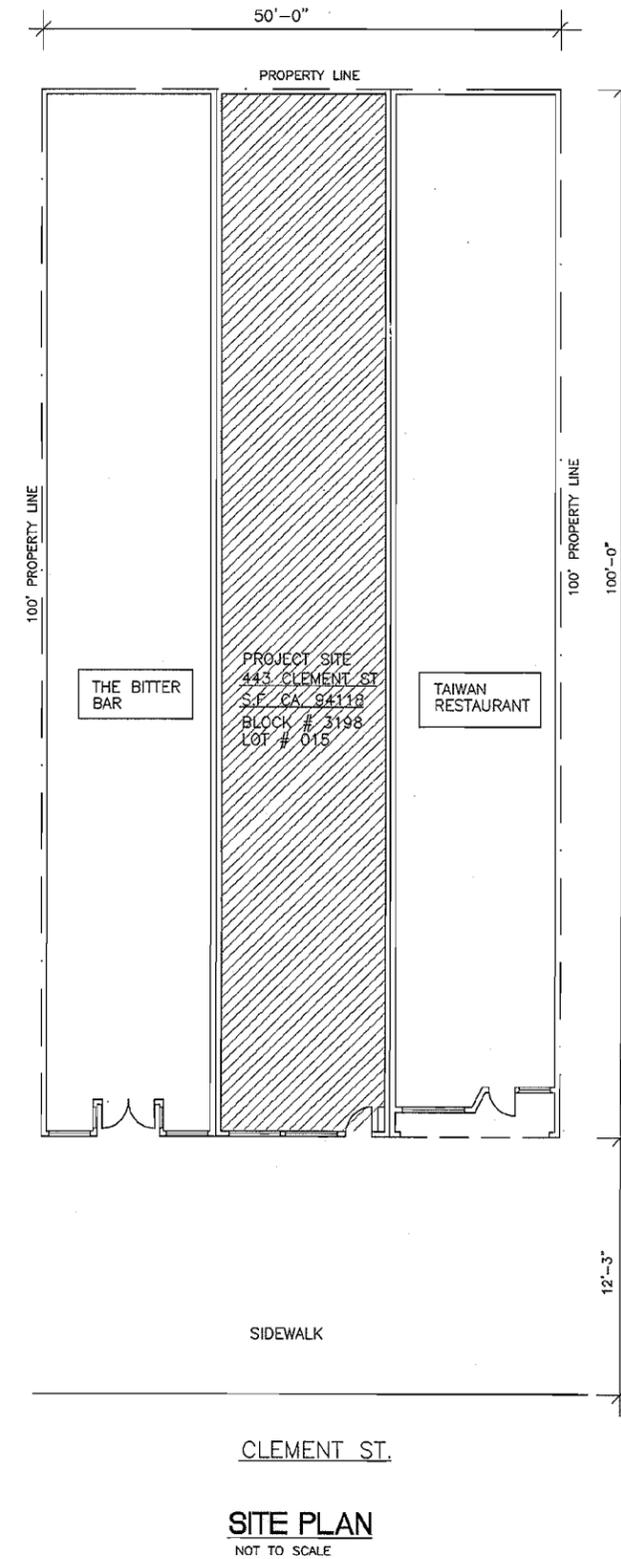
- A-1 SITE PLAN, LOCATION MAP & GENERAL NOTES.
- A-2 EXISTING FLOOR/ ROOF PLANS
- A-3 PROPOSED FLOOR PLAN.
- A-4 DETAILS.

