



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: AUGUST 15, 2013

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: August 8, 2013
Case No.: **2013.0757D**
Project Address: **300 WINFIELD STREET**
Permit Application: 2013.0322.2868
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Bernal Heights Special Use District
Block/Lot: 5671 / 001
Property Owner: Lee & Nicole Horner
300 Winfield Street
San Francisco, CA 94110
DR Requestor: Arnold & Melinda Burgener
301 Prospect Avenue
San Francisco, CA 94110
Staff Contact: Erika Jackson – (415) 588-6363
erika.jackson@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposed scope of work is to construct a new roof deck on top of a 2 story addition at the rear of the single-family dwelling. The proposed roof deck would measure approximately 21.5 by 12 feet with a 42 inch open wood railing. The existing single family dwelling is partially located within the required rear yard and is therefore considered a legal noncomplying structure. No expansion of the building envelope is proposed under this permit.

SITE DESCRIPTION AND PRESENT USE

The Project site at 300 Winfield Street is located on the northwest side of Winfield Street, along the Eugenia Avenue public right-of-way staircase and is developed with an 1,150 square foot two-story above garage single-family dwelling. The subject lot contains approximately 1,750 square-feet with approximately 25 feet of frontage along Winfield Street and 70 feet of frontage along the Eugenia Avenue public right-of-way staircase.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project site is located within an RH-2 (Two-Family Residential) District situated within the Bernal Heights Special Use District. Land uses in the immediate vicinity of the site are typical of an RH-2 District with primarily residential uses. Most of the buildings in the vicinity are two or three stories tall. Ground level open space and landscaping at the front and rear are usually abundant. The subject lot is located on a block bounded by Winfield Street, Eugenia Avenue, Prospect Avenue, and Cortland Avenue. The subject lot is a steeply downsloping lot towards Prospect Avenue.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
Deck Notice	10 days	May 17, 2013 – May 28, 2013	May 28, 2013	August 15, 2013	79 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	August 5, 2013	August 5, 2013	10 days
Mailed Notice	10 days	August 5, 2013	August 5, 2013	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	1	1	0
Other neighbors on the block or directly across the street	0	4	0
Neighborhood groups	0	0	0

- Adjacent neighbor at 301 Prospect Avenue (DR Requestor) is opposed to the project as proposed.
- Adjacent neighbor at 302 Winfield Street is in support of the project with open railings on all sides of the deck.
- 4 neighbors along Prospect Avenue downhill from subject lot have submitted letters in opposition of the proposed project.

DR REQUESTOR

Arnold and Melinda Burgener, 301 Prospect Avenue, San Francisco, CA 94110 – located downhill and adjacent to the subject lot along the rear property line.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated May 28, 2013.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated July 10, 2013.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Discretionary Review Requestor and the Project Sponsor's properties are separated by the rear yards. The distance within the two rear yards is significant enough to act as a buffer between the two buildings per the Residential Design Guidelines pages 25-27. There is no unusual privacy impact; reasonable loss of privacy is expected from a dense living environment like San Francisco. There are no exceptional or extraordinary circumstances.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed
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Attachments:

- Block Book Map
- Sanborn Map
- Zoning Map
- Height & Bulk Map
- Aerial Photographs
- Context Photographs
- Deck Notice
- DR Application
- Response to DR Application dated July 10, 2013
- DR Requestor Response
- Letters in Opposition
- Reduced Plans

ESJ: G:\DOCUMENTS\Projects\DR\Winfield 300\DR - Abbreviated Analysis.doc

Parcel Map



DR REQUESTOR

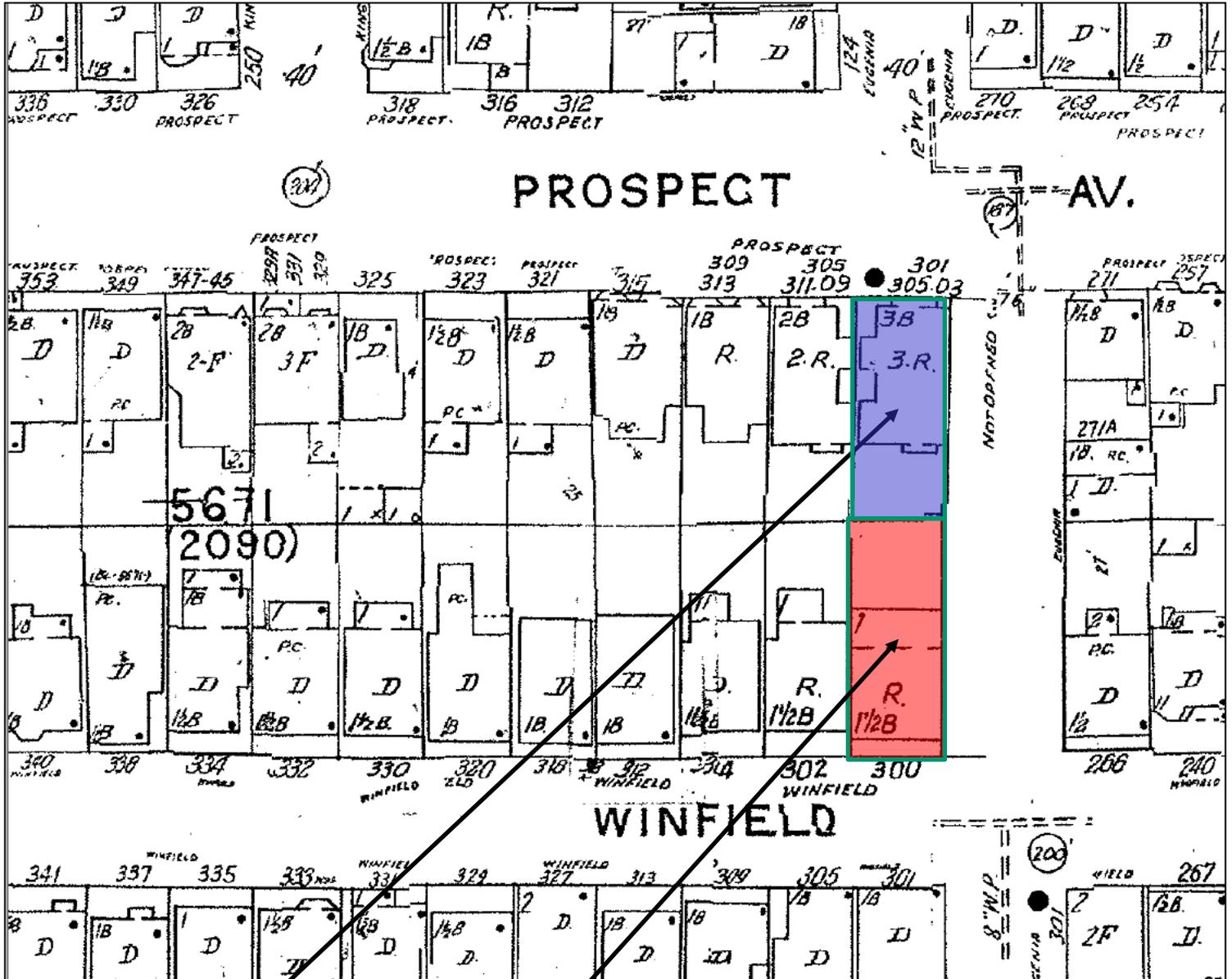
SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0757D
300 Winfield Street
5671 / 001

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



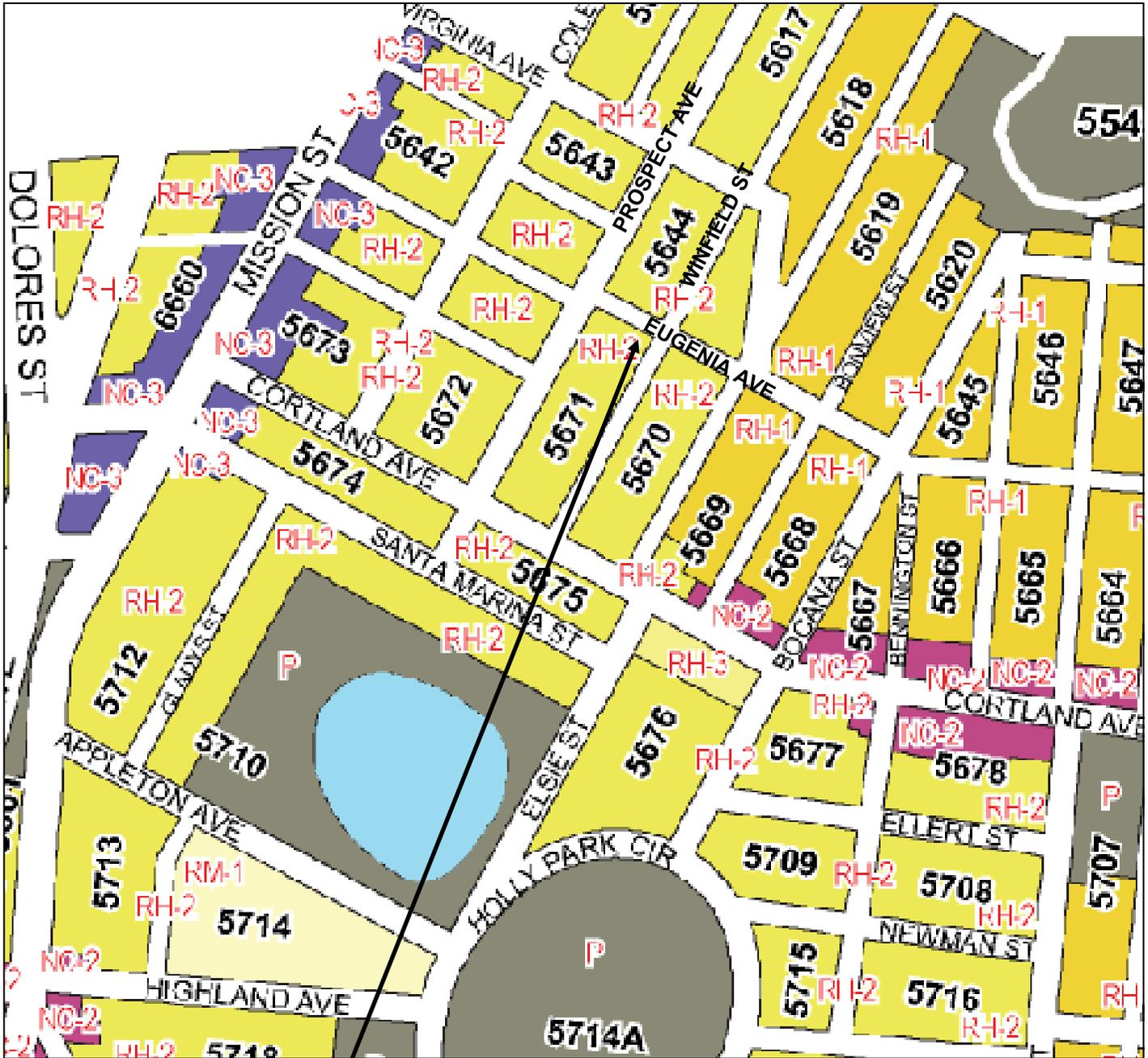
DR REQUESTOR

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0757D
300 Winfield Street
5671 / 001

Zoning Map

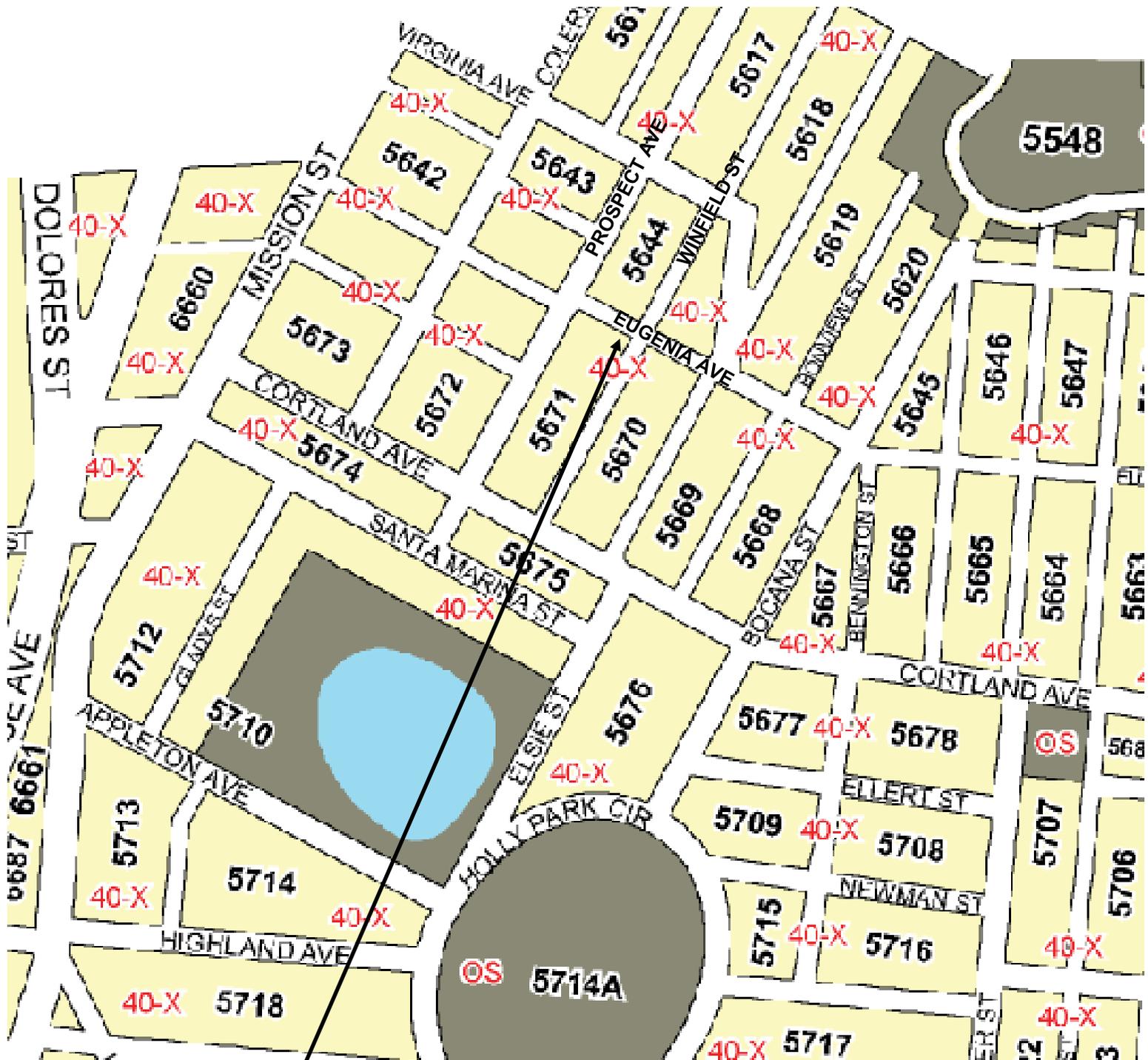


SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0757D
300 Winfield Street
5671 / 001

Height & Bulk Map



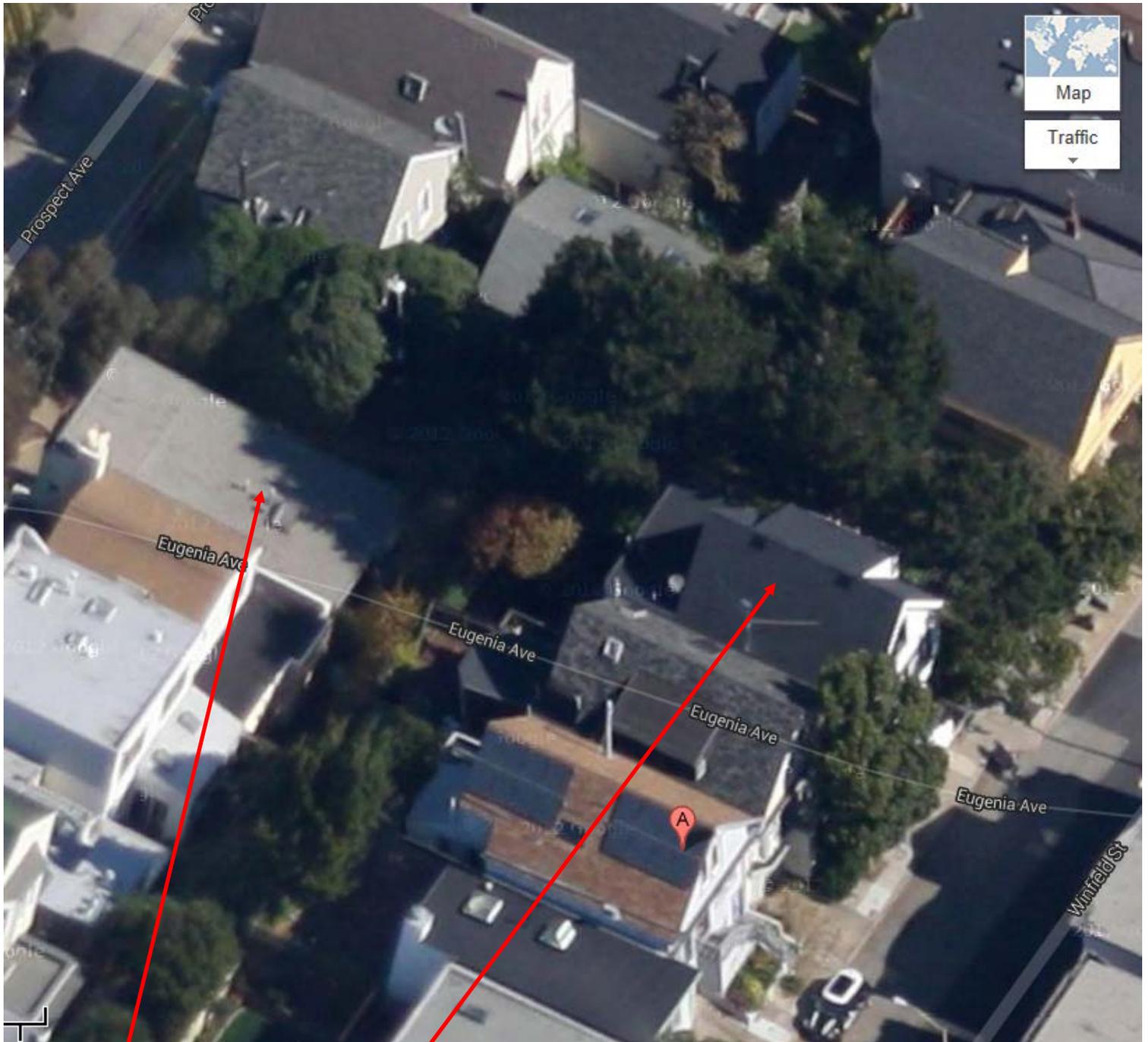
SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0757D
300 Winfield Street
5671 / 001

Aerial Photograph

Looking North



DR REQUESTOR

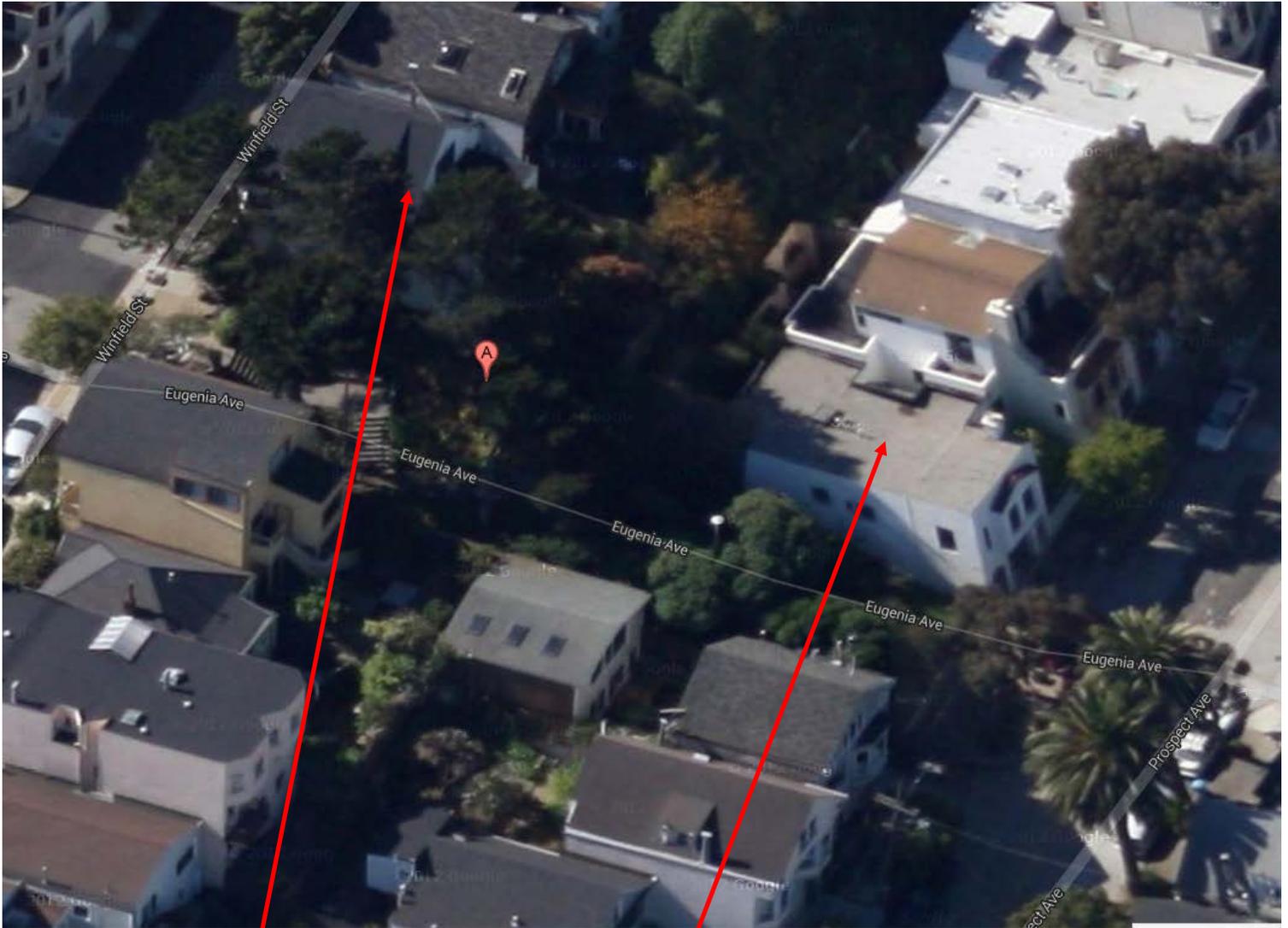
SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.0757D
300 Winfield Street
5671 / 001

Aerial Photograph

Looking South



SUBJECT PROPERTY

DR REQUESTOR



Discretionary Review Hearing
Case Number 2013.0757D
300 Winfield Street
5671 / 001

Site Photograph



Image Date: February 2014

Report a problem





SAN FRANCISCO PLANNING DEPARTMENT

Notice of Proposed Approval

Deck on a Noncomplying Structure

May 17, 2013

Erika S. Jackson
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

To Whom It May Concern:

RE: 300 Winfield Street (Address of Permit Work)
5671 / 001 (Assessor's Block/Lot)
2013.03.22.2868 (Building Permit Application Number)

This letter is to inform you that the Planning Department received a Building Permit Application to construct a roof deck on a noncomplying structure for the property located at 300 Winfield Street. This letter serves as the required 10-day notice for adding decks onto noncomplying structures, per the Zoning Administrator's interpretation of Planning Code Section 188 made in February, 2008.

