



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JULY 24, 2014

Date: July 17, 2014
Case No.: **2013.0494CE**
Project Address: **233 MAPLE AND 3839 WASHINGTON STREETS**
Zoning: RH-1 (Residential, House, One-Family) District
40-X Height and Bulk District
Block/Lots: 0992/002 and 034
Project Sponsor: Presidio Hill School
c/o Caroline A. Guibert
Coblentz Patch Duffy & Bass, LLP
One Ferry Building, Suite 200
San Francisco, CA 94111
Staff Contact: Mary Woods – (415) 558-6315
mary.woods@sfgov.org
Recommendation: **Approve with Conditions**

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PROJECT DESCRIPTION

The project is to convert the single-family residence (on Lot 002 at 233 Maple Street) to educational uses to be an integral part of the existing Presidio Hill School (on Lot 034 at 3839 Washington Street), and to modify Planning Commission (PC) Motion Number 17159, and PC Motion Number 15031 as modified by Board of Supervisors' (BOS) Motion No. M00-54 and recorded on December 13, 2000 as a Notice of Special Restrictions against the 3839 Washington Street property (Instrument No. 2000G875115 for Case No. 99.385C).

The conditions to be amended and/or deleted are as follows: (1) Condition No. 1 under PC Motion #15031, Condition No. 1 under BOS Motion #M00-54 and Condition No. 2 under PC Motion #17159 related to the existing Presidio Hill School's enrollment cap are to be amended from 200 to 240 students; (2) Condition No. 7 under PC Motion #15031 and Condition No. 7 under BOS Motion #M00-54 related to landscaped areas not be used for circulation are to be deleted since new stairs in the rear yard are proposed; (3) Condition No. 12 under PC Motion #15031 and Condition No. 12 under BOS Motion #M00-54 related to the non-residential use of properties within 300 feet of the existing school at 3839 Washington Street are to be deleted; and (4) Condition No. 24 under PC Motion #15031 and Condition No. 28 under BOS Motion #M00-54 related to construction hours are to be deleted because construction hours are regulated by the Department of Building Inspection.

The project consists of renovating the existing school building on Washington Street and converting the Maple Street building to educational uses for an elementary and middle school. Proposed work in the Maple Street building includes adding classrooms, a library, administrative offices, service areas, a two-story horizontal addition at the rear and a horizontal addition at the side for an ADA compliant elevator for disabled access (together, totaling approximately 1,270 square feet). The existing one-story rear extension (approximately 420 square feet) would be removed to build the new two-story horizontal rear addition. With the renovations, the project would result in a net gain of approximately 850 square feet, and two classrooms for a total of 16 classrooms. The student enrollment would increase from 200 to up to 240 students. No exterior expansion is proposed for the existing school building at 3839 Washington Street.

The proposal requires a Conditional Use authorization for change of use from residential to educational use, dwelling unit conversion, and amendments to previously approved Commission Motion No. 17159, and Commission Motion No. 15031 as modified by the Board of Supervisors' Motion No. M00-54. Section 311-neighborhood notification was conducted in conjunction with the Conditional Use authorization process.

SITE DESCRIPTION AND PRESENT USE

The project site consists of two lots, 002 and 034 in Assessor's Block 0992. The rear lot line of Lot 002 (233 Maple Street) abuts the rear property line of Lot 034 (3839 Washington Street), creating an L-shaped contiguous property with frontages of approximately 106 feet on Washington Street and approximately 60 feet on Maple Street. The existing three-story elementary and middle school on Lot 034 is located at 3839 Washington Street while Lot 002 is located at 233 Maple Street. The three-story Maple Street property is currently a single-family residence. Both properties are located in the RH-1 (Residential, House, One-Family) District and a 40-X Height and Bulk District.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The site is located in the Presidio Heights neighborhood. The neighborhood is comprised primarily of single-family residences, two to three stories in height, and several institutional buildings, both large and small. The two large institutions, which are a few blocks west and south of the project site, are the Temple Emanuel and the California Pacific Medical Center. Many residences in the neighborhood are set back from the street with landscaped front yards, while other buildings, with landscaped rear yards, have no front yard setbacks thereby creating a continuous street wall. Structures generally do not exceed 40 feet in height and building styles are varied. Shopping facilities and transit lines are nearby and are within walking distance of the site. A prominent feature of the Presidio Heights neighborhood is its proximity to the Presidio of San Francisco.

ENVIRONMENTAL REVIEW

The project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption under CEQA.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	July 4, 2014	July 4, 2014	20 days
Posted Notice	20 days	July 4, 2014	July 4, 2014	20 days
Mailed Notice	20 days	July 4, 2014	July 3, 2014	21 days

PUBLIC COMMENT

- As of July 17, 2014, the Department has received 17 letters in opposition to the proposed project, including a letter from the Presidio Heights Association of Neighbors (PHAN). Concerns expressed include the change of use, traffic, noise, and suitability of the site for a school use. The Department has received 196 letters in support of the proposed project, of which 35 are from neighbors, city residents and parents of former students, six from community organizations, 63 from students, 18 from faculty, and 74 from parents of students attending the school. The school has had numerous meetings with the community and neighborhood organization, specifically the Presidio Heights Association of Neighbors. The school and PHAN have been collaborating in developing an agreement related to the operation of the school.

ISSUES AND OTHER CONSIDERATIONS

- The General Plan encourages the retention and enhancement of educational services in the City in order to maximize the City's social and cultural base.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization to allow a change of use from residential to educational use, dwelling unit conversion, and amendments to previously approved Commission Motion No. 17159, and Commission Motion No. 15031 as modified by the Board of Supervisors' Motion No. M00-54, pursuant to Planning Code Sections 209.3(g), 303(c) and 317.

BASIS FOR RECOMMENDATION

- The project would add new educational space and modernize existing spaces, such as classrooms, the library, circulation, and providing a handicapped accessible elevator. Other improvements include new street trees along Washington and Maple Streets as well as new landscaping in the rear yards.
- The project would ensure the viability of a long-term educational institution established over 90 years ago.

RECOMMENDATION: Approve with Conditions

Attachments:

Draft Motion

Environmental Determination

Parcel/Zoning Map

Sanborn Map

Zoning Map

Project Sponsor Submittal, including:

- Reduced Plans
- Site Photos
- Planning Commission Motion No. 17159 adopted on 12/8/2005 for Case No. 99.385C
- Planning Commission Motion No. 15031 adopted on 4/13/2000 for Case No. 99.385C
- Board of Supervisors' Motion No. M00-54 recorded on 12/13/2000 as a Notice of Special Restrictions (NSR) with Instrument No. 2000G875115 for Case No. 99.385C

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel/Zoning Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input checked="" type="checkbox"/> Site Photos |
| <input checked="" type="checkbox"/> Zoning Map | <input checked="" type="checkbox"/> PC Motion No. 17159 |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> PC Motion No. 15031 |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> BOS Motion No. M00-54/NSR |

Exhibits above marked with an "X" are included in this packet MW
Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Draft Motion HEARING DATE: JULY 24, 2014

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 209.3(G), 303 and 317 OF THE PLANNING CODE TO ALLOW THE CONVERSION OF A DWELLING UNIT (ON LOT 002 AT 233 MAPLE STREET) TO A PRIVATE ELEMENTARY AND MIDDLE SCHOOL (PRESIDIO HILL SCHOOL), AND TO MODIFY PLANNING COMMISSION MOTION NUMBER 17159, AND PLANNING COMMISSION MOTION NUMBER 15031 AS MODIFIED BY THE BOARD OF SUPERVISORS' MOTION NUMBER M00-54 AND RECORDED AS A NOTICE OF SPECIAL RESTRICTIONS (FOR CASE NO. 99.385C) RELATED TO THE EXISTING PRESIDIO HILL SCHOOL (ON LOT 034 AT 3839 WASHINGTON STREET), IN AN RH-1 (RESIDENTIAL, HOUSE, ONE-FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On April 23, 2013, Presidio Hill School (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 209.3(g), 303 and 317 to allow the conversion of a dwelling unit (on Lot 002 at 233 Maple Street) to a private elementary/middle school (Presidio Hill School), and to modify Planning Commission Motion Number 17159, and Planning Commission Motion Number 15031 as modified by the Board of

Supervisors' Motion Number M00-54 and recorded as a Notice of Special Restrictions (for Case No. 99.385C) related to the existing Presidio Hill School (on Lot 034 at 3839 Washington Street), in an RH-1 (Residential, House, One-Family) District and a 40-X Height and Bulk District.

On July 24, 2014, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.0494CE.

On July 11, 2014, the project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 32 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this project.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.0494CE, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project site consists of two lots, 002 and 034 in Assessor's Block 0992. The rear lot line of Lot 002 (233 Maple Street) abuts the rear property line of Lot 034 (3839 Washington Street), creating an L-shaped contiguous property with frontages of approximately 106 feet on Washington Street and approximately 60 feet on Maple Street. The existing three-story elementary and middle school on Lot 034 is located at 3839 Washington Street while Lot 002 is located at 233 Maple Street. The three-story Maple Street property is currently a single-family residence. Both properties are located in the RH-1 (Residential, House, One-Family) District and a 40-X Height and Bulk District.
3. **Surrounding Properties and Neighborhood.** The project site is located in the Presidio Heights neighborhood. The neighborhood is comprised primarily of single-family residences, two to three stories in height, and several institutional buildings, both large and small. The two large institutions, which are a few blocks west and south of the project site, are the Temple Emanuel and the California Pacific Medical Center. Many residences in the neighborhood are set back from the street with landscaped front yards, while other buildings, with landscaped rear yards, have no front yard setbacks thereby creating a continuous street wall. Structures generally do not exceed 40 feet in height and building styles are varied. Shopping facilities and transit lines are

nearby and are within walking distance of the site. A prominent feature of the Presidio Heights neighborhood is its proximity to the Presidio of San Francisco.

The 3800 block of Washington Street displays slightly different characteristics on the north and south sides of the street. The south side, which contains the School, is marked by a continuous street wall of three-story residences. Some abut the sidewalk while others are set back behind one-story garages which also abut the sidewalk. On the north side of the street, residences and lots are larger, with greater setbacks, less continuity of the street front, and greater height resulting partly from their locations at an elevated grade.

The 200 block of Maple Street consists primarily of two- and three-story single-family residences on both the west and east sides of the street. Two blocks south of the project site is the Laurel Heights shopping center on California Street. Two blocks northwest of the site is the Golden Gate National Recreation Area and the Presidio.

4. **Project Description.** The proposed project is to convert the single-family residence (on Lot 002 at 233 Maple Street) to educational uses to be an integral part of the existing Presidio Hill School (on Lot 034 at 3839 Washington Street), and to modify Planning Commission (PC) Motion Number 17159, and PC Motion Number 15031 as modified by Board of Supervisors' (BOS) Motion No. M00-54 and recorded on December 13, 2000 as a Notice of Special Restrictions against the 3839 Washington Street property (Instrument No. 2000G875115 for Case No. 99.385C).

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The project consists of renovating the existing school building on Washington Street and converting the Maple Street building to educational uses for an elementary and middle school. Proposed work in the Maple Street building includes adding classrooms, a library, administrative offices, service areas, a two-story horizontal addition at the rear and a horizontal addition at the side for an ADA compliant elevator for disabled access (together, totaling approximately 1,270 square feet). The existing one-story rear extension (approximately 420 square feet) would be removed to build the new two-story horizontal rear addition. With the renovations, the project would result in a net gain of approximately 850 square feet, and two classrooms for a total of 16 classrooms. The student enrollment would increase from 200 to up to 240 students. No exterior expansion is proposed for the existing school building at 3839 Washington Street.

The proposal requires a Conditional Use authorization for change of use from residential to educational use, dwelling unit conversion, and amendments to previously approved Commission Motion No. 17159, and Commission Motion No. 15031 as modified by the Board of Supervisors' Motion No. M00-54. Section 311-neighborhood notification was conducted in conjunction with the Conditional Use authorization process.

5. **Public Comment.** As of July 17, 2014, the Department has received 17 letters in opposition to the proposed project, including a letter from the Presidio Heights Association of Neighbors (PHAN). Concerns expressed include the change of use, traffic, noise, and suitability of the site for a school use. The Department has received 196 letters in support of the proposed project, of which 35 are from neighbors, city residents and parents of former students, six from community organizations, 63 from students, 18 from faculty, and 74 from parents of students attending the school. The school has had numerous meetings with the community and neighborhood organization, specifically the Presidio Heights Association of Neighbors (PHAN). The school and PHAN have been collaborating in developing an agreement related to the operation of the school.
6. **Planning Code Compliance:** The Commission finds that the project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Planning Code Section 209 sets forth the permitted uses in "R" Districts. Section 209.3(g) establishes that elementary and middle schools, either public or private, are conditionally permitted uses in all residential districts.

The project sponsor intends to convert the existing single-family residence at 233 Maple Street to an elementary and middle school (Presidio Hill School) for grades Pre-Kindergarten through 8th.

- B. **Dwelling Unit Conversion.** Planning Code Section 317 requires that findings be made for any loss of dwelling units.

The existing authorized use for the 233 Maple Street property is a single-family residence. The proposed project would seek to convert it to an educational use for a private elementary and middle school.

- C. **Basic Floor Area Ratio.** Planning Code Section 124 limits the building square footage to 1.8 square feet of building area for every 1 square feet of lot area, or approximately 31,400 square feet of building area for the subject site.

The proposed project would total approximately 26,500 square feet.

- D. **Better Streets Plan.** Planning Code Section 138.1 establishes requirements for the improvement of the public right-of-way associated with development projects, such that the public right-of-way may be safe, accessible, convenient and attractive to pedestrian use and travel by all modes of transportation.

The project proposes to retain the four existing street trees and install one new street tree along the Washington Street frontage and three new street trees along the Maple Street frontage. Existing Class 2 bicycle parking spaces would remain on school property located in the front of the Washington Street building. Existing landscaping and planter boxes would also remain along the Washington Street frontage.

- E. **Parking.** Planning Code Section 151 requires one off-street parking space for each six classrooms. Section 155.2(b) requires elementary schools to provide two Class 1 bicycle spaces for every classroom and one Class 2 bicycle space for every classroom. For middle schools, Section 155.2(b) requires four Class 1 bicycle spaces for every classroom and one Class 2 space for every classroom. Sections 155.2(d) and 430 allow up to 50 percent of the required Class 2 spaces be satisfied by paying an in-lieu fee of \$400 per space.

The school currently does not provide off-street parking on site. The proposed project will add two new classrooms; as such, no off-street parking would be required. The project would be required to provide 26 Class 1 bicycle parking spaces and 10 Class 2 bicycle parking spaces. With regard to Class 1 spaces, the project will provide the required 26 spaces. However, with regard to Class 2 spaces, the project would maintain the existing five Class 2 spaces while paying an in-lieu fee for the remaining five spaces.

- F. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department.

7. **Planning Code Section 303(c)** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The project will expand the existing school campus by approximately 8,650 square feet by incorporating an existing building on an abutting lot with a shared rear lot line, located at 233 Maple Street. The project would convert the Maple Street building from residential to educational uses and integrate it with the existing school, which has been an important part of the Presidio Heights neighborhood since it was founded in 1918. The school provides a progressive educational opportunity for students of diverse backgrounds. The existing student population comes from approximately 26 of the City's 31 zip codes and nearly a quarter of the students receive tuition assistance. The project is desirable because it will enhance and allow for expanded elementary and middle school educational opportunities, thereby improving the educational services provided to the community and the city as a whole.

The proposal includes no exterior expansion of the existing school building at 3839 Washington Street. Only minor interior changes and new stairs (with a 10-foot tall one-hour fire wall) connecting the

lower play yard to the existing staircase leading to the roof play yard. An eight-foot high translucent acoustical barrier will be installed around the southern and eastern portion of the existing roof play yard. Proposed alterations to the Maple Street building include (1) the removal of the existing one-story extension at the rear of the building (totaling approximately 420 square feet; in its place, construct a two-story horizontal addition (totaling approximately 990 square feet); (2) a three-story horizontal addition (totaling approximately 280 square feet) at the north side of the building for a new ADA compliant elevator for disabled access; (3) a rear staircase addition for emergency exiting as required per the Building Code; (4) interior changes, and (5) maintenance and repair of the building that would be consistent with the Secretary of the Interior's Standards. The project will result in a net increase of approximately 850 square feet at the Maple Street building. Upon completion, the school's classroom count would increase from 14 to 16 classrooms. Student enrollment would increase from 200 to a maximum of 240 students. The combined gross floor area of the two buildings would total approximately 26,500 square feet.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The existing school abuts the rear lot line of the Maple Street property. As such, connecting the two rear yards will allow for direct access from the existing school building to the Maple Street building. The proposed two-story addition, at the rear of the Maple Street building, has been designed to be compatible with the surrounding residences. The proposed elevator penthouse on the north side of the building will provide required disabled access to the upper floors. It will be minimally visible along Maple Street and has also been designed to be compatible with the existing building. Since only minor maintenance and repair work is proposed for the Maple Street building, it will retain its residential appearance and continue to be an asset to the neighborhood.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The school does not currently provide off-street parking at the site. There are five on-site Class 2 bicycle parking spaces. The existing white zone spaces along Washington Street will continue to be used for pick-up and drop-off of students. School monitors will continue to supervise and direct traffic and parking adjacent to the school during pick-up and drop-off times before and after school to discourage double-parking and promote the orderly flow of traffic. The proposed project will add two new classrooms. Enrollment is proposed to be increased from 200 to up to 240 students and up to five new staff positions are proposed, some of which may be internship teaching positions. The modest increase in enrollment and faculty is expected to have a minimal effect on traffic, including pick-ups and drop-offs.

As part of the proposed project, 26 Class 1 bicycle parking spaces will be provided and located in the existing school building. Five Class 2 bicycle parking spaces will continue to be available and accessible at the existing school entrance.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The existing conditions of approval regarding potential noise impacts will remain in effect, including restrictions on the number of school-related functions in the evening and on weekends.

The project sponsor retained Charles M. Salter Associates, Inc. (CSA) to evaluate potential noise impacts from the proposed project, including proposed changes to the student play schedule and the incorporation of the Maple Street building. CSA concluded that the proposed acoustical barriers would "sufficiently reduce potential noise impacts", and that while the proposed lower play yard expansion could increase noise levels in the rear yards of two of the adjacent Clay Street residences, for all other adjacent properties, "noise levels associated with the project are expected to remain unchanged or be reduced." Proposed acoustical barriers will be installed at three locations: an 8-foot tall clear acoustical barrier at the two sides of the existing rooftop play area along the south and east sides; a minimum of 6-foot tall acoustical barrier near the south and west property lines, and a 10-foot tall acoustical barrier near the east property line behind the property at 215 Maple Street.

With regard to construction noise, the project sponsor will adhere to the city's Noise control Ordinance, which limits construction hours to between 7 a.m. and 8 p.m., seven days a week. The existing conditions of approval regarding potential light and glare will also remain in effect, including the requirements that lighting must be directed so as to not directly illuminate adjacent properties and only non-reflective glass may be used on the building exterior.

As a school, the project is not expected to generate dust or odor emissions.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Streetscape improvements include one new street tree along the Washington Street frontage (in addition to the four existing street trees) and three new street trees along the Maple Street frontage. The existing landscaping along Washington and Maple Streets would remain in place. The back yard at 233 Maple Street will connect with the existing back yard at 3839 Washington Street, creating an open play area with a water feature, a sand pit, and a small seating area. New landscaping will be provided in the rear yard area. No new parking or loading areas are proposed. Any new signage would be in compliance with the sign controls and compatible with the Maple Street building and surrounding buildings.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

8. **Planning Code Section 317** establishes criteria for the Planning Commission to consider when reviewing applications for loss of dwelling units due to conversion of use. On balance, the project does comply with said criteria in that:

- A. Will the conversion of the units eliminate only owner-occupied housing?

No, in that the 233 Maple Street building is currently occupied by tenants who, according to the project sponsor, were made fully aware of the proposed project prior to moving in and understand that their tenancy is temporary. The project sponsor purchased this property when the previous owner passed away. The previous owner had occupied the building for nearly 50 years.

- B. Will the conversion of the units provide desirable new non-residential use(s) appropriate for the neighborhood and adjoining district(s)?

Yes. The existing Presidio Hill School has been an integral part of the Presidio Heights neighborhood since it was founded in 1918. The school provides a progressive educational opportunity for students of diverse backgrounds. The existing student population comes from approximately 26 of the City's 31 zip codes and nearly a quarter of the students receive tuition assistance. The existing school provides valuable educational services and opportunities to the community and the city as a whole.

- C. Is the property located in a district where Residential Uses are not permitted?

No. The project is located in an RH-1 (Residential, House, One-Family) District where residential uses are permitted.

- D. Will the conversion of the units be detrimental to the City's housing stock?

No. The project sponsor purchased the Maple Street building in 2012 when the previous owner passed away. The previous owner had occupied the building for almost 50 years. The project sponsor purchased the property for \$7 million in 2012. The conversion would, therefore, not be detrimental to the city's affordable housing stock.

- E. Is the conversion of the units necessary to eliminate design, functional or habitability deficiencies that cannot otherwise be corrected?

Yes. In order to convert the Maple Street building to educational uses, interior renovations are necessary to create classrooms, an elevator for disabled access, a library, faculty and other administrative spaces. The building will undergo a seismic retrofit to meet current Building Code standards. An ADA compliant elevator will also be installed to improve functional deficiencies and provide access for persons with disabilities.

- F. Will the residential conversion remove affordable housing, or units subject to the Rent Stabilization and Arbitration Ordinance?

No. The project sponsor purchased the property for \$7 million in 2012. The conversion would, therefore, not result in the loss of existing affordable housing units.

9. **General Plan Compliance.** The project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

GOVERNMENT, HEALTH AND EDUCATION SERVICES

Objectives and Policies

OBJECTIVE 7:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENTAL, HEALTH, AND EDUCATIONAL SERVICES.

Policy 7.2:

Encourage the extension of needed health and educational services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

The project proposes to incorporate an adjacent building at 233 Maple Street that is directly adjacent to, and shares a rear lot line with the existing school campus at 3839 Washington Street. This adjacency would allow the school to expand without dividing the campus and with little disruption to the surrounding community, in part because no new student pick-up or drop-off area will be required. The majority of the proposed addition would occur at the rear of the Maple Street building and would not be visible from the public right-of-way. The horizontal addition at the north side of the building for a new ADA compliant elevator for disabled access would only be visible from limited viewpoints on Maple Street. The project would enhance the quality of the existing school facilities and improve a use that has been present at the Washington Street site for over 90 years.

Policy 7.3:

Promote the provision of adequate health and educational services to all geographical districts and cultural groups in the city.

The proposed increase in enrollment from 200 to up to 240 students would ease pressure on tuition and broaden social opportunities among students by creating a more balanced enrollment rate between the lower and middle schools. Increased enrollment will also provide greater educational opportunities to a diverse student body, thereby improving the educational services provided to the city as a whole. The school would continue to provide scholarships and outreach to a socially and economically diverse community as evidenced by its current student body (of which approximately 46 percent are minorities) which resides in approximately 26 of the city's 31 zip codes.

TRANSPORTATION ELEMENT

GENERAL

Objectives and Policies

OBJECTIVE 2:

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.5:

Provide incentives for the use of transit, carpools, vanpools, walking and bicycling and reduce the need for new or expanded automobile and automobile parking facilities.

Students, faculty and staff would continue to use alternative means of transportation, including public transit, bicycles and carpools. According to the project sponsor, a recent survey shows that approximately 34 percent of the faculty use alternate means of transportation to and from the school. As part of the proposed project, 26 Class 1 bicycle parking spaces will be provided and located in the existing school building and five Class 2 bicycle parking spaces will continue to be available and accessible at the existing school entrance.

URBAN DESIGN ELEMENT

CITY PATTERN

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

CONSERVATION

Richness of Past Development

Policy 2.5:

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

The existing building facades on Washington and Maple Streets would be maintained. As part of the project the 233 Maple Street building will be preserved and renovated consistent with the Secretary of the Interior's Standards.

OBJECTIVE 3:

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

MAJOR NEW DEVELOPMENT

Height and Bulk

Policy 3.6:

Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.

Most of the proposed addition is located at the rear of the Maple Street building and would not be visible from the public right-of-way. There would be minimal visibility from the public right-of-way of the horizontal addition at the north side of the building for a new ADA compliant elevator for disabled access. The additions would be in keeping with the height and bulk of the existing building and the prevailing scale of development in the area.

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

NEIGHBORHOOD ENVIRONMENT

Visual Amenity

Policy 4.12:

Install, promote and maintain landscaping in public and private areas.

Streetscape improvements include one new street tree along the Washington Street frontage and three new street trees along the Maple Street frontage. The existing on-site landscaping along Washington and Maple Streets would remain in place. The back yard at the 233 Maple Street will connect with the existing back yard at 3839 Washington Street, creating an open play area with a water feature, a sand pit, and a small seating area. New landscaping will also be provided in the rear yard area.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The existing neighborhood-serving retail uses would not be affected by the project.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The single-family building at 233 Maple Street is currently occupied by tenants who, according to the project sponsor, were made fully aware of the proposed project prior to moving in and understand that their tenancy is temporary. The project sponsor purchased this property when the previous owner passed away. The previous owner had occupied the building for nearly 50 years. The conversion of this residential unit to educational uses would not result in the displacement of any long-term tenants. Neighborhood character will be preserved. The existing 233 Maple Street building will be preserved and renovated as part of the project. The proposed rear addition and elevator on the north side of the building have been designed to be compatible with the 233 Maple Street building and surrounding residences and will be in compliance with the Secretary of the Interior's Standards.

- C. That the City's supply of affordable housing be preserved and enhanced,

The project sponsor purchased the property for \$7 million in 2012. The conversion would, therefore, not result in the loss of existing affordable housing units. The supply of affordable housing would not be affected by the project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project would not impede MUNI services or affect the city's streets or neighborhood parking. The existing white zone spaces along Washington Street will continue to be used for pick-ups and drop-offs of students. School monitors will continue to supervise and direct traffic and parking adjacent to the school during pick-up and drop-off times before and after school to discourage double-parking and promote the orderly flow of traffic. The proposed project will add two new classrooms. Enrollment is proposed to be increased from 200 to up to 240 students and up to five new staff positions are proposed, some of which may be internship teaching positions. The modest increase in enrollment and faculty is expected to have a minimal effect on traffic, including pick-ups and drop-offs.

As part of the proposed project, 26 Class 1 bicycle parking spaces will be provided and located in the existing school building. Five on-site Class 2 bicycle parking spaces will continue to be available and accessible at the existing school entrance.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. The Maple Street building will undergo a seismic retrofit as part of the project.

G. That landmarks and historic buildings be preserved.

As part of the environmental review analysis for the proposed project, a Historic Resource Evaluation was prepared by Architectural Resources Group (ARG) for 233 Maple Street. ARG concluded that the building appears to be eligible for the California Register of Historical Places. The proposed project would preserve and renovate this potential historic resource consistent with the Secretary of the Interior's Standards.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will not affect existing parks and open spaces.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.0494CE** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated July 15, 2014, and labeled "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. _____. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on July 24, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 24, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to allow the conversion of a dwelling unit (at 233 Maple Street on Lot 002) to a private elementary and middle school (Presidio Hill School), and to modify Planning Commission Motion Number 17159, and Planning Commission Motion Number 15031 as modified by the Board of Supervisors' Motion Number M00-54 for Case No. 99.385C related to the existing Presidio Hill School (at 3839 Washington Street on Lot 034), in Assessor's Block 0992, Lots 002 and 034 pursuant to Planning Code Sections 209.3(g), 303(c) and 317, in an RH-1 (Residential, House, One-Family) District and a 40-X Height and Bulk District; in general conformance with plans, dated July 15, 2014, and labeled "EXHIBIT B" included in the docket for Case No. 2013.0494CE and subject to conditions of approval reviewed and approved by the Commission on July 24, 2014 under Motion No. _____. This authorization and the conditions contained herein run with the property and not with a particular project sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on July 24, 2014 under Motion No. _____. The conditions under Planning Commission Motion Number 17159, and Planning Commission Motion Number 15031 as modified by the Board of Supervisors' Motion No. M00-54 and recorded on December 13, 2000 as a Notice of Special Restrictions against the 3839 Washington Street property (Instrument No. 2000G875115 for Case No. 99.385C) shall be in effect except otherwise amended or deleted under this Motion No. _____.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. _____ shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

STUDENT ENROLLMENT

8. **Enrollment.** Enrollment for the Presidio Hill School shall be limited to 240 students when the 233 Maple Street building is ready for student occupancy.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

BICYCLE PARKING

1. **Bicycle Parking.** The project shall provide 26 Class 1 bicycle parking spaces and five Class 2 bicycle parking spaces. An in-lieu fee shall be paid for the additional five required Class 2 bicycle parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

2. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>
3. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>
4. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Case No.: 2013.0494E
Project Title: 233 Maple Street and 3839 Washington Street
Zoning: Residential-House, One Family (RH-1)
40-X Height and Bulk District
Block/Lot: 0992/002; 0992/034
Lot Size: 6,216 square feet (sf); 11,268 sf
Project Sponsor: Caroline A. Guibert, Coblentz, Patch, Duffy & Bass LLP
(415) 772-5793
Staff Contact: Jessica Range – (415) 575-9018
Jessica.Range@sfgov.org

PROJECT DESCRIPTION:

The project site is bound by Washington Street to the north, Clay Street to the south, Maple Street to the east and Cherry Street to the west, in the Presidio Heights district of San Francisco. The proposed project would expand the existing Presidio Hill School (PHS) campus by occupying and converting an existing residential building on an adjacent lot to elementary and middle school use.

[Continued on next page.]

EXEMPT STATUS:

Categorical Exemption Class 32 (State CEQA Guidelines Sections 15332).

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and Local requirements.


Sarah B. Jones
Environmental Review Officer

July 11, 2014
Date

cc: Caroline A. Guibert, Project Sponsor
Shelley Caltagirone, Preservation Planner

Virna Byrd, M.D.F.
Supervisor Mark Farrell, District 2
Distribution List

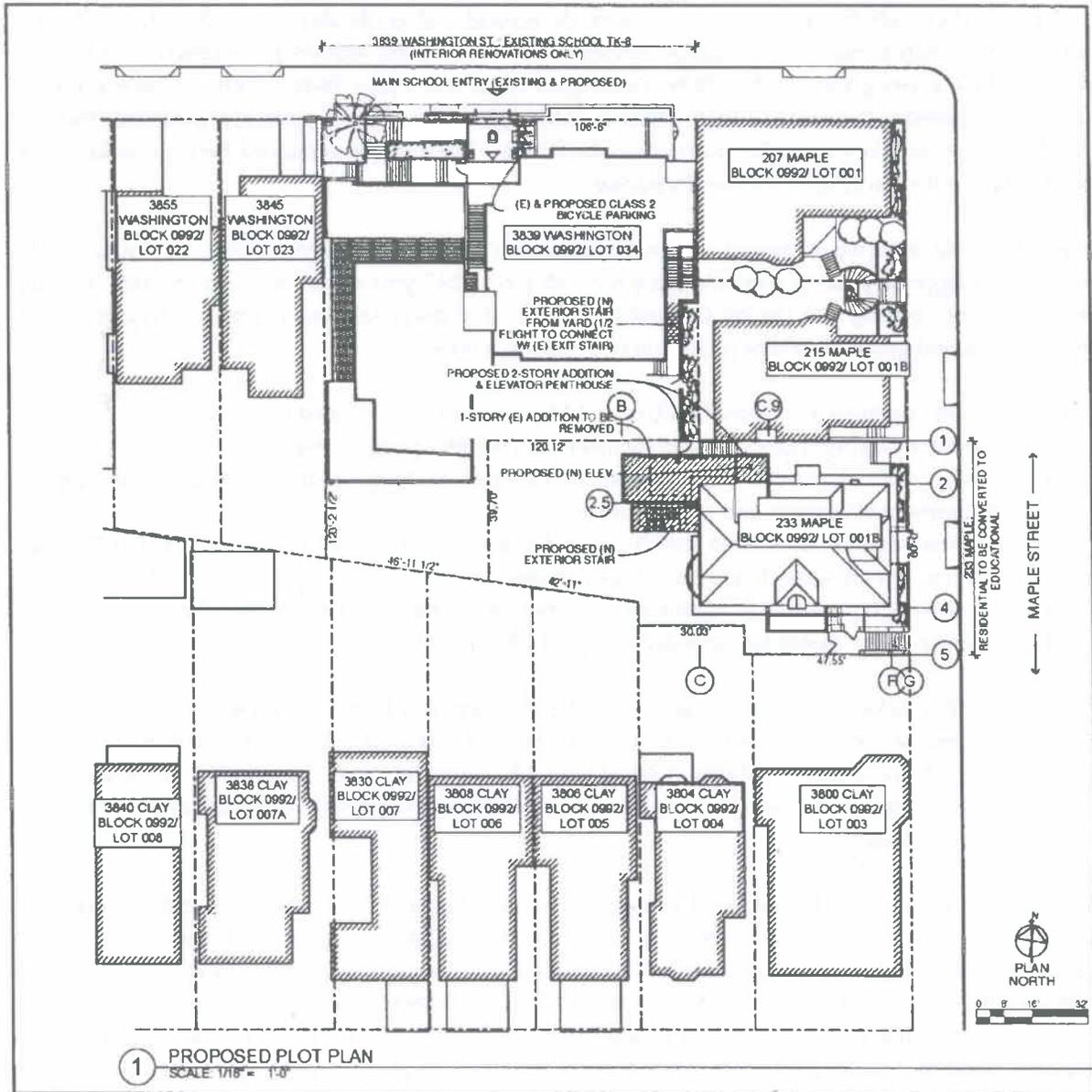
PROJECT DESCRIPTION (continued):

The project site consists of two lots: (1) Block 0992/Lot 02 at 233 Maple Street, and (2) Block 0992/Lot 34 at 3839 Washington Street. Lot 02 at 233 Maple Street contains an approximately 7,750-square-foot (sf) three-story-over-garage, single-family residence and Lot 34 at 3839 Washington Street contains an approximately 17,900 sf, two-story elementary and middle school owned and operated by the project sponsor, Presidio Hill School. As shown in Figure 1. Proposed Site Plan, the project sponsor proposes to convert 233 Maple Street from residential to elementary and middle school use. Upon project completion, there would be four primary grade classrooms, a break out space, a media tech room, a library, staff lounge and administrative spaces in the 233 Maple Street building. The proposed project would also reconfigure some of the interior space at 3839 Washington Street and upon project completion the overall project would result in a net increase of two classrooms, including a shared science room. The student body currently consists of 200 children and the project sponsor anticipates that the school would add up to 40 students (up to 240 total students) plus five new staff positions, some of which could be teaching internship positions.

The proposed project also includes minor maintenance and repair of the 233 Maple Street building, an approximately 990-sf, two-story rear addition (to accommodate a staff lounge and primary grade space) which will replace the existing rear addition (approximately 420 sf), and a rear staircase for emergency exiting. A new American with Disabilities Act (ADA)-compliant elevator would also be installed near the rear of the building on the north side. A portion of the elevator tower would be visible from Maple Street immediately across the street from the subject property. The elevator pit would be approximately five feet deep and would require approximately 490 cubic feet of excavation. Two new metal gates would be installed on either side of the 233 Maple Street façade, which would be locked from the outside with panic hardware installed on the inside for emergency egress. An approximately 360-sf library patio is proposed on the north side of 233 Maple Street which would include "not a play area; quiet reading only" signage. The proposed patio would require approximately 1,800 cubic feet of excavation. The proposed project would result in a net increase of approximately 805 sf at 233 Maple Street, which includes the two-story addition (approximately 570 net new sf) plus circulation space, elevator and mechanical areas.

The backyard at 233 Maple Street would connect to the existing backyard at 3839 Washington Street and would include an open play area, a sand pit and a small seating area. An existing play structure would remain in its current location in the backyard of 3839 Washington Street. The existing handball wall at the northeast end of the back yard at 3839 Washington Street would be removed and a new six to eight-foot-high acoustical barrier would be installed along the south and west sides of the property line along the newly expanded play yard. A ten foot-high acoustical barrier would also be installed near the property line that 3839 Washington Street shares with 215 Maple Street.

Figure 1. Proposed Site Plan



The proposed project also includes interior changes to 3839 Washington Street and a new half flight of stairs in the rear yard, which would connect the play yard to the existing staircase leading to the existing roof yard and provide for emergency egress from the expanded at-grade play yard to Washington Street. An eight-foot-high translucent acoustical barrier would be installed around the southern and eastern portion of the existing roof yard at 3839 Washington Street and a new 10-foot-high one-hour fire wall would be installed at the new half flight of stairs. Although not currently proposed, it is possible that the new half flight of stairs could be enclosed in the future. The analysis contained herein considers the possibility of either an open or enclosed staircase.

Student pick-up and drop-off would continue to occur solely at 3839 Washington Street. PHS proposes to modify its staggered pick-up schedule (between 2:45 pm to 3:45 pm) so that younger children needing more assistance getting into the car (generally, students in transitional kindergarten/kindergarten, first grade and second grade) would be picked up one grade at a time.

PHS would also appoint a Transportation Demand Management (TDM) coordinator to:

- establish modal split goals for staff members and monitor progress each year;
- develop and distribute an information package of transportation services and carpool arrangement for parents and staff members;
- coordinate free or subsidized transit passes for staff members with allowance of up to \$100 per month of pre-tax salary to purchase transit passes;
- coordinate the provision of additional amenities for bicycle users (see below); and
- allocate parking passes for carpool or vanpool vehicles only.

Showers, clothes lockers and bicycle parking (26 class 1 spaces and five class two spaces) would also be provided. Subject to consent of the Presidio Height Association of Neighbors (PHAN), the existing white loading area in front of 3839 Washington Street would be expanded from about 60 feet to 106 feet. The analysis herein assesses the potential environmental effect of the project both with and without the expanded loading zone.

Construction work at 233 Maple Street is expected to occur between September 2014 and August 2015, with the last four months mostly consisting of interior work. Construction work at the existing school building at 3839 Washington Street and in the rear yard area is expected to occur during summer break, between the months of June and August in 2015 or 2016 and would not overlap with summer programming. While construction work would typically occur between the hours of 7:00 am and 4:00 pm Monday through Friday, additional hours during the week or on Saturdays may be required. For example, during certain time sensitive construction activities, such as pouring concrete, construction work would occur outside of that typical timeframe and some construction workers may need to be on the project site until 8 pm.

APPROVALS:

The proposed project would require approval of a Conditional Use Application by the Planning Commission and issuance of a building permit by the Department of Building Inspection (DBI). The Planning Commission approval of the Conditional Use Application would constitute the Approval

Action for the project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

REMARKS:**Class 32**

California Environmental Quality Act (CEQA) State Guidelines Section 15332, or Class 32, provides an exemption from environmental review for in-fill development projects which meet the following conditions:

- a) *The project is consistent with applicable general plan designations and policies as well as with applicable zoning designations.*

The proposed project would be consistent with the San Francisco General Plan and with applicable zoning designations. The project site is located within the Residential-House, One-Family (RH-1) zoning district where the proposed change of use at 233 Maple Street (from residential to institutional) and expansion of PHS would be conditionally permitted. The proposed project would be consistent with all applicable zoning plans and policies.

- b) *The development occurs within city limits on a site of less than five acres surrounded by urban uses.*

The 0.4-acre (17,484-sf) project site is located within a fully developed area of San Francisco. The surrounding uses are primarily residential. Both lots are currently developed with either residential or institutional uses, thus the project meets the requirements of an in-fill development surrounded by urban uses on a site smaller than five acres.

- c) *The project site has no habitat for endangered, rare or threatened species.*

The project site is located within a fully developed urban area. No contiguous and substantial habitat for any rare or endangered plant or animal species is located near or on the project site or within the project site vicinity.

