



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Abbreviated Analysis

HEARING DATE: NOVEMBER 21, 2013

*Date:* November 14, 2013  
*Case No.:* **2013.1286D**  
*Project Address:* **259A BARTLETT STREET**  
*Permit Application:* 2012.12.07.5749  
*Zoning:* RTO-M [Residential, Transit-Oriented, Mission]  
45-X Height and Bulk District  
*Block/Lot:* 3643 / 040  
*Property Owner:* Christopher Truxaw  
259A Bartlett Street  
San Francisco, CA 94110  
*DR Requestor:* Sean Flanagan  
255 Bartlett Street  
San Francisco, CA 94110  
*Staff Contact:* Erika Jackson – (415) 588-6363  
[erika.jackson@sfgov.org](mailto:erika.jackson@sfgov.org)  
*Recommendation:* **Do not take DR and approve as proposed**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The proposed scope of work is to legalize an existing roof deck on top of a single story addition at the rear and side of the existing six-family dwelling. The proposed roof deck would measure approximately 23 by 8.5 feet with a 42 inch solid parapet railing and serves one of the six units in the building. No expansion of the building envelope is proposed under this permit.

### SITE DESCRIPTION AND PRESENT USE

The Project Site is located on the east side of Bartlett Street between 23<sup>rd</sup> and 24<sup>th</sup> Streets. The deck is located along the northern side property line. The lot is developed with an approximately 4,850 square foot three-story six-family dwelling. The 6,250 square foot lot has 50 feet of street frontage along Bartlett Street and is 125 feet deep.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project site is located within an RTO-M (Residential, Transit-Oriented, Mission) Zoning District and a 45-X Height and Bulk District. Land uses on the subject lot are typical of the RTO-M district and are composed of multi-family moderate-density areas that are within short walking distance of transit and neighborhood commercial areas with some limited small-scale neighborhood-oriented retail and services exist on corner lots. A middle school is located directly across from the subject lot. Structures in the vicinity typically range from two to five stories in height. While some one- and two-family structures are present, the character of the district is primarily of structures with three or more units of a range of sizes and types suitable for a variety of households. Buildings are moderately scaled and segmented, and units or groups of units have separate entrances directly from the street.

### BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
N/A	N/A	N/A	Sept 10, 2013	Nov 21, 2013	79 days

### HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	Nov 11, 2013	Nov 11, 2013	10 days
Mailed Notice	10 days	Nov 11, 2013	Nov 11, 2013	10 days

### PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	5	1	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

- Adjacent neighbor at 255 Bartlett Street (DR Requestor) is opposed to the project as proposed.
- 5 neighbors residing in units within the six-unit building on the subject lot have submitted letters in support of the proposed project.

### DR REQUESTOR

Sean Flanagan, 255 Bartlett Street, San Francisco, CA 94110 – located on the adjacent lot along the northern side property line.

### DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated September 9, 2013.

### PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated October 28, 2013.

### ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e)

Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

### **RESIDENTIAL DESIGN TEAM REVIEW**

The impacts to privacy on the Discretionary Review filer are not unusual per the Residential Design Guidelines page 17. A reasonable loss of privacy is expected from construction due to a dense living environment like San Francisco. There are no exceptional or extraordinary circumstances.

**Under the Commission’s pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

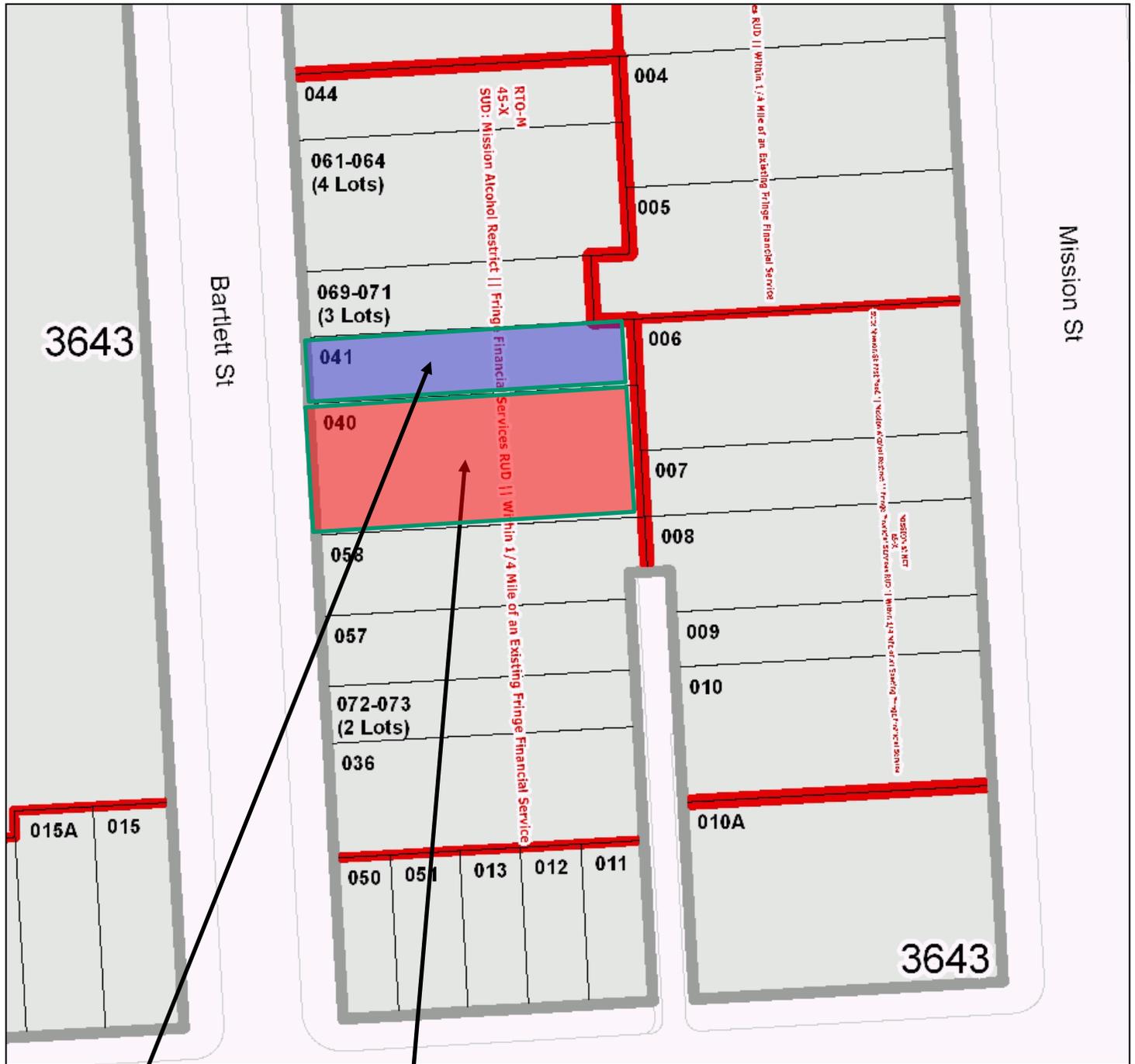
<b>RECOMMENDATION:</b> <b>Do not take DR and approve project as proposed</b>
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**Attachments:**

- Block Book Map
- Sanborn Map
- Zoning Map
- Height & Bulk Map
- Aerial Photographs
- DR Application signed dated September 9, 2013
- Response to DR Application signed dated October 28, 2013
- Letters in Support
- Photographs and Materials submitted by Building Permit Applicant
- Reduced Plans

*ESJ: G:\DOCUMENTS\Projects\DR\Bartlett 259A\DR - Abbreviated Analysis.doc*

# Parcel Map



DR REQUESTOR

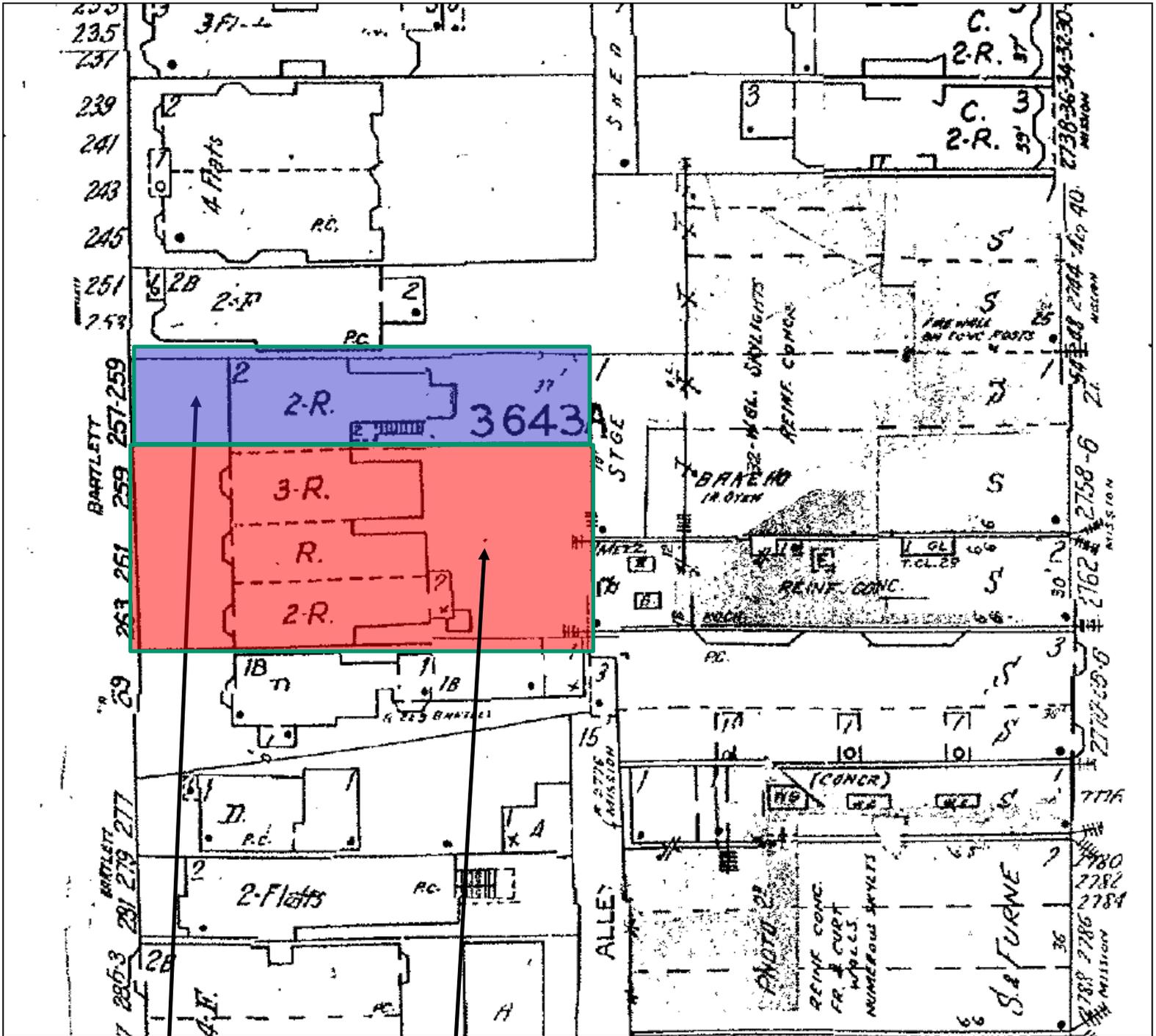
SUBJECT PROPERTY



Discretionary Review Hearing  
 Case Number 2013.1286D  
 259A Bartlett Street  
 3643 / 040

