



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: AUGUST 1, 2013

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: July 25, 2013
Case No.: **2013.0825D**
Project Address: **3871 JACKSON STREET**
Permit Application: 2013.03.11.1942
Zoning: RH-1 [Residential House, One-Family]
40-X Height and Bulk District
Block/Lot: 0990/020
Project Sponsor: Nicholas Thomas
Martinkovic Millford Architects
101 Montgomery Street
San Francisco, CA 94104
Staff Contact: Sharon Lai – (415) 575-9087
sharon.w.lai@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal is to replace an existing cantilevered second floor deck with a two-story horizontal rear extension with a roof deck at the rear of a single-family house. The proposed two-story expansion will measure approximately 15 feet deep by 29 feet wide and add approximately 870 square feet of habitable space. The proposed horizontal expansion extends approximately 5 feet beyond the existing rear deck.

SITE DESCRIPTION AND PRESENT USE

The subject property is a downward sloping lot from the front to the rear. The parallelogram-shaped lot is a mid-block lot and measures approximately 29 feet in width and 128 feet deep. The subject three-story over garage single-family dwelling was constructed circa 1936. The existing lot is developed with approximately 57% lot coverage, including the deck structure. The Project Sponsor indicates that the existing building contains approximately 3,480 square-feet.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property at 3871 Jackson Street is located on the south side of the street between Cherry Street to the east and Arguello Boulevard to the west, in the Presidio Heights neighborhood. The subject block is located one block south of the Presidio, which is under federal jurisdiction. The subject lot and block, as well as the adjacent blocks, are zoned RH-1. Its immediate neighbor to the rear (the DR Requestor) is a three-story single-family home, located within the same zoning district. Although there is a pattern of mid-block open space, there are multiple properties on the subject block with one-, two-, and three-story rear projections. The immediate neighbor to the west contains a significantly deeper structure that extends approximately 28 feet beyond the subject lot's deck. The subject building and deck is approximately 5 feet deeper than the east side neighbor's structure.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	May 21, 2013 – June 19, 2013	June 18, 2013	August 1, 2013	44 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	July 22, 2013	July 22, 2013	10 days
Mailed Notice	10 days	July 22, 2013	July 22, 2013	10 days

PUBLIC COMMENTO

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	2	3*	N/A
Other neighbors on the block or directly across the street	N/A	3*	N/A
Neighborhood groups	N/A	N/A	N/A

*Three additional adjacent neighbors and three additional neighbors on the block have signed a petition in opposition to the extent of the development into the common rear yard.

DR REQUESTOR

The DR Requestor is Bruce Armstrong, rear abutting neighbor to the south, at 3974 Washington Street.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated June 18, 2013.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated July 15, 2013.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

There is a substantial distance that is greater than the minimum Code Complying rear yard between the subject property and the DR Requestor's property. Hence, the proposed project does not result in exceptional or extraordinary impacts to neighbors' privacy or the mid-block open space pattern. There is an existing pattern of two-story rear additions on the subject block, including the DR Requestor's property, therefore no adverse impacts on the mid-block open space or the adjacent neighbors' existing light and air conditions are present. The Residential Design Guidelines do not require consistency with regard to neighborhood character at the rear building walls, and therefore, the Planning Department finds the proposed rear façade to be appropriate. Geotechnical issues are not part of the Planning Department's purview for the subject scope of work and are therefore not analyzed as part of this project.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

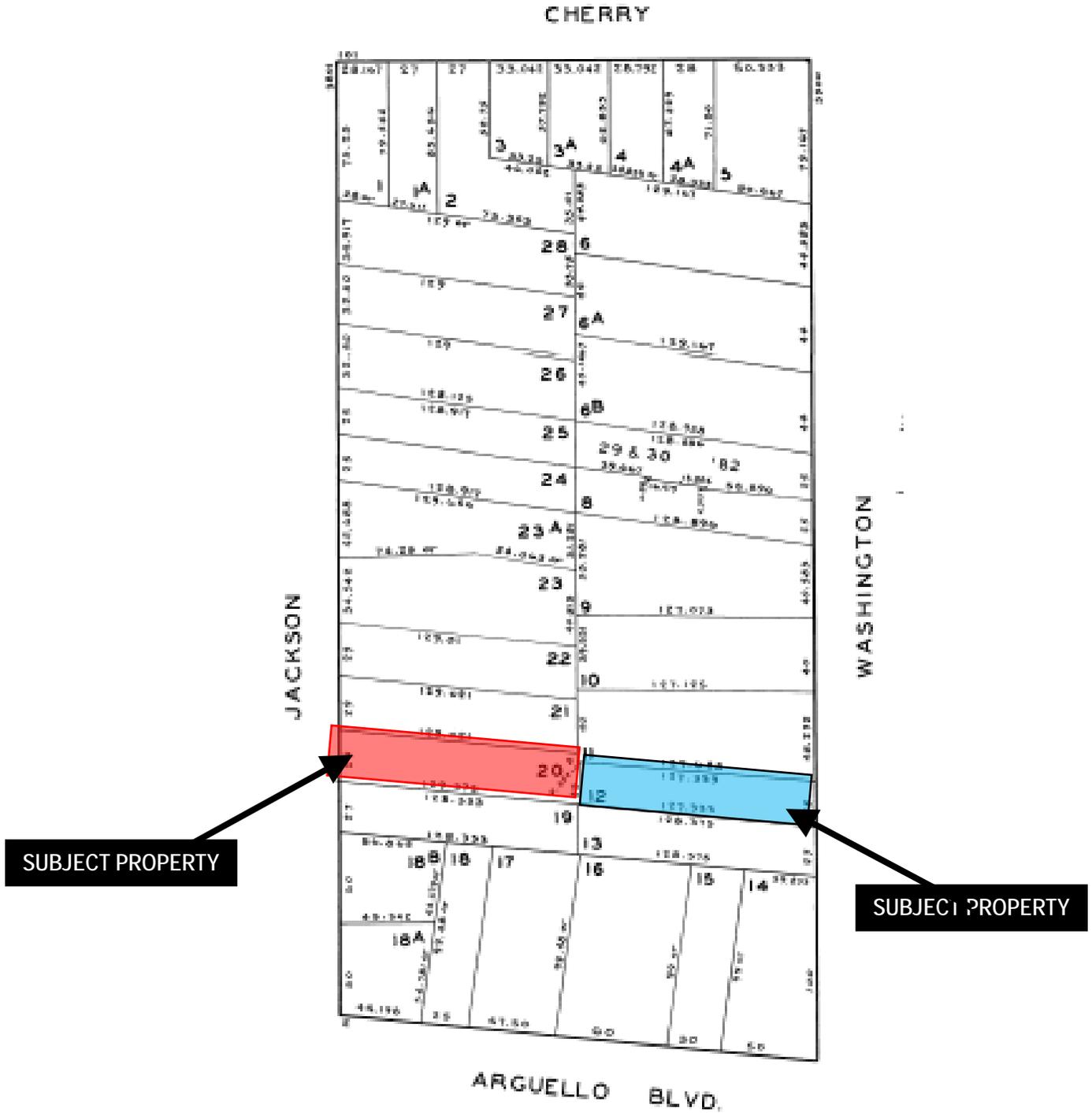
RECOMMENDATION: Do not take DR and approve project as proposed
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Attachments:

- Block Book Map
- Sanborn Map
- Aerial Photographs
- Context Photographs
- Section 311 Notice
- DR Application
- Petition in Opposition
- Response to DR Application dated July 15, 2013
- Letters of Support
- Reduced Plans
- Pre-application Materials

SL: G:\DOCUMENTS\DRs\3871 Jackson St\3871 Jackson St - DR Abbreviated Analysis.doc

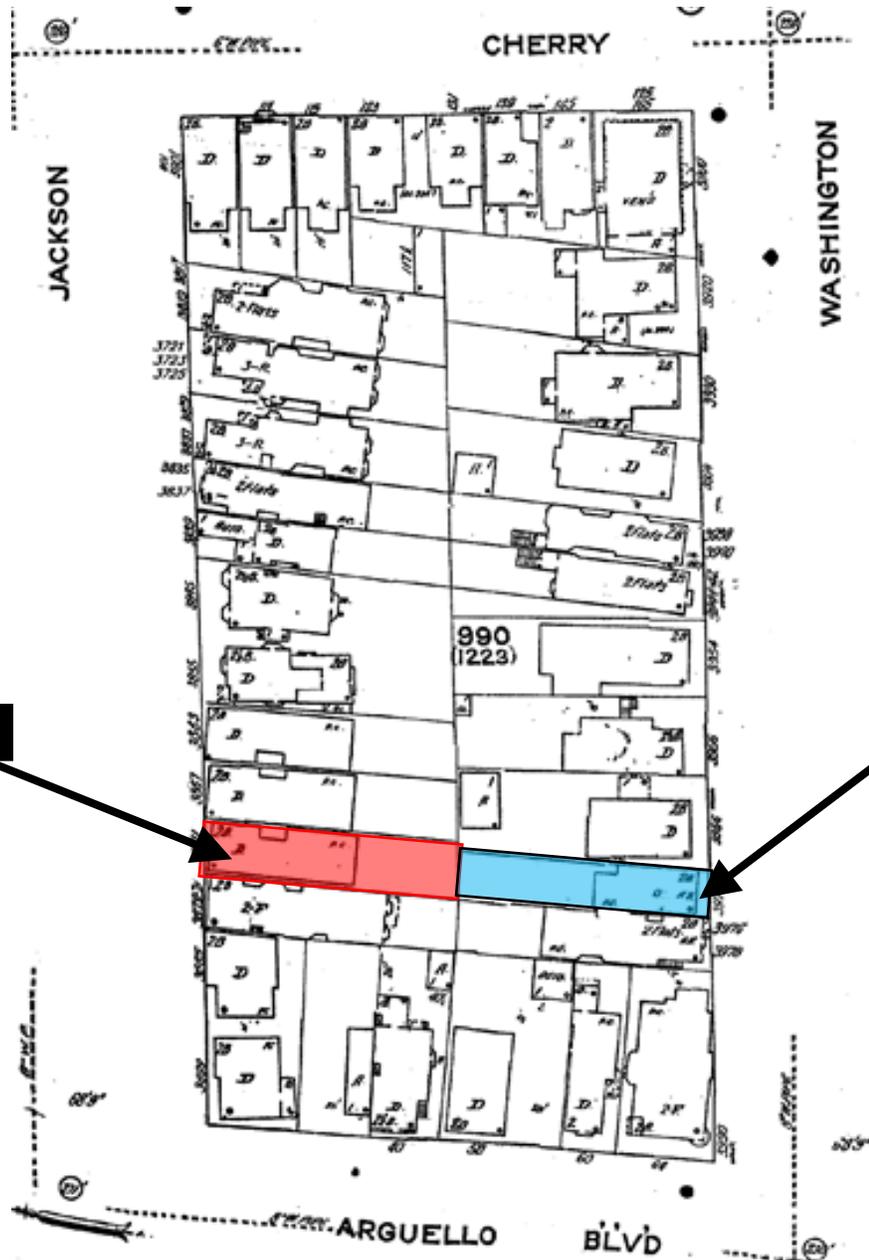
Parcel Map



Abbreviated Discretionary Review
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3871 Jackson Street



Sanborn Map*



SUBJECT PROPERTY

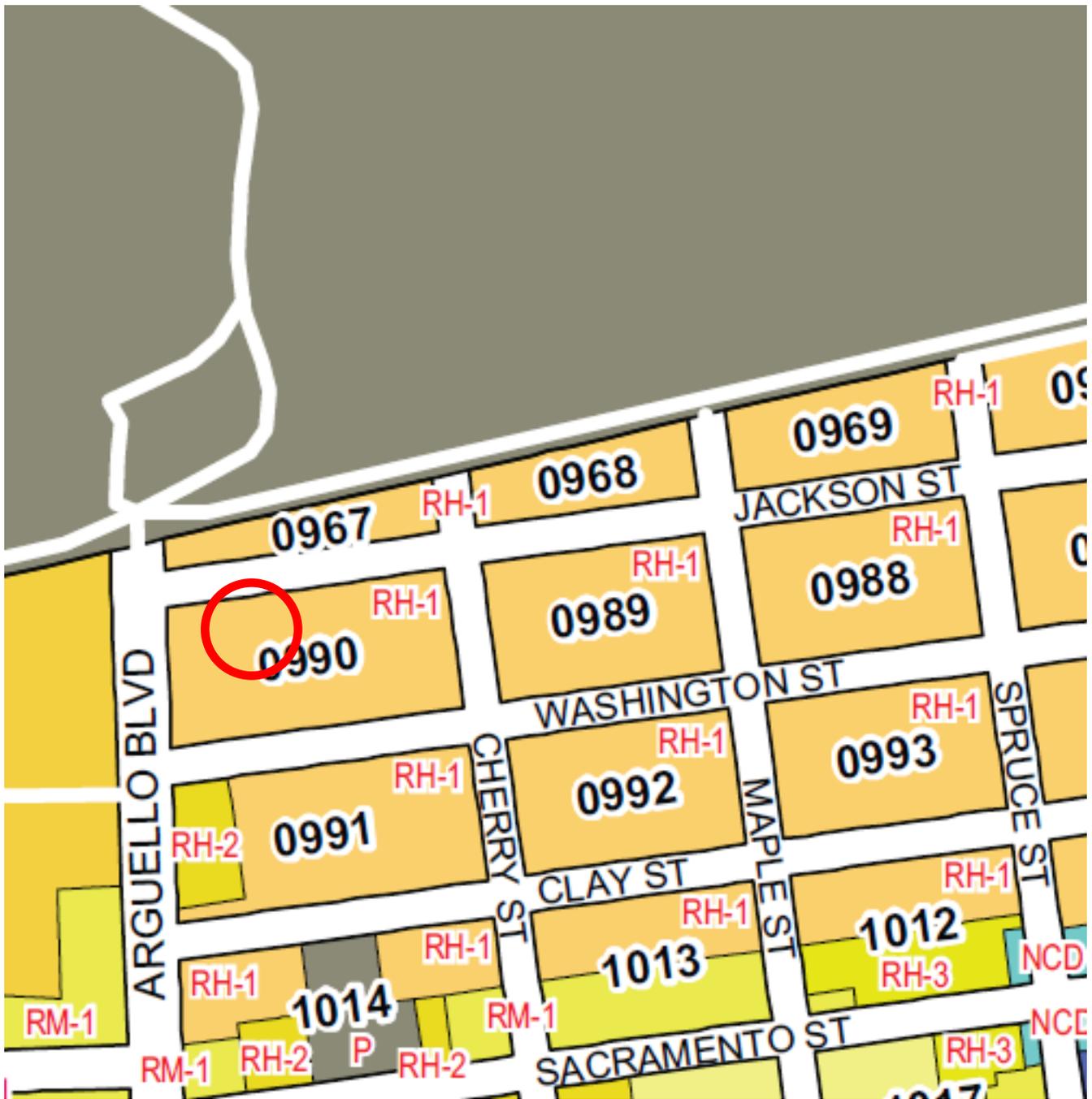
SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Abbreviated Discretionary Review
Case Number 2013.0825D
3871 Jackson Street

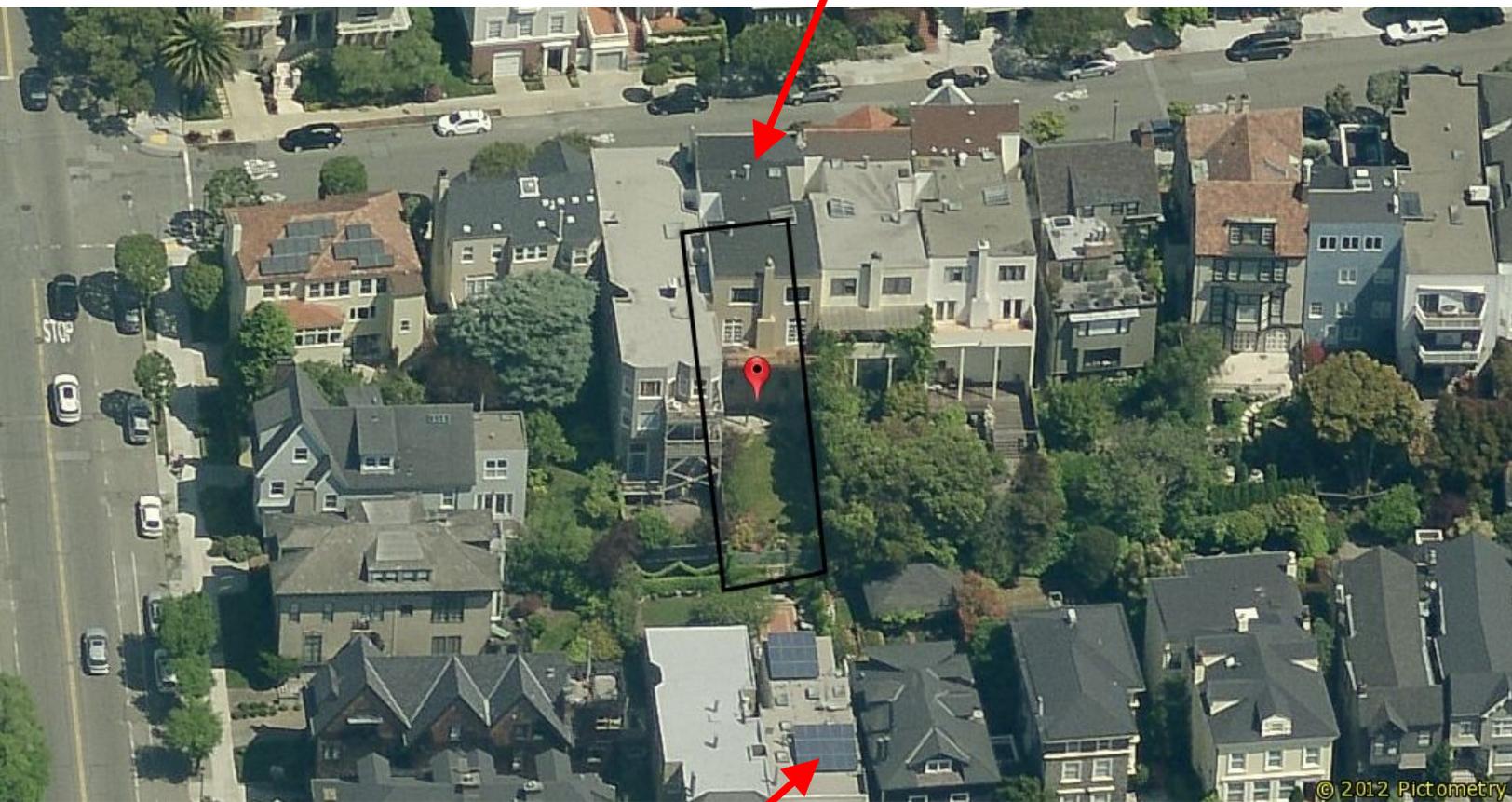
Zoning Map



Abbreviated Discretionary Review
Case Number 2013.0825D
3871 Jackson Street

Aerial Photo View to North

SUBJECT PROPERTY



DR REQUESTOR



Abbreviated Discretionary Review
Case Number 2013.0825D
3871 Jackson Street

Aerial Photo View to East



SUBJECT PROPERTY

DR REQUESTOR



Abbreviated Discretionary Review
Case Number 2013.0825D
3871 Jackson Street

Aerial Photo View to West

SUBJECT PROPERTY



© 2012 Pictometry

DR REQUESTOR



Abbreviated Discretionary Review
Case Number 2013.0825D
3871 Jackson Street

Site Photo

SUBJECT PROPERTY



Abbreviated Discretionary Review
Case Number 2013.0825D
3871 Jackson Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **March 12, 2013**, the Applicant named below filed Building Permit Application No. **2013.03.11.1942** (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Nicholas Thomas Martinkovic Milford Architects,	Project Address:	3871 Jackson Street
Address:	101 Montgomery Street	Cross Streets:	Arguello Blvd/Cherry St
City, State:	San Francisco, CA 94104	Assessor's Block /Lot No.:	0990/020
Telephone:	(415) 346-9990	Zoning Districts:	RH-1 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)
PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK	4 feet.....	No Change
SIDE SETBACKS .....	.0.....	No Change
BUILDING DEPTH	73 feet.....	78 feet
REAR YARD.....	50 feet.....	45 feet
HEIGHT OF BUILDING (to top of ridge at front).....	41 feet.....	No Change
NUMBER OF STORIES	3 (over basement)	No Change
NUMBER OF DWELLING UNITS	1.....	No Change
NUMBER OF OFF-STREET PARKING SPACES	2.....	No Change
PROJECT DESCRIPTION		

The proposal is to replace an existing second floor rear deck with a two-story horizontal rear extension with a roof deck. The proposed two-story expansion will measure approximately 15 feet deep by 29 feet wide and add approximately 870 square feet of habitable space. See attached plans.

PLANNER'S NAME: **Sharon Lai**

PHONE NUMBER: **(415) 575-9087**

EMAIL: **sharon.w.lai@sfgov.org**

DATE OF THIS NOTICE: **05/21/2013**

EXPIRATION DATE: **06/19/2013**

NOTICE OF BUILDING PERMIT APPLICATION GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the site plan and elevations (exterior walls), and floor plans (where applicable) of the proposed project, including the position of any adjacent buildings, exterior dimensions, and finishes, and a graphic reference scale, have been included in this mailing for your information. Please discuss any questions with the project Applicant listed on the reverse. You may wish to discuss the plans with your neighbors and neighborhood association or improvement club, as they may already be aware of the project. Immediate neighbors to the project, in particular, are likely to be familiar with it.

Any general questions concerning this application review process may be answered by the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00 a.m. - 5:00 p.m. Please phone the Planner listed on the reverse of this sheet with questions specific to this project.

If you determine that the impact on you from this proposed development is significant and you wish to seek to change the proposed project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Seek a meeting with the project sponsor and the architect to get more information, and to explain the project's impact on you and to seek changes in the plans.
2. Call the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment through mediation. Community Boards acts as a neutral third party and has, on many occasions, helped parties reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps, or other means, to address potential problems without success, call the assigned project planner whose name and phone number are shown at the lower left corner on the reverse side of this notice, to review your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects, which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission over the permit application, you must make such request **within 30 days of this notice, prior to the Expiration Date shown on the reverse side**, by completing an application (available at the Planning Department, 1660 Mission Street, 1st Floor, or on-line at www.sfplanning.org). You must submit the application to the Planning Information Center (PIC) during the hours between 8:00 a.m. and 5:00 p.m., with all required materials, and a check, for each Discretionary Review request payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org or at the PIC located at 1660 Mission Street, First Floor, San Francisco. For questions related to the Fee Schedule, please call the PIC at (415) 558-6377. If the project includes multi building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the approval (or denial) of the permit application by the Planning Department or Planning Commission may be made to the **Board of Appeals within 15 days** after the permit is issued (or denied) by the Superintendent of the Department of Building Inspection. Submit an application form in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including their current fees, **contact the Board of Appeals at (415) 575-6880**.