SCOPE OF WORK:

CONVERT EXISTING RETAIL STORE INTO SUSHI/ LOUNGE



EXISTING FRONT ELEVATION
 NOT TO SCALE"



SITE PLAN
 NOT TO SCALE

REVISION:

DESIGNER
 KENNETH CHAN
 P.O. BOX 2627
 DALY CITY CA 94017
 (415) 958-9249

OWNER
 ROBERT LI & JUDY CHEONG
 1850 23RD AVE.
 S.F. CA 94122
 (415) 200-8856

443 CLEMENT STREET
 SAN FRANCISCO, CA 94118
 BLOCK: 1437. LOT: 039

SHEET TITLE
 CONVERT (B) RETAIL STORE
 INTO HAPPY SUSHI.
 SITE PLAN, LOCATION MAP & NOTES

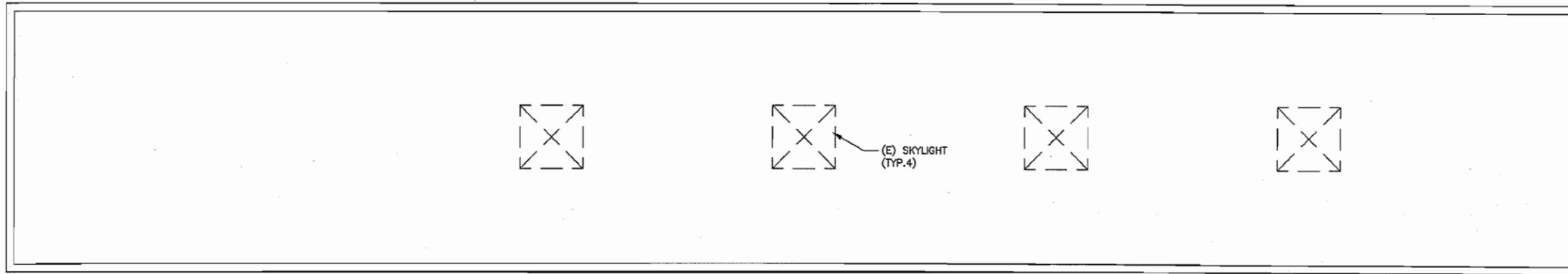
DATE:
 10-3-2012

SCALE:
 As Noted

DRAWN BY:
 K.C.

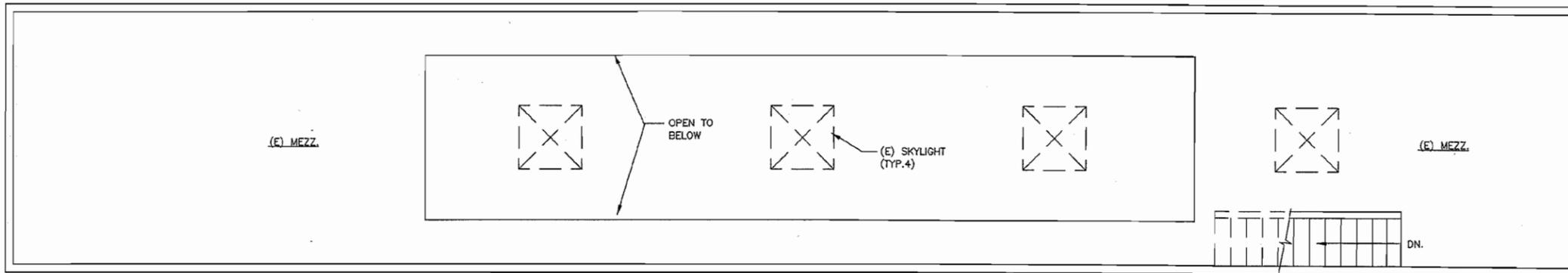
A-1





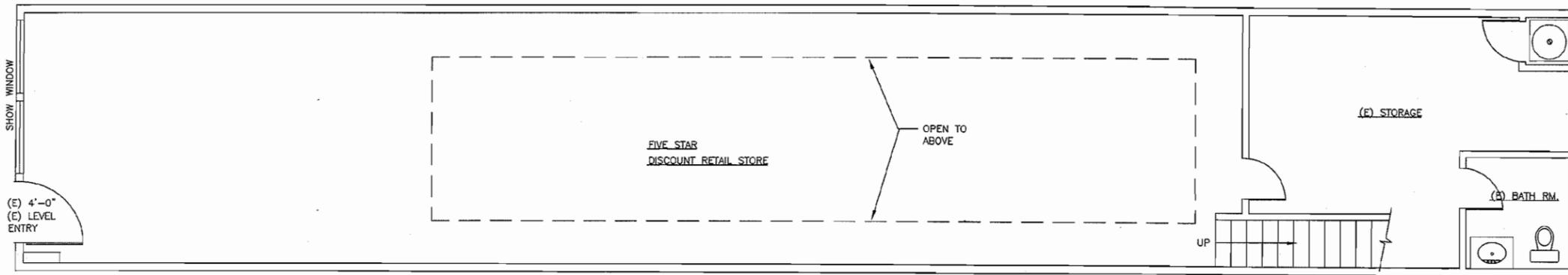
EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"