# Sanborn Map\*

\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



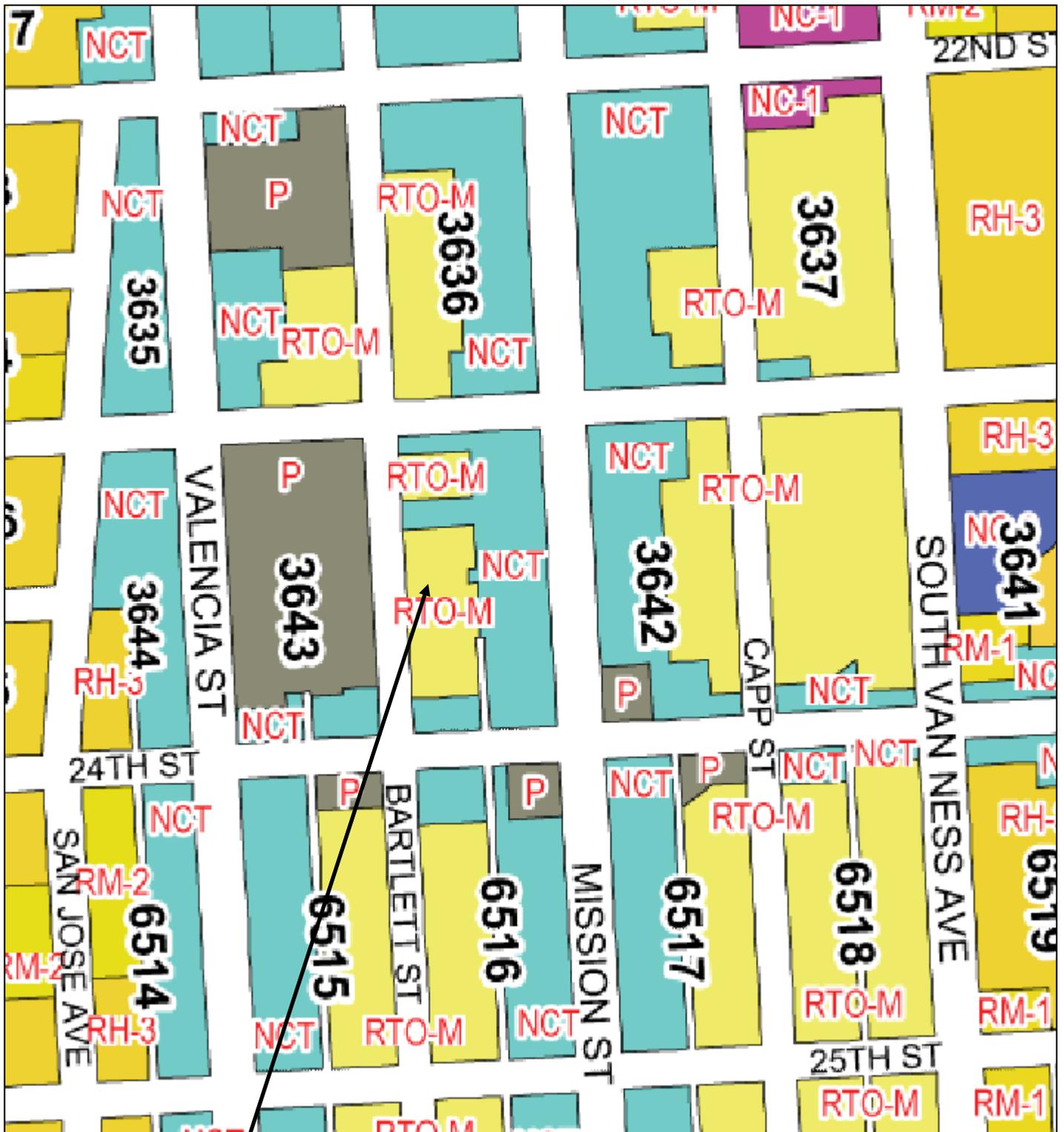
DR REQUESTOR

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2013.1286D  
259A Bartlett Street  
3643 / 040

# Zoning Map

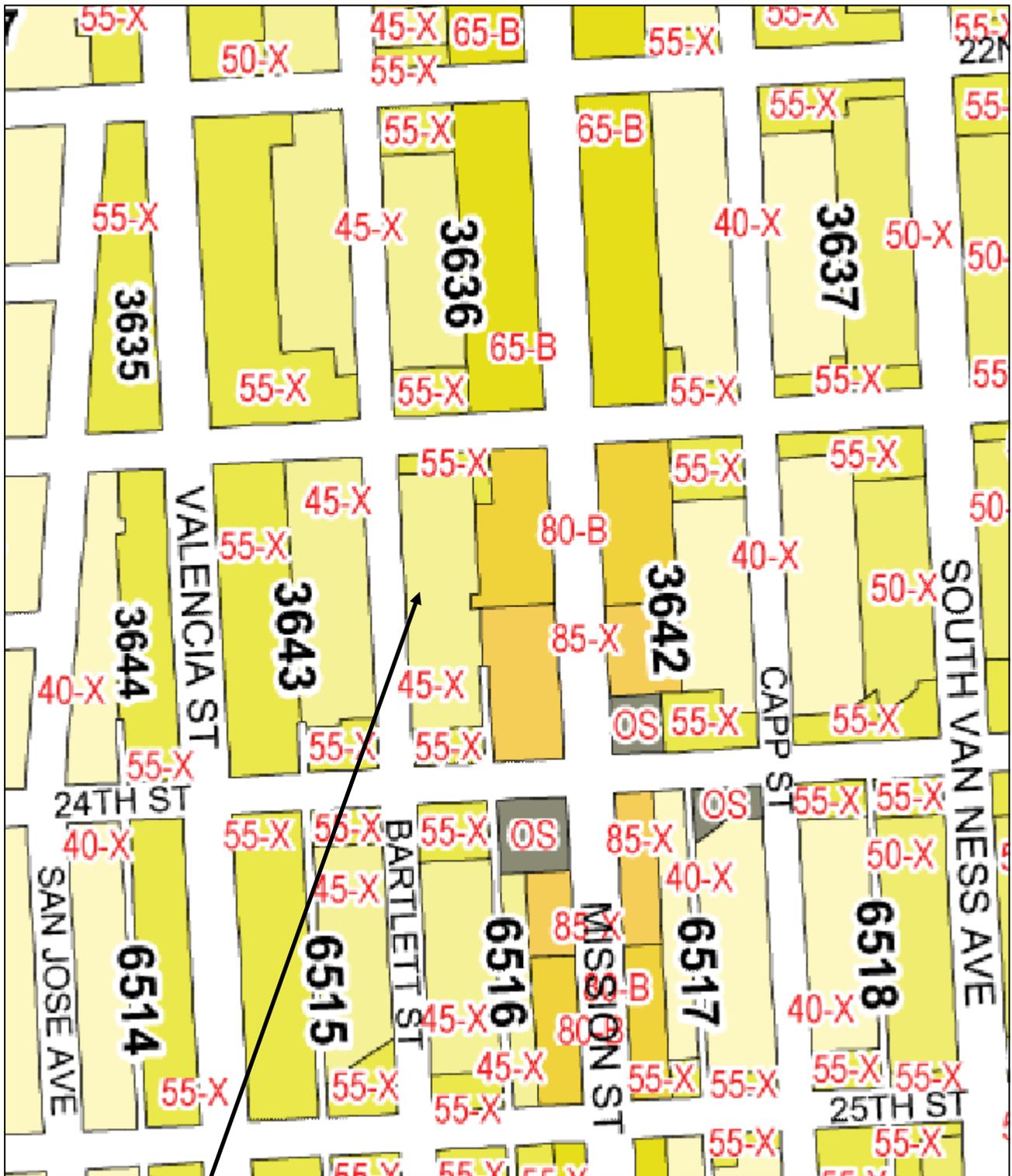


**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2013.1286D  
259A Bartlett Street  
3643 / 040

# Height & Bulk Map



**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2013.1286D  
259A Bartlett Street  
3643 / 040

# Aerial Photograph

## Rear View - Looking West



**SUBJECT PROPERTY**

**DR REQUESTOR**



Discretionary Review Hearing  
Case Number 2013.1286D  
259A Bartlett Street  
3643 / 040

# Aerial Photograph

## Front View - Looking East



# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: <b>SEAN FLANAGAN</b>		
DR APPLICANT'S ADDRESS: <b>255 BARTLETT ST.</b>	ZIP CODE: <b>94110</b>	TELEPHONE: <b>415 425-0610</b>
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS: <b>SEANSPOT@PACBELL.NET</b>		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: <b>259 A BARTLETT</b>		ZIP CODE: <b>94110</b>
CROSS STREETS: <b>24TH AND 23RD STREETS</b>		
ASSESSORS BLOCK/LOT: <b>3643/40</b>	LOT DIMENSIONS: <b>50'X125'</b>	LOT AREA (SQ FT): <b>6246 #</b>
ZONING DISTRICT: <b>RTO-MISSION</b>		HEIGHT/BULK DISTRICT: <b>45-X</b>

## 3. Project Description

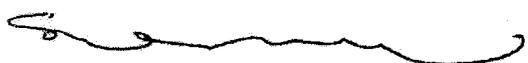
Please check all that apply  
 Change of Use  Change of Hours  New Construction  Alterations  Demolition  Other

Additions to Building: Rear  Front  Height  Side Yard

Present or Previous Use: **RESIDENTIAL w/ DECK IN REAR**

Proposed Use: **ENLARGE DECK @ SIDE YARD**

Building Permit Application No. **2012/12/07/5749** Date Filed: **DEC 7, 2012**

  
 SEAN FLANAGAN 9-9-13

**RECEIVED**  
 SEP 10 2013  
 CITY & COUNTY OF S.F.  
 PLANNING DEPARTMENT  
 P.C.

13.1286D

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

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SEAN FLANAGAN 9-9-13

# Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

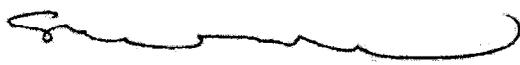
ROOF SPACE IN QUESTION IS DIRECTLY ADJACENT (A FEW FEET) TO PRIVATE SPACE AT 255 BARTLETT (SOLE BEDROOM WINDOW, KITCHEN WINDOW & BACK STAIR LANDING) AND USE AS A DECK WOULD BE AN INVASION OF PRIVACY, VIA SIGHT, SOUND AND POSSIBLE FUMES (IE. BBQ).