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME		
BRUCE ARMSTRONG		
DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
3974 WASHINGTON STREET	94118	(415) 221-2291
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME		
SHUJI & KEIKO INABA		
ADDRESS:	ZIP CODE:	TELEPHONE:
2447 JACKSON ST	94115	()
CONTACT FOR DR APPLICATION:		
Same as Above <input type="checkbox"/> NICHOLAS THOMAS/MARINKOVIC MILFORD ARCHITECTS		
ADDRESS:	ZIP CODE:	TELEPHONE:
101 MONTGOMERY ST	94104	(415) 346-9990
E-MAIL ADDRESS:		

2. Location and Classification

STREET ADDRESS OF PROJECT:		ZIP CODE:		
3871 JACKSON STREET		94118		
CROSS STREETS:				
ARGUELLO & CHERRY				
ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
0990 / 1020				RH-1/40-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other Additions to Building: Rear Front Height Side Yard

Present or Previous Use: _____

Proposed Use: _____

Building Permit Application No. 2013.0311.1942 Date Filed: 03/12/2013

RECEIVED

JUN 18 2013
CITY & COUNTY OF S.F.
DEPT. OF CITY PLANNING
PIC

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

We met with the applicant's agent, Riaz Taplin, and exchanged numerous emails. Mr. Taplin has made no modifications to the project. He suggested planting bamboo to address our concerns. He has repeatedly ignored our requests for the name of the project staff planner. He ignored our request for geotechnical information until we complained to the Building Dept about the excavation spoils he was storing near the old retaining wall, holding up the subject property. He ignored repeated queries as to when he was going to submit the application for the project. When we persisted, he told us to file a Discretionary Review. He never told us he applied.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

1) The proposed 3871 Jackson expansion disrupts a 115 year old strong mid block open space pattern between Jackson & Washington Streets. The applicant is using the "50% rear of house" averaging rule in the Residential Guidelines to set their expansion. However, the adjacent neighbor, 3877 Jackson, which the applicant is using as a point of the average, would never be allowed to be built today. 3877 Jackson is the only house on the block which is built all the way out to 75% of its lot area. All of the other houses on our block have "held the line", of our mid block open space, even with almost all having gone through extensive renovations over the years. See "Photo 1" attached. We ask for the applicant to be directed to pull back the mass of the enclosed expansion to a more appropriate size.

*continued on
attached page*

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

1) We don't want to lose our strong mid-block open space, which a casual interpretation of the Residential Guidelines might allow
 2) The project proposes a 16' deep, 28' high solid wall adjacent to 3867 Jackson. The owner of 3867 Jackson recently passed away and her children are bereaved and do not want to get involved in this. This will be severely impacted by this high, solid wall.
 3) The grade differences between our homes and the project amplifies the expansion and impact of the large windows.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

1) Reduce/pull back expansion
 2) Modify window orientation, size, and style to be compatible with surrounding homes
 3) A geotechnical analysis of the project's effect on the old, leaning retaining wall holding up their property from falling onto ours.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

6/18/13

Print name, and indicate whether owner, or authorized agent:

Bruce Armstrong
 Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent <i>appl. by owner</i>	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

NOTES:

Required Material

Optional Material

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Continued from #1 on page 9:

2) The project proposes very large, horizontal, modern windows looking directly into our bedrooms. The project sponsor listed those as existing windows in Section 311 of the application. These were not the existing windows. This existing smaller, vertical, historic windows and rear facade were demolished prior to application. See "Photo 2". We would like to see windows in a character and scale compatible with the neighborhood. We ask the applicant to be directed to provide windows in keeping with orientation, size and style of the surrounding homes.

3) There is a very old, 10' high retaining wall leaning into our property that holds up the project lot. There appears to be an excess of 20% grade difference between the proposed rear expansion and our properties at grade. The project's building permits says it's location requires a geotechnical analysis if the project is in excess for a 20% grade. We have asked the applicant repeatedly for geotechnical information and his response was that he asked the engineer and "its fine". We would like to see a geotechnical analysis of the project's effects on our property.

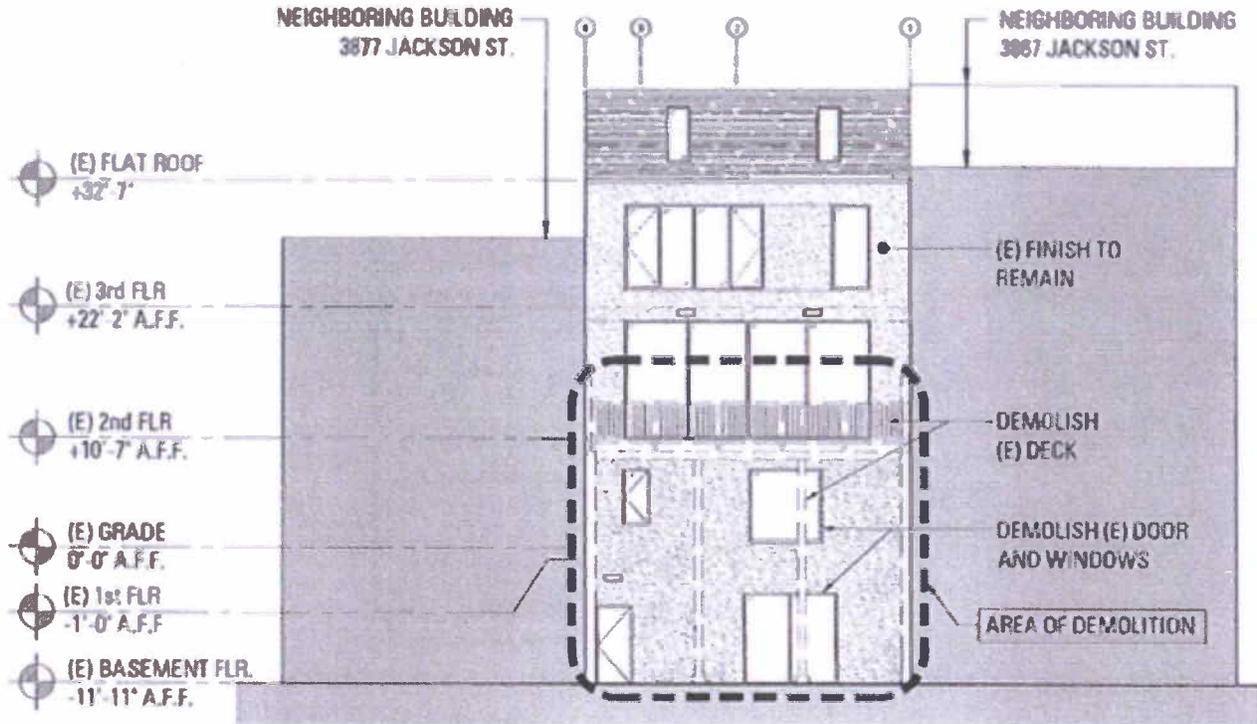
Photo 1



13.0825D

13.0825D

Photo 2



EXISTING REAR EXTERIOR ELEVATION

3871 Jackson Street

San Francisco, CA

Existing Façade & Windows



June 10, 2013

Ms. Sharon Lai
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: 3871 Jackson Street Building Permit Application No. 2013.03.11.1942

Dear Ms. Lai:

We are neighbors of 3871 Jackson and object to the extent of the development into our common rear yard open space.

Since the late 1890's, all the houses on our block, except for 3877 Jackson, have "kept the line" of the common rear yards, as you can see in the photo below. 3877 Jackson is the building at the far left.



Almost all of the houses on the block have gone through extensive renovations, and all of the neighbors have "kept the line" to preserve our common open space.

The proposed extension of the 3871 project is the average between the rear of 3877 Jackson and its neighbor to the east. It does not seem right to include an exception (3877 Jackson) -with a rear yard that would not be approved today - as an averaging point under the Residential Guidelines. Is there any weight given to the historic rear yard we all share, as to how to apply the averaging of the rear yard depth in the Residential Guidelines?

We have tried to discuss this with Riaz Taplin, the agent for the owner. He told us on March 25th that he would discuss it with the owners. He never got back to us with a response from the owners, and applied for the project.

Will you please let us know what place the historic rear open space plays in your planning approval decisions? We do not want to set a precedent which will allow new owners to come in, and continually reduce the size of the rear yard open space.

Sincerely,

The Neighbors of 3871 Jackson

Bruce & Hilary Armstrong – 3974 Washington St

Nick & Leslie Podell – 3966 Washington St

Diana & Doug Horner - 3899 Jackson St

Maira V. Kimball
Maira Kimball - 3976 Washington St

Scott Robertson - 3990 Washington St

Debbie Fomaine
3978 Washington St.

June 10, 2013

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1650 Mission Street, Suite 400
San Francisco, CA 94103

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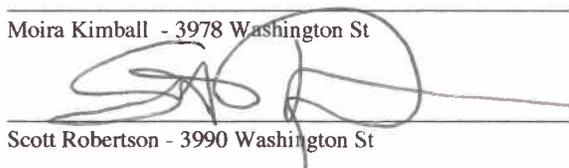
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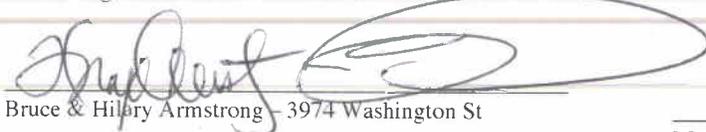
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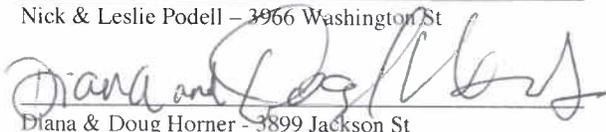
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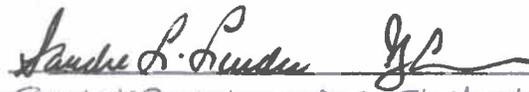
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Sandy & Ron Linder, 3956 Washington St

Bruce & Hilary Armstrong - 3974 Washington St

Moira Kimball - 3978 Washington St

Nick & Leslie Podell - 3966 Washington St

Scott Robertson - 3990 Washington St

Diana & Doug Horner - Jackson St.

**Before the
San Francisco Planning Commission**

**PROJECT SPONSOR'S SUBMITTAL IN OPPOSITION TO
REQUEST FOR DISCRETIONARY REVIEW**

**3871 Jackson Street
Building Permit No.: 2013.03.11.1942**

Project Sponsor: Keiko and Shuji Inaba

Hearing Date: August 1, 2013

Attorneys for Project Sponsor:

REUBEN, JUNIUS & ROSE, LLP

One Bush Street, Suite 600 San Francisco, CA 94104
t] 415 567 9000 f] 415 399 9480

A. INTRODUCTION

Keiko and Shuji Inaba (“Project Sponsor”) propose a modest horizontal addition, 5 feet beyond their former deck ¹, or 15 feet beyond the old building line (“Project”) at the rear of the first and second floors (and basement) of their existing single-family home at 3871 Jackson Street. The proposal is a fully code compliant addition that has undergone extensive review by RDT and the Department is in support of the project as proposed. The Project Sponsor has worked diligently to design a horizontal addition that fits gracefully into its location in terms of size, scale and character. The Project Sponsor’s proposal enjoys unconditional support from the two adjacent property owners. See letters from Clinton, Wes, and Alexander Ashford, owners of 3877-3879 Jackson Street, and the Rhein family, owners of 3867 Jackson Street, both attached as **Exhibit A**.

B. SITE INFORMATION

Street Address: 3871 Jackson Street

Cross Street: Arguello Boulevard and Cherry Street

Assessor’s Block/Lots: Block 990, Lot 20

Zoning District: RH-1

Height and Bulk District: 40-X

Existing Use: Single family home

Proposal: Single family home

Horizontal Addition: 5 feet

C. PROJECT DESCRIPTION

The proposed horizontal addition at 3871 Jackson Street will be separated from the DR applicant’s home, which is located at 3974 Washington Street, by two rear yards, those behind Mr. Armstrong’s and Mr. Inaba’s homes, totaling approximately 90 feet. The Project has been designed to respect the neighborhood. The third floor will be set back 15 feet from the lower two levels. The adjacent building at 3877 Jackson Street will continue to extend 16½ feet past the rear of the Project Sponsor’s home after completion of the addition. The proposed horizontal addition is compatible with the subject block, and maintains a rear yard of 45 feet at the Property.

¹ The deck was demolished in conjunction with the seismic upgrade of the home.

D. THERE ARE NO EXCEPTIONAL OR EXTRAORDINARY CIRCUMSTANCE THAT JUSTIFY DISCRETIONARY REVIEW

The Planning Commission's authority to review permits on a case-by-case basis under "Discretionary Review" (Municipal Code of the City and County of San Francisco, Part III, Section 26(a)²) must be carefully exercised. In 1943, the California Supreme Court held that the San Francisco Board of Permit Appeals, pursuant to the above-referenced Section 26(a), had the authority to exercise its "sound discretion" in granting or denying building permits (See Lindell Co. v. Board of Permit Appeals (1943) 23 Cal.2d 303). In 1954, then San Francisco City Attorney Dion R. Holm issued Opinion No. 845, in which he opined that the Planning Commission has similar discretion to grant or deny building permits. However, the City Attorney cautioned the Planning Commission with respect to the judicious exercise of this discretion. In his opinion, the City Attorney stated as follows:

"I think it is entirely plain, on the authority of the above-enunciated general principles, that the reservation of authority in the present ordinances to deal in a special manner with exceptional cases is unassailable upon constitutional grounds . . . this is, however, a sensitive discretion and one which must be exercised with the utmost restraint." (City Attorney Opinion No. 845, p. 8, emphasis in original).

The discretionary review handout provided to the public by the Planning Department reiterates this underlying foundation of the discretionary review power. That publication provides that "discretionary review is a special power of the Commission, outside the normal building permit application approval process. It is supposed to be used only when there are exceptional and extraordinary circumstances associated with a proposed project. The Commission has been advised by the City Attorney that the Commission's discretion is sensitive and must be exercised with utmost constraint."

In this case, the Planning Commission should exercise such constraint by approving the Project.

There are no "exceptional and extraordinary circumstances" in this case that would justify the Planning Commission's exercise of its discretionary review powers. Each of the specific issues raised by the DR Applicant are meritless, for the reasons that follow.

² Section 26(a) provides that "[I]n the granting or denying of any permit, or the revoking or the refusing to revoke any permit, the granting or revoking power may take into consideration the effect of the proposed business or calling upon surrounding property and upon its residents and inhabitants thereof; and in granting or denying said permit, or revoking or refusing to revoke a permit, may exercise its sound discretion as to whether said permit should be granted, transferred, denied or revoked."

E. RESPONSE TO REQUEST FOR DISCRETIONARY REVIEW

Given the concerns of the DR requestor and other concerned parties, why do you feel your proposed project should be approved?

1. The DR applicant's concern is that the proposed Project interrupts an existing midblock open space and that the Planning Commission should ignore the proposed Project's immediate neighbor. The DR applicant further states that the application seeks a "50% rear of house averaging" from the Residential Design Guidelines to compute the expansion.
 - In response, the Project Sponsor does not believe that the immediate neighbors should be ignored, as the existing property clearly and dramatically affects the context of the Project. There is no 50% averaging rule in the Residential Design Guidelines. The DR applicant misunderstands the Planning Code, which allows for the reduction of the required rear yard setback. The Project proposes a small horizontal addition (5 feet) that is approximately 14 feet less than the allowable line of development, contrary to the DR applicant's claim.
 - The Project Sponsor has not sought the maximum allowable horizontal addition. By proposing an addition that is 14 feet less than that allowed, and is limited to only the lower two stories of the residence, and has less than one-half of the projection into the midblock as the immediate neighbor at 3877-3879 Jackson Street, has demonstrated a willingness to respect the context of the block.
 - The two neighbors most immediately affected by the proposed extension, the Ashfords, owners of 3877-3879 Jackson, and the Rheins, owners of 3867 Jackson Street, have provided letters of support for the project. (See **Exhibit A** attached). Reduction of the building footprint is unwarranted.
2. The DR applicant states that the rear windows are improperly labeled as existing, and asks for the Project to be revised with window designs of his liking.
 - The windows in question are approved as part of active Building Permit No. 2012.10.09.1545, and are not part of the subject application.
3. The DR applicant requests a geotechnical report for this property and an analysis of its effects on an existing retaining wall.
 - A Geotechnical Report has been ordered and a copy will be provided to the DR applicant.

4. The DR applicant suggests the proposed Project will have a “severe” impact on the neighboring property at 3867 Jackson Street.
 - The Project Sponsor met with the neighbors Clinton, Wes, and Alexander Ashford at 3877-3879 Jackson Street, and received their written support of the Project as proposed. That letter of support is attached as **Exhibit A**.
 - The Project Sponsor also met with the neighbors at 3867 Jackson Street, the Rhein family, who also provided their written support for the Project. The letter is attached as **Exhibit A**.
5. The DR applicant claims that the difference in grade between his property and the Project Sponsor’s Property creates an extraordinary condition impacting the Project.
 - The nature of an uphill lot and a downhill lot is not an extraordinary condition in San Francisco, which is a City of hills and valleys. The proposed Project is already held well back of its allowable development line. Additional limits on the development of the Property are not warranted.

What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requestor and other concerned parties? If you have already changed the project to meet the neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

- The DR applicant did not attend the Pre-Application Meeting hosted by the Project Sponsor. However, a private meeting was held in the home of the DR applicant on the same evening as the Pre-Application Meeting, where the plans were reviewed and concerns regarding visual impact were discussed. The Project Sponsor proposed, and the DR applicant embraced, that the planting of tall, dense vegetation along the existing rear property line retaining wall would be an amicable way to reduce his concerns regarding privacy.
- Several additional meetings were held in the homes of other neighbors impacted by the Project and no one expressed any concerns.

If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties.

- The Project Sponsor has offered to prepare a landscape plan and to work with the DR applicant on the development of the landscape plan to address his concerns regarding visual privacy.

- The depth of projection of the proposed addition is minimal and well under the allowable projection. It is limited to the lower two floors of the residence and is minuscule (5 feet) in comparison to the four stories of the immediate neighbor. The proposed Project has no adverse effect on the midblock open space. The two neighbors most affected by the Project, located adjacent to the Project Sponsor on each side, have submitted letters of support.

F. NEIGHBORHOOD SUPPORT FOR THE PROJECT

Attached as **Exhibit A** are letters in support of the Project from the two adjacent neighbors. The DR Applicant's views are not widely shared. The Project has the strong support of the Planning Department staff. Planning staff has requested an "abbreviated" review.

The Project Sponsor also reached out to the Presidio Heights Association of Neighbors. They did not wish to get involved in the dispute and took no position.

G. CONCLUSION

The discretionary review applicant has failed to demonstrate any exceptional or extraordinary circumstances that would warrant a discretionary review by the Planning Commission. The Project has the support both adjacent neighbors. There is a rear yard open space of more than 90 feet serving as an open space buffer between the Project Sponsor's home and the DR applicant's home.

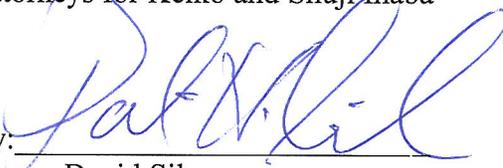
Accordingly, we respectfully request that the Planning Commission deny the request for discretionary review.

Thank you for your consideration.

Respectfully,

REUBEN, JUNIUS & ROSE, LLP
Attorneys for Keiko and Shuji Inaba

Dated: 7-15-13

By: 

David Silverman

Exhibit List

- A. Letters of Support for the Project from the Adjacent Neighbors:
 - Ashford Family - 3877-3879 Jackson Street
 - Rhein Family - 3867 Jackson Street
- B. Project Plans, Elevations, Photographs of Project Site and Project Block
- C. Pre-Application Meeting Records
- D. Keiko and Shuji Inaba Letter to the Planning Commission

EXHIBIT A



producers of your house

LETTER OF SUPPORT TO PROPOSED ADDITION AND ALTERATION AT 3871 JACKSON STREET

March 25, 2013

San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

To Whom It May Concern,

We, Clint Ashford, Wes Ashford and Alexander Ashford are authorized representatives of Ashford Ventures, LLC, which owns the property located at 3877-3879 Jackson Street in San Francisco, which is next door to 3871 Jackson Street. We have met with the owners of 3871 Jackson Street and their representatives to discuss their proposal to alter and add to the rear of their property. We have reviewed the attached "3871 Jackson Horizontal Addition" plans, dated February 26, 2013 and we have no objections to the proposed alterations and additions outlined in this set of drawings. We are aware that more detailed drawings with modifications may arise as part of the planning approval process.

Sincerely,

DocuSigned by:
Clinton Ashford
Name: Clinton Ashford
Owner of 3877-3879 Jackson Street

4/2/2013
Date

DocuSigned by:
Wes Ashford
Name: Wes Ashford
Owner of 3877-3879 Jackson Street

4/1/2013
Date

DocuSigned by:
Alexander Ashford
Name: Alexander Ashford
Owner of 3877-3879 Jackson Street

4/2/2013
Date



producers of your house

LETTER OF SUPPORT TO PROPOSED ADDITION AND ALTERATION AT 3871 JACKSON STREET

April 1, 2013

San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

To Whom It May Concern,

Patricia Rhein owns and resides at 3867 Jackson Street in San Francisco, which is next door to 3871 Jackson Street. Michael Rhein and Karen Rhein Blanpied, have full authority to sign and act on behalf of their mother, Patricia Rhein (collectively the "Rheins"). I have communicated with the owners of 3871 Jackson Street's representatives to discuss their proposal to alter and add to the rear of their property. The attached "3871 Jackson Horizontal Addition" plans, dated February 26, 2013, have been provided to me for review and I have no objections to the proposed alterations and additions outlined in this set of drawings provided the Owners and their representatives do not remove the existing firewall along the West property line of 3867, the East property line of 3871 Jackson Street. I have no objection to them extending the existing firewall. I am aware that more detailed drawings with modifications may arise as part of the planning approval process. So long as the proposed changes do not materially increase the volume of the addition or the building in general, we support and approve of the proposed change.