The proposed scope of work is to construct a new roof deck on top of the existing 2 story addition at the rear of the existing single family dwelling. The proposed roof deck would measure approximately 21.5 by 12 feet with a 42 inch open wood railing. The existing single family dwelling is partially located within the required rear yard and is therefore considered a legal noncomplying structure. No expansion of the building envelope is proposed under this permit.

If you would like to review the associated plans or have any questions about this application, please contact the assigned planner for this project, Erika S. Jackson, at (415) 558-6363 or erika.jackson@sfgov.org within 10 days from the date of this letter. This project will be approved by the Planning Department if no request for Discretionary Review is filed by the end of the 10-day noticing period, May 28, 2013.

Sincerely,

Erika S. Jackson, Planner
SE Team

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Fax:
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Planning
Information:
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Docket copy

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:		
Arnold and Melinda Burgener		
DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
301 Prospect Avenue	94110	(415) 826-1234
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:		
Lee and Nicole Horner		
ADDRESS:	ZIP CODE:	TELEPHONE:
300 Winfield Street	94110	(415) 519-4350
CONTACT FOR DR APPLICATION:		
Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE:
		()
E-MAIL ADDRESS:		
arnie@mac.com		

2. Location and Classification

STREET ADDRESS OF PROJECT:		ZIP CODE:		
300 Winfield Street		94110		
CROSS STREETS:				
Eugenia Street				
ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
5671 / 001	70x25.667 ft	1796	RH-2	RH-2/40-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: Roof

Proposed Use: Roof Deck

Building Permit Application No. 201303222868

Date Filed: 3/22/2013

RECEIVED

MAY 28 2013
CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Due to the 10-day neighborhood notification process that applies to this project, there was insufficient time to arrange for mediation after direct negotiations failed to produce any results.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please see supplemental sheet for response.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Please see supplemental sheet for response.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see supplemental sheet for response.

13.0757D

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: May 24, 2013

Print name, and indicate whether owner, or authorized agent:

Arnold and Melinda Burgener, Owners

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent <i>(owner) off 301 prospect</i>	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

- NOTES:
- Required Material.
 - Optional Material.
 - Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only
 Application received by Planning Department:

By: Isoken Amokaro

Date: 5-28-13

Response to Question 1:

This project is for a new exterior deck overlooking the rear yard of a three-story house. The deck occupies an existing flat roof approximately 12 x 21.5 feet that is part of a non-complying structure extending into the rear yard setback. The deck is accessible from the existing third floor master bedroom.

Our house at 301 Prospect Avenue adjoins the subject property along the rear lot line. The bedroom is located at the rear of the house. An existing fence, measuring 9 feet above grade, runs along the rear lot line and functions as an effective visual screen between back yards and serves to maintain the privacy of our bedroom.

We reviewed the design for the roof deck prior to its submittal to DBI and confirmed that the elevation of the roof deck is so high that the existing lot-line fence would not block views into our bedroom. We communicated our concerns to the project sponsor's architect about the negative impact the roof deck would have on the privacy of our bedroom. However, the final drawings submitted for approval included no design changes and incorporated no modifications to minimize privacy impacts. Subsequent negotiations with the project sponsor also failed to reach agreement on an effective modification.

The impact this project has on the privacy of our bedroom is consistent with situations for which the SF Residential Guidelines prescribes design modifications to minimize impacts on privacy (Site Design/Privacy: page 17).

Response to Question 2:

The circumstances of this project should have elicited a roof deck design sensitive to privacy concerns resulting in a design that incorporated measures to minimize privacy impacts on adjoining neighbors:

1. The principal views from the deck, along its full length of 21.5 feet, are oriented in the direction of downhill neighbors of which we are the nearest.
2. Its location on the uphill side of a steep slope and position on the third floor of the dwelling makes the roof deck appreciably higher than its downhill neighbors. Predictably, such a high vantage point creates views that look over existing fences and nullify their intended role as visual screens.
3. Small lots are typical of Bernal Heights and fences play an indispensable role in maintaining a measure of privacy between dwellings. Roof deck designs should be expected to respond to this pattern.
4. Most of us rank privacy in our bedrooms as an essential requirement. Losing the privacy of a bedroom is not the same as losing the privacy of other rooms. If this project goes ahead without modification, there will be no other space with less privacy in our house than the bedroom. In our case this has taken on additional significance since a serious illness requires frequent bed confinement for one of us. We don't think we should have to keep the shades down day and night in order to maintain our privacy. We believe this is an excessive price to accommodate a neighbor's roof deck.

5. Our rear fence is critical to maintaining the privacy of our backyard and, more importantly, the privacy of our bedroom. It has done so for more than thirty years. For many years the fence was only five feet high, but adequately served its function. Then, several years ago, we allowed our neighbors' contractor to stage the construction of a concrete retaining wall from our property along the rear lot line. That made it possible for our neighbors to raise the grade of their backyard by four feet but it also raised the height of the fence to 9 feet. The neighbors, whose landscaping project we facilitated, were the previous owners of 300 Winfield. Despite the new alterations, we still had a fence that functioned as a visual screen. However that came at the expense of increased shadowing of our backyard and so much less sunlight that our vegetable garden alongside the fence is no longer possible.
6. Were we to increase the height of the fence enough to block views from the proposed roof deck, it would need to be several feet higher than the 9 feet it now measures above grade. That would not only violate the fence height limit of the planning code but would again increase shadowing and diminish sunlight reaching the backyard. The consequence of raising the fence or planting a landscaping screen is to substitute one negative consequence for another. Having already accepted a significant loss of sunlight in order to accommodate our neighbors' improvements in the past, we think a more equitable and effective solution is to make design modifications to the roof deck itself.

Response to Question 3:

Original Design Goals:

The original design of the roof deck maximizes the roof deck area and uses an open railing to avoid obstructions and maximize views from the deck and the master bedroom. To achieve these goals, as well as qualify for a quicker 10-day neighborhood notification process, the design included no modifications addressing our privacy concerns. Were any of these goals relaxed, there are a variety of design modifications that effectively minimize the privacy impact of the proposed roof deck.

Modification Options:

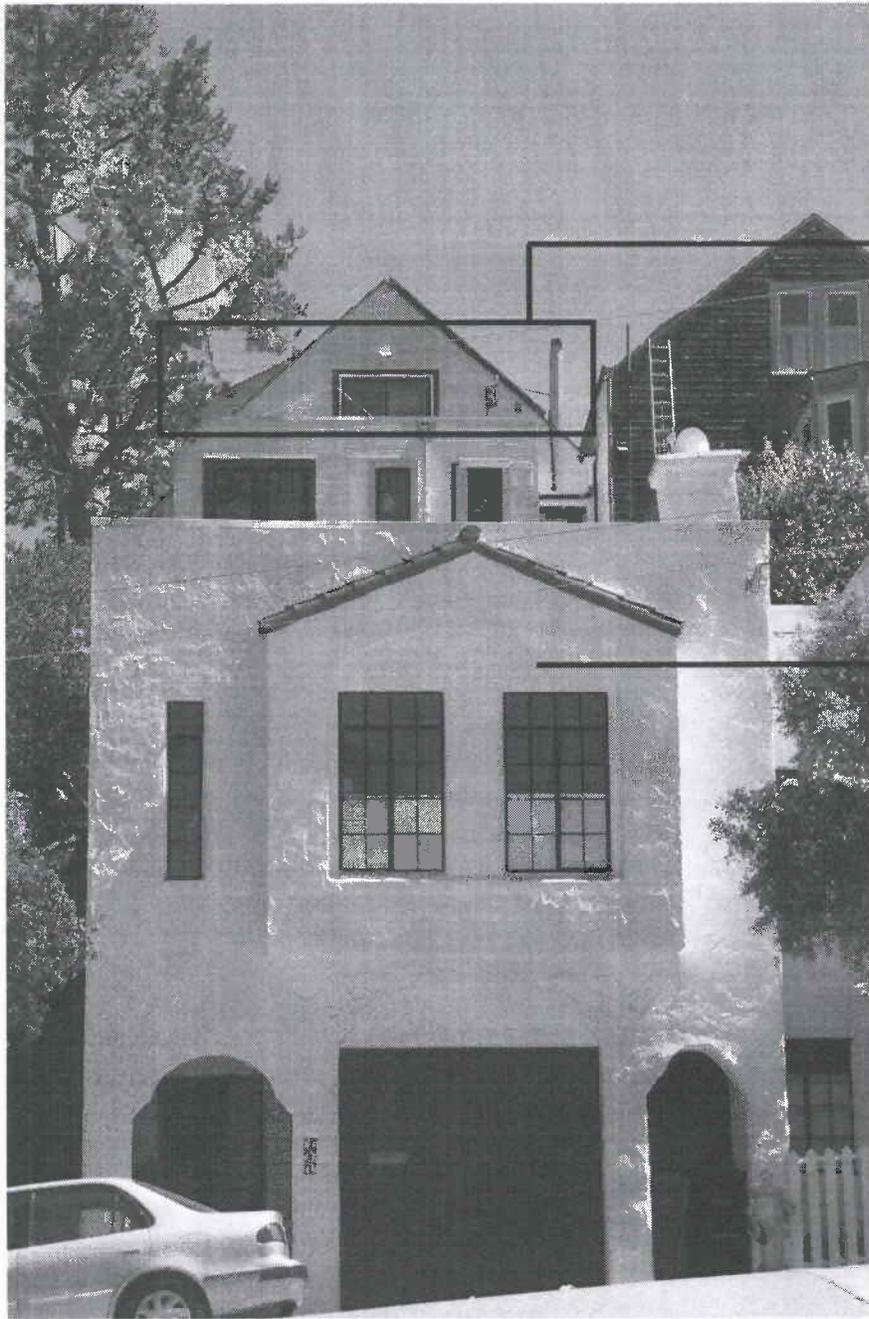
1. **5-Foot Railing Set-Back Modification:** Setting the railing back from the edge of the roof is an effective strategy because views that encroach on our privacy can be blocked by the existing 8 inch parapet (see detail A). A 5 ft setback from the parapet, verified on site, is sufficient to minimize encroaching views. Original design goals are preserved except for the area of the deck. The reduced roof deck measures approximately 21.5 by 7 feet, equal to 150 sf. This size should still be sufficient to fulfill the function of a roof deck serving a master bedroom. A five-foot setback also places the deck behind the rear-yard setback and qualifies for an over-the-counter approval.
2. **3-Foot Railing Set-Back + Parapet Modification:** Setting the railing back 3 feet from the edge of the roof increases the area of the roof deck by 30%, but is not sufficient for the existing 8 inch parapet to block views that encroach on privacy (see detail B). For this reason the parapet is raised 32 inches.
3. **Planter + Solid Railing Modification:** This modification employs a solid railing to raise the height of the parapet 32 inches in combination with a planter to create a 3 foot setback for the decking (see detail C). The combination of setback and solid railing is

Supplemental Sheet

13.07570

sufficient to block views that encroach on our privacy. Above 32 inches the railing changes to an open design. The idea for this modification was originally proposed by the project sponsor but later withdrawn.

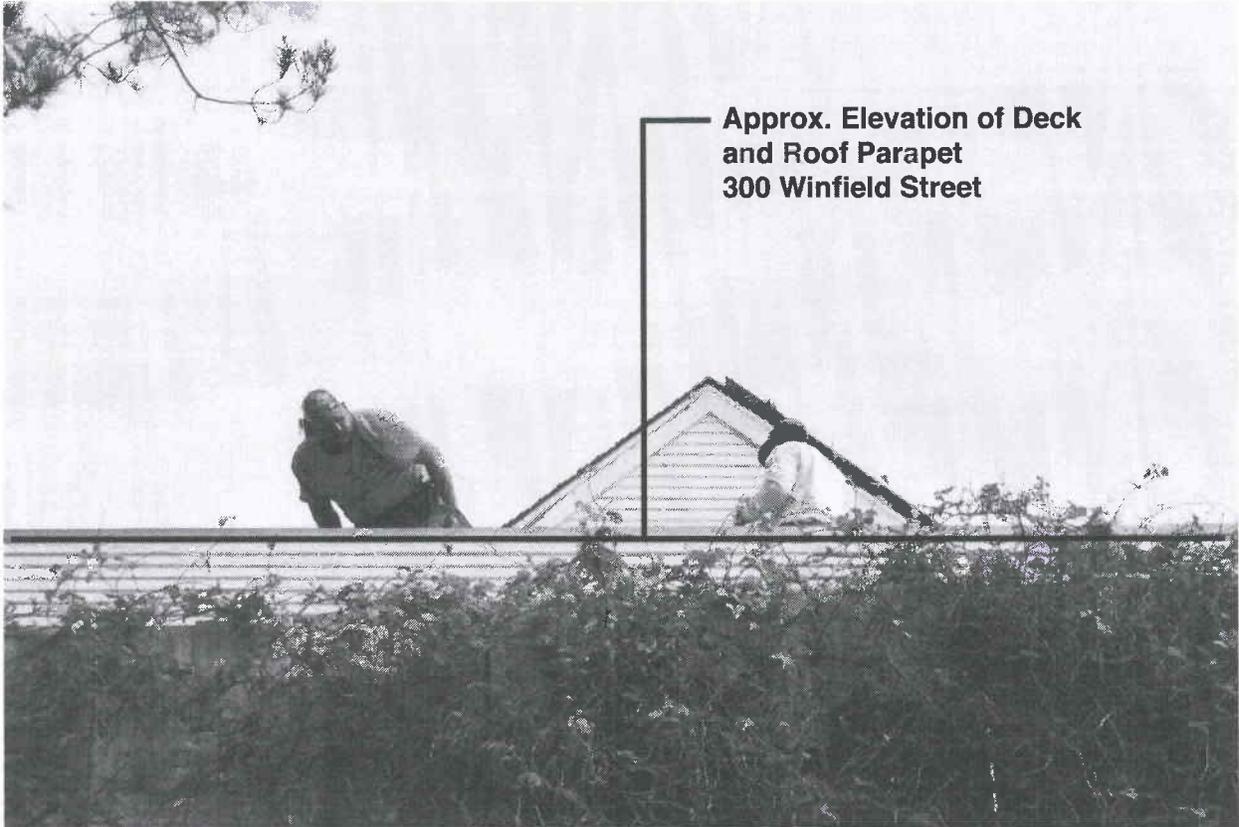
13.07570



**Proposed Roof Deck
Location
300 Winfield Street**

301 Prospect Avenue

PHOTOGRAPH 1
Point of View: Corner of Eugenia St. and
Prospect Avenue



PHOTOGRAPH 2
View from bedroom window of 301 Prospect Avenue showing workmen standing in location of proposed roof deck for 300 Winfield Street.