- d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*

Transportation**Travel Mode**

A transportation study¹ and supplemental technical memorandum² was prepared to analyze impacts associated with the proposed project. The following summarizes the results from these analyses. PHS proposes to increase enrollment from 200 to approximately 240 students, while faculty/staff would increase by adding five new employees. Based on the trip rate for institutional uses, the proposed project would generate a total of approximately 80 daily person-

¹ CHS Consulting Group. *Presidio Hill School Transportation Study*, December 20, 2013. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

² CHS Consulting Group. *Presidio Hill Traffic Study, Supplemental Technical Memorandum*, March 25, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

trips. Of the 80 daily person-trips generated by the proposed project, 40 trips would occur during the am peak period (drop-off) and 40 would occur during the pm peak period (pick-up). During the am drop-off period, 35 would be automobile person-trips (alone and carpooling), one transit trip, one walking trip, and two trips by bicycle to PHS. From PHS during the afternoon pm pick-up period there would be 34 automobile person-trips (alone and carpooling), two transit trips, one trip by bicycle, and two walking trips.³

Traffic

Transportation impacts were evaluated during the peak traffic time for the school, during am peak hour conditions (7:50 to 9:00 am) and pm peak hour conditions (2:30 pm to 5:30 pm), which coincide with the student drop-off and pick-up times. Travel demand for the proposed project was based on the existing and proposed school population and travel behavior of current students, faculty, and staff at PHS's existing building at 3839 Washington Street.

The proposed project would result in an incremental increase in the number of vehicles traveling through nearby intersections such as Washington/Maple Streets, Maple/Clay Streets, and Cherry/Washington Streets. These intersections are all-way, stop-controlled intersections that have a carrying capacity between 1,500 to 1,900 vehicles per hour (vph).⁴ The level of service at these intersections is satisfactory with no delays during the peak hour. The transportation study determined that the proposed project would result in an increase of approximately 26 vehicle trips during morning drop-offs and approximately 25 vehicle trips during afternoon pick-ups. As compared to the carrying capacity of the street (about 1,600 vph), traffic volumes along Washington Street are generally considered low with approximately 300 vehicles during the peak hour.⁵ Therefore, the additional 25 vehicles during the morning and 26 vehicles in the afternoon could be accommodated on Washington Street and at nearby intersections. This change in vehicle volumes during peak hours would be an incremental increase to existing conditions, but would not result in any significant adverse impacts on traffic operations or safety in the vicinity of the project site. Therefore, the proposed project would not interfere with existing traffic circulation or create a substantial increase in traffic that could not be accommodated by the existing infrastructure and would not result in any significant adverse traffic-related impacts.

Transit

The project site is located in an area well-served by transit. Stops for Muni routes 1-California, 1BX-California B Express, 2-Clement, and 33-Stanyan are located within one-

³ Migi Lee, CHS Consulting Inc. *Email response for 233 Maple Street travel demand*. San Francisco, California, March 24, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

⁴ Ning Wu. Institute for Transportation and Traffic Engineering, *Determination of Capacity at All-Way Stop-Controlled (AWSC) Intersections*, Published in Transportation Research Record 1710. TRB, National Research Board, Washington, D.C., USA., 2000. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

⁵ CHS Consulting Group, *Presidio Hill Traffic Study – Supplemental Technical Memorandum*, San Francisco, California, March 25, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

quarter mile (two to three blocks) from the project site. Assuming 40 new students, there would be an increase of one transit trip in the morning and two transit trips in the afternoon. The minimal increase of transit trips generated by the proposed project would be accommodated by the existing transit network. Furthermore, the proposed project's minor increase in vehicular traffic would not create substantial delays or increase operating costs, such that significant adverse impacts to transit service levels could result. Therefore, no significant impacts related to transit would occur as a result of the proposed project.

Pedestrians

No potentially hazardous conditions would occur between pedestrians and vehicles dropping off and picking up students because the school would continue to implement drop-off and pick-up protocols as detailed in their PHS Drop-off and Pick-up Management Plan.⁶ Currently two to four PHS staff members or parent volunteers monitor the pick-ups and drop-offs to ensure the children are escorted safely to and from the vehicles. In addition, the minimal increase of one walking trip in the morning and two walking trips in the afternoon generated by the proposed project would not result in overcrowding of sidewalks in the project vicinity or otherwise interfere with pedestrian accessibility to the site and adjoining areas. Therefore, no significant impacts related to pedestrian trips would occur as a result of the proposed project.

Bicycle

Seven bicycle routes (#10, #16, #20, #55, #65, #165, and #330) are within a half-mile of the project site and the existing school. The closest bike route, #10, is located along Clay Street approximately 160 feet to the south of 233 Maple Street. Route #165 is located along Cherry Street, approximately 620 feet west from of Maple Street. The proposed project would comply with Section 155.4 of the Planning Code by providing 26 Class I and 5 Class II bicycle spaces. The minimal increase of two bicycle trips in the morning and one bicycle trip in the afternoon generated by the proposed project would be accommodated by the existing bicycle network. The proposed project would not create potentially hazardous conditions for bicyclists; therefore, impacts to bicycles would not be significant.

Loading

Planning Code Section 152 does not require off-street freight loading for the proposed project. Presently there is one 60-foot-long white passenger loading zone in front of 3839 Washington Street that can accommodate up to three cars and is in effect from 8:00 am to 6:00 pm. During three days of surveying conducted by Chi-Hsin Shao (CHS) traffic consultants, vehicle queues in the morning and afternoon varied from one to six vehicles waiting to either drop-off or pick-up students, including up to three cars in the passenger loading zone. The maximum queue occurred during the 8:15 am and 8:30 am and 3:30 pm and 3:45 pm observance periods. When vehicles queued beyond the passenger loading zone during drop-offs or pick-ups, the extended queue typically lasted less than two minutes per incident, and the queues dissipated quickly. A supplemental Technical Memorandum to the

⁶ Presidio Hill School. *Presidio Hill School Drop-off and Pick-up Management Plan and Compliance with Existing Conditions of Approval*, December 2013. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

Transportation Analysis prepared for the proposed project determined that the additional 40 students resulting from the expansion of the school would potentially increase the maximum queue size by up to four vehicles during the morning drop-off period. The Transportation Analysis concludes that any increase in double parking resulting from the project would dissipate quickly due to high vehicle turnover frequencies during the am drop-off period and would not result in any significant adverse impacts on traffic operations on Washington Street during student drop-off/pick-up periods. Additionally, with the proposed adjusted pick-up schedule, the transportation analysis concludes that maximum queue lengths during the pm pick-up period would remain the same as existing conditions.⁷

This analysis also considers an option for the proposed project to expand the existing white passenger loading zone by up to 106 feet, accommodating two additional cars. This additional loading zone would allow for up to two more cars to be accommodated and would reduce vehicle queues. Therefore, loading-related impacts from the proposed project, with or without an expanded loading zone, would not be significant.

Emergency Access

The proposed project would not close off any existing streets or entrances to public use areas. Furthermore, the transportation analysis for the project concludes that any increase in double parking resulting from the project would dissipate quickly and would not result in any significant adverse impacts on traffic operations on Washington Street during student drop-off/pick-up periods. Therefore, the proposed project would not result in a significant impact related to emergency vehicle access.

Parking

The Planning Department Zoning Administrator determined that PHS does not need to provide any off-street parking spaces.⁸ The transportation study conducted by CHS states that the five new employees could increase on-street parking demand by three vehicles. The proposed project would provide no off-street parking spaces. Thus, the project would have an unmet parking demand. If the size of the loading zone is increased from 60 feet to approximately 106 feet, then two on-street parking spaces would be lost. The proposed project would result in a parking deficit of three to five spaces, but such a deficit would not create a significant impact. At this location, much of the unmet parking demand could be accommodated within existing on-street and off-street parking spaces within a reasonable distance of the project vicinity. Additionally, the project site is well served by public transit and bicycle facilities. The transportation study found that on all three days when parking was monitored there is adequate parking in the morning, but by the afternoon street parking is almost at capacity due in part to parents parking and walking to pick up their child. On average, parents were parked for 15 minutes before they vacated the parking space. Parking capacity increases after the 3:00 pm peak parking period. The Transportation Study

⁷ CHS Consulting Group. *Presidio Hill Traffic Study, Supplemental Technical Memorandum*, March 25, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

⁸ Kate Conner, Current Planner, San Francisco Department of Planning. *Email Response for 233 Maple Street regarding parking requirement per Planning Code, Section 150(c)*, San Francisco, California, October 15, 2012. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

determined that there would be adequate parking in the area to support the five new staff being added to PHS even if two additional on-street parking spaces were lost as a result of extending the loading zone.⁹ Furthermore, PHS would also appoint a TDM coordinator as part of the project to address parking and transportation issues by encouraging faculty, staff, and parents to use other modes of transportation and carpooling. Any unmet parking demand associated with the project would not materially affect the overall parking conditions in the project vicinity such that hazardous conditions or significant delays are created.

Parking conditions are not static, as parking supply and demand varies from day to day, from day to night, from month to month, etc. Hence, the availability of parking spaces (or lack thereof) is not a permanent physical condition, but changes over time as people change their modes and patterns of travel. While parking conditions change over time, a substantial deficit in parking caused by a project that creates hazardous conditions or significant delays to traffic, transit, bicycles or pedestrians could adversely affect the physical environment. Whether a deficit in parking creates such conditions will depend on the magnitude of the shortfall and the ability of drivers to change travel patterns or switch to other travel modes. If a substantial deficit in parking caused by a project creates hazardous conditions or significant delays in travel, such a condition could also result in secondary physical environmental impacts (e.g., air quality or noise impacts cause by congestion), depending on the project and its setting.

The absence of a ready supply of parking spaces, combined with available alternatives to auto travel (e.g., transit service, taxis, bicycles or travel by foot) and a relatively dense pattern of urban development, induces many drivers to seek and find alternative parking facilities, shift to other modes of travel, or change their overall travel habits. Any such resulting shifts to transit service or other modes (walking and biking), would be in keeping with the City's "Transit First" policy and numerous San Francisco General Plan Polices, including those in the Transportation Element. The City's Transit First Policy, established in the City's Charter Article 8A, Section 8A.115, provides that "parking policies for areas well served by public transit shall be designed to encourage travel by public transportation and alternative transportation."

The transportation analysis accounts for potential secondary effects, such as cars circling and looking for a parking space in areas of limited parking supply, by assuming that all drivers would attempt to find parking at or near the project site and then seek parking farther away if convenient parking is unavailable. The secondary effects of drivers searching for parking is typically offset by a reduction in vehicle trips due to others who are aware of constrained parking conditions in a given area, and thus choose to reach their destination by other modes (i.e. walking, biking, transit, taxi). If this occurs, any secondary environmental impacts that may result from a shortfall in parking in the vicinity of the proposed project would be minor, and the traffic assignments used in the transportation analysis, as well as in the associated air

⁹ Migi Lee, CHS Consulting Inc., *Email response for 233 Maple Street parking capacity question*. San Francisco, California, April 11, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

quality, noise and pedestrian safety analyses, would reasonably address potential secondary effects.

In summary, the proposed project would not result in a substantial parking deficit such that it would create hazardous conditions or significant delays affecting traffic, transit, bicycles or pedestrians. Therefore, parking impacts would not be significant.

Construction Traffic

Construction work at 233 Maple Street would last approximately eleven months (48 weeks), assuming work would typically occur five days per week. Most of the work would be interior work but there would be exterior construction for the proposed addition and staircase at the rear of the 233 Maple Street building and to construct the proposed elevator. During about four out of the eleven months, the majority of the work at 233 Maple Street would be limited to the interior of the building. Construction work at the existing school building at 3839 Washington Street and in the rear yard area is expected to occur during summer break, between the months of June and August in 2015 or 2016. The project sponsor would seek a construction street space permit from the Department of Building Inspection (DBI) that allows the construction contractor to use on-street parking. Construction vehicles would park in the existing loading zone along Washington Street during construction activities at 3839 Maple Street, which would occur during the summer break and would not overlap with summer programming. Construction at 233 Maple Street would require parking construction vehicles in front of 233 Maple Street, which would avoid conflicts with drop-off and pick-up activities at 3839 Washington Street. Furthermore, PHS drop-off and pick-up periods would continue to be monitored by school administrators and parents to ensure child safety and prevent construction-related traffic conflicts. The construction contractor would provide off-site parking for construction workers and would coordinate shuttle or carpool service to and from the project site. Construction-traffic impacts would be confined to the project sites and temporary and limited in duration, therefore, the proposed project would not result in significant transportation impacts related to construction traffic.

Cumulative Traffic

Claire Lilianthal Alternative School (CLAS) is located two and half blocks southwest of PHS on Sacramento Street between Cherry Street and Arguello Boulevard. Traffic from CLAS in the morning and afternoon does not substantially affect traffic conditions along Washington Street where PHS is located. Vehicles coming to and leaving from CLAS primarily use Clay and Sacramento Streets. As mentioned above, traffic volumes along Washington Street of approximately 300 vehicles during the peak hour are considered low and the additional 25 vehicles during the morning and 26 vehicles in the afternoon could be accommodated on Washington Street, which has a carrying capacity of about 1,600 vph. In addition, any vehicles that are going to or coming from CLAS that use the section of Washington Street near PHS would continue to be accommodated without creating congestion. Therefore, cumulative traffic impacts from the proposed project would not be significant.

Noise

Ambient noise levels in the vicinity of the project site are typical of noise levels in neighborhoods in San Francisco, which are dominated by vehicular traffic, including Muni vehicles, trucks, cars, emergency vehicles, and land use activities such as street maintenance.

Traffic Noise

Traffic-related noise levels along Maple and Washington Streets in the vicinity of the project site are approximately 60-65 Ldn.¹⁰ An approximate doubling of traffic volumes in the area would be necessary to produce an increase in ambient noise levels noticeable to most people. Project-related traffic-noise would be intermittent, and mostly occur during the typical drop-off (7:45 am to 9:00 am) and pick-up times (2:45 pm to 3:45 pm). As a result of the proposed project there would be a total of approximately 25 to 26 net new peak hour vehicles on a street that currently totals approximately 300 vehicles during the peak hour.¹¹ Therefore, the proposed project would not result in a doubling of traffic volumes and potential traffic-related noise impacts would be less-than-significant.

Noise from the Play Yard

The noise generated by the proposed users of the 233 Maple Street building would be considered common and generally acceptable in an urban area, particularly an urban area with an existing school. A noise assessment was conducted for the proposed project.¹² The assessment analyzed noise from the proposed project as a result of 1) revised play schedules; 2) noise from an increase of 40 students at play; and 3) expansion of the lower play yard. The assessment discussed the potential for noise to increase in the backyards and interior environments of surrounding properties. Currently the lower playground is approximately 60 feet from the backyards and 125 feet from the rear facades of neighboring properties. The proposed playground expansion would place the playground approximately 15 feet from the backyards and 80 feet from the rear facades of neighboring properties. Pursuant to the proposed plans, an eight-foot-high noise barrier would be installed at the southern and eastern portions of the rooftop play area. A new ten-foot-high acoustical barrier would be installed at the property line between 3839 Washington Street and 215 Maple Street. A new 10-foot-high one-hour fire wall, which could also reduce noise levels, would be installed at the new half flight of stairs proposed along the east wall of the existing school. A new at least six-foot-high acoustical barrier would be installed along the south and west sides of the property line along the newly expanded lower play yard. The noise assessment concludes that with noise reduction measures that have been incorporated into the project, noise levels in the back yards at the two closest residences along Clay Street may increase while children are at play by three to four decibels, a level that is barely noticed under typical environmental conditions. At all other locations, noise levels would remain unchanged or be reduced. The

¹⁰ Traffic noise map presented on DPH website: <http://www.sfdph.org/dph/EN/Noise/default.asp>. April 1, 2014.

¹¹ CHS Consulting Group, *Presidio Hill Traffic Study - Supplemental Technical Memorandum*, San Francisco, California, March 25, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

¹² Charles M. Salter and Associates. *Presidio Hill School Expansion, Exterior Noise Analysis*. January 19, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

noise from children playing in the expanded lower play yard would occur only during the day intermittently between approximately 8am to 3:00 pm (and intermittently between approximately 3:00 pm to 6:00 pm as part of the after school program, which consists of a smaller group of children), would not be continuous throughout the day, and would not disrupt night time activities such as sleeping. Therefore, the proposed project would not result in an increase to existing noise levels that would be a significant impact.

Noise from Fixed Equipment (Subject to Article 29)

No new noise-generating mechanical equipment, electrical, or plumbing equipment would be located at the exterior of the building at 233 Maple or 3839 Washington Streets. All noise-generating equipment would be located inside the building where the noisiest equipment would be in the basement. The proposed project would comply with Section 2909 of the San Francisco Police Code (the San Francisco Noise Control Ordinance), and operational noise from the proposed project would not be significant.

Construction Noise

Project construction would generate noise. Construction noise is regulated under Article 29 of the City's Police Code (the San Francisco Noise Control Ordinance), which prohibits construction equipment noise levels to exceed 80 dBA at 100 feet. Construction would be temporary and intermittent because it would be limited to certain hours of the day. Construction work at 233 Maple Street would take approximately eleven months and typically would occur between the hours of 7:00 am and 4:00 pm Monday through Friday. Construction work at the existing school building at 3839 Washington Street and in the rear yard area is expected to occur during summer break, between the months of June and August in 2015 or 2016. The construction contractor and any of its subcontractors would be required to comply with the City and County of San Francisco Noise Control Ordinance, which limits noisy construction work, as defined in the Ordinance, to between the hours of 7:00 am and 8:00 pm, seven days a week. Therefore, construction-related noise impacts would not be significant.

Considering the above discussion, the proposed project would not result in a significant noise impact.

Air Quality

In accordance with the state and federal Clean Air Acts, air pollutant standards are identified for the following six criteria air pollutants: ozone, carbon monoxide (CO), particulate matter (PM), nitrogen dioxide (NO₂), sulfur dioxide (SO₂) and lead. These air pollutants are termed criteria air pollutants because they are regulated by developing specific public health- and welfare-based criteria as the basis for setting permissible levels. The Bay Area Air Quality Management District (BAAQMD) has established thresholds of significance to determine if projects would violate an air quality standard, contribute substantially to an air quality violation, or result in a cumulatively considerable net increase in criteria air pollutants within the San Francisco Bay Area Air Basin. To assist lead agencies, the BAAQMD, in their *CEQA Air Quality Guidelines* (May 2011), has developed screening criteria. If a proposed project meets the screening criteria, then the project would not result in significant criteria air

pollutant impacts. A project that exceeds the screening criteria may require a detailed air quality assessment to determine whether criteria air pollutant emissions would exceed significance thresholds. The proposed project would be well below the screening criteria for an elementary school (2,747 students for operation and 3,904 students for construction). The proposed project would not exceed the screening levels for operation or construction and thus would not result in significant criteria air pollutant impacts.¹³

In addition, the proposed project would be subject to the Construction Dust Control Ordinance (Ordinance 176-08, effective July 30, 2008), which was established with the intent of reducing the quantity of dust generated during site preparation, demolition, and construction work in order to protect the health of the general public and of onsite workers, minimize public nuisance complaints, and to avoid orders to stop work by DBI. The Ordinance requires that all site preparation work, demolition, or other construction activities within San Francisco that have the potential to create dust or to expose or disturb more than 10 cubic yards or 500 square-feet of soil comply with specified dust control measures whether or not the activity requires a permit from DBI. The Director of DBI may waive this requirement for activities on sites that are less than one half-acre that are unlikely to result in any visible wind-blown dust.

In compliance with the Construction Dust Control Ordinance, the project sponsor and the contractor responsible for construction activities at the project site would be required to use the following practices to control construction dust on the site or other practices that result in equivalent dust control that are acceptable to the Director of DBI. Dust suppression activities may include watering all active construction areas sufficiently to prevent dust from becoming airborne; increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water must be used if required by Article 21, Section 1100 et seq. of the San Francisco Public Works Code. If not required, reclaimed water should be used whenever possible. Contractors shall provide as much water as necessary to control dust (without creating run-off in any area of land clearing, and/or earth movement). During excavation and dirt-moving activities, contractors shall wet sweep or vacuum the streets, sidewalks, paths, and intersections where work is in progress at the end of the workday. Inactive stockpiles (where no disturbance occurs for more than seven days) greater than 10 cubic yards or 500 square-feet of excavated materials, backfill material, import material, gravel, sand, road base, and soil shall be covered with a 10 millimeter (0.01 inch) polyethylene plastic (or equivalent) tarp, braced down, or use other equivalent soil stabilization techniques.

The proposed project would not contribute substantially to an air quality violation or result in a cumulatively considerable net increase in criteria air pollutants within the San Francisco Bay Area Air Basin. The proposed project would be subject to the requirements of the Construction Dust Control Ordinance. Therefore, the proposed project would not have significant air quality impacts.

¹³ Bay Area Air Quality Management District, CEQA Air Quality Guidelines, Updated May 2011. Table 3-1.

Water Quality

The proposed project would not generate wastewater or result in wastewater discharges that would have the potential to degrade water quality or contaminate a public water supply. Project-related wastewater and storm water would flow to San Francisco's combined sewer system and would be treated to standards contained in San Francisco's National Pollutant Discharge Elimination System Permit for the Southeast Water Pollution Control Plant prior to discharge. Therefore, the proposed project would not result in significant water quality impacts.

e) *The site can be adequately served by all required utilities and public services.*

The project site is located in a dense urban area where all public services and facilities are available; no expansion of public services or utilities is anticipated. Furthermore, the existing buildings are adequately served by utilities and public services. Therefore, there would be no significant impacts from the project requiring the expansion of existing utilities and public services.

Historic Architectural Resources

When evaluating whether the proposed project would be exempt from environmental review under CEQA, the Planning Department must first determine whether the subject property is an historical resource as defined by CEQA. In a Historic Resource Evaluation Response memorandum (HRER) dated January 2, 2014,¹⁴ the Planning Department determined that the building at 233 Maple Street is significant as both an individual resource and a contributing site to an eligible historic district located in the Presidio Heights neighborhood. The building at 3839 Washington Street is not a historic resource. The boundaries of the eligible Presidio Heights historic district are roughly the east side of Arguello Boulevard to the west, the north side of Jackson Street to the north, the west side of Presidio Avenue to the east, and the south side of Clay Street to the south. The potential district's period of significance is approximately late 1890s to the 1920s. The 233 Maple Street property was constructed during this period of significance and is a contributor to the eligible historic district. As an individual resource and as a contributing resource to an eligible historic district, the subject property qualifies as an historic resource under California Register Criterion 3.

Criterion 3 evaluates whether a property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values. The subject building embodies the distinctive characteristics of the Georgian Revival style, including rectangular massing, symmetrical facades, hipped roof, dormers, and classical ornamentation. 233 Maple Street was designed by the architectural firm of Sutton and Weeks (1902-1913). Sutton and Weeks, a San Francisco-based architectural firm, was active from 1902 to 1913 at which time the firm contributed numerous significant buildings after the 1906 earthquake. Following Charles Peter Weeks' death in 1928 he was heralded as "one of California's best-known architect[s]" by the San Francisco Examiner. Therefore Sutton and Weeks, and more so, Charles Peter Weeks appear to be master architects.

¹⁴ Shelley Caltagirone, Preservation Planner, San Francisco Department of Planning. *Historic Resource Evaluation Response for 233 Maple Street, Parts I and II*, San Francisco, California, January 2, 2014. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

Therefore, 233 Maple Street is an individually eligible property as both the work of a master architect and as a successful example of the Georgian Revival style.

The Presidio Heights neighborhood possesses a high concentration of high-style, architect-designed buildings with good integrity and strong continuity in style, type, and massing built primarily during the early 20th century. A substantial number of historic resources are concentrated within the eligible Presidio Heights historic district. Three properties within the eligible historic district boundaries are listed in the California Historic Resources Information System (CHRIS), none of which are located on Maple Street. The Koshland House at 3800 Washington is listed on the National Register and is an Article 10 local landmark (No. 95). Additionally, seven properties are listed on the Here Today survey and forty-eight properties are listed on the 1976 Architectural survey. In addition, this eligible historic district contains many houses designed by prominent architects of the early 20th century, including Ernest Coxhead, Albert Farr, Julia Morgan, Bernard Maybeck, and Willis Polk. As such, the Presidio Heights neighborhood would likely qualify for listing on the California Register as an eligible historic district. 233 Maple Street contributes to the eligible Presidio Heights historic district.

233 Maple Street has undergone minor alterations, especially at the rear (west side of the building). Regardless, the subject property retains its integrity and continues to illustrate the characteristics that make this building significant as an individual resource and contributor to a historic district.

The character-defining features of the building include:

- Rectangular massing;
- Brick cladding and quoining at the flanks;
- Projecting cornice with modillions, architrave and frieze;
- Windows – double-hung wood sash;
- Hipped roof;
- Dormers at each façade with hipped roofs;
- Two-story portico with brick piers and Tuscan pilasters; and
- Palladian window in attic dormer.

The character-defining features of the historic district include:

- Strong expression of Revival or First Bay Tradition styles; and
- High artistic value, craftsmanship, design, and materials.

The proposed project was evaluated for its potential to impact eligible historic resources. The proposed construction would include minor maintenance and repair of the exterior of the building, a rear staircase addition from the second and third stories to the backyard, and a two-story addition to the rear (990 sf) for a staff lounge and student break space. An ADA-compliant elevator would be installed at the rear of the building on the north side. The building features two primary façades: the east side that faces Maple Street, and the south side, which acts as a primary architectural façade because of the entry porch and high-style of Georgian Revival style ornamentation. The HRER determined the proposed project would be consistent with all aspects of the *Secretary of the Interior Standards for Rehabilitation (Standards)* and

would not cause a substantial adverse change in the resource such that the significance of the building would be materially impaired.

The proposed change of use from a single-family residence to an educational institution would have minor impact on the building's character-defining features. The building's spatial relationship to the neighborhood would not be altered. A majority of the exterior work would occur at the secondary facades, north and west sides of the building, which include the two-story and rear staircase additions combined with the installation of a new elevator. A prior rear addition with an unknown date of construction at the northwest portion of the building would be where the first-story of the new two-story addition would be constructed, and therefore, would not result in the destruction of the building's historic fabric. At the rear (west) façade, constructing the second-story addition and exit stair would require removing a portion of the brick veneer and quoins, the architrave at the eave, one window, and the semi-octagonal dormer. At the north façade, the elevator shaft would require the removal of an existing two-story projection, architrave, frieze, and a portion of the northern dormer. The elevator penthouse would be setback from the primary façade (east side of the building) so that it would not be easily visible from the public right of way. All of the proposed new additions would be distinctive as contemporary in their material and scale while not detracting from the historic character of the existing building. The character-defining features of the primary facades would be retained as would the remaining features at the secondary facades. The proposed project, therefore, would result in minimal impact upon the historic fabric of the resource since a majority of the exterior work would occur at the secondary facades of the subject building. Therefore, the HREER determined the proposed project would not result in significant impacts to a historic resource or an eligible historic district.

Hazardous Materials

Contaminated Soil/Groundwater

A leaking underground fuel tank (LUFT) was previously located underneath the residential building at 233 Maple Street. Therefore, the project is subject to Article 22A of the Health Code, also known as the Maher Ordinance, which is administered and overseen by the Department of Public Health (DPH). The Maher Ordinance requires the project sponsor to retain the services of a qualified professional to prepare a Phase I Environmental Site Assessment (ESA) that meets the requirements of Health Code Section 22.A. The Phase I determines the potential for site contamination and level of exposure risk associated with the project.

A Phase I ESA was prepared for the proposed project.¹⁵ The assessment determined that a Recognized Environmental Concern (REC) from a previously leaking underground storage tank (LUST) used for residential heating oil had contaminated the soil at 233 Maple Street. Removal of the LUST, remediation, and rectification through the DPH Local Oversight Program (LOP) was performed and completed in 2012.¹⁶ Adjacent and neighboring properties or activities were determined to not impact the subject

¹⁵ John Carver Consulting, Environmental Consulting – Civil Engineering. *Phase I Environmental Site Assessment at 233 Maple Street, San Francisco, CA*. October 9, 2013. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

¹⁶ Rahjiv Bhatia, Director, Occupational and Environmental Health, Local Oversight Program, San Francisco City and County Department of Public Health. *Remedial Action Completion Certification, Underground Storage Tank (UST) Case, 233 Maple Street,*

property and therefore are not RECs. As determined by DPH and stated in the Phase I, no further action was required in terms of soil remediation from the LUST. The project applicant submitted a Maher Application to DPH along with the Phase I ESA. DPH determined that there is no evidence that the soil and/or groundwater may contain hazardous substances and issued a Maher Ordinance Waiver for the project in accordance with Article 22A of the Health Code.¹⁷

Thus, the proposed project would not result in a significant hazard to the public or the environment through the release of hazardous materials.

Naturally Occurring Asbestos

Results of subsurface investigation indicate that the site is underlain by weathered serpentine bedrock, which was encountered at 15 inches below ground surface (bgs).¹⁸ The proposed project would involve construction throughout the project site, potentially releasing serpentinite into the atmosphere. Serpentinite commonly contains naturally occurring chrysotile asbestos (NOA) or tremolite-actinolite, a fibrous mineral that can be hazardous to human health if airborne emissions are inhaled. In the absence of proper controls, NOA could become airborne during excavation and handling of excavated materials. On-site workers and the public could be exposed to airborne asbestos unless appropriate control measures are implemented. Although the California Air Resources Board (ARB) has not identified a safe exposure level for asbestos in residential areas, exposure to low levels of asbestos for short periods of time poses minimal risk.¹⁹ To address health concerns from exposure to NOA, ARB enacted an Asbestos Airborne Toxic Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations in July 2001. The requirements established by the Asbestos ATCM are contained in California Code of Regulations (CCR) Title 17, Section 93105,²⁰ and are enforced by the BAAQMD.

The Asbestos ATCM requires construction activities in areas where NOA is likely to be found to employ best available dust control measures. Additionally, the San Francisco Board of Supervisors approved the Construction Dust Control Ordinance in 2008 to reduce fugitive dust generated during construction activities. The requirements for dust control as identified in the Construction Dust Control Ordinance are as effective as the dust control measures identified in the Asbestos ATCM. Thus, the measures required in compliance with the Construction Dust Control Ordinance would protect the workers themselves as well as the public from fugitive dust that may also contain asbestos. The project sponsor would be

San Francisco, LOP Case Number: 11968. May 7, 2012. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

¹⁷ Richard Lee, Acting Director of Environmental Health, San Francisco Department of Public Health, *Waiver From San Francisco Health Code Article 22A (Maher Ordinance), 233 Maple Street, Block/Lot 0992/002, SMED No. 980*. December 24, 2013. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

¹⁸ Rollo and Ridley Geotechnical Engineers and Scientist. *Geotechnical Investigation for 233 Maple Street, San Francisco, CA. Presidio Hill School*. July 15, 2013. A copy of this document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File 2013.0494E.

¹⁹ California Air Resources Board. Accessed July 15, 2013.

²⁰ California, Fact Sheet #1 Health Information on Asbestos, 2002. Available online at: <http://www.arb.ca.gov/toxics/Asbestos/1health.pdf> Air Resources Board, Regulatory Advisory, Asbestos Airborne Toxic Control Measure for Construction, Grading, Quarrying, and Surface Mining Operations, July 29, 2002.

required to comply with the Construction Dust Control Ordinance, which would ensure that significant exposure to NOA would not occur. Therefore, the proposed project would not result in a hazard to the public or environment from exposure to NOA.

Neighborhood Concerns

A "Notification of Project Receiving Environmental Review" was mailed on September 11, 2013 to owners of properties within 300 feet of the project site and to adjacent occupants. The Planning Department received comments in response to the notice. Concerns raised include increased traffic congestion, construction-related traffic, inadequate off-street parking, noise (including construction noise), historical resources, and emergency response/access. Concerns and issues raised in the public comments on the environmental review are discussed in the corresponding topical sections of this Class 32 Categorical Exemption. No significant, adverse environmental impacts from issues of concern have been identified. Comments that do not pertain to physical environmental issues and comments on the merits of the proposed project will be considered in the context of project approval or disapproval, independent of the environmental review process. While local concerns or other planning considerations may be grounds for modifying or denying the proposal, in the independent judgment of the Planning Department, there is no substantial evidence that the proposed project could have a significant effect on the environment.

EXEMPT STATUS:

CEQA State Guidelines Section 15332, or Class 32, allows for an exemption of an in-fill development meeting various conditions. As described above, the proposed project is an in-fill development that would have no significant adverse environmental effects and would meet all the various conditions prescribed by Class 32. Accordingly, the proposed project is appropriately exempt from CEQA under Section 15332.

CONCLUSION:

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would have no significant environmental effects. The project would be exempt under the above-cited classifications. For the above reasons, the proposed project is appropriately exempt from environmental review.



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Historic Resource Evaluation Response

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Review Date: January 2, 2014 (Part 1 and 2)
Case No.: 2013.00494E
Project Address: 233 Maple Street
Zoning: RH-1 (Residential, House, Single-Family) Zoning District;
40-X Height and Bulk District
Block/Lot: 0992/002
Staff Contact: Shelley Caltagirone, Preservation Planner
(415) 558-6625 | shelley.caltagirone@sfgov.org
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PART I: HISTORIC RESOURCE EVALUATION

Building and Property Description

The parcel is located on Maple Street between Clay and Washington streets on an odd-shaped lot. The property is located in an RH-1 Zoning District in the Presidio Heights neighborhood. The nearest commercial corridor is to the southeast at Sacramento Street and Spruce Street. The Presidio is located two blocks to the north.

233 Maple Street was constructed in the Georgian Revival style by the architectural firm of Sutton & Weeks in 1904. The 2.5-story-over-basement single-family residence is clad in brick with brick quoins at either corner. A wood cornice with dentils projects from the hipped roof. Above, dormers are located at the center of each façade with hipped roofs. The primary entrance is located on the south face with a brick stairway leading from Maple Street, with elevated brick planters at either side. The garage is located at the center of the street-facing (east) façade, set back from the planters.

Pre-Existing Historic Rating / Survey

The subject property is not listed on any local, state or national registries. The building is considered a "Category B" property (Properties Requiring Further Consultation and Review) for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its age (constructed 1904). The subject property is not included in *Here Today: San Francisco's Architectural Heritage* or the 1976 Planning Department Architectural Survey.

Neighborhood Context

The buildings on the subject block were constructed between 1900 and the late 1920s, representing a variety of styles including the First Bay Tradition and numerous period revival styles. The Presidio Hill School abuts the rear yard of the subject property.

Wide-spread development in the western part of the city began in the late 19th century with the construction of rail and streetcar lines. The area was largely built out by the late 1920s when the

increasing use of the automobile improved accessibility from the downtown area. The immediate vicinity of the subject property, along Maple and Washington streets, saw later waves of development in the 1950s and 70s.

The Presidio Heights neighborhood, bounded broadly by Arguello Boulevard to the west, California Street to the south, Presidio Avenue to the east, and the Presidio to the north, contains a cohesive collection of high-style, architect-designed residences, with a total of 72 identified individually significant building and two National Register-listed properties in the 34-block area. The development period for much of the architecturally significant property in the neighborhood is pre-1900 to 1914. While this area has not been formally surveyed, portions of the Presidio Heights neighborhood likely qualify for listing on the California Register as an eligible historic district due to the high concentration of high-style, architect-designed buildings with good integrity and strong continuity in style, type, and massing built primarily during the early 20th century. District boundaries are roughly the east side of Arguello Boulevard to the west, the north side of Jackson Street to the north, the west side of Presidio Avenue to the east, and the south side of Clay Street to the south. The district's period of significance is approximately late 1890s to the 1920s.

CEQA Historical Resource(s) Evaluation

Step A: Significance

Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." The fact that a resource is not listed in, or determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA.

Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria: Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Period of Significance: 1904	Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria: Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Period of Significance: 1890s-1920s <input checked="" type="checkbox"/> Contributor <input type="checkbox"/> Non-Contributor

Based on the information provided in the Historic Resource Evaluation and additional research conducted by Planning Department staff, the Department finds that the subject property appears to be eligible for inclusion on the California Register as both an individual resource and a contributor to a historic district.

Criterion 1: Property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

There is no information provided by the Project Sponsor's reports or located in the San Francisco Planning Department's background files to indicate that the subject building was associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States. The subject building was constructed in 1904 during the major period of development for the area. This pattern of neighborhood development (and specifically, construction of the subject building) does not appear to be a singular or important event in the history of the City, the State, or the Nation.

Criterion 2: It is associated with the lives of persons important in our local, regional or national past; Research into the history of the owners and occupants of the subject property was conducted online at *Ancestry.com* and through historical directories, census records, and newspapers, including the *San Francisco Call* and the *San Francisco Chronicle*. The first owner of the subject property, Lewis I. Cowgill, was the vice president of the Merchant's National Bank and the Scandinavian Savings Bank, although no research has revealed that he was a significant figure in the history of the City, the State, or the nation. Similarly, none of the later owners of the property appear to be significant historical figures. Therefore, the building does not appear eligible for listing under Criterion 2.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;

233 Maple Street was designed by the architectural firm of Sutton & Weeks (1902 – 1913), led by senior partner Albert Sutton and junior partner Charles Peters Weeks, in the Georgian Revival style. The firm primarily constructed large apartment buildings and warehouses in San Francisco. The building embodies the distinctive characteristics of the Georgian Revival style, including rectangular massing, symmetrical facades, hipped roof, dormers, and classical ornamentation.

The San Francisco-based architectural firm of Sutton & Weeks was active from 1902 to 1913, when partner Sutton relocated to Portland, Oregon. Sutton & Weeks' contributed numerous significant buildings after the 1906 earthquake. Following Sutton's departure, Weeks hired engineer William Peyton Day as a partner, establishing the firm of Weeks & Day. The firm designed numerous San Francisco landmarks including the Don Lee Building at 1000 Van Ness (1920), the Huntington Hotel at 1075 California Street (1924), the Mark Hopkins Hotel at 999 California Street (1926), and the Sir Francis Drake Hotel (1927). Following Weeks' death in 1928 he was heralded "one of California's best-known architect" by the San Francisco Examiner. Therefore Sutton & Weeks, and more so, Charles Peter Weeks appear to be master architects. Therefore, 233 Maple Street is determined to be an individually eligible property as both the work of a master architect and as a successful example of the Georgian Revival style.

The Presidio Heights neighborhood consists primarily of large single-family residences with a few apartment buildings located mostly on the south side of the neighborhood along California, Sacramento and Clay streets. The neighborhood contains many houses designed by prominent architects of the early 20th century, including Ernest Coxhead, Albert Farr, Julia Morgan, Bernard Maybeck, and Willis Polk. Architectural Resources Group (ARG) performed a district analysis of the surrounding blocks, bounded by Jackson Street to the north, Spruce Street to the east, Sacramento Street to the south, and Arguello Street to the west. The analysis found that lot sizes become wider to the north and most residences are large, single-family detached homes with landscaping and larger setbacks. While a vast majority of the properties were constructed between the 1890s through the 1920s, remaining empty lots were in-filled

between the early 1950s and 1970s in addition to a few contemporary additions. The most distracting of additions throughout the neighborhood are so-called "snout" garages, contemporary additions that project from the primary façade of historic buildings, creating a terrace above. Three properties within the study area are listed in the California Historic Resources Information System (CHRIS), none of which are located on Maple Street. One nearby property, the Koshland House at 3800 Washington, is listed on the National Register as well as an Article 10 local landmark (No. 95); additionally, seven properties are listed on the Here Today survey and forty-eight properties are listed on the 1976 Architectural survey.

Generally, blocks in the surrounding area contain a significant number of historic resources with a high concentration located near the Presidio. While this area has not been formally surveyed, portions of the Presidio Heights neighborhood likely qualify for listing on the California Register as an eligible historic district due to the high concentration of high-style, architect-designed buildings with good integrity and strong continuity in style, type, and massing built primarily during the early 20th century. District boundaries are roughly the east side of Arguello Blvd to the west, the north side of Jackson Street to the north, the west side of Presidio Avenue to the east, and the south side of Clay Street to the south. The district's period of significance is approximately late 1890s to the 1920s. The subject property was constructed during this period of significance and would contribute to the historic district.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;
The evaluation of Criterion 4 (Information Potential) is not within the scope of this evaluation.