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

PRIVATE SPACE WOULD BE ELIMINATED IF THE SIDE OF ROOF WERE TO BE USED AS A DECK. THE ADJACENT UNITS ARE ALREADY CLOSE AND LACK <sup>MUCH</sup> PRIVACY - FURTHER EXPANSION OF ROOF TO A DECK WOULD GO TOO FAR. (SEE ABOVE SPECIFICS)

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

NONE - EXTENDING THE ROOF TO SERVE AS A DECK DIRECTLY IMPACTS NEIGHBORING PRIVATE AREAS.

  
 SEAN FLANAGAN

9-9-13

13.1286D

### Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature:   
SEAN FLANAGAN

Date: 9-9-13

Print name, and indicate whether owner, or authorized agent:

PAT BUSANCI  
Owner /  Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

*Signed by applicant*

**NOTES:**

- Required Material.
- Optional Material.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

*[Signature]*  
 SEAN FLANAGAN 9-9-13

For Department Use Only

Application received by Planning Department:

By: *[Signature]*  
 SEAN FLANAGAN

Date: \_\_\_\_\_

D.R for:  
259A Bartlett

Current Residence  
259A Bartlett St.  
San Francisco, CA 94110

Current Residence  
2754 Mission St.  
San Francisco, CA 94110

Sean Flanagan  
255 Bartlett St.  
San Francisco, CA 94110

Current Residence  
2756 Mission St.  
San Francisco, Ca 94110

Current Residence  
257 Bartlett St.  
San Francisco, CA 94110

Joe Fong  
2762 Mission St.  
San Francisco, CA 94110

Current Residence  
261 Bartlett St.  
San Francisco, CA 94110

Current Residence  
2766 Mission St  
San Francisco, CA 94110

Current Residence  
263 Bartlett St.  
San Francisco, CA 94110

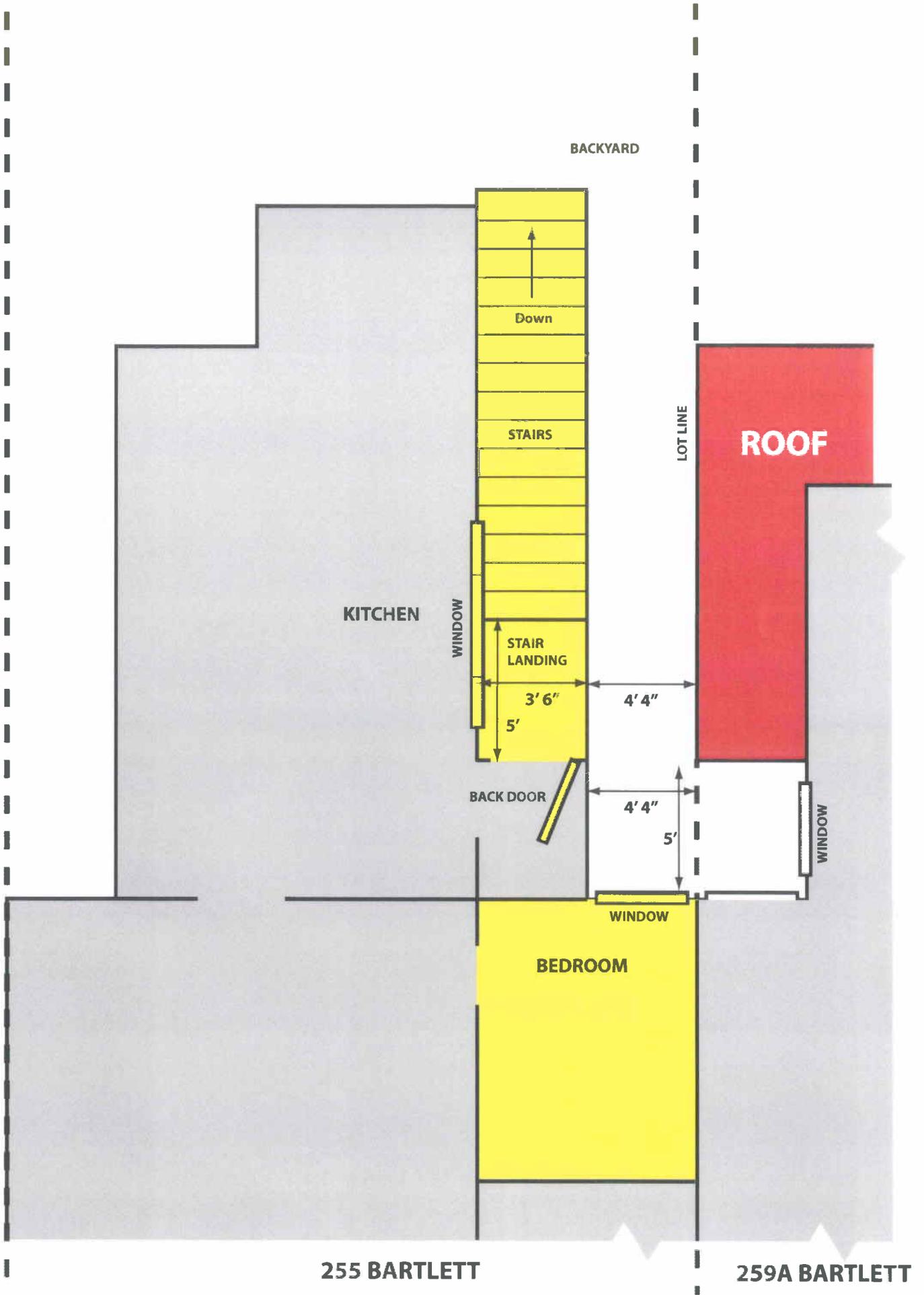
Current Residence  
2768 Mission St.  
San Francisco, CA 94110

Janet Adams  
269 Bartlett St.  
San Francisco, CA 94110

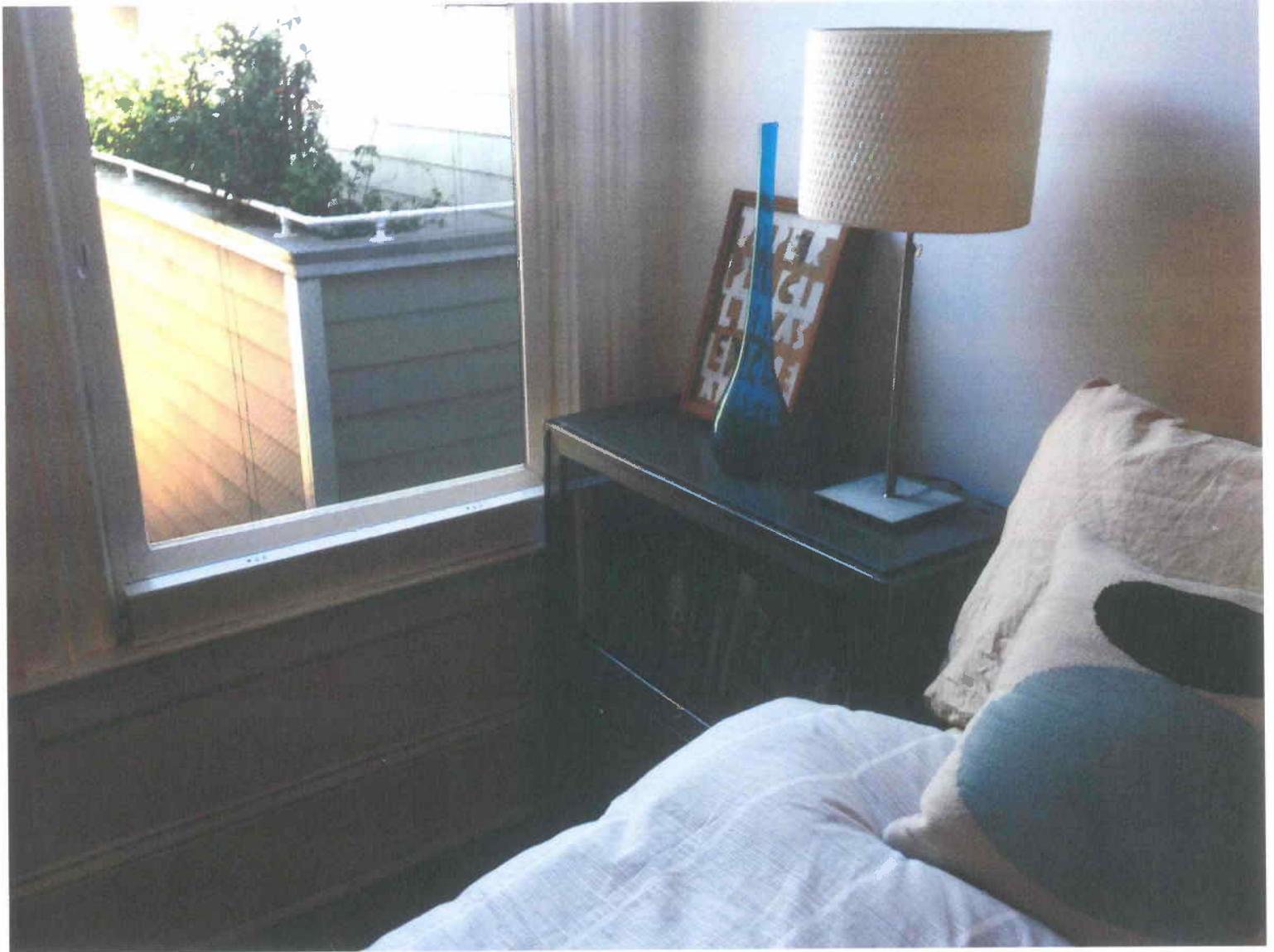
Current Residence  
2748 Mission St.  
San Francisco, CA 94110