EXISTING MEZZANINE FLOOR PLAN

SCALE: 1/4"=1'-0"



EXISTING GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"



REVISION:

DESIGNER

KENNETH CHAN
P.O. BOX 2027
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(415) 699-9249

OWNER

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1869 23RD AVE.
S.F. CA 94122
(415) 200-8856

443 CLEMENT STREET
SAN FRANCISCO, CA 94118
BLOCK: 1437. LOT: 039

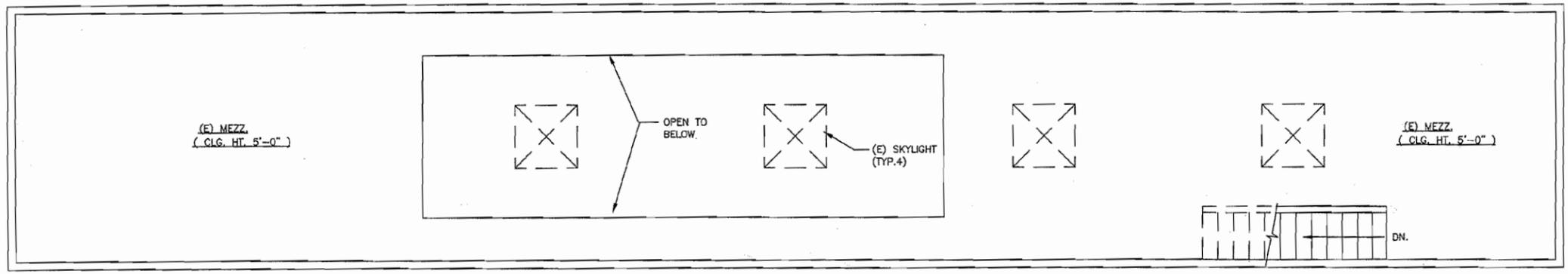
SHEET TITLE
CONVERT (E) RETAIL STORE
INTO HAPPY SUSHI.
EXISTING FLOOR PLANS

DATE:
10-3-2012

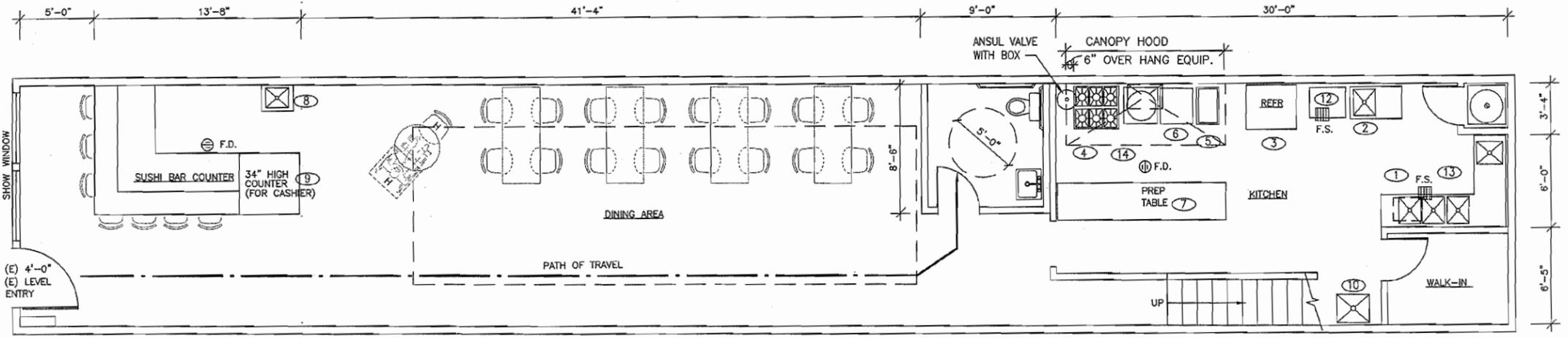
SCALE:
As Noted

DRAWN BY:
K.C.