Step B: Integrity

To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as "the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance." Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

The subject property retains integrity from the period of significance noted in Step A:

Location:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Setting:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Association:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Feeling:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Design:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks	Materials:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks
Workmanship:	<input checked="" type="checkbox"/> Retains	<input type="checkbox"/> Lacks			

The subject property has undergone minor alterations, most notably an alteration at the rear (west), although the overall integrity of the building remains intact. 233 Maple Street retains a high degree of its integrity and continues to convey both its individual significance and contributory status.

Step C: Character Defining Features

If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

The character-defining features of the subject property include:

- Rectangular massing
- Brick cladding and quoining at the flanks
- Projecting cornice with modillions, architrave and frieze
- Windows – double-hung wood sash
- Hipped roof
- Dormers at each façade with hipped roofs
- Two-story portico with brick piers and Tuscan pilasters
- Palladian window in attic dormer

The character-defining features of the historic district include:

- Strong expression of Revival or First Bay Tradition styles
- High artistic value, craftsmanship, design, and materials

CEQA Historic Resource Determination

- Historical Resource Present
- Individually-eligible Resource
 - Contributor to an eligible Historic District
 - Non-contributor to an eligible Historic District

No Historical Resource Present

PART I: SENIOR PRESERVATION PLANNER REVIEW

Signature: *Tina Tam*
Tina Tam, Senior Preservation Planner

Date: 1-16-2014

PART II: PROJECT EVALUATION

Proposed Project

Demolition

Alteration

Per Drawings Dated: October 30, 2013

Project Description

The proposal is to renovate the existing single-family residence at 233 Maple Street for educational institution use (primary and middle school). 233 Maple Street is an existing approximately 7,750 square foot, three-story above basement and garage residence. The project will entail minor maintenance and repair of the exterior of the building, a rear staircase addition for an emergency exit, and a two-story addition to the rear (675 SF) for a staff lounge and student break space. The new two-story addition will project to the northern property line at the first story. An ADA-compliant elevator will be installed at the north side of the rear of the building.

Project Evaluation

If the property has been determined to be a historical resource in Part I, please check whether the proposed project would materially impair the resource and identify any modifications to the proposed project that may reduce or avoid impacts.

Subject Property/Historic Resource:

- The project will not cause a significant adverse impact to the historic resource as proposed.
- The project will cause a significant adverse impact to the historic resource as proposed.

California Register-eligible Historic District or Context:

- The project will not cause a significant adverse impact to a California Register-eligible historic district or context as proposed.
- The project will cause a significant adverse impact to a California Register-eligible historic district or context as proposed.

The Department finds that the project is consistent with all aspects of the *Secretary of the Interior Standards for Rehabilitation (Standards)* and that it will not cause a substantial adverse change in the resource such that the significance of the building would be materially impaired. The following is an analysis of the proposed project per the applicable Standards. The Department's analysis was guided by the Historic Resource Evaluation written by Architectural Resource Group on November 19, 2013.

Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed change of use from a single-family residence to an educational institution will minimally impact the character-defining features of the subject building, although it will require significant alterations to the north and west facades; both are secondary elevations. The building's spatial relationship to the neighborhood will not be altered.

The building features two primary facades: the east, facing Maple Street and the south, which acts as the primary architectural façade because of the entry porch and higher level of Georgian Revival style ornamentation. These facades will retain their distinctive materials, features, and spatial relationships.

The proposed rear addition will not cause a significant change in the building's distinctive materials, features, spaces, and spatial relationships as it will occur on a secondary space and obscure a limited amount of the character-defining features. A prior addition with an unknown date of construction is presently located at the northwest corner of the building, where the new first-story addition is slated to be constructed. Therefore no historic fabric will be impacted by the addition. The construction of the second-story addition and exit stair will require the demolition of a portion of the brick veneer and quoins, the architrave at the eave, one window, and the semi-octagonal dormer at the rear (west) façade. The proposal includes the reconstruction of a new rectangular dormer with three double-hung wood sash windows and an exit door to the north end. The elevator shaft at the north façade would require the removal of an existing two-story projection, architrave, frieze, and a portion of the northern dormer. The project, therefore, will only impact a minimal amount of historic fabric and complies with Standard 1.

Standard 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

As described above, the proposed project will remove distinctive features and spaces at the north and west facades. However, the historic character of the building will be retained and preserved at the primary facades. No distinctive materials, architectural elements, or spaces that characterize the property at these elevations (south and west) will be removed. The project complies with Standard 2.

Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Conjectural elements are not a part of the proposed project. All contemporary alterations and additions are clearly constructed of new materials. The project complies with Standard 3.

Standard 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The existing rear addition was constructed at an unknown date and does not appear to be of historic significance in its own right and is therefore not subject to Standard 4.

Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The proposed project would result in the loss of distinctive features at the secondary facades including: brick veneers, brick quoins, wood architrave, frieze and modillions, and a portion of the northern dormer. These features will be preserved at the south and east (primary) facades as well as at sections of the north and west facades. Therefore, the materials, features and finishes will continue to be represented by the building at the publicly visible portions of the building. The project complies with Standard 5.

Standard 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The proposed scope of work does not involve preservation of deteriorated historic features and is therefore not subject to Standard 6.

Standard 7. Chemicals or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The proposed scope of work does not involve chemical or physical treatments and is therefore not subject to Standard 7. If it is later determined that treatments are necessary they will be evaluated by a preservation professional or city staff to ensure that they meet *The Secretary of Interior's Standards*.

Standard 8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed scope of work does not involve soil disturbance and is therefore not subject to Standard 8.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

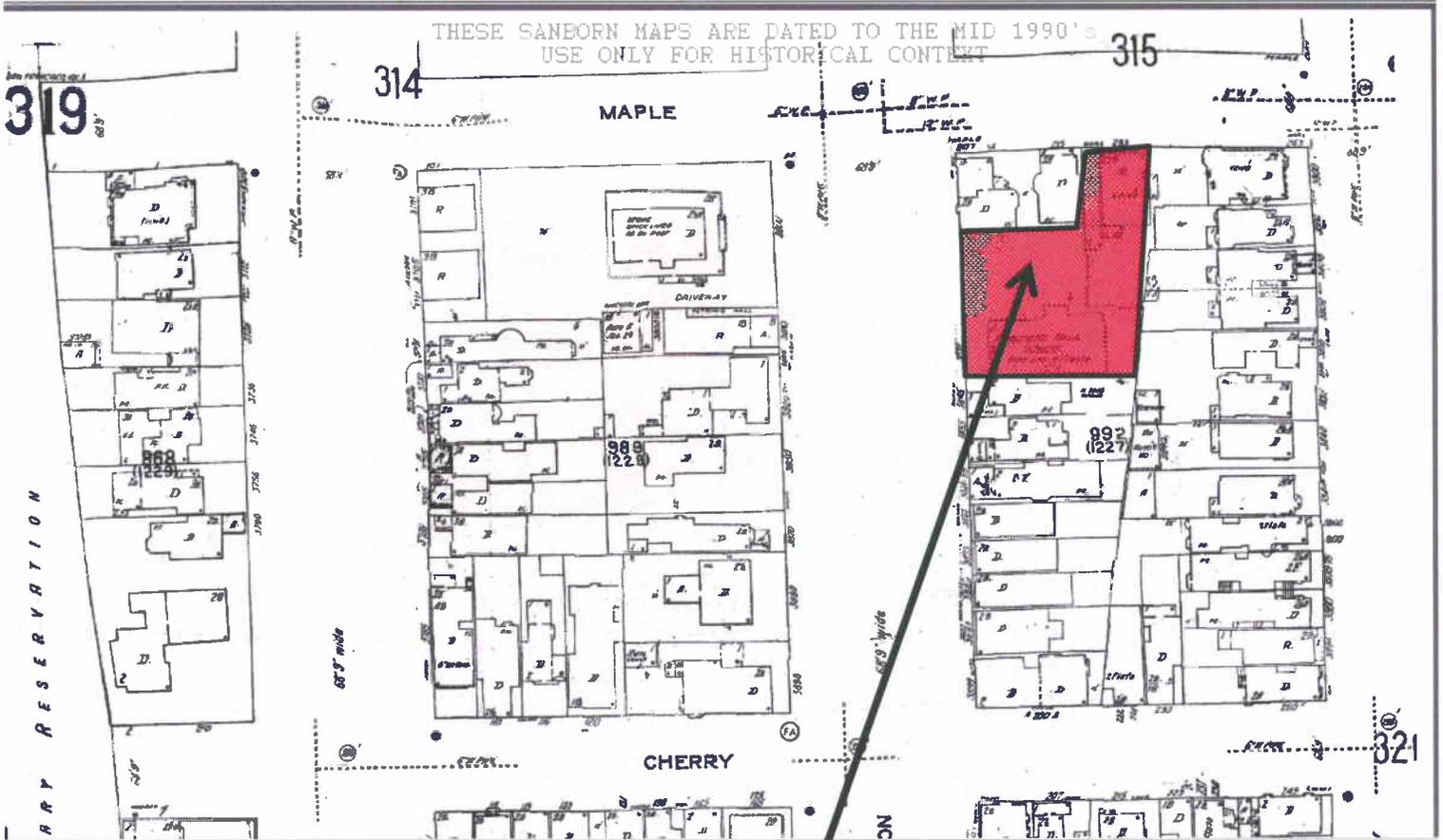
The proposed project involves a two-story addition at the northwest (rear) corner of the subject building, a three-story exit stair at the west elevation, and a three-story elevator shaft at the north façade. As previously discussed, the new additions will result in the loss of some character-defining features at the rear portions of the building not visible from the public right-of-way. They will not, however, result in the loss of the materials, features, and relationships that characterize the property, as they would take place at secondary elevations. Furthermore, the new additions will be clearly defined as contemporary in their material and scale while not detracting from the historic character of the existing structure.

The proposed elevator tower would extend beyond the existing ridgeline of the roof, although, according to photographic simulations provided by Kerman/Morris Architects (October 30, 2013), the new construction would only be visible from Maple Street immediately across the street from the subject property. The shaft has been set back to the rear of the property and will be clad in horizontal wood siding to differentiate it from the historic structure. These materials will be simple, minimal and not compete with the brick cladding of 233 Maple Street.

To the rear (west) of the building, the new fenestration of the two-story addition will employ double-hung wood sash windows that do not mimic or dominate over the existing fenestration while maintaining a sympathetic scale and organization. The project complies with Standard 9.

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2013.0494CE
233 Maple & 3839 Washington Streets

Aerial Photo

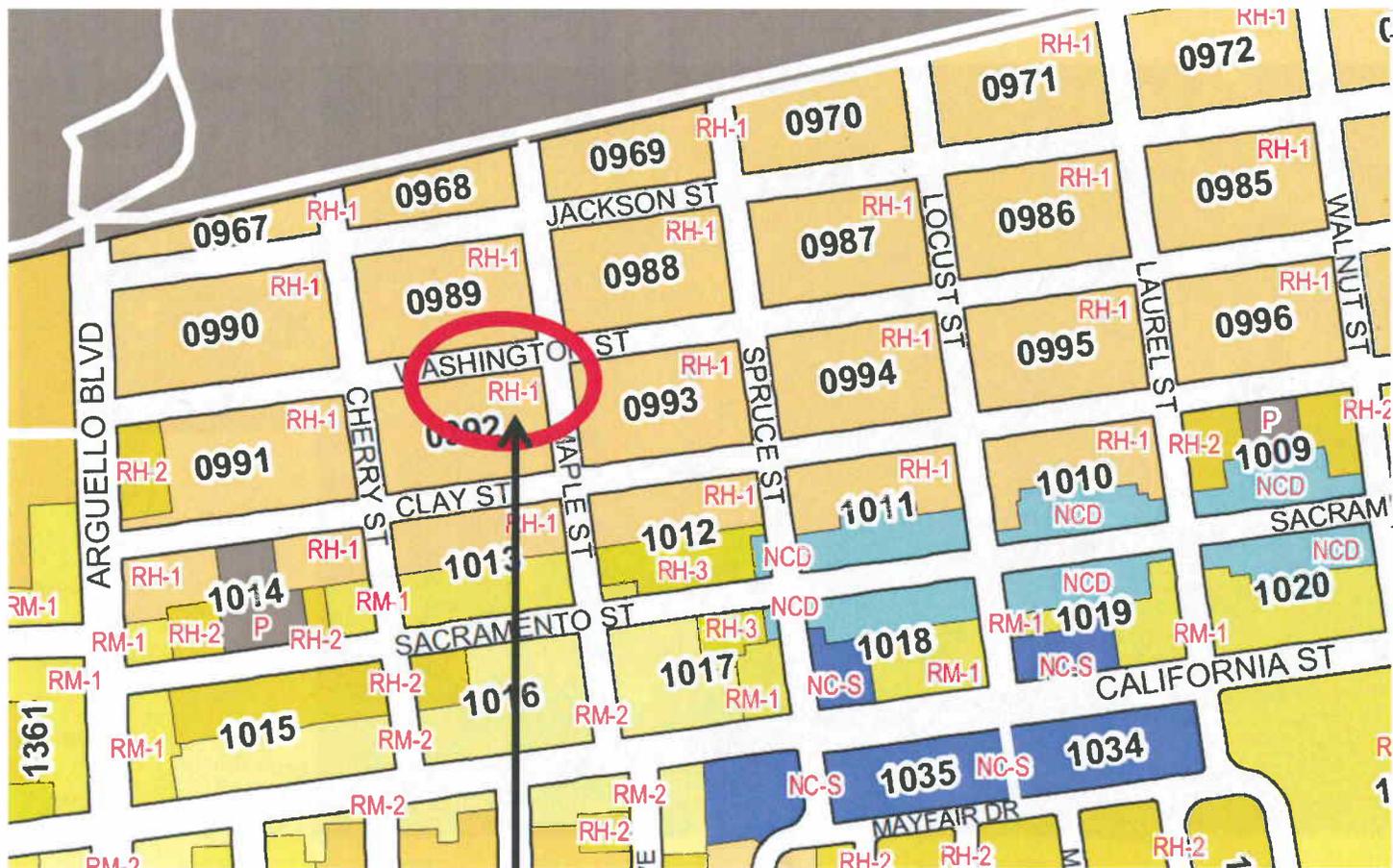


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2013.0494CE
233 Maple & 3839 Washington Streets

Zoning Map



PROJECT SITE



Conditional Use Hearing
Case Number 2013.0494CE
233 Maple & 3839 Washington Streets

CONDITIONAL USE AUTHORIZATION - EXHIBIT B

Presidio Hill School Addition and Renovation

233 Maple Street & 3839 Washington Street
San Francisco, CA 94118

**PFAU
GNOT**
ARCHITECTURE

**KERMAN
MORRIS**
Architects

69A Water Street
San Francisco
California 94133
Tel. 415. 749.0302
Fax 415. 928.5152

PROJECT DESCRIPTION

THIS WORK CONSISTS OF THE RENOVATION AND CONVERSION OF AN EXISTING SINGLE FAMILY RESIDENCE AT 233 MAPLE INTO EDUCATIONAL USE (PRIMARY AND MIDDLE SCHOOL), INCLUDING CLASSROOMS, OFFICES AND SERVICE AREAS SUPPORTING THE USE. THE PROPOSED RENOVATION OF 233 MAPLE INCLUDES A 2-STORY ADDITION AND EXTERIOR EGRESS STAIR AT THE REAR OF THE BUILDING AND A VERTICAL EXPANSION FOR ELEVATOR PENTHOUSE. PROPOSED WORK AT THE EXISTING PRESIDIO HILL SCHOOL AT 3839 WASHINGTON TO BE INTERIOR RENOVATIONS AND SOME WINDOW REPLACEMENT ONLY, EXCEPT FOR THE EXTENSION OF AN EXISTING EXIT STAIR TO THE REARYARD.

EDUCATIONAL USES ARE PERMITTED IN RH-1 ZONING DISTRICT WITH CONDITIONAL USE APPROVAL.

OWNER

Arguello Partners, LLC / Presidio Hill School

ARCHITECT OF RECORD

Pfau Long Architecture
98 Jack London Alley
San Francisco, CA 94107

DESIGN ARCHITECT

Kerman Morris Architects, LLP
69A Water Street
San Francisco, CA 94133

ASSESSOR'S BLOCK/LOT

3839 Washington: 0992/034
233 Maple 0992/002

ZONING/HEIGHT

RH1/40X

PROJECT INFORMATION

	EXISTING		PROPOSED	
USE	3839 Washington	233 Maple	3839 Washington	233 Maple
OCCUPANCY	Education:TK-8	Residential	Education (NC)*	Education:TK-8
CONSTRUCTION TYPE	Education	Residential	Education (NC)	Education, B
NUMBER OF STORIES	Type V-B	Type V-B	Type V-B	Type V-A
LOT AREA	3	3	3 (NC)	3 (NC)
	11,268 SF	6,216 SF	11,268 SF (NC)	6,216 SF (NC)

GROSS FLOOR AREA	25,656 SF TOTAL		26,514 SF TOTAL		* (NC) - No Change
SUB-BASEMENT	2,334 SF	N/A	2,334 SF (NC)*	N/A	
BASEMENT	2,447 SF	2,014 SF	2,447 SF (NC)*	2,142 SF (DEMO 72 SF, NEW 200 SF)	
FIRST FLOOR	7,056 SF	2,293 SF	7,056 SF (NC)*	2,447 SF (DEMO 364 SF, NEW 518 SF)	
SECOND FLOOR	3,700 SF	2,145 SF	3,700 SF (NC)*	2,564 SF (DEMO 52 SF, NEW 471 SF)	
THIRD FLOOR	2,366 SF	1,301 SF	2,366 SF (NC)*	1,406 SF (DEMO 0 SF, NEW 105 SF)	
SUBTOTAL	17,903 SF	7,753 SF	17,903 (NC)*	8,559 SF (806 SF NET NEW)	

PROGRAM:	CLASSROOMS		BREAK-OUT SPACES (STUDENT/STAFF MTG)		AUDITORIUM		LIBRARY		STAFF OFFICES/ MEETING SPACES		
	EXISTING*	PROPOSED*	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	
BASEMENT	1	1	0	0	1	1	0	1	1	2	
FIRST FLOOR	6	6	0	1	0	0	1	0	5	7	
SECOND FLOOR	5	7	0	3	0	0	0	0	0	0	
THIRD FLOOR	2	2	0	0	0	0	0	0	3	5	
Total Existing	14		0		1		1		9		25
Total Proposed		16		4		1		1		14	36

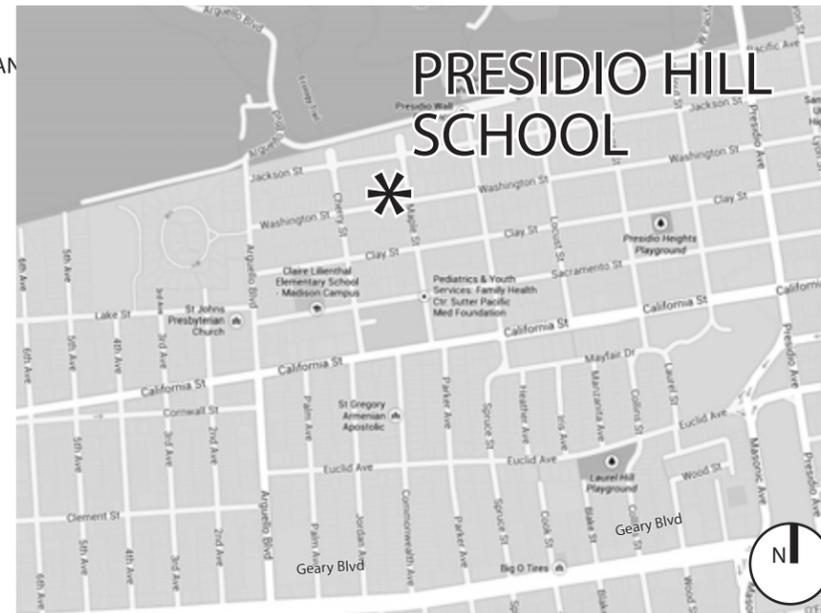
* EXISTING: PRESENT SCHOOL AT 3839 WASHINGTON STREET.

* PROPOSED: COMBINED SCHOOL CAMPUS AT 3839 WASHINGTON AND 233 MAPLE STREETS

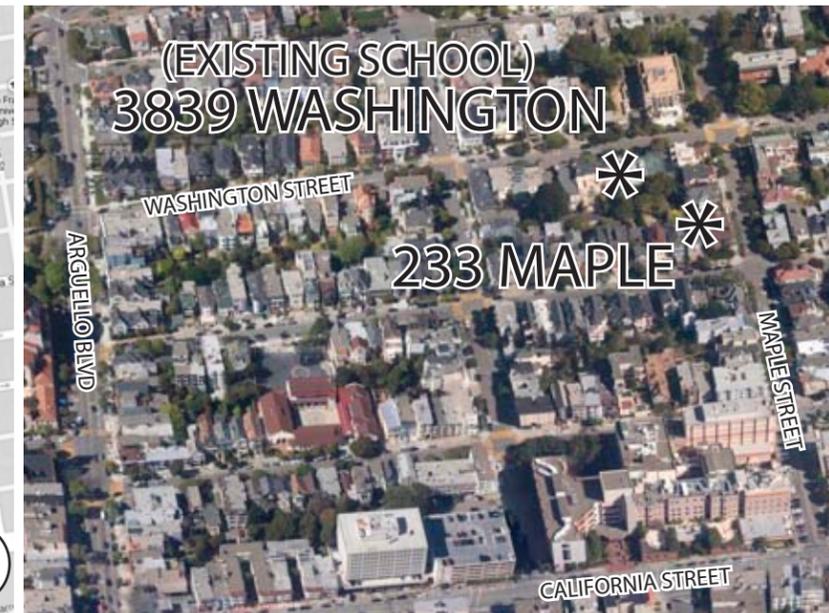
SHEET INDEX

DIAGRAMS	T 0.1	T 0.2	T 0.3	T 0.4	T 0.5	T 0.6	T 0.7	T 1.0	A 0.1	A 0.2	A 1.0	A 1.1	A 1.2	A 1.3	A 1.4	A 1.5	A 1.6	A 1.7	A 1.8	A 1.9
	TITLE SHEET & PROJECT INFO	PLANNING DEPARTMENT NOTES	SITE USE & SCOPE OF WORK	CAMPUS ACCESS & CIRCULATION	OPEN SPACE	ACOUSTICAL BARRIERS	HISTORICAL	PLOT PLAN	(E) SITE PLAN	PROPOSED SITE PLAN	(E) SUB-BASEMENT FLOOR PLAN	(E) BASEMENT FLOOR PLAN	(E) 1ST FLOOR PLAN	(E) 2ND FLOOR PLAN	(E) 3RD FLOOR PLAN	(E) ROOF PLAN	(E) EAST EXTERIOR ELEVATION	(E) WEST EXTERIOR ELEVATION	(E) NORTH EXTERIOR ELEVATION	(E) SOUTH EXTERIOR ELEVATION
			A 2.0	A 2.1	A 2.2	A 2.3	A 2.4	A 2.5	A 3.1	A 3.2	A 3.3	A 3.4	A 4.1	A 4.2						
			PROP. SUB-BASEMENT FLR PLAN	PROP. BASEMENT FLR PLAN	PROPOSED 1ST FLOOR PLAN	PROPOSED 2ND FLOOR PLAN	PROPOSED 3RD FLOOR PLAN	PROPOSED ROOF PLAN	PROP. EAST EXTERIOR ELEV.	PROP. WEST EXTERIOR ELEV.	PROP. NORTH EXTERIOR ELEV.	PROP. SOUTH EXTERIOR ELEV.	PROPOSED BLDG SECTION	PROPOSED BLDG SECTION						

SITE LOCATION MAP



AERIAL SITE PHOTO



DRAWING DESCRIPTION

TITLE SHEET & PROJECT INFORMATION

REV.	DATE	ISSUE
CU-R5	7/15/14	

SCALE

SHEET NUMBER

T 0.1

Planning Department Notes (Per San Francisco Planning Code)

ADDRESS
233 Maple Street; 3839 Washington Street
San Francisco, CA 94118

ASSESORS BLOCK/ LOT
3839 Washington- 0992/ 034
233 Maple- 0992/ 002

ZONING
RH-1 / 40-X



PROPOSED BUILDING USE
Education (TK-8)

PERMITTED USE
Per Section 209.3, educational use permitted with Conditional Use approval. Per Section 317(f), conversion of dwelling unit to non-residential use permitted with Conditional Use approval.

SET-BACKS
Front Setback =
Existing setbacks at 3839 Washington and 233 Maple to remain, no change (No additions are proposed at front of either bldg).
Rear Setback (Section 134) =
Existing setback at 3839 Washington to remain, no change.
25% of lot depth required rear yard at 233 Maple. Project Complies with addition as proposed.
Proposed rear yard approx 32% of lot depth

BUILDING HEIGHT LIMIT
RH-1: 40'-0"
Existing building heights at 3839 Washington and 233 Maple to remain, no change.
Per Section 260(b)(1)(B), the top 16ft of the new elevator penthouse shall be exempt from the height limit. Project Complies.

BULK LIMITATIONS
None

FLOOR AREA RATIO (F.A.R.)
(Table 124): 1.8 to 1. Project Complies with less than 1.8/1 F.A.R

PROPERTY	LOT SF	F.A.R. ALLOWED	MAX ALLOWABLE SF	PROPOSED SF	COMPLIES
A. 3839 Washington	11,268	1.8	20,282	17,903	Yes
B. 233 Maple	6,216	1.8	11,188	8,559	Yes
C. Combined (A+B)	17,484	1.8	31,471	26,462	Yes

PARKING
Per Table 151 at elementary schools is required one space for each 6 classrooms added. This project adds only 2 classrooms and is therefore exempt from parking requirement.

STREETSCAPE & PEDESTRIAN IMPROVEMENTS
Per Section 138.1 for additions of 20% or more of existing gross floor area, street trees are to be provided with a minimum of (1) tree of 24-inch box size for each 20 feet of frontage.
3839 Washington Street has 106'-6" frontage, therefore (5) street trees are required. (4) street trees are existing; (1) additional street tree is required and proposed.
233 Maple Street has 60'-0" frontage, therefore (3) street trees are required. (0) street trees are existing; (3) new street trees are proposed.

BICYCLE PARKING
Per Section 155.2 bicycle parking is calculated based on the number of classrooms.
As proposed, Presidio Hill School will consist of (7) elementary school classrooms (Transitional Kindergarten through 6th Grade) and (3) secondary school classrooms (6th through 8th grades).

Required Class 1 Bicycle Parking Spaces:
Elementary School: (Table 155.2.19): (7) classrooms x 2sp/classroom = 14 spaces
Secondary School: (Table 155.2.20): (3) classrooms x 4sp/classroom = 12 spaces
Total Class 1 Spaces Required: (26) Class 1 spaces
Project Complies with (26) spaces provided.

Access to Class 1 Bicycle Parking Spaces: Class 1 spaces to be provided in attendant monitored multi-purpose room in full compliance with Sections 155.1(c)(1)(B), 155.1(c)(3)(A) and 155.1(b)(1)(C).

Required Class 2 Bicycle Parking Spaces:
Elementary School: (Table 155.2.19): (7) classrooms x 1sp/classroom = 7 spaces
Secondary School: (Table 155.2.20): (3) classrooms x 1sp/classroom = 3 spaces
Total Class 2 Spaces Required: (10) Class 2 spaces
Project Complies with (5) spaces provided plus fee.
Compliance: Per Section 155.2(d) and Section 430 up to 50% of the required Class 2 spaces may be satisfied by paying an in lieu fee of \$400/space. Project sponsor proposes to provide (5) Class two spaces on school property in front of the school and pay the in lieu fee for the remaining required (5) spaces.

Requirements for shower facilities and lockers:
Compliance: Per Section 155.4 total occupied floor area will be less than 20,000 sf; thus, one shower and six clothes lockers will be provided. Shower is located on floor 3 Room Number 304, and the lockers are located on floor 3 Hall Number 305 (drawing #1 sheet A2.4)

ARCHITECTS
Pfaulong Architecture
98 Jack London Alley
San Francisco, CA 94107
p 415 908 6408
pfaulong.com

PROJECT
Presidio Hill School Addition & Renovation
233 Maple Street & 3839 Washington Street
San Francisco, CA 94118
PLA #: 22016

CLIENT
Presidio Hill School
3839 Washington Street
San Francisco, CA 94118

DRAWING DESCRIPTION
PLANNING DEPARTMENT NOTES

REV.	DATE	ISSUE
CU- R5	7/15/14	

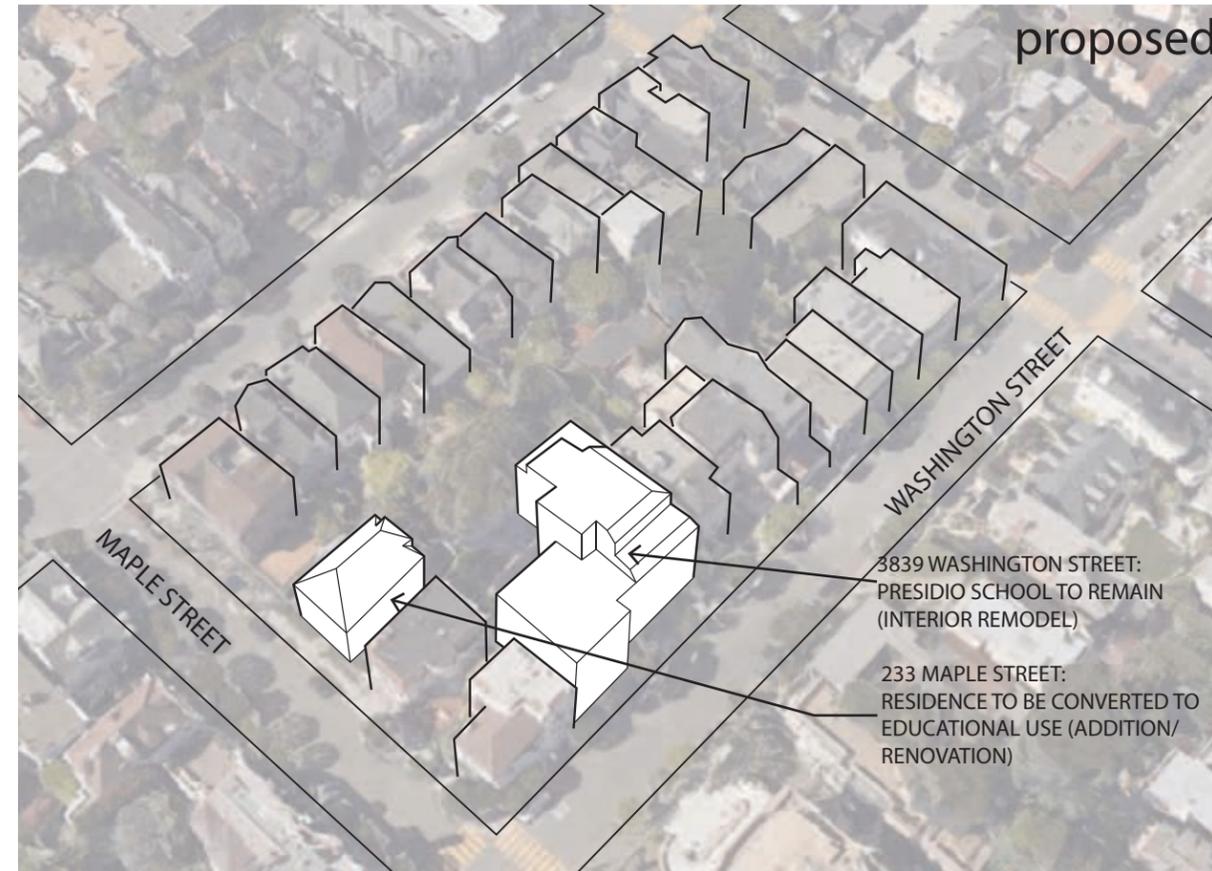
SCALE
-

SHEET NUMBER

SITE USE AND SCOPE OF WORK

NOTES:

- The project consists of changing the use of 233 Maple Street from residential to educational use and incorporating it into the Presidio Hill School Campus

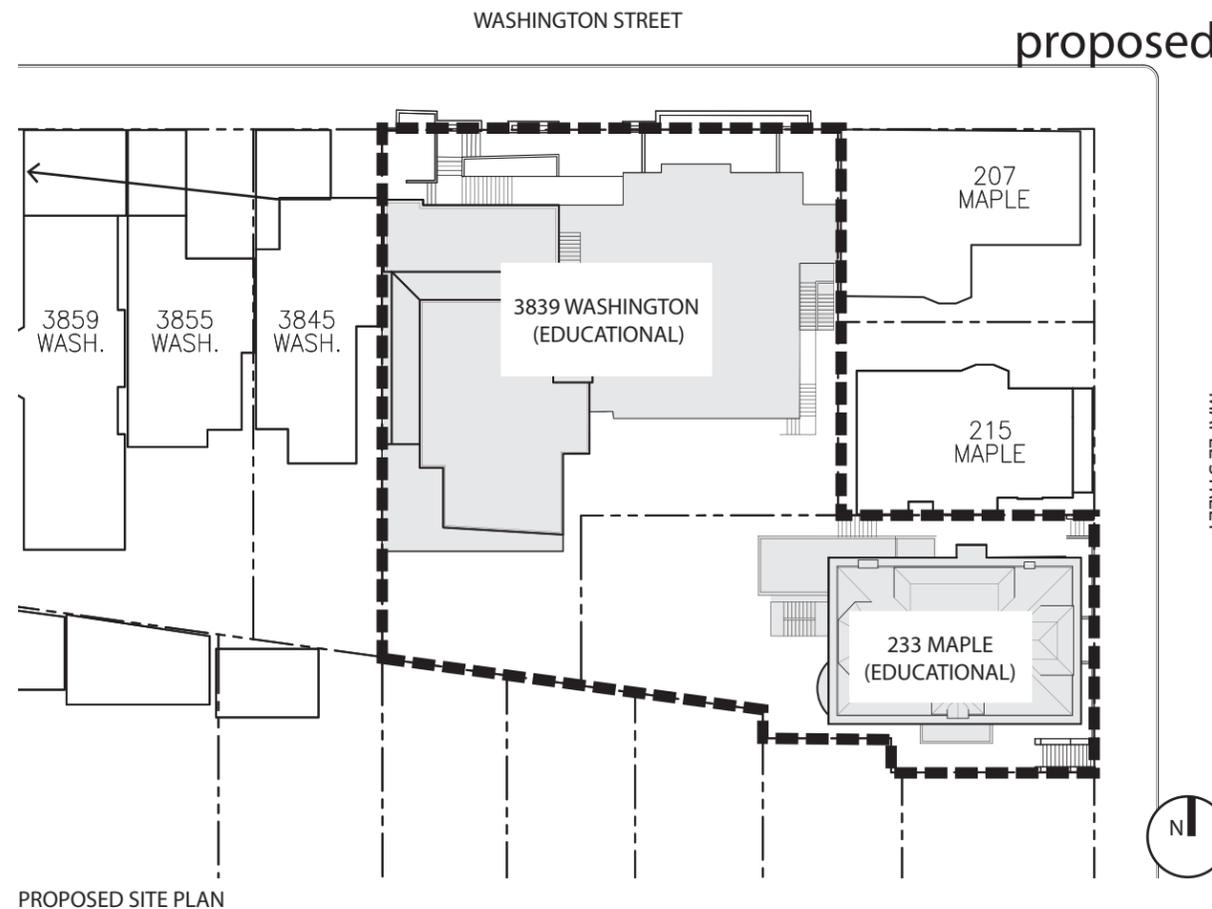
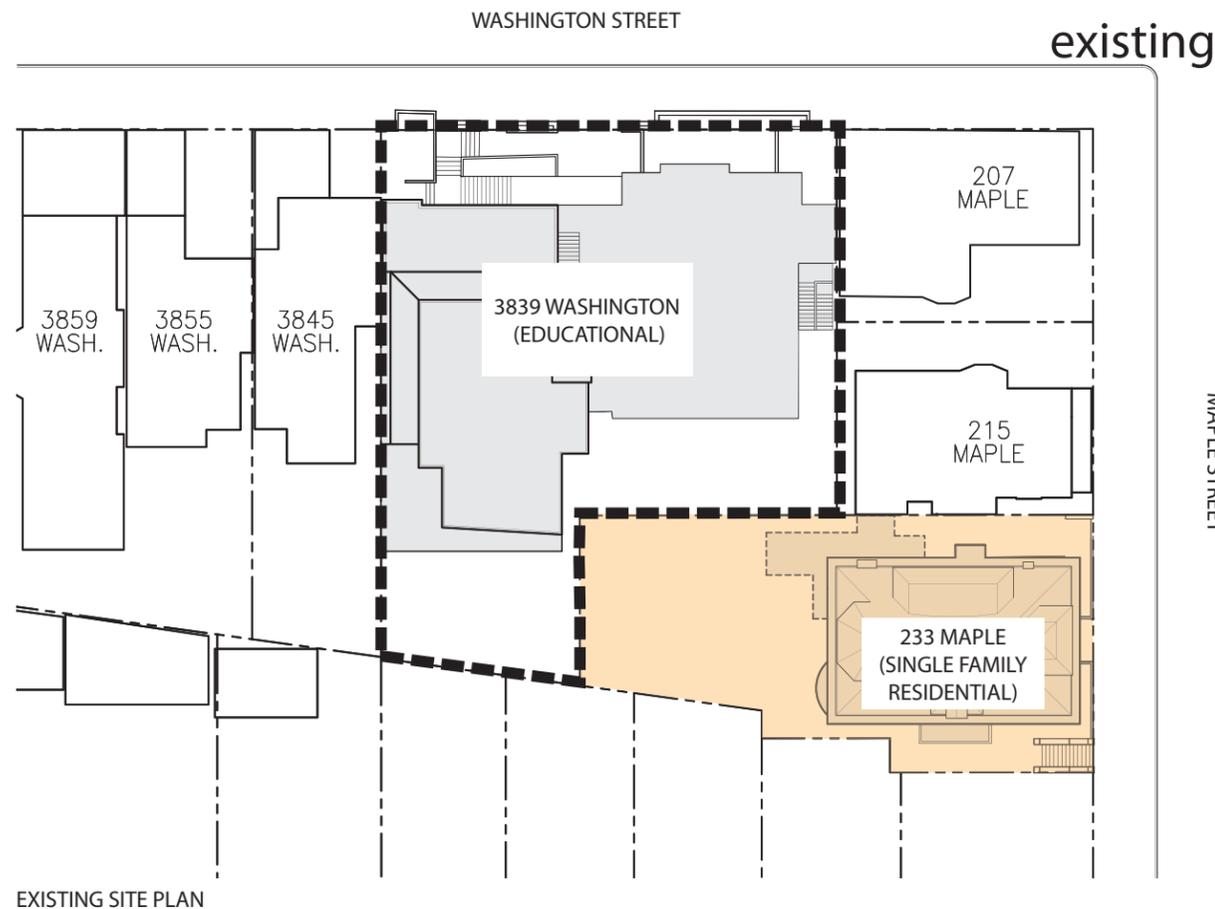


ARCHITECTS
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pfaulong.com

PROJECT
Presidio Hill School Addition & Renovation
233 Maple Street & 3839 Washington Street
San Francisco, CA 94118
PLA #: 22016

CLIENT
Presidio Hill School
3839 Washington Street
San Francisco, CA 94118

DRAWING DESCRIPTION
SITE USE & SCOPE OF WORK



REV.	DATE	ISSUE
CU-R5	7/15/14	

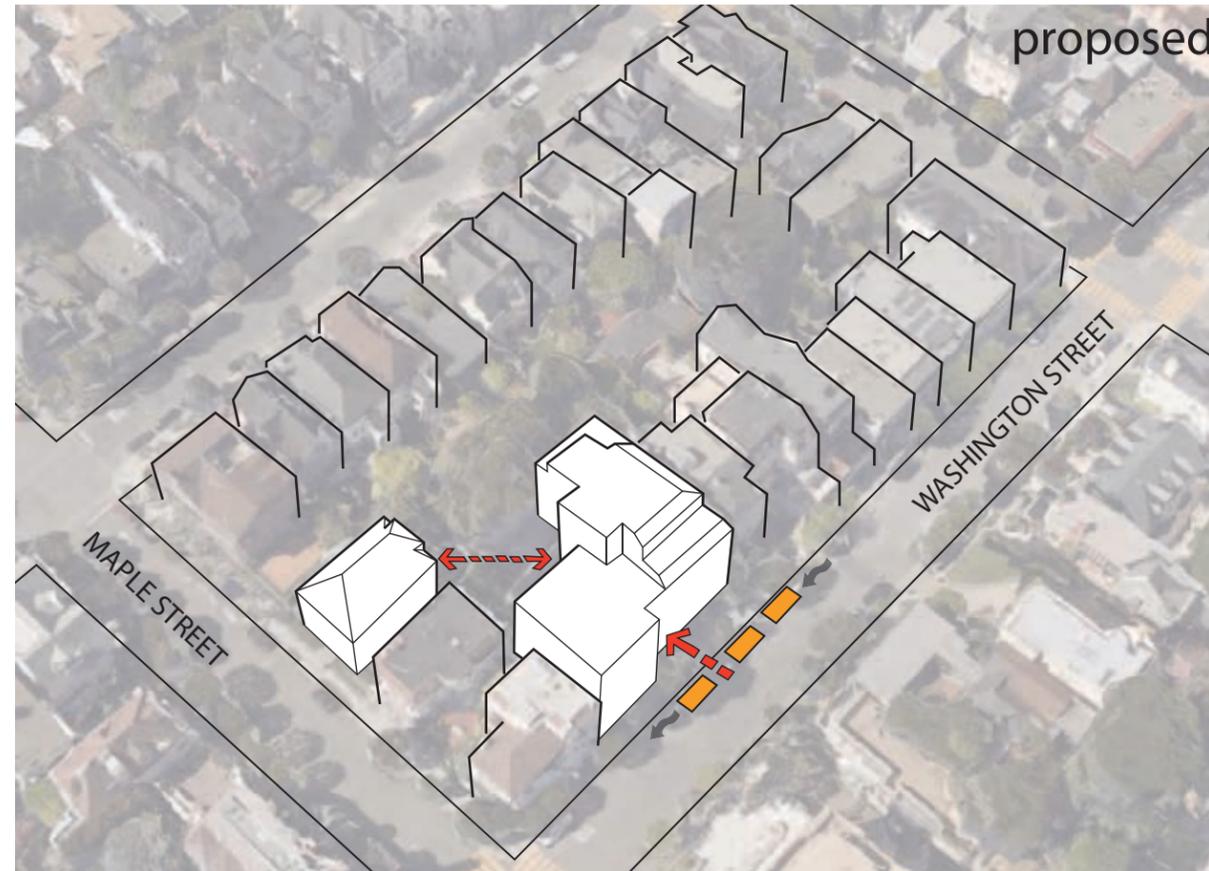
SCALE
-

SHEET NUMBER

CAMPUS ACCESS & SITE CIRCULATION

NOTES:

- Pick up, Drop off, and the school's single entry point are to remain unchanged at 3839 Washington Street. Access to 233 Maple Street School annex will be across the common rear yard only, and not from Maple Street.