Current Residence  
2750 Mission St.  
San Francisco, CA 94110

Current Residence  
2752 Mission St.  
San Francisco, CA 94110



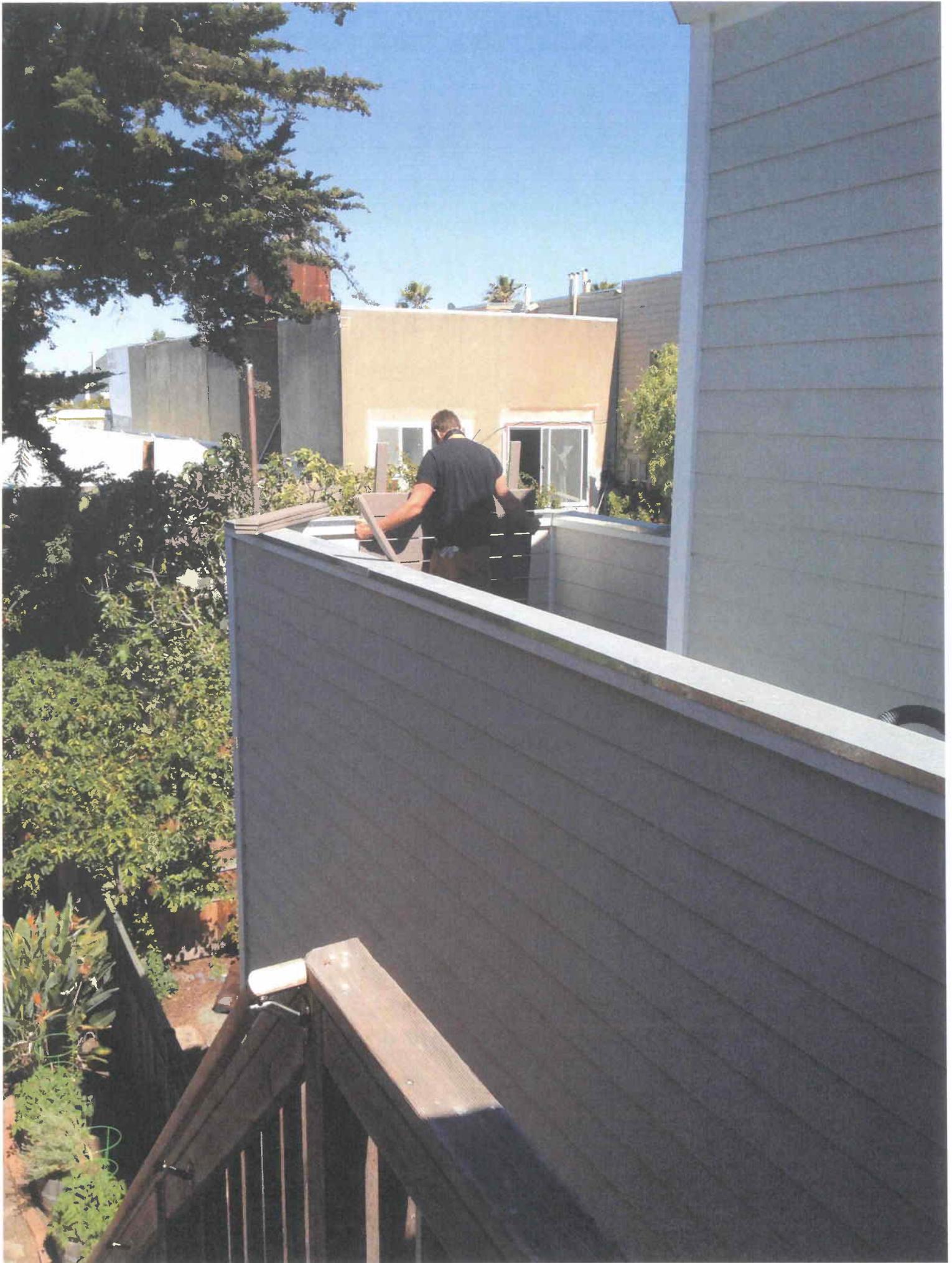
VIEW & PROXIMITY FROM  
255 BARTLETT BEDROOM  
WINDOW

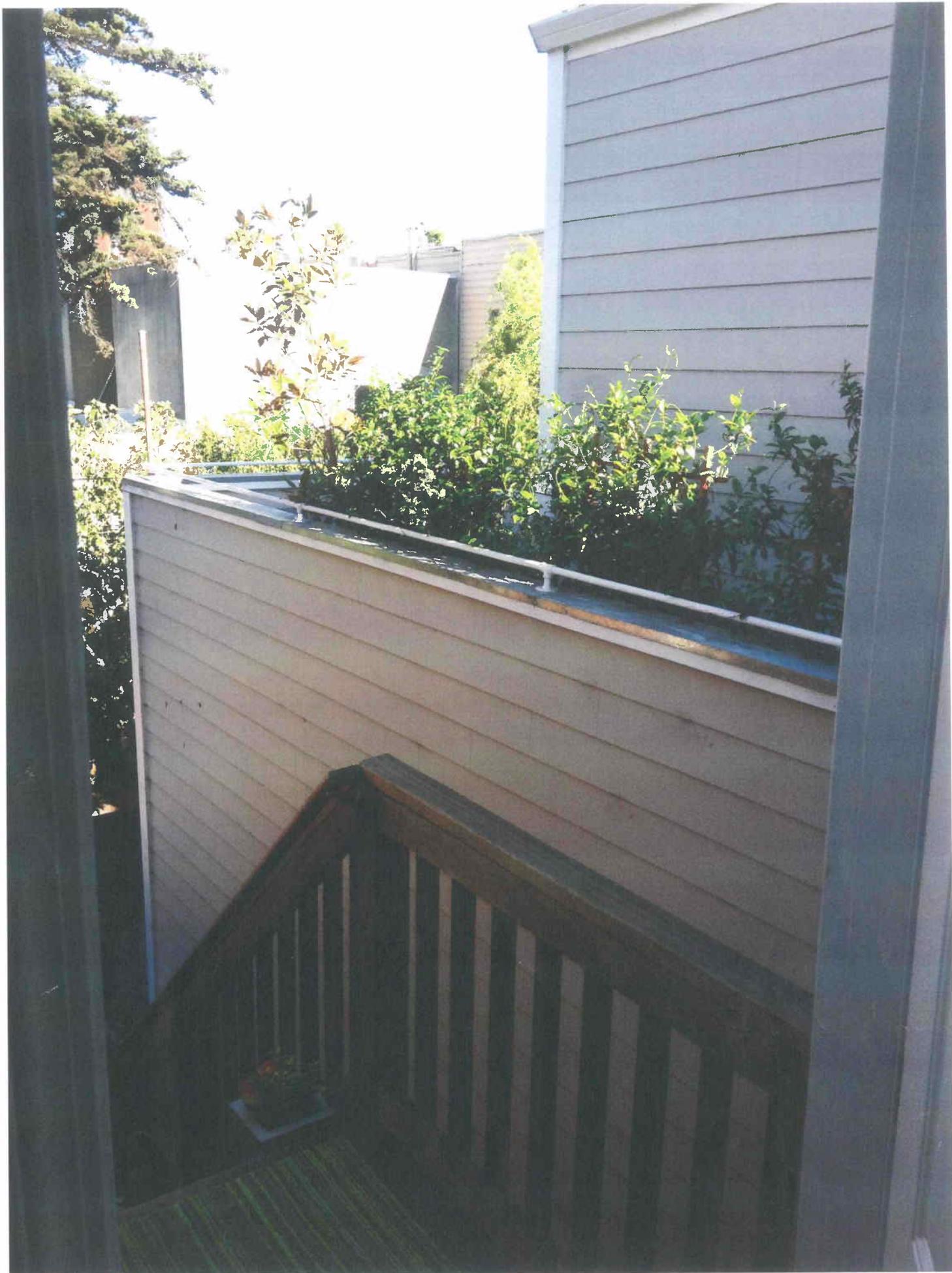




KITCHEN

VIEW & PROXIMITY FROM 255 BARTLETT STAIRS/DOOR.





BACK STAIRS



# SAN FRANCISCO PLANNING DEPARTMENT

## RESPONSE TO DISCRETIONARY REVIEW

Case No.: 13.128 6D  
 Building Permit No.: 201212075749  
 Address: 259A BARLETT ST.

1650 Mission St.  
 Suite 400  
 San Francisco,  
 CA 94103-2479

Reception:  
 415.558.6378

Fax:  
 415.558.6409

Project Sponsor's Name: \_\_\_\_\_

Telephone No.: (415) 505-5256 (for Planning Department to contact)

Planning  
 Information:  
 415.558.6377

- Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.

THE PARAPET WALLS & ROOF SURFACE HAVE ALREADY  
DESIGNED THE SPACE. WE ARE NOT MAKING ANY MAJOR  
CHANGES. THE DECK WOULD BE A GREAT SPACE TO ENJOY  
THE OUTDOORS. IT WOULD BE A VISUAL IMPROVEMENT FOR  
THE BUILDING. ADDITIONALLY, OUR NEIGHBORS CAN ASSESS  
THAT WE ARE COURTEOUS & RESPECTFUL OF THE  
SURROUNDING RESIDENCES.

- What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

THE DECK ITSELF IS ONLY A SURFACE TREATMENT, SO  
IT CANNOT GREATLY HELP PRIVACY. HOWEVER, WE  
KNOW SEAN HAS BEEN ANXIOUS, SO WE ADDED SASSY  
VINES THAT CREATE A VISUALLY PLEASING PRIVACY  
SCREEN (BETTER THAN LOOKING AT THE SIDE OF OUR HOUSE).  
THESE PLANTS ARE FRAGRANT, & COMBAT THE POLLO  
CAMERO GREASE SMELLS BEHIND OUR PROPERTIES.

- If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

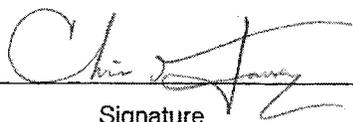
THE DECK INCREASES THE VISUAL APPEAL OF THE  
BUILDING & GIVES SOME MUCH-NEEDED OUTDOOR SPACE  
IN THE CITY. IT'S A RELAXING SPACE TO READ, HAVE  
A MEAL, & GROW SOME FLOWERS. IT ENCOURAGES  
HEALTHY LIVING, AND IS THE ONLY EXCLUSIVE OUTDOOR  
SPACE ENTITLED TO OUR UNIT WITHIN THE TIC. OUR  
APPROACH TO THIS DECK HAS CONSIDERED HOW WE  
CAN BE RESPECTFUL OF OUR SURROUNDING NEIGHBORS.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit –additional kitchens count as additional units) .....	_____	_____
Occupied stories (all levels with habitable rooms) ...	_____	_____
<hr/>		
Basement levels (may include garage or windowless storage rooms) .....	_____	_____
Parking spaces (Off-Street) .....	_____	_____
Bedrooms .....	_____	_____
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas....	_____	139.5 sq ft
Height .....	_____	42"
Building Depth .....	_____	_____
Most recent rent received (if any) .....	_____	_____
Projected rents after completion of project .....	_____	_____
Current value of property .....	_____	\$475,000
Projected value (sale price) after completion of project (if known) .....	_____	\$1000

I attest that the above information is true to the best of my knowledge.