Sincerely,

Name:

For: The Rheins

Owner of 3867 Jackson Street

4-27-13

Date

EXHIBIT B

3871 Jackson Street - Keiko & Shuji Inaba



3974 Washington Street
Bruce Armstrong - DR Applicant

3871 Jackson Street-- Keiko & Shuji Inaba



3974 Washington Street
Bruce Armstrong - DR Applicant

SYMBOLS

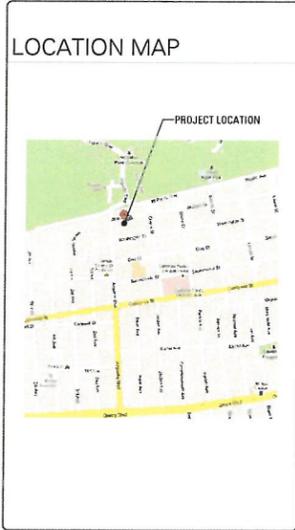
	ALIGN (SURFACES, PLANES OR OBJECTS ARE IN ALIGNMENT)
	AREA OF DETAIL
	CENTERLINE
	CENTERLINE
	DETAIL TAG DETAIL NUMBER SHEET NUMBER
	DOOR TAG
	DOOR AND HARDWARE TAG DOOR NUMBER HARDWARE NUMBER
	ELEVATION ELEVATION NUMBER SHEET NUMBER
	ELEVATION MARKER
	EQUIPMENT TAG
	FINISH TAG
	FIXTURE TAG
	KEYNOTE
	NORTH ARROW
	PARTITION TYPE
	REVISION CLOUD AND REVISION NUMBER. RED OR BLACK INDICATES CURRENT REVISION SET. GRAY CLOUD INDICATES PRIOR REVISION.
	ROOM TAG ROOM NAME ROOM NUMBER
	WINDOW TAG
	SECTION ELEVATION NUMBER SHEET NUMBER

PROJECT TEAM

OWNER:
3871 JACKSON LP
163 FRANKLIN STREET, SUITE 300
OAKLAND, CA 94607
CONTACT: RIAZ TAPLIN
PHONE: 510.292.4430

ARCHITECT:
MARTINKOVIC MILFORD ARCHITECTS
101 MONTGOMERY STREET SAN FRANCISCO, CA 94104
CONTACT: BRIAN MILFORD
PHONE: 415.348.9990
FAX: 415.657.9999

CONTRACTOR:
CAL-CADE CONSTRUCTION, INC.
183 VALLEY ST. SAN FRANCISCO, CA 94131
CONTACT: JAMES GALLAGHER
PHONE: 415.208.0559



3871 Jackson Street

Horizontal Addition

3871 Jackson Street, San Francisco, CA 94118

PROJECT DATA

ADDRESS: 3871 JACKSON
SAN FRANCISCO, CA 94118

BLOCK: 0990

LOT: 020

STORIES: 3 STORIES, PLUS BASEMENT

ZONING: RH-1

CONSTRUCTION TYPE: V-B

OCCUPANCY TYPE: R-3

USE: SINGLE FAMILY RESIDENTIAL

SCOPE OF WORK

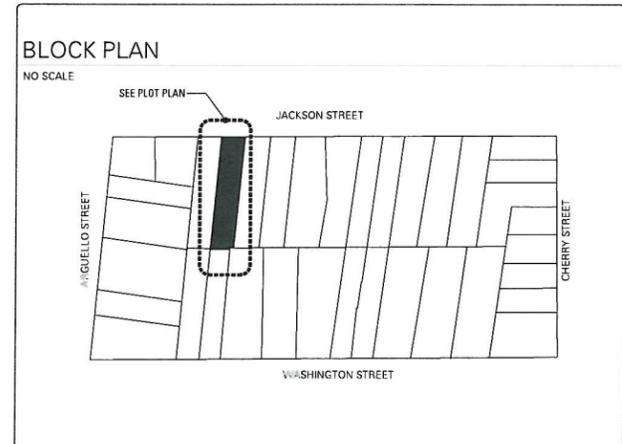
PROJECT PROPOSES TO BUILD A HORIZONTAL, REAR YARD ADDITION ON THE BASEMENT AND FIRST FLOOR ONLY.

PROJECT PROPOSES NEW WINDOWS, LIGHTING AND FINISHES THROUGHOUT. PROJECT TO INCLUDE (N) SPRINKLER SYSTEM THROUGHOUT.

MECHANICAL, ELECTRICAL, & SPRINKLER DESIGN TO BE PART OF SEPARATE PERMIT.

APPLICABLE CODES

2010 CALIFORNIA BUILDING CODE
2010 SAN FRANCISCO BUILDING CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA FIRE CODE
2010 CALIFORNIA ENERGY CODE



DRAWING INDEX

DRAWING SERIES	DRAWING NUMBER	DRAWING TITLE	LEGEND			
			INCLUDED	INCLUDED AND REVISED	REV	DATE
ARCHITECTURAL	A001	TITLE SHEET	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	T24	TITLE 24	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A002	EXISTING & NEW SITE PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A101	EXISTING/DEMOLITION PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A102	EXISTING/DEMOLITION PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A111	CONSTRUCTION PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A112	CONSTRUCTION PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A121	REFLECTED CEILING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A122	REFLECTED CEILING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A201	EXISTING AND PROPOSED EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A202.1	EXISTING EXTERIOR ELEVATION	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A202.2	PROPOSED EXTERIOR ELEVATION	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A203	EXISTING AND PROPOSED EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A204	EXISTING AND PROPOSED EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A205	EXISTING AND PROPOSED EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A206	EXISTING AND PROPOSED EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A301	EXISTING BUILDING SECTION	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A302	PROPOSED BUILDING SECTION	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A901	SCHEDULES	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	A902	SCHEDULES	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
STRUCTURAL	S1	GENERAL NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	S2	BASEMENT & 1ST FLOOR FOUNDATION PLAN & 2ND FLOOR FRAMING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	S3	ROOF FRAMING PLAN, THIRD FLOOR FRAMING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	S4	SCHEDULES, SECTIONS & DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	S5	SCHEDULES, ABBREVIATIONS, SPECIAL INSPECTION, SECTIONS & DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	S6	SECTIONS & DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	S7	SECTIONS & DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	S8	SECTIONS & DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

3871 Jackson Street
SAN FRANCISCO, CA 94118

MARTINKOVIC MILFORD ARCHITECTS

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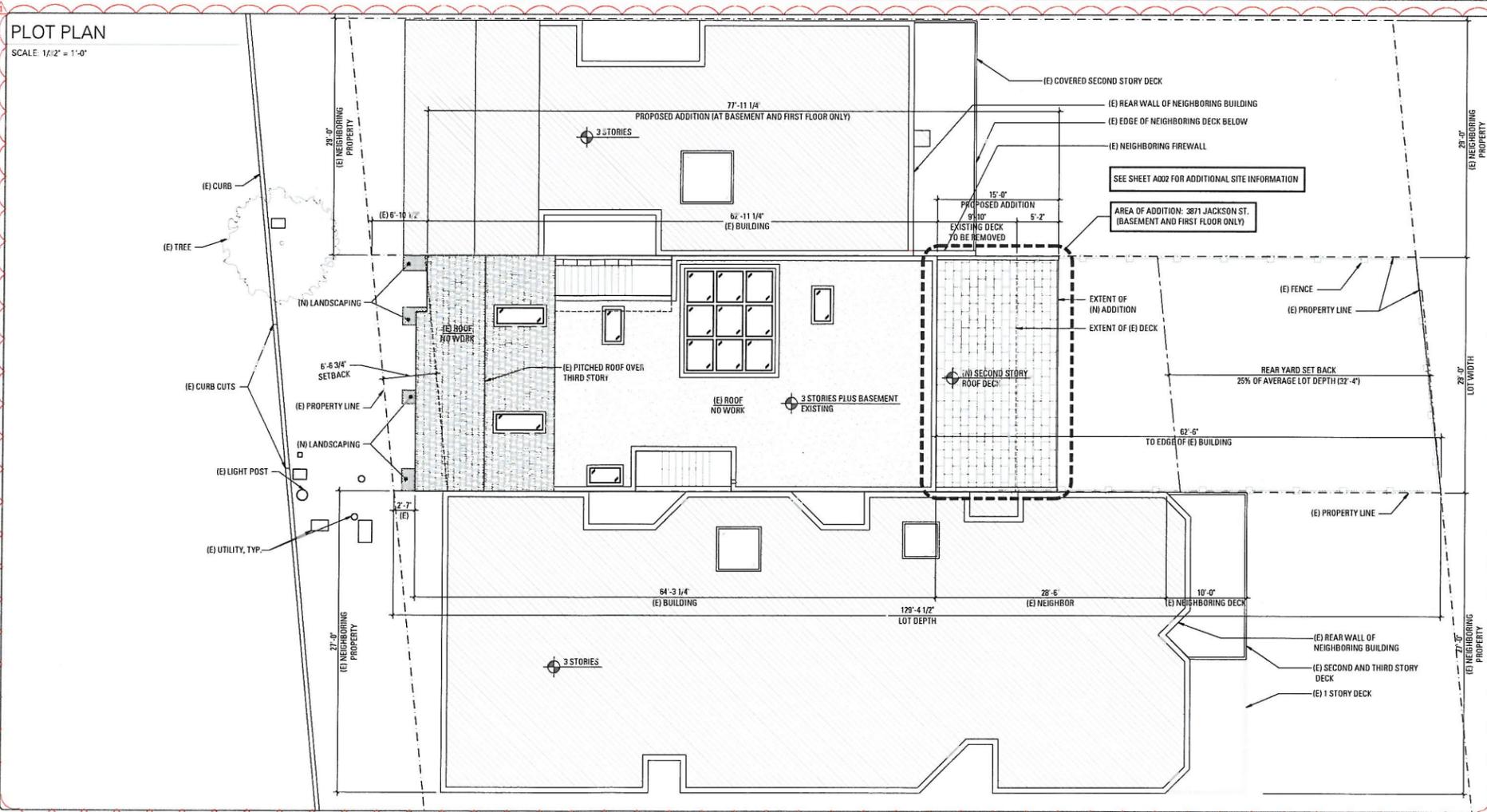


SCHEDULE SYMBOLS AND SHEET LOCATIONS

Schedule	Sheet
General Notes	A001
Basement & 1st Floor Foundation Plan & 2nd Floor Framing Plan	S2
Roof Framing Plan, Third Floor Framing Plan	S3
Schedules, Sections & Details	S4
Schedules, Abbreviations, Special Inspection, Sections & Details	S5
Sections & Details	S6
Sections & Details	S7
Sections & Details	S8

ABBREVIATIONS

&	AND	EXST.	EXISTING	N.T.S.	NOT TO SCALE
@	AT	EXT.	EXTERIOR	O.A.	OVERALL
C	CENTERLINE	EXTR.	EXTRUSION	O.C.	ON CENTER
+	PLUS OR MINUS	F.F.	FIRE ALARM	OFF.	OFFICE
P	PROPERTY LINE	F.E.	FIRE EXTINGUISHER	O.F.S.	OUTSIDE FACE OF STUD
#	POUND OR NUMBER	F.E.C.	FIRE EXTINGUISHER CABINET	P.LAM.	PLASTIC LAMINATE
A.F.F.	ABOVE FINISH FLOOR	F.H.C.	FIRE HOSE CABINET	PLYWD.	PLYWOOD
AL.	ALUMINUM	FIN.	FINISH	PR.	PAIR
ALUM.	ALUMINUM	FL.	FLOOR	PT.	POINT
ANOD.	ANODIZED	FLUOR.	FLUORESCENT	PTN.	PARTITION
APPROX.	APPROXIMATE	F.O.C.	FACE OF CONCRETE	R.	RISER
ARCH.	ARCHITECTURAL	F.O.F.	FACE OF FINISH	REF.	REFERENCE
AV	AUDIO/VISUAL	F.O.P.	FACE OF PLYWOOD	REFR.	REFRIGERATOR
BD.	BOARD	F.O.S.	FACE OF STUD	REQ.	REQUIRED
BLG.	BUILDING	F.R.	FIRE RETARDANT or FIRE RATED	R.F.P.	REINFORCED FIBERGLASS PANEL
BLK.	BLOCK	FT.	FOOT or FEET	RM.	ROOM
BLKS.	BLOCKING	FURR.	FURRING	R.O.	ROUGH OPENING
B.O.	BOTTOM OF	FUT.	FUTURE	S.	SOUTH
BTWN	BETWEEN	F.V.	FIELD VERIFY	S.C.D.	SEE CIVIL DRAWINGS
CAB.	CABINET	G.A.	GAUGE	SCHED.	SCHEDULE
CLG.	CEILING	GALV.	GALVANIZED	SECT.	SECTION
CLKB.	CAULKING	G.C.	GENERAL CONTRACTOR	S.E.D.	SEE ELECTRICAL DRAWINGS
CLDS.	CLOSET	GEN.	GENERAL	S.F.	SQUARE FEET
CLR.	CLEAR	GYP.	GYPSSUM WALL BOARD	SHW.	SIMILAR
CMU	CONCRETE MASONRY UNIT	GYP.	GYPSSUM	S.I.D.	SEE MECHANICAL DRAWINGS
C.O.	CLEAN OUT	H.B.	HOSE BIB	SPEC.	SPECIFICATION
COL.	COLUMN	H.C.	HANDICAPPED	SO.	SQUARE
CONC.	CONCRETE	H.M.	HOLLOW METAL	S.S.D.	SEE STRUCTURAL DRAWINGS
CONN.	CONNECTION	HORIZ.	HORIZONTAL	SST.	STAINLESS STEEL
CONSTR.	CONSTRUCTION	HR.	HOUR	STD.	STANDARD
CONT.	CONTINUOUS	HT.	HEIGHT	STL.	STEEL
CORR.	CORRIDOR	H.W.D.	HOT WATER DISPENSER	STOR.	STORAGE
CTR.	CENTER	H.W.H.	HOT WATER HEATER	STRUCT.	STRUCTURAL
CTSK.	COUNTERSUNK	INSUL.	INSULATION	T.	TREAD
DBL.	DOUBLE	INT.	INTERIOR	T&G	TONGUE AND GROOVE
DEPT.	DEPARTMENT	JAN.	JANITOR	TEL.	TELEPHONE
DET.	DETAIL	J.C.	JANITOR'S CLOSET	TEMP.	TEMPORARY
D.F.	DRINKING FOUNTAIN	JT.	JOINT	THK.	THICK
DIA.	DIAMETER	KIT.	KITCHEN	T.O.	TOP OF
DIM.	DIMENSION	LAM.	LAMINATE	T.O.S.	TOP OF SLAB
DISP.	DISPENSER	LAV.	LAVATORY	T.O.W.	TOP OF WALL
DN.	DOWN	MAX.	MAXIMUM	TYP.	TYPICAL
D.O.	DOOR OPENING	M.D.F.	MEDIUM DENSITY FIBERBOARD	U.L.	UNDERWRITERS LABORATORY
DR.	DOOR	MECH.	MECHANICAL	U.O.N.	UNLESS OTHERWISE NOTED
DWG.	DRAWING	MEMB.	MEMBRANE	UTL.	UTILITY
DWR.	DRAWER	MET.	METAL	VAR.	VARIABLE
(E)	EXISTING	MEZZ.	MEZZANINE	V.C.T.	VINYL COMPOSITION TILE
E.	EAST	MFR.	MANUFACTURER	VERT.	VERTICAL
E.A.	EACH	MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
E.J.	EXPANSION JOINT	MISC.	MISCELLANEOUS	VOL.	VOLUME
E.	ELEVATION	M.O.	MASONRY OPENING	W.	WEST or WIDTH
ELEC.	ELECTRICAL	MTD.	MOUNTED	W/	WITH
ELEV.	ELEVATION	MTG.	MOUNTING	W.C.	WATER CLOSET
EMER.	EMERGENCY	MUL.	MULLION	WD.	WOOD
ENGR.	ENGINEER	(N)	NEW	W.O.	WHERE OCCURS
E.P.	ELECTRICAL PANEL BOARD	N.	NORTH	W/O	WITHOUT
EQ.	EQUAL	N.I.C.	NOT IN CONTRACT	WT.	WEIGHT
EQT.	EQUIPMENT	NO.	NUMBER	YARD	YARD
		NOM.	NOMINAL	X or x	BY



RECORD OF DRAWING ISSUANCE

Issuance	Date
Pre-Application Meeting	02.26.13
Permit Set	03.06.13
Permit Set - Revision One	04.11.13

PERMIT SET

Date of Issuance: 04.11.13
Project Number: 1250.2.1

Title Sheet

SHEET NUMBER

A001

3871 Jackson St

3871 JACKSON STREET
SAN FRANCISCO, CA 94118

MARTINKOVIC MILFORD ARCHITECT

101 Montgomery St. Ste. 650 | San Francisco, CA 94104
T 415 348 9990



SCHEDULE SYMBOLS
AND SHEET LOCATIONS

RECORD OF DRAWING ISSUANCE

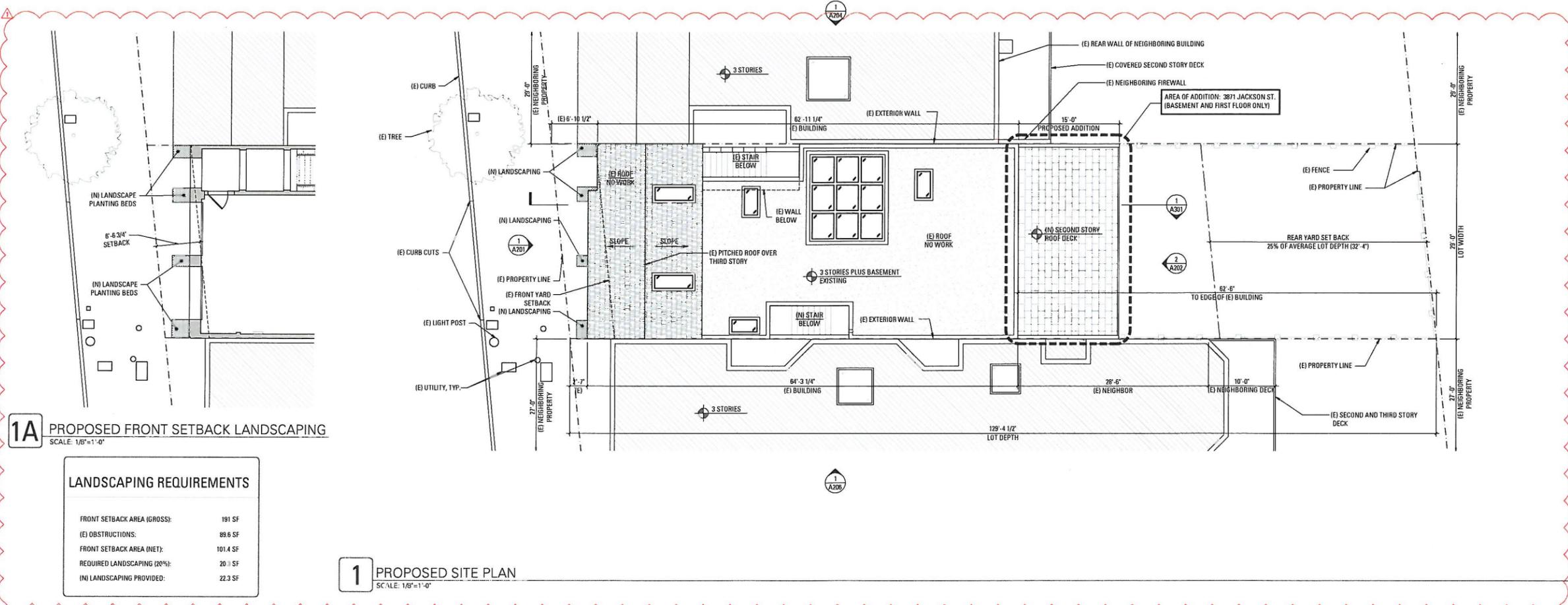
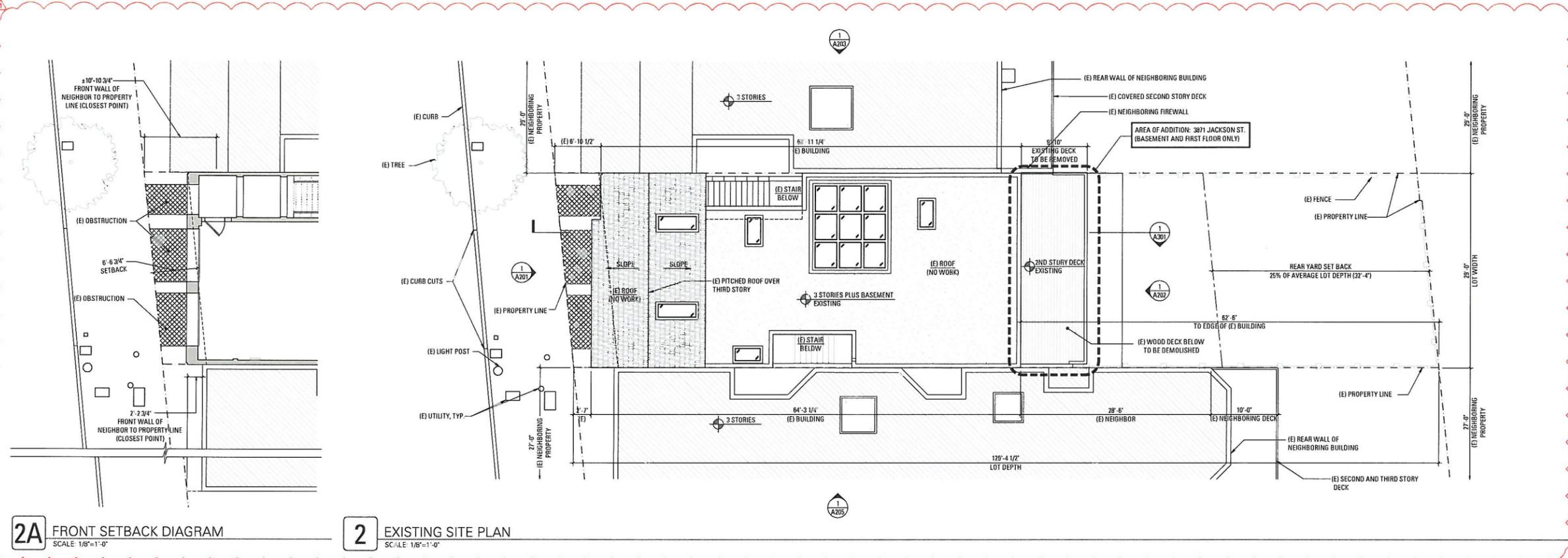
Pre-Application Meeting	02.26.13
Permit Set	03.06.13
Permit Set - Revision One	04.11.13

PERMIT SET

Date of Issuance:	04.11.13
Project Number:	1250.2.1

Existing & New Site Plan

SHEET NUMBER
A002



LANDSCAPING REQUIREMENTS

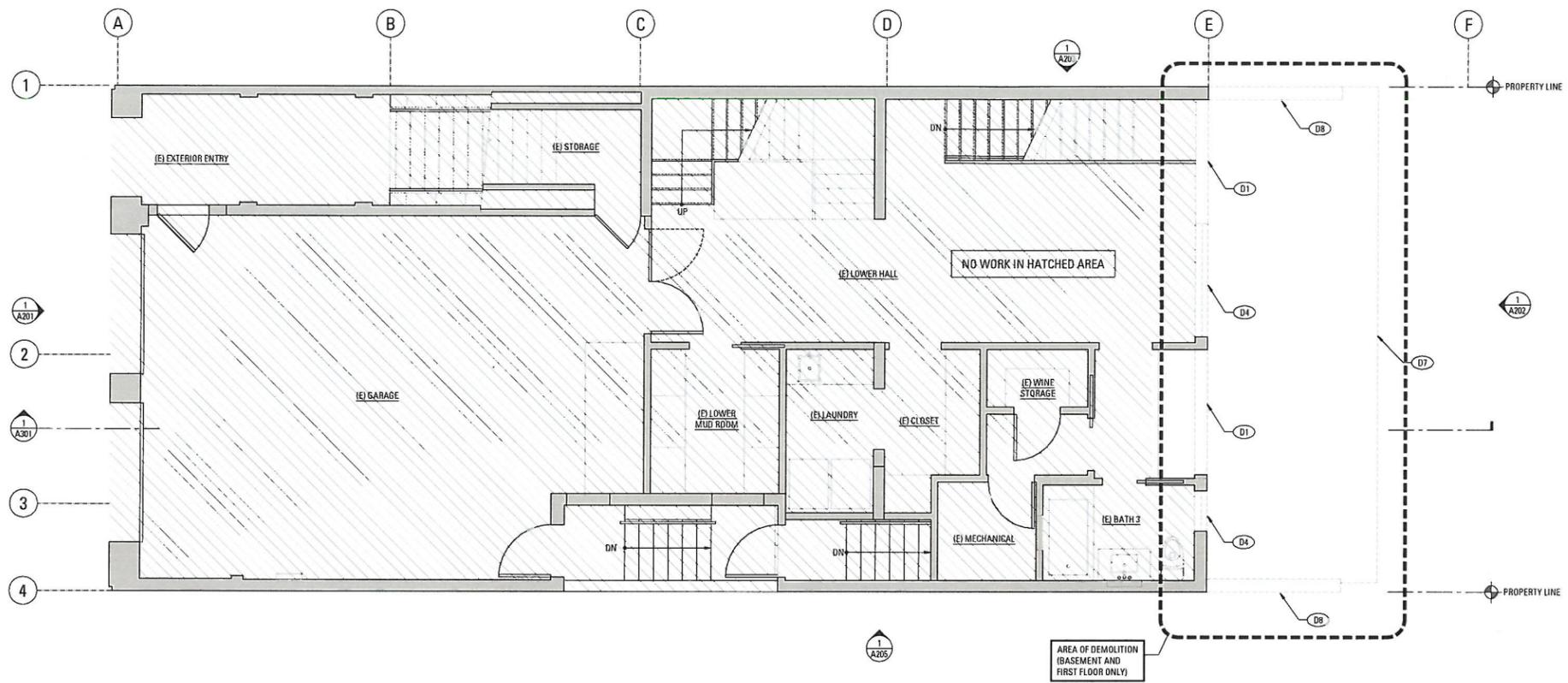
FRONT SETBACK AREA (GROSS):	191 SF
(E) OBSTRUCTIONS:	88.6 SF
FRONT SETBACK AREA (NET):	101.4 SF
REQUIRED LANDSCAPING (20%):	20.3 SF
(N) LANDSCAPING PROVIDED:	22.3 SF