A-2



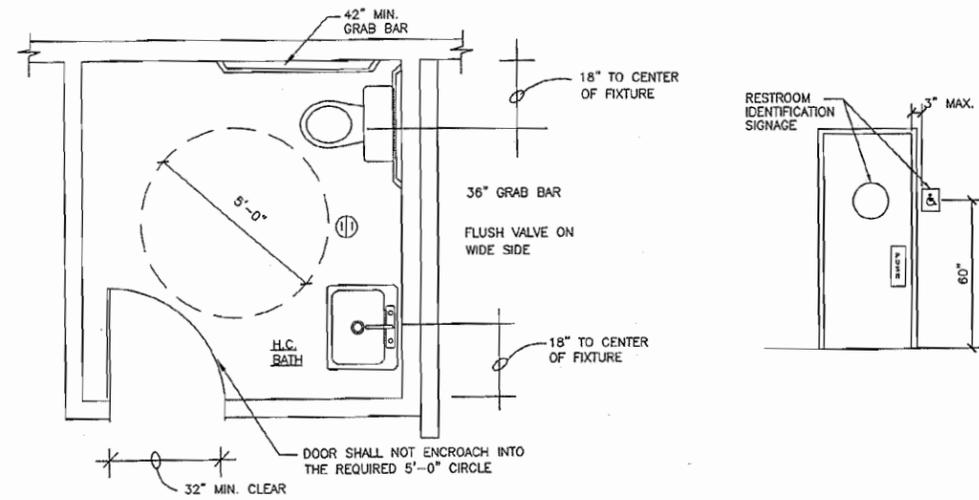
EXISTING MEZZANINE FLOOR PLAN
SCALE: 1/4"=1'-0" (NO WORK.)



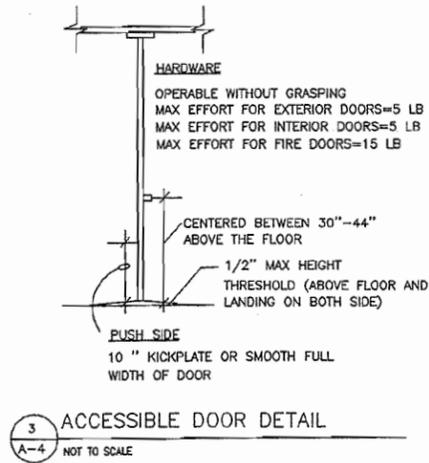
PROPOSED GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"



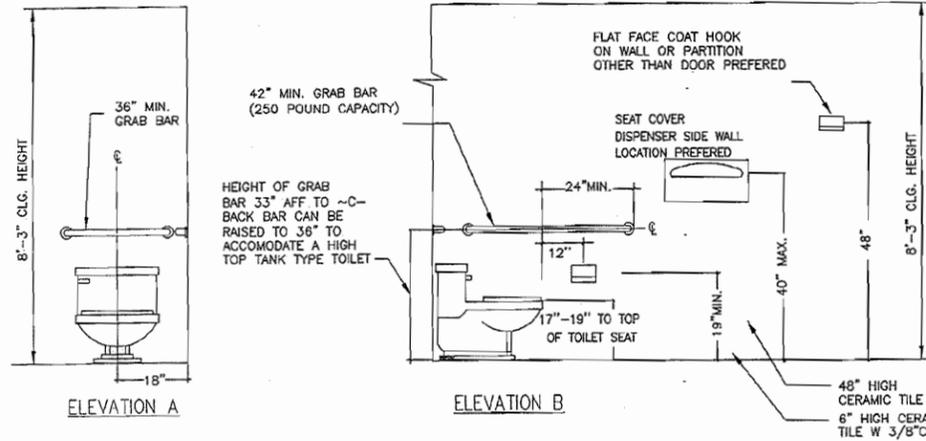
REVISION:
DESIGNER: KENNETH CHAN P.O. BOX 2027 DALY CITY CA 94017 (415) 699-0249
OWNER: ROBERT LI & JUDY CHEONG 1658 23RD AVE. S.F. CA 94122 (415) 200-8856
443 CLEMENT STREET SAN FRANCISCO, CA 94118 BLOCK: 1437. LOT: 039
SHEET TITLE CONVERT (E) RETAIL STORE INTO HAPPY SUSHI. PROPOSED FLOOR PLANS
DATE: 10-3-2012
SCALE: As Noted
DRAWN BY: K.C.
A-3