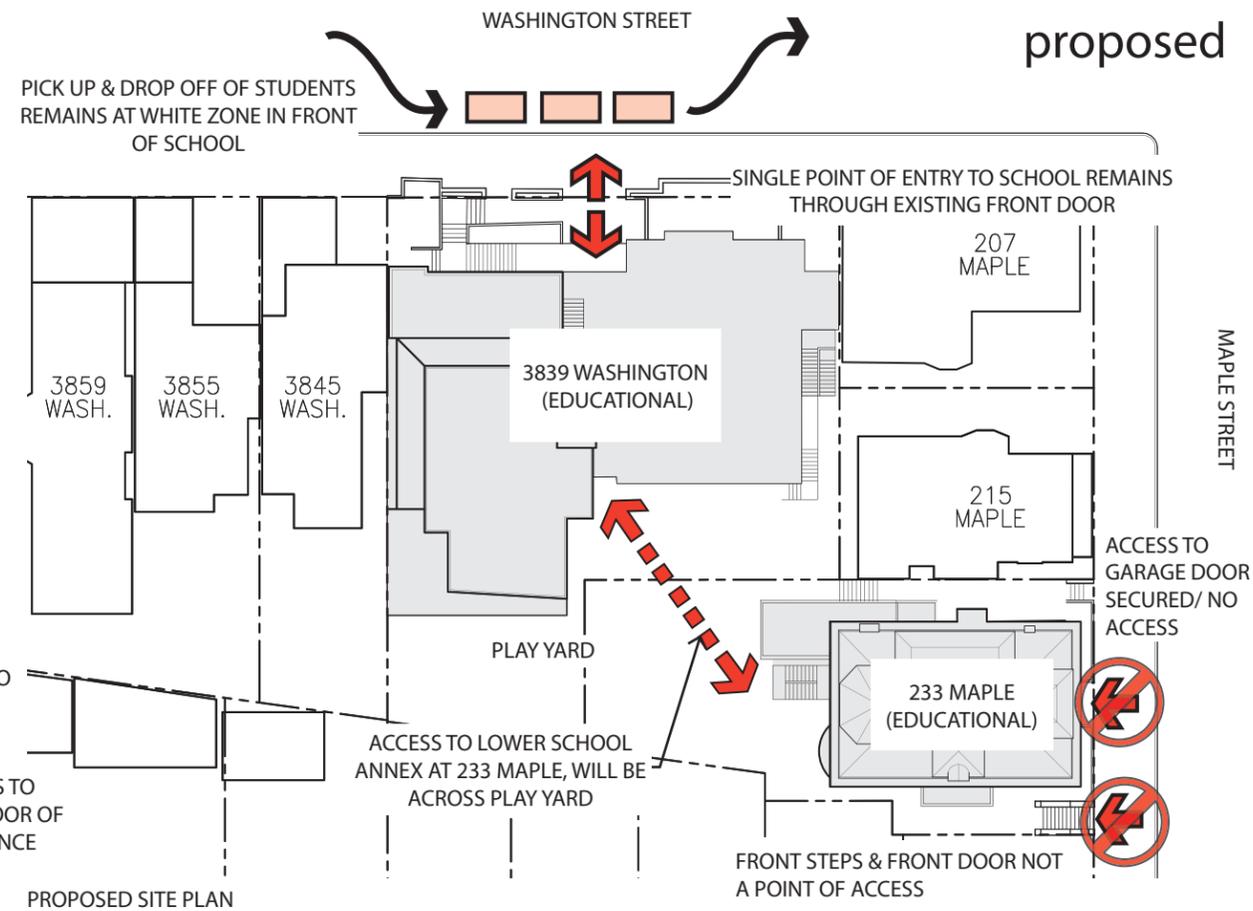
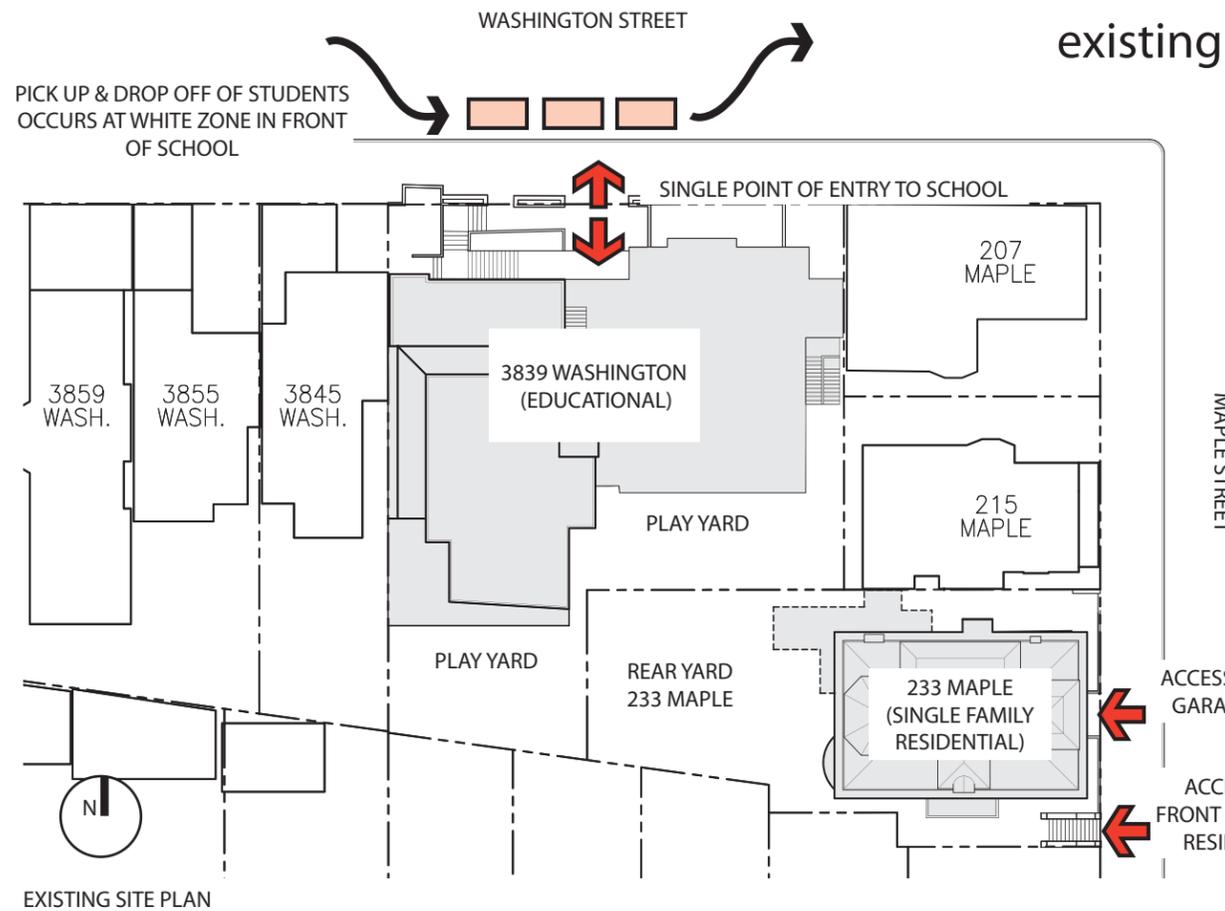


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233 Maple Street & 3839 Washington Street
San Francisco, CA 94118
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CLIENT
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3839 Washington Street
San Francisco, CA 94118

DRAWING DESCRIPTION
CAMPUS ACCESS & SITE
CIRCULATION



REV.	DATE	ISSUE
CU- R5	7/15/14	

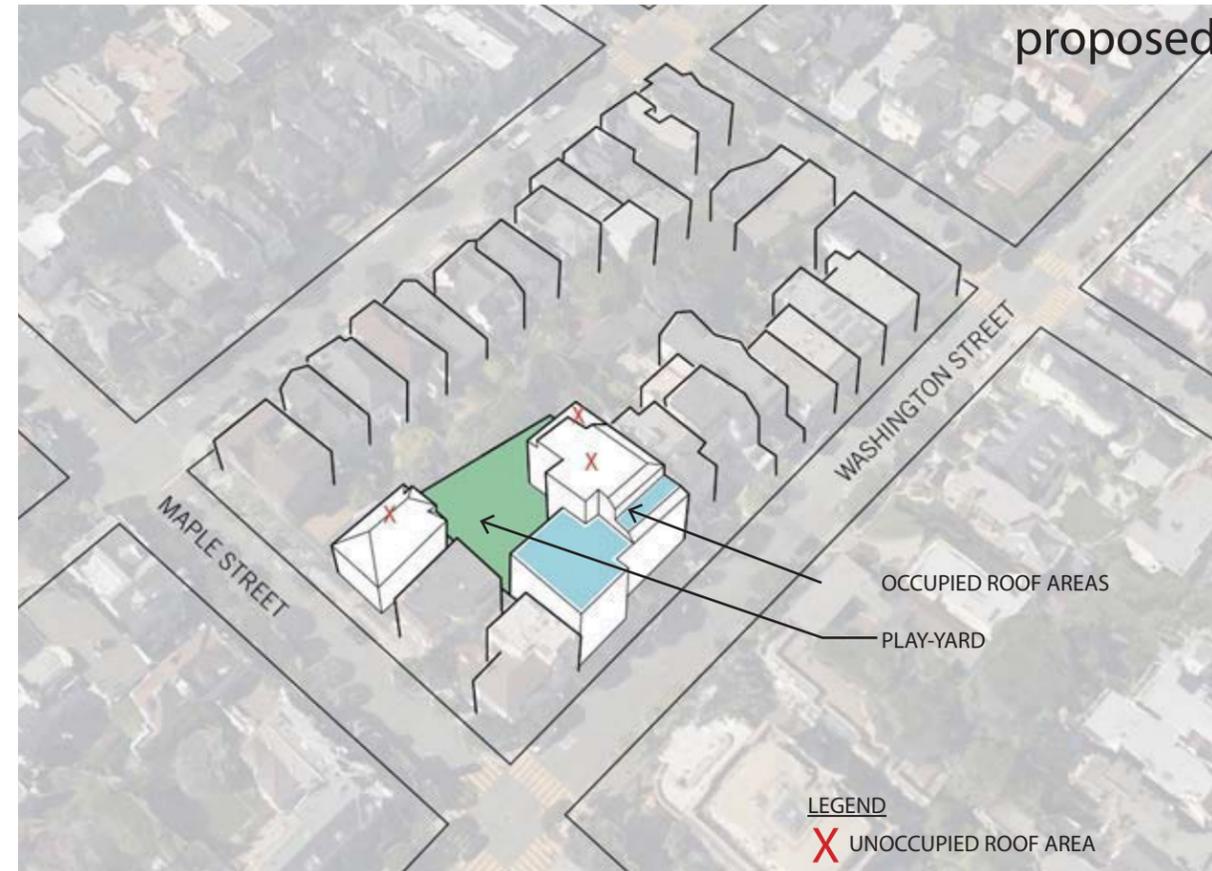
SCALE

SHEET NUMBER

OPEN SPACE

NOTES:

-The project will provide 38% more open space to the School



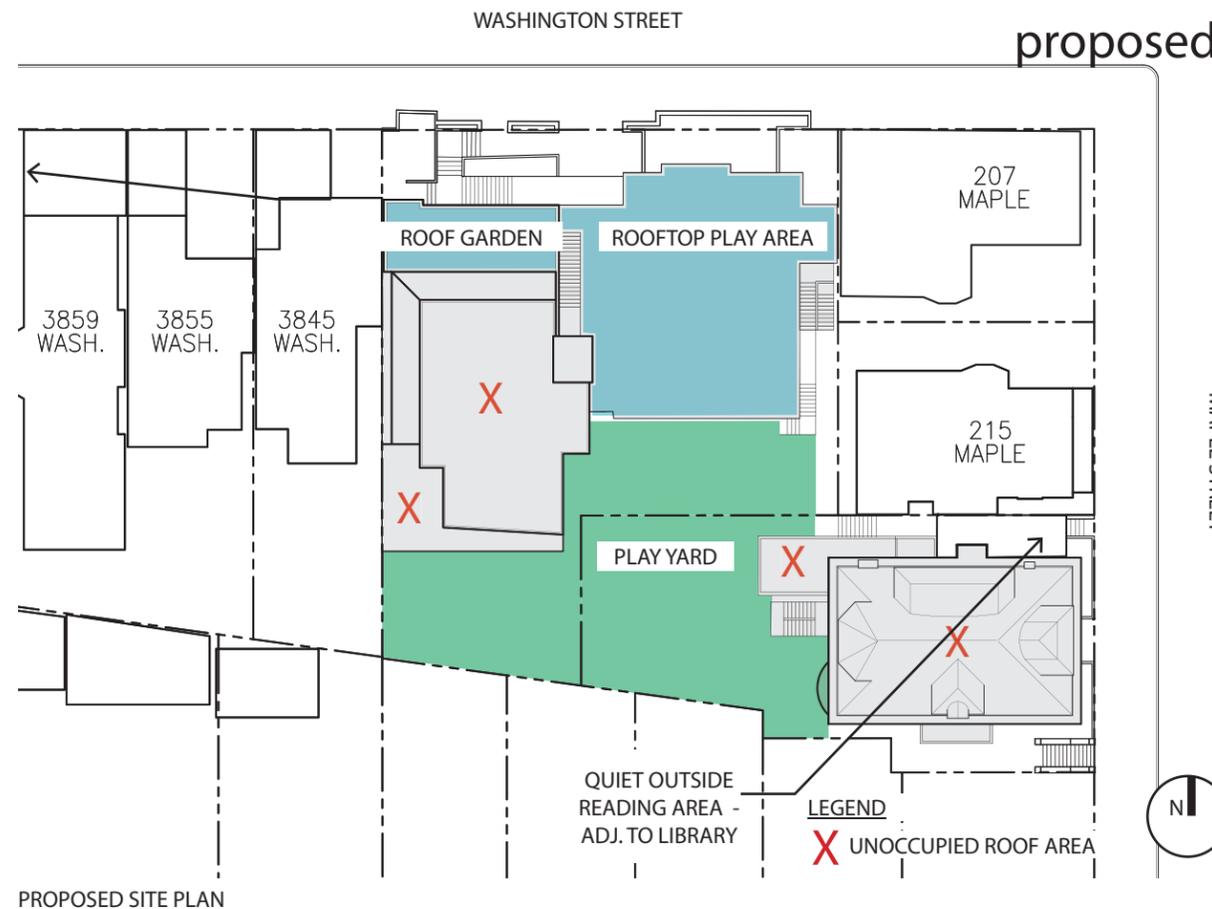
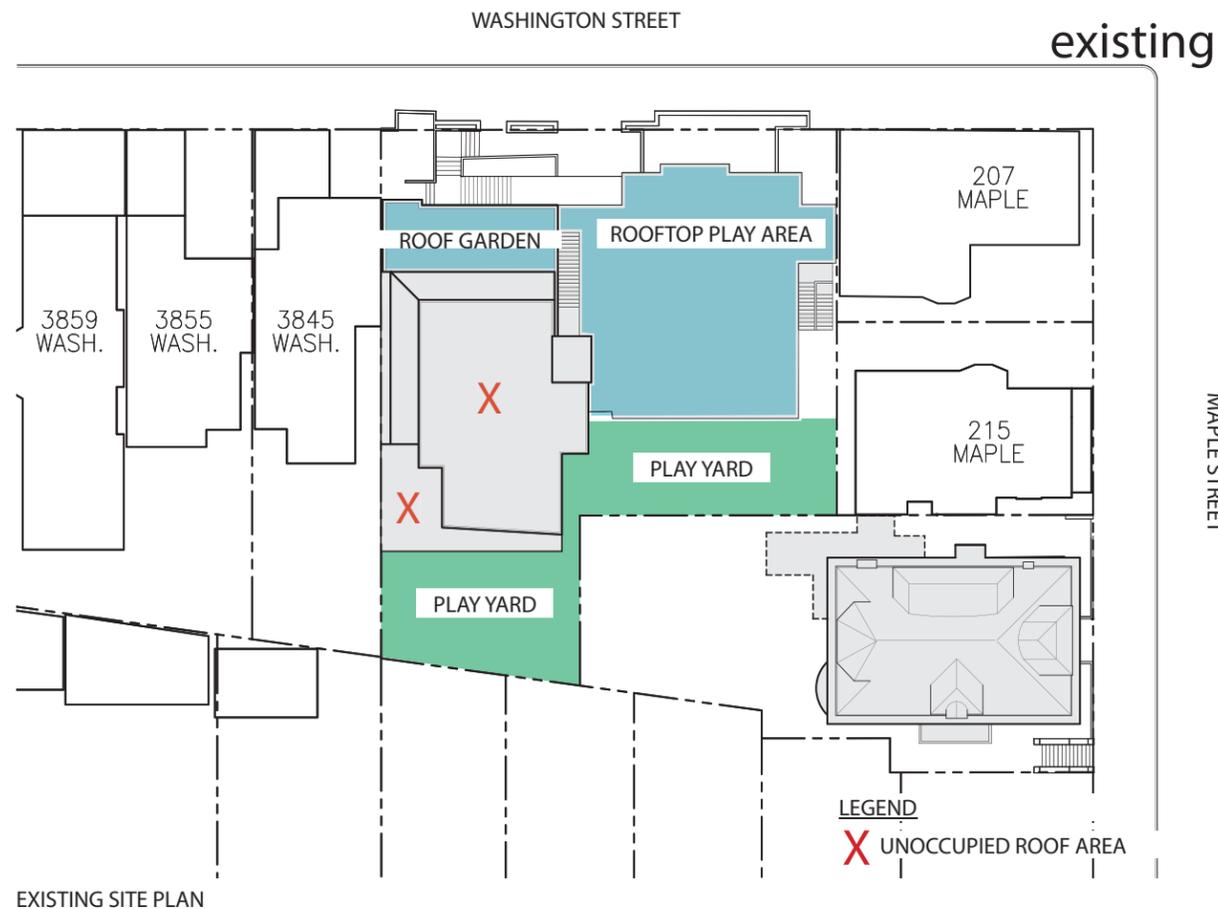
ARCHITECTS
 Pfau Long Architecture
 98 Jack London Alley
 San Francisco, CA 94107
 p 415 908 6408
 pfaulong.com

PROJECT
 Presidio Hill School Addition & Renovation
 233 Maple Street & 3839 Washington Street
 San Francisco, CA 94118
 PLA #: 22016

CLIENT
 Presidio Hill School
 3839 Washington Street
 San Francisco, CA 94118

DRAWING DESCRIPTION

OPEN SPACE



REV.	DATE	ISSUE
CU-R5	7/15/14	

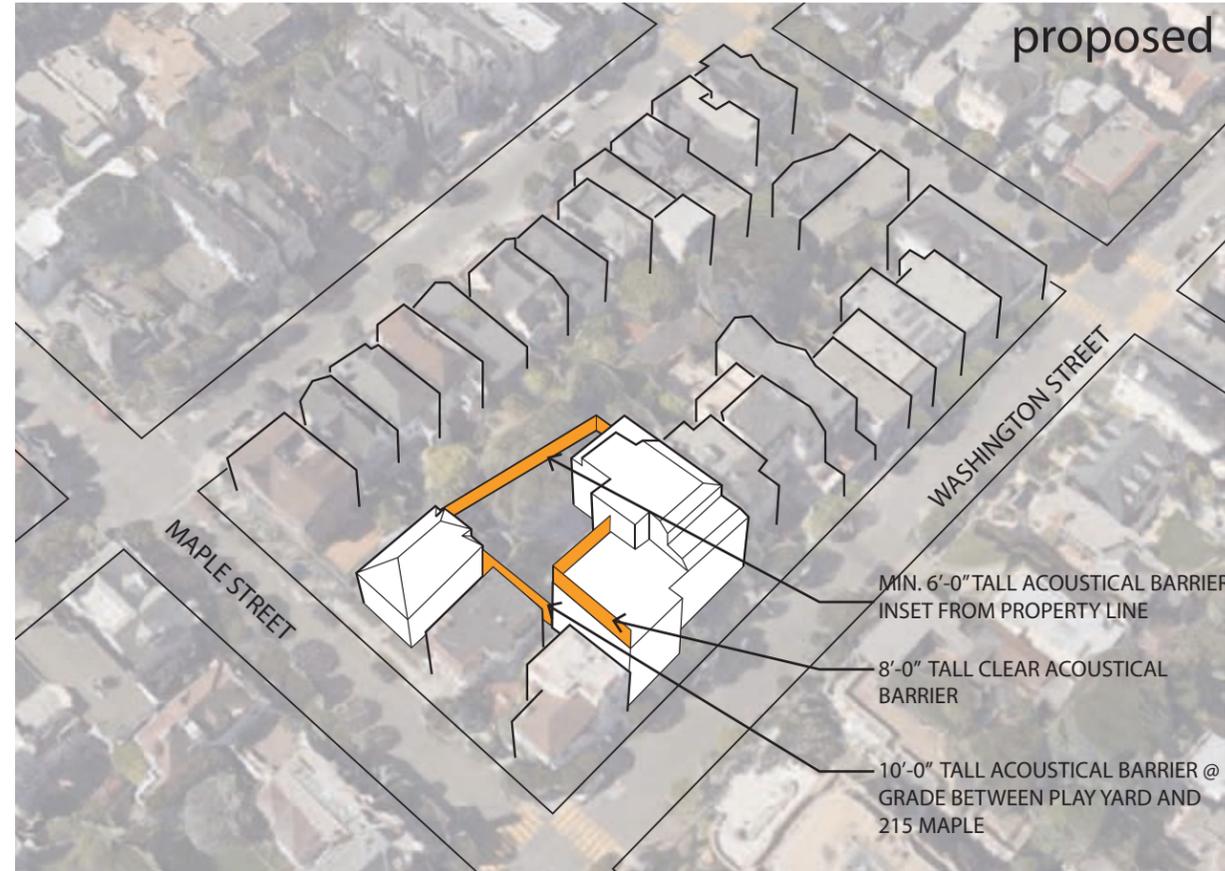
SCALE
 -

SHEET NUMBER

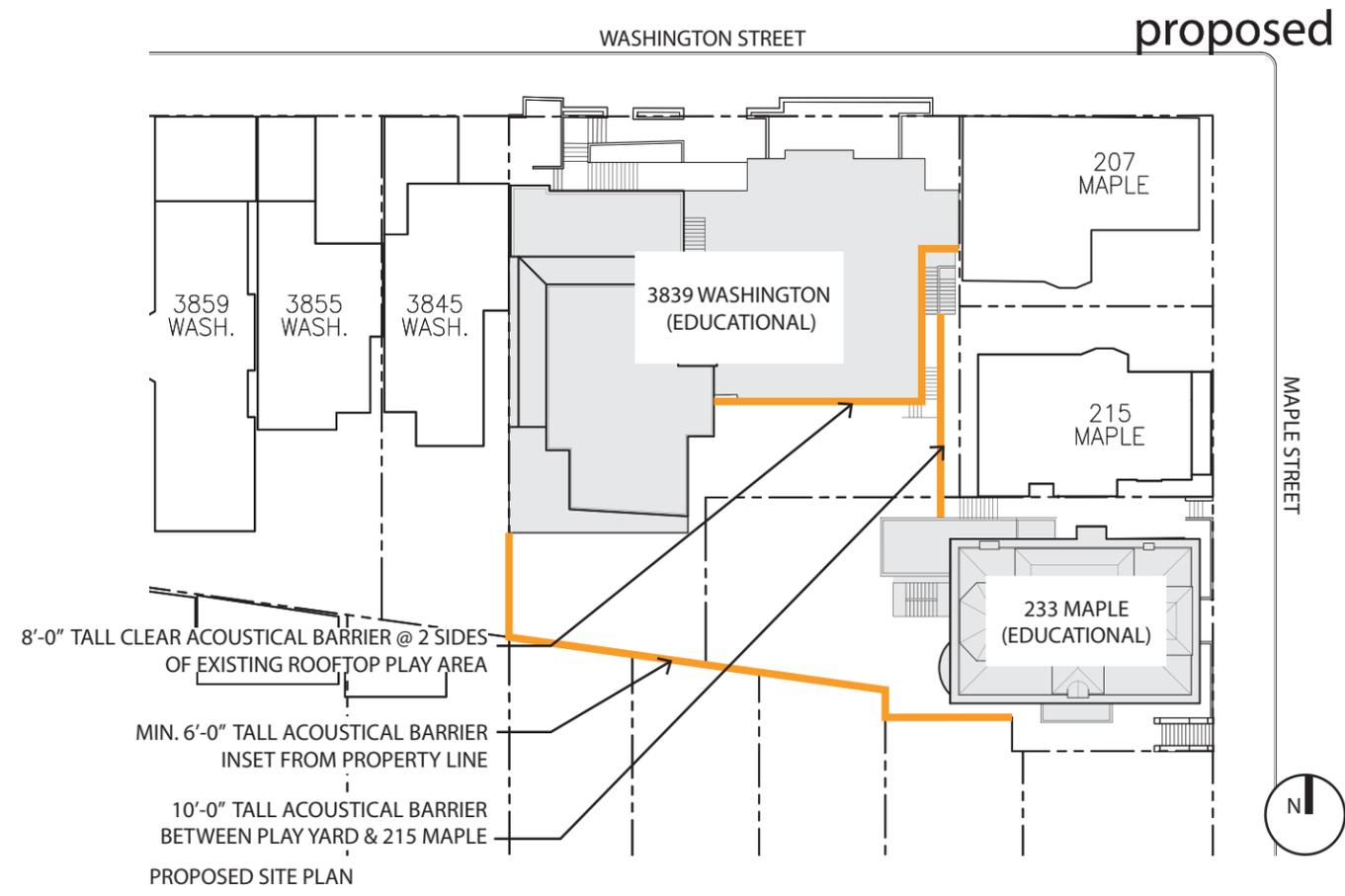
ACOUSTICAL BARRIERS



Current site fences provide little acoustic separation between the school and its neighbors



Proposed acoustical barriers as recommended by Charles Salter Associates



REV.	DATE	ISSUE
CU-R5	7/15/14	

SCALE
-

SHEET NUMBER

HISTORICAL COMPATIBILITY

NOTES:

- 233 Maple qualifies as a potential historic resource and is a contributor to a potential historic district.
- Additions and alterations have been designed to be consistent with all aspects of the Secretary of the Interior's Standards for Rehabilitation such that the proposed project will not result in significant impacts to the potential resource or potential historic district.

proposed

Facade



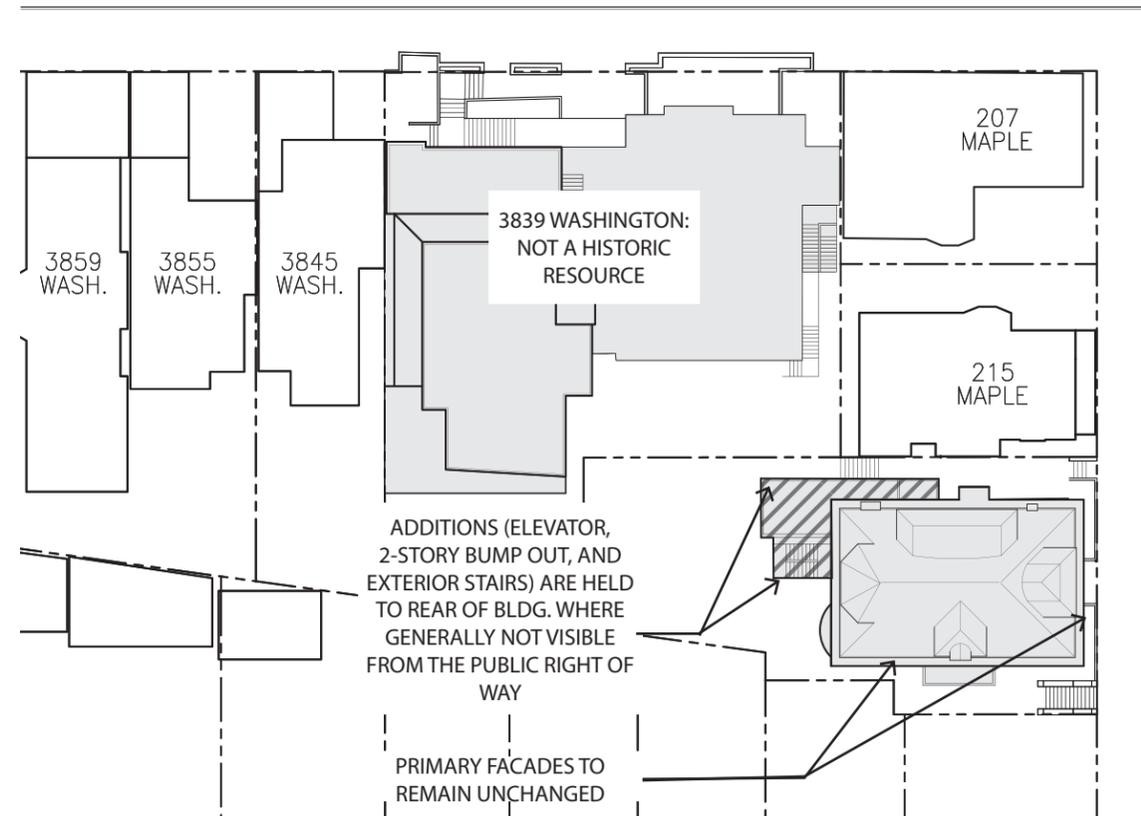
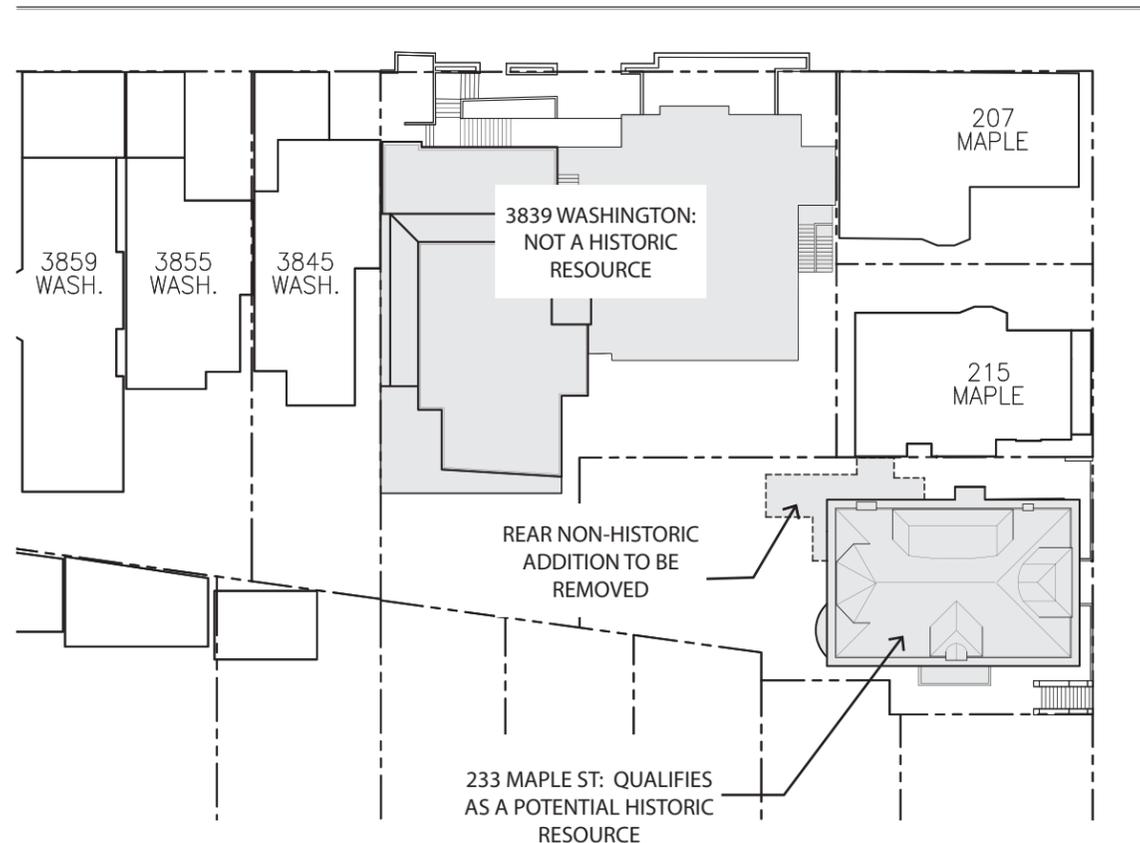
View from across Maple St. of new elevator shaft (only visible from limited viewpoints)

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San Francisco, CA 94118
PLA #: 22016

CLIENT
Presidio Hill School
3839 Washington Street
San Francisco, CA 94118

DRAWING DESCRIPTION HISTORICAL COMPATIBILITY



REV.	DATE	ISSUE
CU- R5	7/15/14	

SCALE

SHEET NUMBER

PRESIDIO HILL SCHOOL

ADDITION/ REMODEL

TREE LEGEND:

(N) 24" BOX SIZE STREET TREE

(E) STREET TREE TO REMAIN

NOTE: (N) TREES PER SFPC s. 138.1 & CITY STANDARD EVERY 20' - TYP.