  
 \_\_\_\_\_ 10/28/13 \_\_\_\_\_ CHRISTOPHER GARVEY  
 Signature Date Name (please print)

Dear Planning Committee,

My name is Casey Holtz, my wife and I are residents of the TIC with Scott Huckaby and Chris Garvey. Our address is 261 Bartlett St.

I support their plan to build a deck as long as it is built according the law and follows all rules and regulations.

Sincerely,

A handwritten signature in black ink, appearing to read 'Casey Holtz', written in a cursive style.

Casey Holtz

10/23/13

Chris Truxaw  
265 Bartlett St  
San Francisco, CA 94110

October 24, 2013

To Whom It May Concern:

I am the neighbor of 259A Bartlett (directly to the south, also on the second level in the same 6 unit building at block 3643, lot 040). I approve the use of the roof area as a deck for 259A. In my opinion, the deck in no way would negatively affect the value or atmosphere of the neighborhood.

Sincerely,

A handwritten signature in black ink, appearing to be 'Chris Truxaw', written in a cursive style.

Chris Truxaw

Diane Robbins  
267 Bartlett St.  
San Francisco, CA  
94110

October 26, 2013

To Whom it may concern:

Scott Huckaby and Chris Garvey are my neighbors, co-TIC owners and friends. I fully support them and their desire to build a habitable deck on their unit.

Please contact me if you have any questions.

Sincerely,  
Diane Robbins  
tel. 4155776063

October 22nd, 2013

To: San Francisco Planning Commission  
City Hall  
San Francisco, CA 94102

From: Steve Savage  
263 Bartlett St.  
San Francisco, CA 94110

RE: Proposed deck construction at 259-267 Bartlett St., San Francisco

I am a neighbor in this building, and I think it would be an asset to our building to have a deck on the northern edge. Chris and Scott have been great neighbors, and I am sure they will be responsible and considerate deck-owners.



Steve Savage

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October 21, 2013

To Whom It May Concern:

I am writing this letter in support of the deck installation proposed and planned by Chris Garvey and Scott Huckaby at 259A Bartlett Street. The deck will be installed above 259 Bartlett Street, which is the unit I occupy in our Tenancy in Common property. The proposed deck will not materially impact or disrupt the shared living spaces represented by the 259 – 267 HOA or my specific deeded space. If you have any questions regarding this letter, please contact me directly at 415-781-9393.

Jaime Perkins

*Jaime Perkins*

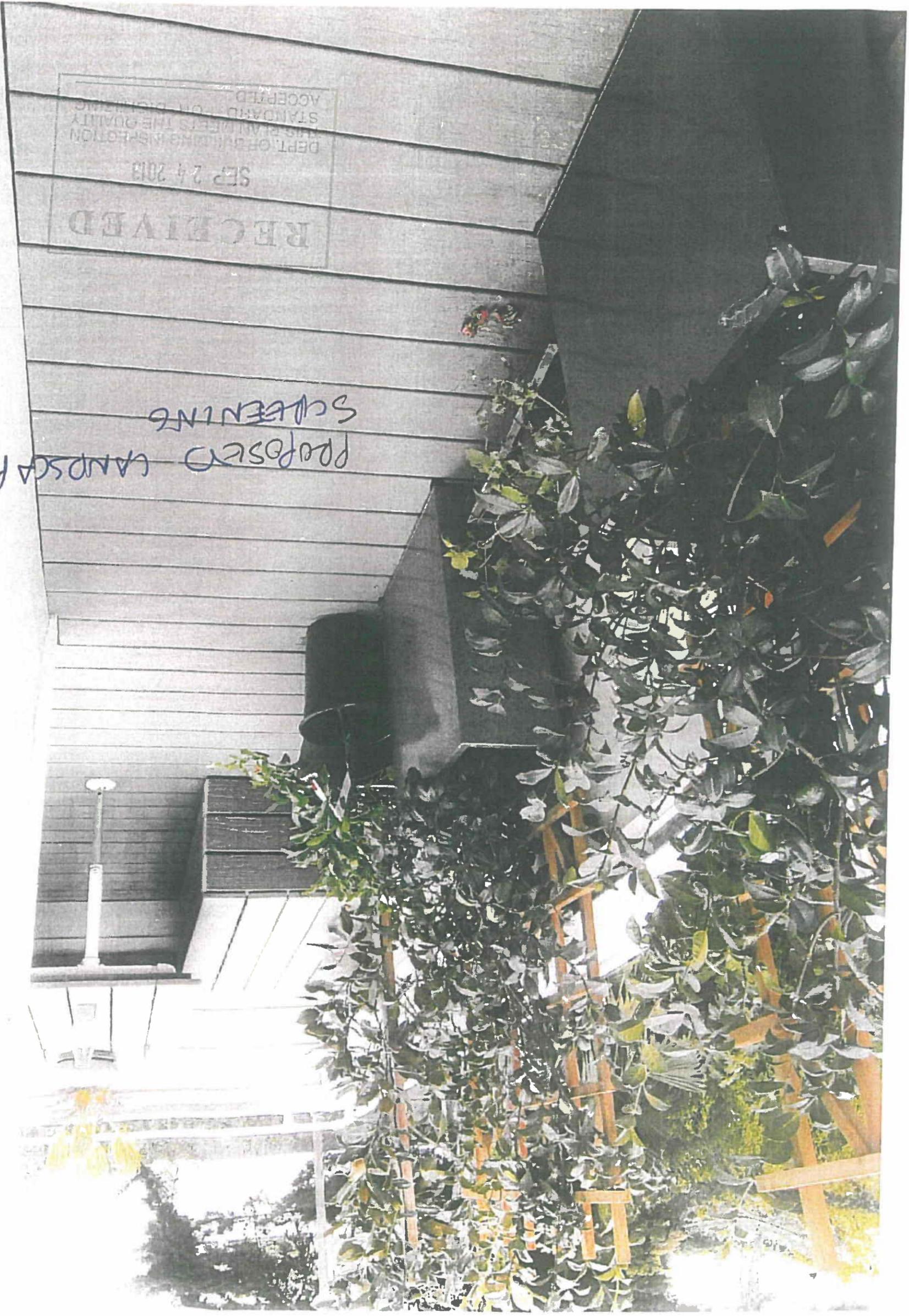
HOA President  
259 Bartlett Street  
San Francisco, CA  
94110

DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD OF DESIGNING  
ACCEPTED

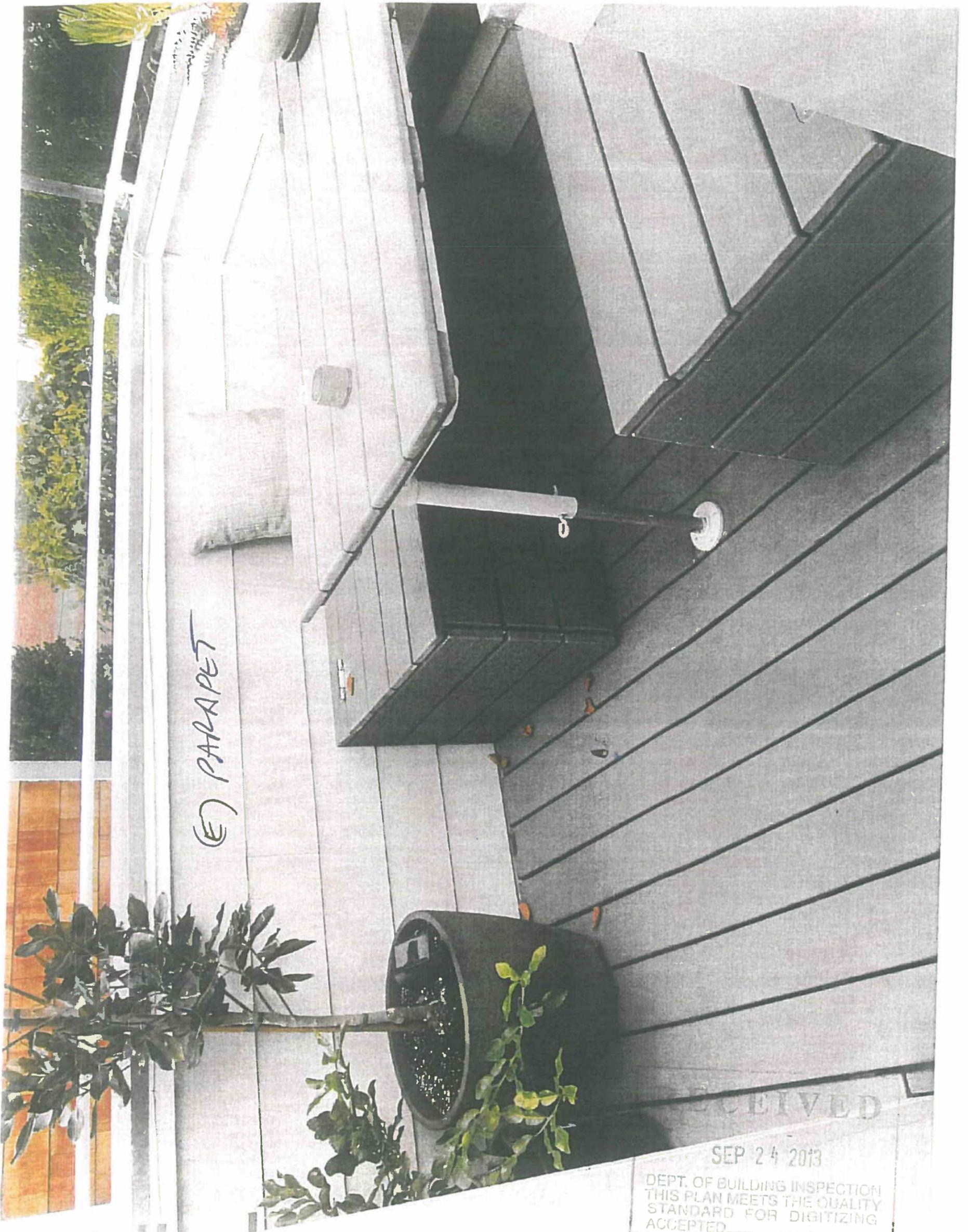
SEP 24 2013

RECEIVED

PROPOSED LANDSCAPE  
SCREENING







(E) PARAPET

RECEIVED  
SEP 24 2013  
DEPT. OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR DIGITIZING  
ACCEPTED