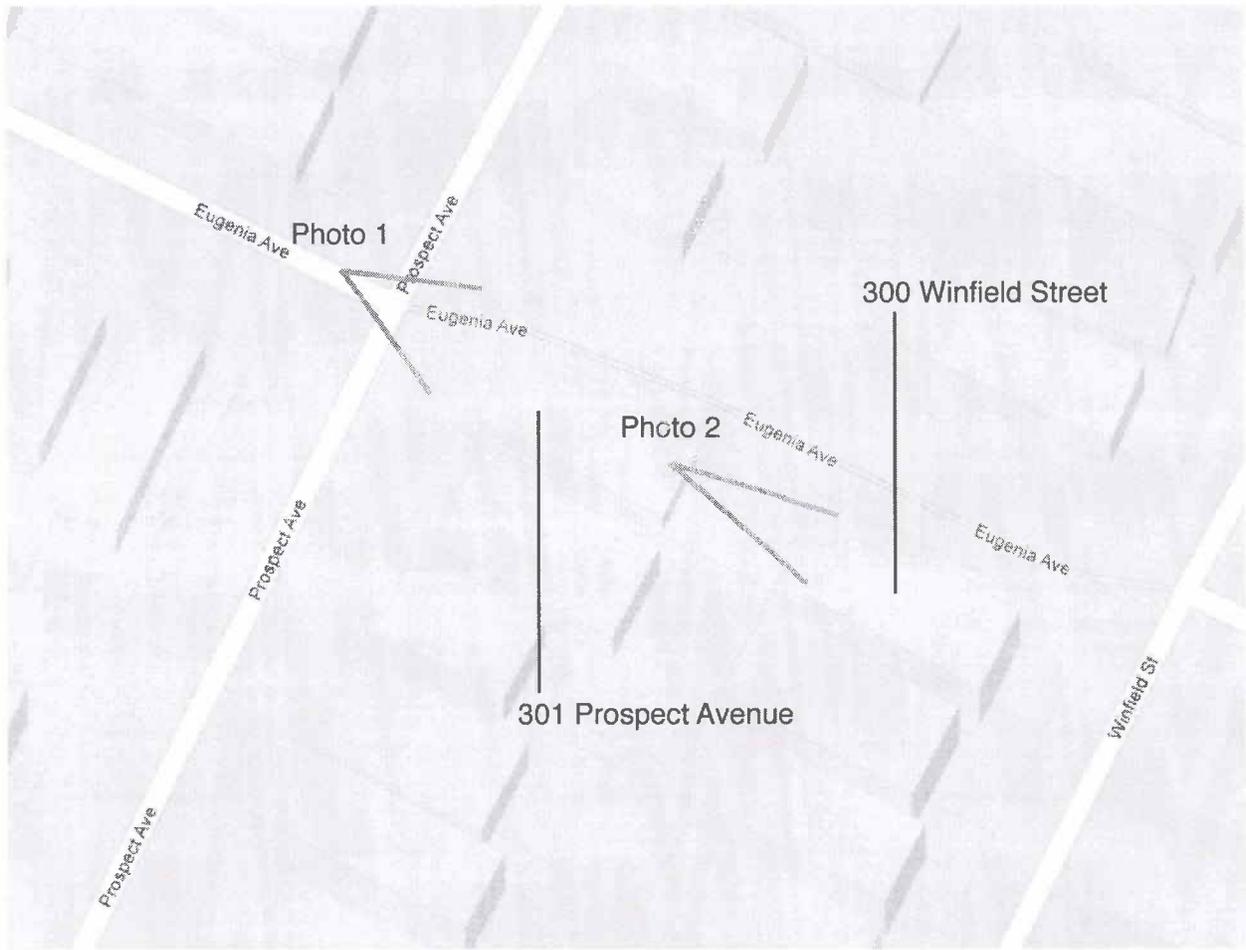
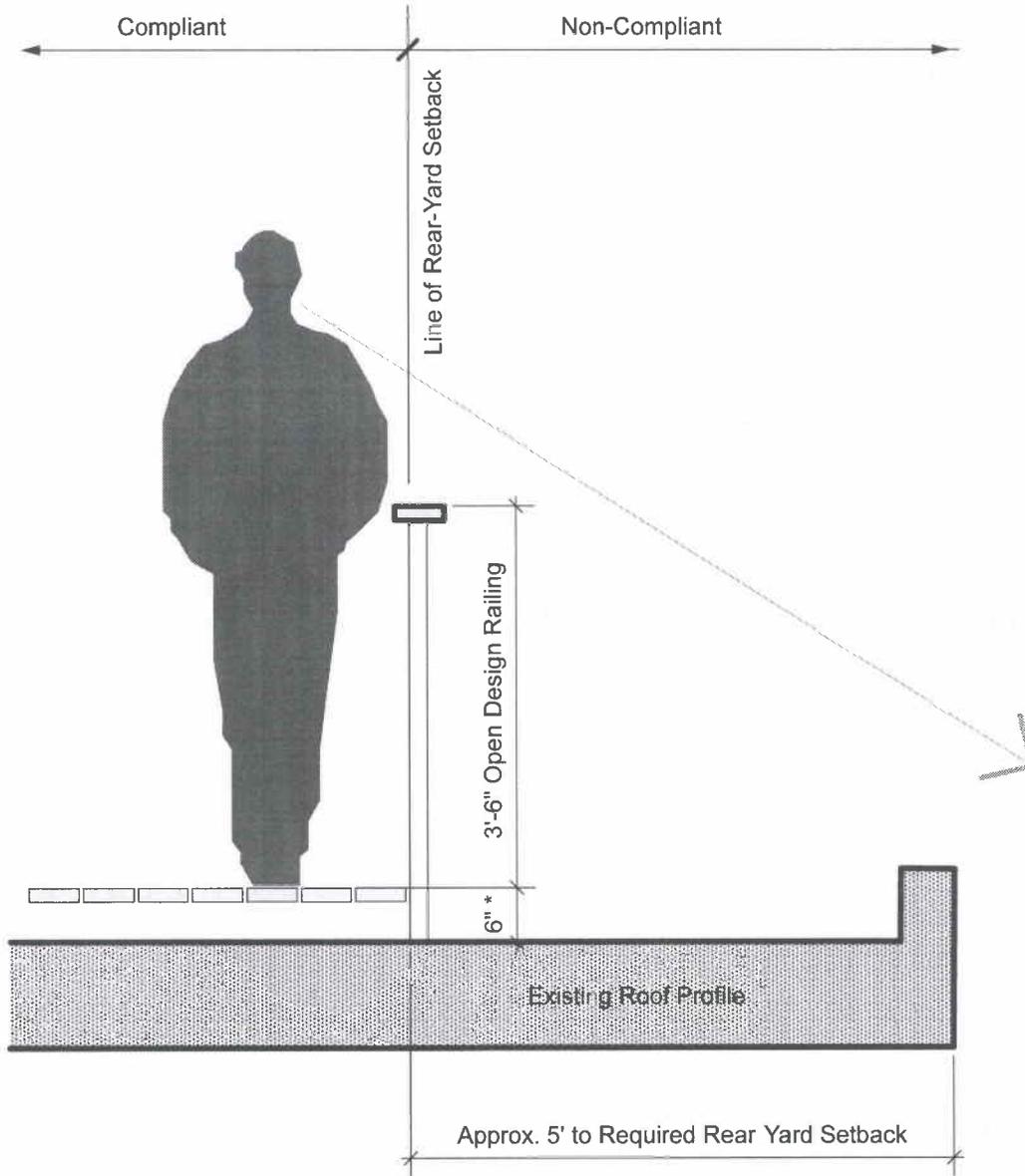
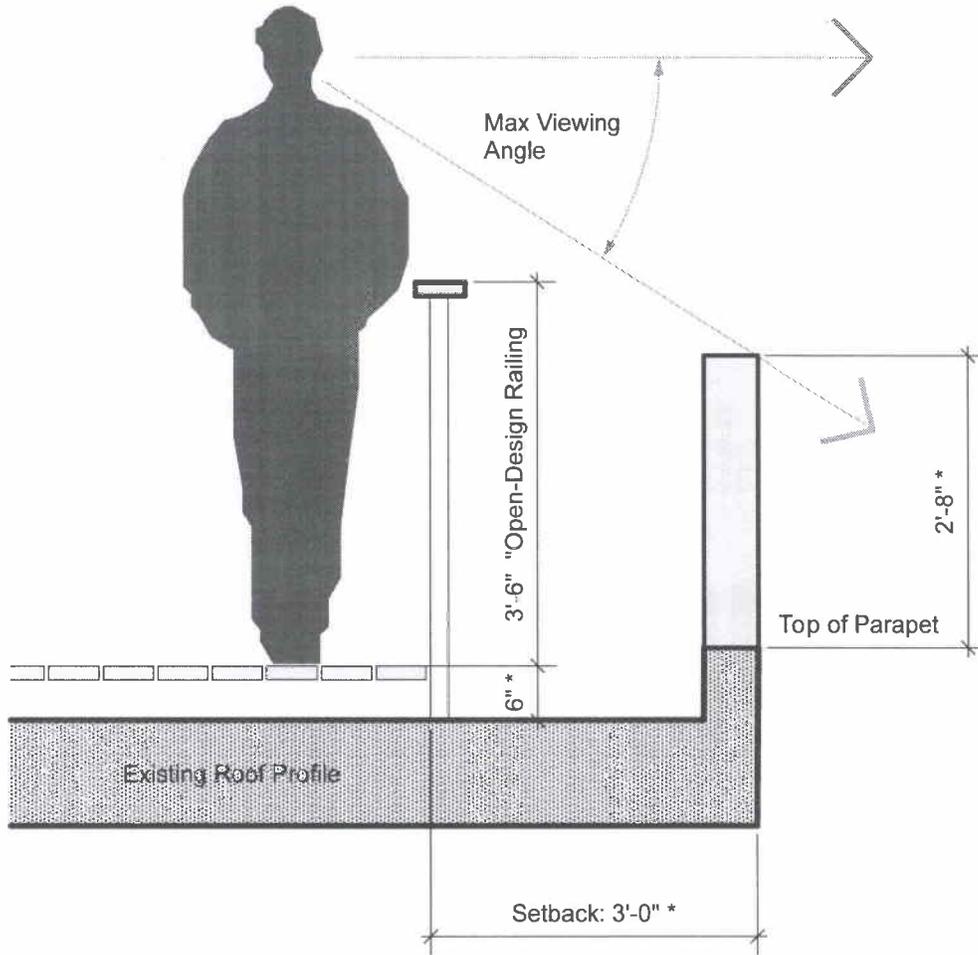


Photo Key Map



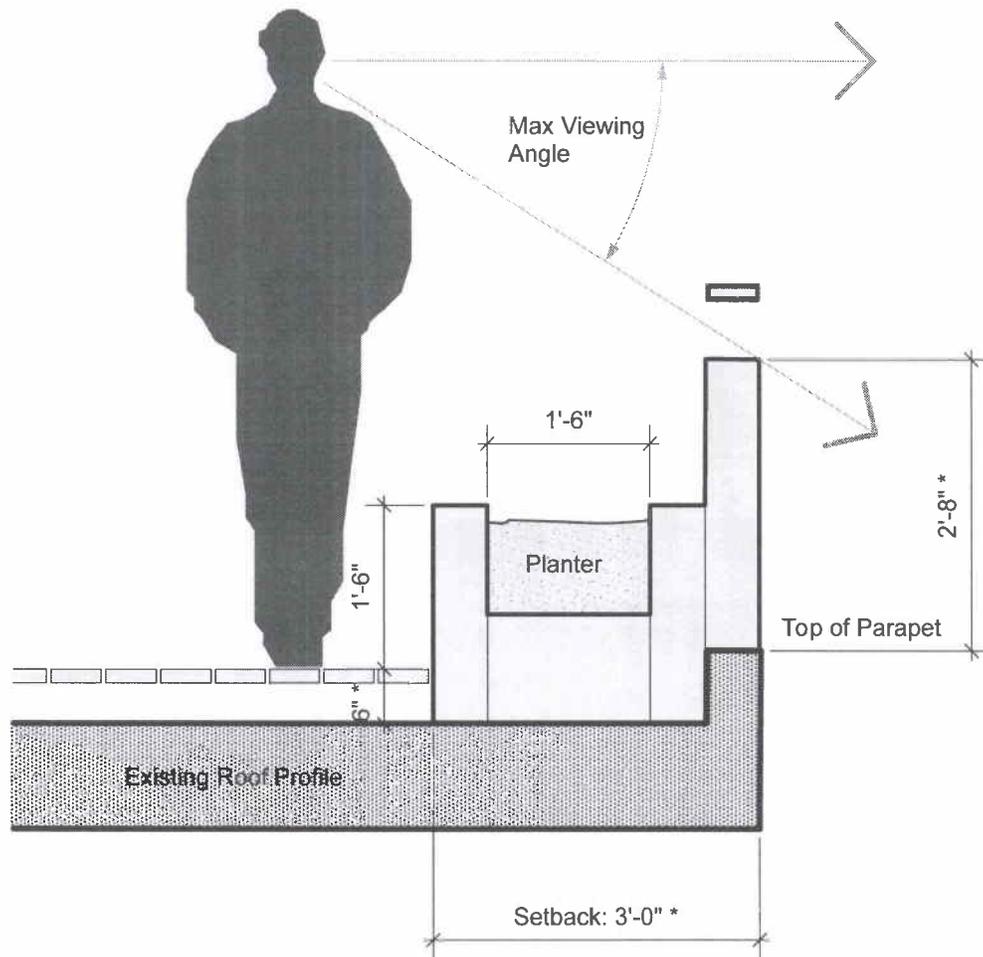
A Railing at Rear-Yard Setback / No Parapet



* Note: Asterisks indicates negotiated dimensions. Other dimensions are optional.

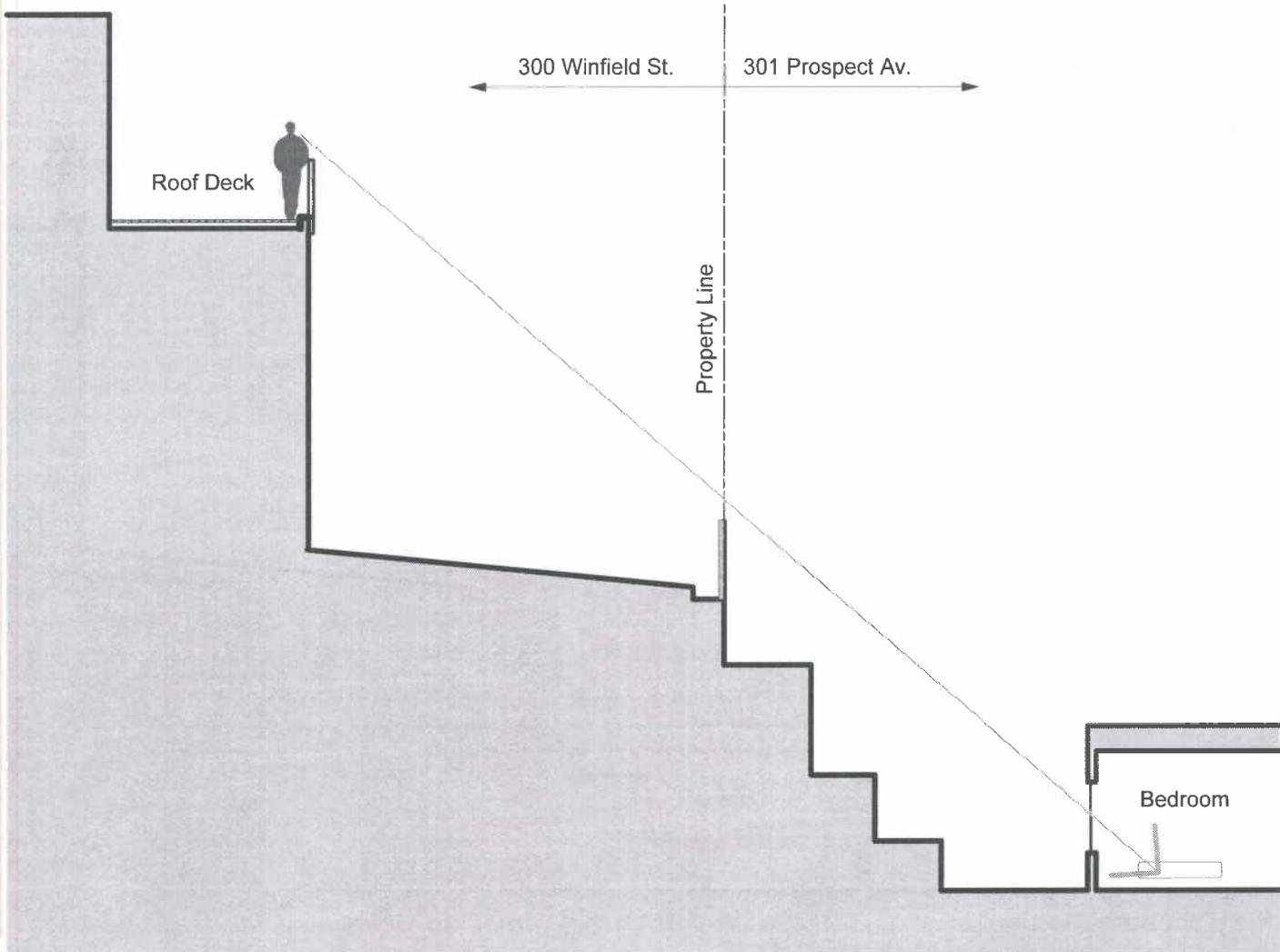
B 3' Railing Setback + Parapet

13.07570



* Note: Asterisks indicates negotiated dimensions. Other dimensions are optional.

C Planter + Parapet



Sight-Line Section

13.0757D

Block # 5671 Lot # 36
Arnold and Melinda Burgener
301 Prospect Avenue
San Francisco, CA 94110

Block # 5671 Lot# 35
Barbara Arbucci & Evelyn Rankin
305 Prospect Avenue
San Francisco, CA 94110

Block # 5671 Lot #2
Jose and Laurel Muniz
302 Winfield Street
San Francisco, CA 94110

Block# 5671 Lot# 001
Lee and Nicole Horner
300 Winfield Street
San Francisco, CA 94110

13.07570



SAN FRANCISCO PLANNING DEPARTMENT

RESPONSE TO DISCRETIONARY REVIEW

Case No.: 13.0757D

Building Permit No.: 2013-03-222868

Address: 300 Winfield

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Project Sponsor's Name: Architect Mason Kirby Inc.

Telephone No.: 415-867-5357 (for Planning Department to contact)

- Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.

The proposed roof deck is positioned off a private bedroom which is not accessible to the public areas of the house. The deck functions to maximize the use of the limited space of the sloped rear yard, while providing access and enjoyment to the view of our city. The DR requestor's bedroom window in question covers a small portion and is located well outside a 30 degree cone of view (attachment #2). We understand the importance of privacy, and have offered options to reinforce their privacy.

- What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

Multiple attempts at direct negotiations were made with the neighbors. They were invited to view and walk the location of the roof deck without asking for reciprocation. All of our attempts failed to produce a successful result at multiple stages of the process. See supplemental attachment #3. We propose no changes to the deck, but are willing to compromise on a 22" extension to the height of the existing fence. As per the Planning Department's Fence Handout, a max height of 10' is allowed. We are proposing a 22" fence extension that is below that requirement. See supplemental attachment #3, #5 and #6. In considering their concerns over light and privacy we believe that a 22" height addition of a trellis or a translucent privacy screen on the fence would maximize their existing privacy, and allow sunlight to penetrate through the weave. Alternatively, we propose a 22" solid fence extension, should the DR Requestor prefer.

- If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The client has minimal rear yard space, which is located at a slope. This has been acknowledged by the DR requestor. The roof deck would provide the client with maximum use of their property, and the proposed 22" height addition on the fence will provide privacy. The DR Requestor may choose between a 22" solid extension of the fence, or a 22" lattice extension, see Supplemental Attachment #6. We believe this is a fair compromise, and the client is willing to pay for the addition at no cost to their neighbor.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit –additional kitchens count as additional units)	<u>1</u>	<u>1</u>
Occupied stories (all levels with habitable rooms) ...	<u>3</u>	<u>3</u>
Basement levels (may include garage or windowless storage rooms)	<u>0</u>	<u>0</u>
Parking spaces (Off-Street)	<u>1</u>	<u>1</u>
Bedrooms	<u>0</u>	<u>0</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas....	<u>1887</u>	<u>1887</u>
Height	<u>32'-4"</u>	<u>32'-4"</u>
Building Depth	<u>45'-4"</u>	<u>45'-4"</u>
Most recent rent received (if any)	<u>n/a</u>	<u>n/a</u>
Projected rents after completion of project	<u>n/a</u>	<u>n/a</u>
Current value of property	<u>\$1,013,000.00</u>	<u>\$1,013,000.00</u>
Projected value (sale price) after completion of project (if known)	<u> </u>	<u> </u>

I attest that the above information is true to the best of my knowledge.

Signature	Date	Name (please print)
-----------	------	---------------------

Supplemental Attachment # 1
Summary of Correspondence
Per project sponsor

We met with Melinda and Arnold, the DR requestors, on our roof on April 11th and May 18th. Email exchanges began April 30th.

Our compromise was a 3' setback of the deck with the option of raising the fence with or without some kind of trellis. Another option we proposed was the use of bamboo.

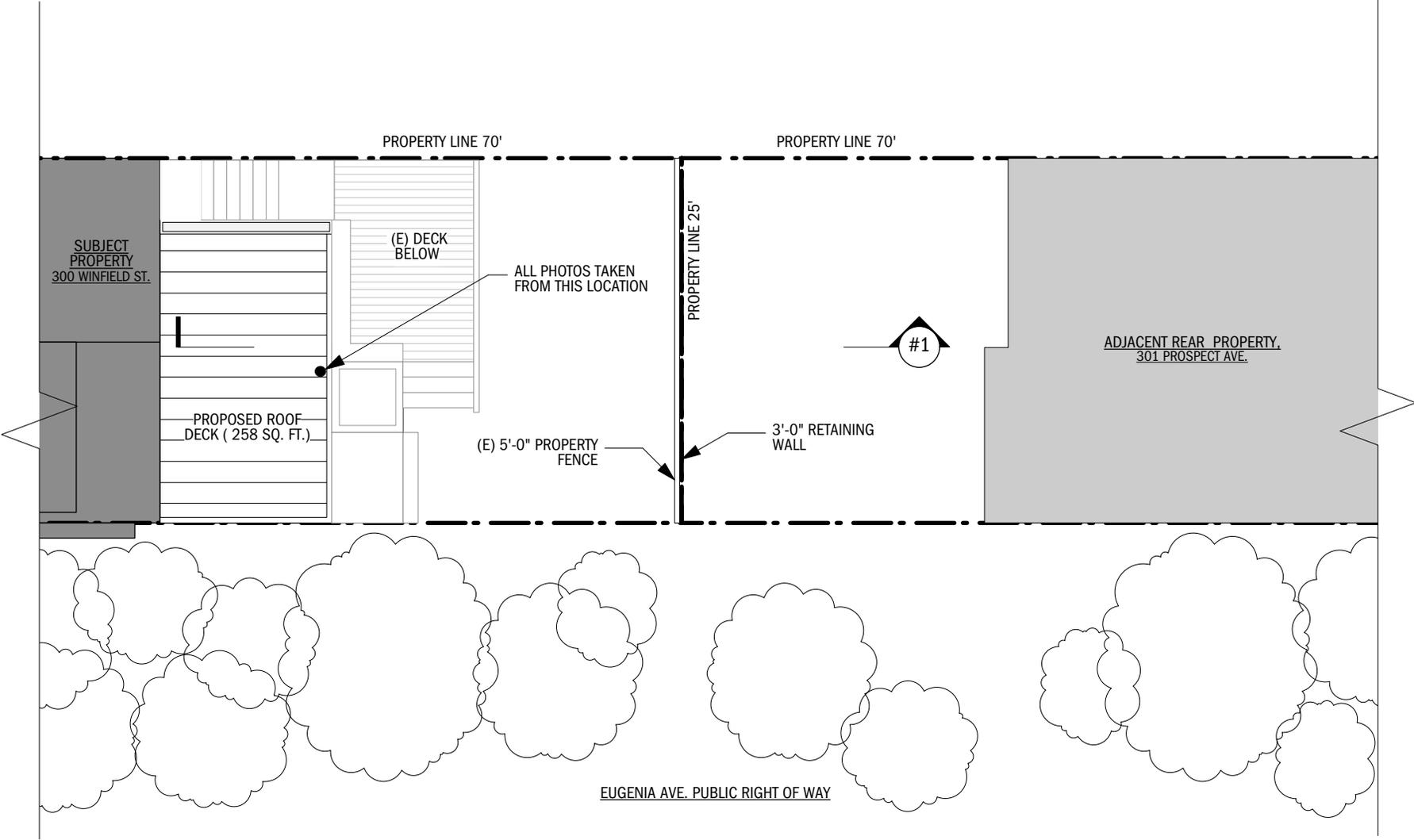
I disagree with the statement in the DR supplemental sheet (pages 2 and 3):

"...raise the height of the parapet 32 inches ... create a 3 foot setback for the decking (see detail C). ... The idea for this modification was originally proposed by the sponsor and withdrawn."

This idea was never proposed (and therefore never withdrawn). On May 14th I sent an email to the DR requestor with the following suggestion.