1 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"

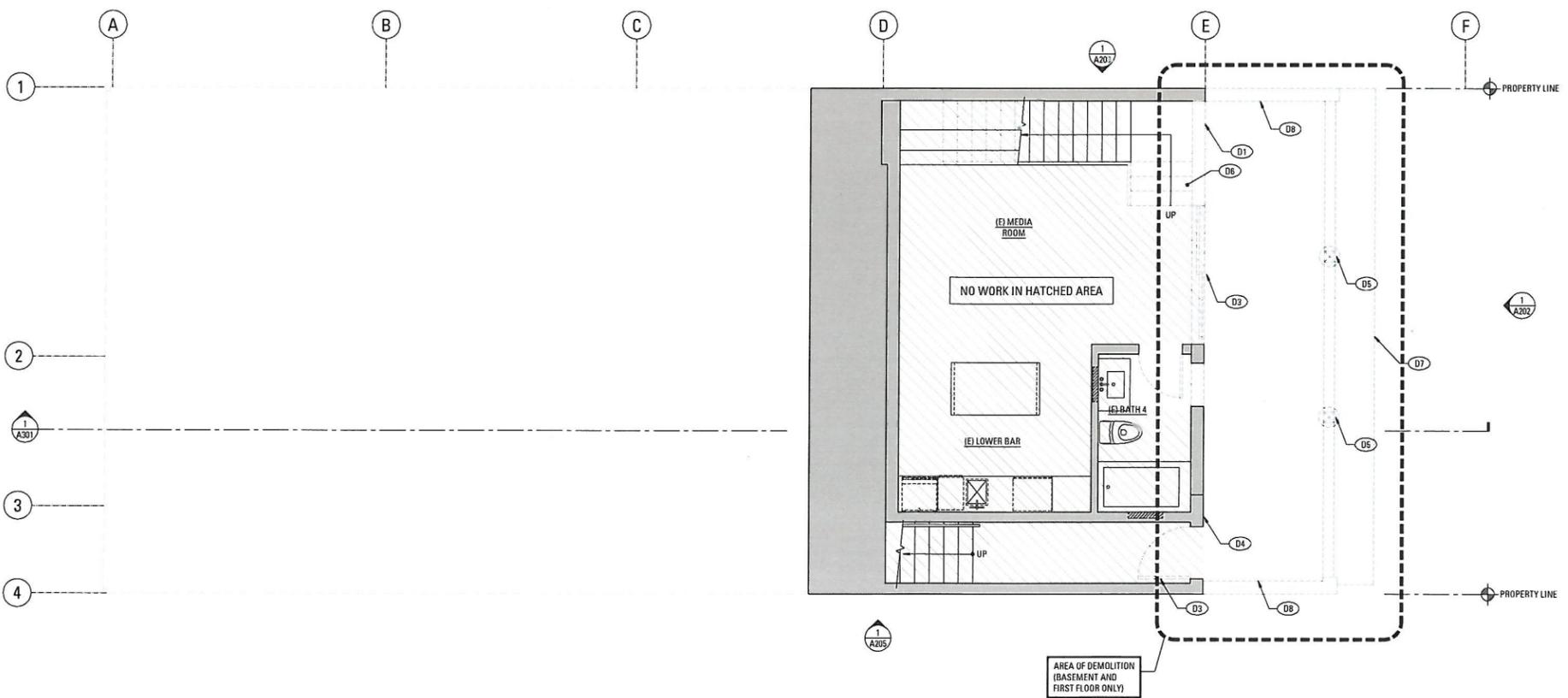
1A PROPOSED FRONT SETBACK LANDSCAPING
SCALE: 1/8"=1'-0"

2A FRONT SETBACK DIAGRAM
SCALE: 1/8"=1'-0"

2 EXISTING SITE PLAN
SCALE: 1/8"=1'-0"



2 FIRST FLOOR EXISTING & DEMOLITION PLAN
SCALE: 1/4"=1'-0"



1 BASEMENT LEVEL EXISTING & DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION LEGEND	
	(E) WALL CONSTRUCTION TO REMAIN
	(E) CONSTRUCTION TO BE DEMOLISHED

3871 Jackson St

3871 JACKSON STREET
SAN FRANCISCO, CA 94118

DEMOLITION KEYNOTES	
D1	REMOVE (E) WALL TO ACCOMMODATE (N) WORK
D2	NOT USED
D3	DEMO (E) DOOR
D4	DEMO (E) WINDOW
D5	DEMO (E) COLUMNS
D6	DEMO (E) STAIR
D7	DEMO (E) DECK
D8	DEMO (E) WALLS

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- | DEMOLITION NOTES | |
|------------------|---|
| 1. | CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN |
| 2. | DEMOLISH ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WORK |
| 3. | CONTRACTOR TO INSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK |
| 4. | CONTRACTOR TO REPLACE ALL DAMAGED OR ROTTEN EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR. |
| 5. | CONTRACTOR SHALL BE RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT. RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS. |
| 6. | DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS. |

SCHEDULE SYMBOLS AND SHEET LOCATIONS	
Symbol	Schedule Sheet #

RECORD OF DRAWING ISSUANCE	
Pre-Application Meeting	02.26.13
Permit Set	03.06.13

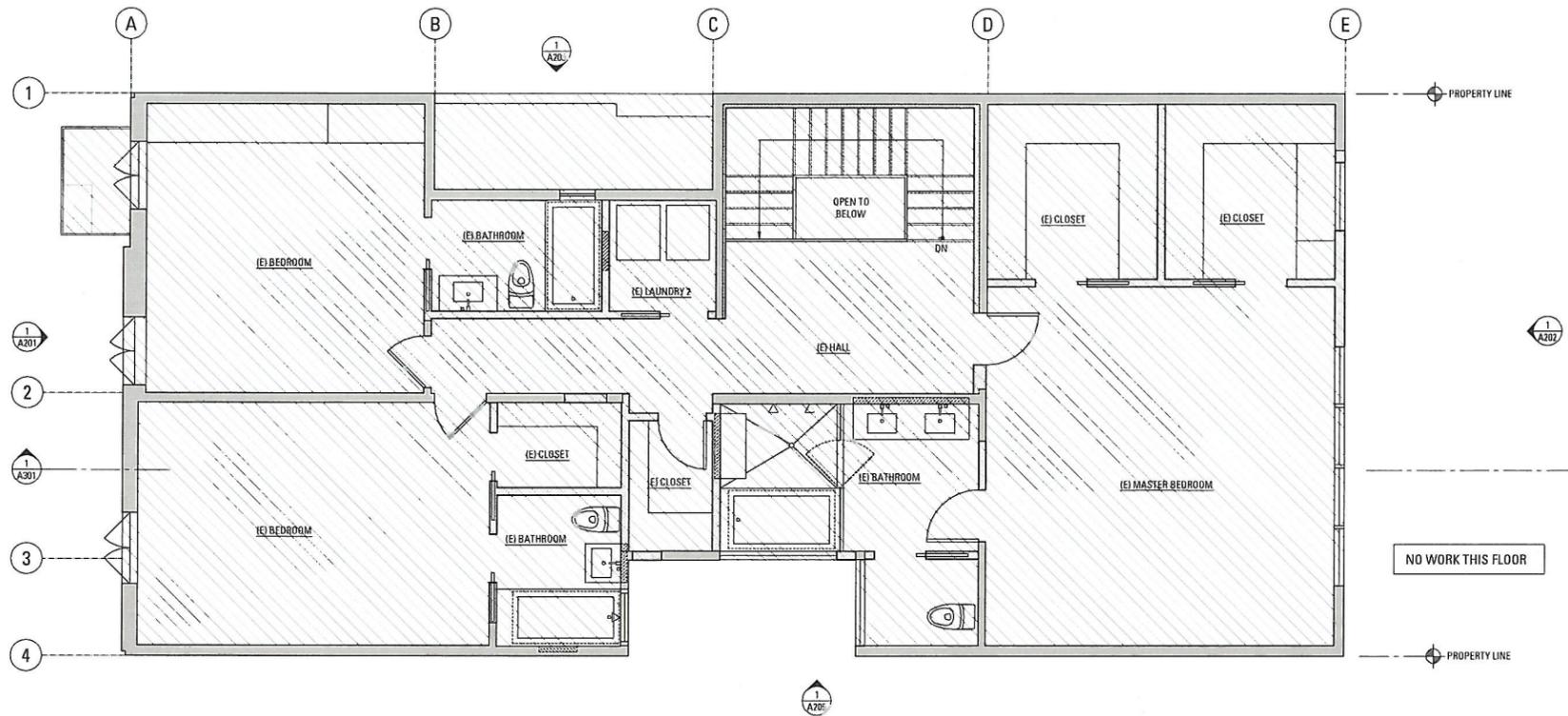
PERMIT SET

Date of Issuance: 03.06.13
Project Number: 1250.2.1

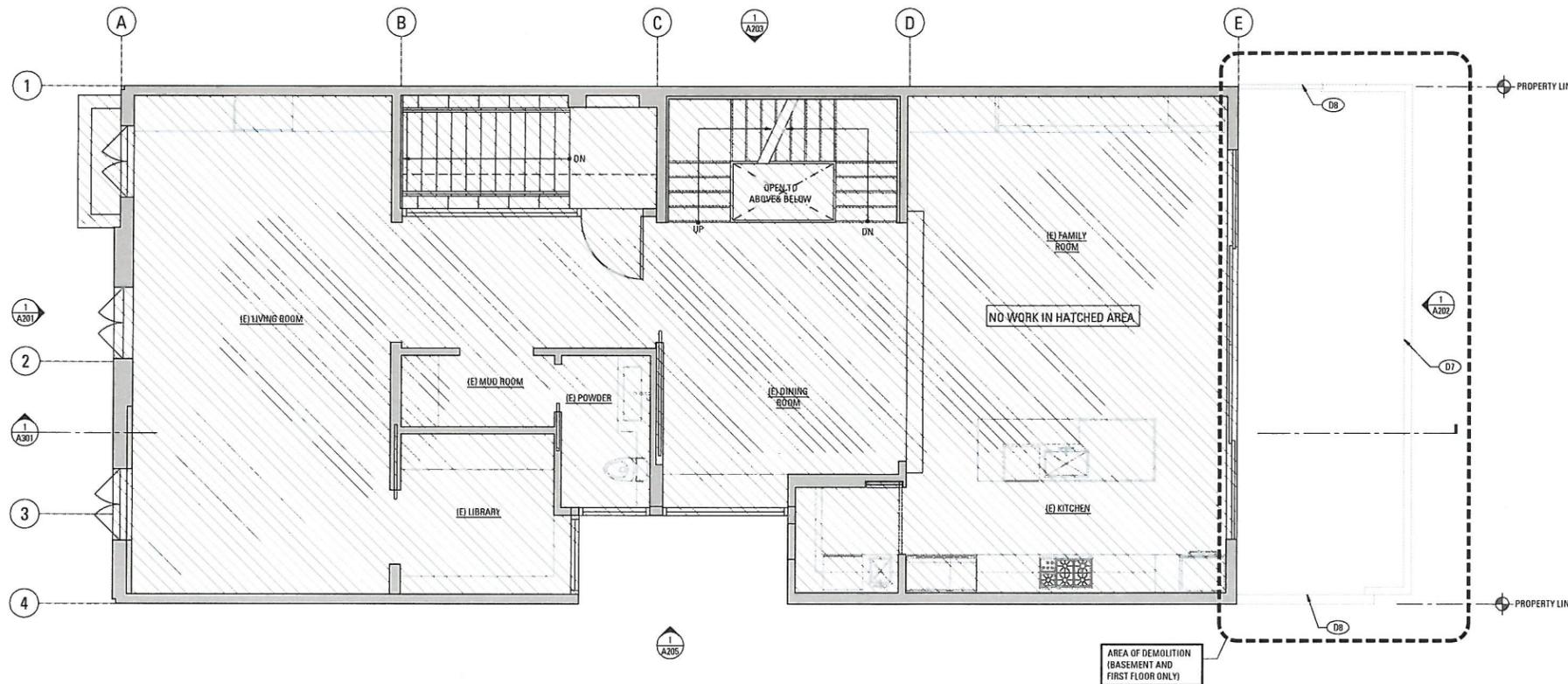
Existing/Demolition & Plan

SHEET NUMBER

A101



2 THIRD FLOOR EXISTING PLAN - NO WORK THIS FLOOR
SCALE: 1/8"=1'-0"



1 SECOND FLOOR EXISTING & DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION LEGEND	
	(E) WALL CONSTRUCTION TO REMAIN
	(E) CONSTRUCTION TO BE DEMOLISHED

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DEMOLITION KEYNOTES	
	REMOVE (E) WALL TO ACCOMMODATE (N) WORK
	NOT USED
	DEMO (E) DOOR
	DEMO (E) WINDOW
	DEMO (E) COLUMNS
	DEMO (E) STAIR
	DEMO (E) DECK
	DEMO (E) WALLS

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- DEMOLITION NOTES**
- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN
 - DEMOLISH ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WORK
 - CONTRACTOR TO INSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK
 - CONTRACTOR TO REPLACE ALL DAMAGED OR ROTTEN EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT. RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS.
 - DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

SCHEDULE SYMBOLS AND SHEET LOCATIONS

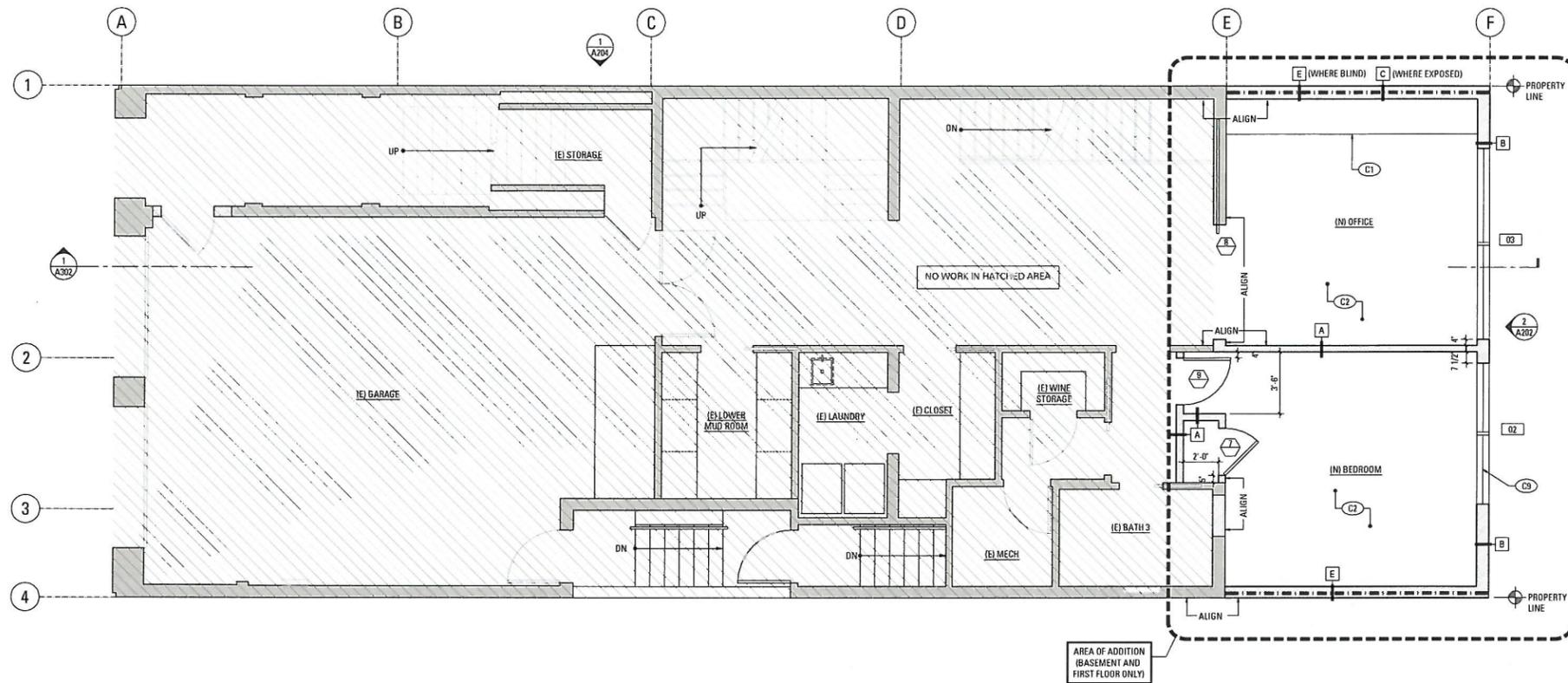
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RECORD OF DRAWING ISSUANCE

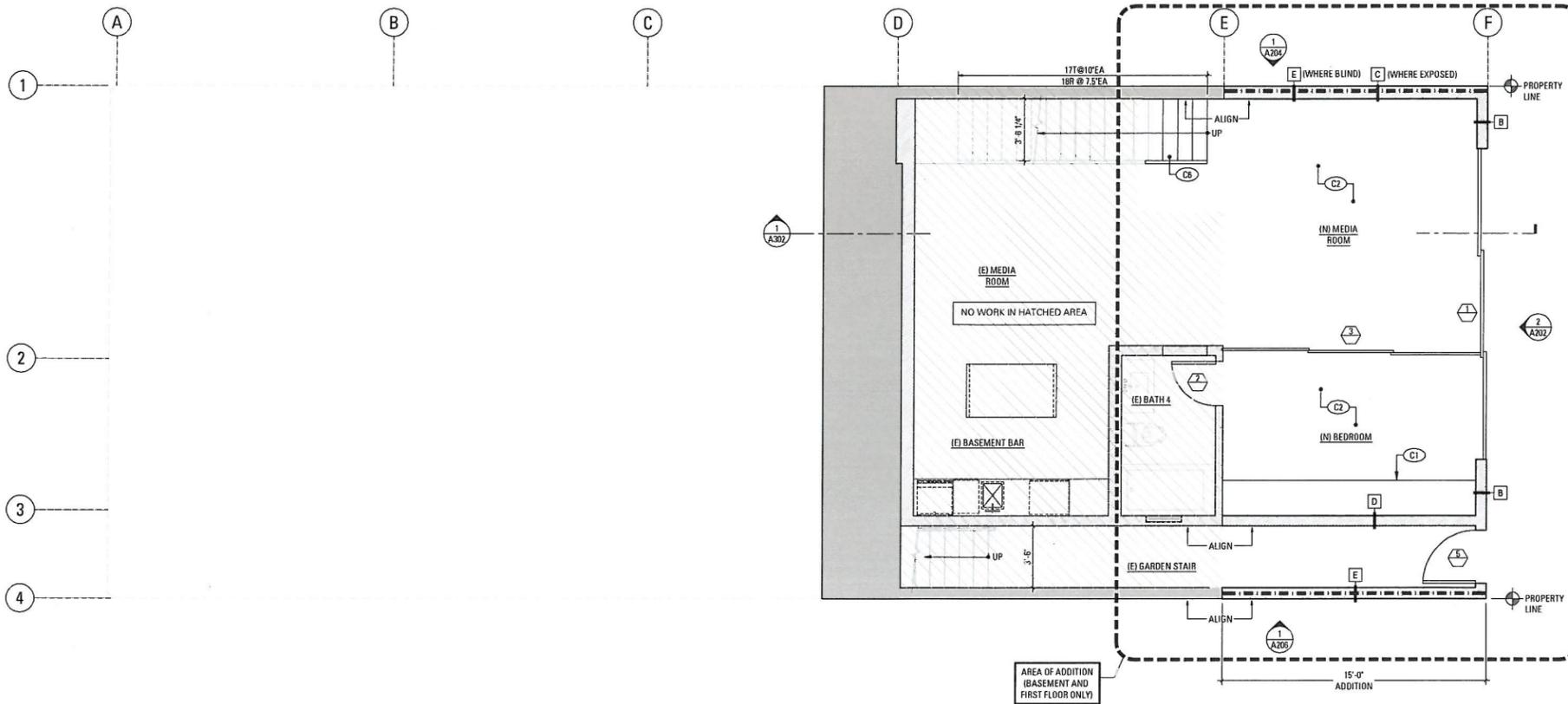
Pre-Application Meeting	02.26.13
Permit Set	03.06.13

PERMIT SET

Date of Issuance:	03.06.13
Project Number:	1250.2.1
Existing/Demolition Plan	
SHEET NUMBER	
A 102	



2 FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"



1 BASEMENT LEVEL CONSTRUCTION PLAN
SCALE: 1/8"=1'-0"

CONSTRUCTION LEGEND

- (E) CONSTRUCTION TO BE DEMOLISHED, U.O.N.
- (E) WALL CONSTRUCTION
- (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A301.
- INDICATES RATED ASSEMBLY. SEE SHEET A301.
- (N) SOUND ATTENUATION BATT INSULATION
- (N) PARTITION TYPE, SEE PARTITION TYPES A301
- (N) FLOORING OR ROOF ASSEMBLY, SEE SCHEDULE A301
- GAS SHUT OFF TO BE READILY ACCESSIBLE
- NOTE: ALL (N) WALLS TYPE 'A' U.O.N.

CONSTRUCTION KEYNOTES

- C1 (N) CASEWORK
- C2 (N) FLOORING THROUGHOUT
- C3 (N) GLASS GUARDRAIL @ 42" A.F.F.
- C4 NOT USED
- C5 NOT USED
- C6 NEW STAIR TO CONNECT TO EXISTING, MATCH RISE AND RUN DIMENSIONS AND HANDRAIL OF (E) STAIR. SEE DETAILS 2 & 3, SHEET A302.
- C7 EDGE OF (N) ROOF PATIO BELOW
- C8 (N) FIRE-RATED PARTIAL HEIGHT WALL 60" A.F.F.
- C9 (N) OPERABLE WINDOW, SEE SCHEDULE.