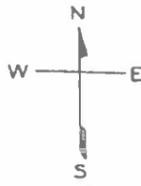
# ASSESSOR-RECORDER'S OFFICE

# 3643

MISSION BLK. 155

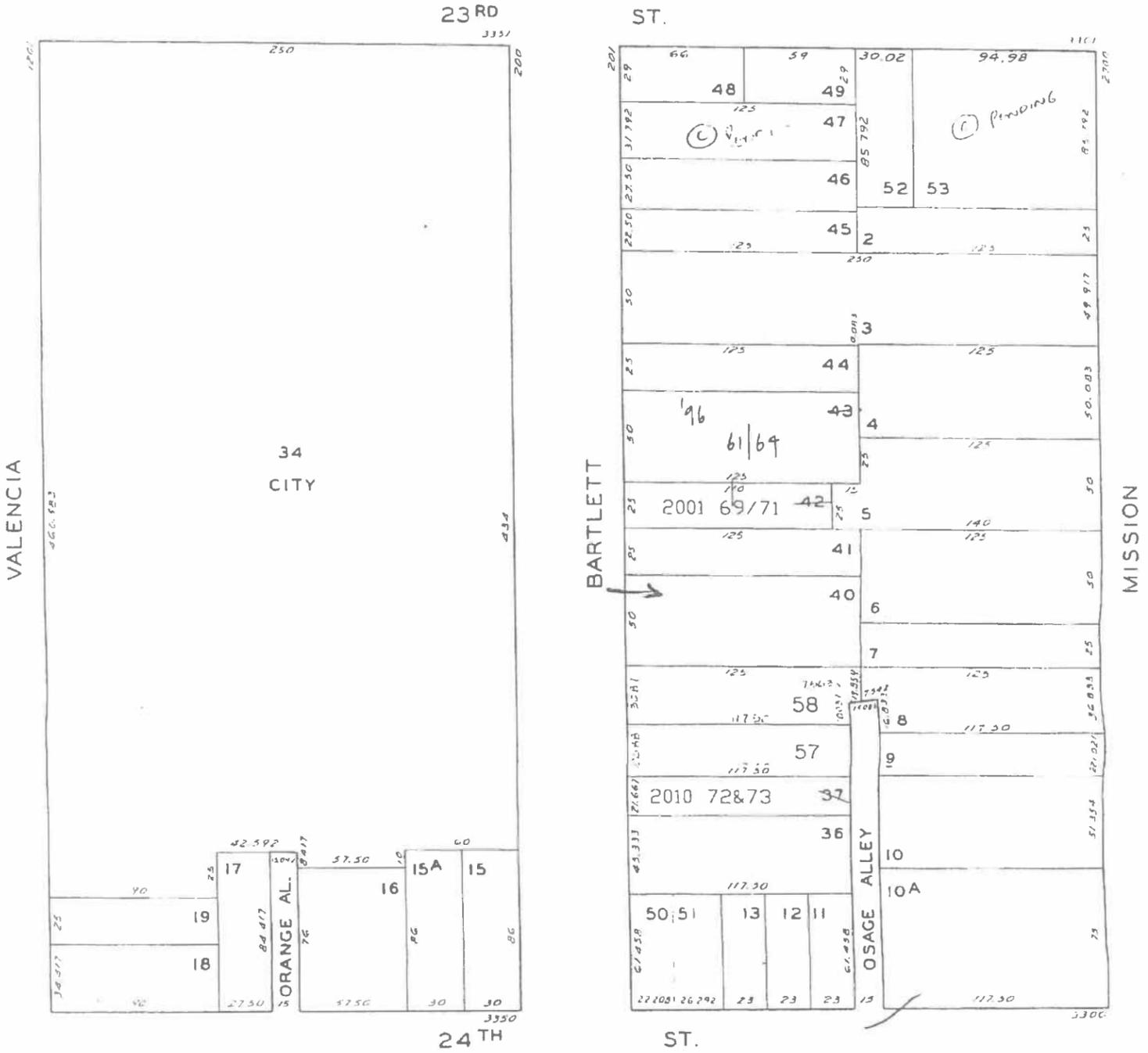
LOTS MERGED  
 20/33 20/34 19/35  
 35 34 34

lot 42 into lots 69/71 for 2001 roll  
 lot 37 into lots 72&73 for 2010 roll



REVISED '59  
 " '79  
 " '88  
 " '96  
 Revised 2001  
 Revised 2010

© COPYRIGHT SAN FRANCISCO  
 CITY & COUNTY ASSESSOR 1995



251 BARTLETT ST.  
 A CONDOMINIUM

LOT	UNIT	% COMM AREA
69	A	37.90
70	B	33.40
71	C	28.70

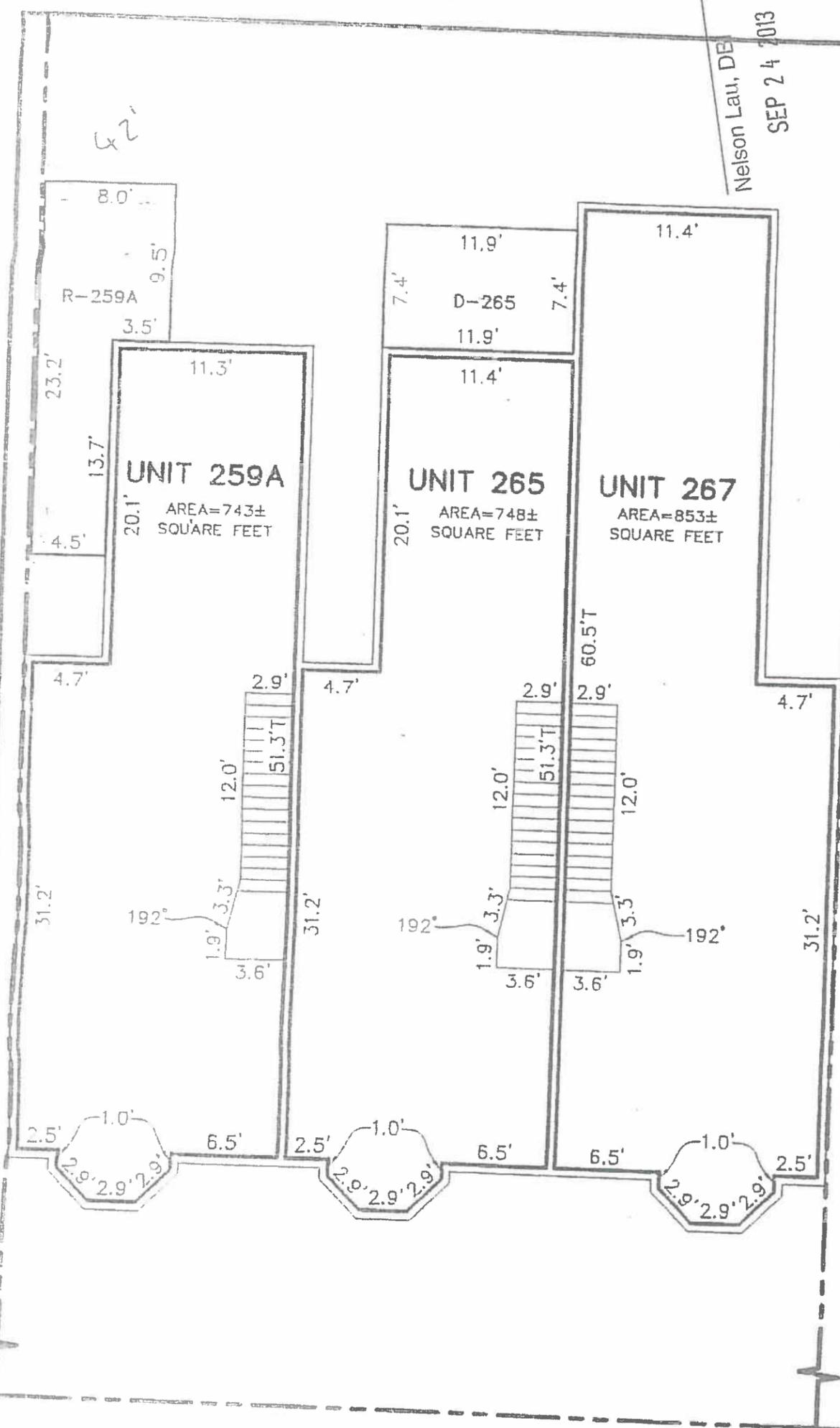
239-241-243-245 BARTLETT ST.  
 A CONDOMINIUM

LOT	UNIT	% COMM AREA
61	239	29.92
62	241	22.04
63	243	24.02
64	245	24.02

Nelson Lau, DE  
SEP 24 2013

# UNIT DIAGRAMS

EXHIBIT 'A' TO THE  
TENANCY IN COMMON  
AGREEMENT OF  
259, 259A, 261, 263, 265,  
AND 267 BARTLETT STREET  
SAN FRANCISCO, CALIFORNIA  
DECEMBER 2009



**APPROVED**  
Dept. of Building Insp.

SEP 26 2013

Tom C. Hui  
TOM C. HUI, S.E.  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION

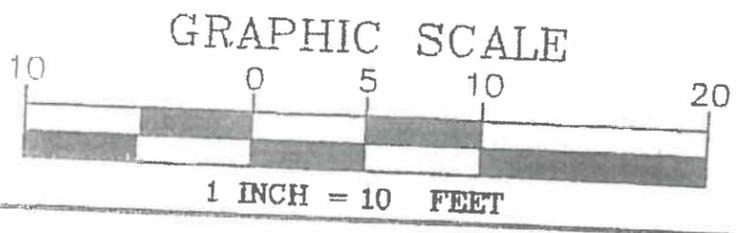
## LEVEL THREE

U.E.=95.5  
L.E.=85.5

T=TOTAL DISTANCE  
L.E.=LOWER ELEVATION  
U.E.=UPPER ELEVATION

RECEIVED  
SEP 24 2013  
DEPT. OF BUILDING INSPECTION  
FIRST AID DISTRICT  
STATION 400 FOR DISTRICT  
C-2013

BARTLETT STREET



LANGFORD LAND SURVEYING  
424 PRESTON COURT  
LIVERMORE, CA 94551  
PHONE (510) 530-5200  
JOB#08-2693 DRAWING-2693BART.DWG