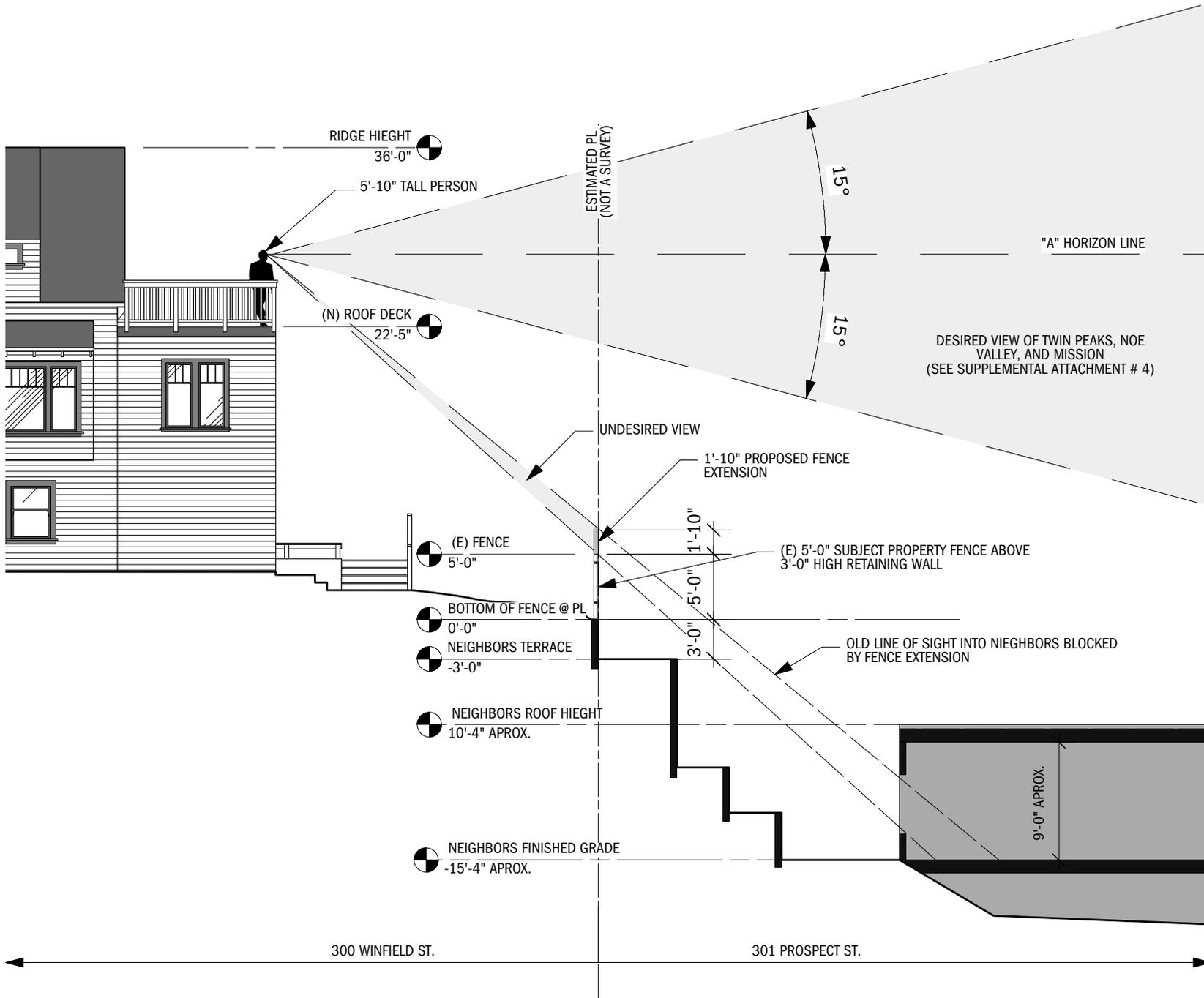
"I am sorry if I was not being clear in the my previous email. We do not think these ideas need to be considered in isolation to each other. A trellis in combination with planter to offer setback in combination with Plexiglas could address your concerns."

We met on May 18th without reaching an agreement on the dimensions of any setback/planters. If there was any misunderstanding regarding our email, it was not brought to our attention by the DR requestor. During our meeting the solution stated in the DR supplemental sheets 2 and 3, was not offered or discussed.



300 WINFIELD ST.
SAN FRANCISCO, CA

SUPPLEMENTAL ATTACHMENT # 2, SITE PLAN
SCALE: 3/32" = 1'-0"
7/8/2013



300 WINFIELD ST.
SAN FRANCISCO, CA

SUPPLEMENTAL ATTACHMENT # 3, SITE SECTION
SCALE: 3/32"=1'-0"
7/8/2013



"A" HORIZON LINE

301 PROSPECT WINDOWS IN QUESTION

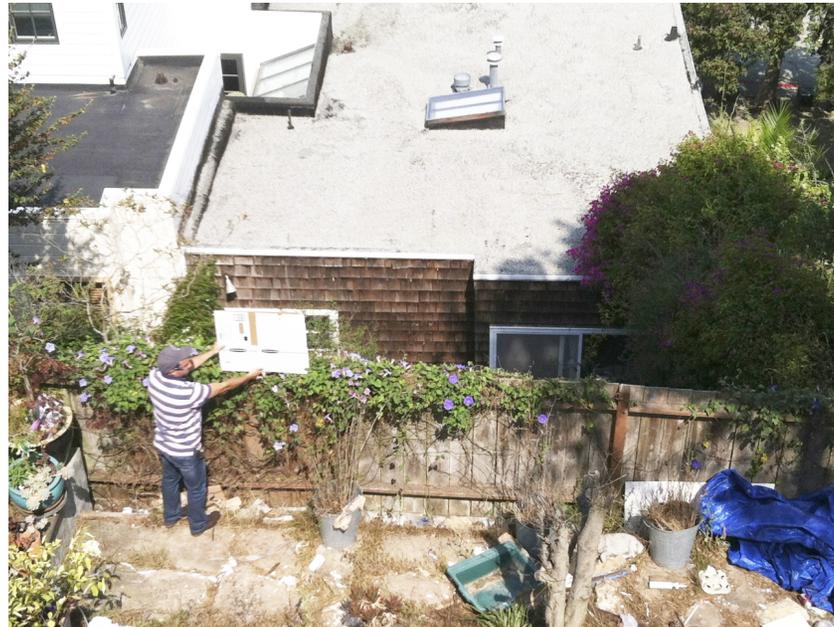
PANORAMIC VIEW FROM EDGE OF ROOF SHOWING DESIRED VIEW



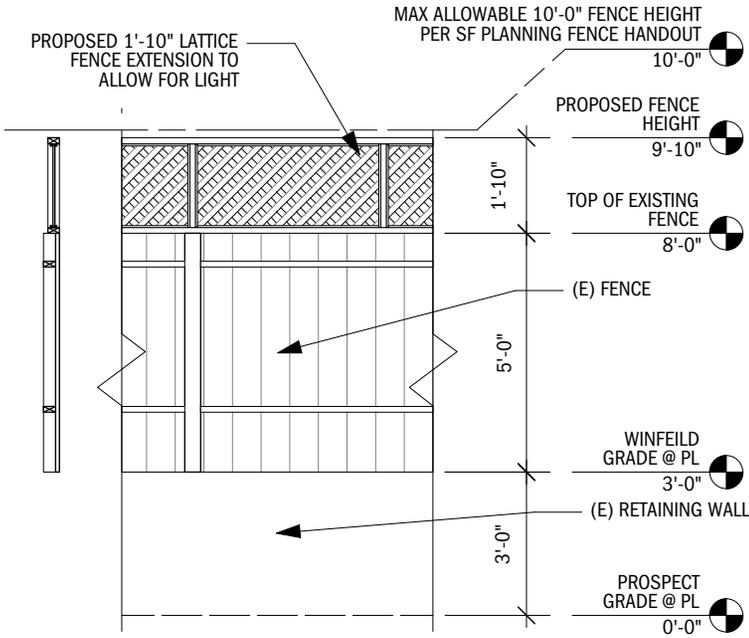
PHOTO SHOWING SCREEN TO BE 22" WIDE



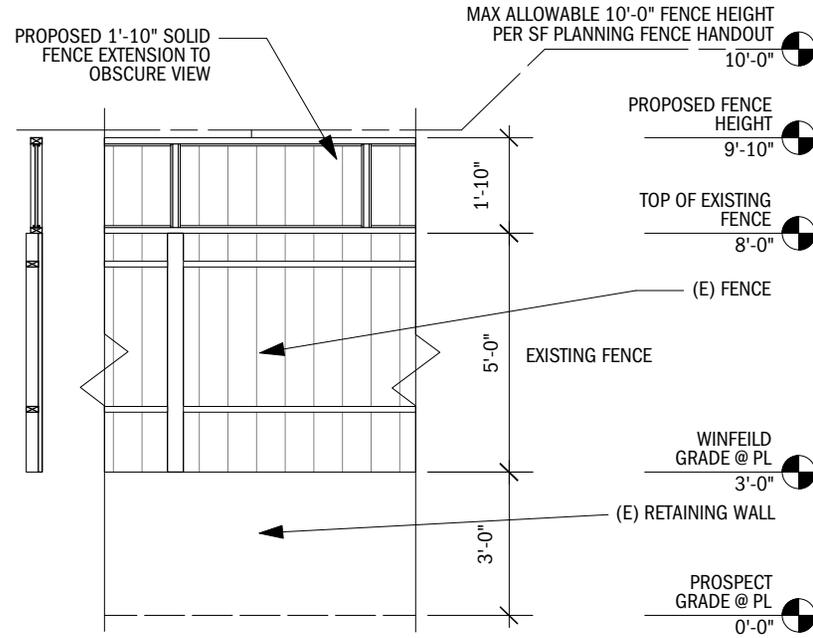
1'-10" SCREEN ON TOP OF (E) FENCE TO OBSCURE NEIGHBORS SLIDING DOOR



1'-10" SCREEN ON TOP OF (E) FENCE TO OBSCURE NEIGHBORS BEDROOM WINDOW



2 PROPOSED FENCE W/ LATTICE EXTENSION
Scale: 1/4" = 1'-0"



1 PROPOSED FENCE W/ SOLID EXTENSION
Scale: 1/4" = 1'-0"

SUPPLEMENT TO DISCRETIONARY REVIEW APPLICATION OF 5/24/13

This Supplement is organized in 3 parts:

1. DESCRIPTION OF AN ACHIEVABLE COMPROMISE
2. CRITIQUE OF PROJECT SPONSOR'S PROPOSED SOLUTION
3. COMMENTS ON PROJECT SPONSOR'S DR RESPONSE

(Numbered exhibits and supporting information are at the end of this supplement.)

1. DESCRIPTION OF AN ACHIEVABLE COMPROMISE:

A roof deck railing setback and a vertical extension of the fence are the two strategies that can be employed to create an effective privacy solution without a variance.

The Project Sponsor's client has proposed a 3' railing setback in combination with an unspecified fence extension. We will accept a fence extension of up to 12", if it does not exceed the maximum allowable fence height of 10'. We will also accept a 3' railing setback if it can be verified that the combination provides an effective privacy solution.

The stumbling block to this compromise is the refusal of the Project Sponsor to cooperate with us in the verification process. Without any verification, we would accept, as an alternative, the combination of the same fence extension and a 4' railing setback. Note: When we stood on the Horner's roof, we determined that a 5' setback (not 3') is required to achieve an effective privacy solution.

Both versions of this compromise impose a negative impact on each neighbor: the Project Sponsor falls short of the goal of maximizing the area of the roof deck and we will incur additional shading and loss of sunlight due to the higher fence.

2. CRITIQUE OF PROJECT SPONSOR'S PROPOSED SOLUTION

The Project Sponsor proposes a 22" fence extension to provide privacy without any setback of the roof deck railing. After correcting for errors in the Project Sponsor's procedure, this proposal is unworkable for two reasons:

1. The actual height of an effective fence extension will have to be higher than the 22" proposed by the Project Sponsor.
2. Because of a 10' height limit for residential fences, a fence extension higher than 12" violates code.

Measurement Errors:

1. The retaining wall measures 3'-9", not 3'-0" as stated in Supplemental Attachments #2 and 3 1(See Exhibit 1)
2. The height of the fence measures over 9'-0", not 8'-0" as stated in Supplemental Attachments #2 and 3. (See Exhibit 1)

Procedural Errors:

1. The viewpoint of photos in Supplemental Attachment #4 and 5 is specified at the roof edge but is actually at a location several feet behind the line of the roof edge. (See Exhibit 2)
2. Photos in Supplemental Attachments #4 and 5 were also taken by an individual about 5'-5" tall, holding the camera at chest height. The Project Sponsor's Site Section states that all views originated at the eye level of a 5'-10" figure. In addition, the finished deck will add 6" to the elevation, a factor not accounted for in the photos or measurements. (See Exhibit 2)

Biases in Results:

1. Camera placement errors created misleading photographs: lowering the height of the camera viewpoint and moving it back from the roof edge makes privacy impacts appear much less intrusive than they are in reality (see attached neighbor's support letters).
2. The Project Sponsor states that the proposed fence extension is under the maximum 10' height limit. Instead, because of errors in determining the height of the fence, the proposed extension exceeds the height limit by roughly 12". (See Exhibit 1)

Conclusion:

Because the height of a fence extension is constrained by code limits, we are convinced a fence extension is not an effective way to provide privacy unless it supplements an adequate roof deck railing setback.

3. COMMENTS ON PROJECT SPONSOR'S DR RESPONSE

Project Sponsor: *"The DR requestor's bedroom window (sic) in question covers a small portion and is located well outside a 30 degree cone of view (attachment #2)."*

Our Response: This "30 degree cone of view" originated with a comment first made by the Horners in an email: *"We have to hold our heads at an unnatural angle, your house is not in the direct line of sight when we look out from our house holding our head in a natural pose."*

There is absolutely no evidence that any such "30 degree cone of view" plays a role in constraining visual behavior. If this were true, tourists standing at the rim of the Grand Canyon would miss what they came specifically to see!

Project Sponsor: *"Multiple attempts at direct negotiations were made with the neighbors. They were invited to view and walk the location of the roof deck without asking for reciprocation."*

Our Response: We first met with the Horners on April 11, 2013. When Mr. Horner rang our bell to confirm the meeting time, we invited him in to have a look at the problem from our perspective but he declined the invitation. Since then, the Horners have never asked to come into our home to see for themselves.

Project Sponsor: *"All of our attempts failed to produce a successful result at multiple stages of the process. See supplemental attachment #3. We propose no changes to the deck, but are willing to compromise on a 22" extension to the height of the existing fence."*

Our Response: During early conversations in mid-March with the Horners' architect, Mason Kirby, he explained he was constrained from making any changes to the roof deck design, but proposed, instead, raising the fence to provide a privacy buffer. The current proposal does not qualify as a compromise since, after more than four months of negotiation, the net result is a proposal identical to the first.

Project Sponsor: *"As per the Planning Department's Fence Handout, a max height of 10' is allowed. We are proposing a 22" fence extension that is below that requirement."*

Our Response: Based on our own measurements, we believe a 22" fence extension would require a variance.

Project Sponsor: *"The client has minimal rear yard space, which is located at a slope. This has been acknowledged by the DR requestor."*

Our Response: We acknowledged that the Project Sponsors' house is located on a slope; all the houses on our two streets are. However, as stated in the DR Application, we also acknowledged allowing the prior owner of the Horners' property to stage the construction of a retaining wall from our garden for the express purpose of leveling the rear yard to build an outdoor deck and to create a play area for their two children. As a consequence of the improvements to what is now the Horners' rear yard the height of the fence increased from 5' to over 9', with substantial loss of sunlight in our garden.

Project Sponsor: *"The roof deck would provide the client with maximum use of their property, and the proposed 22" height addition on the fence will provide privacy. The DR Requestor may choose between a 22" solid extension of the fence, or a 22" lattice extension, see Supplemental Attachment #6. We believe this is a fair compromise, and the client is willing to pay for the addition at no cost to their neighbor."*

Our Response: This proposal is improperly characterized as "no cost to their neighbors". In fact there is a real and on-going cost: not as a one-time payment in dollars, but as an annual payment in lost sunlight. The top of the proposed extension would be more than 25' above the floor level of our house and would cast a shadow far beyond the fence. The backyard improvements of the prior owner, combined with the fence extension proposed by the Horners, would cast a shadow equivalent to a second story addition built on our rear property line.

Project Sponsor: *"We met with Melinda and Arnold, the DR requestors, on our roof on April 11th and May 18th. Email exchanges began April 30th. Our compromise was a 3' setback of the deck with the option of raising the fence with or without some kind of trellis."*

Our Response: The project sponsor proposed a 3' railing setback in combination with raising the fence but refused to cooperate in verifying what the actual parameters of such a solution would be.

From Project Sponsor 5/21/13 email:

"After much thought we have decided we do not want planters. An open railing design is in keeping with the intent of the residential design guidelines. We will compromise on a 3 feet setback of the deck and a raised fence in combination with a trellis."

Our Response 5/23/13 email:

"The railing setback is the solution you proposed Tuesday after you rejected the planters. We think that to block intrusive views, a parapet is also needed, so it is shown in the sketch. However, if we can re-measure, perhaps the parapet height can be reduced as long as it still blocks intrusive views...(we) hope we can meet Sunday to discuss these or other options and remeasure."

Their email answer 5/25/13:

"Thank you for the PDFs. You have been on our roof on three separate occasions, we see no benefit in you being there again."

Our email response 5/25/13:

"The benefit would be to continue a dialogue so that you can get your deck built and we can maintain our privacy."

We emailed again 7/9/13:

"In our last communication, we asked for an opportunity to evaluate the 3-foot railing setback you proposed and to see whether the views that concern us would be blocked by the roof edge. So far, we haven't gotten that chance. Until we do, it makes reaching a solution pretty difficult...Since you did not accept any of the three solutions we offered, we need your cooperation in order to move forward on any alternatives."

Project Sponsor: *"I disagree with the statement in the DR supplemental sheet (pages 2 and 3): "...raise the height of the parapet 32 inches ... create a 3 foot setback for the decking (see detail C). ... The idea for this modification was originally proposed by the sponsor and withdrawn. This idea was never proposed (and therefore never withdrawn)."*

Our Response: The idea of a planter was, in fact, first proposed in an email by the Project Sponsor on May 16 and rejected on May 21 (note that a planter would have had to be in conjunction with a parapet):

From Project Sponsor email 5/16/13:

"We are sorry if we were not being clear in the previous email. We do not think these ideas need to be considered in isolation to each other. A trellis in combination with planter to offer setback could address your concerns."

Our email response on 5/17/13: *"It sounds like we have an opportunity to make progress towards a negotiated solution. And it sounds like, rather than email, we should schedule a meeting, including a visit to your roof. That way we can show both of you the views we find intrusive and we can all participate in evaluating the form a planter box needs to take in order to effectively block those views. It is also the time to see if a trellis fits in the overall solution."*

And their email response 5/21/13: *"Thank you for your email and your time on Saturday. After much thought we have decided we do not want planters."*

Project Sponsor: *"We met on May 18th without reaching an agreement on the dimensions of any setback/planters."*

Our Response: The agreement we arrived at during the meeting was documented in an email we sent the same day (5/18/13) to the Horners:

"Based on the meeting we had this morning, we think we can now fashion a solution that everyone can live with: The solution is based on a modified roof deck design that adds a full-length planter along the edge of the roof facing our house. To adequately block views of our bedroom windows from the deck, the planter height needs to measure a minimum of 32-inches above the existing parapet; the depth of the planter needs to measure a minimum of 36-inches from the outside face of the parapet. These dimensions assume a finish deck elevation no more than six inches above the surface of the roof."

Project Sponsor: *"If there was any misunderstanding regarding our email, it was not brought to your attention by the DR requestor. During our meeting the solution stated in the DR supplemental sheets 2 and 3, was not offered or discussed."*

Our Response: The three proposed privacy solutions documented in supplemental sheets 2 and 3 had all been previously discussed either in the meeting, in multiple emails, or both.

EXHIBIT 1 : DOCUMENTATION OF HEIGHT OF RETAINING WALL AND FENCE



RETAINING WALL HEIGHT 3'-9":

•The top terrace is comprised of a concrete slab measuring 60" square and a raised planter. The retaining wall is measured from the top of the slab to the top of the retaining wall.

FENCE HEIGHT 9'-3":

According to code fence height is measured to existing adjacent ground prior to improvements:

SECTION 446—FENCES

•"*Fences on any property containing a Group R Occupancy shall not be higher than 10 feet...Fence height shall be measured from the level of general existing adjacent ground of the general area prior to the improvement of the properties.*"

•The most reliable measurement of adjacent original grade was deemed to be the underside of the slab since it is the only area where adjacent grade has remained undisturbed for at least 33 years.

•At that time, the grade of the Project Sponsor's rear yard was continuous with the grade at the underside of the slab, so the slab of the terrace does not appear to have undercut the original grade. A wood, property-line fence rested on loose rock fill and broken concrete.

•Six years ago, a concrete retaining wall was constructed to level the Project Sponsor's backyard. The grade of the backyard at the rear property line was raised roughly 4'.

•The distance from the top of the slab to adjacent grade was measured immediately in front of the retaining wall at a gap between the slab and the side yard fence.

•Grade measures 6" below the slab resulting in a total fence height of 9'-3". The maximum allowable fence height is 10'. Therefore only 9" can be legally added to the fence height.