- CONSTRUCTION NOTES**
1. ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A301.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
 3. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON THE WALL, U.O.N.
 4. PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE. IN AREAS NOT ALREADY INSULATED
 5. PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
 6. WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
 7. ALL (N) TOILET FIXTURES TO HAVE CLEARANCES OF 24" MIN. IN FRONT AND 15" MIN. FROM CENTERLINE OF TOILET
 8. ALL (E) EXTERIOR WALLS TO RECEIVE (N) BATT INSULATION AND 5/8" TYPE X GYP BD. INTERIOR FINISH
 9. ALL GLASS GUARDRAILS TO BE SAFETY GLASS

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SCHEDULE SYMBOLS AND SHEET LOCATIONS

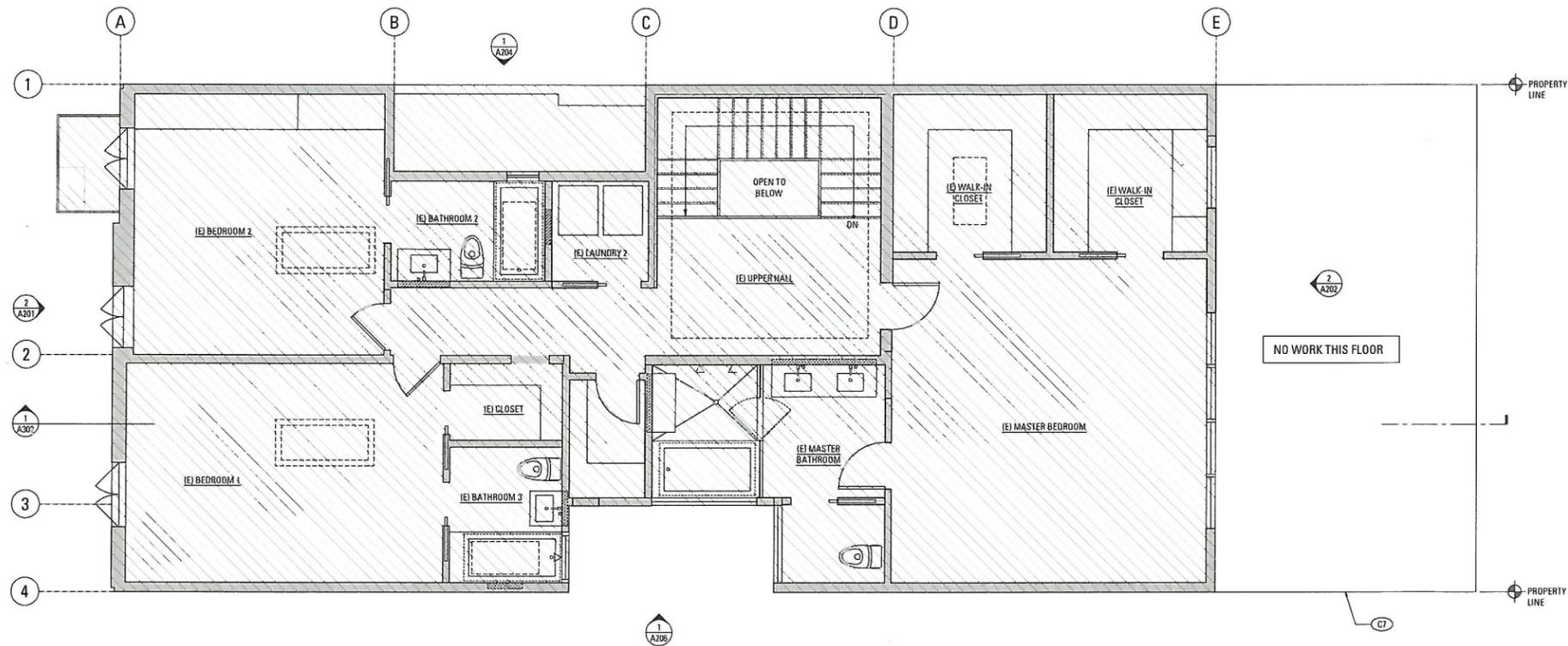
--- Schedule
--- Sheet

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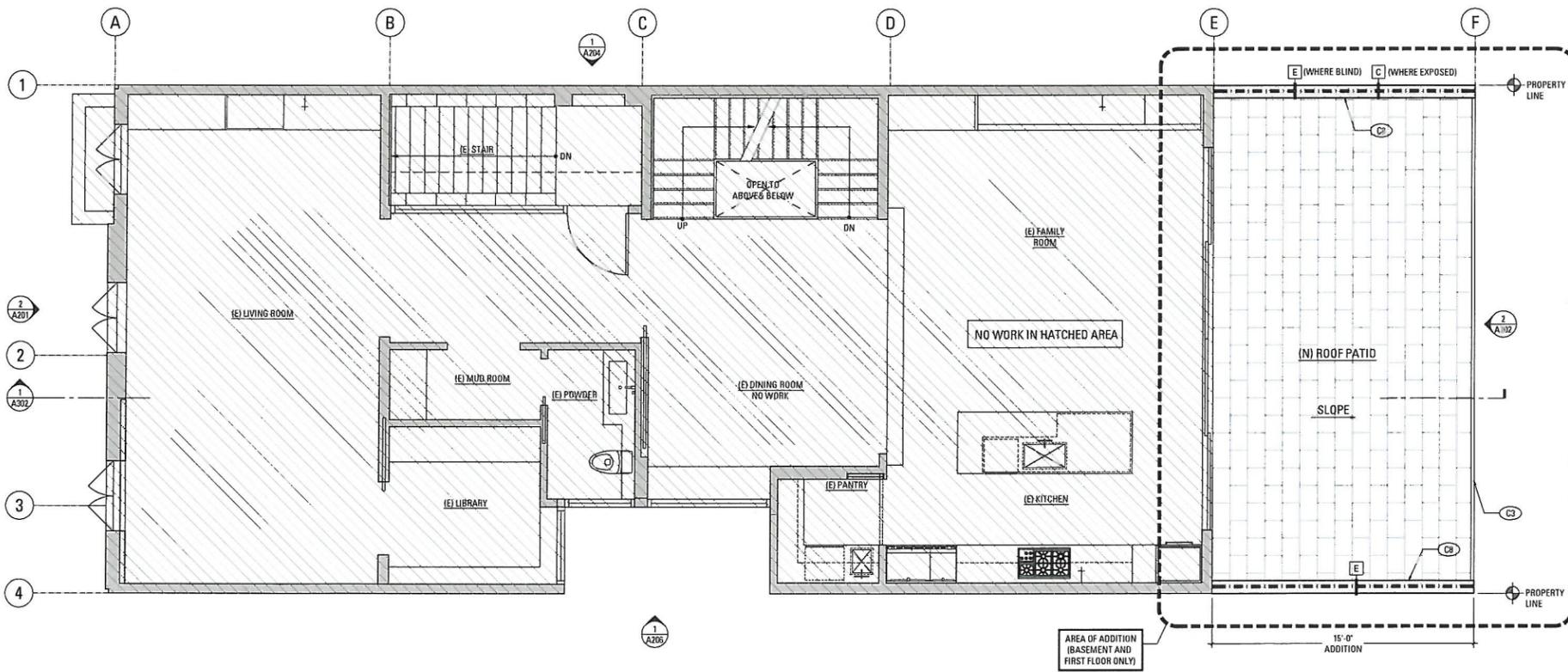
Pre-Application Meeting	02.26.13
Permit Set	03.06.13

PERMIT SET

Date of Issuance:	03.06.13
Project Number:	1250.2.1
Construction Plan	
SHEET NUMBER	
A111	



2 THIRD FLOOR CONSTRUCTION PLAN - NO WORK
SCALE: 1/4"=1'-0"



1 SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND

- (E) CONSTRUCTION TO BE DEMOLISHED, U.O.N.
- (E) WALL CONSTRUCTION
- (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A301.
- INDICATES RATED ASSEMBLY. SEE SHEET A301.
- (N) SOUND ATTENUATION BATT INSULATION
- (N) PARTITION TYPE, SEE PARTITION TYPES A301
- (N) FLOORING OR ROOF ASSEMBLY. SEE SCHEDULE A301
- GAS SHUT OFF TO BE READILY ACCESSIBLE
- NOTE: ALL (N) WALLS TYPE 'A' U.O.N.

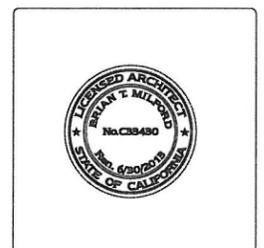
CONSTRUCTION KEYNOTES

- (C1) (N) CASEWORK
- (C2) (N) FLOORING THROUGHOUT
- (C3) (N) GLASS GUARDRAIL @ 42" A.F.F.
- (C4) NOT USED
- (C5) NOT USED
- (C6) NEW STAIR TO CONNECT TO EXISTING. MATCH RISE AND RUN DIMENSIONS AND HANDRAIL OF (E) STAIR. SEE DETAILS 2 & 3, SHEET A302.
- (C7) EDGE OF (N) ROOF PATIO BELOW
- (C8) (N) FIRE-RATED PARTIAL HEIGHT WALL 60" A.F.F.
- (C9) (N) OPERABLE WINDOW, SEE SCHEDULE

- CONSTRUCTION NOTES**
1. ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A301.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
 3. DOORS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON THE WALL, U.O.N.
 4. PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED
 5. PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
 6. WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
 7. ALL (N) TOILET FIXTURES TO HAVE CLEARANCES OF 24" MIN. IN FRONT AND 15" MIN. FROM CENTERLINE OF TOILET
 8. ALL (E) EXTERIOR WALLS TO RECEIVE (N) BATT INSULATION AND 5/8" TYPE X GYP. BD. INTERIOR FINISH
 9. ALL GLASS GUARDRAILS TO BE SAFETY GLASS

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SCHEDULE SYMBOLS AND SHEET LOCATIONS

Sheet A112	
Sheet A113	
Sheet A114	
Sheet A115	
Sheet A116	
Sheet A117	
Sheet A118	
Sheet A119	
Sheet A120	

RECORD OF DRAWING ISSUANCE

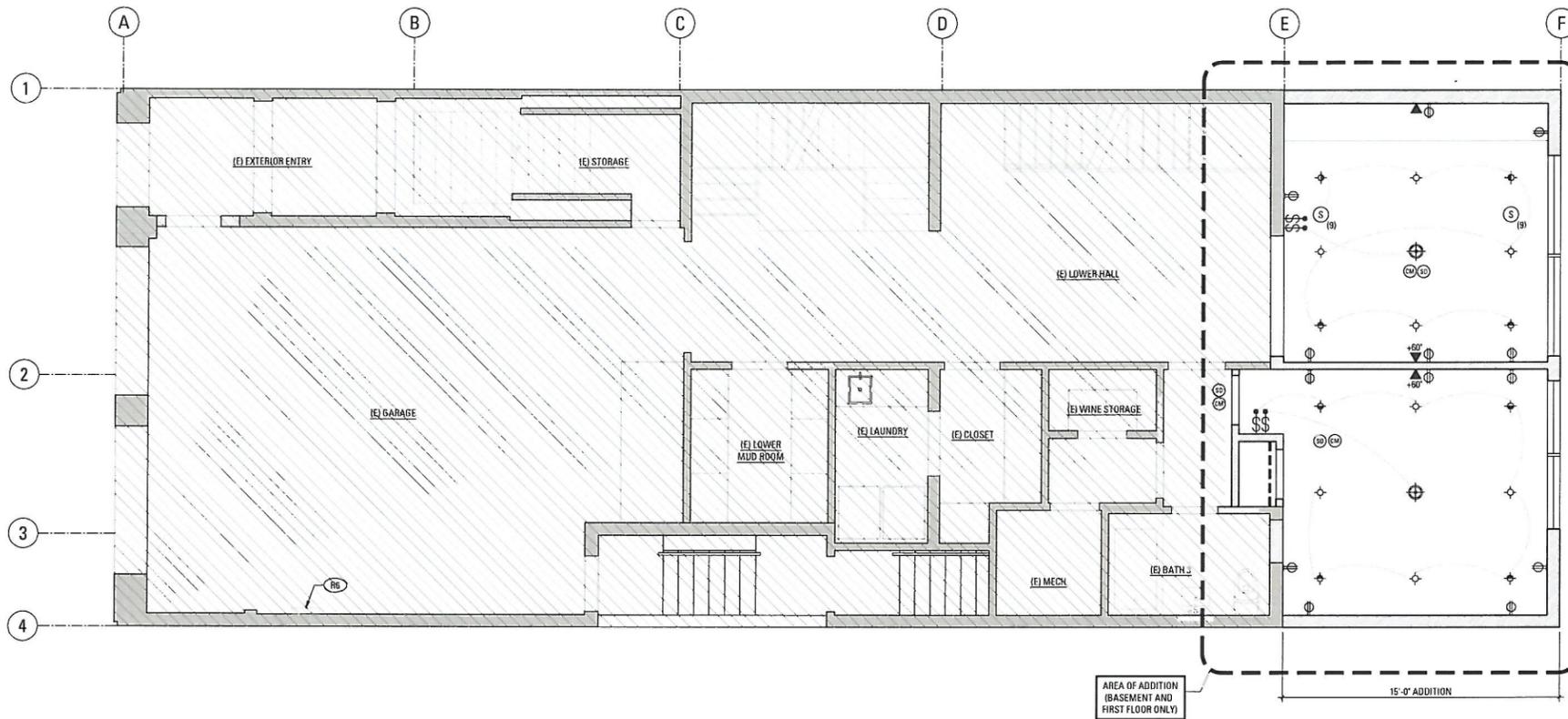
Pre-Application Meeting	02.26.13
Permit Set	03.06.13

PERMIT SET

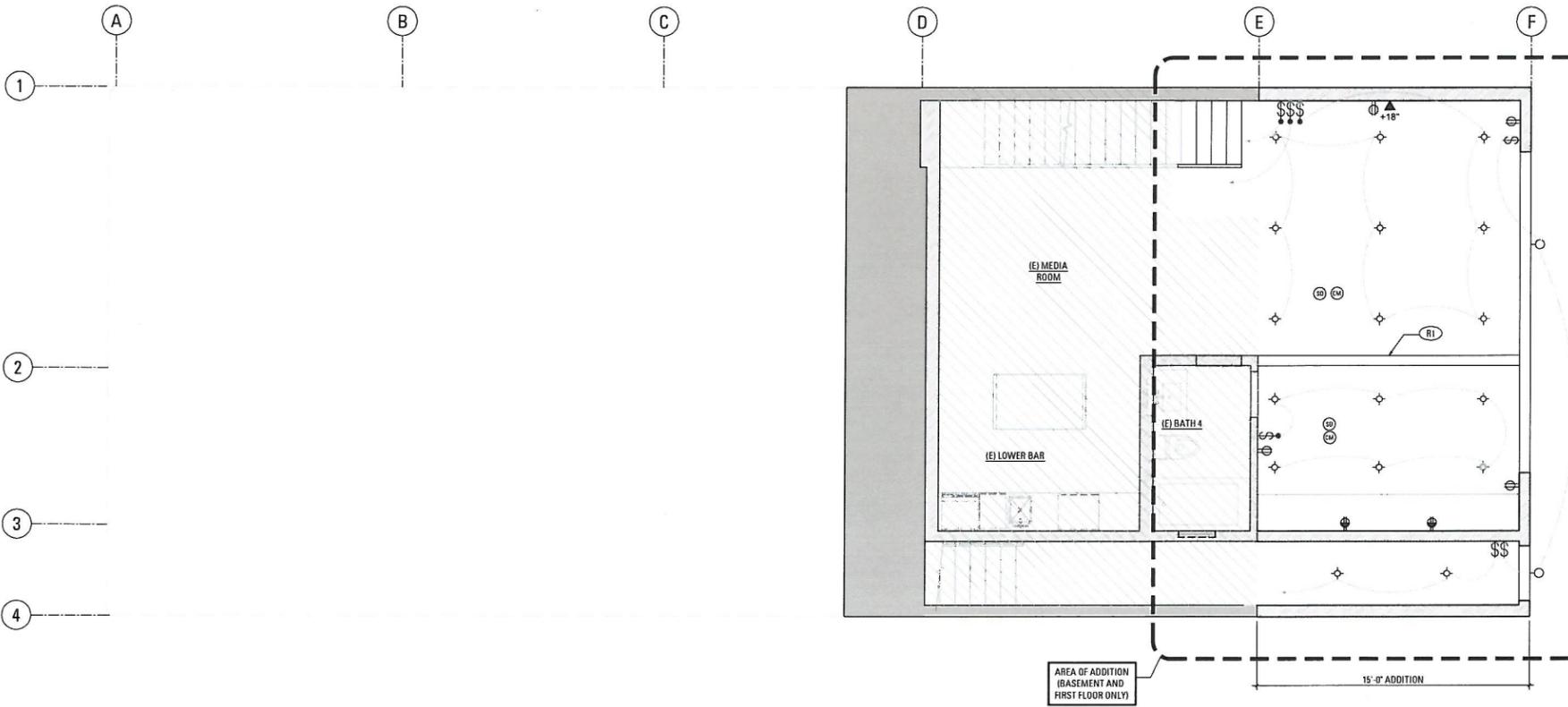
Date of Issuance: 03.06.13
Project Number: 1250.2.1

Construction Plan

SHEET NUMBER
A112



2 FIRST FLOOR REFLECTED CEILING AND POWER PLAN
SCALE: 1/4"=1'-0"



1 BASEMENT REFLECTED CEILING AND POWER PLAN
SCALE: 1/4"=1'-0"

- ### RCP NOTES
1. ALL NEW ELECTRICAL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA ELECTRICAL CODE. (2010 CEC)
 2. ALL NEW LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH CALIFORNIA 2010 TITLE 24 RESIDENTIAL REQUIREMENTS.
 3. ALL NEW FLUORESCENT OR HIGH EFFICACY LED LIGHTING SHALL BE SWITCHED SEPARATELY FROM ALL OTHER LIGHTING.
 4. ALL FLUORESCENT FIXTURES GREATER THAN 13W SHALL HAVE ELECTRONIC BALLASTS OR APPROVED 6U-24 LINE VOLTAGE SOCKETS.
 5. ALL RECESSED LIGHTING IN SURFACES WITH THERMAL INSULATION SHALL HAVE AIR TIGHT/IC HOUSINGS.
 6. ALL NEW BATHROOM, GARAGE, LAUNDRY OR UTILITY ROOM LIGHTING SHALL BE HIGH EFFICACY OR ALL NON-HIGH EFFICACY LIGHTING IN THESE AREAS SHALL BE SEPARATELY SWITCHED WITH A VACANCY SENSOR.
 7. ALL HARDWIRED INTERIOR LIGHTING IN AREAS OTHER THAN BATHROOMS, KITCHENS, GARAGES, LAUNDRY OR UTILITY ROOMS SHALL BE HIGH EFFICACY OR SWITCHED WITH EITHER A DIMMABLE LIGHT SWITCH OR VACANCY SENSOR.
 8. ALL NEW COMPACT FLUORESCENT RECESSED DOWNLIGHTS SHALL HAVE PIN BASED CONNECTIONS.
 9. ALL LIGHTING CONTROLS, BALLASTS FOR RECESSED LUMINAIRES, AND HIGH EFFICACY LED LIGHT SOURCES SHALL BE CERTIFIED BY THE ENERGY COMMISSION FOR COMPLIANCE WITH TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.
 10. AT LEAST 50% OF LIGHTING WATTAGE IN KITCHEN SHALL BE FROM FLUORESCENT OR OTHER HIGH EFFICACY LIGHT FIXTURES.
 11. ALL ELECTRICAL DEVICES (SWITCHES, OUTLETS) SHALL BE THE SAME COLOR AS THE COVERPLATE.
 12. INSTALL AS MANY ADJACENT SWITCHES AND OUTLETS IN ONE PLATE AS POSSIBLE.
 13. ALL SWITCHES TO BE MOUNTED 48" A.F.F., U.O.N.
 14. GENERAL CONTRACTOR TO COORDINATE ALL SWITCHING NOT SHOWN ON PLANS WITH OWNER.
 15. ANY EXHAUST FAN WITH INTEGRAL LIGHTING SHALL HAVE ABILITY TO MANUALLY SWITCH OFF LIGHT SYSTEM WHILE FAN CONTINUES TO OPERATE

POWER AND SIGNAL LEGEND

SYMBOL	RECEPTACLE TYPE
⊕	GROUNDING DUPLEX ELECTRICAL OUTLET
⊕	GROUNDING FOUR-FLUX ELECTRICAL OUTLET
⊕	42" GFI ELECTRICAL OUTLET AT 42" A.F.F., U.O.N. ORIENT VERTICALLY

RCP & LIGHTING SCHEDULE

SYMBOL	FIXTURE TYPE
◆	4" RECESSED LED DOWNLIGHT
◆	LED WALL WASHING RECESSED CAN
▼	TV/DATA - G.C. TO COORDINATE W/ OWNER REP.
⊕	WALL SCONCE
⊕	CEILING MTD. SPEAKERS (ZONE #) G.C. TO COORDINATE WITH OWNER REP
◆	DECORATIVE PENDANT
⊕	CARBON MONOXIDE ALARM PER CBC 420.4.2
⊕	SMOKE DETECTOR
⊕	EXHAUST FAN, MIN 5 AIR EXCHANGES PER HOUR
⊕	MANUAL ON, AUTO OFF OCCUPANCY SENSOR
⊕	DIMMER SWITCH, ALL LIGHTS ON SWITCH TO BE DIMMABLE
⊕	SWITCH
---	LED STRIP LIGHT

RCP & POWER KEYNOTES

⊕ R1	DOOR TRACK IN CEILING
⊕ R2	
⊕ R3	
⊕ R4	
⊕ R5	

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SCHEDULE SYMBOLS AND SHEET LOCATIONS

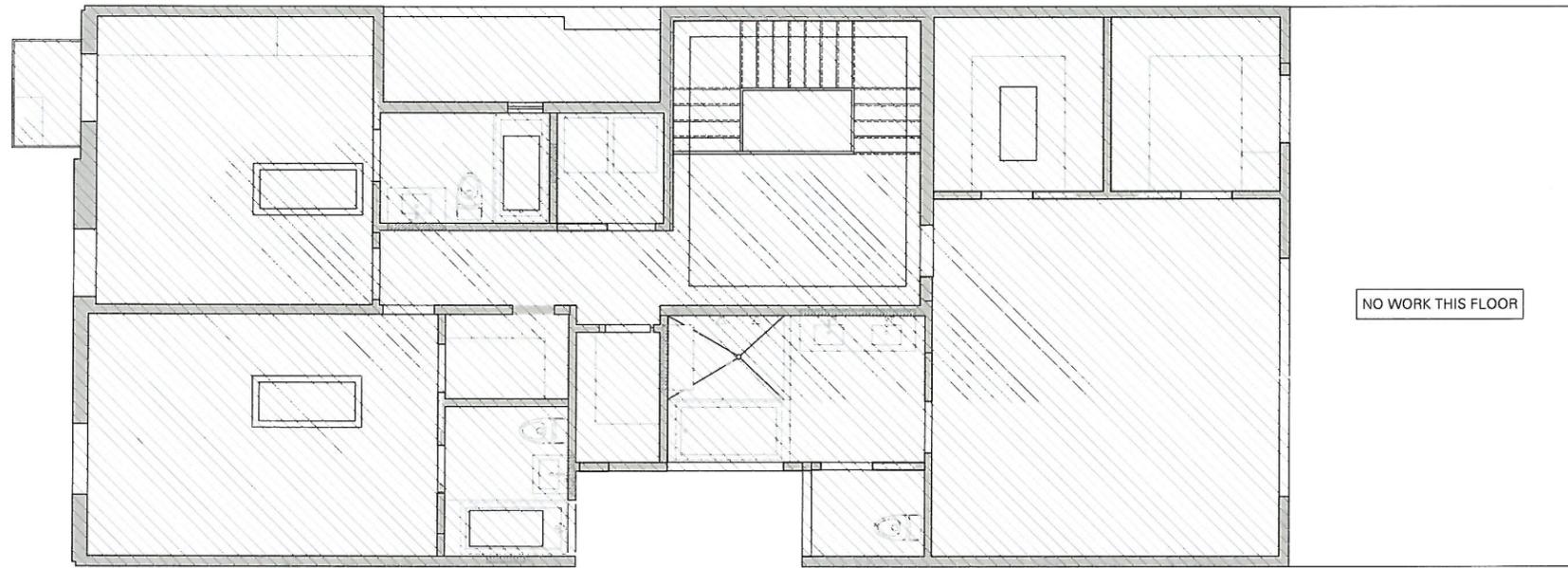
---	Schedule
---	Sheet 2

RECORD OF DRAWING ISSUANCE

Pre-Application Meeting	02.26.13
Permit Set	03.06.13

PERMIT SET

Date of Issuance:	03.06.13
Project Number:	1250.2.1
Reflected Ceiling & Power Plan	
SHEET NUMBER	
A121	