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Revisions:

PRESIDIO HILL SCHOOL

ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

PLOT PLAN

DATE: 07/15/2014

SCALE: AS NOTED

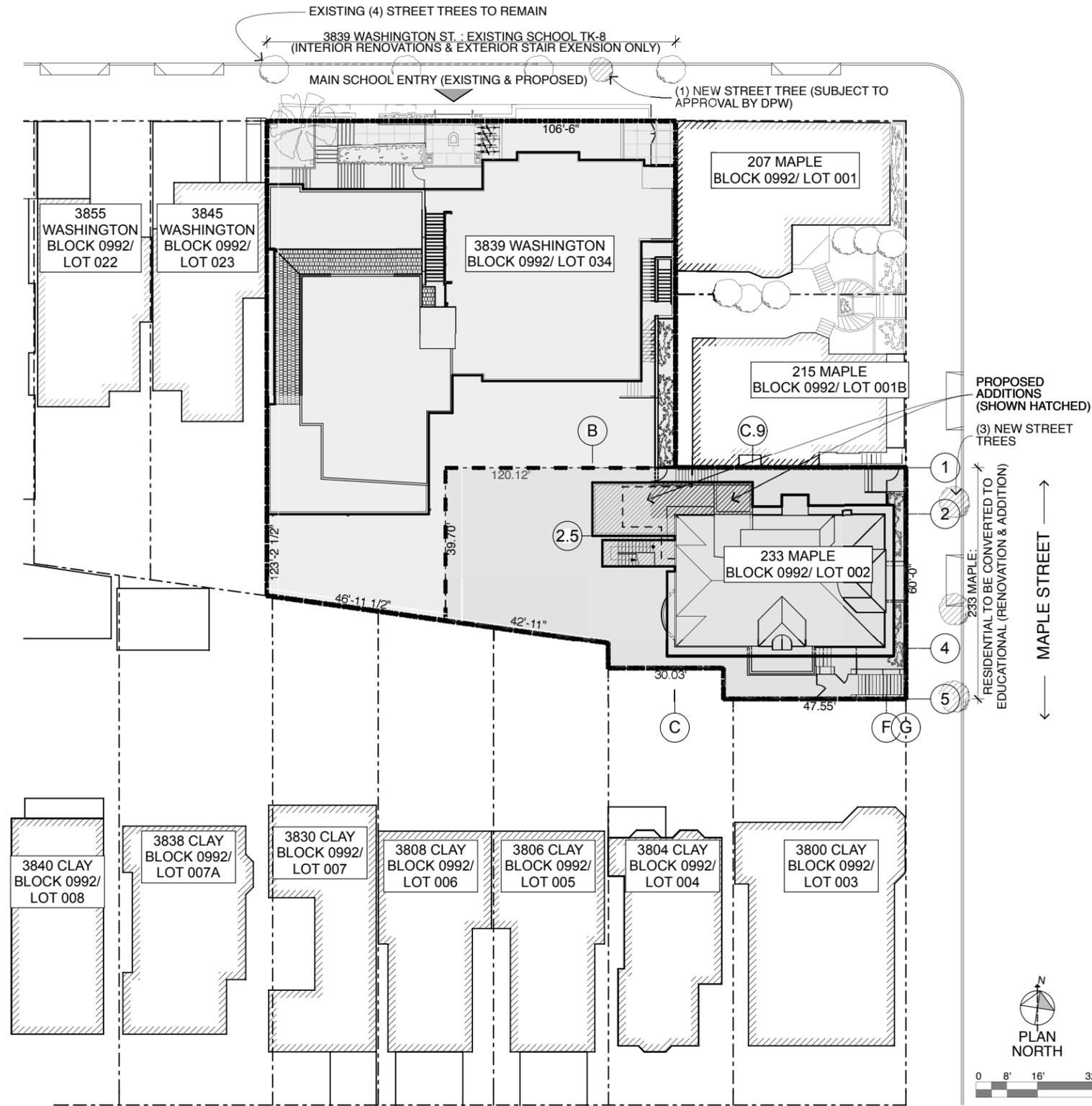
DRAWN BY: OG

CHECKED BY: TM

JOB NO.: 1212

DRAWING

T-1



1 PROPOSED PLOT PLAN
SCALE: 1/16" = 1'-0"

1372 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

Revisions:

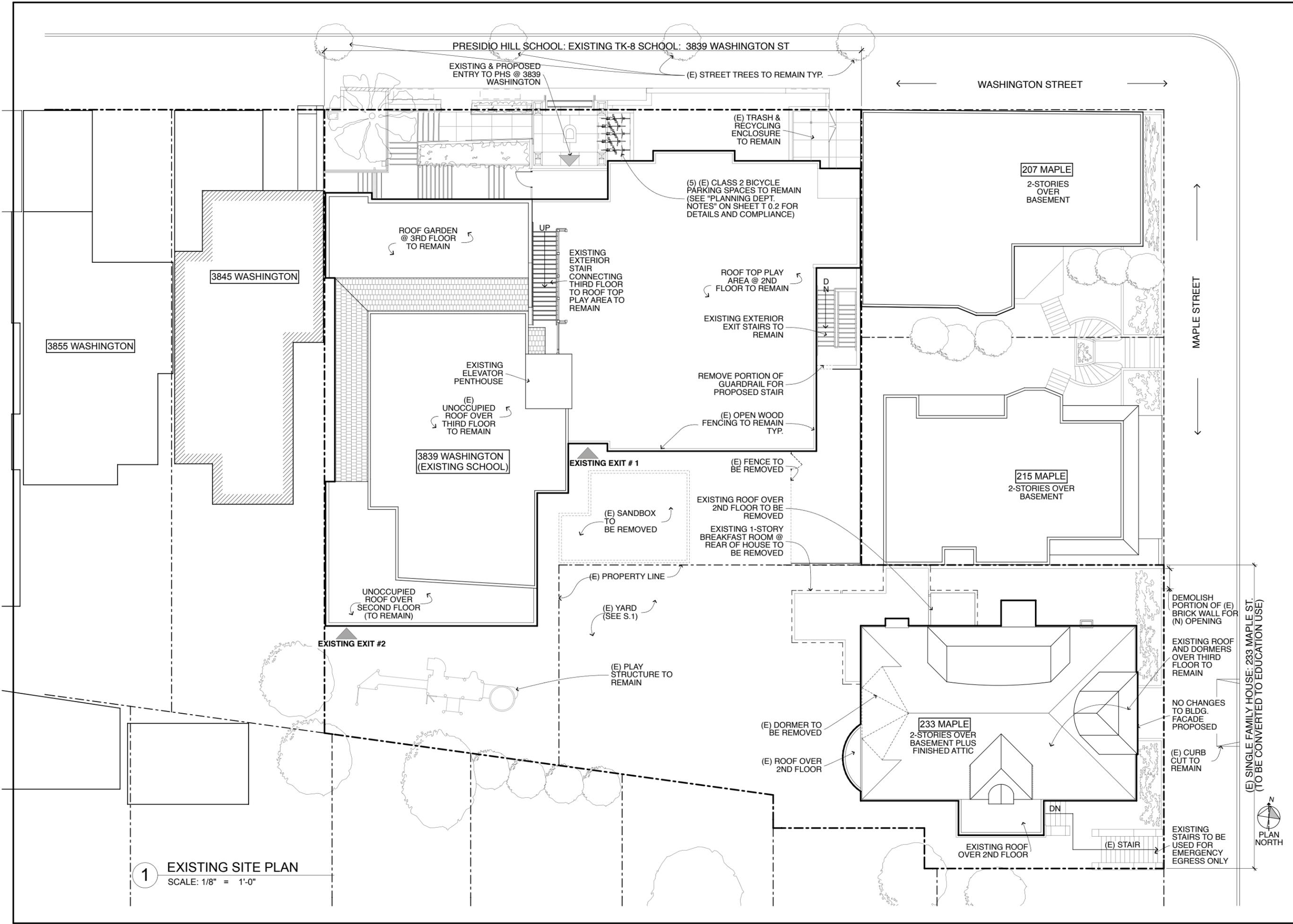
PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

EXISTING SITE PLAN

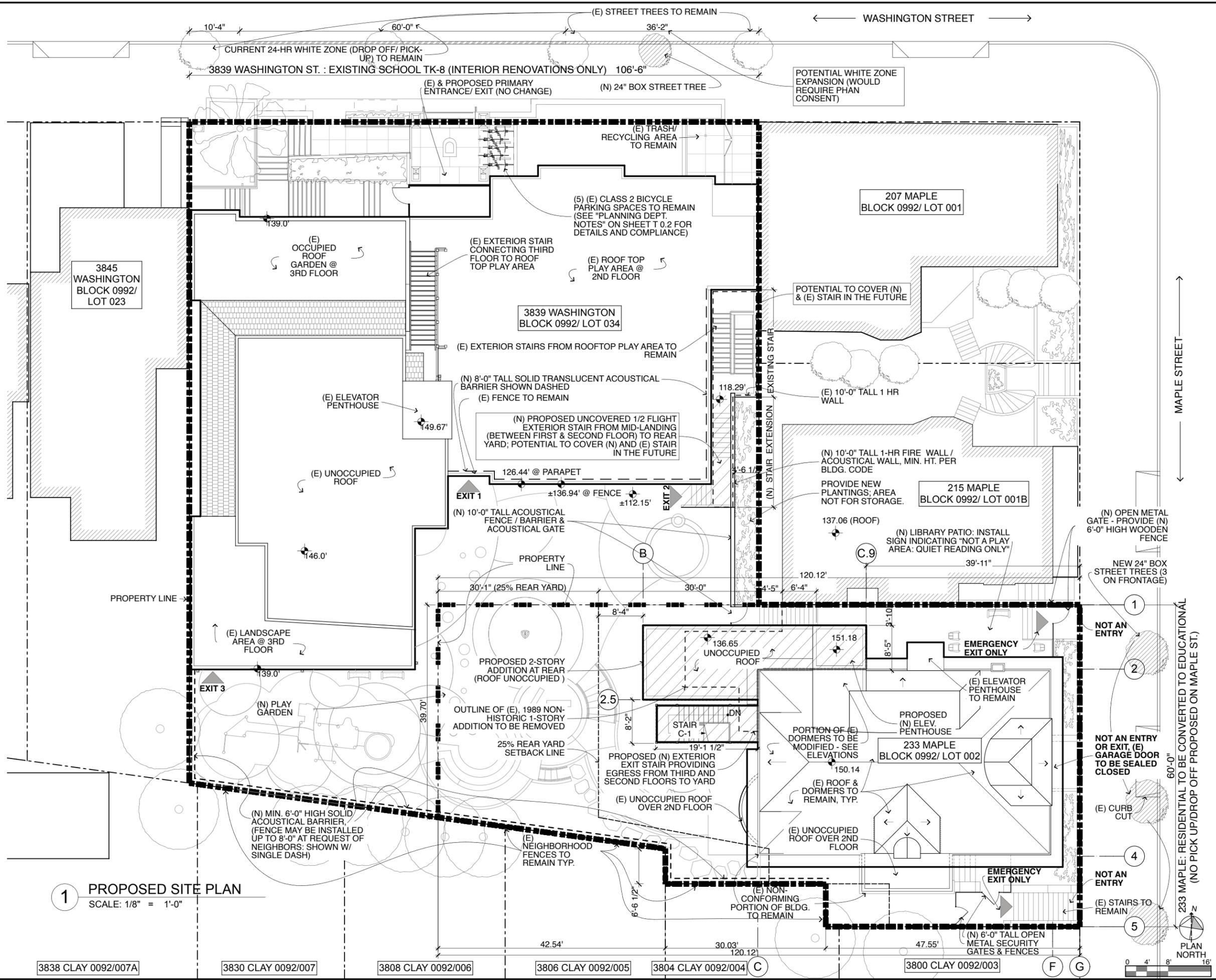
DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A0.1

1212 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

3838 CLAY 0092/007A 3830 CLAY 0092/007 3808 CLAY 0092/006 3806 CLAY 0092/005 3804 CLAY 0092/004 3800 CLAY 0092/003

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Revisions:

PRESIDIO HILL SCHOOL

ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

PROPOSED SITE PLAN

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A0.2

1212 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

Revisions:

PRESIDIO HILL SCHOOL

ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

EXISTING SUB-BASEMENT

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A1.0

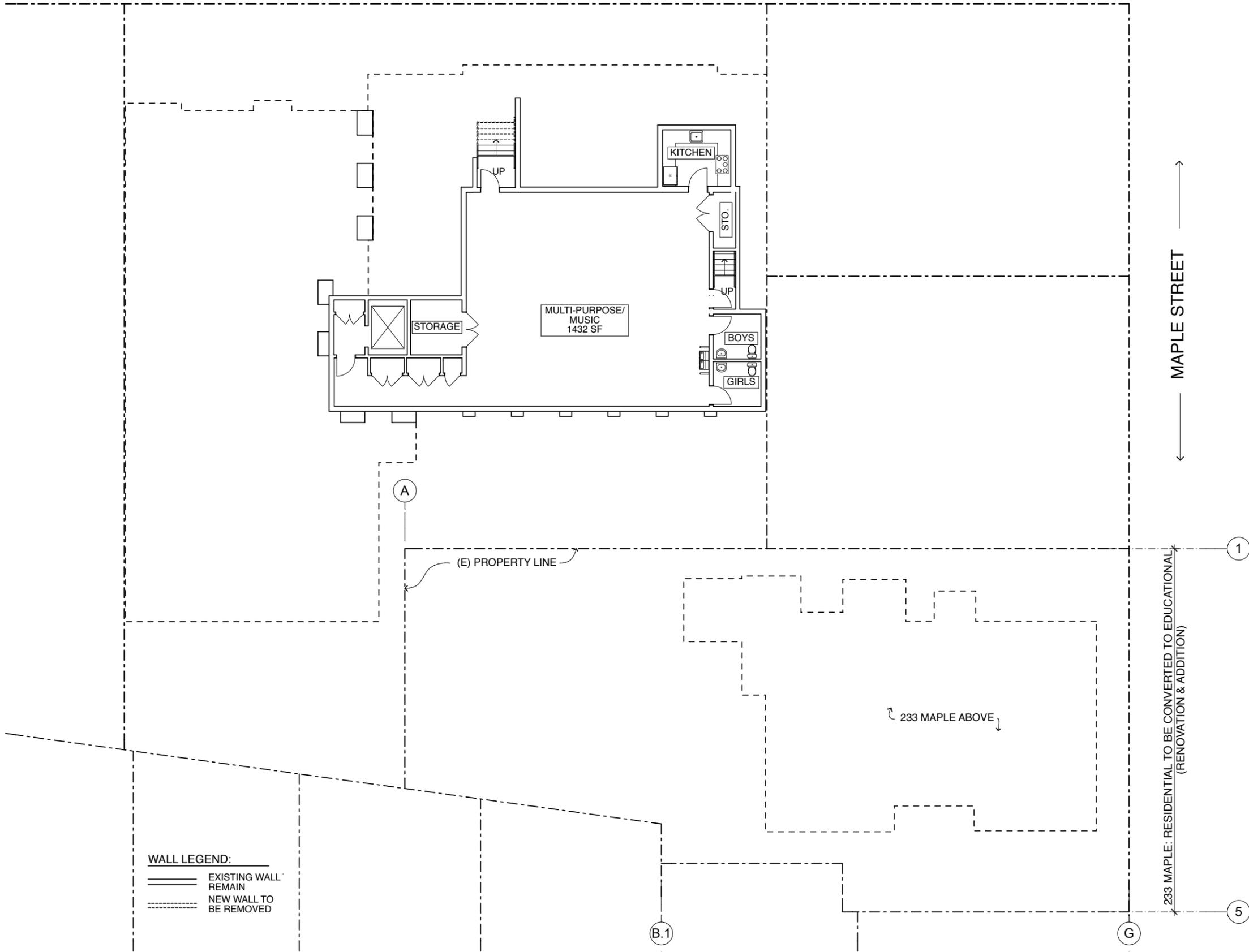
1312 - PRESIDIO HILL SCHOOL
07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

← WASHINGTON STREET →

3839 WASHINGTON ST. : EXISTING SCHOOL TK-8

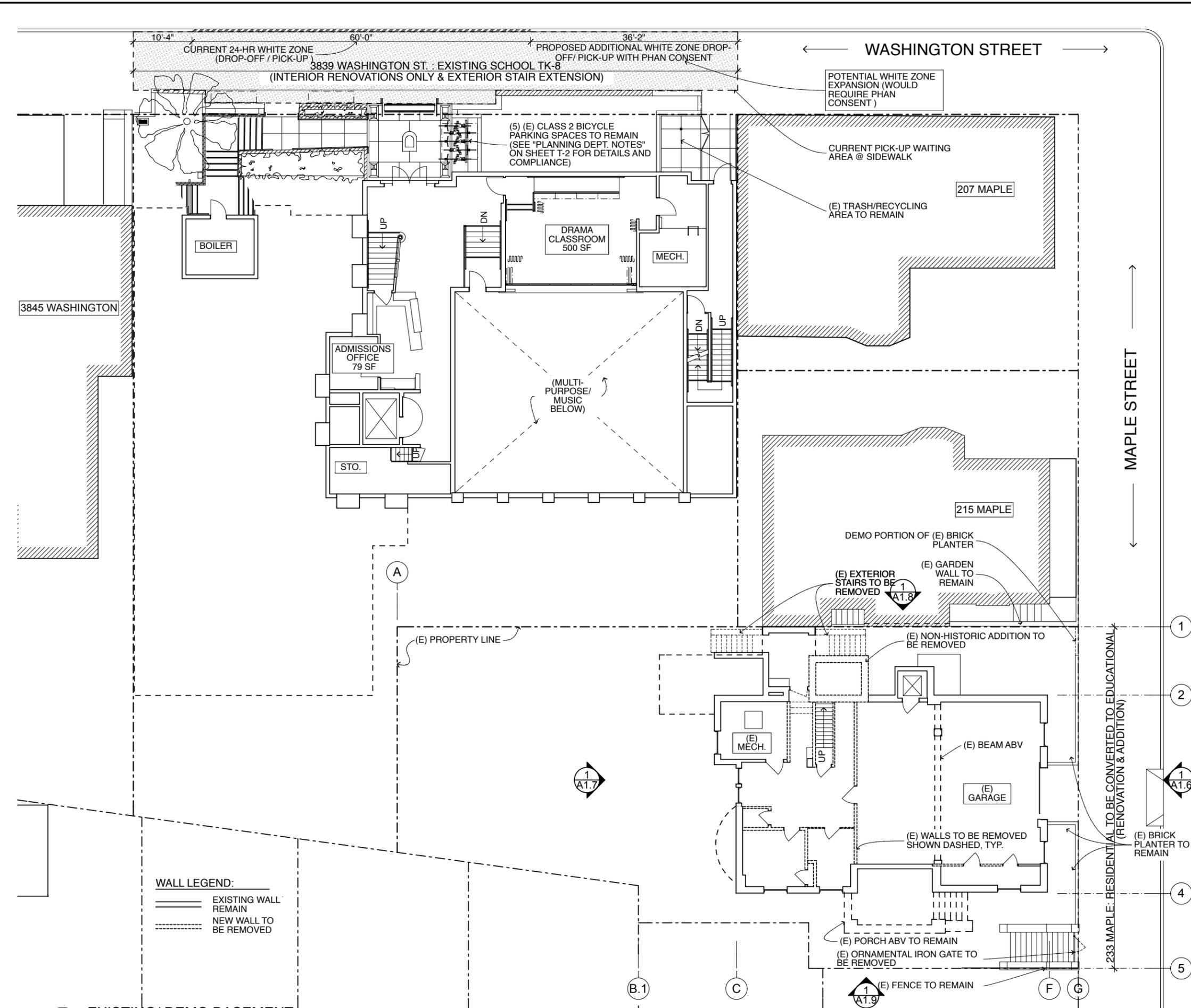
MAPLE STREET

233 MAPLE: RESIDENTIAL TO BE CONVERTED TO EDUCATIONAL
(RENOVATION & ADDITION)



WALL LEGEND:
 ——— EXISTING WALL
 ——— REMAIN
 - - - - - NEW WALL TO
 BE REMOVED

1 EXISTING SUB-BASEMENT (NO WORK)
SCALE: 1/8" = 1'-0"



1 EXISTING/ DEMO BASEMENT
SCALE: 1/8" = 1'-0"



Revisions:

PRESIDIO HILL SCHOOL

ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

EXISTING/DEMO -
FIRST FLOOR

DATE: 07/15/2014

SCALE: AS NOTED

DRAWN BY: OG

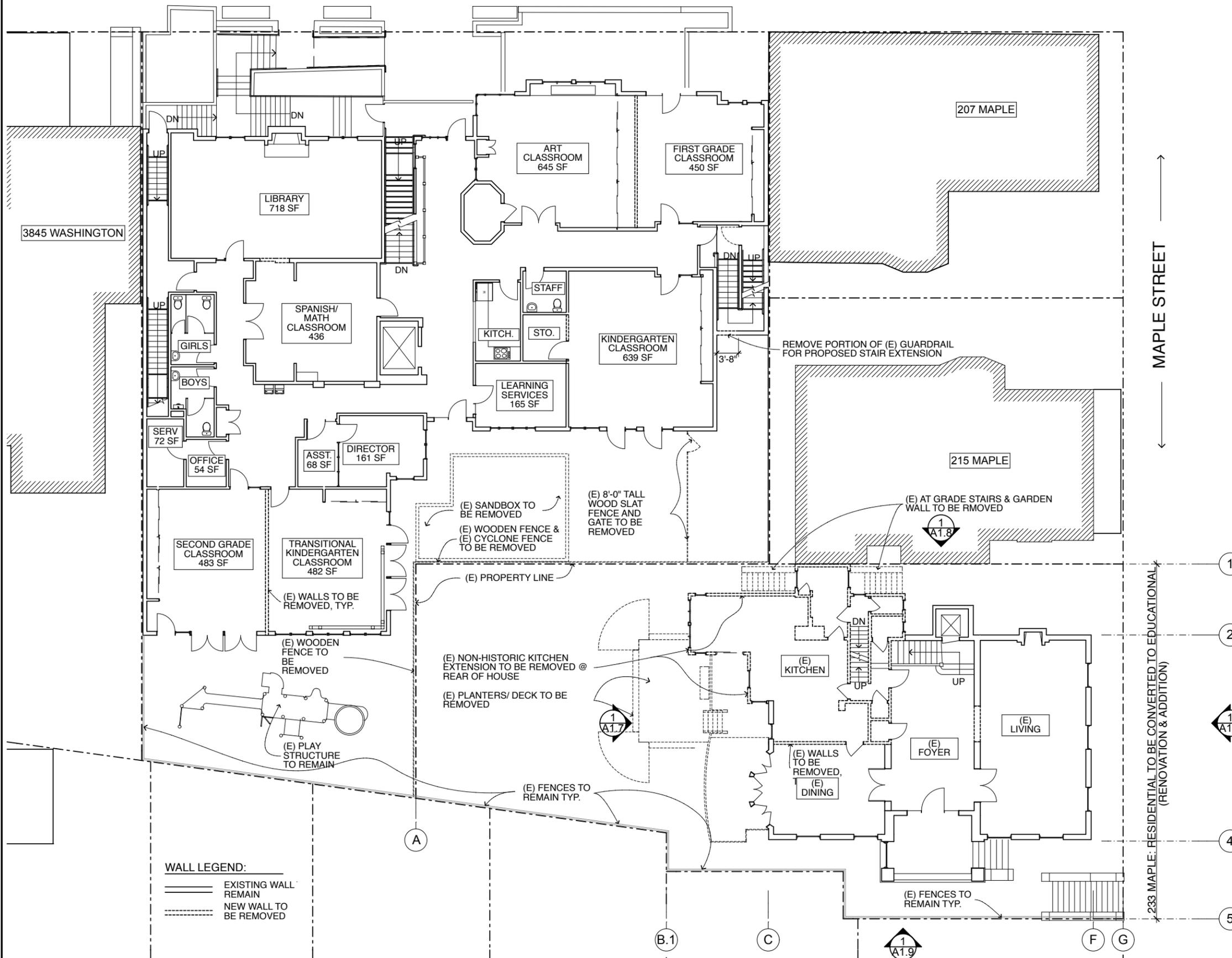
CHECKED BY: TM

JOB NO.: 1212

DRAWING

A1.2

1312 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4



WALL LEGEND:
 ——— EXISTING WALL
 ——— REMAIN
 - - - - - NEW WALL TO BE REMOVED

1 EXISTING/DEMO FIRST FLOOR
SCALE: 1/8" = 1'-0"



Revisions:

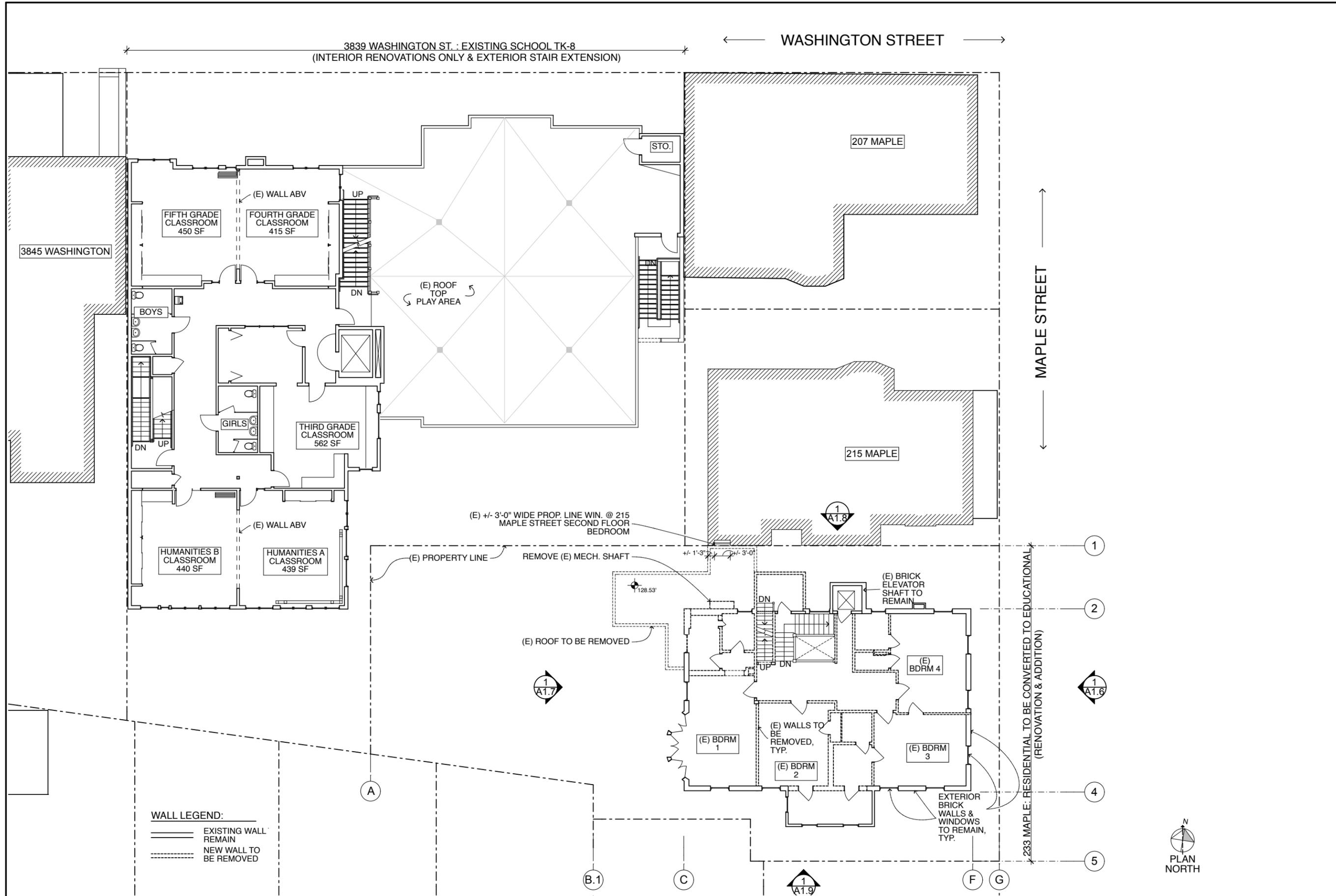
PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

EXISTING/ DEMO -
SECOND FLOOR

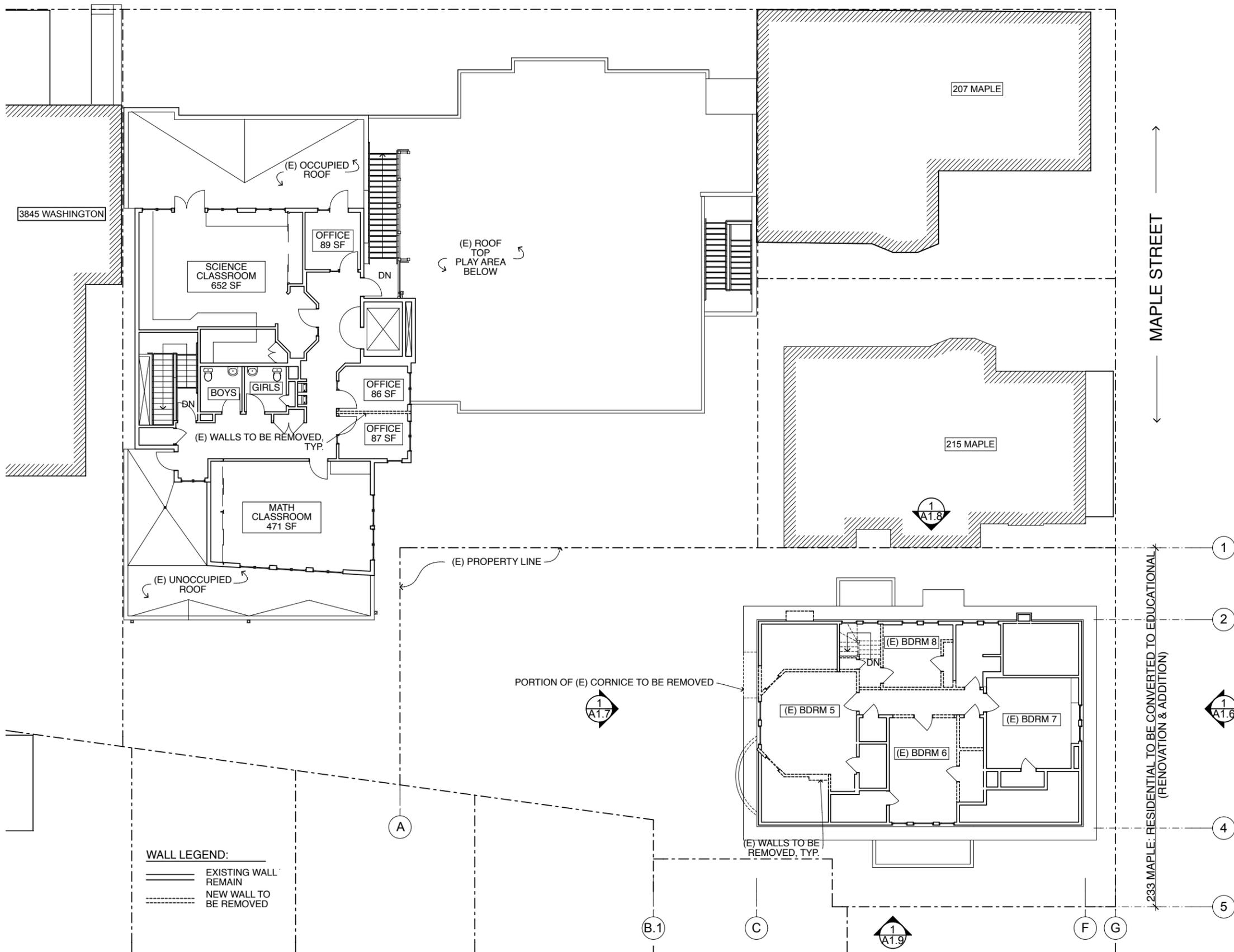
DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A1.3

1212 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4



← WASHINGTON STREET →



WALL LEGEND:
 ——— EXISTING WALL
 ——— REMAIN
 - - - - - NEW WALL TO BE REMOVED

1 EXISTING/ DEMO THIRD
 SCALE: 1/8" = 1'-0"

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Revisions:

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 ADDITION/ REMODEL
 BLOCK 0992/
 LOT 002 & 034

EXISTING/ DEMO -
 THIRD FLOOR

DATE: 07/15/2014
 SCALE: AS NOTED
 DRAWN BY: OG
 CHECKED BY: TM
 JOB NO.: 1212

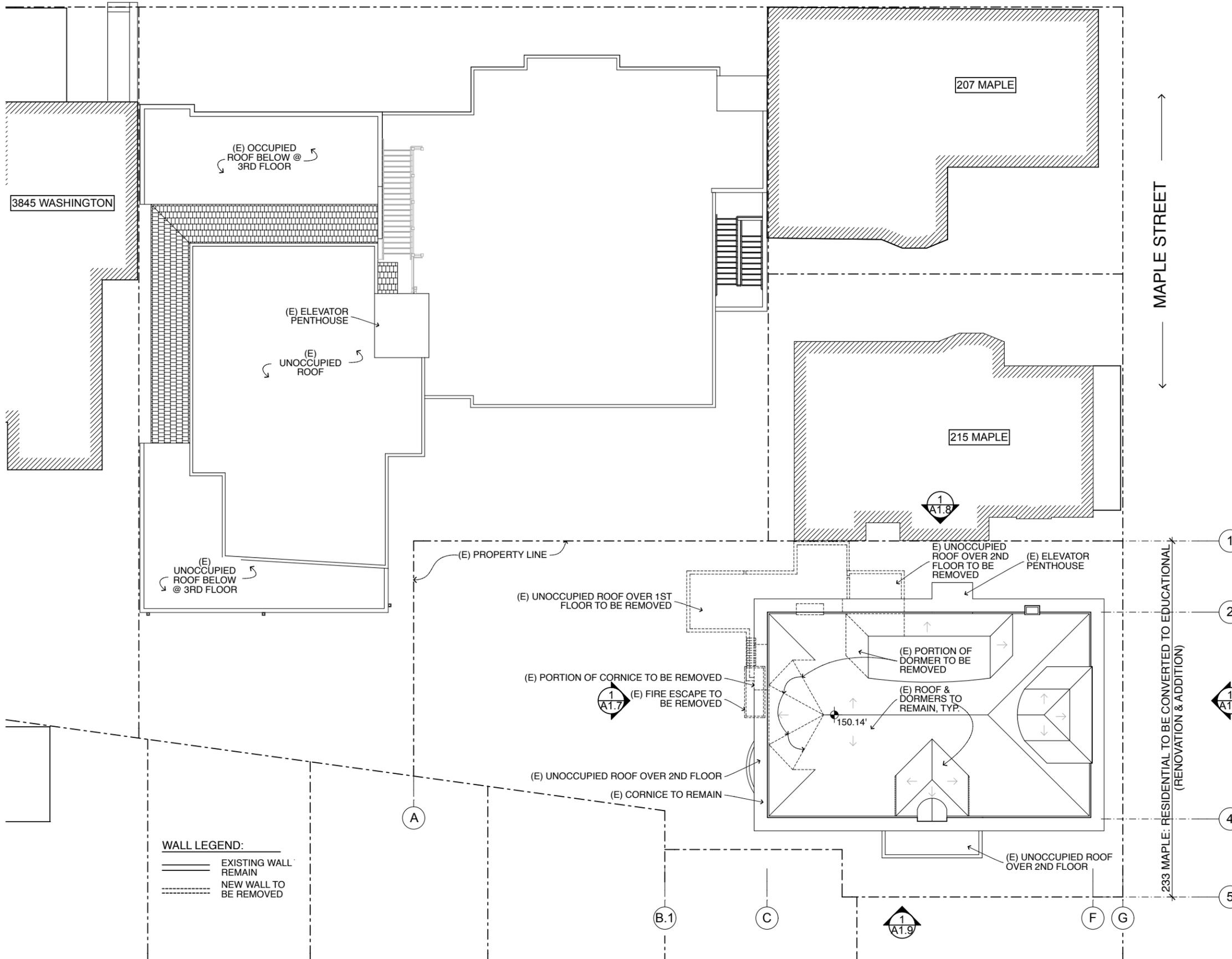
DRAWING
A1.4



1312 - PRESIDIO HILL SCHOOL
 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

3839 WASHINGTON ST. : EXISTING SCHOOL TK-8
(INTERIOR RENOVATIONS ONLY & EXTERIOR STAIR EXTENSION)

WASHINGTON STREET



WALL LEGEND:
 ——— EXISTING WALL REMAIN
 - - - - NEW WALL TO BE REMOVED

1 EXISTING/ DEMO ROOF PLAN
 SCALE: 1/8" = 1'-0"

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Revisions:

PRESIDIO HILL SCHOOL
 ADDITION/ REMODEL
 BLOCK 0992/
 LOT 002 & 034

EXISTING/ DEMO -
 ROOF

DATE: 07/15/2014
 SCALE: AS NOTED
 DRAWN BY: OG
 CHECKED BY: TM
 JOB NO.: 1212

DRAWING
A1.5

1312 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

233 MAPLE:
EXISTING/DEMO
EAST (FRONT)
ELEVATION

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A1.6



1 EXISTING/DEMO EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

PRESIDIO HILL SCHOOL

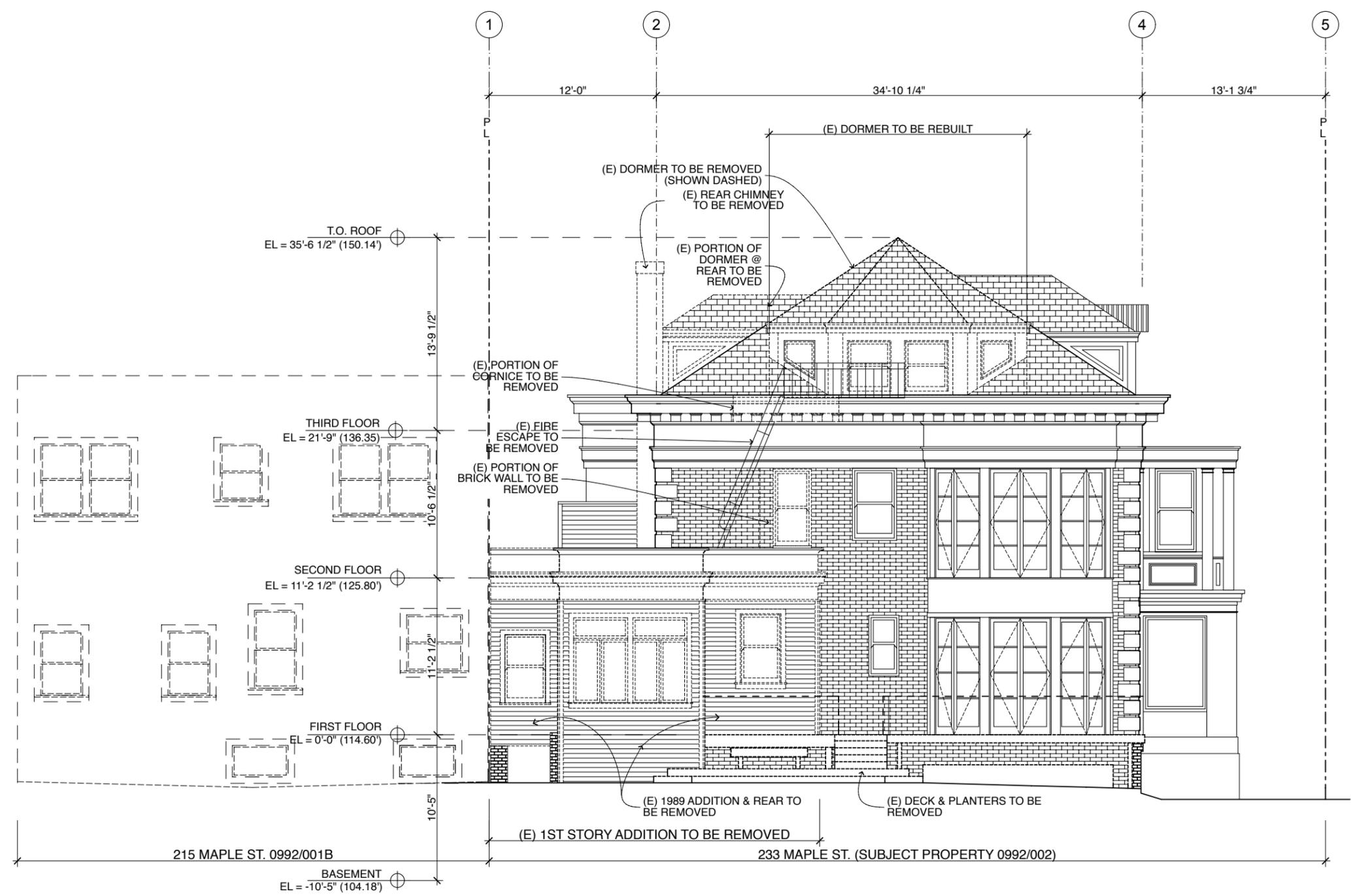
ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

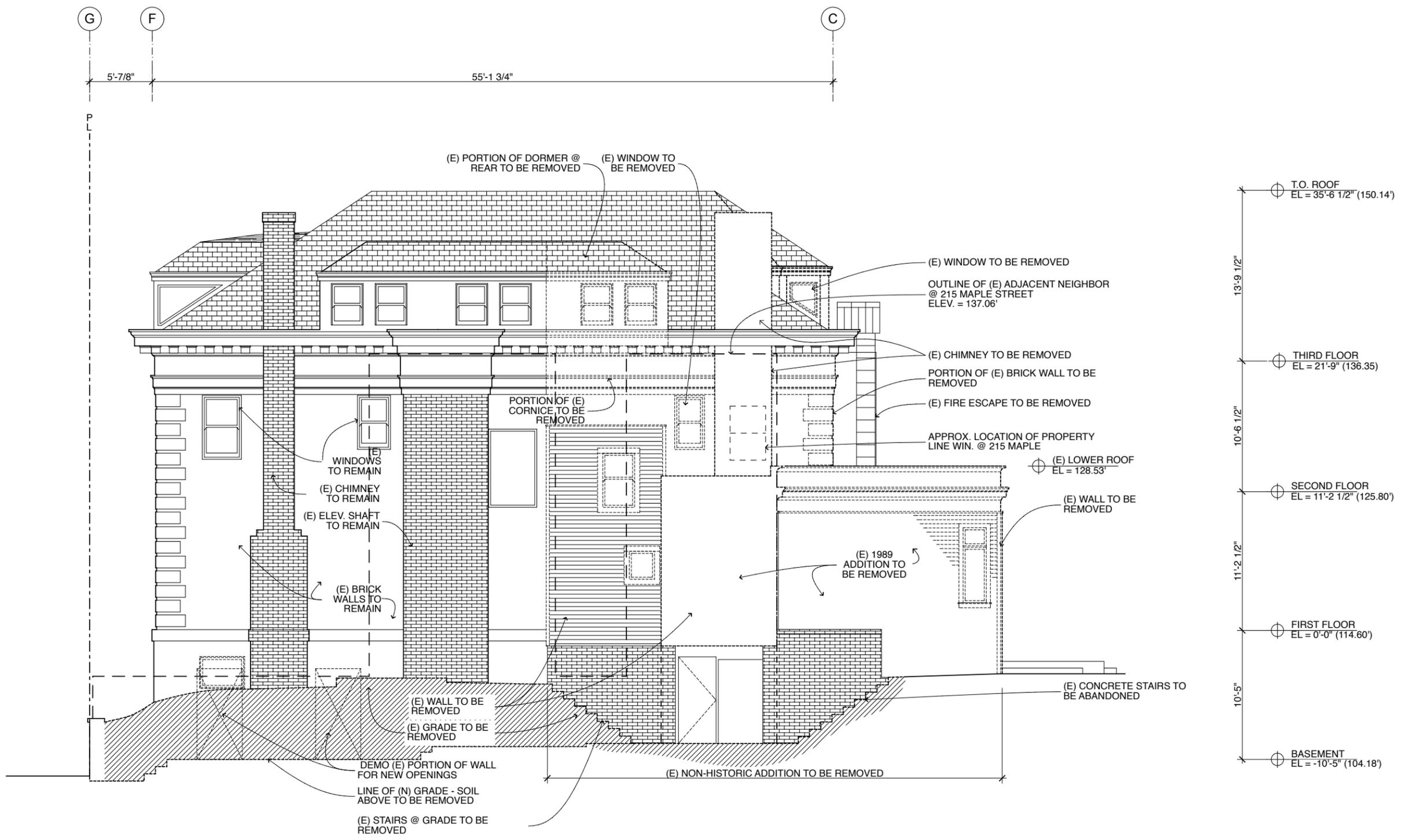
233 MAPLE:
EXISTING/DEMO
WEST (REAR)
ELEVATION