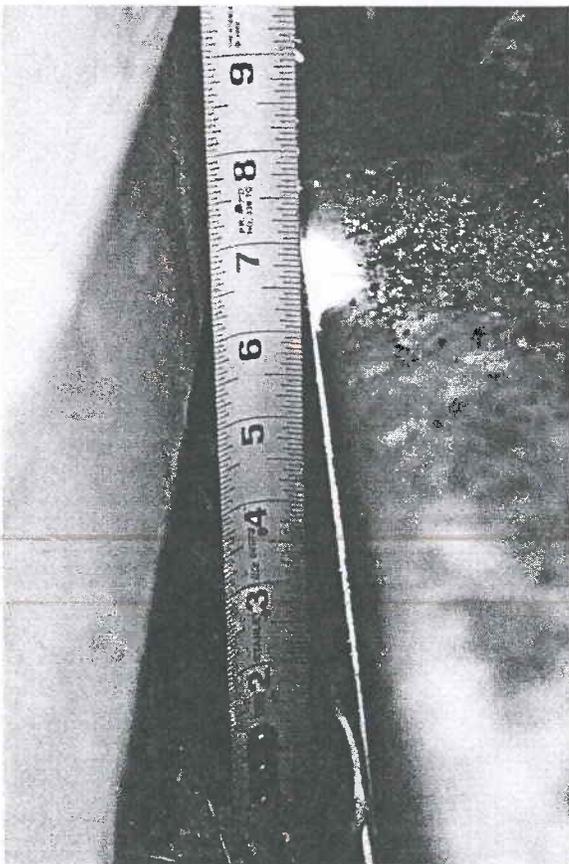
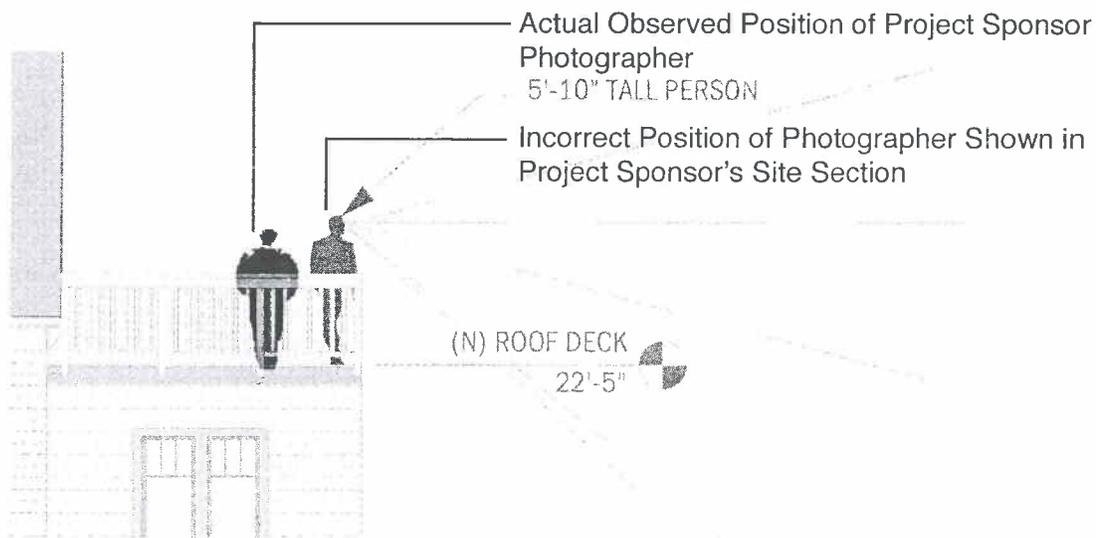
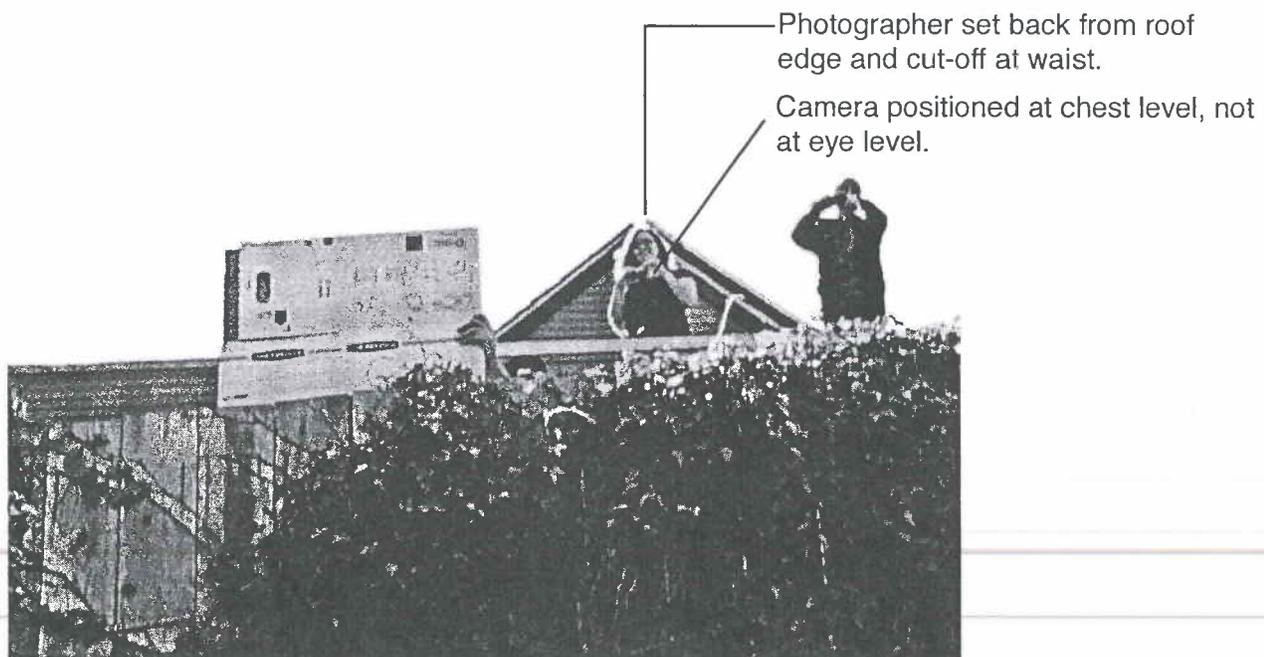


EXHIBIT 2 : DOCUMENTATION OF DISCREPANCY IN PHOTOGRAPHER'S LOCATION



Actual Versus Claimed Position of Project Sponsor Photographer
(Project Sponsor Site Section Shown in Gray)

The Project Sponsor photographer was observed taking photographs from a location sufficiently behind the roof edge to cut her off below the waist. The photograph shown below documents that the position of the photographer drawn at the roof edge in the Project Sponsor's Site Section is incorrect. The actual position required to cut off a body below the waist is illustrated by the black figure superimposed on the Project Sponsor Site Section above.



Project Sponsor photographer during measurement of proposed fence extension.
(Photo taken from our bedroom.)

Beth Roy

July 8, 20013

To Whom It May Concern:

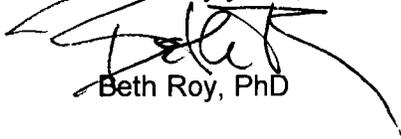
I have lived across the street from Melinda and Arnie Burgener for twenty years. I know them to be friendly neighbors, reasonable and socially-minded people.

I am a community mediator and counselor. The Burgeners sought advice from me about ways to resolve the conflict with their neighbors in a collaborative and fair way; I highly respect that inclination. In the event, they felt the necessity of appealing for adjudication.

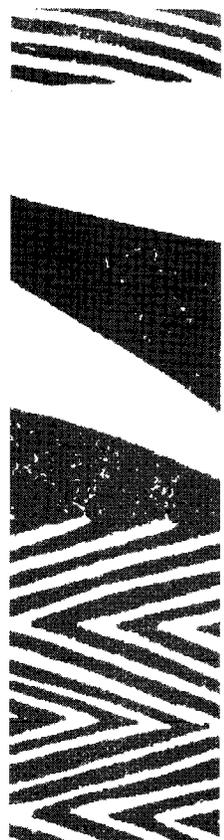
As a caring neighbor and counselor of clients undergoing medical difficulties, my greatest concern is for the well-being of Melinda. She has suffered for a number of years from a serious respiratory ailment and is under long-term treatment that is very disabling. She therefore spends many hours resting in bed. The function of the Burgeners' bedroom therefore goes beyond a place to sleep. It is a place of respite for Melinda as she suffers the debilitating consequences of her disease and treatment. The bedroom looks out on a lovely, sunny garden; I can only imagine how much solace Melinda derives from that view.

As a mediator, I think it likely that a resolution could be reached that would satisfy both neighbors' needs. I hope your commission provides constructive relief.

Sincerely yours,



Beth Roy, PhD



270 Prospect Avenue
San Francisco
CA 94110
415 695-8119
Fax 888 468-3727
broy@igc.org

BARBARA ARBUCCI AND EVELYN RANKIN

July 8, 2013

For the Planning Commission,

The Burgeners have lived just next door to us for 32 years. They are always thoughtful, considerate and reasonable and we feel lucky to have them as neighbors.

We are familiar with their backyard and the relationship of their bedroom windows to the roof deck the Horner's propose to build. In fact our two houses were built as mirror images of each other, so we have, in effect, lived in their house.

Some years ago we added a second-story addition to our house and altered the design to respond to neighbor's concerns. We voluntarily pulled back our second story so as not to negatively impact anyone. We understand the process well and consider it part of the normal give and take. Bernal Heights is a densely populated community with smaller lots than most SF neighborhoods and, in our experience, neighbors consider this delicate Bernal relationship when making changes to their homes and try to avoid stepping on anyone's toes.

Were we in the Burgeners' position now, we would be as much concerned about the intrusion on bedroom privacy as they are. We would unquestionably be pursuing the same approach in order to maintain that privacy. A roof deck of smaller proportions could satisfy everyone. Raising the fence between the two properties is, in our view, a mistake since the fence is already very high on the Burgener side and already significantly cuts down sunlight into their garden.

We feel we should add that Melinda's lung disease has her spending a good deal of time in bed throughout the day. To us it doesn't seem neighborly that her right to privacy in her own bedroom is up for grabs so the Horners can have a very large roof deck.

We hope the Planning Commission reaches a just compromise.

Sincerely,



Barbara Arbucci



Evelyn Rankin

Zeev Vax & Marcia Bana
321 Prospect Avenue
San Francisco, CA 94110

July 11, 2013

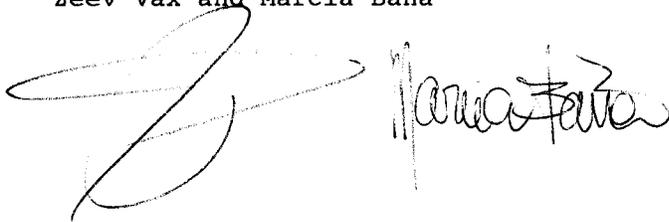
To Whom it May Concern,

We have been watching, from our bedroom windows, at 321 Prospect, the large renovation of the house at 300 Winfield Street. We understand that a roof deck is to cover the entire flat roof that we can see clearly from our bedroom, so we assume they can equally see us.

We think the size of it is way too large for our closely-packed Bernal Heights neighborhood. Our decided preference would be to see it scaled back several feet. This is both to assure our bedroom privacy and to keep within reasonable dimensions of the surrounding homes.

Sincerely,

Zeev Vax and Marcia Bana

The image shows two handwritten signatures in black ink. The signature on the left is a stylized, cursive 'Z' that loops around and ends with a long horizontal stroke extending to the right. The signature on the right is a cursive name that appears to be 'Marcia Bana', written in a fluid, connected script.

July 21, 2013

Dear Planning Commission,

I have been a neighbor of Arnold and Melinda Burgener for more than thirty years. I live at 325 Prospect Avenue.

I am aware of the large roof deck that Lee and Nicole Horner plan to build off their master bedroom. I also know that Melinda now spends a good deal of time in bed since developing a serious lung condition. From her bed, she can easily see anyone standing on the roof deck proposed by the Horners and evidently, they can see her as well. A setback to a point where her privacy is maintained seems a neighborly solution to the problem.

As a neighbor, I hope the conclusion of the Planning Commission will be the same.

Sincerely,

Beth Slater

Beth Slater . 323 Prospect Avenue . San Francisco, California . 94110

Ellen Cox
309 Prospect Ave.
SF CA 94110

5 July 2013

To the SF Planning Commission,

My name is Ellen Cox and I have lived for 16 years at 309 Prospect, two houses up the street from the Burgeners.

I am familiar with the Burgener's garden since whenever they are out of town I take care of it.

Our houses on Prospect (301, 305, 309) are well below the houses towering above us on Winfield. So, we are already in a deep well with our sunlight significantly blocked by both geography and fence height. I cannot overstate the importance of sunlight in a garden!

Melinda and I are both gardeners and on Melinda's behalf, I hope the Horners will not raise the fence height that separates their homes. The fence from the Burgener side is already very high. If the fence is raised any more, there will very little sunlight in the Burgener garden.

Thank you for your time.
Ellen Cox

A handwritten signature in cursive script that reads "Ellen Cox". The signature is written in black ink and is positioned below the typed name.

ABBREVIATIONS

@	AT	N.	NORTH
⌘	CENTERLINE	N.I.C.	NOT IN CONTRACT
A/C	AIR CONDITIONING	NO.	NUMBER
ACOUS.	ADJACENT	NOM.	NOMINAL
ADJUS.	ADJUSTABLE	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISH FLOOR		
ALT.	ALTERNATE	O.A.	OVERALL
APPROX.	APPROXIMATE	O.C.	ON CENTER
		O.D.	OUTSIDE DIAMETER
BD.	BOARD	OH.	OVERHEAD
BET.	BETWEEN	OPP.H.	OPPOSITE HAND
BLDG.	BUILDING	OPNG.	OPENING
BLK.	BLOCK	OPP.	OPPOSITE
BLKG.	BLOCKING		
BOT.	BOTTOM	P.BD	PARTICLE BOARD
		P.G.	PAINT GRADE
		P-LAM	PLASTIC LAMINATE
CAB.	CABINET	PLWD.	PLYWOOD
CER.	CERAMIC	PNL.	PANEL
CHAMF.	CHAMFER	PR.	PAIR
CIRC.	CIRCLE	PTN.	PARTITION
CLG.	CLEAR(ANCE)		
CLR.	COUNTER	REF.	REFERENCE
CONTR.	COLUMN	REFL.	REFLECTED
CONC.	CONCRETE	REFR.	REFRIGERATOR
CONSTR.	CONSTRUCTION	REG.	REGISTER
CONT.	CONTINUOUS	REINF.	REINFORCING
CONTR.	CONTRACTOR	REQ.	REQUIRED
CPT.	CARPET	REV.	REVISION
C.T.	CERAMIC TILE	R.H.	RIGHT HAND
CTR.	CENTER	RM.	ROOM
DEMO.	DEMOLITION	R.O.	ROUGH OPENING
DET.	DETAIL		
DIAM.	DIAMETER	S.	SOUTH
DIM.	DIMENSION	S.C.	SOLID CORE
DN.	DOWN	SCH.	SCHEDULE
DR.	DOOR	SEAL.	SEALANT
DWG.	DRAWING	SECT.	SECTION
DWR.	DRAWER	SH.	SHelf
		SHT.	SHEET
E.	EAST	SIM.	SIMILAR
EA.	EACH	SPEC.	SPECIFICATION
EL.	ELEVATION	SQ.	SQUARE
ENCL.	ENCLOSE(URE)	SS	STAINLESS STEEL
EQ.	EQUAL	S.S.D.	SEE STRUCTURAL DWGS
EQUIP.	EQUIPMENT	STD.	STANDARD
EST.	ESTIMATE	STL.	STEEL
ETC.	ET CETERA	STOR.	STORAGE
EXH.	EXHAUST	STRCTSU	STRUCTURAL
EXIST.	EXISTING	SP.	SUSPENDED
EXP.	EXPANSION		
EXT.	EXTERIOR	T.B.	TOWEL BAR
F.E.	FIRE EXTINGUISHER	TEL.	TELEPHONE
F.F.	FACTORY FINISH	TEMP.	TEMPERED
F.H.	FULL HEIGHT	TERR.	TERRAZZO
FIN.	FINISH(ED)	THK.	THICKNESS
FLR.	FLOOR	THRESH.	THRESHOLD
FLUOR.	FLUORESCENT	T.V.	TELEVISION
F.O.S.	FACE OF STUD(S)	TYP.	TYPICAL
F.O.C.	FACE OF CONCRETE	UNFIN.	UNFINISHED
F.O.F.	FACE OF FINISH	U.O.N.	UNDER ONE NAME
FT.	FOOT/FEET		
FURR.	FURRED/FURRING	VEN.	VENEER
FUT.	FUTURE	VERT.	VERTICAL
		V.FY.	VERIFY
		V.I.F.	VERIFY IN FIELD
GA.	GAGE/ GAUGE		
G.B.	GRAB BAR	W	WEST
G.C.	GENERAL CONTRACTOR	WC	WATER CLOSET
GEN.	GENERAL	WP	WATER PROOFING
GL.	GLASS/GLAZING	W/	WITH
G.W.B.	GYP/SUM WALL BOARD	WD	WOOD
GYP.	GYP/SUM	WP	WORK POINT
H.C.	HOLLOW CORE	W/O	WITHOUT
HD.	HEAD	WT	WEIGHT
HDR.X	HEADER		
HDWR.	HARDWARE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR.	HOUR		
HT.	HEIGHT		
H.V.A.C.	HEATING VENTILATING AIR CONDITIONING		
INSUL.	INSULATION		
INT.	INTERIOR		
JT.	JOINT		
KIT.	KITCHEN		
LAM.	LAMINATED		
LAV.	LAVATORY		
L.H.	LEFT HAND		
L.	LENGTH/LONG		
LT.	LIGHT		
LVR.	LOUVER		
MAX.	MAXIMUM		
MEMB.	MEMBRANE		
MET.	METAL		
MFR.	MANUFACTURE(R)		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTD.	MOUNTED		
MULL.	MULLION		

NOTES

1. THE WORK INCLUDED IN THIS CONTRACT SHALL CONSIST OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE BY THE OWNER.
2. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENTLY ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES. IN THE EVENT OF A CONFLICT THE MOST STRINGENT SHALL APPLY.
3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT DOCUMENTS AS REQUIRED.
5. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME FULL RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND STRUCTURE AND TAKE NOTE OF EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
6. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE BUILDING AND SITE PRIOR TO PROCEEDING WITH THE WORK. S/HE SHALL PAY ATTENTION TO IMPLIED PLAN AND SECTION SPATIAL RELATIONSHIPS AND VERIFY ALL AXES AND IMPLIED SYMMETRIES BEFORE BEGINNING WORK. ALL DIMENSIONS ARE TO BE CHECKED FOR ACCURACY AS THE WORK PROGRESSES.
7. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR EXISTING CONDITIONS OR DEFECTS IN EXISTING CONSTRUCTION, NOR WILL THE ARCHITECT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS OR PROCEDURES OF CONSTRUCTION OR SAFETY. THIS REMAINS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. ALL HORIZONTAL DIMENSIONS SHOWN IN PLAN ARE TO FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. WHERE ARE DIMENSIONS ARE NOTED AS "CLEAR" THEY ARE CODE OR FUNCTIONAL REQUIREMENTS AND MUST BE MAINTAINED FROM FINISHED FACES. CONFER WITH THE ARCHITECT FOR ANY CLARIFICATION REQUIRED.
9. ALL VERTICAL DIMENSIONS ARE SHOWN FROM FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED. WHERE DIMENSIONS ARE NOTED AS "CLEAR" THEY ARE CODE OR FUNCTIONAL REQUIREMENTS AND MUST BE MAINTAINED FROM FINISHED FACES. CONFER WITH THE ARCHITECT FOR ANY CLARIFICATIONS REQUIRED.
10. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
11. ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT AND ADJUSTMENT.
12. INSTALL ALL MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
13. COORDINATE WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, DRAINAGE LINES, GAS LINES, WASTE SYSTEMS, ETC.
14. PROTECT ALL EXISTING SITE CONDITIONS TO REMAIN INCLUDING INTERIOR, EXTERIOR, TREES, SHRUBS, PAVING, FENCES, ETC.
15. DETAILS SHOWN ARE TYPICAL. U.O.N. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
16. VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL, ELECTRICAL AND MECHANICAL CONDITIONS BEFORE THE ORDERING OR INSTALLATION OF ANY ITEM OF WORK.
17. WHERE LOCATIONS OF NEW DOORS OR WINDOWS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.
18. ALL CHANGES OF MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING U.O.N.
19. COORDINATE AND PROVIDE AND PROVIDE APPROPRIATE STRUCTURAL BACKING AND REINFORCING IN WALLS FOR WALL-MOUNTED OR WALL-SUPPORTED ITEMS SUCH AS CABINETS.
20. ALL GLASS AND GLAZING USED IN THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE 2001 CBC.
21. FINISHED WORK SHALL BE FIRM, WELL AND SECURELY ANCHORED, IN TRUE ALIGNMENT, PLUMB, AND LEVEL, WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE CLOSE FITTING, NEAT, AND WELL SCRIBED. FINISHED WORK SHALL NOT HAVE EXPOSED, UNSIGHTLY, ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
22. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION TO MINIMIZE DISTURBANCES OR DISRUPTION TO ADJACENT STRUCTURE, PROPERTY, OCCUPANTS, PUBLIC THOROUGHFARES, ETC. THE GENERAL CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO MINIMIZE DUST, NOISE, ODOR NUISANCE, AND THE LIKE TO THE PREMISES AND OCCUPANTS.
23. FOLLOW MANUFACTURER'S RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES FOR SEALANTS, FLASHING AND CAULKING.
24. VERIFY ALL FINAL EQUIPMENT, APPLIANCES, LIGHTING, CABINET AND MATERIAL SELECTIONS WITH OWNER.