- ### RCP NOTES
- ALL NEW ELECTRICAL WORK SHALL COMPLY WITH THE 2010 CALIFORNIA ELECTRICAL CODE (2010 CEC)
 - ALL NEW LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH CALIFORNIA 2010 TITLE 24 RESIDENTIAL REQUIREMENTS.
 - ALL NEW FLUORESCENT OR HIGH EFFICACY LED LIGHTING SHALL BE SWITCHED SEPARATELY FROM ALL OTHER LIGHTING.
 - ALL FLUORESCENT FIXTURES GREATER THAN 12W SHALL HAVE ELECTRONIC BALLASTS OR APPROVED GU-24 LINE VOLTAGE SOCKETS.
 - ALL RECESSED LIGHTING IN SURFACES WITH THERMAL INSULATION SHALL HAVE AIR TIGHT/C HOUSINGS.
 - ALL NEW BATHROOM, GARAGE, LAUNDRY OR UTILITY ROOM LIGHTING SHALL BE HIGH EFFICACY OR ALL NON-HIGH EFFICACY LIGHTING IN THESE AREAS SHALL BE SEPARATELY SWITCHED WITH A VACANCY SENSOR.
 - ALL HARDWIRED INTERIOR LIGHTING IN AREAS OTHER THAN BATHROOMS, KITCHENS, GARAGES, LAUNDRY OR UTILITY ROOMS SHALL BE HIGH EFFICACY OR SWITCHED WITH EITHER A DIMMABLE LIGHT SWITCH OR VACANCY SENSOR.
 - ALL NEW COMPACT FLUORESCENT RECESSED DOWNLIGHTS SHALL HAVE PIN BASED CONNECTIONS.
 - ALL LIGHTING CONTROLS, BALLASTS FOR RECESSED LUMINAIRES, AND HIGH EFFICACY LED LIGHT SOURCES SHALL BE CERTIFIED BY THE ENERGY COMMISSION FOR COMPLIANCE WITH TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS.
 - AT LEAST 50% OF LIGHTING WAITAGE IN KITCHEN SHALL BE FROM FLUORESCENT OR OTHER HIGH EFFICACY LIGHT FIXTURES.
 - ALL ELECTRICAL DEVICES (SWITCHES, OUTLETS) SHALL BE THE SAME COLOR AS THE COVERPLATE.
 - INSTALL AS MANY ADJACENT SWITCHES AND OUTLETS IN ONE PLATE AS POSSIBLE.
 - ALL SWITCHES TO BE MOUNTED 48" A.F.F., U.O.N.
 - GENERAL CONTRACTOR TO COORDINATE ALL SWITCHING NOT SHOWN ON PLANS WITH OWNER.
 - ANY EXHAUST FAN WITH INTEGRAL LIGHTING SHALL HAVE ABILITY TO MANUALLY SWITCH OFF LIGHT SYSTEM WHILE FAN CONTINUES TO OPERATE

POWER AND SIGNAL LEGEND

SYMBOL	RECEPTACLE TYPE
	GROUNDING DUPLEX ELECTRICAL OUTLET
	GROUNDING FOUR-PLEX ELECTRICAL OUTLET
	42" GFI ELECTRICAL OUTLET AT 42" A.F.F., U.O.N. ORIENT VERTICALLY

RCP & LIGHTING SCHEDULE

SYM/30L	FIXTURE TYPE
	4" RECESSED LED DOWNLIGHT
	LED WALL WASHING RECESSED CAN
	TV/DATA - G.C. TO COORDINATE W/ OWNER REP.
	WALL SCONCE
	CEILING MTD. SPEAKERS (ZONE A) G.C. TO COORDINATE WITH OWNER REP
	DECORATIVE PENDANT
	CARBON MONOXIDE ALARM PER CBC 420.4.2
	SMOKE DETECTOR
	EXHAUST FAN, MIN 5 AIR EXCHANGES PER HOUR
	MANUAL ON, AUTO OFF OCCUPANCY SENSOR
	DIMMER SWITCH, ALL LIGHTS ON SWITCH TO BE DIMMABLE
	SWITCH
	LED STRIP LIGHT

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SCHEDULE SYMBOLS AND SHEET LOCATIONS

---	Schedule
---	Sheet A---

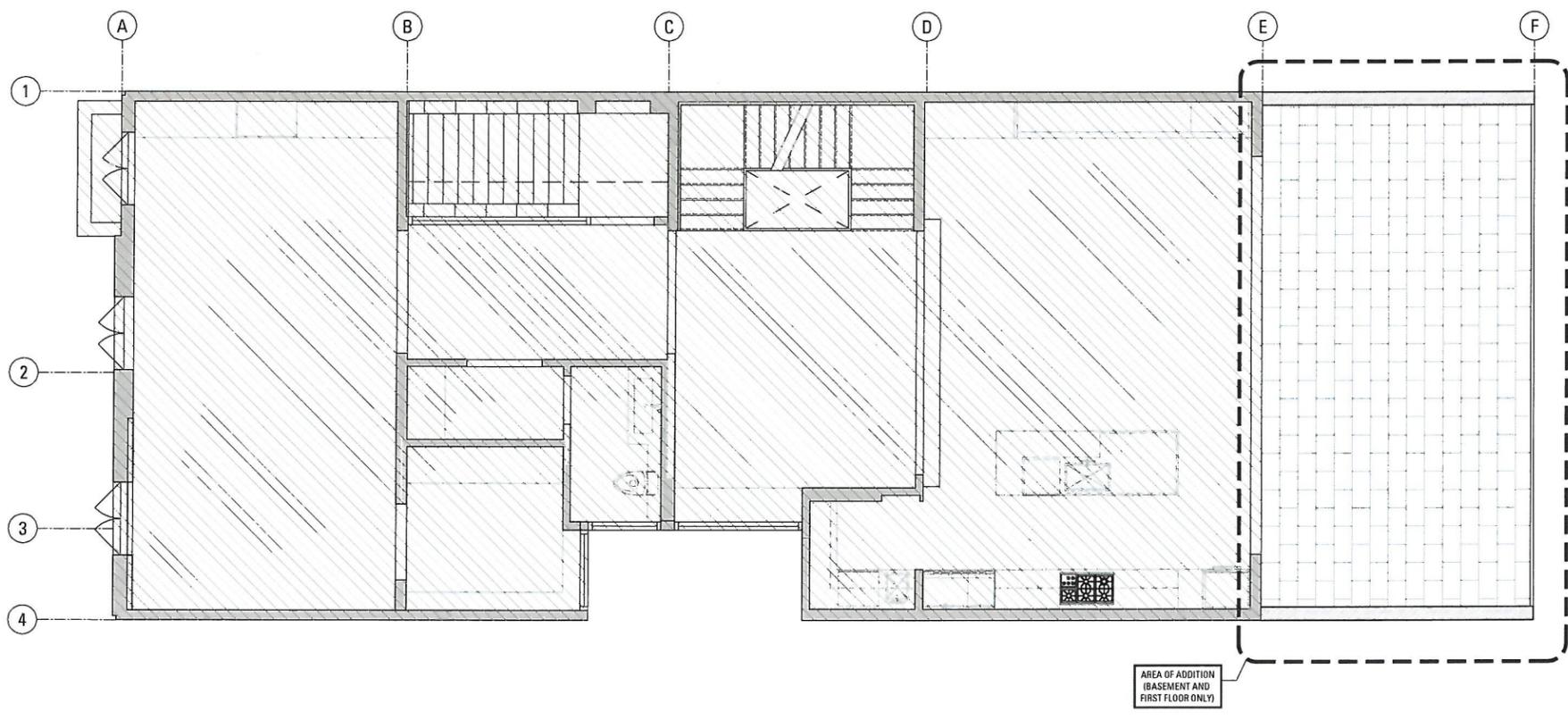
2 THIRD FLOOR REFLECTED CEILING AND POWER PLAN - NO WORK THIS FLOOR
 SCALE: 1/8"=1'-0"

RCP & POWER KEYNOTES

R1	--
R2	--
R3	--
R4	--
R5	--

RECORD OF DRAWING ISSUANCE

Pre-Application Meeting	02.26.13
Permit Set	03.06.13



1 SECOND FLOOR REFLECTED CEILING AND POWER PLAN - NO WORK THIS FLOOR
 SCALE: 1/8"=1'-0"

PERMIT SET
 Date of Issuance: 03.06.13
 Project Number: 1250.2.1

Reflected Ceiling & Power Plan

SHEET NUMBER
A122

EXTERIOR ELEVATION KEYNOTES	
(E)	EXISTING DOOR OR WINDOW TO REMAIN
(R)	EXISTING DOOR OR WINDOW TO BE REPLACED IN KIND
(N)	NEW DOOR OR WINDOW. SEE SCHEDULE, SHEETS A801 AND A802
(D)	EXISTING DOOR OR WINDOW TO BE REMOVED
1	DEMO (E) GUARDRAIL
2	(E) WALL SCONCE TO REMAIN
3	DEMO (E) DECK & DECK STRUCTURE
4	(E) FINISH TO REMAIN
5	(E) FIRE ESCAPE TO REMAIN
6	(N) PLASTER FINISH
7	(E) OUTLINE OF NEIGHBORING BUILDING BEYOND
8	DEMO (E) FINISH IN AREA OF NEW WORK, SEE PROPOSED ELEVATION
9	DEMO (E) WING WALL
10	(N) GLASS GUARDRAIL @ 42" A.F.F.
11	DEMO (E) LIGHT FIXTURE
12	(N) FIREWALL
13	(N) WALL SCONCE

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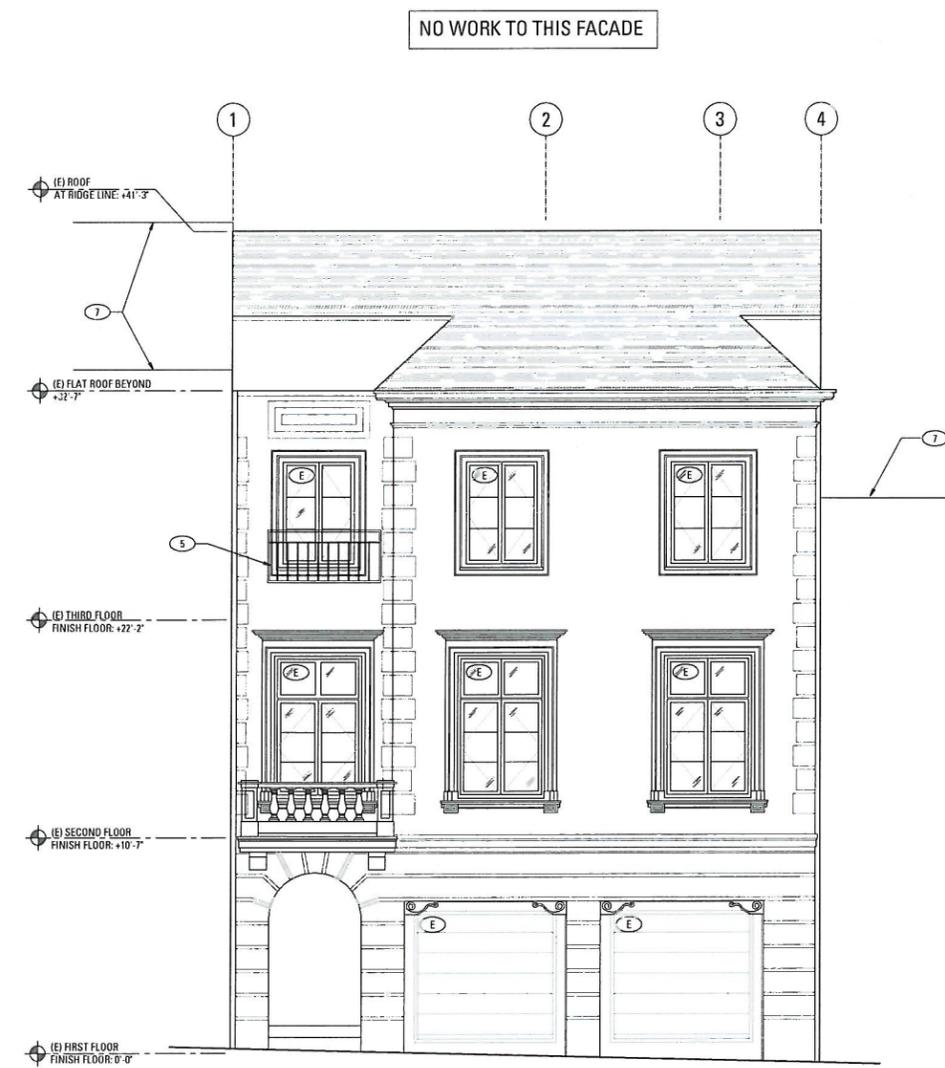


SCHEDULE SYMBOLS AND SHEET LOCATIONS	
— Schedule	
— Sheet A-	

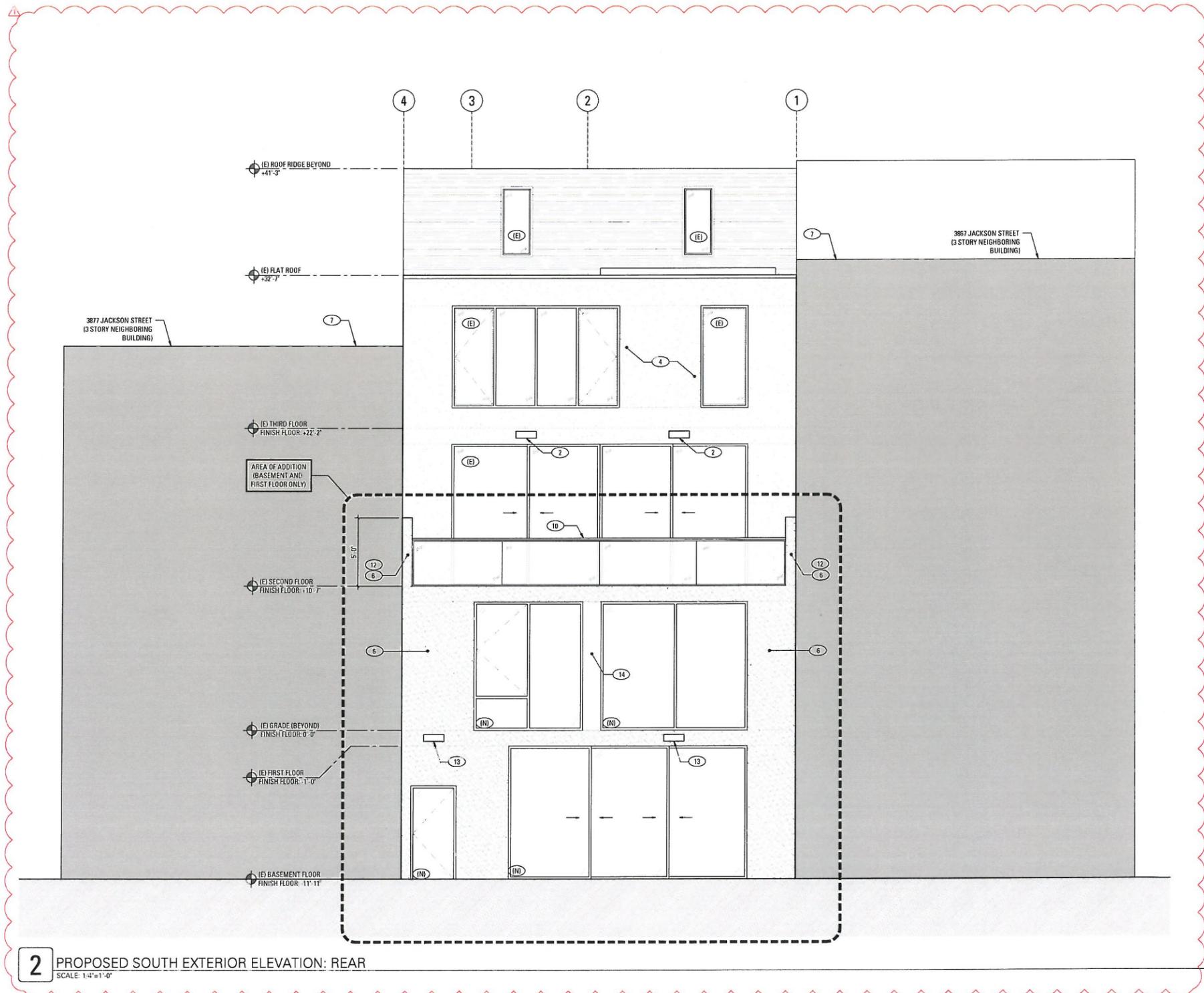
RECORD OF DRAWING ISSUANCE	
Pre-Application Meeting	02.26.13
Permit Set	03.06.13



PERMIT SET	
Date of Issuance:	03.06.13
Project Number:	1250.2.1
Existing and Proposed Exterior Elevations	
SHEET NUMBER	
A 2 0 1	



1 EXISTING NORTH EXTERIOR ELEVATION: FRONT (NO WORK, FOR REFERENCE ONLY)
SCALE: 1/4"=1'-0"



2 PROPOSED SOUTH EXTERIOR ELEVATION: REAR
SCALE: 1/4"=1'-0"

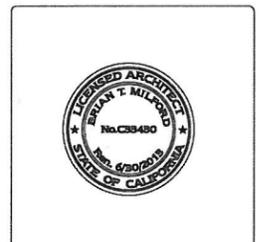
EXTERIOR ELEVATION KEYNOTES	
(E)	EXISTING DOOR OR WINDOW TO REMAIN
(R)	EXISTING DOOR OR WINDOW TO BE REPLACED IN KIND
(N)	NEW DOOR OR WINDOW. SEE SCHEDULE, SHEETS A501 AND A502
(D)	EXISTING DOOR OR WINDOW TO BE REMOVED
1	DEMO (E) GUARDRAIL
2	(E) WALL SCONCE TO REMAIN
3	DEMO (E) DECK & DECK STRUCTURE
4	(E) FINISH TO REMAIN
5	(E) FIRE ESCAPE TO REMAIN
6	(N) PLASTER FINISH
7	(E) OUTLINE OF NEIGHBORING BUILDING BEYOND
8	DEMO (E) FINISH IN AREA OF NEW WORK, SEE PROPOSED ELEVATION
9	DEMO (E) WING WALL
10	(N) GLASS GUARDRAIL @ 42" A.F.F.
11	DEMO (E) LIGHT FIXTURE
12	(N) FIREWALL
13	(N) WALL SCONCE
14	(N) METAL PANEL TO MATCH WINDOW METAL FINISH
15	(N) BLIND WALL
16	NEIGHBOR PROPERTY LINE WINDOW

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SCHEDULE SYMBOLS AND SHEET LOCATIONS	
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RECORD OF DRAWING ISSUANCE	
Pre-Application Meeting	02.26.13
Permit Set	03.06.13
Permit Set - Revision One	04.11.13

PERMIT SET

Date of Issuance: 04.11.13
Project Number: 1250.2.1

Proposed Exterior Elevation

SHEET NUMBER

A 202.2

**EXTERIOR
ELEVATION KEYNOTES**

- (E) EXISTING DOOR OR WINDOW TO REMAIN
- (R) EXISTING DOOR OR WINDOW TO BE REPLACED IN KIND
- (N) NEW DOOR OR WINDOW. SEE SCHEDULE, SHEETS A801 AND A802
- (D) EXISTING DOOR OR WINDOW TO BE REMOVED
- 1 DEMO (E) GUARDRAIL
- 2 (E) WALL SCONCE TO REMAIN
- 3 DEMO (E) DECK & DECK STRUCTURE
- 4 (E) FINISH TO REMAIN
- 5 (E) FIRE ESCAPE TO REMAIN
- 6 (N) PLASTER FINISH
- 7 (E) OUTLINE OF NEIGHBORING BUILDING BEYOND
- 8 DEMO (E) FINISH IN AREA OF NEW WORK, SEE PROPOSED ELEVATION
- 9 DEMO (E) WING WALL
- 10 (N) GLASS GUARDRAIL @ 42" A.F.F.
- 11 DEMO (E) LIGHT FIXTURE
- 12 (N) FIREWALL
- 13 (N) WALL SCONCE
- 14 (N) METAL PANEL TO MATCH WINDOW METAL FINISH
- 15 (N) BLIND WALL
- 16 NEIGHBOR PROPERTY LINE WINDOW

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**SCHEDULE SYMBOLS
AND SHEET LOCATIONS**

Schedule	Sheet #

RECORD OF DRAWING ISSUANCE

Pre-Application Meeting	02.26.13
Permit Set	03.06.13
Permit Set - Revision One	04.11.13