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A1.7



1 EXISTING/DEMO WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING/DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

233 MAPLE:
EXISTING/DEMO
NORTH ELEVATION

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A1.8

Revisions:

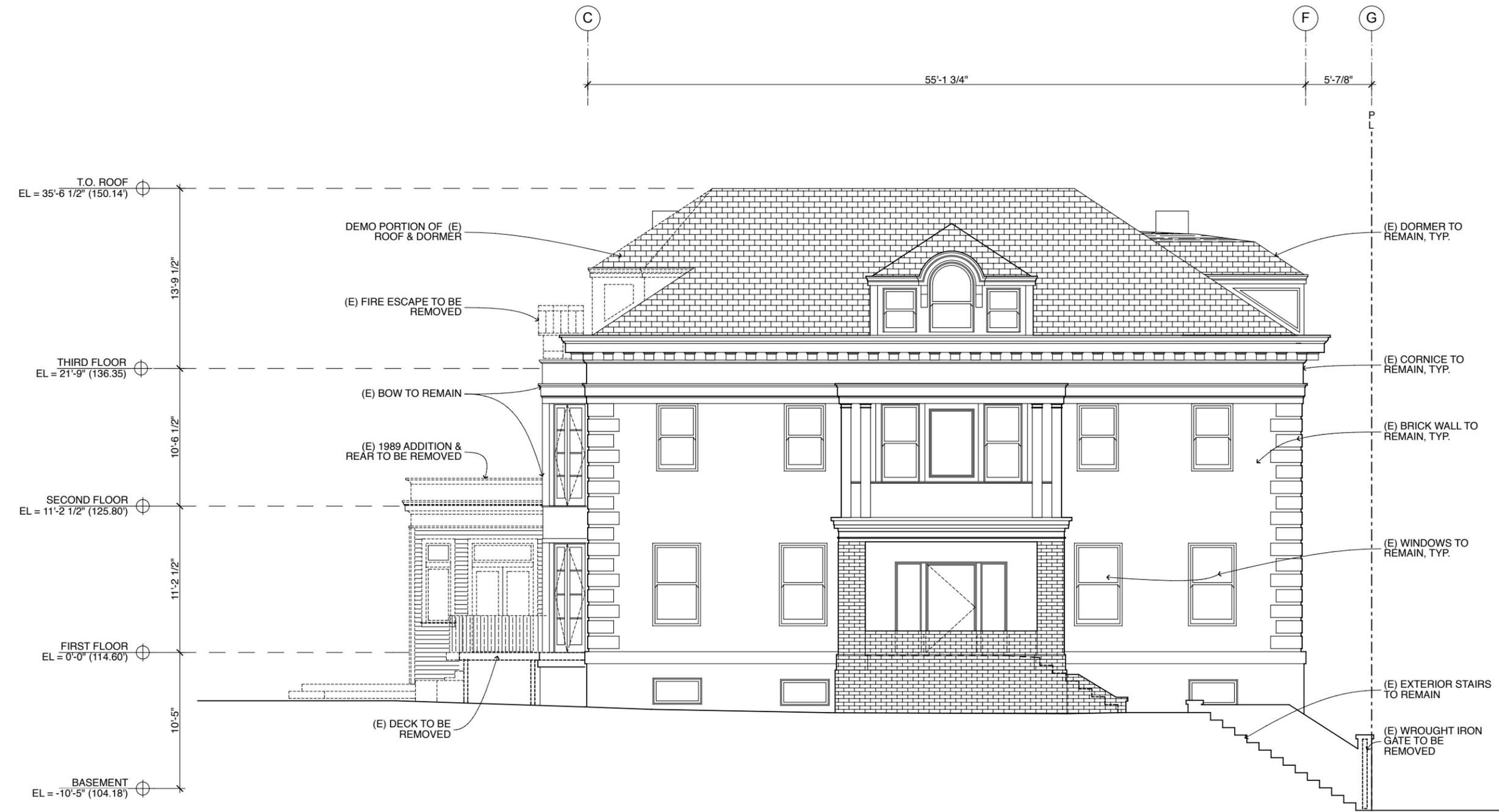
PRESIDIO HILL SCHOOL
 ADDITION/ REMODEL
 BLOCK 0992/
 LOT 002 & 034

233 MAPLE:
 EXISTING/DEMO
 SOUTH ELEVATION

DATE: 07/15/2014
 SCALE: AS NOTED
 DRAWN BY: OG
 CHECKED BY: TM
 JOB NO.: 1212

DRAWING
A1.9

1212 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

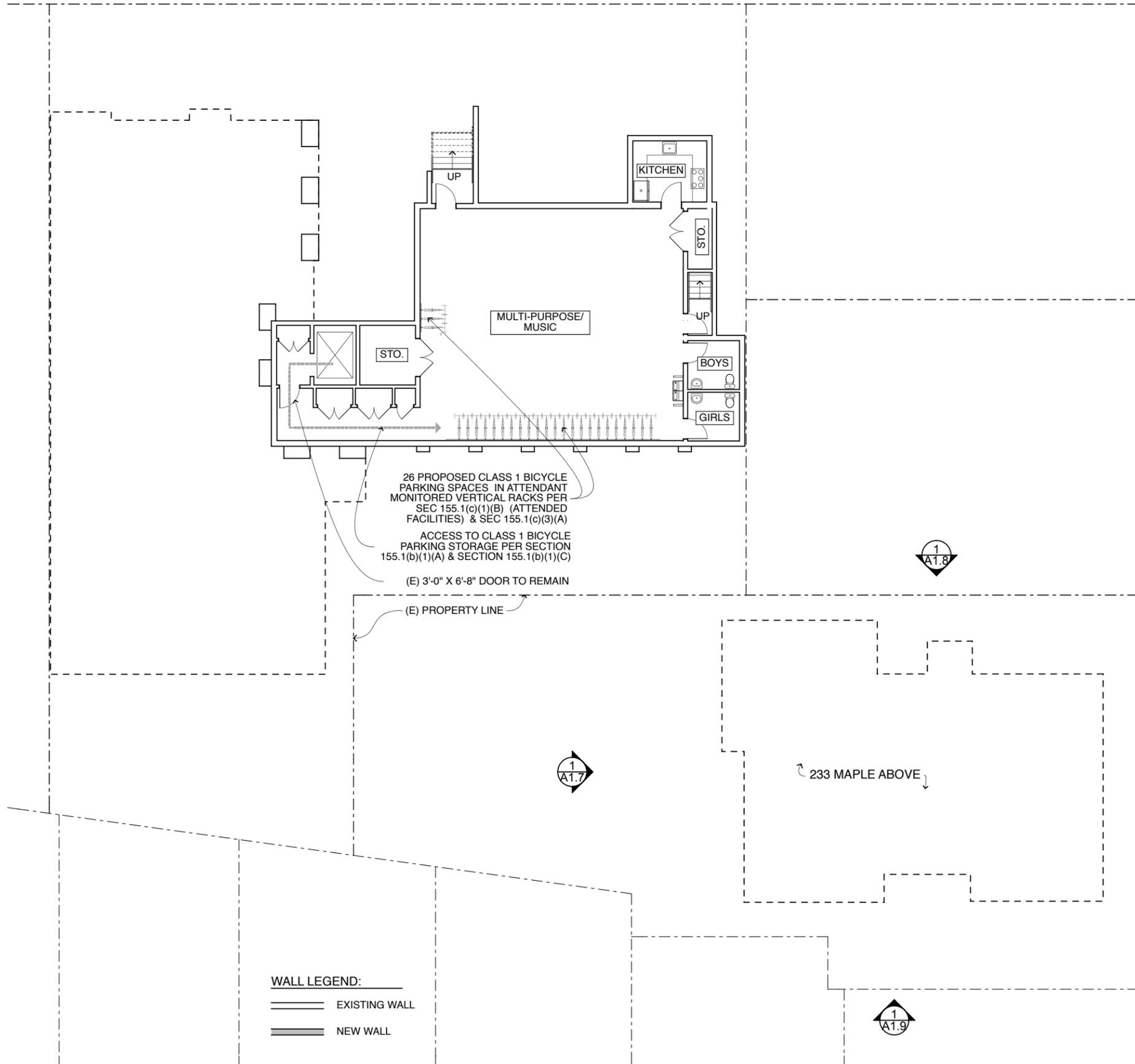


1 EXISTING/DEMO SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

3839 WASHINGTON ST. : EXISTING SCHOOL TK-8
(INTERIOR RENOVATIONS ONLY & EXTERIOR STAIR EXTENSION)

← WASHINGTON STREET →

MAPLE STREET



26 PROPOSED CLASS 1 BICYCLE
PARKING SPACES IN ATTENDANT
MONITORED VERTICAL RACKS PER
SEC 155.1(c)(1)(B) (ATTENDED
FACILITIES) & SEC 155.1(c)(3)(A)
ACCESS TO CLASS 1 BICYCLE
PARKING STORAGE PER SECTION
155.1(b)(1)(A) & SECTION 155.1(b)(1)(C)
(E) 3'-0" X 6'-8" DOOR TO REMAIN
(E) PROPERTY LINE

WALL LEGEND:
 ——— EXISTING WALL
 = = = NEW WALL

2 VERTICAL BIKE PARKING RACKS

Steadyrack **CLASSIC** LOVE YOUR BIKE



NO LIFTING
SNUG FIT
SPACE SAVING
PIVOTS 180°
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2 VERTICAL BIKE PARKING RACKS



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Revisions:

PRESIDIO HILL SCHOOL

ADDITION/ REMODEL

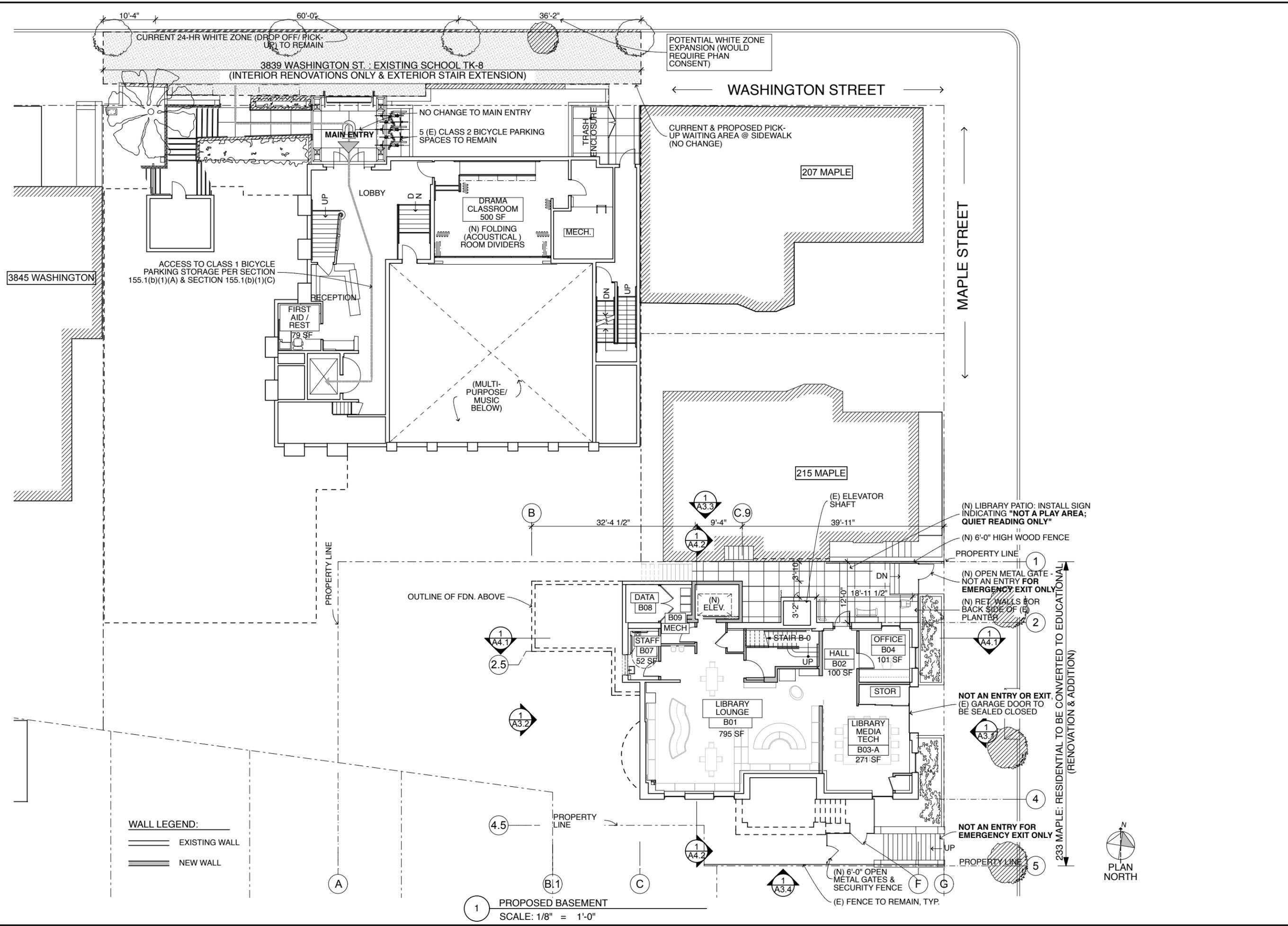
BLOCK 0992/
LOT 002 & 034

PROPOSED SUB-BASEMENT

DATE: 07/15/2014
 SCALE: AS NOTED
 DRAWN BY: OG
 CHECKED BY: TM
 JOB NO.: 1212

DRAWING
A2.0

1319 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4



WALL LEGEND:
 ——— EXISTING WALL
 = = = NEW WALL

1 PROPOSED BASEMENT
 SCALE: 1/8" = 1'-0"

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Revisions:

PRESIDIO HILL SCHOOL
 ADDITION/ REMODEL
 BLOCK 0992/
 LOT 002 & 034

PROPOSED
 BASEMENT PLAN

DATE: 07/15/2014
 SCALE: AS NOTED
 DRAWN BY: OG
 CHECKED BY: TM
 JOB NO.: 1212

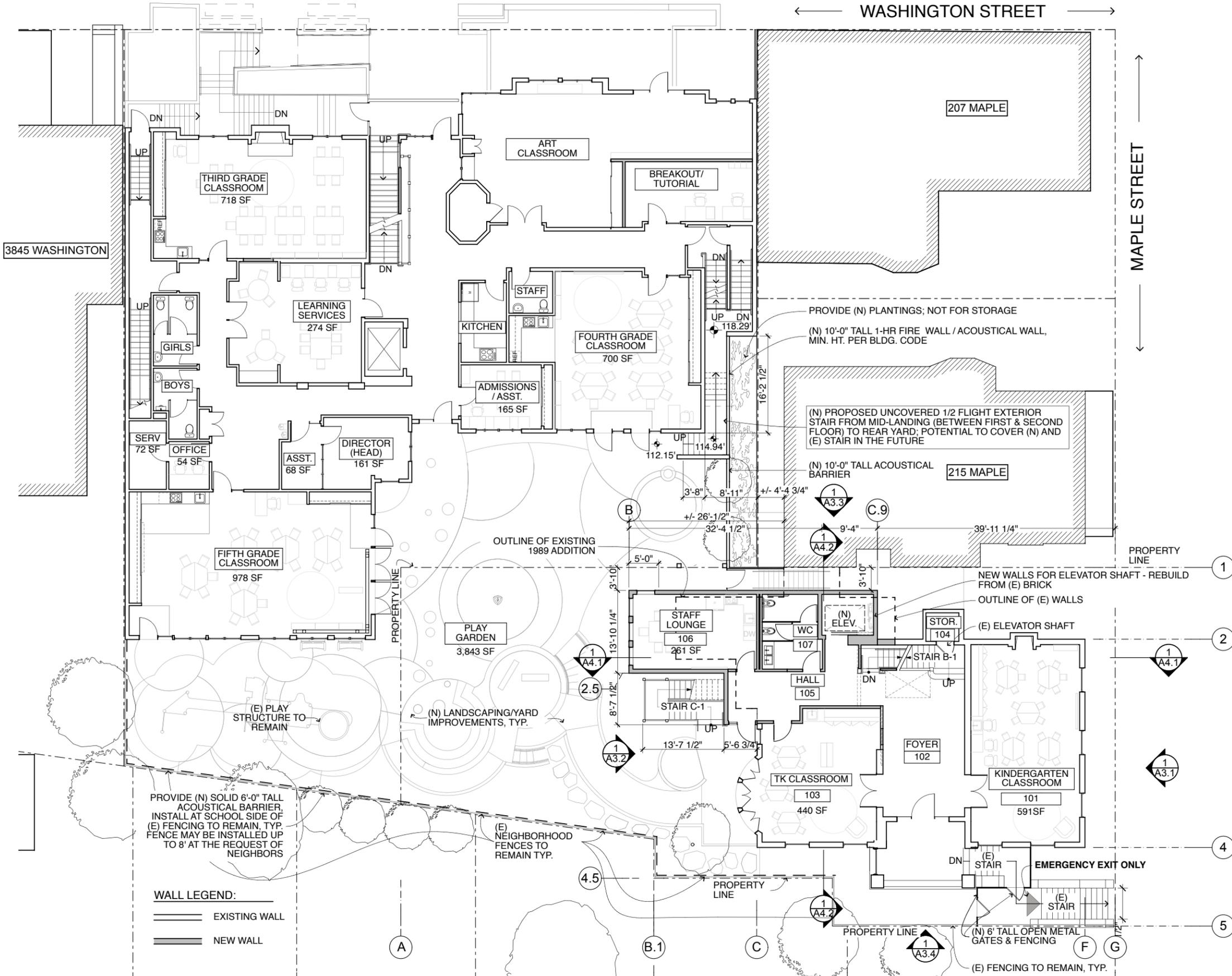
DRAWING
A2.1

1312 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

3839 WASHINGTON ST. : EXISTING SCHOOL TK-8
(INTERIOR RENOVATIONS ONLY & EXTERIOR STAIR EXTENSION)

WASHINGTON STREET

MAPLE STREET



PROVIDE (N) SOLID 6'-0" TALL ACOUSTICAL BARRIER. INSTALL AT SCHOOL SIDE OF (E) FENCING TO REMAIN. TYP. FENCE MAY BE INSTALLED UP TO 8' AT THE REQUEST OF NEIGHBORS

WALL LEGEND:
 ——— EXISTING WALL
 = = = NEW WALL

1 PROPOSED FIRST FLOOR
SCALE: 1/8" = 1'-0"

PROVIDE (N) PLANTINGS; NOT FOR STORAGE
(N) 10'-0" TALL 1-HR FIRE WALL / ACOUSTICAL WALL, MIN. HT. PER BLDG. CODE

(N) PROPOSED UNCOVERED 1/2 FLIGHT EXTERIOR STAIR FROM MID-LANDING (BETWEEN FIRST & SECOND FLOOR) TO REAR YARD; POTENTIAL TO COVER (N) AND (E) STAIR IN THE FUTURE

(N) 10'-0" TALL ACOUSTICAL BARRIER

NEW WALLS FOR ELEVATOR SHAFT - REBUILD FROM (E) BRICK
OUTLINE OF (E) WALLS

(E) PLAY STRUCTURE TO REMAIN

(N) LANDSCAPING/YARD IMPROVEMENTS, TYP.

(E) NEIGHBORHOOD FENCES TO REMAIN TYP.

EMERGENCY EXIT ONLY

(N) 6' TALL OPEN METAL GATES & FENCING

(E) FENCING TO REMAIN, TYP.

233 MAPLE: RESIDENTIAL TO BE CONVERTED TO EDUCATIONAL (RENOVATION & ADDITION)



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ARCHITECTS

PFAU
LONGNOT
ARCHITECTURE

Revisions:

PRESIDIO HILL SCHOOL

ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

PROPOSED FIRST FLOOR

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A2.2

1372 - PRESIDIO HILL SCHOOL
07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

3839 WASHINGTON ST. : EXISTING SCHOOL TK-8
(INTERIOR RENOVATIONS ONLY & EXTERIOR STAIR EXTENSION)

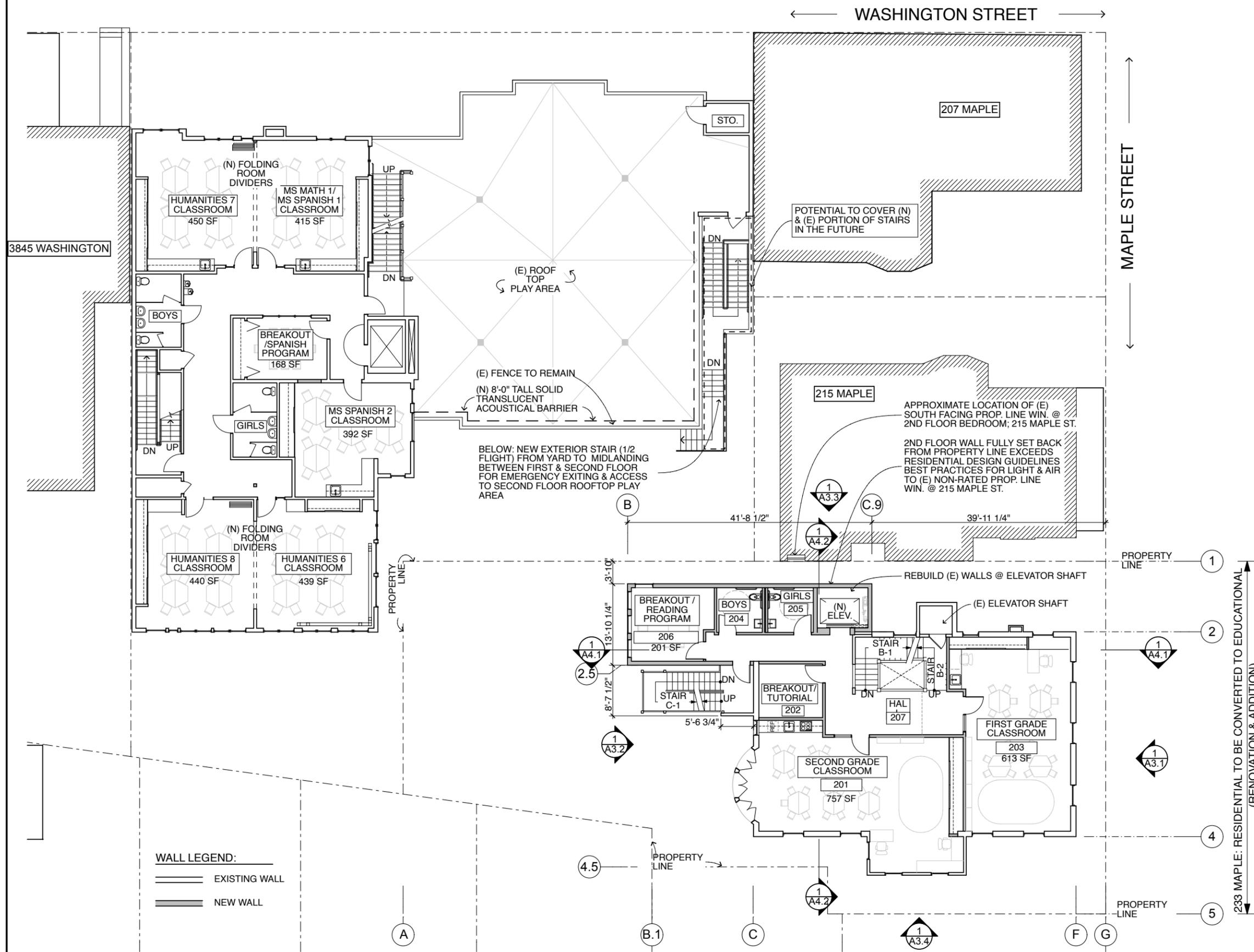
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Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

PROPOSED SECOND FLOOR



WALL LEGEND:
 ——— EXISTING WALL
 = = = NEW WALL

1 PROPOSED SECOND FLOOR
SCALE: 1/8" = 1'-0"

233 MAPLE: RESIDENTIAL TO BE CONVERTED TO EDUCATIONAL
(RENOVATION & ADDITION)

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A2.3

1312 - PRESIDIO HILL SCHOOL
07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

Revisions:

PRESIDIO HILL SCHOOL
 ADDITION/ REMODEL
 BLOCK 0992/
 LOT 002 & 034

PROPOSED THIRD FLOOR

DATE: 07/15/2014
 SCALE: AS NOTED
 DRAWN BY: OG
 CHECKED BY: TM
 JOB NO.: 1212

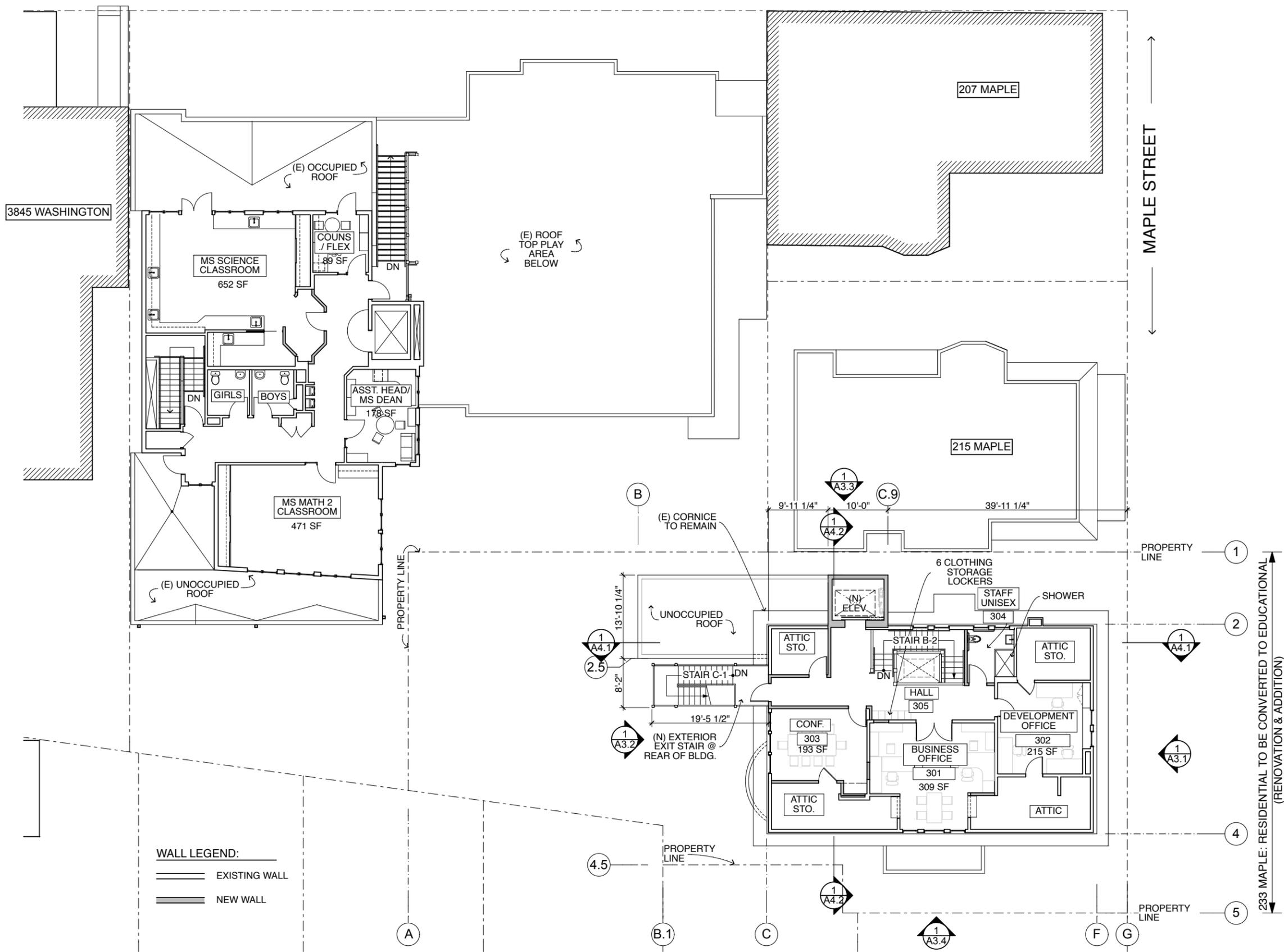
DRAWING
A2.4

1212 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

3839 WASHINGTON ST. : EXISTING SCHOOL TK-8
 (INTERIOR RENOVATIONS ONLY & EXTERIOR STAIR EXTENSION)

← WASHINGTON STREET →

↑ MAPLE STREET ↓



WALL LEGEND:
 ——— EXISTING WALL
 = = = NEW WALL

1 PROPOSED THIRD FLOOR
 SCALE: 1/8" = 1'-0"

233 MAPLE: RESIDENTIAL TO BE CONVERTED TO EDUCATIONAL (RENOVATION & ADDITION)

Revisions:

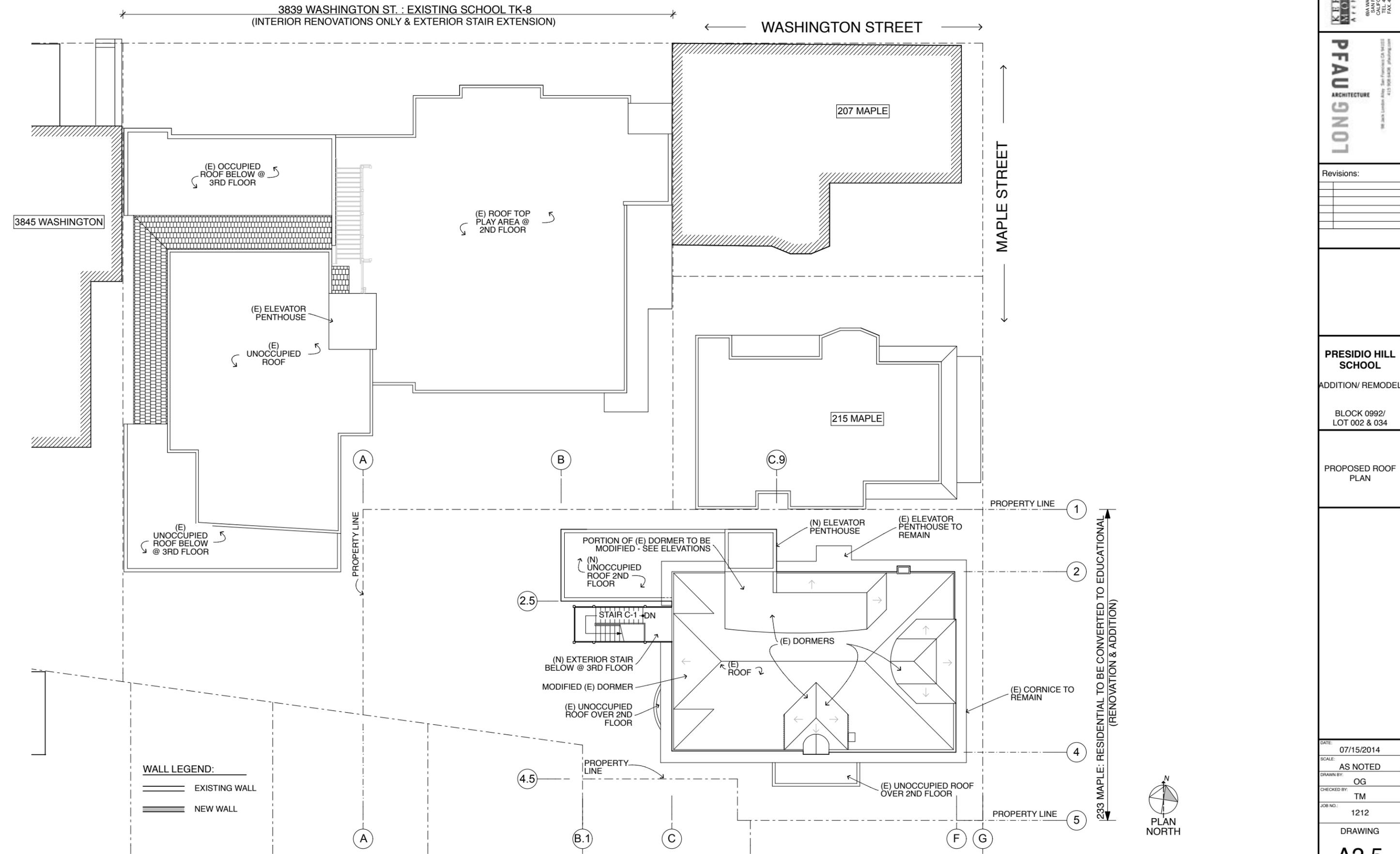
PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