PROJECT INFORMATION

ADDRESS
300 WINFIELD STREET
SAN FRANCISCO, CA

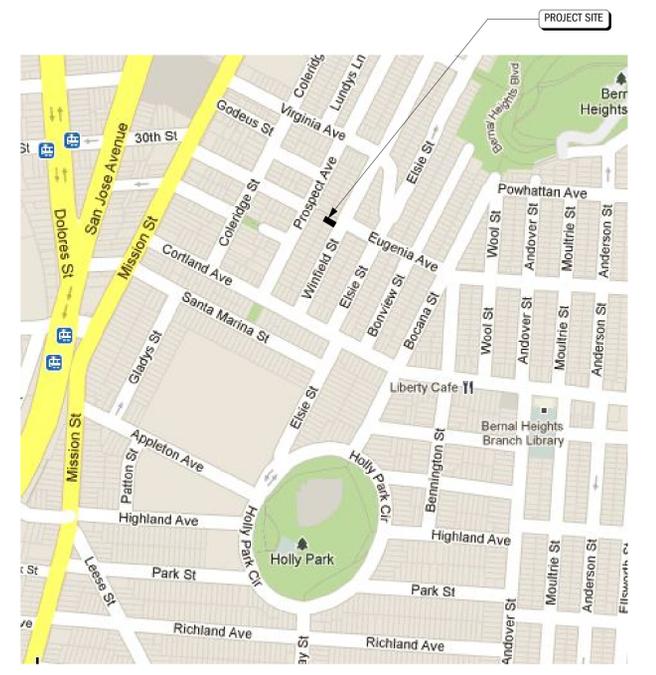
PROJECT SCOPE/DESCRIPTION
1.) (N) ROOF DECK + ROOF FRAMING
2.) RENNOVATION OF (E) BATHROOM

APPLICABLE CODES:
1. THE 2010 SAN FRANCISCO BUILDING CODE CONSISTS OF THE 2010 CALIFORNIA BUILDING CODE, THE 2010 CALIFORNIA RESIDENTIAL CODE, AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE, WITH SAN FRANCISCO AMENDMENTS
2. THE 2010 SAN FRANCISCO ELECTRICAL CODE CONSISTS OF THE 2010 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
3. THE 2010 SAN FRANCISCO ENERGY CODE CONSISTS OF THE 2010 CALIFORNIA ENERGY CODE, WHICH IS ESSENTIALLY THE SAME AS THE 2008 CALIFORNIA ENERGY CODE, WITH NO LOCAL AMENDMENTS
4. THE 2007 SAN FRANCISCO HOUSING CODE
5. THE 2010 SAN FRANCISCO MECHANICAL CODE CONSISTS OF THE 2010 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
6. THE 2010 SAN FRANCISCO PLUMBING CODE CONSISTS OF THE 2010 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS

APN: 5671-001

BLOCK: 5671 LOT: 001

VICINITY MAP



LEGAND

- 1/A2 SECTION IDENTIFICATION #
- 1/A2 ELEVATION IDENTIFICATION #
- 1/A2 DETAIL / DWG. #
- 10'-0" AFF ELEVATION HT. SYMBOL
- X REVISION REFERENCE
- X DOOR NUMBER OR WINDOW TYPE

PROJECT DIRECTORY

OWNER
LEE AND NICOLE HORNER
300 WINFIELD STREET
SAN FRANCISCO, CA 94110
415.519.4350

STRUCTURAL ENGINEER
PUNS & ASSOCIATES
477 1/2 4TH AVENUE
SAN FRANCISCO, CA 94118
415.221.3338

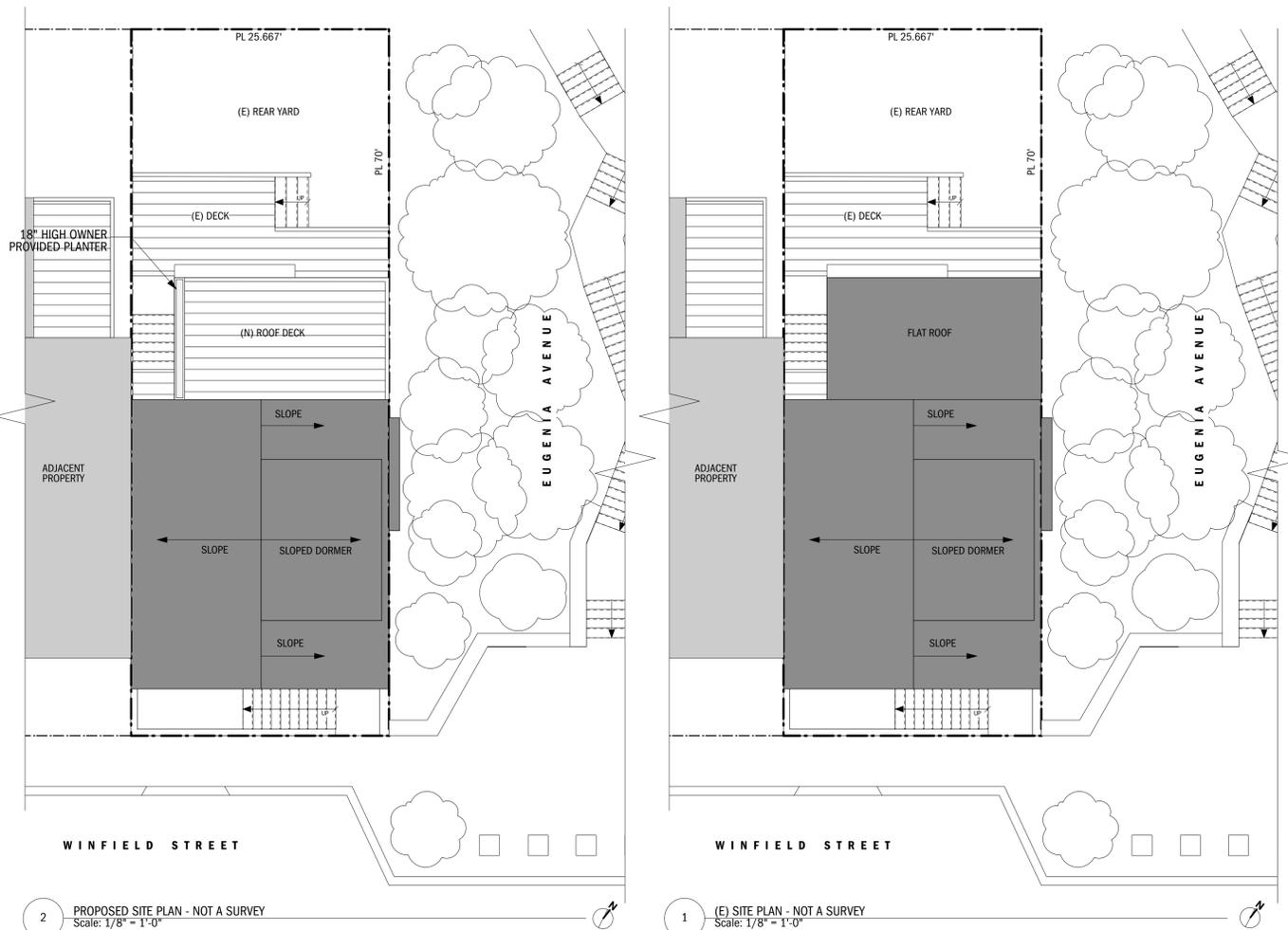
ARCHITECT
ARCHITECT MASON KIRBY INC
301 BOCANA STREET
SAN FRANCISCO, CA 94110
(T) 415.867.5357
(F) 415.727.5357

CONTRACTOR
TBA

SHEET INDEX

- ARCHITECTURAL
- A0 PROJECT DATA AND SITE PLAN
 - A1 GENERAL NOTES
 - A2 EXISTING & DEMO PLANS
 - A3 CONSTRUCTION PLANS
 - A4 ELEVATIONS

SITE PLAN



ISSUE FOR SITE PERMIT 3/21/13



SCALE : AS NOTED
PROJECT DATA & SITE PLAN

GENERAL WINDOW, DOOR, & HARDWARE NOTES
<p>08000 GENERAL WINDOW, DOORS, SKYLIGHTS, AND HARDWARE</p> <p>A. Provide proper rough openings for all windows and doors. Prepare opening to permit correct installation of window unit and air and vapor barrier seal. B. Provide and install all windows, doors, and hardware and their accessories as shown and according to manufacturer's recommendations for complete and proper installation.</p> <p>08210 DOORS</p> <p>A. All interior and exterior doors shall be prehung, bored, and drilled unless noted otherwise on the Door Schedule and installed by the General Contractor. B. All exterior doors to include full weatherstripping and adjustable threshold as provided by the door manufacturer. C. Provide solid core door with closer for separation between garage and living areas.</p> <p>08360 SECTIONAL OVERHEAD DOORS</p> <p>A. Overhead sectional door, door operator, hardware, track, controls, and all accessories to be provided and installed by a qualified and experienced company. B. Overhead section door shall be insulated with rigid foam insulation and to include full perimeter weatherstripping as provided by the door manufacturer, including 'adjustable' bottom.</p> <p>08610 WOOD WINDOWS</p> <p>A. All wood windows shall be pre-manufactured with extruded aluminum cladding, high-altitude insulating glazing, weatherstripping, insect screens (operable units only), operating and locking hardware (as selected by the Owner) and without jamb extensions. All windows to be provide and installed by the General Contractor in accordance with manufacturer's instructions and recommendations. Maximum Diagonal Distortion to be: 1/16" measured with straight edge, corner to corner. Adjust for smooth and balanced window movement. Window units shall be fabricated to manufacturer's standard fabrication requirements.</p> <p>08712 DOOR HARDWARE</p> <p>A. Package hardware items individually; label and identify package with door opening code to match hardware schedule. B. Maintain alignment with adjacent work. Secure assembly to frame opening without distortion or stress. C. Provide special wrenches and tools applicable to each different or special hardware component. Provide maintenance tools and accessories supplied by hardware component manufacturer. D. All door locks to be master keyed, as directed by Owner. Supply two keys for each lock. E. All hardware and trim items shall be selected by the Owner and provided and installed by the General Contractor UNO. F. Mounting heights for hardware from finished floor to center line of hardware item shall be as indicated below. Verify all mounting heights with manufacturer of hardware item to insure compliance with applicable codes. 1. Lock sets:38" 2. Door Pulls:42" 3. Dead Locks:60"</p>
GENERAL MECHANICAL & PLUMBING NOTES
<p>15000 GENERAL PLUMBING AND MECHANICAL:</p> <p>A. The drawings are considered schematic and are shown as a guide for the plumbing and heating systems. Submit a plumbing and heating design, with possible options, to the Designer, General Contractor, or Owner, along with the bid for work to be performed, in it's entirety, as shown on the submitted plumbing and heating design. B. Provide and install shut-off valve on cold water line at the water heater. C. Verify routing and sizes of all new equipment, fixtures, and plumbing prior to beginning work. D. Provide and install all fixtures, piping, and fittings for tie-in to new plumbing fixtures for complete mechanical system. E. Offset piping, etc, as necessary to accommodate structure, beams, columns, etc., and existing plumbing lines. Coordinate cutting or drilling of structural members with the General Contractor to facilitate piping runs and to avoid damage. F. The Plumbing and Heating Contractor shall accept full responsibility in the form of payment to the General Contractor for costs incurred to repair, to the satisfaction of the Owner, any compromising of structural members, work of other trades, finishes, or other damage caused while on site and performing plumbing and heating work. G. Coordinate the installation of the heating system and hot water system with the General Contractor to insure all components of equipment and controls are included and connected as well as locations of heating units and floor tubing. H. Provide and install all piping, verify required size and stub-in location. I. Coordinate all openings required through roofs or walls with the General Contractor. Provide these openings and weather-tight seals for all building penetrations. Assist the General Contractor in the installation of these seals. J. Provide and install range hood and clothes dryer vents to the outside; UNO. K. Inspect water supply main to determine water pressure level and system best suited for increasing pressure level to satisfaction of the Owner.</p> <p>15260 PIPING INSULATION</p> <p>A. Insulate water heater, all hot water supply lines and other lines in unheated areas as necessary to prevent freezing.</p> <p>15440 PLUMBING FIXTURES</p> <p>A. All plumbing fixtures to be provided and installed by the Plumbing Contractor; unless other arrangements are made with the Owner.</p>
GENERAL ELECTRICAL NOTES
<p>16000 GENERAL ELECTRICAL:</p> <p>A. All electrical work shall be performed by a licensed electrician B. The Electrical Contractor shall guarantee materials and workmanship against defects which may occur under normal usage for a period of one (1) year after final acceptance. All guarantee time periods provided by equipment manufacturer's shall continue to be in effect. C. The Electrical Work shall include the supply and installation of all rough-in materials, devices, trim, and scheduled fixtures as required and necessary for all electrical, telephone, appliances, and equipment, etc; UNO. D. The Electrical Contractor shall coordinate the installation of the mechanical systems with the Mechanical Contractor to insure all components of equipment and controls are included and wired. All electrical power wiring, low voltage control wiring, fuses, conduit, and switches shall be provided and installed by the Electrical Contractor. Thermostats shall be provided and installed by the Mechanical Contractor. E. Cutting, drilling, and chasing of the building surfaces as required for support, anchorage, and passage of electrical equipment shall be done by the Electrical Contractor. Where structural members are involved, the General Contractor's approval shall be first obtained. F. The Electrical Contractor shall accept full responsibility in the form of payment to the General Contractor for costs incurred to repair, to the satisfaction of the Owner, any compromising of structural members, work of other trades, finishes, or other damage caused while on site and performing electrical work. G. Provide and install bathroom exhaust fans vented to the outside. H. Provide and install a minimum of one switched light in each attic space and three switched lights in the under floor crawl space; UNO. I. Provide and install battery powered smoke detectors as shown and required.</p>

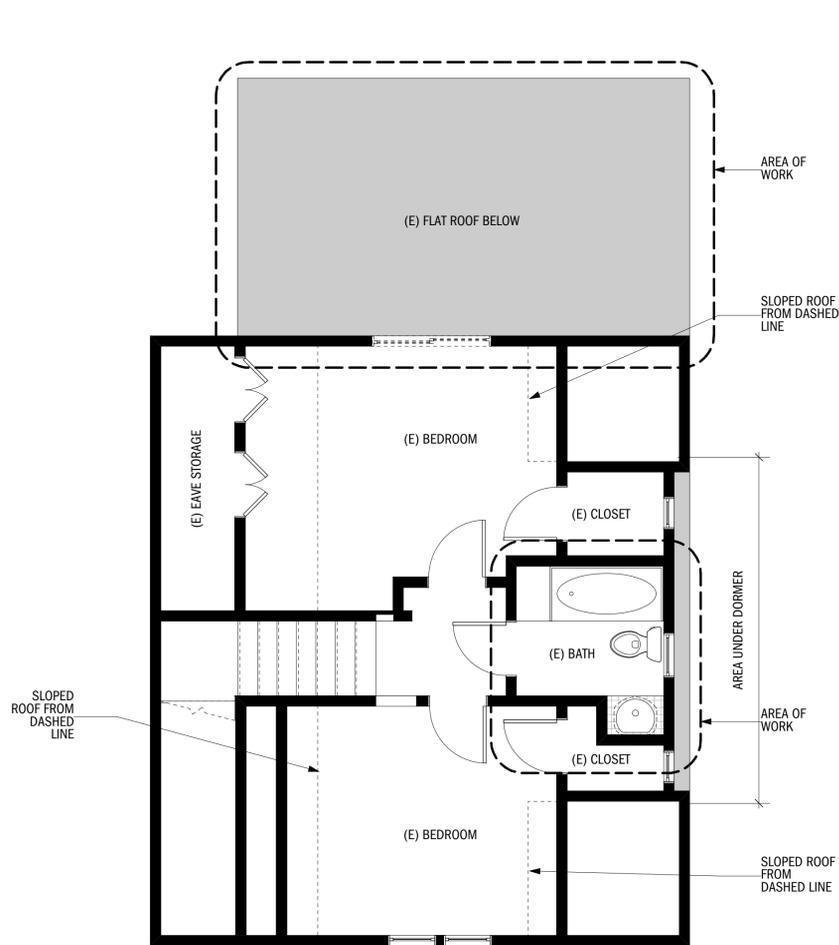
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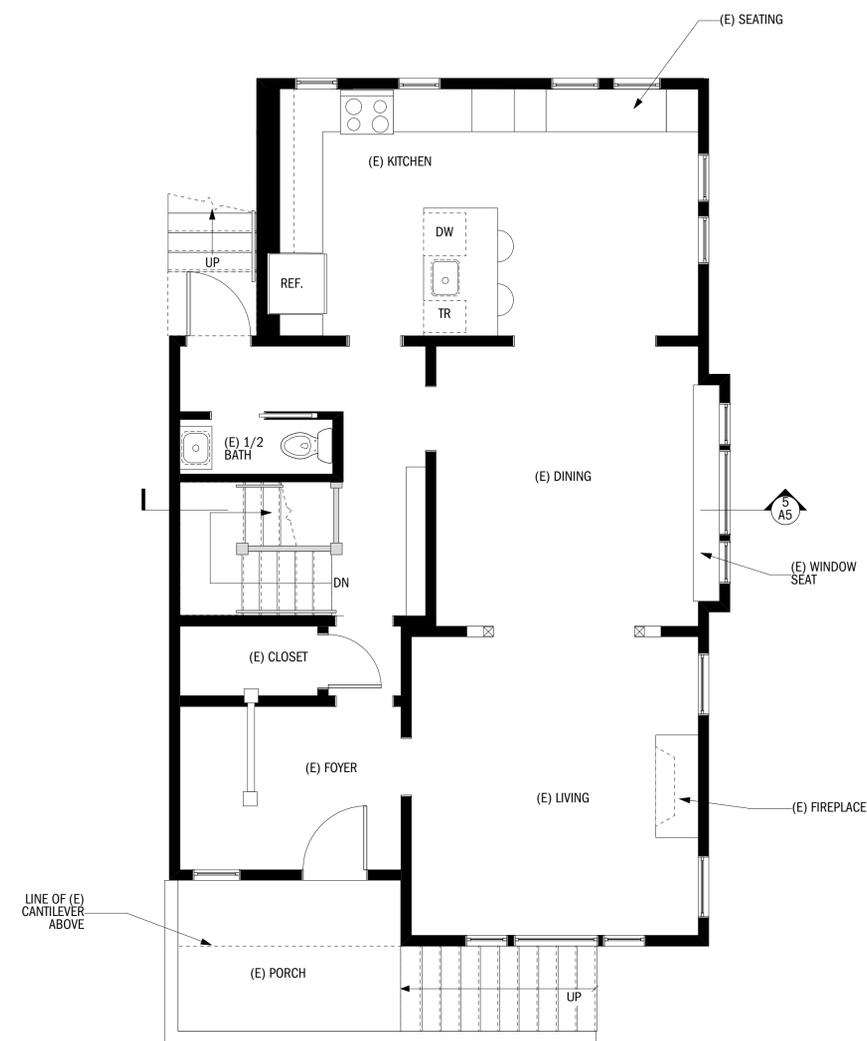
SCALE : N/A