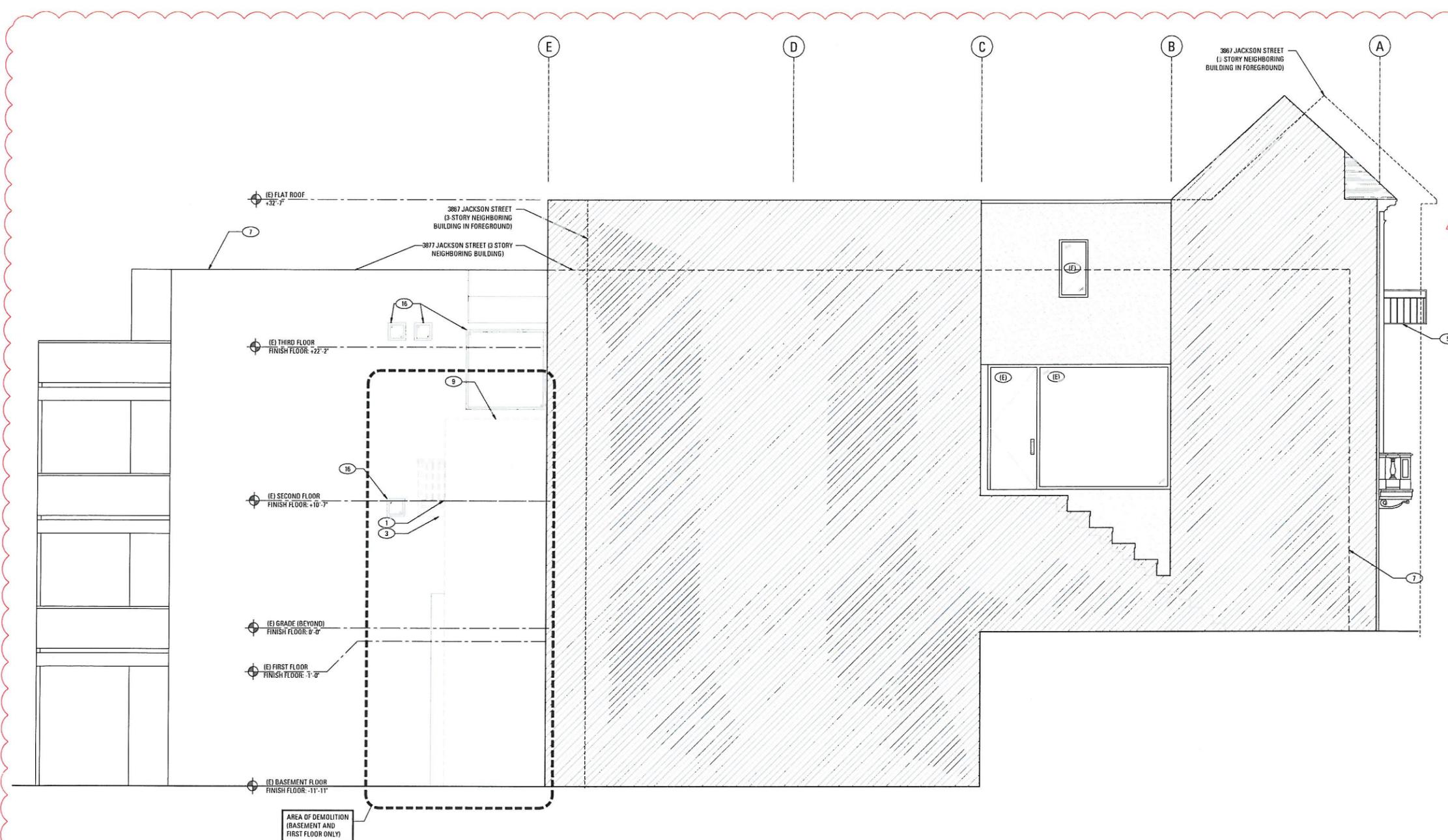
PERMIT SET

Date of Issuance:	04.11.13
Project Number:	1250.2.1

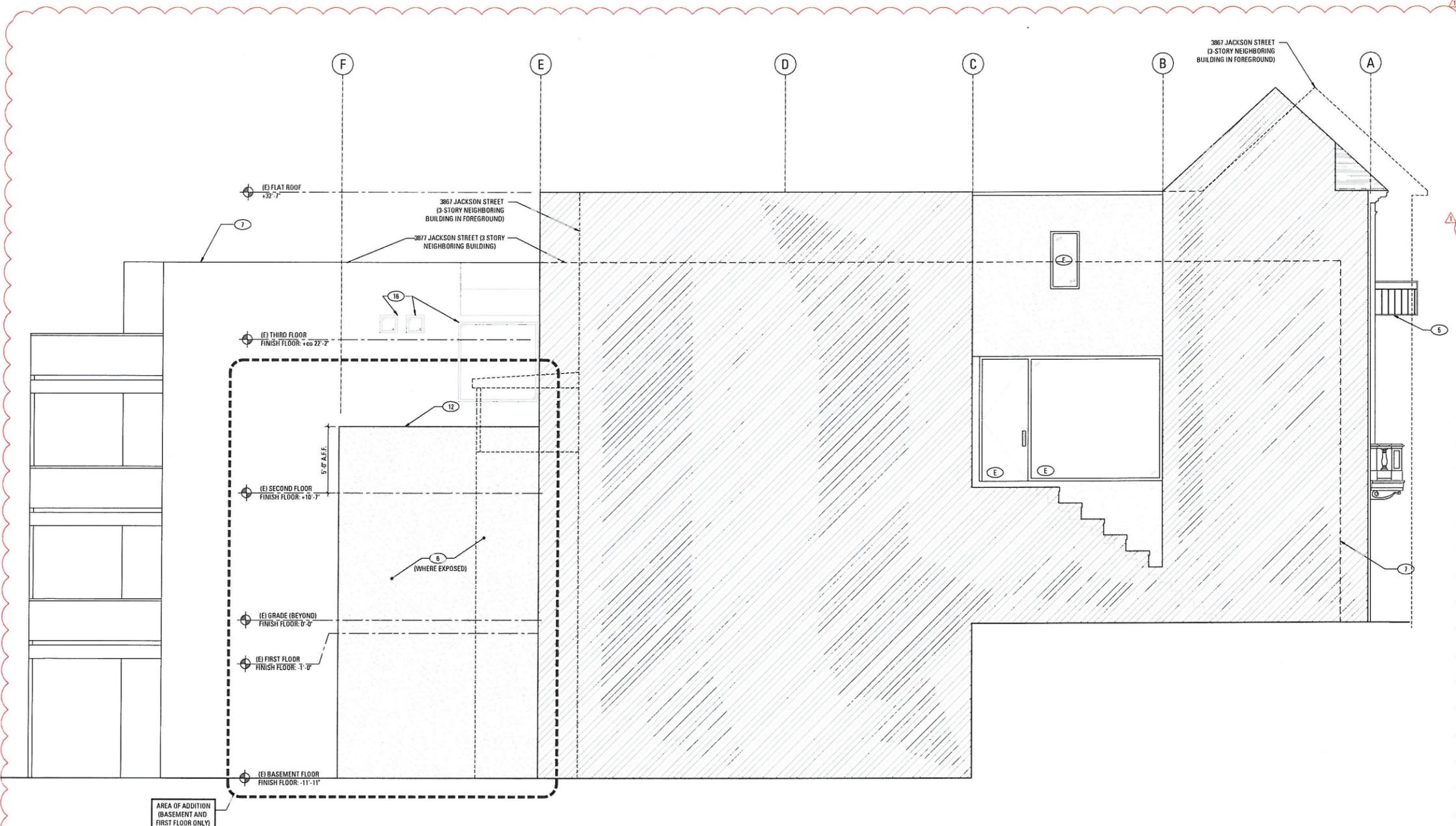
Existing Exterior Elevations

SHEET NUMBER

A 203



1 EXISTING EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



EXTERIOR ELEVATION KEYNOTES

(E)	EXISTING DOOR OR WINDOW TO REMAIN
(R)	EXISTING DOOR OR WINDOW TO BE REPLACED IN KIND
(N)	NEW DOOR OR WINDOW. SEE SCHEDULE, SHEETS A501 AND A502
(D)	EXISTING DOOR OR WINDOW TO BE REMOVED
1	DEMO (E) GUARDRAIL
2	(E) WALL SCONCE TO REMAIN
3	DEMO (E) DECK & DECK STRUCTURE
4	(E) FINISH TO REMAIN
5	(E) FIRE ESCAPE TO REMAIN
6	(N) PLASTER FINISH
7	(E) OUTLINE OF NEIGHBORING BUILDING BEYOND
8	DEMO (E) FINISH IN AREA OF NEW WORK, SEE PROPOSED ELEVATION
9	DEMO (E) WING WALL
10	(N) GLASS GUARDRAIL @ 42" A.F.F.
11	DEMO (E) LIGHT FIXTURE
12	(N) FIREWALL
13	(N) WALL SCONCE
14	(N) METAL PANEL TO MATCH WINDOW METAL FINISH
15	(N) BLIND WALL
16	NEIGHBOR PROPERTY LINE WINDOW

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SCHEDULE SYMBOLS AND SHEET LOCATIONS

1	Schedule	Sheet A

RECORD OF DRAWING ISSUANCE

Pre-Application Meeting	02.26.13
Permit Set	03.06.13
Permit Set - Revision One	04.11.13



PERMIT SET

Date of Issuance: 04.11.13
Project Number: 1250.2.1

Proposed Exterior Elevations

SHEET NUMBER

A 204

1 PROPOSED EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

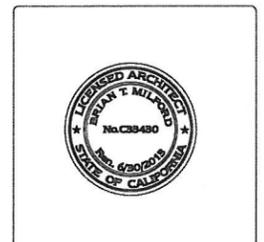
EXTERIOR ELEVATION KEYNOTES	
(E)	EXISTING DOOR OR WINDOW TO REMAIN
(R)	EXISTING DOOR OR WINDOW TO BE REPLACED IN KIND
(N)	NEW DOOR OR WINDOW. SEE SCHEDULE, SHEETS A201 AND A202
(D)	EXISTING DOOR OR WINDOW TO BE REMOVED
1	DEMO (E) GUARDRAIL
2	(E) WALL SCONCE TO REMAIN
3	DEMO (E) DECK & DECK STRUCTURE
4	(E) FINISH TO REMAIN
5	(E) FIRE ESCAPE TO REMAIN
6	(N) PLASTER FINISH
7	(E) OUTLINE OF NEIGHBORING BUILDING BEYOND
8	DEMO (E) FINISH IN AREA OF NEW WORK, SEE PROPOSED ELEVATION
9	DEMO (E) WING WALL
10	(N) GLASS GUARDRAIL @ 42" A.F.F.
11	DEMO (E) LIGHT FIXTURE
12	(N) FIREWALL
13	(N) WALL SCONCE
14	(N) METAL PANEL TO MATCH WINDOW METAL FINISH
15	(N) BLIND WALL
16	NEIGHBOR PROPERTY LINE WINDOW

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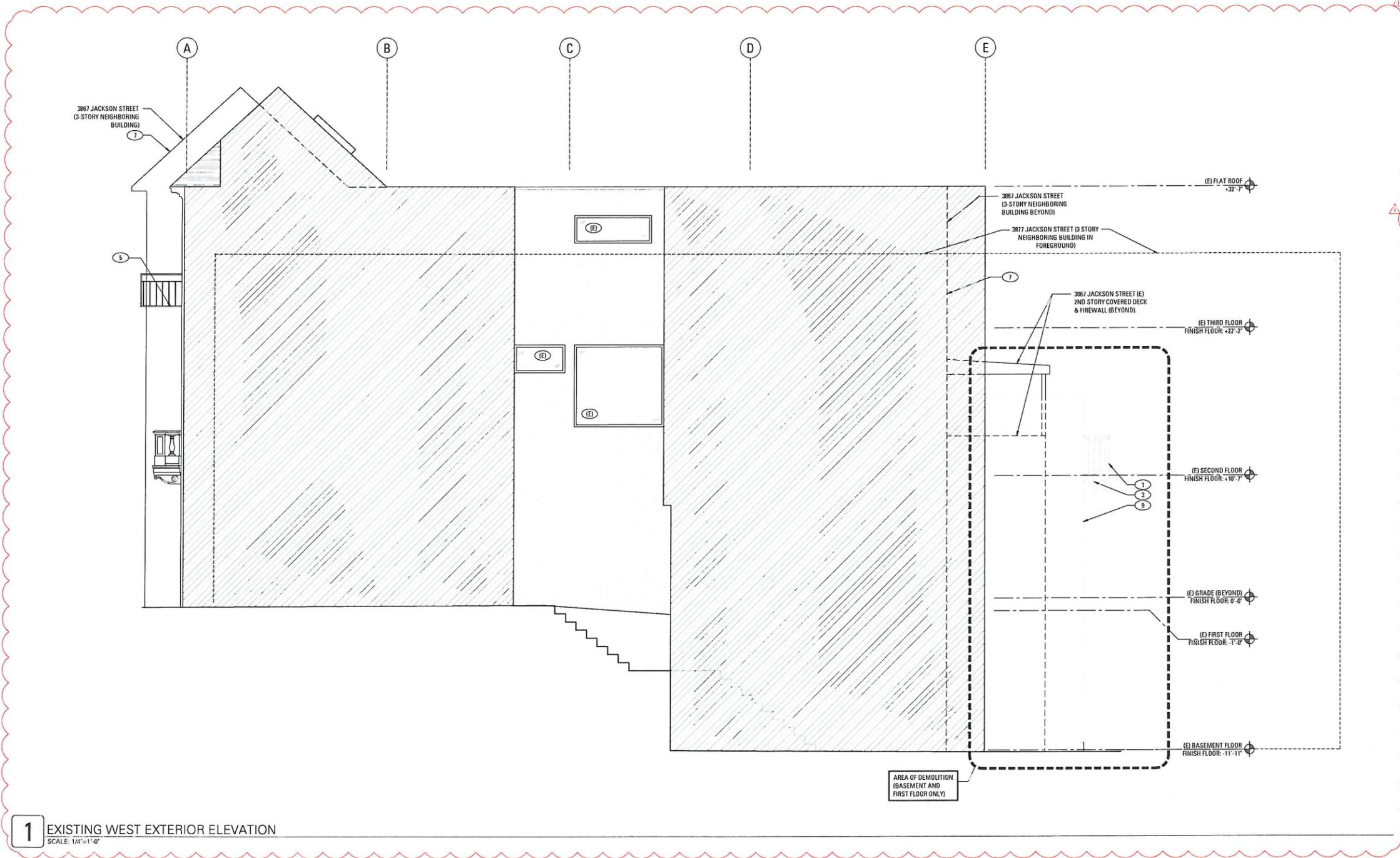
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SCHEDULE SYMBOLS AND SHEET LOCATIONS	
1	Schedule Sheet A-

RECORD OF DRAWING ISSUANCE		
Pre-Application Meeting		02.26.13
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PERMIT SET	
Date of Issuance:	04.11.13
Project Number:	1250.2.1
Existing Exterior Elevations	
SHEET NUMBER	
A 205	



1 EXISTING WEST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR ELEVATION KEYNOTES	
(E)	EXISTING DOOR OR WINDOW TO REMAIN
(R)	EXISTING DOOR OR WINDOW TO BE REPLACED IN KIND
(N)	NEW DOOR OR WINDOW. SEE SCHEDULE, SHEETS A201 AND A202
(D)	EXISTING DOOR OR WINDOW TO BE REMOVED
1	DEMO (E) GUARDRAIL
2	(E) WALL SCIENCE TO REMAIN
3	DEMO (E) DECK & DECK STRUCTURE
4	(E) FINISH TO REMAIN.
5	(E) FIRE ESCAPE TO REMAIN
6	(N) PLASTER FINISH
7	(E) OUTLINE OF NEIGHBORING BUILDING BEYOND
8	DEMO (E) FINISH IN AREA OF NEW WORK, SEE PROPOSED ELEVATION
9	DEMO (E) WING WALL
10	(N) GLASS GUARDRAIL @ 42" A.F.F.
11	DEMO (E) LIGHT FIXTURE
12	(N) FIREWALL
13	(N) WALL SCIENCE
14	(N) METAL PANEL TO MATCH WINDOW METAL FINISH
15	(N) BLIND WALL
16	NEIGHBOR PROPERTY LINE WINDOW

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SCHEDULE SYMBOLS AND SHEET LOCATIONS	
Symbol	Sheet

RECORD OF DRAWING ISSUANCE	
Pre-Application Meeting	02.26.13
Permit Set	03.08.13
Permit Set - Revision One	04.11.13

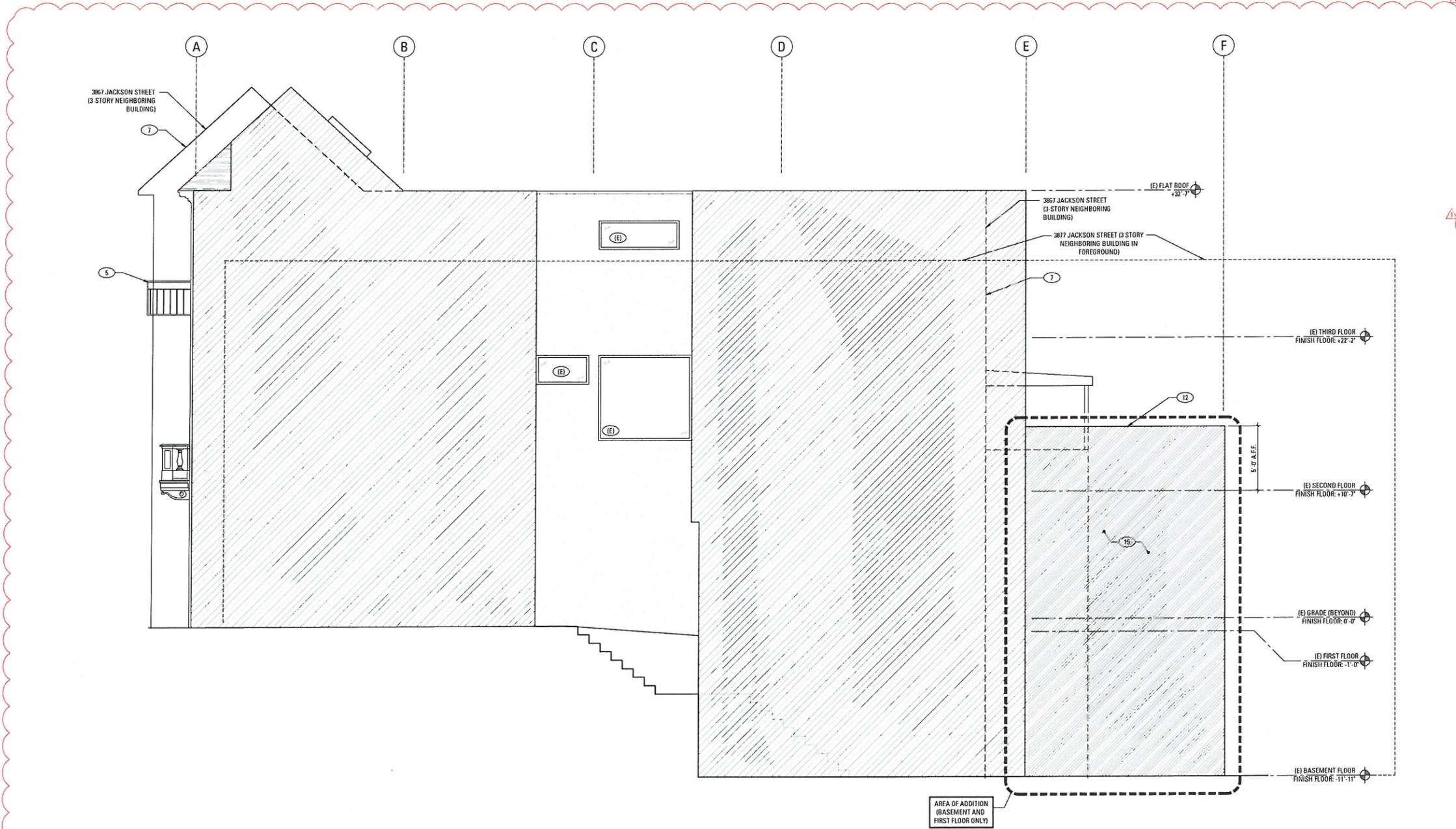
PERMIT SET

Date of Issuance: 04.11.13
Project Number: 1250.2.1

Proposed Exterior Elevations

SHEET NUMBER

A 206



1 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

BUILDING SECTION KEYNOTES	
1	(E) WALL TO REMAIN
2	(E) ROOF STRUCTURE TO REMAIN
3	(E) FOUNDATION AND SLAB, UNDER PREVIOUS PERMIT: #2012-1019-2481
4	(E) FOUNDATION AND SLAB
5	(E) DECK & STRUCTURE TO BE DEMOLISHED
6	OUTLINE OF (E) NEIGHBORING BUILDING BEYOND
7	PROVIDE PLYWOOD SUBSTRATE, WATERPROOF MEMBRANE, MORTAR BED, AND TILE FINISH, INSTALL PER T.C.A. REQUIREMENTS
8	PROVIDE R19 MIN. BATT INSULATION

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SCHEDULE SYMBOLS AND SHEET LOCATIONS

Schedule	Sheet #

RECORD OF DRAWING ISSUANCE

Pre-Application Meeting	02.26.13
Permit Set	03.06.13
Permit Set - Revision One	04.11.13

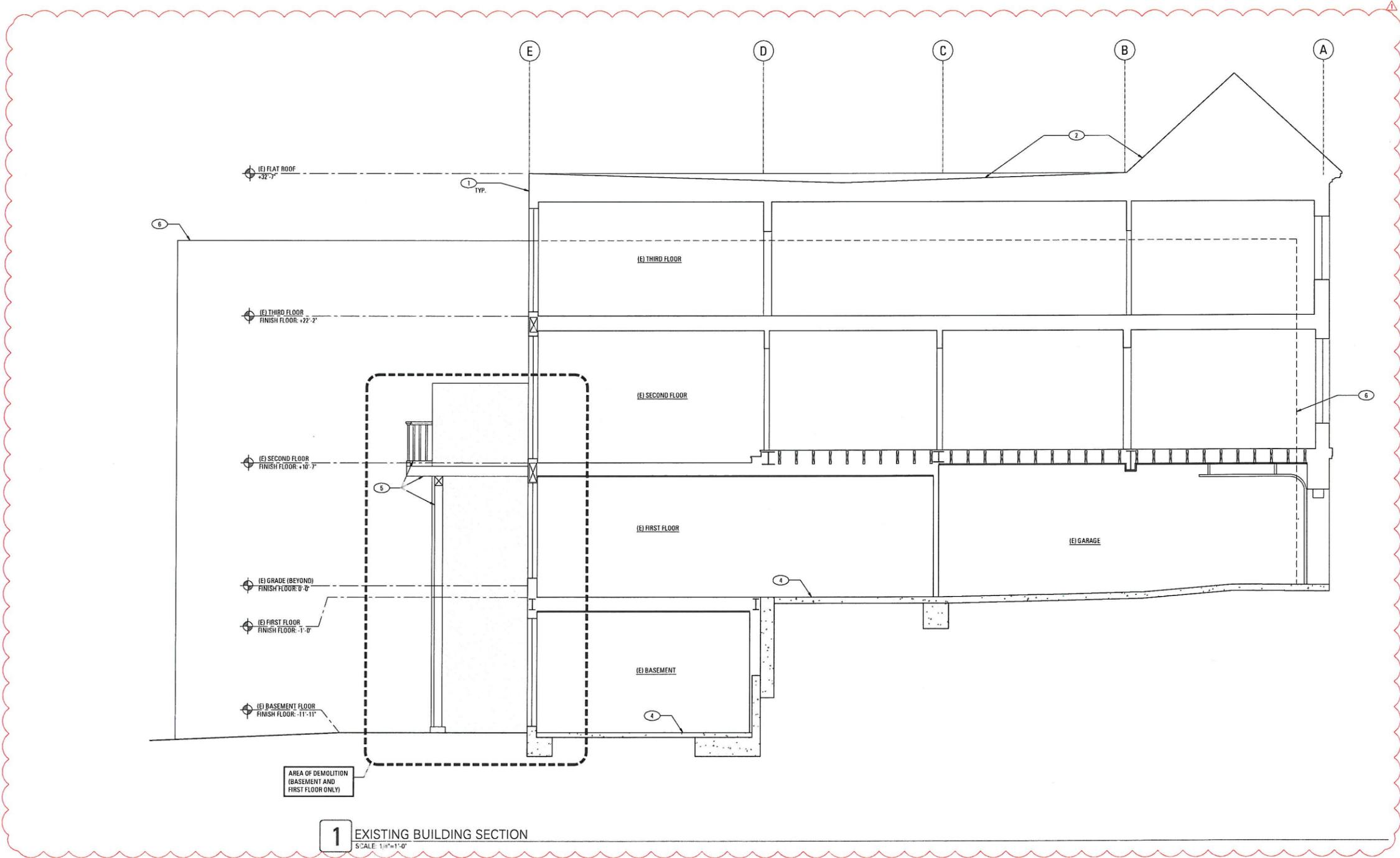
PERMIT SET

Date of Issuance: 04.11.13
Project Number: 1250.2.1

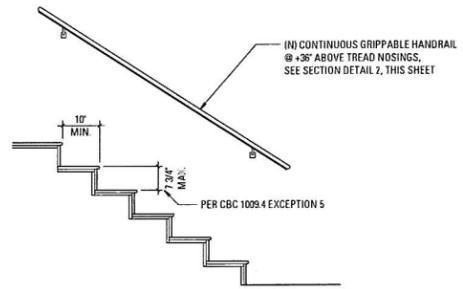
Existing Building Section

SHEET NUMBER

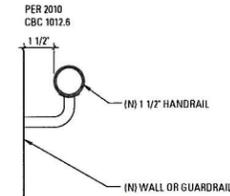
A 301



1 EXISTING BUILDING SECTION
SCALE: 1/8"=1'-0"



3 ENLARGED INTERIOR STAIR SECTION, TYP.
SCALE: 1/2"=1'-0"



2 TYP. SECTION THROUGH HANDRAIL
SCALE: 3/4"=1'-0"

BUILDING SECTION KEYNOTES	
1	(E) WALL TO REMAIN
2	(E) ROOF STRUCTURE TO REMAIN
3	(E) FOUNDATION AND SLAB, UNDER PREVIOUS PERMIT: #2012-1019-2481
4	(E) FOUNDATION AND SLAB
5	(E) DECK & STRUCTURE TO BE DEMOLISHED
6	OUTLINE OF (E) NEIGHBORING BUILDING BEYOND
7	PROVIDE PLYWOOD SUBSTRATE, WATERPROOF MEMBRANE, MORTAR BED, AND TILE FINISH, INSTALL PER T.C.A. REQUIREMENTS
8	PROVIDE R19 MIN. BATT INSULATION