PROPOSED ROOF PLAN

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A2.5

1212 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4



Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

233 MAPLE:
PROPOSED EAST
(FRONT) ELEVATION

DATE: 07/15/2014

SCALE: AS NOTED

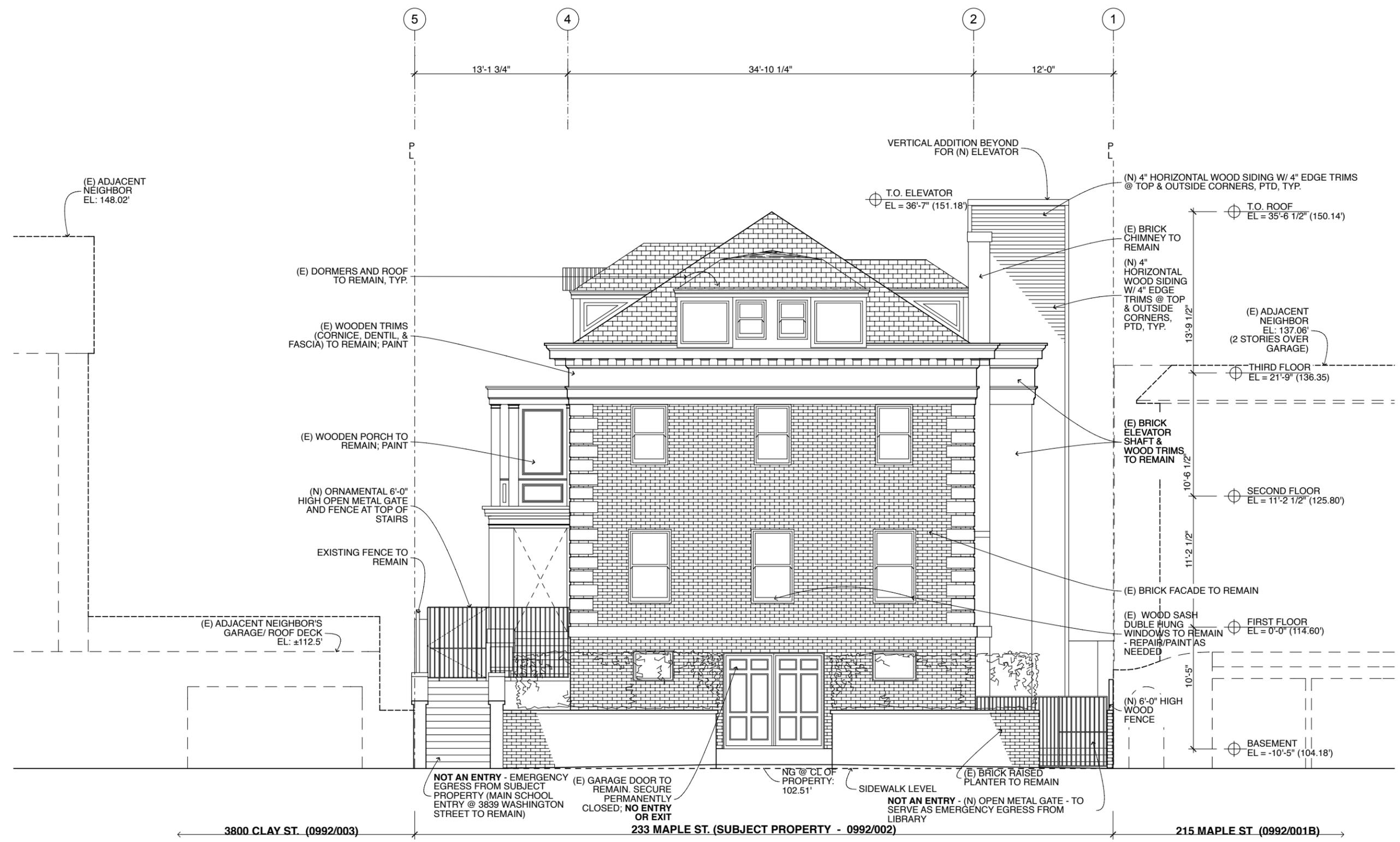
DRAWN BY: OG

CHECKED BY: TM

JOB NO.: 1212

DRAWING
A3.1

132 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4



1 PROPOSED EAST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL

BLOCK 0992/
LOT 002 & 034

233 MAPLE:
PROPOSED WEST
(REAR) ELEVATION

DATE: 07/15/2014

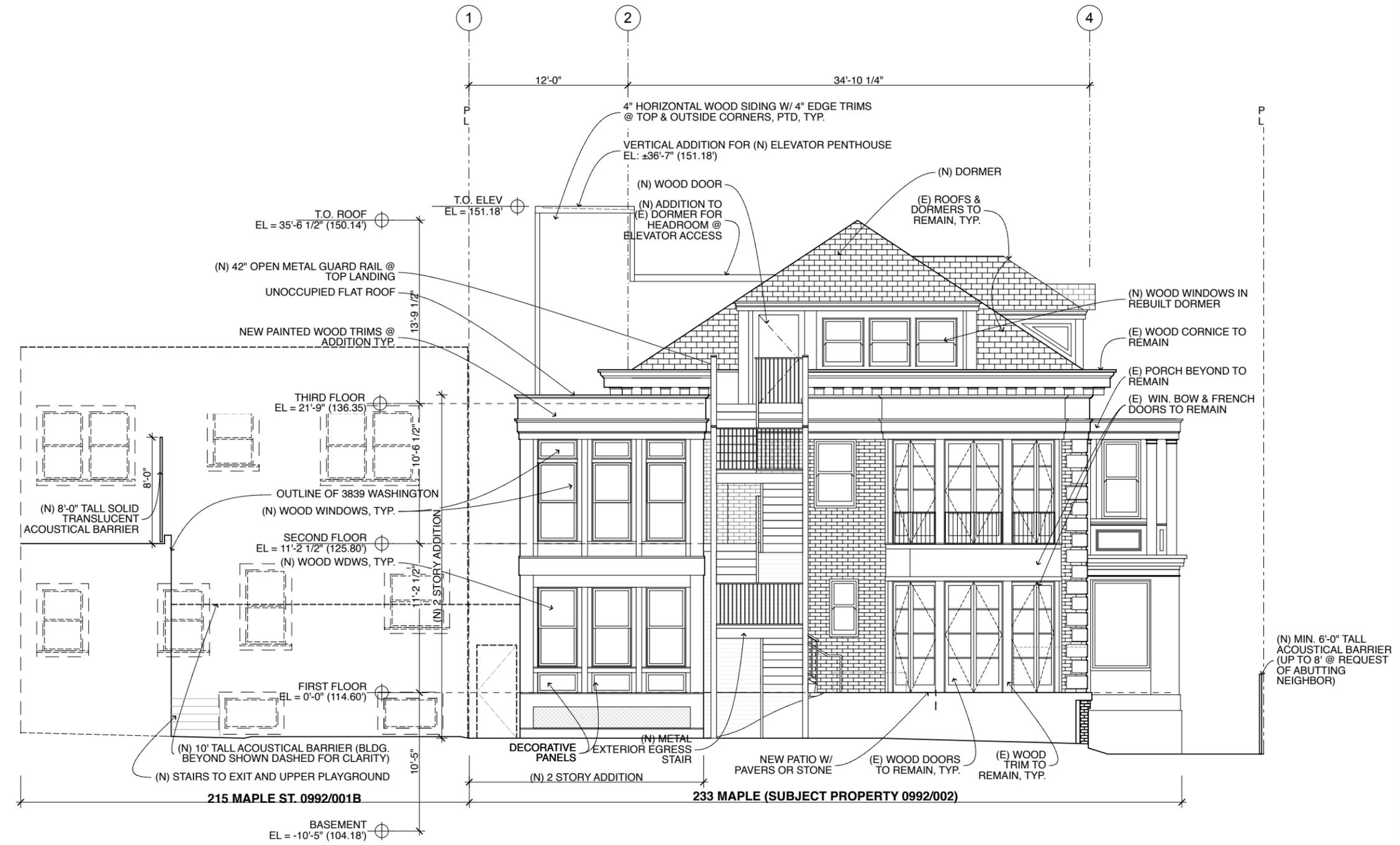
SCALE: AS NOTED

DRAWN BY: OG

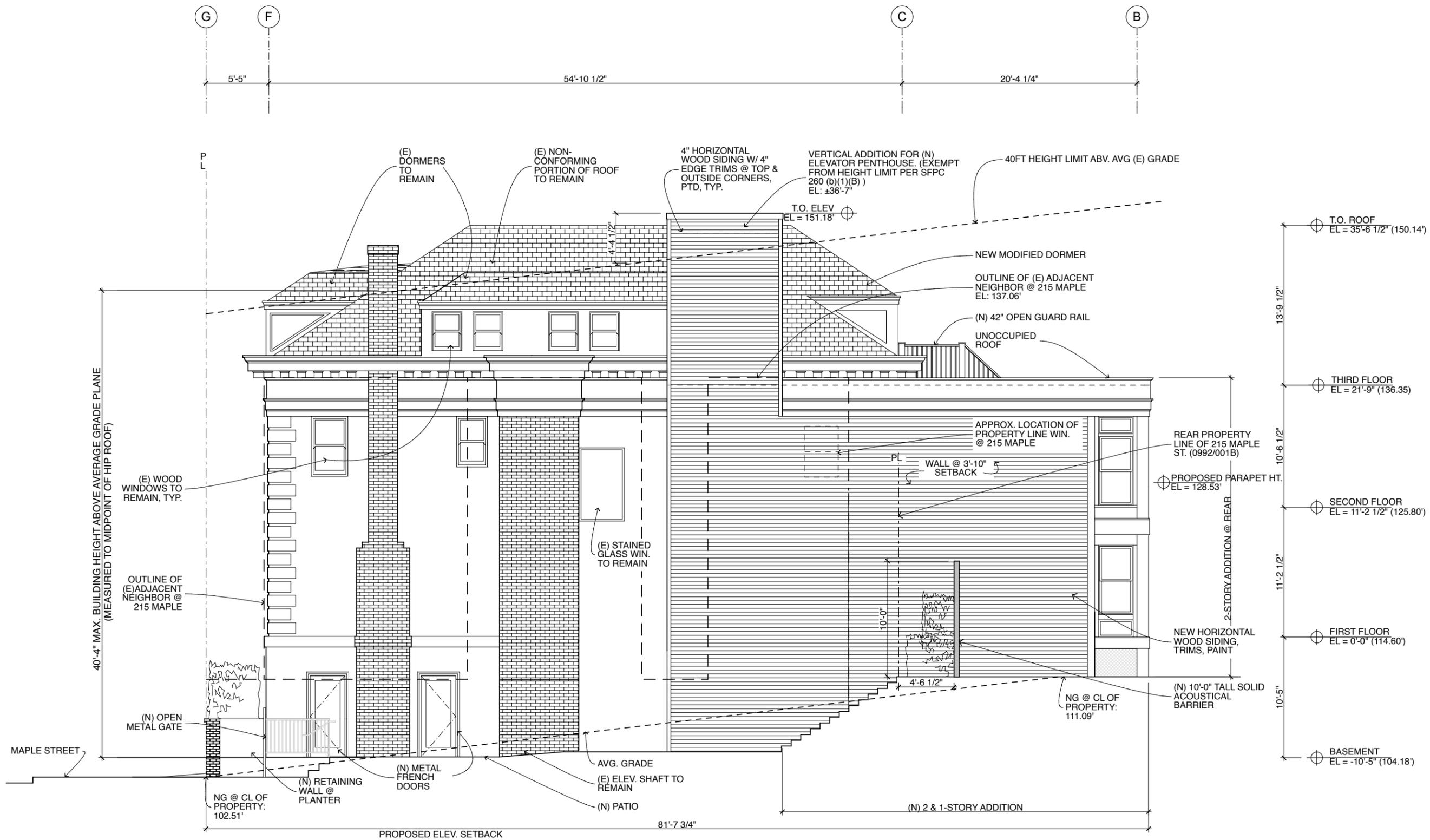
CHECKED BY: TM

JOB NO.: 1212

DRAWING
A3.2



1 PROPOSED WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

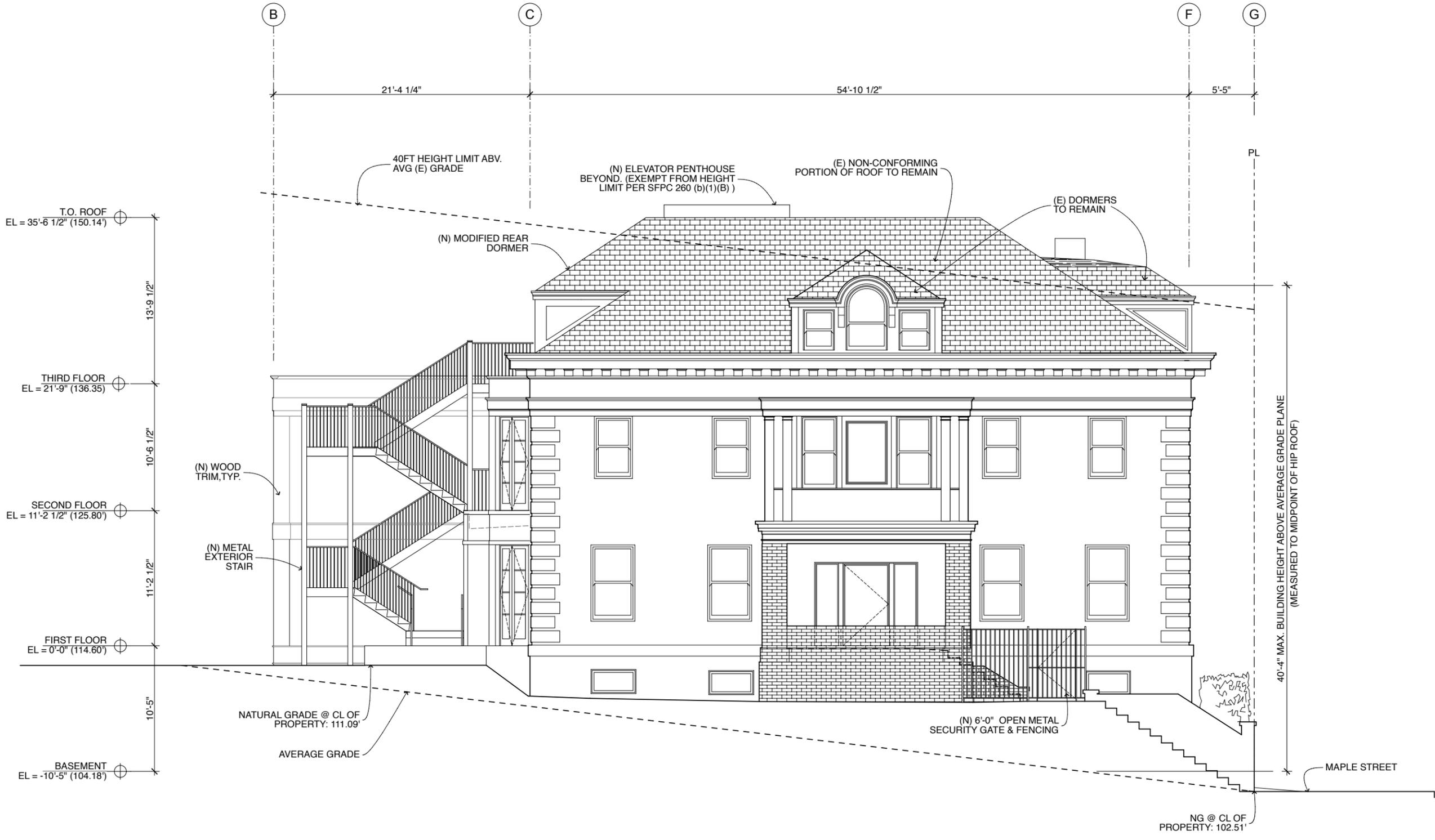
Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

233 MAPLE:
PROPOSED SOUTH ELEVATION

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A3.4



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

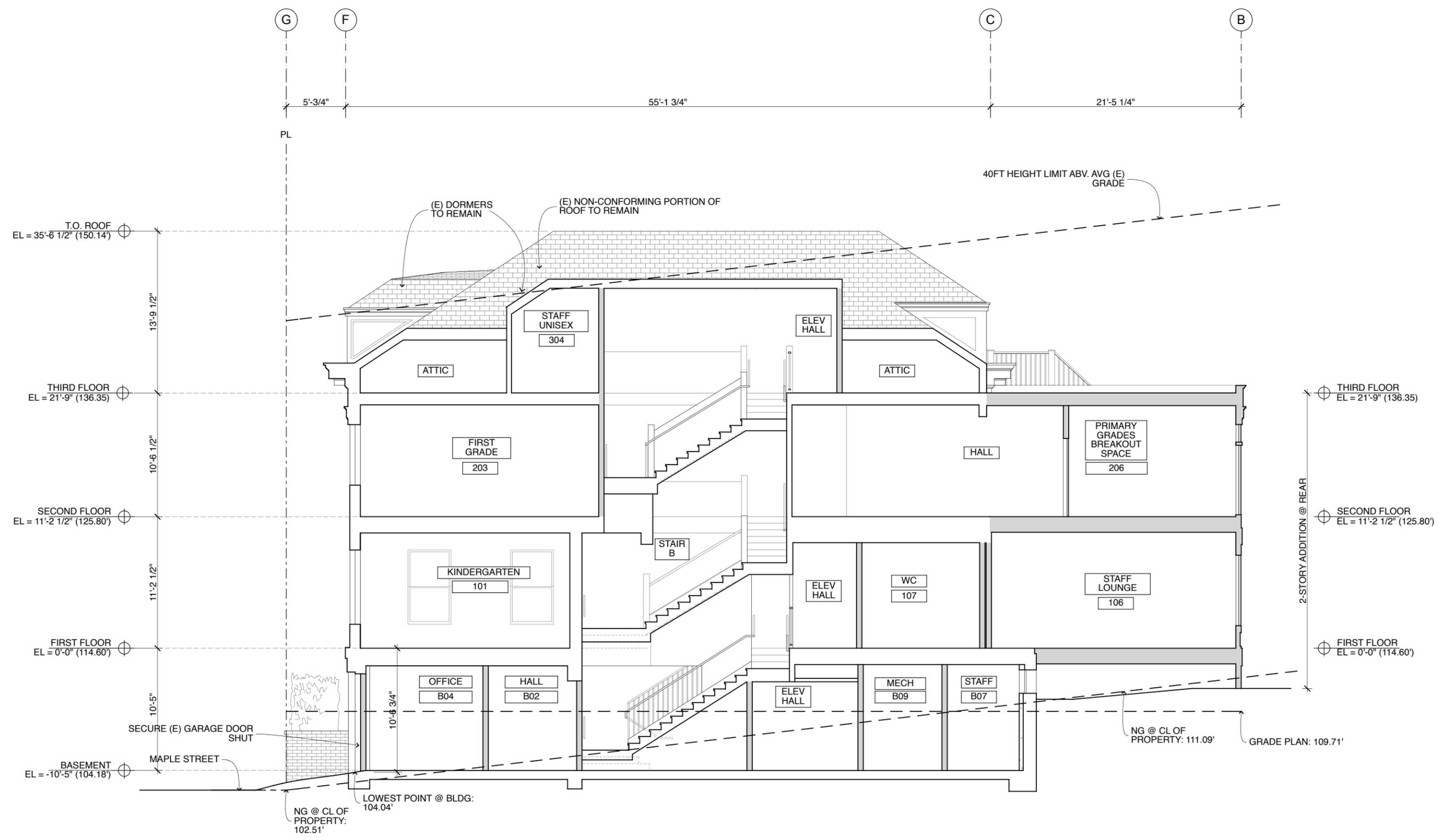
Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

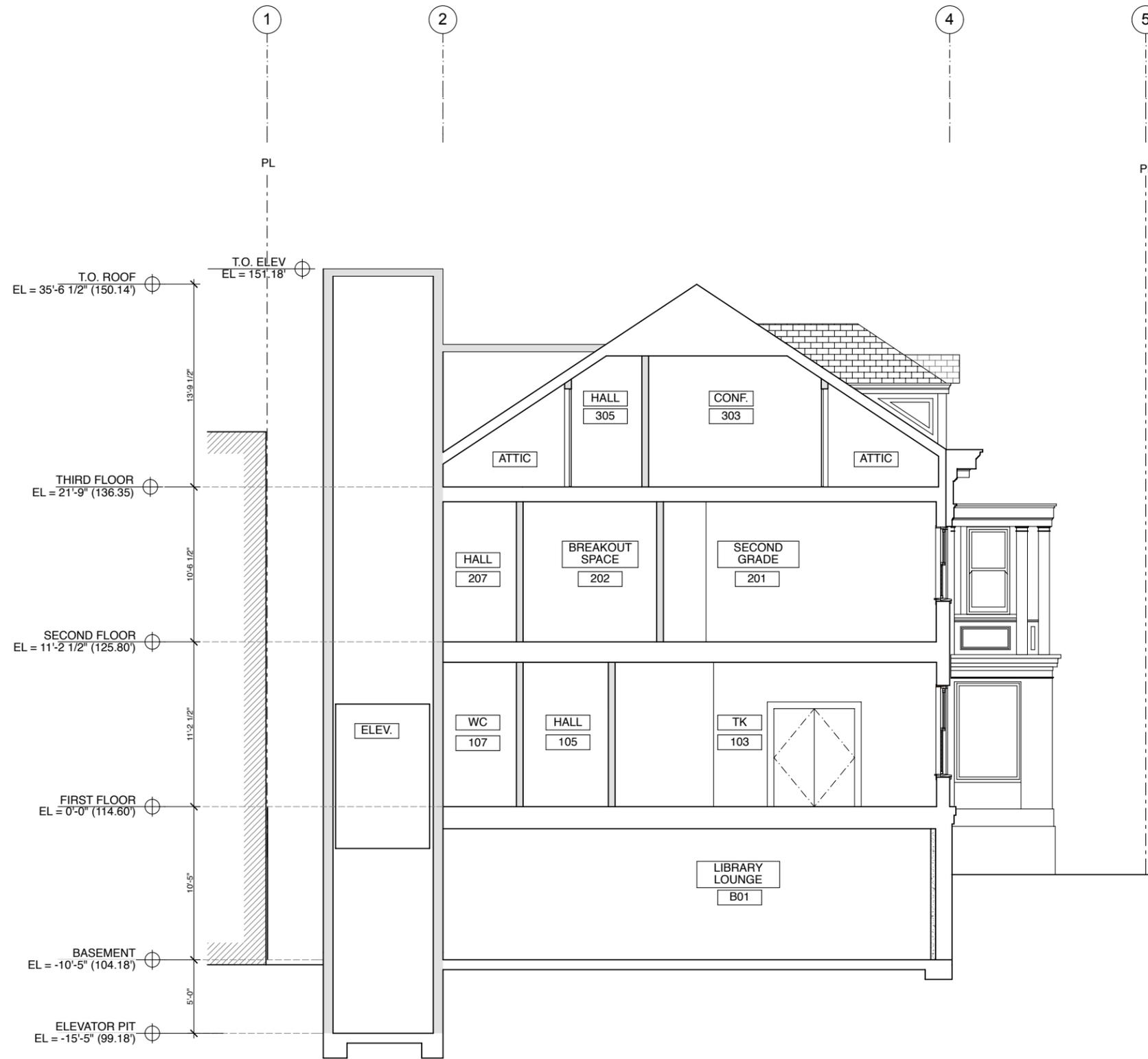
233 MAPLE -
SECTION

DATE: 07/15/2014
SCALE: AS NOTED
DRAWN BY: OG
CHECKED BY: TM
JOB NO.: 1212

DRAWING
A4.1



1 MAPLE BUILDING SECTION - LONGITUDINAL
SCALE: 1/4" = 1'-0"



1 MAPLE BUILDING SECTION
SCALE: 1/4" = 1'-0"

KERMAN
ARCHITECTS
68A WATER STREET
SAN FRANCISCO
CALIFORNIA 94133
TEL: 415.774.1111
FAX: 415.628.5152

PFAU
LONGNOT
ARCHITECTURE
188 BARKY LINDSEY ALLEY, SAN FRANCISCO, CA 94103
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Revisions:

PRESIDIO HILL SCHOOL
ADDITION/ REMODEL
BLOCK 0992/
LOT 002 & 034

233 MAPLE - SECTION

DATE:	07/15/2014
SCALE:	AS NOTED
DRAWN BY:	OG
CHECKED BY:	TM
JOB NO.:	1212

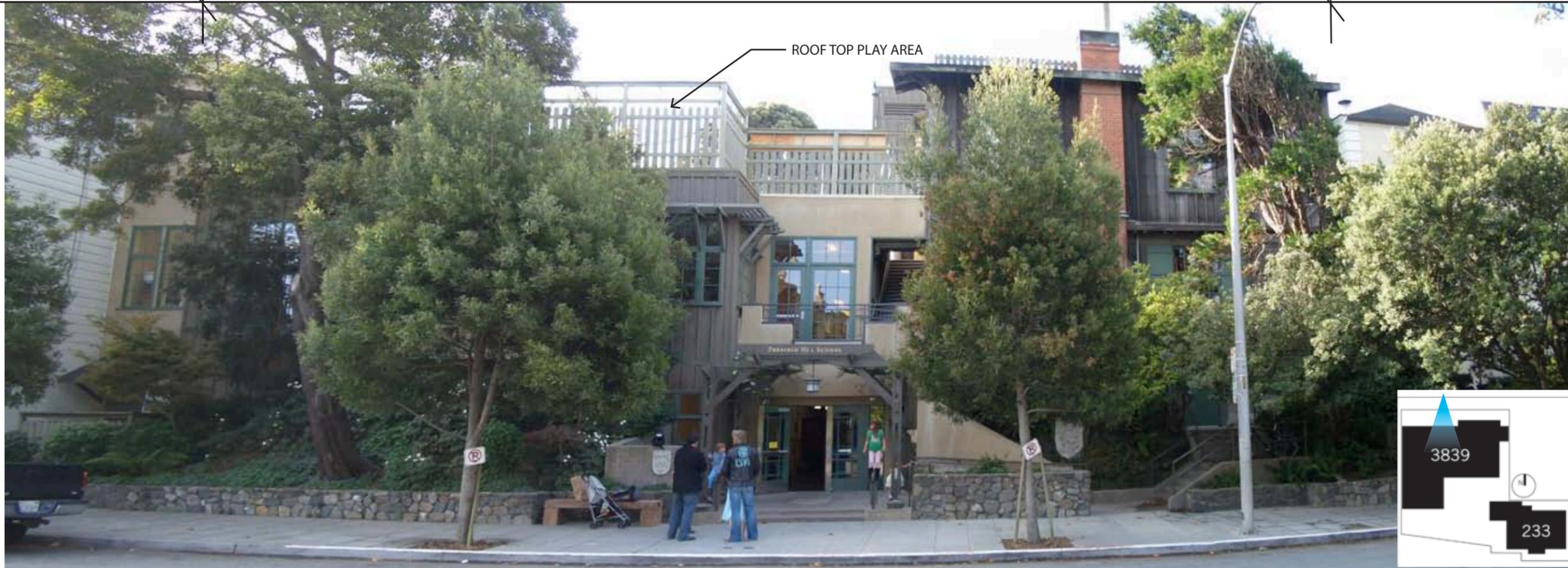
DRAWING
A4.2

132 - PRESIDIO HILL SCHOOL 07/15/2014 - CONDITIONAL USE APPLICATION REVISION #4

← ADJ. BLDG. @ 207 MAPLE ST.

SUBJECT PROPERTY: 3839 WASHINGTON ST. (EXISTING PRESIDIO HILL SCHOOL)

ADJ. BLDG. @ 3845 WASHINGTON ST. →



ROOF TOP PLAY AREA

PFAU GNOT
ARCHITECTURE

KERMAN MORRIS
Architects

69A Water Street
San Francisco
California 94133
Tel. 415. 749.0302
Fax 415. 928.5152

ARCHITECTS
Pfaul Long Architecture
98 Jack London Alley
San Francisco, CA 94107
p 415 908 6408
pfaulong.com

PROJECT
Presidio Hill School Addition & Renovation
233 Maple Street & 3839 Washington Street
San Francisco, CA 94118
PLA #: 22016

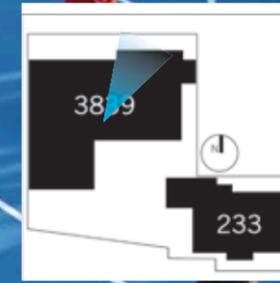
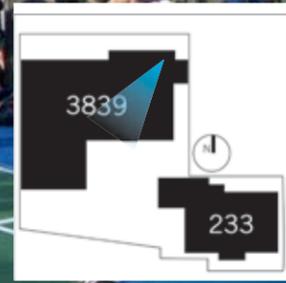
CLIENT
Presidio Hill School
3839 Washington Street
San Francisco, CA 94118



3839 Washington Street Elevation

PLAY YARD BEYOND FENCE (ONE LEVEL DOWN)

WASHINGTON STREET BEYOND FENCE (2 LEVELS DOWN)



View of rooftop play area looking south towards Clay Street

View of rooftop play area looking north towards Washington Street

STAMP

3839 WASHINGTON

REV.	DATE	ISSUE
CU- R5	7/10/14	

SCALE

DRAWING DESCRIPTION
EXISTING PHOTOS - 3839 WASHINGTON

SHEET NUMBER



Existing Play Yard @ 3839 Washington Street (Presidio Hill School)



Existing Play Yard looking east, 233 Maple in background



Existing Play yard looking west toward neighboring property @ 3845 Washington St.

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PLA #: 22016

CLIENT
Presidio Hill School
3839 Washington Street
San Francisco, CA 94118

STAMP

3839 WASHINGTON

REV.	DATE	ISSUE
CU- R5	7/10/14	

SCALE
-

DRAWING DESCRIPTION
EXISTING PHOTOS - 3839 WASHINGTON

SHEET NUMBER

ADJ. BLDG. @ 3800 CLAY ST.

SUBJECT PROPERTY: 233 MAPLE ST.

ADJ. BLDG. @ 215 MAPLE ST.



KERMAN MORRIS
Architects

PFau
ARCHITECTURE
GN01

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PROJECT
Presidio Hill School Addition & Renovation
233 Maple Street & 3839 Washington Street
San Francisco, CA 94118
PLA #: 22016

CLIENT
Presidio Hill School
3839 Washington Street
San Francisco, CA 94118

STAMP

233 MAPLE

REV.	DATE	ISSUE
CU- R5	7/10/14	

SCALE

DRAWING DESCRIPTION
EXISTING PHOTOS - 233 MAPLE

SHEET NUMBER

A 5.3

233 Maple Street Elevation

233 MAPLE

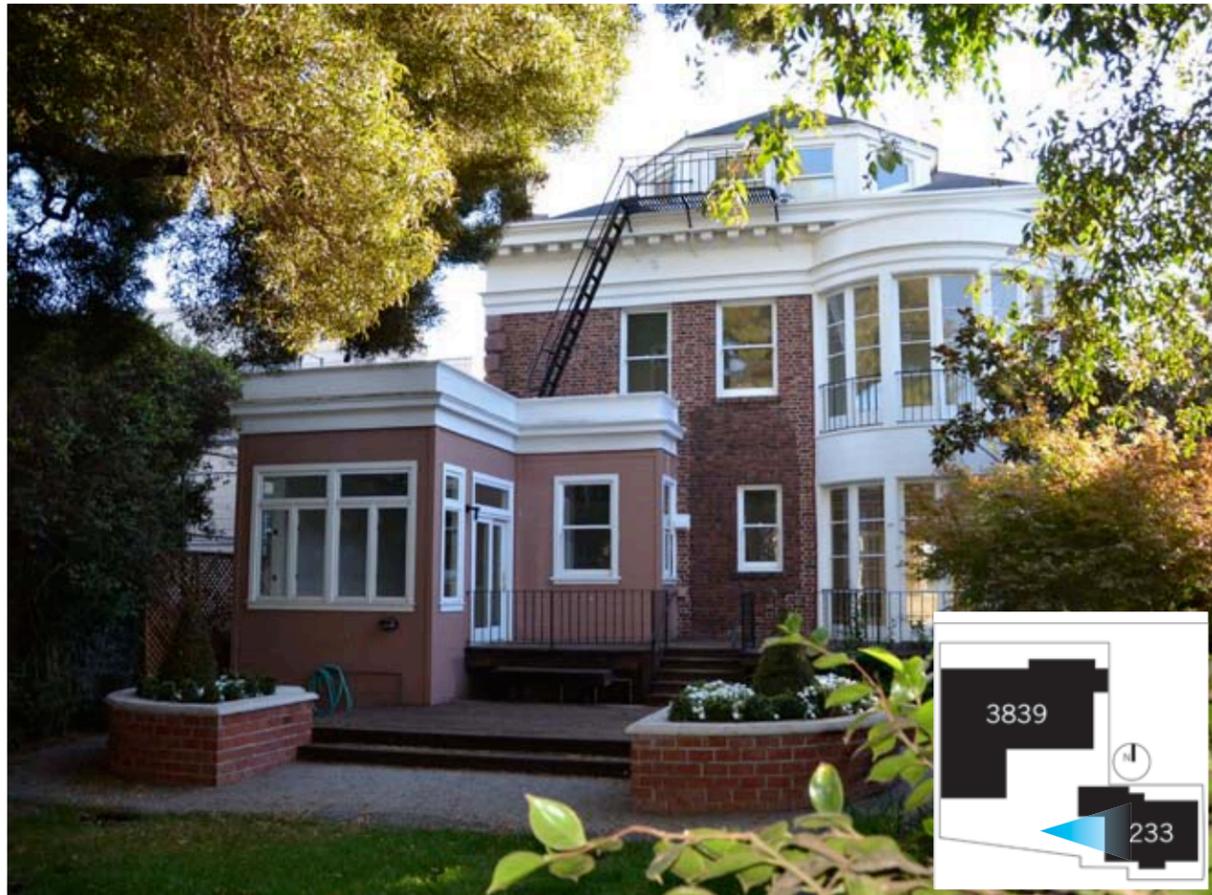
SUBJECT BLDG: 233 MAPLE



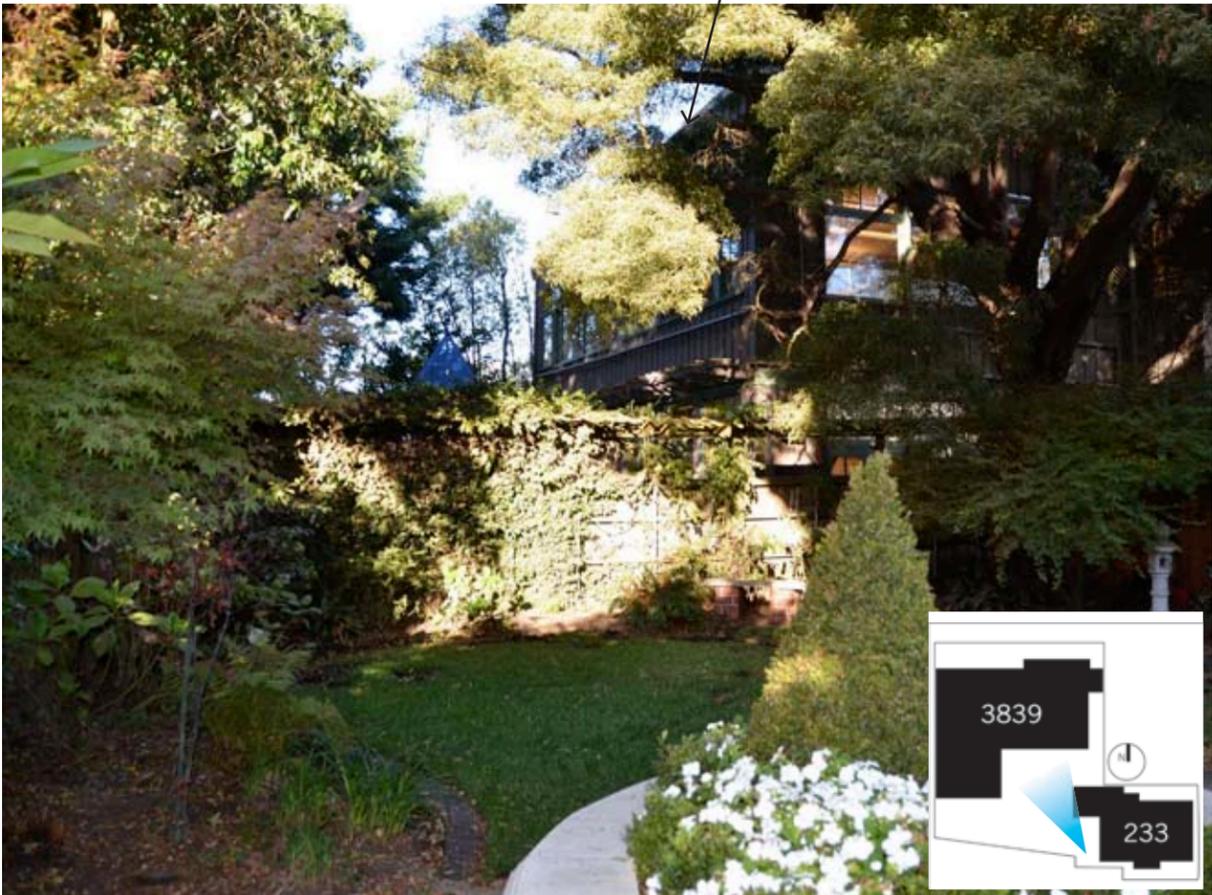
View north on Maple Street looking towards Washington Street



View south on Maple Street looking towards Clay Street



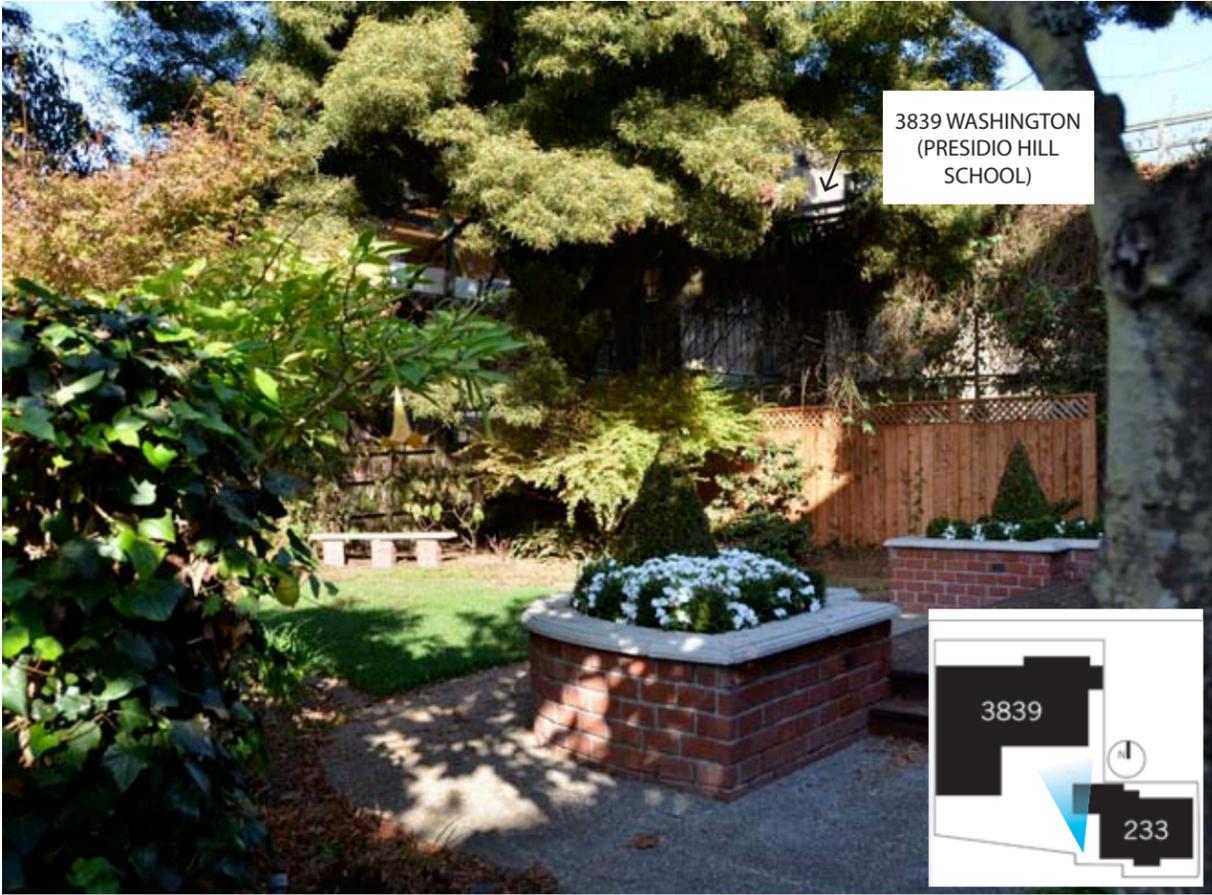
Existing Backyard at 233 Maple showing 1989 1-story addition to be removed, and brick structure to remain



Existing Backyard at 233 Maple, with 3839 Washington/Presidio Hill School in the background



Existing 1989 1-story addition to 233 Maple to be removed and replaced with a 2-story addition



Existing Backyard at 233 Maple looking North West towards rear wall of Presidio Hill School

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 pfaulong.com

PROJECT
 Presidio Hill School Addition & Renovation
 233 Maple Street & 3839 Washington Street
 San Francisco, CA 94118
 PLA #: 22016

CLIENT
 Presidio Hill School
 3839 Washington Street
 San Francisco, CA 94118

STAMP
233 MAPLE

REV.	DATE	ISSUE
CU- R5	7/10/14	

SCALE
 -

DRAWING DESCRIPTION
 EXISTING PHOTOS - 233 MAPLE

SHEET NUMBER

Case No. 1999.385C
3839 Washington Street
Assessor's Block 0992;
Lot 034

SAN FRANCISCO

PLANNING COMMISSION

MOTION NO. 17159

Adopting findings made by the Planning Commission (hereinafter "Commission") on December 8, 2005 related to a duly noticed public hearing on a previously authorized Conditional Use Application No. 1999.385C under Motion No. 15031 to increase the maximum enrollment from 186 to 200 students at the Presidio Hill School, in an RH-1 (Residential, House, One-Family) Zoning District and 40-X Height and Bulk Districts.

The Commission hereby approves the amendment to a previously authorized Conditional Use Application No. 1999.385C under Motion No. 15031 at 3839 Washington Street (hereinafter "Project") based upon the following findings:

- 1) The original Conditional Use authorization for the Presidio Hill School was approved on April 13, 2000 under Motion No. 15031 to allow an addition of approximately 9,820 square feet to the existing school property, including renovating the existing two-story building of approximately 7,000 square feet and adding a third floor of approximately 2,220 square feet, and constructing a new building (one-story over basement) of approximately 7,600 square feet, with a roof-top play area in the area of the play yard.
- 2) Under the previous authorization, the Project Sponsor may request (four years from that approval) that the Commission authorize an increase in the student enrollment from 186 to 200 following the submission of a report to the Planning Department and to the Presidio Heights Association of Neighbors (PHAN), describing the traffic, parking, noise and other impacts of the School associated with the increased enrollment.
 - a) To that end, an environmental noise study, dated September 22, 2005, was prepared by Charles M. Salter Associates, Inc., which concluded that the current noise levels are lower than the levels measured in 2001.
 - b) In addition, an updated parking and traffic report, dated October 5, 2005, by Wilbur Smith Associates concluded that the traffic operations in front of the school have improved as compared to the 1999 report.
 - c) The Project Sponsor is therefore seeking an increase in student enrollment from 186 to 200. An increase beyond 200 students would require a new Conditional Use authorization.
- 3) Pursuant to Motion No. 15031, the Director of Planning would calendar a public hearing before the Commission within 60 days of receipt of such report.
 - a) On October 12, 2005, the Presidio Hill School submitted their reports to PHAN and the Planning Department.

b) On December 8, 2005, the Commission reviewed the reports and materials submitted for its consideration, and the Project was authorized an increase in maximum student enrollment from 186 to 200 students.

MOVED, that based upon the proceeding findings, the submissions by the Project Sponsor, the staff of the Department and other interested parties, and the oral testimony presented to this Commission at the public hearing, the Commission hereby APPROVES the increase in maximum enrollment from 186 to 200 students.

I hereby certify that the foregoing Motion was adopted by the City Planning Commission on December 8, 2005.

Linda D. Avery
Commission Secretary

AYES: Commissioners Michael J. Antonini; Kevin Hughes; Sue Lee; William L. Lee; Christina Olague.

NOES: None

ABSENT: Commissioners Dwight S. Alexander; Shelley Bradford Bell.

ADOPTED: December 8, 2005

SAN FRANCISCO
PLANNING COMMISSION

MOTION NO. 15031

ADOPTING FINDINGS RELATED TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION TO DEVELOP AN ADDITION TO A PRIMARY AND MIDDLE SCHOOL (PRESIDIO HILL SCHOOL) OF APPROXIMATELY 9,820 SQUARE FEET ON THE EXISTING SCHOOL PROPERTY, INCLUDING RENOVATING THE EXISTING TWO-STORY BUILDING OF APPROXIMATELY 7,000 SQUARE FEET, AND ADD A THIRD FLOOR/PENTHOUSE OF APPROXIMATELY 2,220 SQUARE FEET (LOT 24); AND CONSTRUCTING A NEW BUILDING, ONE-STORY OVER BASEMENT, OF APPROXIMATELY 7,600 SQUARE FEET, WITH A ROOF-TOP PLAY AREA IN THE AREA OF THE EXISTING PLAY YARD (LOTS 1A AND 25). THE SCHOOL, WITH THE EXPANSION, WOULD CONTAIN A TOTAL OF NINE CLASSROOMS; A BELOW-GRADE MULTI-PURPOSE ROOM AND LIBRARY; ACCESSORY ADMINISTRATIVE SPACE AND DEDICATED ROOMS FOR ART, MUSIC, FOREIGN LANGUAGE, COMPUTERS AND SCIENCE WITH AN ADJACENT SCIENCE GARDEN, AND WITH A MAXIMUM ENROLLMENT OF 200 STUDENTS, PER PLANNING CODE SECTIONS 209.3(G) OF THE PLANNING CODE AT 3839 WASHINGTON STREET (LOTS 1A, 24 AND 25 IN ASSESSOR'S BLOCK 992) IN AN RH-1 (RESIDENTIAL, HOUSE DISTRICTS, ONE-FAMILY) DISTRICT WITH A 40-X HEIGHT AND BULK DISTRICT.