GENERAL NOTES

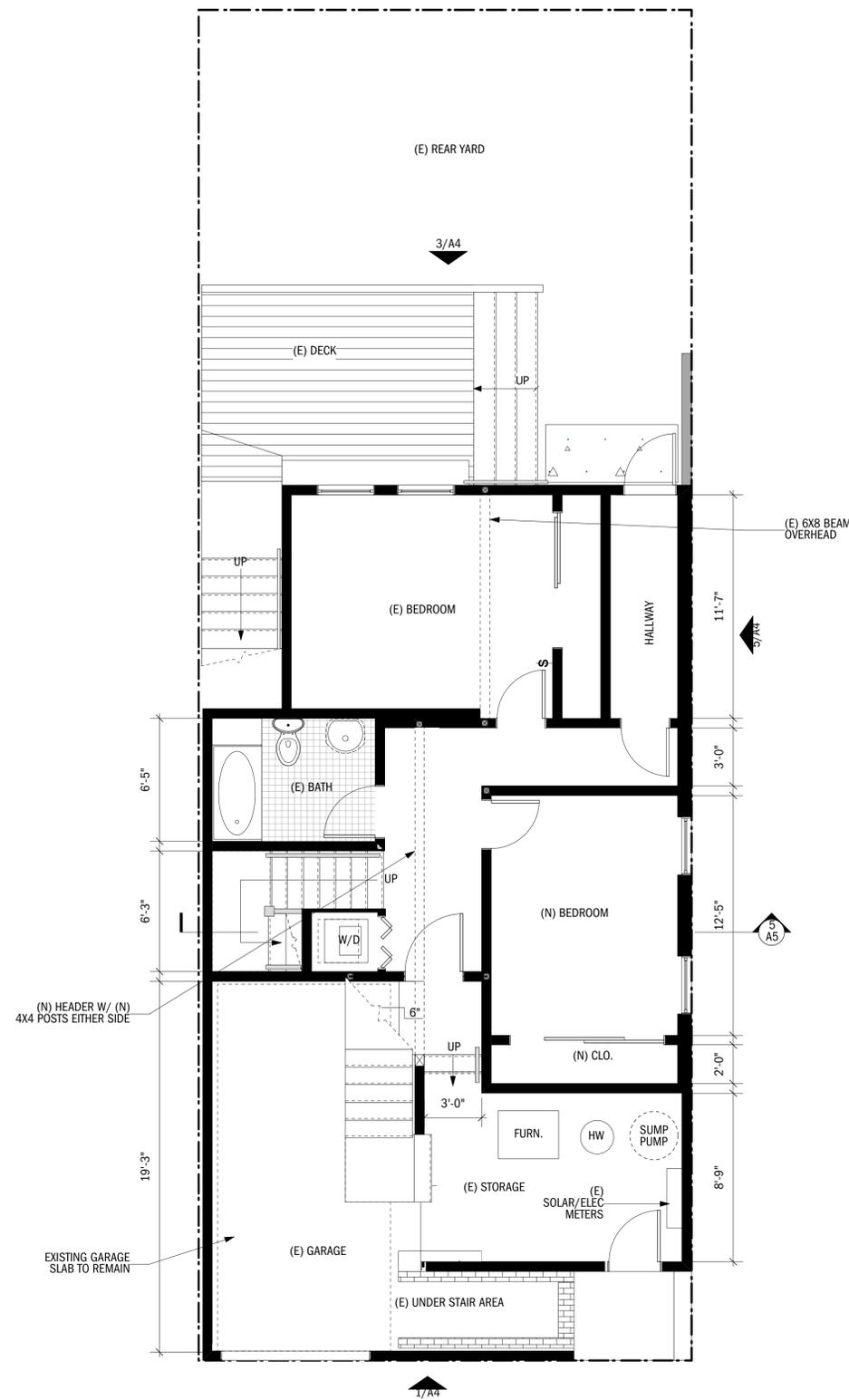
GENERAL THERMAL & MOISTURE PROTECTION
<p>07000 GENERAL THERMAL AND MOISTURE PROTECTION</p> <p>A. Provide and maintain continuous and clear passage of air above insulation and below roof decking, from soffit to ridge, hip, or end wall vents. Provide lateral flow @ valleys, skylights, etc. B. Provide and install all insulations, caulking, sealants, vapor barriers, roofing, ventilation, sidings and trims, and flashing, etc., and their accessories as shown and required to provide a weather-tight seal, eliminate infiltration, minimize heat loss and to provide a protected, energy efficient structure.</p> <p>07160 DAMP PROOFING & MEMBRANE WATERPROOFING</p> <p>A. Maintain ambient and surface temperatures above 40° for 24 hours before application, and continuously until damp proofing has cured. B. Do not apply damp proofing to damp, frozen, dirty, dusty, or deck surfaces unacceptable to applicator. Clean and prepare surfaces to receive damp proofing in accordance with manufacturer's instructions. Prime surfaces in accordance with manufacturer's instructions. Permit primer to dry. C. Verify surfaces are solid, free of frozen matter, loose particles, cracks, pits, rough projections, and foreign matter detrimental to adhesion and application of damp proofing. D. Verify items which penetrate surfaces to receive damp proofing are securely installed. Apply membrane to seal penetrations, small cracks, and honeycomb in substrate. Use only membrane waterproofing at high water areas. E. Apply 2 coats of cold applied asphalt bitumen damp proofing on all exterior foundation walls. Apply each coat of cold bitumen with roller or brush at a continuous and uniform rate as per manufacturer's instructions. Apply from 2 inches below finish grade elevation to top of footings. F. Protect finished damp proofing from damage during backfill operations.</p> <p>07180 VENTILATION</p> <p>A. Provide continuous 2" ventilation space above roof insulation and below roof decking, from continuous soffit vents to ridge vents, as shown and necessary. B. Provide attic and crawl space ventilation at a ratio of 1 square foot of vent per 150 square feet of floor area. A properly sized, humidity controlled fan with intake and exhaust vents is also considered acceptable at crawl space areas.</p> <p>07190 VAPOR AND AIR RETARDERS</p> <p>A. Carefully install all vapor barriers to provide a continuous seal against water vapor. B. Overlap all seams and thoroughly staple while avoiding wrinkles in the sheeting. C. Avoid penetrations and unnecessary cutting of the barrier or underlayment. D. Closely cut barrier at window, door, and skylight openings. Install vapor barrier pieces at inside corners of framing. E. Closely cut barrier at electrical outlets and switches, etc. Reseal perimeter with caulk or spray foam insulation. F. Lap permeable roofing and wall underlayments a minimum of 2". G. Install vapor barriers to crawl space floors in wet locations.</p> <p>07200 INSULATION</p> <p>A. Insulate all exterior framing cavities that will become inaccessible while framing (ie. headers, corners, partition nailers, etc.) with fiberglass. B. Install 1 x 6 sill sealer at all exterior interfaces between wood framing and stone masonry. C. Loosely install fiberglass or other insulation between door, window, and skylight jambs and framing to avoid bending of jambs. D. Install all insulation to maintain a continuous thermal layer between the interior and exterior. E. Insulate all heating and plumbing ducts and piping to minimize heat loss for the length of their runs. Provide adequate insulation and to prevent the freezing of water piping in unheated areas.</p> <p>07300 ROOFING</p> <p>A. Install new felt paper underlayment as shown. Lap a minimum of 2" and thoroughly staple while avoiding wrinkles in the sheeting. Avoid penetrations and unnecessary cutting of the underlayment. B. Install roofing, ridge ventilation, and flashing, etc. and their accessories as shown and required to provide a weather-tight seal, straight and true, and with their fasteners set.</p> <p>07400 SIDING</p> <p>A. Caulking shall be applied at all joints between siding and siding, and between siding and trim. B. Drip cap flashing shall be provided and installed at tops of all windows, doors, horizontal joints between siding, trim, and other exterior finishes and as required. C. Install 15# felt, building paper, or Tyvek over wall sheathing prior to siding installation.</p> <p>07620 SHEET METAL FLASHING AND TRIM</p> <p>A. Exercise care when working on or about roof surfaces to avoid damaging or puncturing underlayment, roofing, or flashings. B. Verify roof openings, curbs, pipes, sleeves, ducts, or vents through roof are solidly set. Beginning of installation means acceptance of existing conditions. C. Provide and install 26 gauge galvanized sheet metal flashing as shown and required at concealed and exposed areas. Color at exposed areas to match roofing; UNO. D. Install flashing sleeves and collars (provided by the General Contractor) for electrical and plumbing items protruding through roofing material. Install starter and edge strips, and cleats before starting installation. Fit flashings tight in place. Make corners square, surfaces true and straight in planes, and lines accurate to profiles. E. Secure flashings in place using concealed fasteners. When using exposed fasteners, they are to be of the same finish as the flashings. Apply plastic cement compound between metal flashings and felt flashings.</p> <p>07920 CAULKING AND SEALANTS</p> <p>A. Caulk all exterior joints around siding joints, windows and doors. B. Use colored caulk at exposed areas to blend with adjacent materials or caulk to accept material finish. C. Warm all caulking and sealants prior to use.</p>
GENERAL METAL NOTES
<p>05000 GENERAL METAL WORK</p> <p>A. Provide and install all structural steel, connectors, fasteners and accessories as shown on the Drawings, materials list, and as required for proper installation of structural members. B. Prime all exposed steel members with Rustoleum #5769 prior to finish coat. C. Materials, standards, and details shall conform to applicable AISC standards.</p> <p>05120 STRUCTURAL STEEL</p> <p>A. Structural steel shall conform to ASTM A-36. B. Tube and pipe columns shall conform to ASTM A-500 Grade B and ASTM A-53. C. All welding shall be done by certified welders, certified for the type of welds required for the job. D. All steel to steel connections shall be made with A-325 high strength bolts.</p> <p>05600 PREFABRICATED METAL CONNECTORS</p> <p>A. Provide and install all metal connectors as shown and required for proper installation of structural members. B. Use Simpson Strong-Tie Connectors or equal. Follow manufacturer's recommendations for fasteners. C. All fabricated beam and post connectors shall be of same width of structural member plus 1/16" to 1/8" max. D. Holes in fabricated connectors for bolts shall be the same diameter of the bolt plus 1/16" max.</p>
GENERAL CARPENTRY NOTES
<p>06000 GENERAL CARPENTRY</p> <p>A. Take care to avoid splitting of framing and finish materials during installation. B. Appropriate connectors and fasteners shall be used (whether indicated or not) to provide proper installation of structural members and finish pieces to develop their strength, rigidity, and proper installation and appearances for the purposes for which they are intended.</p> <p>06040 FASTENERS</p> <p>A. FRAMING: Common wire nails as shown and required. B. Bottom chord cavities and SIDING: Rust resistant stainless steel; hot-dipped galvanized, or high-tension strength aluminum nails. Minimum embedment of 1-1/2" into solid nailing. C. DECKING: 2 (min)-3" deck screws, at each joist per piece; countersunk. D. INTERIOR TRIM: finish nails; blind nail where practical; countersink heads where face nailing. E. POST and BEAM: Bolt, screw or nail as shown or required. F. Posts shall be as shown on the drawings or as necessary for appearance. G. FLOOR DECKING: glue with construction adhesive at each joist; 10d at 6" o.c. at edges; 10d at 10" o.c. field. H. LEDGERS: lag screws as indicated. I. FABRICATED CONNECTORS: as indicated.</p> <p>06112 FRAMING CARPENTRY AND MATERIALS</p> <p>A. All dimension lumber shall be S4S, UNO. Use only graded lumber and wood products as noted and appropriate. Materials must be sound, seasoned, well manufactured, free from warp with maximum moisture content of 19%. Joists to have 1 1/2" (min) bearing on wood or metal or 3" (min) on masonry. B. All manufactured 'I-Joist' (LPI, BCI, TJI, etc) members to be installed per manufacturer requirements. Provide 1 3/4" bearing (min) at joist and rafter ends and 3 1/2" (min) at intermediate supports. Substitutions for specified members must meet design criteria . Provide web stiffeners as necessary. C. All exterior framing and columns shall be of combination 24F-V4 (24F-V8 for continuous or cantilevered beams), and shall be fabricated of Douglas Fir laminations and exterior glues, per AISC Standard 117. Camber shall be as shown. Architectural finish standards shall be applied for exposed beams. Provide 1 1/2" (min) bearing at ends; UNO. D. All trusses to be engineered and prefabricated by the truss manufacturer. Verify all layouts, heating conditions, spans, sizes, etc prior to placing order. E. All headers below 6'-0" span to be provided with 1 1/2" (min) bearing. All headers over 6'-0" span to be provided with 3" (min) bearing; UNO. F. Sill plates and other structural wood members to be in contact with concrete or masonry shall be pressure-treated Hem-Fir. Foundation grade redwood (an endangered species) shall be used as indicated on the drawings or as necessary for appearance. G. Floor and roof decking shall be installed with grain perpendicular to joists or rafters, while bearing on a minimum of three joists or rafters. H. Lay out plumbing lines prior to joist layout. Adjust joist layout and header-off for plumbing requirements as required. I. All exterior framing and columns shall be as shown, and shall provide secure, solid, and full blocking at all bearing points down to the foundation. J. Stagger top and double plate joints 4'-0" (minimum) at exterior walls and bearing partitions. Overlap plates at all corners. K. Install a minimum of three studs with blocking at every corner for wall and finish connections and installations. L. All load bearing studs and floor joists shall be stack-framed; UNO. M. Double joists and rafters at all openings unless shown otherwise. N. Provide continuous solid bridging at 8'-0" o.c. (max) between all floor joists and rafters, unless indicated otherwise. O. Provide continuous blocking between joists and rafters at all bearing points. P. Provide blocking under parallel exterior walls and wall partitions @ 4'-0" o.c. (max) and as necessary. Q. Provide 2 x blocking, furring, nailers, shims, etc required for installation of wall finish materials, cabinets, closet shelving and rods, bathroom accessories, soffits, trim, etc. R. All walls shall be fire stopped with 2 x blocking or other approved material @ floor, ceiling, and at intervals not to exceed 8 feet (vertically between floor and ceiling). S. Provide sway bracing as required; per UBC 2517 (g) 3 and as shown. T. Insulate all framing cavities with fiberglass (i.e., partition nailers, rims, corners, etc) during framing and before covering these cavities to render inaccessible.</p> <p>06160 EXTERIOR SIDING AND TRIM CARPENTRY</p> <p>A. Caulk all exterior joints around siding joints, windows and doors. B. Install 15# felt, building paper, or Tyvek over wall sheathing prior to siding installation. C. Install siding per manufacturer's recommendations and requirements.</p> <p>06166 EXTERIOR DECKS, STAIRS, AND RAILINGS</p> <p>A. All structural members shall be pressure-treated hem-fir, and installed as shown and required. B. All mortar shall be mixed by mechanical means and proportioned by accurate measurement. C. Install 2X decking with 3/16" spacing between members.</p> <p>06200 FINISH CARPENTRY</p> <p>A. Interior trim material shall be installed as per the highest standards of craftsmanship ready for finishes as specified. B. Sand, stain, and finish interior trim prior to installation. C. Fill all nail holes with color putty to match stain color.</p> <p>06220 INTERIOR STAIRS AND RAILINGS</p> <p>A. Stairs shall conform to all applicable codes and requirements and shall be as per Owner input during the construction process. B. Stair parts shall be site built and installed by the General Contractor as shown in the drawings. C. Provide blocking as required for rigid and solid bearing for stair treads. D. Screw and plug balusters, rails, and cap with deck screws and contrasting plugs as required.</p> <p>06410 CUSTOM CASEWORK</p> <p>A. Perform work to custom quality in accordance with "Quality Standards" of the Architectural Woodwork Institute (AWI). B. Hardware shall be as selected by Owner to match existing. C. Provide and securely install 3/4" CDX, EXTERIOR grade plywood tops for thinnest counter tops. D. Provide cutouts for plumbing fixtures, inserts, appliances, outlet boxes, and other fixtures and fittings. Verify locations of cutouts from on-site dimensions. Seal contact surfaces of cut edges. E. Sand work smooth and set exposed nails. Apply wood filler in exposed nail indentations. On items to receive transparent finishes, use wood filler which matches surrounding surfaces and of types recommended for applied finishes. Stain and finish all exposed exterior surfaces. Seal, concealed and semi-concealed surfaces. F. Set and secure casework in place rigid, plumb, and level. Use purpose designed fixture attachments at concealed locations for wall mounted components. Secure cabinet and counter bases to floor using appropriate angles and anchorages. Counter-sink anchorage devices at exposed locations used to wall mount components, and conceal with solid plugs of species to match surrounding wood. Finish flush with surrounding surfaces. G. Adjust doors, drawers, hardware, fixtures and other moving or operating parts to function smoothly and correctly. Clean casework, counters, shelves, hardware, fittings and fixtures.</p>
GENERAL SITE WORK NOTES
<p>02222 EXCAVATION</p> <p>A. Excavate to grades indicated in the drawings and to allow footings to bear directly on undisturbed soil at the minimum required depth to provide frost protection. B. If excavation to design elevations discloses unsuitable bearing soil at that level, obtain authorization from the soils or structural engineer or TMA Fine Home Design before proceeding with additional excavation. Additional excavation costs shall be determined and agreed to with the Owner prior to proceeding with additional work. C. If during the course of excavation, solid rock formations are encountered, requiring drilling and/or blasting, the additional costs shall be the Owner's responsibility and shall be determined and agreed to with the Owner prior to proceeding with additional work. D. The General Contractor shall provide for de-watering of excavators from either surface water, ground water, or seepage as necessary. E. Baricade open holes, trenches, and depressions occurring as part of the work. Provide and install all cribbing, shoring and bracing required to safely retain earth embankments.</p> <p>02223 BACKFILLING</p> <p>A. All fill shall be free-draining, predominately granular material and free of organic and expansive material and carefully placed to protect all work and mechanically compacted in 6" lifts around foundation, under slabs, and adjacent stem walls, to 90% of ASTM D698. B. All fill under footings to be compacted to 95% of ASTM D698. C. Backfill shall not be placed against basement and retaining walls until concrete or masonry grout has reach its 28 day strength and walls are stabilize with completed and anchored structural floor framing.</p> <p>02950 TREES, PLANTS, AND GROUND COVER</p> <p>A. Reseeding of damaged portions of the lawn around excavated areas as required to refurbish to its original condition and appearance shall be the Owners responsibility unless agreed to otherwise.</p>
GENERAL CONCRETE NOTES
<p>03000 GENERAL CONCRETE WORK</p> <p>A. No concrete work shall be placed on frozen, soft, loose, wet, or soggy soil. B. Bottom of excavations shall be clean, flat, and free of any loose dirt, debris, or organic material. C. Provide and install block-outs, utility sleeves, connectors, etc. as shown and as necessary. D. Provide and install insulation, vapor barriers expansion joints, leveling bed, reinforcement, etc. as shown and required. E. Verify all soil conditions. All footing sizes are calculated for a soil bearing capacity as shown. present knowledge, but without guarantee of accuracy. Where actual conditions conflict with the Drawings, they shall be reported to TMA Fine Home Design so that proper revisions can be made. F. Chamfer all exposed edges of concrete 3/4" (min), U.N.O. G. Provide 1/2" expansion joint material between all concrete slabs 1" rigid foam at insulated and radiant slabs) and abutting concrete or masonry walls.</p> <p>03200 CONCRETE REINFORCEMENT</p> <p>A. Reinforcing steel shall be deformed bars in accordance with ASTM A-615; Grade 40 for reinforced sizes #4 and smaller, Grade 60 for reinforcement sizes #5 and larger. B. Concrete slab reinforcement shall be 6 x 6 10/10 welded wire fabric or fiber mesh reinforcing; U.N.O., Lap WWF 12" at splices. C. Steel reinforcement shall be clean and free of rust, scale, dirt or grease. D. All reinforcing steel, anchor bolts, dowels and other inserts shall be securely fastened in the forms prior to inspection to insure minimum concrete cover as follows:Footings: concrete placed against earth 3" concrete placed against forms exposed to earth 2"Walls: interior face 3/4" exterior face 1-1/2". Slabs: top or bottom 1". Piers: exterior face 1-1/2" E. Minimum lap and bend for all rebar shall be 48 diameters. F. Minimum 48 hour notice shall be given TMA Fine Home Design prior to each day of pour for steel inspection. G. Sills shall be bolted to concrete with 5/8" diameter anchor bolts with 7" min. embedment at 4'-0" o.c., U.N.O.. Bolts shall occur not more than 12", nor less than 6" from each end of any piece with a minimum of 2 bolts to any piece. Shop pins may be used at interior locations and as shown.</p> <p>03300 CONCRETE</p> <p>A. Portland cement shall conform to ASTM C-150 (Type II) unless alkaline soils are present. B. Water shall be fit to drink. C. Fine aggregates shall be natural sand or crushed stone or gravel to 1/4" maximum. Coarse aggregates shall be crushed stone or gravel 1/4" to 1-1/2" and not greater than 1/5 of thickness at walls and footings, and not greater than 1/3 of thickness at slabs. D. Concrete shall be placed with a maximum slump of 4". Use plasticizers where more workable concrete is desired. E. Concrete shall be maintained in a moist condition for a minimum of five (5) days after placement. Alternate methods of curing will be approved if satisfactory performance can be demonstrated. F. Concrete shall achieve a minimum of 3,000 psi compression strength at 28 days.</p> <p>03370 PROTECTION AND CURING</p> <p>A. All concrete shall be protected from injurious action of the elements and defacement of any nature during construction operations. B. Provide and maintain proper curing conditions required for all concrete work in accordance with ACI 301-72 (revised 1975).</p> <p>03600 NON-SHRINK GROUT</p> <p>A. Non-shrink grout shall be cement based with a minimum compressive strength of 3,000 psi when tested in accordance with ASTM C-109. B. Grout shall be mixed and placed in accordance with manufacturer's recommendations.</p>
GENERAL MASONRY NOTES
<p>04000 GENERAL MASONRY WORK</p> <p>A. Remove all mortar stains as a result of new masonry work. B. See Concrete Notes for reinforcing description.</p> <p>04100 MORTAR AND GROUT</p> <p>A. All mortar for reinforced masonry walls shall be as per UBC Table No. 24-A and shall attain a minimum compressive strength of 1,800 psi at 28 days. B. All mortar shall be mixed by mechanical means and proportioned by accurate measurement. C. All grout for grouted voids shall attain a minimum compressive strength at 28 days of 2,000 psi. Fine grout shall be a mix of one part portland cement and 2 1/4 to 3 parts sand. Coarse grout shall be one part portland cement and 2 1/4 to 3 parts sand, and 2 parts (max) pea gravel (3/8"). See UBC Table No. 24-B. D. Grout shall conform to ASTM C-150. The use of plastic/masonry cements will not be allowed. E. Water shall be fit to drink.</p> <p>04200 UNIT MASONRY</p> <p>A. Concrete masonry units to be ASTM C 90-70 grade N Type 1, 1000 psi, ASTM C331 and C33 moisture content 30% maximum of total absorption. 04400 STONE OR BRICK VENEER E. All veneer shall be anchored to struct. elements using corrosion resistant anchor ties. Ties shall be a min 22 ga x 1" with max vert and horiz spacing of 16" B.C.</p> <p>04800 INSTALLATION AND CURING</p> <p>A. No masonry work shall be laid when the temperature of the outside air is below that required by the mortar product for proper installation and curing, unless provision is made to maintain the masonry above this temperature and keep it from freezing.</p>
GENERAL REQUIREMENTS & NOTES
<p>01000 GENERAL CONDITIONS:</p> <p>A. Only the highest quality of workmanship shall be considered acceptable and shall be firmly secured and relate to elevations and dimensions as shown in the drawings; true to plumb, level, square, and line. B. All work shall conform with all applicable codes and ordinances and with accepted local standards of the trades. C. All nailing shall conform to the before mentioned building code regulations. D. Individual prints or partial sets of prints shall be considered part of the whole set of these drawings and specifications for this project. The recipient of individual prints or partial sets shall be responsible for information and intent not represented on the individual sheets or partial sets but shown elsewhere in these drawings and specifications. The General Contractor shall make available all necessary Drawings (including these General Notes) to Subcontractors and suppliers. E. The General Contractor shall be responsible for coordinating all aspects of the Work and shall inform the Owner of his work schedule and any anticipated changes that may occur in it. Place orders for all materials included in the Work by General Contractor or Subcontractors in time to prevent any delays in the Construction schedule or completion of the Work. F. The General Contractor shall not proceed with any work which he believes to be contrary to his knowledge of good construction standards and practices and shall not use any substandard materials. G. The General Contractor shall inform the Owner of any costs of materials, labor, overhead and profit which are caused by any changes or additions in the work intended by these Plans and Specifications prior to ordering materials and proceeding with the Work. H. The General Contractor shall be responsible to the Owner for the acts and omissions by himself and of his employees and Subcontractors, involved in the completion of work contracted. I. The General Contractor shall be expected to inspect the site for conditions affecting work and for anticipating the effects of those conditions upon his work. K. Minor details not usually shown or specified but necessary for the proper installation or conformance with codes or standards listed herein shall be included in the work. J. All work and material or equipment shall be guaranteed for a minimum of one year from date of substantial completion. K. Relative reference elevation of +100'-0" shall be established at the site. Protect and maintain benchmarks for the duration of the project. L. Items noted "Not in Contract", "N.I.C.", or "By Owner" are to be neither furnished nor installed under this contract, but are shown for informational purposes only. M. The General Contractor will report any and all discrepancies or omissions found in the Drawings and Specifications to TMA Fine Home Design. The Work affected shall not proceed until any clarification or revision has been completed or permission to continue is given. N. All information shown on the Drawings relative to existing conditions is given as the best present knowledge, but without guarantee of accuracy. Where actual conditions conflict with the Drawings, they shall be reported to TMA Fine Home Design so that proper revisions can be made. O. The Contract Documents represent the finished structure and do not indicate the methods of construction. The General Contractor shall supervise and direct the Work and shall be solely responsible for construction means, methods, techniques, sequences, and procedures. P. Observation visits to the site by field representatives of the Designer and/or Structural Engineer shall not include inspections of the protective measures or the construction procedures, and these visits shall not be construed as such. Any support services performed by the Designer and/or Structural Engineer during the construction shall be distinguished from continuous and detailed inspection services as furnished by others. These support services performed by the Designer and/or Structural Engineer, whether of material or work, and whether performed prior to, during, or after completion of construction, are performed solely for the purpose of assisting in quality control and in achieving general conformity with Contract Documents, but do not guarantee contractor's performance and shall not be construed as supervision of construction.</p> <p>01014 DIMENSIONS, MEASUREMENTS, AND LAYOUT</p> <p>A. Dimensions shall take precedence over graphic representations. Scaling of the drawings for dimensions or locations of materials or equipment is considered unacceptable. C. Larger scale drawings take precedence over smaller scale drawings. D. Notes and details on Drawings shall take precedence over these General Notes and Typical Details. Written Specifications take precedence over graphic representation of materials and items as well as their locations. E. All figures on the drawings indicate rough construction with no allowance for finish of any kind, except for the dimensions for details which are to finish work where indicated. F. Dimensions to side or center of doors or windows are to rough openings. Locate rough openings in 6" dimensioned framing distance (king and trim studs) from closest walls or center between walls. G. The General Contractor shall be responsible for locating and laying out the Work (including grades and elevations). The General Contractor will exercise proper precaution to verify figures shown on the Drawings while laying out the Work, and be responsible for all errors resulting from failure to exercise such precaution.</p> <p>01016 SUBCONTRACTORS</p> <p>A. Each Subcontractor shall furnish a Certificate of Insurance to the General Contractor indicating policy conditions and limits of liability insurance prior to starting the Work. Each Subcontractor shall provide the General Contractor with proof of Workman's Compensation for each of his employees. B. Each trade shall coordinate its work as is practical and will interfere as little as possible with the work of other trades and persons. It will be assumed that each trade has accepted the quality of the work of others upon which his work must be applied. C. During progress of Work maintain premises free from unnecessary accumulation of tools, equipment, surplus materials, and debris. Each Subcontractor shall be responsible for cleaning up after their respective work, as well as maintaining a clean and orderly site. D. Store and handle materials and equipment so as to prevent damage affecting appearances, performance of material or equipment or finish work. In the event of damage, promptly make repairs or replacements and be responsible for costs incurred and time required for repairs or replacements at no additional cost to the Owner. E. All subcontractors shall remove and redo defective work as determined by the General Contractor or the Designer at no additional cost to the General Contractor or Owner. F. Each subcontractor shall guarantee materials and workmanship against defects which may occur under normal usage for a period of one (1) year after final acceptance.</p> <p>01018 PERMITS, FEES, INSPECTIONS, REGULATIONS, AND COVENANTS</p> <p>A. Permits and licenses necessary to perform the Work shall be secured by the General Contractor. B. The General Contractor shall obtain all code checks, inspections, and laboratory investigations required by ordinances, codes, rules and regulations, building inspectors, city or county engineers, etc. C. The General Contractor and Subcontractors shall comply with all covenants and requirements of the Subdivision (if any) as if included in these documents.</p> <p>01500 TEMPORARY FACILITIES AND CONTROLS</p> <p>A. All construction equipment required to perform the Work to be furnished by the General Contractor. B. The General Contractor shall provide and pay for power, light, water, and heat as required during construction. C. Subcontractors and their employees shall be provided and allowed use of sanitary facilities on the premises.</p>
GENERAL SITE WORK NXOTES
<p>02000 GENERAL SITE WORK:</p> <p>A. Protect all existing trees, vegetation, objects, and structures from damage or removal except those designated for removal on the drawings, or by the Owner, or the landscape and home design. B. Minimize access and material storage areas as indicated by the Owner, or landscape and home designers. C. The General Contractor will check with utility companies and the Owner for actual locations of any underground utilities before starting operations. Active underground utilities shall be adequately protected from damage and if damaged shall be immediately repaired at no extra cost to the Owner. D. The locations and routing of utilities as shown on the Site Plan are diagrammatic in nature and shows approximate location of utilities and equipment. Exact routing or locations of equipment to be governed by site conditions and minor changes required and determined on site. E. Any soils data, including soils report, in its entirety shall be included as part of these Contract Documents. For recommended soil bearing pressure foundation material, and site grading, see soils report and geological report.</p> <p>0221 1 GRADING</p> <p>A. Rough grading work and finish grading shall be by the Excavating Contractor and coordinated by the landscape and home designers. B. Grade to smooth, uniform surface to elevations, shown or required for positive drainage, frost protection, and clearances. C. Slope all grades a minimum 1/4" per foot away from foundations, walls, walkways, decks, etc. D. New topsoil, if required, shall be reasonably free of obnoxious weeds, stones, lumps, plants or their roots, sticks or other extraneous matter, and shall not be worked in a frozen or muddy condition.</p>