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SCHEDULE SYMBOLS AND SHEET LOCATIONS	
Symbol	Sheet

RECORD OF DRAWING ISSUANCE	
Pre-Application Meeting	02.26.13
Permit Set	03.06.13
Permit Set - Revision One	04.11.13

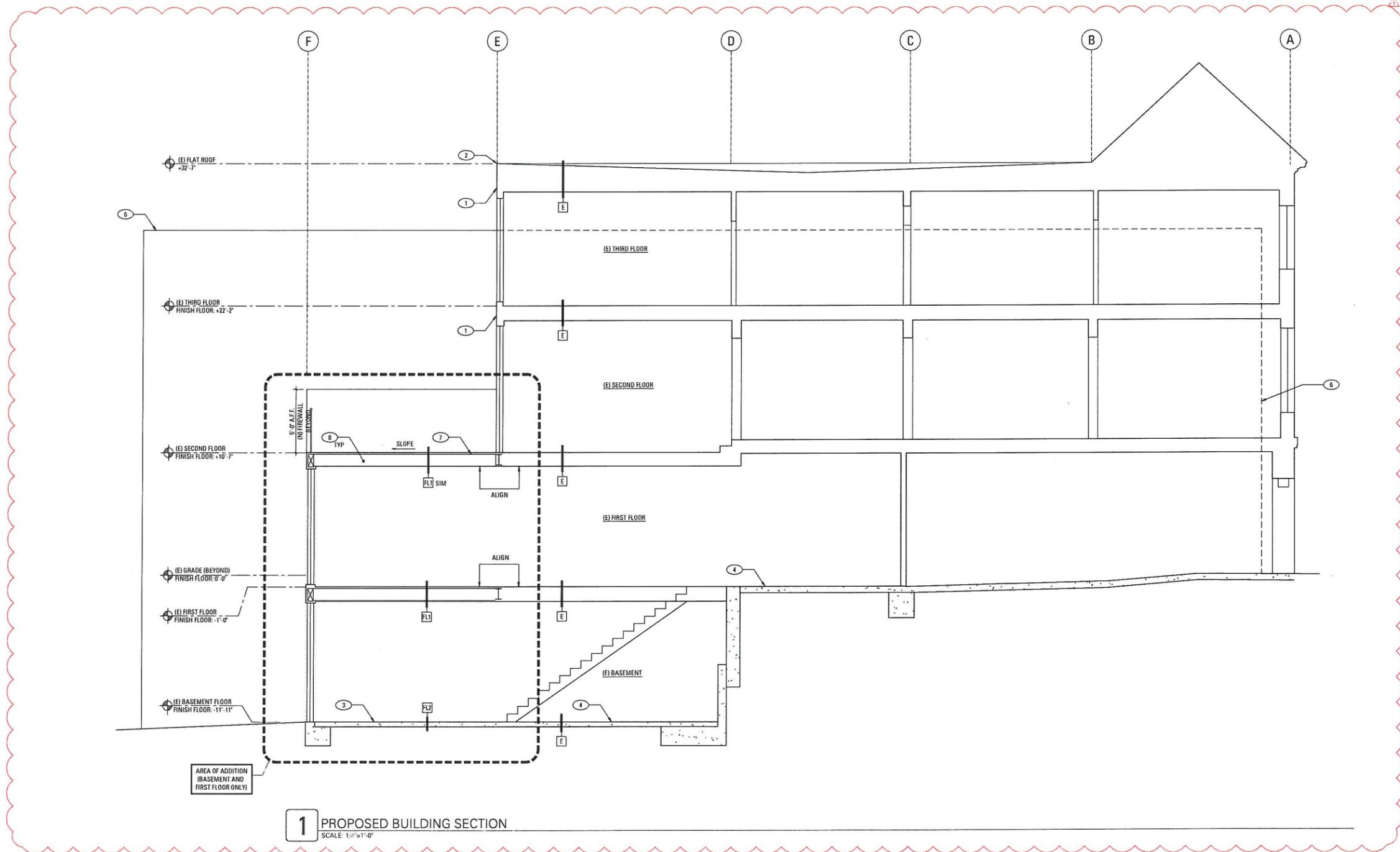
PERMIT SET

Date of Issuance: 04.11.13
Project Number: 1250.2.1

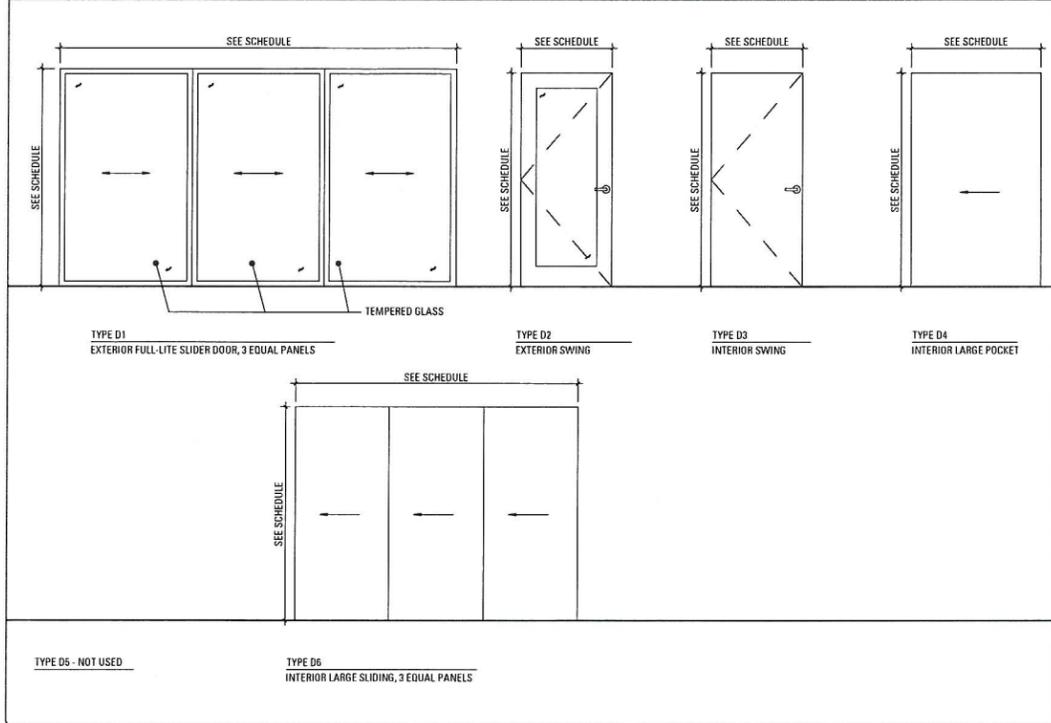
Proposed Building Section

SHEET NUMBER

A 302



DOOR TYPES



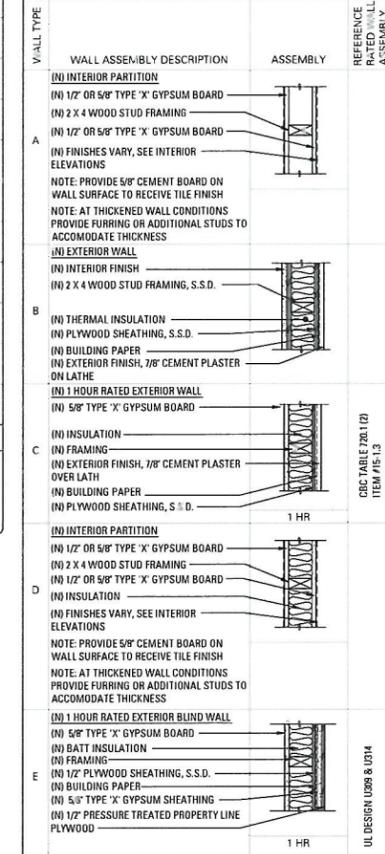
DOOR SCHEDULE

DOOR						FRAME		COMMENTS
TYPE	W x H DIM U.O.N	FLOOR	TYPE	THICK	MATERIAL	FINISH	MATERIAL	
EXISTING	..	..	..	..	EXISTING	EXISTING	WOOD	..
17'-7" x 9'-4 1/2" VIF, 3 PANEL	00	D1	1 3/4"	ALUMINUM, TEMPERED GLASS	CLEAR	ALUMINUM	CLEAR	CONTRACTOR TO FIELD VERIFY CEILING HEIGHTS PRIOR TO ORDERING ANY FULL HEIGHT DOORS
7'-6" x 8'-0"	01	D3	1 3/4"	SOLID CORE WOOD	PAINT	WOOD	PAINT	..
14'-7" x 9'-4 1/2" VIF, 3 PANEL	00	D6	1 3/4"	SOLID CORE WOOD	PAINT	WOOD	PAINT	CONTRACTOR TO FIELD VERIFY CEILING HEIGHTS PRIOR TO ORDERING ANY FULL HEIGHT DOORS
NOT USED	..	..	..	..	..	..	..	..
3'-0" x 8'-0"	00	D2	1 3/4"	ALUMINUM, TEMPERED GLASS	CLEAR	ALUMINUM	CLEAR	..
NOT USED	..	..	..	..	..	..	..	..
2'-6" x 8'-0"	01	D3	1 3/4"	SOLID CORE WOOD	PAINT	WOOD	PAINT	..
6'-6" x 8'-0"	01	D4	1 3/4"	SOLID CORE WOOD	PAINT	WOOD	PAINT	..
2'-6" x 8'-0"	01	D3	1 3/4"	SOLID CORE WOOD	PAINT	WOOD	PAINT	..

DOOR NOTES

- HARDWARE ON RATED DOORS SHALL BEAR UL LABEL
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
- GENERAL CONTRACTOR TO VERIFY SIZE OF DOORS TO FIT IN (E) OPENINGS.
- EXTERIOR DOORS TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION
- PROVIDE MASTER BEDROOM & ALL BATHROOMS W/ PRIVACY LOCKS.

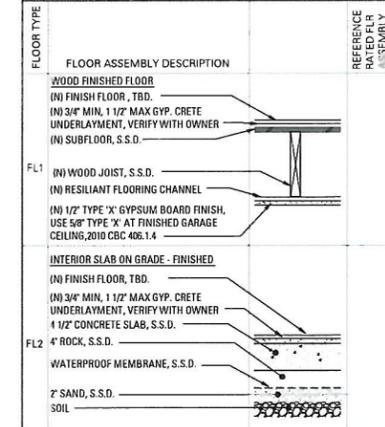
WALL PARTITION TYPES:



PARTITION NOTES:

- REFER TO GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL AND CBC TABLE 720.1 (2) FOR REFERENCE RATED WALL ASSEMBLIES
- ATTACHMENT OF WALL SHEATHING AND FINISHES TO COMPLY WITH THE REQUIREMENTS OF THE REFERENCED WALL RATED WALL ASSEMBLY AND STRUCTURAL DRAWINGS
- THERMAL INSULATION TO FILL WALL CAVITY. PROVIDE R-13 MINIMUM

FLOOR ASSEMBLY TYPES:



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SCHEDULE SYMBOLS AND SHEET LOCATIONS

RECORD OF DRAWING ISSUANCE

Pre-Application Meeting	02.26.13
Permit Set	03.06.13

PERMIT SET

Date of Issuance:	03.06.13
Project Number:	1250.2.1

Schedules

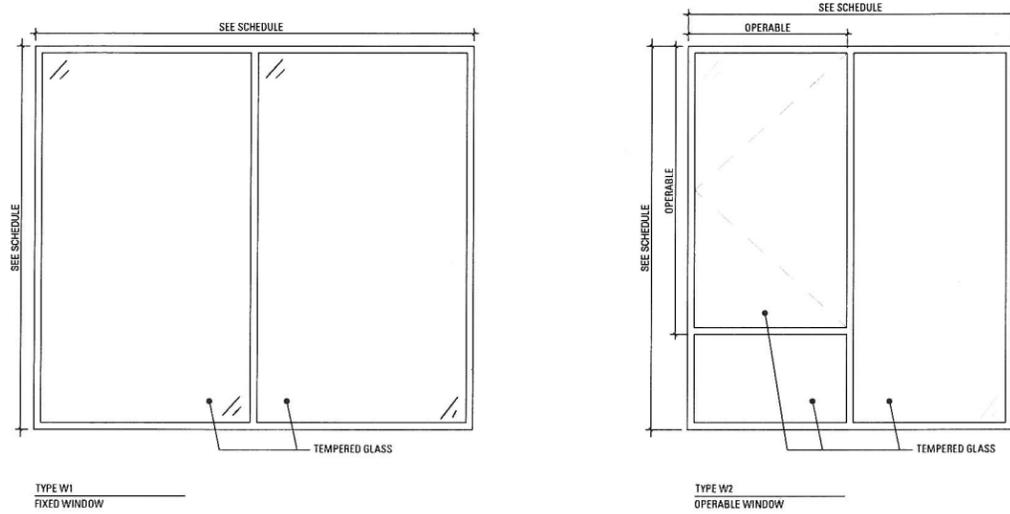
SHEET NUMBER

A 901

WINDOW NOTES

1. ALL DIMENSIONS ARE FRAME DIMENSIONS U.O.N.
2. SILL OR HEAD HEIGHTS GIVEN ARE TO WINDOW FRAME
3. GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
4. EGRESS WINDOWS TO COMPLY WITH CBC 1026.
5. GLAZING TO BE 0.40 U-FACTOR OR BETTER.
6. WINDOW TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION
7. WOOD WINDOWS TO BE UNFINISHED PINE, PAINT IN FIELD
8. WINDOW HARDWARE TO BE DETERMINED BY OWNER
9. FIELD VERIFY WIDTHS OF ALL WINDOWS ILLUSTRATED AS SPANNING FROM WALL TO WALL

WINDOW TYPES



WINDOW SCHEDULE

NO	LOCATION		WINDOW				MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	MFR.	COMMENTS
	FLOOR	ROOM	TYPE	W x H FRAME DIM U.O.N.	HEAD HEIGHT A.F.F.						
E	00	00	(E) WINDOW		VARIABLES						(E) WINDOW TO REMAIN
01	00	NOT USED									
02	01	(N) BEDROOM	W2	8'-0" x 9'-5" VIF	9'-5"	ALUMINUM	CLEAR	CLEAR	TBD		CONTRACTOR TO FIELD VERIFY CEILING HEIGHTS PRIOR TO ORDERING ANY FULL HEIGHT WINDOWS OPERABLE EGRESS WINDOW TO COMPLY WITH CBC SECTION 1029
03	02	(N) OFFICE	W1	10'-9 3/4" x 9'-5" VIF	9'-5"	ALUMINUM	CLEAR	CLEAR	TBD		CONTRACTOR TO FIELD VERIFY CEILING HEIGHTS PRIOR TO ORDERING ANY FULL HEIGHT WINDOWS

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SAN FRANCISCO, CA 94118

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SCHEDULE SYMBOLS AND SHEET LOCATIONS

RECORD OF DRAWING ISSUANCE

Pre-Application Meeting	02.26.13
Permit Set	03.06.13

PERMIT SET

Date of Issuance: 03.06.13
Project Number: 1250.2.1

Schedules

SHEET NUMBER

A 902

EXHIBIT C

Pre-Application Meeting Sign-in Sheet

Meeting Date: FEB. 26, 2013
 Meeting Time: 6:00 PM
 Meeting Address: PRESIDIO GOLF COURSE, 300 FINLEY RD., SF.
 Project Address: 3971 JACKSON ST.
 Property Owner Name: KEIKO & SHUJI INABA
 Project Sponsor/Representative: ARTHAUS, INC.

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1.	BRIAN MILFORD, MMA		415-346-9990	BRIAN@MARTIANOVICMILFORD.COM	<input type="checkbox"/>
2.	ARTHAUS	121 Monticello Avenue Piedmont, CA 94611		SANDY.ASHFORD@ARTHAUS.COM	<input type="checkbox"/>
3.					<input type="checkbox"/>
4.	J. PAUL	1325 Calif. St		Jeremy@quickdrawsf.com	<input type="checkbox"/>
5.					<input type="checkbox"/>
6.					<input type="checkbox"/>
7.					<input type="checkbox"/>
8.					<input type="checkbox"/>
9.					<input type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>
15.					<input type="checkbox"/>
16.					<input type="checkbox"/>
17.					<input type="checkbox"/>
18.					<input type="checkbox"/>

Summary of discussion from the Pre-Application Meeting

Meeting Date: 2/26/13
 Meeting Time: 6PM
 Meeting Address: 300 FINLEY RD. (PRESIDIO GOLF COURSE)
 Project Address: 3871 JACKSON ST.
 Property Owner Name: SHUSI FNABA
 Project Sponsor/Representative: ARTHAUS, INC. / RIAZ TAPLIN

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group):
SANDY ASHFORD: GENERAL DISCUSSION OF CONDITION ALONG COMMON PROPERTY LINE TO UNDERSTAND EFFECT ON (E) SERVICE CORRIDOR.

Project Sponsor Response:
PROJECT SPONSOR HAS ENGAGED IN ACTIVE DIALOGUE WITH ALL OWNERS OF SUBJECT PROPERTY AND HELD SEVERAL INDEPENDANT MEETINGS TO DISCUSS IMPACTS OF PROJECT. SEE ATTACHED SUMMARY OF SAID MEETINGS.

Question/Concern #2:

Project Sponsor Response:

Question/Concern #2
J. PAUL: WHAT IS PROPOSED NEW SQUARE FOOTAGE?

Project Sponsor Response: IT WAS POINTED OUT ADDITIONAL REPRESENTS 2 STORIES OF LIVING SPACE @ 15' x 29' OR 435 SF EA FLOOR.

Question/Concern #4:

Project Sponsor Response:

Notice of Pre-Application Meeting

February 12, 2013

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 3871 Jackson Street, cross street(s) Arquello (Block/Lot#: 990/20; Zoning: RH-1), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: _____
Project proposed to build a rear yard, horizontal addition at the ground and first floor only.

Existing # of dwelling units: 1	Proposed: 1	Permitted: 1
Existing bldg square footage: 3,480	Proposed: 4,278	Permitted: 6,734
Existing # of stories: 3+Basement	Proposed: No change	Permitted: 3
Existing bldg height: 32'-6" / 44'-2" rear	Proposed: No change	Permitted: 30' front / 35' rear
Existing bldg depth: 66'-9 1/2"	Proposed: 81'-9 1/2"	Permitted: 97'-0 1/2"

MEETING INFORMATION:

Property Owner(s) name(s): Keiko and Shuji Inaba

Project Sponsor(s): ArtHaus, Inc.

Contact information (email/phone): Riaz Taplin 415-860-4158 riaz@arthaus.com

Meeting Address*: Presidio Golf Course 300 Finley Rd San Francisco, CA 94129

Date of meeting: February 26, 2013

Time of meeting*: 6:00 p.m.

*The meeting should be conducted at the project site or within a one mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, BRIAN MILFORD, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at PRESIDIO GULFCOURSE, 300 FINLEY RD. (location/address) on 2/26/13 (date) from 6:00 PM (time).
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, MARCH 6, 20 13 IN SAN FRANCISCO.


Signature

BRIAN MILFORD
Name (type or print)

AGENT, MARTINKOVIC MILFORD ARCHITECTS
Relationship to Project (e.g. Owner, Agent)
(If Agent, give business name & profession)

3871 JACKSON ST.
Project Address

EXHIBIT D

July 12, 2013

President Rodney Fong and Planning Commissioners
1650 Mission Street, Fourth Floor
SF, CA 94103

RE: 3871 Jackson Street, San Francisco, California 94115

Dear Commissioners:

I would like to take a moment to share with you why this project is so important to me, my wife Keiko, our children, Fumika and Hayato, and our vision for our extended family. Keiko and I are both from Japan and have made San Francisco our home for over 16 years. Due to our love of San Francisco, when we chose to have children, Keiko and I decided to make San Francisco the place to raise our children.

Deciding to live halfway around the world from our parents was a difficult decision for Keiko and me, especially since the family structure that we were raised in would be difficult to replicate for our children. Thus, in looking for a home in San Francisco, it was very important that we have adequate space for our parents to visit and stay comfortably for extended periods of time.

We looked for several years to find a home that would accommodate our family. However, given the housing market in San Francisco, we found it difficult to find a home that met the needs of immediate and extended family. When we found 3871 Jackson Street, we were very excited that we finally found a house that we could make our long term home. Though a lengthy renovation was not our first choice, we felt that, given that Keiko was about to have our second child, Hayato, and that our parents are getting older, it was time to change strategies and go a different route. Since these years when our elderly family members can spend time with our young children are limited, it is important that that our children have the benefit of this time with and a relationship with their grandparents, which provide an important connection to our culture.

In creating this space, our goal has been add a small addition in order to better accommodate our three-generation family unit without making any drastic changes to the property. We consciously chose not to maximize the coverage ratios and to respect our neighbors. We and our team worked very hard to meet with our neighbors and respond to their requests. We obtained support from both our adjacent neighbors and made a good faith effort to work with all of our neighbors.

Keiko and I sincerely hope that you will take our family needs under consideration when reviewing the modest rear addition we have proposed for 3871 Jackson Street. Thank you for taking the time to review this matter.

Sincerely,

Shuji Inaba

A handwritten signature in blue ink, appearing to read 'Shuji Inaba', with a long horizontal flourish extending to the right.