1 SINGLE ACCOMMODATION RESTROOM
A-4 NOT TO SCALE

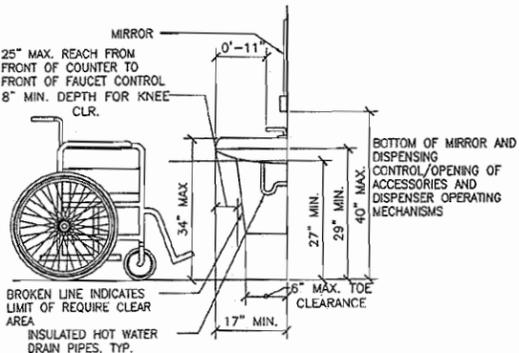


3 ACCESSIBLE DOOR DETAIL
A-4 NOT TO SCALE

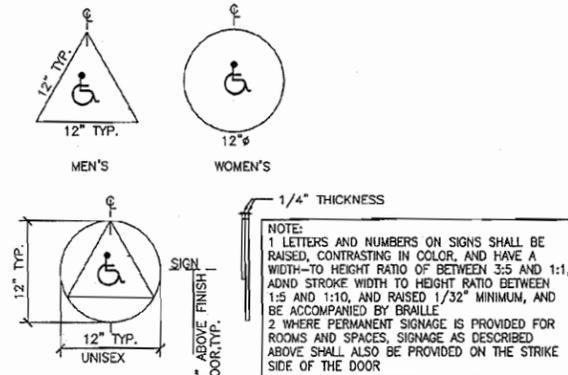


- NOTE:
1. WATER CLOSET SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS. NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS FORCE (lbf)
 2. DISPENSERS THAT CONTROL DELIVERY OR THAT DOES NOT PERMIT CONTINUOUS PAPER FLOW SHALL NOT BE USED.
 3. WHEN TOWEL, SANITARY NAPKINS, WASTE RECEPTACLES AND OTHER SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40" OF THE FLOOR.

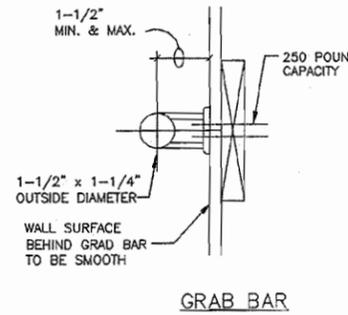
2 TOILET
A-4 NOT TO SCALE



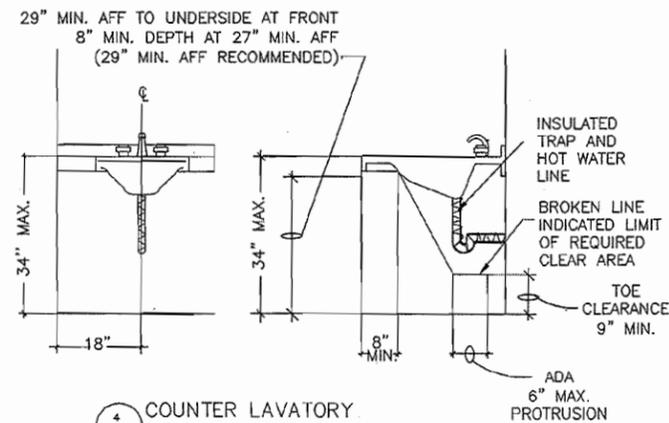
7 COUNTER LAVATORY
A-4 SCALE: N.T.S.