3 (E) THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"



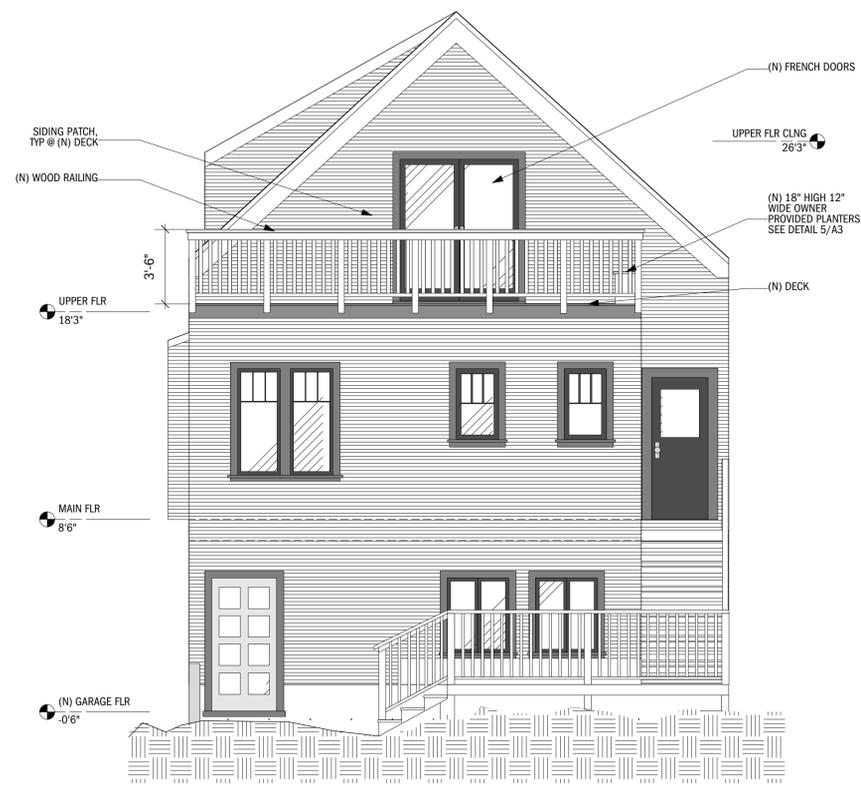
2 (E) SECOND FLOOR PLAN - NO CHANGE
Scale: 1/4" = 1'-0"



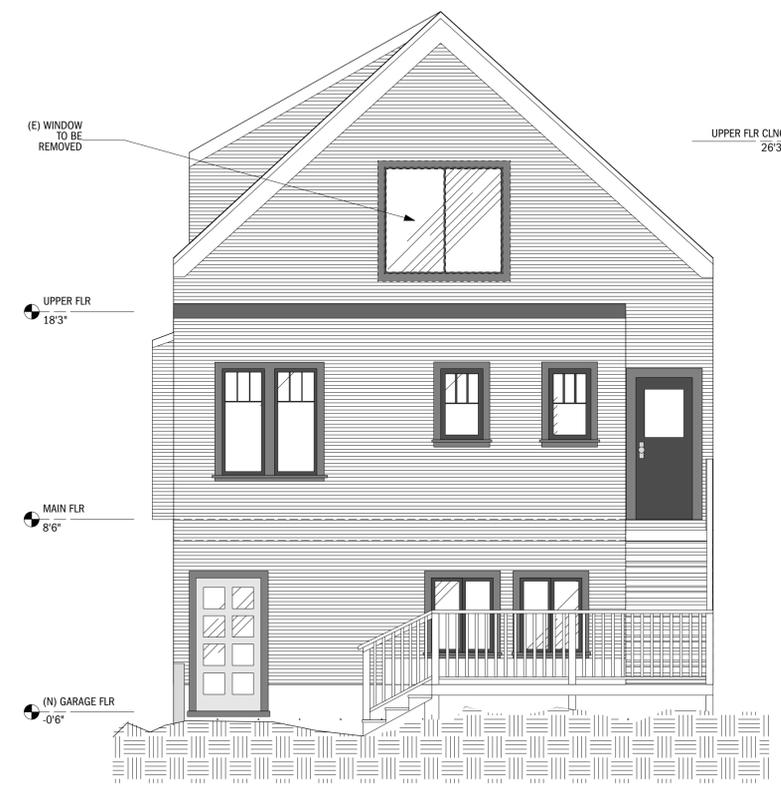
1 (E) FIRST FLOOR PLAN - NO CHANGE
Scale: 1/4" = 1'-0"



1 (E) FRONT ELEVATION - NO CHANGES
Scale: 1/4" = 1'-0"



3 (N) REAR ELEVATION
Scale: 1/4" = 1'-0"



3 (N) REAR ELEVATION
Scale: 1/4" = 1'-0"



5 (N) SIDE ELEVATION (FROM EUGENIA)
Scale: 1/4" = 1'-0"



5 (N) SIDE ELEVATION (FROM EUGENIA)
Scale: 1/4" = 1'-0"

ISSUE FOR SITE PERMIT 3/21/13



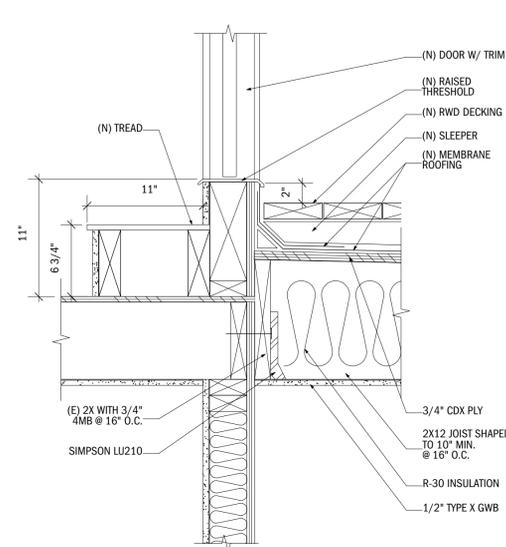
SCALE : 1/4" = 1'
ELEVATIONS

WALL/PARTITION LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO DEMO
	NEW WALL
	NEW FIRE RATED WALL

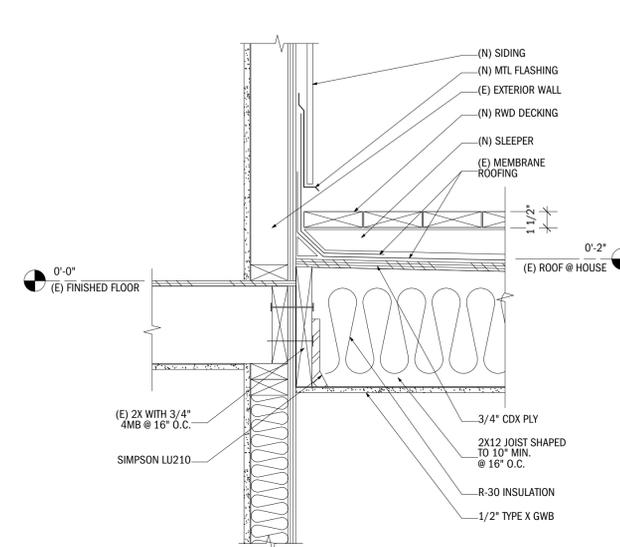
Door Schedule													
Mark	Nominal Size			Door Operation	Door Style	Door Frame				Openings			Door Data
	Width	Height	Thick			Slab Style	Jamb Thick	Jamb Depth	RO Width	RO Height	Mas O Width	Mas O Height	
D-01	5'7"	6'8"	1 3/4"	Swing Bi-part	Square	Solid	3/4"	6"	5'9"	6'9"	6'0"	7'4"	

FINISH SCHEDULE					
LOCATION	ITEM	MARK	STYLE	COLOR	DESCRIPTION
BATH	FLOOR	TILE			
	TRIM	WOOD			
	WALL	TILE/PAINT			
	CEILING	PAINT			
	COUNTER-TOPS	TBD			PROVIDE MATERIAL ALLOWANCE AT \$25 PSF.

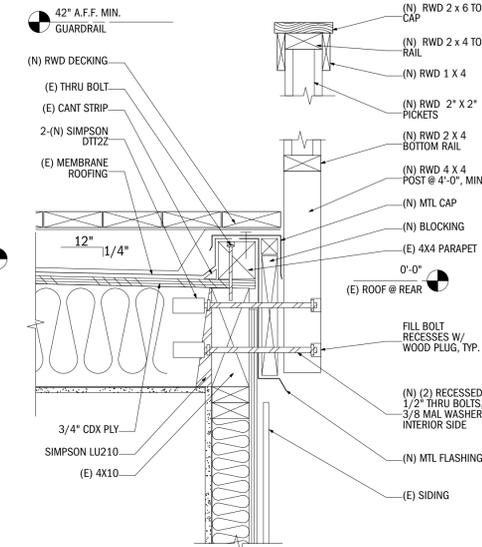
FIXTURE & APPLIANCE SCHEDULE					
ARROW INDICATES ITEM PENDING CLIENT APPROVAL; SEE PLANS & INTERIOR ELEVATIONS FOR REFERENCE TAGS					
CIRCLE SYMBOL INDICATES OWNER PROVIDED, CONTRACTOR INSTALLED ITEM					
	LOCATION	ITEM	MFR	SPEC	COMMENTS
▶	(N) BATH	TOILET			
▶		SINK			
▶		FAUCET			
▶		SHOWER CONTROLLER			
▶		SHOWER HEAD			
▶		BATHTUB			
▶		TOWEL BAR			
▶		TP HOLDER			
▶		MEDICINE CAB			
▶		VANITY			



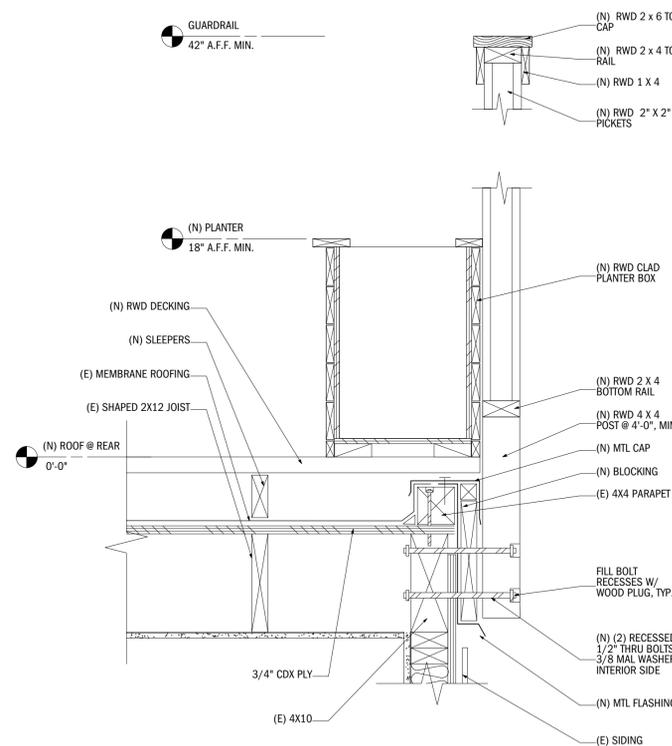
3 (N) DECK DETAIL @ DOOR/THRESHOLD
Scale: 1 1/2" = 1'-0"



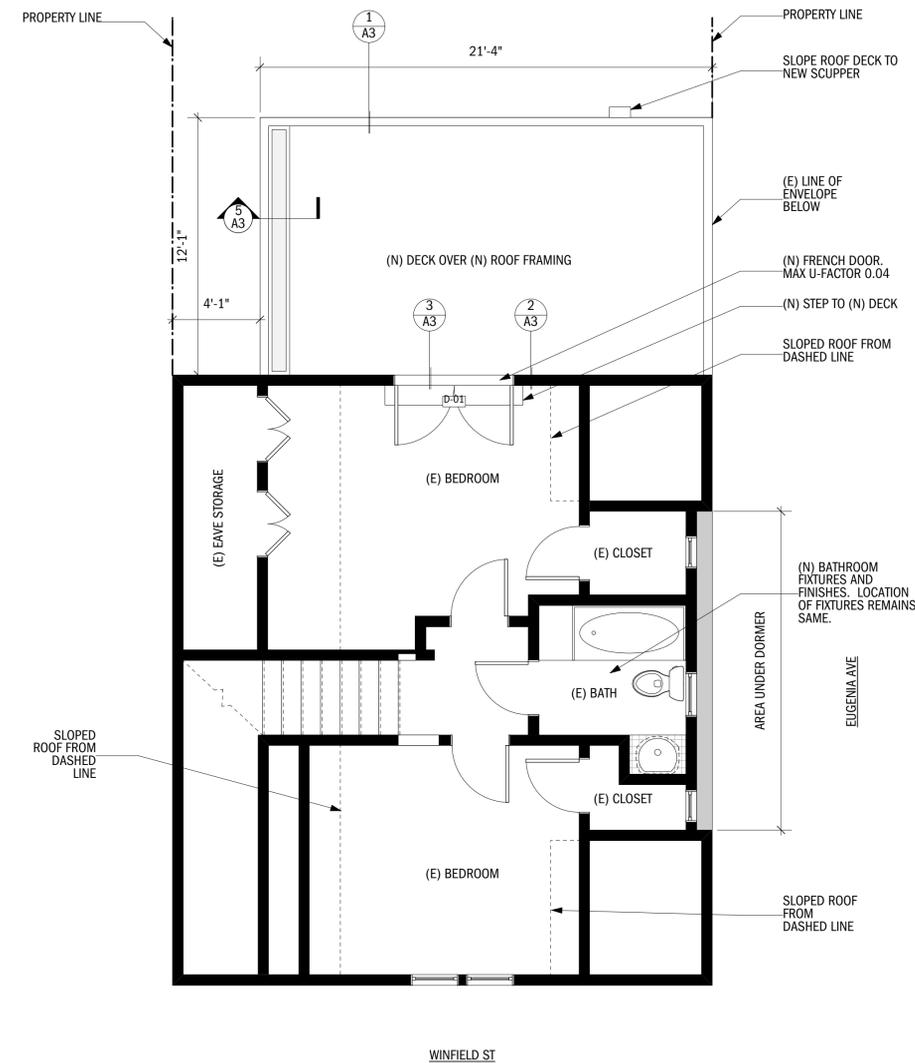
2 (N) DECK DETAIL @ HOUSE
Scale: 1 1/2" = 1'-0"



1 (N) DECK DETAIL @ RAILING
Scale: 1 1/2" = 1'-0"



5 (N) PLANTER BOX DETAIL
1 1/2" = 1'-0"



4 (N) THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"

ISSUE FOR SITE PERMIT 3/21/13



SCALE : AS NOTED
CONSTRUCTION PLANS