Preamble

On June 8, 1999, Presidio Hill School (hereinafter "Applicant") made an application (hereinafter "Application") for conditional use of the property at 3839 Washington Street, Lots 1A, 24 and 25 in Assessor's Block 992 (hereinafter "Project Site") to request authorization to expand the existing primary and middle school (Presidio Hill School) including an increase in enrollment in an RH-1 (Residential, House Districts, One-Family) District with a 40-X Height and Bulk District (hereinafter "Project"), in general conformity with plans dated March 28, 2000 on file with the Department in the docket for Case #99.385C (labeled EXHIBIT B).

On April 13, 2000, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 99.385C at which time the Commission reviewed and discussed the findings prepared for its review.

A Certificate of Determination of Exemption/Exclusion From Environmental Review was previously issued by the Environmental Review Officer on March 24, 1999. An amended Certificate was issued on April 5, 2000 due to changes made to the proposed Project. The Environmental Review Officer found that the Project is exempt under CEQA (California Environmental Quality Act) State Guidelines.

PLANNING COMMISSION

Case No. 99.385C
3839 Washington Street
Assessor's Block 992,
Lots 1A, 24 and 25
Motion No. 15031
Page 2

The Conditional Use Application was amended on February 8, 2000 with revised plans dated March 28, 2000. The changes were made pursuant to meetings with surrounding neighbors and neighborhood groups.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the Applicant, Department staff, and other interested parties.

Findings

Having viewed all the materials identified in the recitals above, and having heard oral testimony and arguments, the Commission finds, concludes and determines as follows:

1. The above recitals are accurate and also constitute findings of this Commission.
2. Section 206.1 of the Planning Code (hereinafter, "Code") establishes the RH-1 District. The Project is located in an RH-1 District. RH-1 Districts designate single-family houses as a principle use and allow institutions such as hospitals, certain child-care facilities, churches and elementary, secondary and post-secondary schools as conditional uses. Front setbacks are common, and ground level open space is generous.
3. The School has been located on this property and existed as a school since 1918 predating the San Francisco Planning Code and many of the buildings in the surrounding area. The School is a private, non-profit school, serving kindergarten through 8th grade. Although enrollment has fluctuated over the years, the essential functions and use of the facility have remained the same.
4. The proposed Project is an addition to the School on existing School property. A total of approximately 9,820 square feet of floor area would be constructed, bringing the total for the School to approximately 16,820. The Project includes the addition of an approximately 2,220 square foot penthouse to the top of the existing School building on Lot 24. The roof of the existing building will be reframed at a lower height to reduce the penthouse and, on two sides, will slope upward approximately 2 feet. The penthouse will extend approximately 5 to 7 feet above the existing parapet and will be set back approximately 17 feet from the front and also set back from the rear and portions of the side facades to minimize its appearance when viewed from the street and from adjacent residences. The balance of the addition, approximately 7,600 square feet, will be constructed on Lots 1A and 25 where the play area is currently located, in a one-story over basement addition, with a rooftop play area. The existing grade of Lots 1A and 25 is approximately 12 feet above the curb. The lots would be excavated so that the basement would be at sidewalk level and the existing landscaped slope fronting the street will be replaced. Although located in a 40 foot height district, the roof of the addition in the play yard would be

approximately 13 feet in height, a full story below the existing roof line of the adjacent neighbor to the east. The purpose of this project is to provide improved educational facilities. Currently, the School provides less square footage per student than other local schools both private and public. The addition would allow the expansion of the library (which is currently only 163 square feet) and some undersized classrooms, and would also add a multi-purpose room, staff room and dedicated classrooms for art, music, foreign language, computers and science with an adjacent science garden. The School has committed to accept as a condition of approval a limit on enrollment of a total of 200 students, an increase of approximately twenty five percent (25%) over the existing capacity.

5. Section 209.3(g) of the Code allows elementary schools (an institutional use) in RH-1 Districts only upon the approval of a conditional use authorization by the Commission. The Project is considered a significant enlargement and alteration under Planning Code Section 178(c) requiring new conditional use authorization.
6. Under the provisions of Planning Code Section 303, the Commission may authorize a conditional use after finding the proposed use will provide a development that is necessary or desirable for and compatible with the neighborhood or the community, that such use will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements of potential development in the vicinity and that such use will not adversely affect the General Plan. On balance, the proposed project does comply with the criteria of Section 303, as described below.
 - a. The Project, at the size and intensity contemplated at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community, in that:
 - (i) The Project will expand the existing school facility by approximately 9,820 square feet, all on existing school property. The Project will expand the library and some undersized classrooms and add a multi-purpose room, rooftop play area, and dedicated classrooms for art, music, foreign language, computers and science with an adjacent science garden. The Project will allow for expanded elementary and middle school educational opportunities to the existing student body and will increase enrollment, thereby improving the educational services provided to the community.
 - (ii) The Project will meet or exceed current seismic and disability access standards.
 - (iii) The authorization includes conditions of approval which are intended to improve the operation of the school and maximize compatibility with surrounding residential neighborhoods into the future.

- (iv) The Project will reinvigorate and revitalize an important educational institution which has been a part of the San Francisco community since 1918, thereby making a connection from the area's past into the future, promoting continuity and stability in the local community.

- b. The Project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following, in that:
 - (i) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - A. The Project will not be injurious or detrimental to people or property in the vicinity. The School has been operating at this location for more than 80 years, and the Project would expand the student capacity of the School by less than twenty five percent (25%). The new building will be constructed entirely on existing School property.
 - B. The addition of the penthouse to the existing building will be set back approximately 17 feet from the front and also set back from the rear, and portions of the side facades of the building, and will extend approximately 5 to 7 feet above the existing parapet to minimize its appearance when viewed from the street and from adjacent residences, thereby remaining aesthetically consistent with neighboring buildings. The existing building, with the addition of the penthouse on the upwardly sloping roof, will relate in general scale to the neighboring buildings on Washington Street.
 - C. The Project will include a one-story over basement addition on Lots 1A and 25 which are currently part of School property and on which a play yard is currently located. Lots 1A and 25 are 12 feet above the curb and will be excavated so that the basement is at sidewalk level. The existing landscaped that fronts the street on lots 1A and 25 will be replaced. The Project is designed with a low profile in relation to neighboring buildings so it will minimize the aesthetic impact of a new building in this neighborhood. The roof of the addition in the play yard will be approximately 13 feet in height, which is 27 feet below the 40-foot allowable height, and is a full story below the existing roof line of the adjacent neighbor to the east.

- D. The addition will have a rooftop play area with a perimeter fence to replace the existing play area. By raising the play area to the top of the roof and screening it with a wooden fence, the amount of noise reaching nearby neighbors from children playing will be reduced from the existing levels.
- E. The design of the Project blends with adjacent homes. The building is set back from the front property line so that it is consistent with the front set back of neighboring buildings. The front setback is generously landscaped to provide harmony with residential landscaping and the nearby Presidio. The building is articulated by offsets and varying parapet heights, into elements whose scale is very similar to neighboring homes. The design incorporates "residential" elements, such as trellises and other decorative features, as well as the inclusion of various materials such as board-and-batten and cement plaster which are predominant in the neighborhood. The "residential" appearance of the Project design is consistent with that of the neighborhood, thereby avoiding injury to property improvements or potential development in the vicinity and promoting the general welfare of persons residing or working in the vicinity.
- F. A portion of the addition is set back from the east property line to create a landscaped space between the two homes on that property line. A rear yard will be provided, in compliance with Code standards, and will be landscaped to provide a buffer between the School and the adjacent yard. Elevations fronting onto these adjacent buildings and yards have been designed to incorporate residentially scaled elements similar to those on the front of the building. The landscape design and the elevations, which are scaled to blend with neighboring buildings, are harmonious with the existing residential neighborhood, thereby avoiding injury to property improvements or potential development in the vicinity and promoting the welfare of persons residing or working in the vicinity of the property.

(ii) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

- A. No parking spaces are currently provided on the site. No additional off-street parking is required for the Project because the Project is not a major addition to a lawfully existing use under Section 150(c)(2) of the Code. The School has an existing white zone with space for approximately 3 vehicles for drop-off and pick-up activities. The Project will enroll a maximum of 200 students and employ very few new hires. The modest increase in enrollment, expected to be primarily in the middle school grades, will have minimal, if any, effect on traffic, including pick-up and drop-off conditions. Increased parking demand of one or two vehicles will not substantially affect neighborhood parking conditions.
- (iii) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - A. By raising the play area to the top of the roof and screening it with a wooden fence, the amount of noise reaching nearby neighbors from children playing will be reduced from the existing levels. As a largely interior educational use, the Project will not be expected to generate dust and odor impacts. Conditions have been added to the Project requiring that lighting be screened from residential areas, non-reflective glass be used in the building facades, and that the school is to be managed in such a way as to avoid nuisances such as noise and litter in the surrounding neighborhood. A community liaison will be appointed by the Sponsor and should they be unable to resolve nuisances which might develop, the Project would be subject to rehearing and reconsideration by the Commission.
- (iv) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, services areas, lighting and signs;
 - A. The front facade of the Project is generously landscaped; the east side of the building is set back from the east property line and landscaped, and the roof of the existing building is landscaped to screen the penthouse addition. The roof top play area above the addition will reduce current noise levels and will be encircled by a fence to screen neighbors from roof top activity. A condition is included in the Draft Motion stating that lighting shall be directed onto the property so as not to directly illuminate adjacent properties and only non-reflective glass shall be used on the building exterior.

7. The proposed Project would not adversely affect the objectives and policies of the General Plan and would implement the objectives and policies described below:

COMMERCE AND INDUSTRY ELEMENT

OBJECTIVE 7: ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENTAL, HEALTH, AND EDUCATIONAL SERVICES.

POLICY 2: Encourage the extension of needed health and education services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

The Project will expand an existing building on existing School property. The expansion is needed so that the Applicant offers a floor-area to student ratio closer to that of other schools both public and private in San Francisco. The Project will expand the library; some undersized classrooms; and would add a multi-purpose room, roof-top play area to replace the existing play area, classrooms dedicated for art, music, foreign language, computers and science with an adjacent science garden. The Project allows for greater educational opportunities to a diverse body of students drawn from the San Francisco community, thereby improving the educational services provided to the city as a whole.

POLICY 3: Promote the provision of adequate health and education services to all geographic districts and cultural groups in the city.

The Project would enhance the educational services available to residents of the local area neighborhoods as well as the city at large. The Applicants indicate that they have been and will continue to provide scholarships and outreach to a socially and economically diverse community.

COMMUNITY SAFETY ELEMENT

OBJECTIVE 1: REDUCE HAZARDS TO LIFE SAFETY, MINIMIZE PROPERTY DAMAGE AND ECONOMIC DISLOCATIONS RESULTING FROM FUTURE EARTHQUAKES

POLICY 1: Apply a minimum level of acceptable risk to structures and uses of land based upon the nature of use, importance of the use to public safety and welfare, and the density of occupancy.

The Project will meet or exceed current seismic and disability access standards and will require compliance with current codes, including life-safety, thereby greatly improving the earthquake safety of students, faculty and staff at the site.

RESIDENCE ELEMENT

OBJECTIVE 12: TO PROVIDE A QUALITY OF LIVING ENVIRONMENT

POLICY 3: Minimize disruption caused by expansion of institutions into residential areas.

The Project will continue the existing use of the site as a school that has existed at this location since 1918. By redeveloping and expanding the facilities located on the Project Site, the Project limits intrusions into the surrounding residential area.

TRANSPORTATION ELEMENT

OBJECTIVE 2: USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT

POLICY 2.5: Provide incentives for the use of transit, car pools, van pools, walking and bicycling and reduce the need for new or expanded automobile and automobile parking facilities.

This authorization includes conditions which encourage the use of alternative means of transportation, including public transit, bicycles and car pools.

URBAN DESIGN ELEMENT

OBJECTIVE 3: MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT

PLANNING COMMISSION

**Case No. 99.385C
3839 Washington Street
Assessor's Block 992,
Lots 1A, 24 and 25
Motion No. 15031
Page 9**

- POLICY 1:** Promote harmony in the visual relationships and transitions between new and older buildings.
- POLICY 2:** Avoid extreme contrasts in color, shape and other characteristics which will cause new buildings to stand out in excess of their public importance.
- POLICY 5:** Relate the height of buildings to important attributes of the city pattern and to the height and character of existing development.
- POLICY 6:** Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.
- POLICY 7:** Recognize the special urban design problems posed in development of large properties.

The Project is consistent with the height and style of the surrounding buildings. The Project is lower than the adjacent buildings to avoid an overwhelming or dominating appearance in new construction. The Project set back is consistent with that of neighboring buildings and the Project's landscape and residential design elements promote harmony in the visual relationships between the existing buildings and the addition.

OBJECTIVE 4: IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY

POLICY 15: Protect the livability and character of residential properties from the intrusion of incompatible new buildings.

The Project would protect the residential character of the neighborhood with its reduced height, set backs consistent with that of adjacent neighbors, landscaping on the front, the east and the south sides of the addition, and the incorporation of residential design elements in the proposed additions.

8. City Planning Code Section 101.1 establishes eight priority planning policies and requires review of permits for consistency with said policies. The Project complies with said policies in that:

- a. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The Project will have no effect on neighborhood-serving retail uses.

- b. Existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The Project will not adversely affect existing residential uses. The Project involves expansion of a long-established educational and institutional use of the site which has existed since 1918. The Project will enhance the neighborhood character by adding needed educational facilities on the site and ensures the long-term viability of this historic educational institution, which has been in existence for over 80 years, thereby promoting continuity and stability in the community. The Project's residential design elements preserve the residential character of the neighborhood.

- c. The City's supply of affordable housing be preserved and enhanced;

The Project will have no impact on neighborhood affordable housing.

- d. Commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking;

The additional traffic generated by the Project will be negligible relative to local area roadways and existing traffic volumes in the vicinity. The Project would have no impact on MUNI operations.

- e. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

The Project does not include office development. No industrial or service industry establishment will be displaced by the Project. The Project will provide some additional jobs for local residents thus providing future opportunity for resident employment.

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- f. The City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The Project will help the city achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake. It will meet or exceed current seismic and accessibility standards.

- g. Landmarks and historic buildings be preserved;

There are no landmarks or historic buildings affected by the Project. The addition to the existing building has been carefully designed to be compatible with the surrounding neighborhood.

- h. Our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not affect the access to sunlight or vistas from any park or public open space.

9. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the city.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 99.385C** subject to the following conditions attached hereto as EXHIBIT A which is incorporated herein by reference as though fully set forth.

I hereby certify that the foregoing Motion was ADOPTED by the Planning Commission at its regular meeting of April 13, 2000.

Linda Avery
Commission Secretary

AYES: Commissioners Theoharis, Mills, Antenore, Richardson, Joe

NOES: None

ABSENT: Commissioners Chinchilla, Martin

ADOPTED: April 13, 2000

EXHIBIT A

CONDITIONS OF APPROVAL

The conditional use authorization herein is for the expansion of an existing private primary and middle school (The Presidio Hill School) through the addition of 9,820 square feet of floor area. The project includes a 2,220 square foot penthouse addition to the existing school facility, and a 7,600 square foot new building on the site of the existing play yard area, with a maximum enrollment of 200 students, per Sections 209.3(g) and 303 of the Planning Code, in general conformity with the Plans dated March 28, 2000 on file with the Department in the docket for Case #99.385C, (labeled Exhibit B), reviewed and approved by the Commission on April 13, 2000 and subject to the following conditions.

1. Following the completion of construction of the Project, enrollment for the School at the Project Site shall be limited to 175 students for the first two school years. 186 students for the next two years, thereafter, subject to authorization by the Commission as set forth below, shall be limited to 200 students. After the first four years, the Project Sponsor shall submit a report to the Department and to the Presidio Heights Association of Neighbors which describes the traffic, parking, noise and other impacts of the School with the completed Project and increased enrollment. The Director shall calendar a public hearing before the Commission, noticed in accordance with the requirements for a conditional use authorization within sixty days of receipt of such report. If the Commission determines, based upon the evidence presented at such public hearing, that an increase in enrollment beyond 186 students would be detrimental to the health, safety or general welfare, the Commission may, by motion, limit enrollment to a total of 186 students or some other number up to a maximum of 200. Enrollment beyond 200 students at the Project Site shall not be permitted, except upon approval of a new or amended conditional use authorization by the Commission.
2. The building area and massing authorized herein is limited to that described in the plans labeled Exhibit B and dated March 28, 2000.
3. The Project school is fundamentally a day program, operating primarily during daytime hours from September through mid-June with summer programs operating from June through August, excluding a limited number of school-related functions in the evening and on weekends. Special weekend and evening events at the campus attended by more than 50 persons, such as open houses, back to school night, etc., shall not occur more than twice per calendar month on average, not to exceed twenty four (24) per year. All such events shall end by 10:00 p.m. Within the 24 event limitation, weekend daytime events shall be limited to six days per year.

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4. Outdoor facilities will not be used without School-based supervision and will not be used evenings or weekends, except in connection with the six permitted weekend daytime events. There shall be no use of outdoor amplification at any time, except at up to six daytime events per year.
5. Non-school related events are not permitted.
6. The garden to be created on the roof of the existing building will not be used evenings or weekends.
7. Landscaped areas at grade along the eastern property line and on the roof at the western and southern ends of the existing building will not be used for school activities or circulation.
8. The Project Sponsor shall place sound insulation housings around the rooftop and other mechanical equipment to reduce noise impacts to surrounding properties.
9. Sound proofing shall be installed on the west wall to prevent excessive noise in the neighboring residence.
10. Sound dampening wood fences shall be installed around the rear yard play area.
11. At the request of the adjacent neighbor, 233 Maple Street, along the south/east property line, the School shall, subject to Code requirements, retain or replace the chain link fence at approximately the height existing on the date hereof.
12. The School will not rent, lease or acquire any additional property within 300 feet of the perimeter of the existing School property other than for residential use.
13. The School's contractor will be required by contract to provide off-site parking for construction workers, with travel to the site by van or public transit, and parking of any vehicles within one block of the site shall be limited to use of the existing white zone in front of the School.
14. Buses or school vans shall stop in front of the school for loading and unloading only and will not idle engines while waiting for students.
15. Bike racks will be located only on School property, and motorized vehicles will not be parked on public sidewalks in front of the School.
16. The Project Sponsor shall take reasonable measures to discourage illegal crossings, littering and loitering by students in the adjacent residential areas.
17. Tree landscaping will be selected in consultation with neighborhood-designated representatives.

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18. Upon request, the Project Sponsor will provide drain covers or screens to neighbors to prevent balls from clogging drains.
19. The Project Sponsor shall take all reasonable actions with the Department of Parking and Traffic to maintain a white zone along the south side of Washington Street, west of Maple Street, in front of the school site during the primary drop-off and pick-up times before and after school is in session.
20. The Project Sponsor shall provide attendants or monitors to supervise and direct traffic and parking adjacent to the school during drop-off and pick-up times before and after school to discourage double parking and promote the orderly flow of traffic.
21. The Project Sponsor shall establish a program to reduce vehicle usage by parents and faculty and encourage transit and alternative means of transportation. Such programs should include an advertised system of internally coordinated car pools, incentives and information regarding public transit, and encouragement of the use of bicycles. Information on such a program and advisement of the sensitivity of parking and drop-off/pick-up loading in the area shall be included in student/parent and employee information packages.
22. The Project Sponsor shall obtain a building permit for this Project within two years from the date of this conditional use authorization, and construction shall thereafter be pursued diligently to completion or the said authorization shall be deemed null and void.
23. This authorization may be extended at the discretion of the Zoning Administrator only where the failure to issue a building or site permit to construct the Project is delayed by a City agency or a state agency, or by legal challenges.
24. Construction hours are restricted to 7:00 a.m. to 4:00 p.m., and no construction work shall occur on Sundays. No construction work using heavy equipment shall occur on Saturdays.
25. Light shall be contained within the School premises so as not to be a nuisance to nearby residents or neighbors. Project lighting shall be directed onto the subject property and adjacent public sidewalks so as not to directly illuminate adjacent properties. Only non-reflective glass shall be used on the building exterior.
26. The Project Sponsor shall appoint a community liaison officer to deal with issues of concern to neighbors related to the operation of this Project. The name and telephone number of the community liaison shall be reported to the Zoning Administrator.
27. Should implementation of this project result in complaints from neighborhood residents which are not resolved by the Project Sponsor and are subsequently reported to the Zoning Administrator and found to be in violation of the Planning Code and/or the specific Conditions of Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall report such complaints to the Planning Commission which may thereafter

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hold a public hearing on the matter in accordance with the hearing notification and conduct procedures as set forth in Sections 174, 306.3 and 396.4 of the Code to consider revocation of this Conditional Use Authorization.

28. Should the monitoring of Conditions of Approval contained in Exhibit A of this Motion be required, the Project Sponsor or successor's shall pay fees as established in Planning Code Section 351(f)(2).
29. Failure to comply with any of the conditions of approval shall constitute a violation of the Planning Code, enforceable by the Zoning Administrator.
30. Prior to the issuance of a building or site permit, the Zoning Administrator shall approve and order the recordation of a notice in the Official Records with the Office of the Recorder of the City and County of San Francisco, which notice shall state that construction of the Project has been authorized by and is subject to the conditions of this Motion. From time to time, after the recordation of such notice, the Zoning Administrator shall affirm in writing the extent to which the conditions of this Motion have been satisfied.

mcw/g:\wp51\cu\3839was.mot

RECORDING REQUESTED BY:

CITY AND COUNTY OF SAN FRANCISCO

And When Recorded Mail To:

Nicole A. Wesley (State Bar 207829)
Coblentz, Patch, Duffy & Bass, LLP
222 Kearny Street, 7th Floor
San Francisco, California 94108

DEC 13 2000

CONFORMED COPY of document recorded on

12/13/2000, 2000G875115

at _____ as

This document has not been compared with the original

SAN FRANCISCO ASSESSOR RECORDER

Space Above This Line For Recorder's Use

**NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE
FOR PLANNING COMMISSION MOTION NO. 15031**

AS MODIFIED BY

**BOARD OF SUPERVISORS' MOTION NO. MOO-54 RELATING TO THE APPEAL OF
THE CONDITIONAL USE AUTHORIZATION**

**(Board of Supervisors' Motion No. M00-54 and the Original Planning Commission Motion
No. 15031 are attached, for reference purposes)**

I (We) Presidio Hill School, the owner(s) of that certain real property situated in the City and County of San Francisco, State of California, more particularly described as follows (or see attached sheet marked Exhibit A on which property is more fully described):

Being Assessor's **Block 992, Lots 1A, 24 and 25**, commonly known as **3839 WASHINGTON STREET**, hereby give notice that there are special restrictions on the use of said property under Part II, Chapter II of the San Francisco Municipal Code (Planning Code).

Said restrictions consist of conditions attached to **Conditional Use Application No. 99.385C** authorized by the Planning Commission of the City and County of San Francisco on **April 13, 2000** as set forth in Planning Commission Motion No. 15031 to **expand the existing private primary and middle school (The Presidio Hill School) including an increase in enrollment in an RH-1 (Residential, House Districts, One-Family) District with a 40-X Height and Bulk District, as modified by Board of Supervisors' Motion No. MOO-54 (Board of Supervisors' modifications are noted by underline or strike-outs).**

The restrictions and conditions of which notice is hereby given are:

3839 - Washington

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

1. Following the completion of construction of the Project, enrollment for the School at the Project Site shall be limited to 175 students for the first two school years. 186 students for the next two years, thereafter, subject to authorization by the Commission as set forth below, shall be limited to 200 students. After the first four years, the Project Sponsor shall submit a report to the Department and to the Presidio Heights Association of Neighbors which describes the traffic, parking, Noise and other impacts of the School with the completed Project and increased enrollment. The Director shall calendar a public hearing before the Commission, noticed in accordance with the requirements for a conditional use authorization within sixty days of receipt of such report. If the Commission determines, based upon the evidence presented at such public hearing, that an increase in enrollment beyond 186 students would be detrimental to the health, safety or general welfare, the Commission may, by motion, limit enrollment to a total of 186 students or some other number up to a maximum of 200. Enrollment beyond 200 students at the Project Site shall not be permitted, except upon approval of a new or amended conditional use authorization by the Commission.
2. The building area and massing authorized herein is limited to that described in the plans labeled Exhibit B and dated March 28, 2000.
3. The Project school is fundamentally a day program, operating primarily during daytime hours from September through mid-June with summer program operating from June through August, excluding a limited number of school-related functions in the evening and on weekends. Special weekend and evening events at the campus attended by more-than 50 persons, such as open houses, back to school night, etc., shall not occur more than twice per calendar month on average, not to exceed twenty-four (24) per year. All such events shall end by 10:00 p.m. Within the 24 event limitation, weekend daytime events shall be limited to six five days per year.
4. Outdoor facilities will not be used without School-based supervision and will not be used evenings or weekends, except in connection with the six permitted weekend daytime events. There shall be no use of outdoor amplification at any time, except at up to six three daytime events per year with advance notice to the neighbors of these three events delivered by mail or by hand to residents of the entire block bounded by Washington, Cherry, Clay and Maple Streets, as well as the south side of the 3700 block of Jackson Street.
5. Non-school related events are not permitted.
6. The garden to be created on the roof of the existing building will not be used evenings or weekends.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

7. Landscaped areas at grade along the eastern property line and on the roof at the western and southern ends of the existing building will not be used for school activities or circulation.
8. The Project Sponsor shall place sound insulation housings around the rooftop and other mechanical equipment to reduce noise impacts to surrounding properties.
9. Sound proofing shall be installed on the west wall to prevent excessive noise in the neighboring residence.
10. Sound dampening wood fences shall be installed around the rear yard play area.
11. At the request of the adjacent neighbor, 233 Maple Street, along the south/east property line, the School shall, subject to Code requirements, retain or replace the chain link fence at approximately the height existing on the date hereof.
12. The School will not rent, lease or acquire any additional property within 300 feet of the perimeter of the existing School property other than for residential use.
13. The School will make no application for physical expansion of the building envelope on the current site for a period of fifteen years from the completion of the proposed project except as may be required by law.
14. The School's contractor will be required by contract to provide off-site parking for construction workers, with travel to the site by van or public transit, and parking of any vehicles within one block of the site shall be limited to use of the existing white zone in front of the School.
15. During excavation, the contractor will prohibit the lining up of dump trucks on Washington Street.
16. Buses or school vans shall stop in front of the school for loading and unloading only and will not idle engines while waiting for students.
17. Bike racks will be located only on School property; and motorized vehicles will not be parked on public sidewalks in front of the School.
18. The Project Sponsor shall take reasonable measures to discourage illegal crossings, littering and loitering by students in the adjacent residential areas.
19. Tree landscaping will be selected in consultation with neighborhood-designated representatives.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

20. Upon request, the Project Sponsor will provide drain covers or screens to neighbors to prevent balls from clogging drains.
21. The Project Sponsor shall take all reasonable actions with the Department of Parking and Traffic to maintain a white zone along the south side of Washington Street, west of Maple Street, in front of the school site during the primary drop-off and pick-up times before and after school is in session.
22. The current commercial White Zone shall not be extended without the consent to PHAN.
23. The Project Sponsor shall provide attendants or monitors to supervise and direct traffic and parking adjacent to the school during drop-off and pick-up times before and after school to discourage double parking and promote the orderly flow of traffic.
24. The Project Sponsor shall establish a program to reduce vehicle usage by parents and faculty and encourage transit and alternative means of transportation. Such programs should include an advertised system of internally coordinated car pools, incentives and information regarding public transit, and encouragement of the use of bicycles. Information on such a program and advisement of the sensitivity of parking and drop-off/pick-up loading in the area shall be included in student/parent and employee information packages.
25. The school shall be limited to its current year (year 2000) number (5) of F area parking permits for faculty staff and administrators.
26. The Project Sponsor shall obtain a building permit for this Project within two years from the date of this conditional use authorization, and construction shall thereafter be pursued diligently to completion or the said authorization shall be deemed null and void.
27. This authorization may be extended at the discretion of the Zoning Administrator only where the failure to issue a building or site permit to construct the Project is delayed by a City agency or a state agency, or by legal challenges.
28. Construction hours are restricted to 7:00 a.m. to 4:00 p.m., and no construction work shall occur on Sundays. ~~No construction work using heavy equipment shall occur on Saturdays.~~ Construction is not permitted on Saturdays, except in response to a bona fide emergency or by order of the Department of Building Inspection.
29. Light shall be contained within the School premises so as not to be a nuisance to nearby residents or neighbors. Project lighting shall be directed onto the subject

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

property and adjacent public sidewalks so as not to directly illuminate adjacent properties. Only non-reflective glass shall be used on the building exterior.

30. No advertising banners visible to the street will be placed on school property except for up to five banners per year announcing school events for no more than seven days each.
31. The School shall submit an annual report to the Zoning Administrator by July 1st for the previous school year, beginning with the 2002-2003 school year and for a period of 10 years reporting the annual enrollment and number and type of weekend and evening events held during the calendar year.
32. The foregoing additional conditions [those imposed by the Board of Supervisors' Motion No. MOO-54] shall have no force or effect until the statute of limitations for the filing of any litigation or other administrative challenge to any aspect of that certain Conditional Use Permit approved pursuant to City Planning Commission Motion No. 15031, April 13, 2000 (the "Permit") pursuant to Code of Civil Procedure Section 1094.6 or California Environmental Quality Act Guidelines Section 15112 shall have expired without any challenge having been filed concerning the Permit.
33. The Project Sponsor shall appoint a community liaison officer to deal with issues of concern to neighbors related to the operation of this Project. The name and telephone number of the community liaison shall be reported to the Zoning Administrator.
34. Should implementation of this project result in complaints from neighborhood residents which are not resolved by the Project Sponsor and are subsequently reported to the Zoning Administrator and found to be in violation of the Planning Code and/or the specific Conditions or Approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall report such complaints to the Planning Commission which may thereafter hold a public hearing on the matter in accordance with the hearing notification and conduct procedures as set forth in Sections 174, 306.3 and 396.4 of the Code to consider revocation of this Conditional Use Authorization.
35. Should the monitoring of Conditions of Approval contained in Exhibit A of this Motion be required, the ~~Project~~ Project Sponsor or successor's shall pay fees as established in Planning Code Section 351(f)(2).
36. Failure to comply with any of the conditions of approval shall constitute a violation of the Planning Code, enforceable by the Zoning Administrator.

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

37. Prior to the issuance of a building or site permit, the Zoning Administrator shall approve and order the recordation of a notice in the Official Records with the Office of the Recorder of the City and County of San Francisco, which notice shall state that construction of the Project has been authorized by and is subject to the conditions of this Motion. From time to time, after the recordation of such notice, the Zoning Administrator shall affirm in writing the extent to which the conditions of this Motion have been satisfied.

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and no release, modification or elimination of these restrictions shall be valid unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco; except that in the event that the zoning standards above are modified so as to be less restrictive and the uses herein restricted are thereby permitted and in conformity with the provisions of the Planning Code, this document would not longer be in effect and would be null and void.

Dated: 12/8/00 at San Francisco, California.

Carey Davis

This signature(s) must be acknowledged by a notary public before recordation; add Notary Public Certification and Official Notarial Seal.

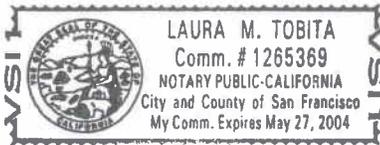
CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
County of San Francisco } ss.

On Dec 8, 2000, before me, Laura M. Tobita,
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")
personally appeared Carey Field Davis,
Name(s) of Signer(s)

personally known to me
 proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Laura M. Tobita
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Notice of Special Restrictions Under The Planning Code
Document Date: 12/8/00 Number of Pages: 6

Signer(s) Other Than Named Above: none

Capacity(ies) Claimed by Signer

- Signer's Name: _____
 Individual
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Attorney in Fact
 Trustee
 Guardian or Conservator
 Other: _____

Signer Is Representing: Self



EXHIBIT A

PROPERTY DESCRIPTION

Title of said estate or interest at the date hereof is vested in:
PRESIDIO HILL SCHOOL, A CALIFORNIA CORPORATION

The estate or interest in the land hereinafter described or referred to covered by this Report is A FEE.

The land referred to in this Report is situated in the State of California, City and County of San Francisco, and is described as follows:

BEGINNING at a point on the Southerly line of Washington Street distant thereon 60 feet Westerly from the Westerly line of Maple Street; running thence Westerly along said line of Washington Street 106 feet 6 inches; thence at a right angle Southerly 123 feet 2-1/2 inches, more or less, to a line drawn from a point on the Easterly line of Cherry Street distant thereon 89 feet 4 inches Southerly from the Southerly line of Washington Street to a point on the Westerly line of Maple Street distant thereon 146 feet 2 inches Southerly from the Southerly line of Washington Street; running thence Southeasterly along said line 47 feet; more or less, to a point perpendicularly distant 120 feet Westerly from the Westerly line of Maple Street; thence Northerly parallel with said line of Maple Street 39 feet 8 inches, more or less, to a point perpendicularly distant 90 feet Southerly from the Southerly line of Washington Street; thence at a right angle Easterly 60 feet; thence at a right angle Northerly 90 feet, to the point of beginning.

BEING a portion of Western Addition Block No. 844.

FILE NO. 000906

MOTION NO. MOO-54

1 [Zoning Appeal]

2 DISAPPROVING DECISION OF THE PLANNING COMMISSION BY ITS MOTION NO. 15031
3 APPROVING CONDITIONAL USE APPLICATION NO. 99.385C ON PROPERTY LOCATED AT 3839
4 WASHINGTON STREET, SOUTH SIDE BETWEEN MAPLE AND CHERRY STREETS; APPROVING
5 CONDITIONAL USE APPLICATION NO. 99.385C RELATED TO 3839 WASHINGTON STREET,
6 SUBJECT TO THE CONDITIONS IMPOSED BY THE PLANNING COMMISSION IN ITS MOTION
7 NO. 15031, AND FURTHER SUBJECT TO ADDITIONAL CONDITIONS IMPOSED BY THE BOARD
8 OF SUPERVISORS AS SET FORTH HEREIN, AND ADOPTING FINDINGS PURSUANT TO
9 PLANNING CODE SECTION 01.1.

10
11 MOVED, That the decision of the Planning Commission by its Motion No. 15031 dated April 13,
12 2000, approving Conditional Use Application No. 99.385C to develop an addition to a primary and middle
13 school (Presidio Hill School) of approximately 9,280 square feet on the existing school property, including
14 renovating the existing two-story building of approximately 7,000 square feet, adding a third
15 floor/penthouse of approximately 2,200 square feet and constructing a new building, one-story over
16 basement, of approximately 7,600 square feet, with a rooftop play area in the area of the existing play yards
17 in an RH-1 (Residential, House Districts, One-Family) with a 40-X Height and Bulk District, on property
18 located at:

19 3839 Washington Street, south side between Maple and Cherry Streets;

20 Lots 1A, 24 and 25, Assessor's Block 0992

21 and the same is disapproved; and, be it

22
23 FURTHER MOVED, That the Board of Supervisors approves Conditional Use Application No.
24 99.385C on property located at 3839 Washington Street, subject to the following conditions:

25 To the extent these conditions impose grater restrictions on the School than the conditions imposed

1 by the Permit, these conditions shall control.

2 1. The Board of Supervisors imposes the conditions imposed by the Planning Commission in its
3 Motion No. 15031.

4 2. The Board of Supervisors further imposes the following conditions.

5 a. Weekend daytime events shall be limited to five per year.

6 b. Outdoor amplification shall be limited to three daytime events with advance notice to the
7 neighbors of these three events delivered by mail or by hand to residents of the entire block bounded by
8 Washington, Cherry, Clay and Maple Streets, as well as the south side of the 3700 block of Jackson Street.

9 c. No advertising banners visible to the street will be placed on school property except for up to
10 five banners per year announcing school events for no more than seven days each.

11 d. The current commercial White Zone shall not be extended without the consent to PHAN.

12 e. Construction is not permitted on Saturdays, except in response to a bona fide emergency or
13 by order of the Department of Building Inspection

14 f. During excavation, the contractor will prohibit the lining up of dump trucks on Washington
15 Street.

16 g. The school shall be limited to its current year (year 2000) number (5) of F area parking
17 permits for faculty staff and administrators.

18 h. The school will make no application for physical expansion of the building envelope on the
19 current site for a period of fifteen years from the completion of the proposed project except as may be
20 required by law.

21 i. The school shall submit an annual report to the Zoning Administrator by July 1st for the
22 previous school year, beginning with the 2002-2003 school year and for a period of 10 years reporting the
23 annual enrollment and number and type of weekend and evening events held during the calendar year.
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The foregoing additional conditions shall have no force or effect until the statute of limitations for the filing of any litigation or other administrative challenge to any aspect of that certain Conditional Use Permit approved pursuant to City Planning Commission Motion No. 15031, April, 13, 2000 ("the Permit") pursuant to Code of Civil Procedure §1094.6 or California Environmental Quality Act Guidelines §15112 shall have expired without any challenge having been filed concerning the Permit.

////////



City and County of San Francisco

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

Tails
Motion

File Number: 000906

Date Passed: June 5, 2000

Motion disapproving decision of the Planning Commission by its Motion No. 15031 approving Conditional Use Application No. 99.385C on property located at 3839 Washington Street, south side between Maple and Cherry Streets; approving Conditional Use Application No. 99.385C related to 3839 Washington Street, subject to the conditions imposed by the Planning Commission in its Motion No. 15031, and further subject to additional conditions imposed by the Board of Supervisors as set forth herein;" and adopting findings pursuant to Planning Code Section 101.1.

June 5, 2000 Board of Supervisors — AMENDED

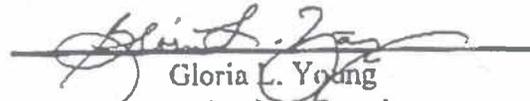
Ayes: 10 - Ammiano, Becerril, Bierman, Brown, Katz, Kaufman, Leno, Newsom, Yaki, Yee
Absent: 1 - Teng

June 5, 2000 Board of Supervisors — APPROVED AS AMENDED

Ayes: 10 - Ammiano, Becerril, Bierman, Brown, Katz, Kaufman, Leno, Newsom, Yaki, Yee
Absent: 1 - Teng

File No. 000906

I hereby certify that the foregoing Motion
was APPROVED AS AMENDED on June 5,
2000 by the Board of Supervisors of the City
and County of San Francisco.


Gloria L. Young
Clerk of the Board



City and County of San Francisco

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

Tails Motion

File Number: 001092

Date Passed: June 12, 2000

Motion adopting findings related to the appeal of the Planning Commission's approval of Conditional Use Application No. 99.385C, allowing the development of an addition to a primary and middle school (Presidio Hill School) of approximately 9,820 square feet on the existing school property, including renovating the existing two-story building of approximately 7,000 square feet, adding a third floor/penthouse of approximately 2,220 square feet, and constructing a new building, one-story over basement, of approximately 7,600 square feet, with a rooftop play area in the area of the existing play yard, the school being in an RH-1 (Residential, House Districts, One-Family) with a 40-X Height and Bulk District, on property located at 3839 Washington Street, south side between Maple and Cherry Streets; Lots 1A, 24 and 25, in Assessor's Block 0992.

June 7, 2000 Board of Supervisors — REFERRED: Board of Supervisors

June 12, 2000 Board of Supervisors — APPROVED

Ayes: 8 - Ammiano, Becerril, Kaufman, Leno, Newsom, Teng, Yaki, Yee

Absent: 3 - Bierman, Brown, Katz