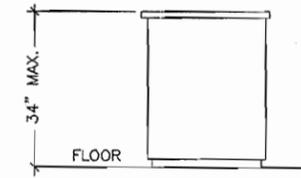
8 HANDICAPPED SIGNAGE
A-4 SCALE: N.T.S.



GRAB BAR

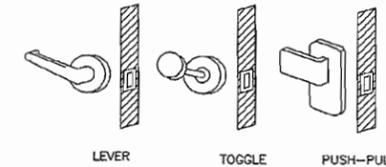


4 COUNTER LAVATORY
A-4 NOT TO SCALE

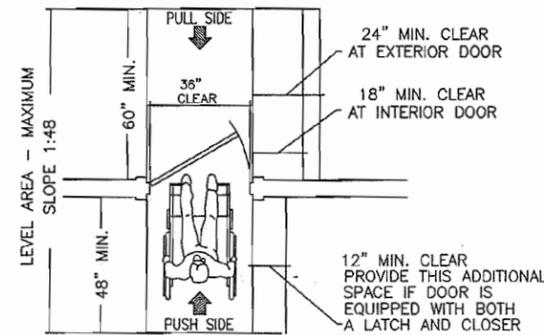


5 CASHIER COUNTER
A-5 NOT TO SCALE

NOTE: HAND-ACTIVATED LATCHING AND LOCKING DOORS ALONG A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANICH BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE DOOR HARDWARE.



6 HC DOOR HARDWARE DESIGN
A-4 NOT TO SCALE



9 DOOR CLEARANCE DETAIL
A-4 NOT TO SCALE

ROOM	FLOOR	BASE	WALL		CEILING		REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH	
STORAGE	TILE SLIP-RESISTANT	4" HT. TILE	GYP. BD.	PAINTED SMOOTH FINISH	GYP. BD.	SMOOTH FINISH	SEMIGLOSS PAINT LIGHT COLOR FINISH
WORK AREA	QUARRY TILE SLIP-RESISTANT	4" HT. QUARRY TILE	GYP. BD.	PAINTED SMOOTH FINISH	(E) T-BAR	SMOOTH FINISH	SEMIGLOSS PAINT LIGHT COLOR FINISH
RESTROOM	CERAMIC TILE SLIP-RESISTANT	4" HT. CERAMIC TILE	GYP. BD.	PAINTED SMOOTH FINISH	GYP. BD.	SMOOTH FINISH	SEMIGLOSS PAINT LIGHT COLOR FINISH
WAITING AREA	(E) TILE	4" HT. TILE	GYP. BD.	PAINTED SMOOTH FINISH	(E) T-BAR	SMOOTH FINISH	LIGHT COLOR FINISH

NOTES:
1 PROVIDE A SMOOTH, DURABLE, NONABSORBENT & CLEANABLE FLOOR SURFACE WITH A CONTINUE UP TO THE WALL OR TOE-KICKS (INCLUDING FLOOR MOUNTED COUNTER & CABINET TOE-KICK BASES) W/ MIN. 5" HIGH SEAMLESS MANNER AND FORMING A 3/8" RADIUS COVE AS AN INTEGRAL UNIT.
2 THE WALL SURFACES ADJACENT TO ALL KITCHEN SINKS & NON LOW MOP SINK SHALL BE COVERED WITH FIBERGLASS REINFORCED PANEL AT MIN. 8'-0" HIGH.

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443 CLEMENT STREET
SAN FRANCISCO, CA 94118
BLOCK: 1437. LOT: 039

SHEET TITLE
CONVERT (E) RETAIL STORE
INTO HAPPY SUSHI.
DETAILS

DATE:
10-3-2012

SCALE:
As Noted

DRAWN BY:
K.C.