SHEET  
5 OF 5

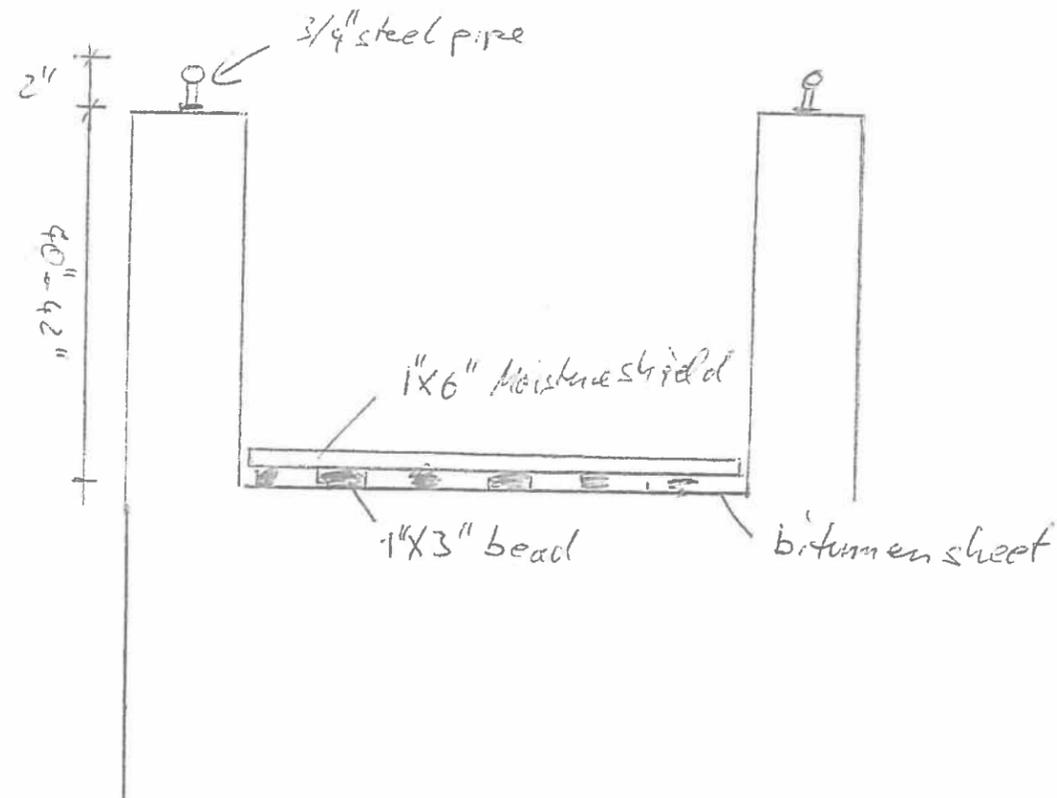
259A Bartlett St

Scope of Work:

Convert existing second floor roof area within existing parapet wall into deck to comply with NOV 201264401.

Cover existing roof surface (bituminous sheeting) with 1'x6' composite decking material (product "MoistureShield").

Extend existing 40" parapet wall by 2" non-combustible, galvanized steel pipe.



**1 GENERAL NOTES**

1. All construction shall conform with International Building Code and California Building Code 2014, Editions.
2. Contractor shall verify all dimensions at job site before commencing work, and shall report any discrepancies to the architect or engineer.
3. Discrepancy or conflict between various elements of the drawings, notes and details shall be brought to the attention of the architect or engineer and resolved before proceeding with the work.
4. Do not use scale dimensions, use written dimensions or where no dimensions are provided, consult the architect or engineer for clarification before proceeding with the work.
5. Details shown shall be incorporated into the project at all appropriate locations unless specifically called out or not.
6. See drawings rather than structural for resolution with related work (foundry architectural details, mechanical, plumbing, etc.).
7. Holes and openings through walls and floors for ducts, pipes and vent lines shall be checked by the contractor, who shall verify sizes and locations for such holes or openings with the plumbing, heating, ventilation and electrical drawings.
8. No pipes and ducts shall be placed in slab or walls unless specifically detailed or approved by architect or engineer.
9. Any plumbing, drainage or vent pipe cut through stud wall shall be 2x6 stud walls or two 2x4 walls with plywood shear panel on non-plumbing wall.
10. Drawings and specifications represent finished structure. Contractor and subcontractor shall be responsible for means and methods of construction including but not limited to shoring and temporary bracing.
11. The contractor and subcontractor shall undertake all necessary measures to ensure safety of all persons and structures at the site and adjacent to the site.
12. Observation visits to the job by architect or engineer shall not relieve the contractor or subcontractor of such responsibility.
13. Contractor to verify plane height & grade depths in area of remodel addition.
14. All hold-downs, anchor bolts and straps must be used in place prior to foundation excavation.
15. Structural observations will be performed when required by the building official.
16. Decking to be installed under all non-bearing walls.
17. Remove all drywall prior to ledger installation.
18. (1) 1/2" dia x 6" long 304 SS screws in equivalent to (1) 1/2" dia x 6" long lag.
19. All all beams and header supports use (2) 2x post L.N.G.
20. Common T/C may be required at all beam span connections L.N.G.
21. All exposed lumber to be primed or kiln-dried.
22. Nothing requirements shown in general details do not apply to existing framing conditions. All new repairs framing shall be made per details. See plan for new and existing framing locations.
23. All (N) and hardware shall be hot dipped zinc coated galvanized steel.

**SPECIAL INSPECTION**

X Spread Impregnated NUT BRACKET/CONCRETE.  
Reference: ASTM A615, Grade 60, #4 and smaller, Grade 41

**STEEL**

1 Shaping and planing: ASTM A 108, Tables ASTM A 572, Grade 50  
2 Heat: ASTM A 36  
3 Washing: chemical: B-3  
C WOOD

Framing lumber: DFL: Headers, plates, joists (Span less 10 ft) No. 2, Studs, Btg., joists (Span larger 10 ft) No. 1  
Walls, studs, and ledgers in contact with concrete - Pressure Treated L.F., Plans and Beams No. 1  
Fywood sheathing: Structural 1/2" CDX, APA Rated 32-16, Floor 3/4" CDX, APA Rated 44-24  
Framing hardware and post bearings as manufactured by Simpson Strong-Tie Co., or approved equal. (Minimum end-bearing partition walls to system with STC clips)  
Common nails U.O.N. All nailing per CBC Table 1602.2.1

**ALL CONSTRUCTION SHALL COMPLY WITH:**

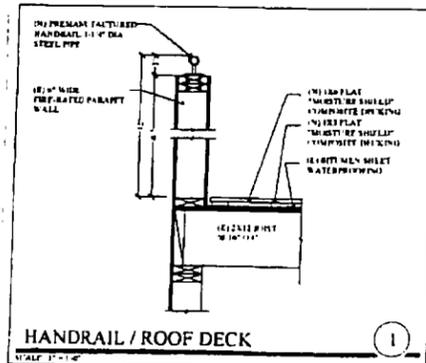
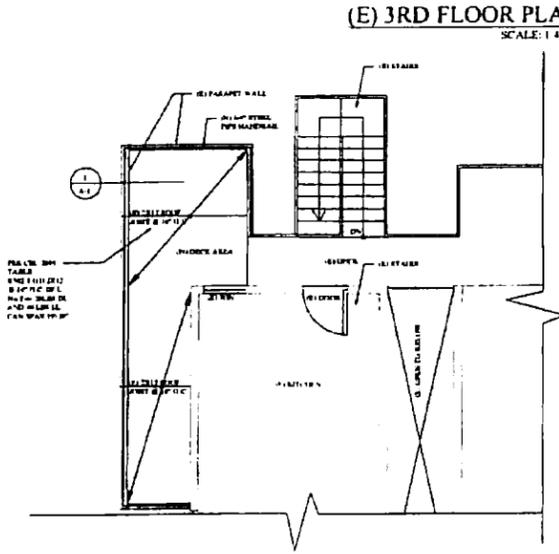
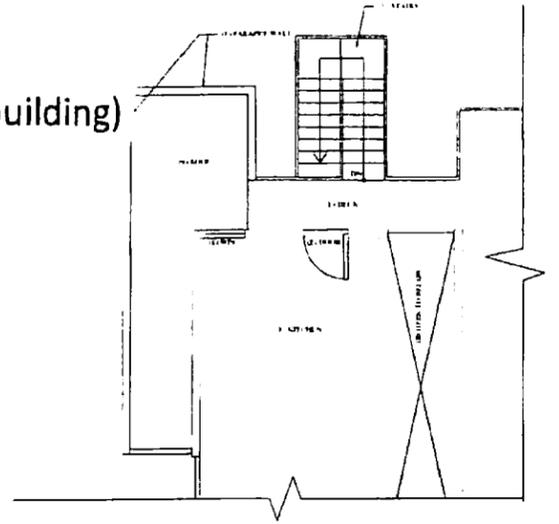
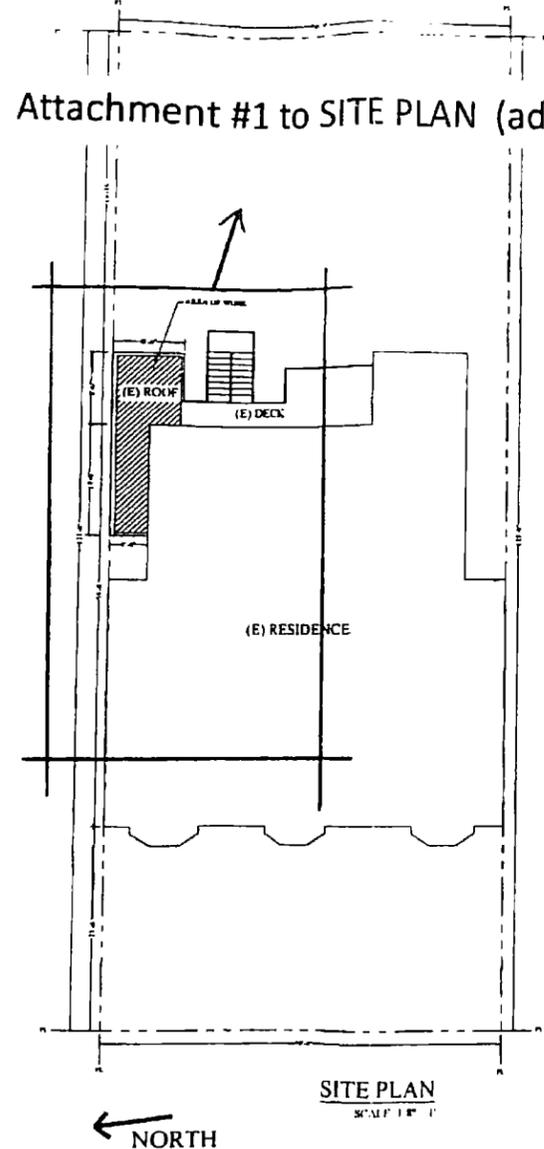
2010 CALIFORNIA BUILDING CODE  
2010 CALIFORNIA PLUMBING CODE  
2010 CALIFORNIA MECHANICAL CODE  
2010 CALIFORNIA ELECTRICAL CODE  
AND OTHER APPLICABLE SECTIONS OF THE LOCAL MUNICIPAL CODE.

**DESIGN DATA PER CBC 1603.1, 1603.1.4 & 1603.1.5. (DESIGN WITH ASCE 7)**

**OCCUPANCY CLASS:** II (TABLE 1-1)

**DECK LOADS:** DL = 20 PSF LL = 40 PSF

**Attachment #1 to SITE PLAN (adjacent building)**

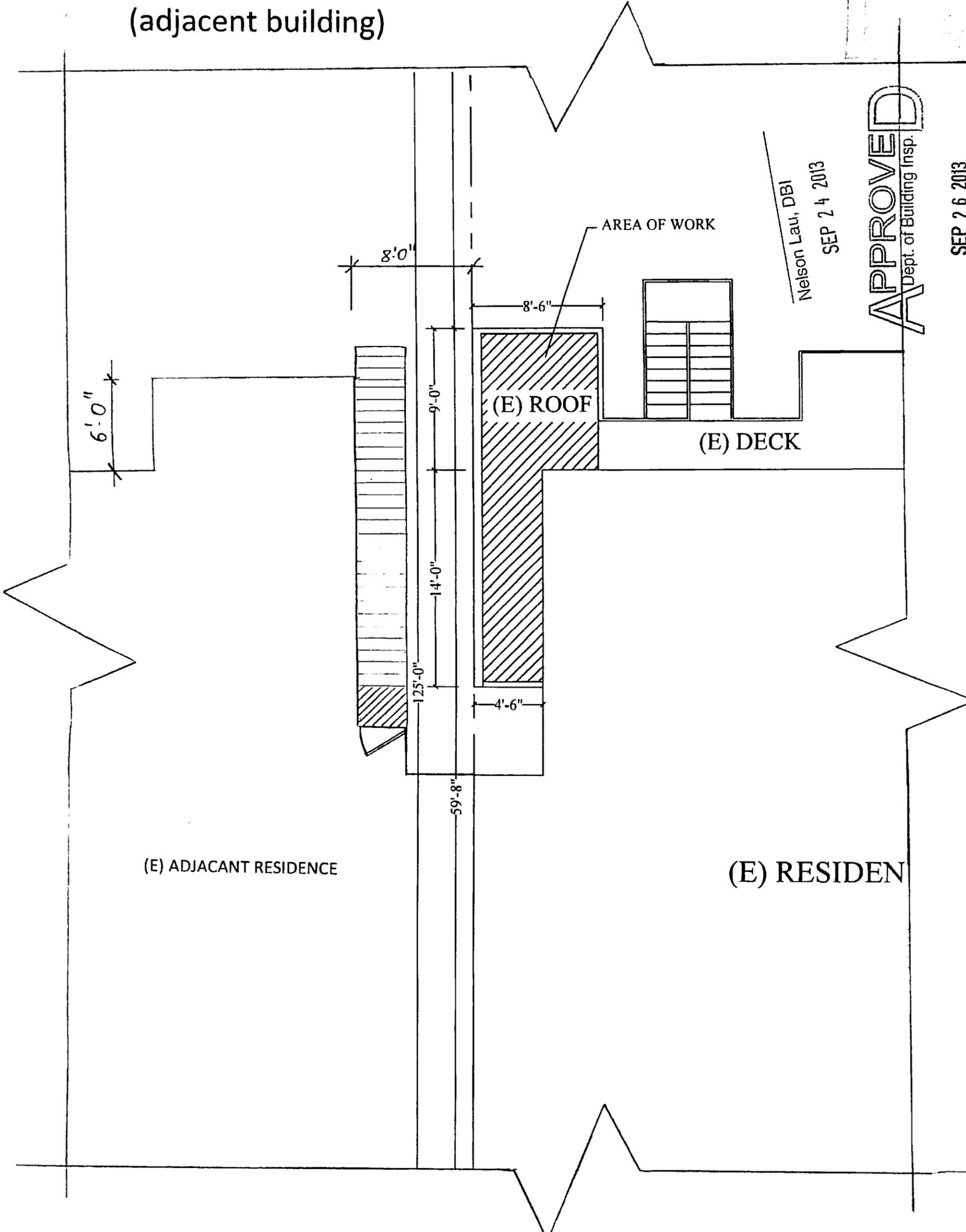
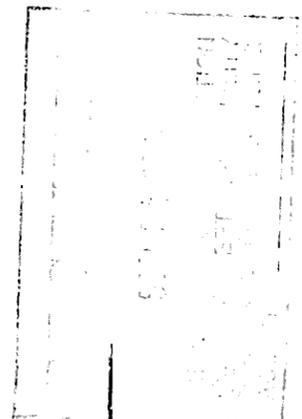


SCOPE OF WORK	
1.	CONVERT EXISTING SECOND FLOOR ROOM AREA WITHIN EXISTING PARAPET WALL INTO DECK.
2.	COVER EXISTING ROOM SLABCE (DITUMISEN SHEETING) WITH NEW COMPOSITE DECKING MATERIAL (PROUDENT - MOISTURE SHIELDED).
3.	ADD EXISTING 10\"/>

PROJECT DATA	
ADDRESS	39A BARTLETT STREET SAN FRANCISCO, CA
STORIES	3 STORIES
OCCUPANCY	RESIDENTIAL
TYPE	5
BLANK 3643	103-040

REVISIONS	
GERMAN & GREEN INC.	
528 NEVADA ST SAN FRANCISCO CA 94110	
PROJECT	
529-A BARTLETT ST.	
DECK REMODEL	
Date: DECEMBER 2012	
GENERAL NOTES (E) & PROP PLANS SITE PLAN	
A-1	

Attachment #1 to SITE PLAN, A-1, 259a Bartlett St  
(adjacent building)

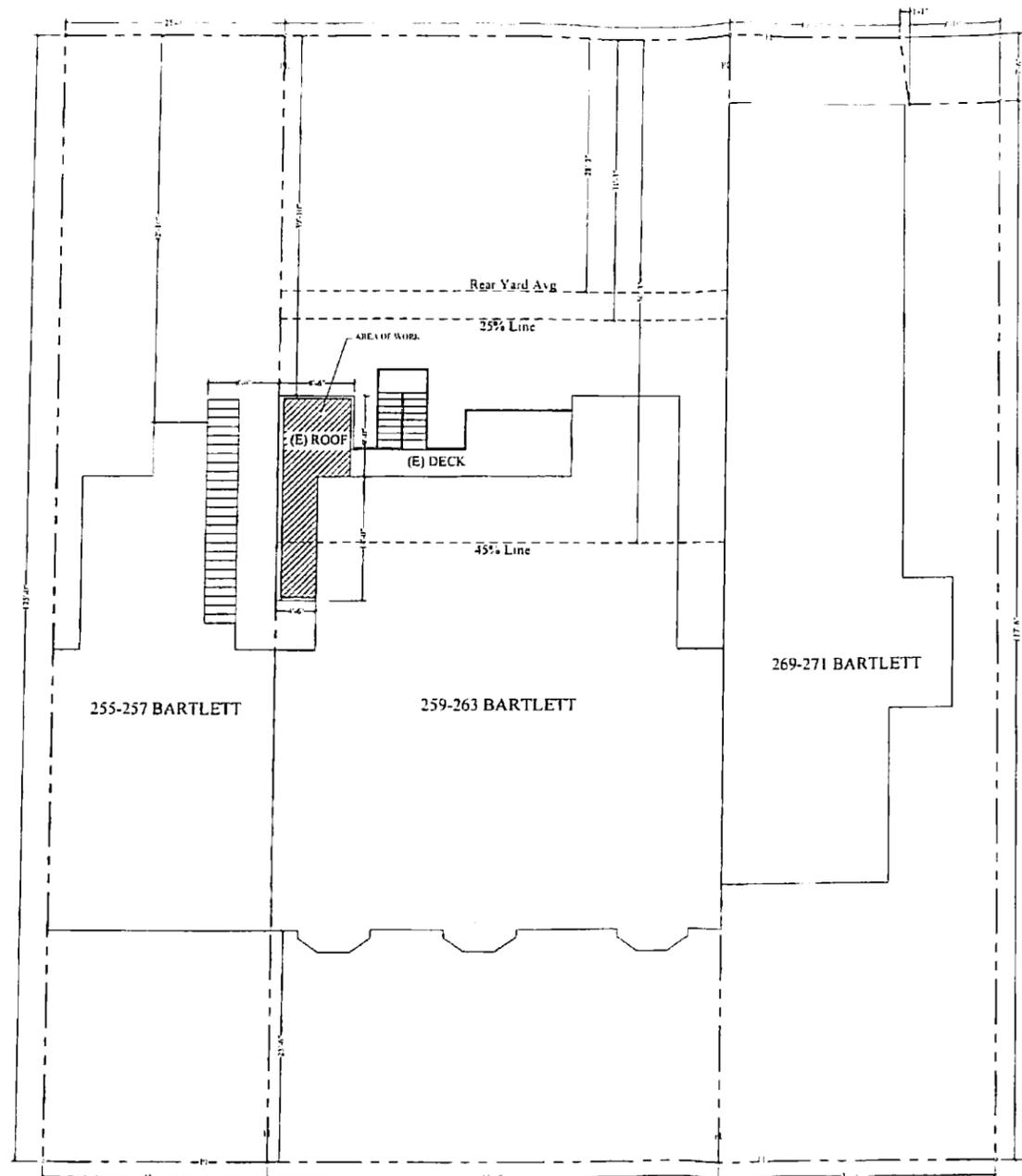


Nelson Lau, DBI  
SEP 24 2013

**APPROVED**  
Dept. of Building Insp.

SEP 26 2013

Tom C. Hui  
TOM C. HUI, S.E.  
ACTING DIRECTOR  
DEPT. OF BUILDING INSPECTION



SITE PLAN  
SCALE 1/8" = 1'

← NORTH

REV	SCHS
PROJECT	
259-A BARTLETT ST.	
DECK REMOVAL	
Date: SEPT 2013	
SITE PLAN	
S-2	