



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Residential Demolition/New Construction

HEARING DATE: MAY 22, 2014

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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Date: May 15, 2014
Case No.: 2013.1355D / 2014.0624D
Project Address: 3305 BRODERICK STREET
Zoning: RH-3 (Residential House, Three-Family)
 40-X Height and Bulk District
Block/Lot: 0926/008
Project Sponsor: Earle Weiss
 21 Corte Madera, Suite 4
 Mill Valley, CA 94102
Staff Contact: Christine Lamorena – (415) 575-9085
christine.lamorena@sfgov.org
Recommendation: **Do not take DR and approve demolition and new construction as proposed.**

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2013.1355D	New Building Case Number	2014.0624D
Recommendation	Do Not Take DR	Recommendation	Do Not Take DR
Demolition Application Number	2013.07.30.3155	New Building Application Number	2013.07.30.3152
Number Of Existing Units	1	Number Of New Units	2
Existing Parking	1	New Parking	2
Number Of Existing Bedrooms	2	Number Of New Bedrooms	6
Existing Building Area	±1,916 Sq. Ft.	New Building Area	±6,155 Sq. Ft.
Public DR Also Filed?	No	Public DR Also Filed?	No
311 Expiration Date	4/25/14	Date Time & Materials Fees Paid	N/A

PROJECT DESCRIPTION

The Project is to demolish an existing one-story over garage, single-family dwelling and construct a new three-story over garage, two-unit building.

SITE DESCRIPTION AND PRESENT USE

The property is located on the west side of Broderick Street between Bay and Francisco Streets. The subject lot measures 25 feet wide by approximately 94 feet deep containing approximately 2,400 square feet of lot area. The lot contains a one-story over garage, single-family residence constructed in 1932. The property is located within a RH-3 (Residential, House, Three-Family) Zoning District and 40-X Height and Bulk District in the Marina neighborhood.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The surrounding neighborhood consists of a mixture of two, three and four-story residential buildings. Corner buildings on the subject block and block facing the subject property contain 12-18 dwelling units while buildings in the middle of the block generally contain one to three dwelling units. Adjacent and directly south of the subject property at the corner of Broderick and Francisco Streets is a three-story over garage, 12-unit building. Adjacent and directly north of the subject property is a two-story over garage, two-unit building.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	April 28, 2014	April 28, 2014	24 days
Mailed Notice	10 days	April 28, 2014	April 28, 2014	24 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	1	1	
Other neighbors on the block or directly across the street			
Neighborhood groups			

The Department received one email and exchanged phone calls with Risa Meyer, an adjacent resident at 3321-3323 Broderick Street, in opposition to the project and one letter from Peter Dal Poggetto, the owner of 3321-3323 Broderick Street, in support of the project.

REPLACEMENT STRUCTURE

The replacement structure will provide two dwelling units with a two-car garage within a four-story building 40 feet in height. The ground floor will contain a two-car garage and two bedrooms and 2 baths for Unit 1, which are internally connected to a third bedroom, and additional 1.5 baths, kitchen and living/dining areas on the second floor. The third and fourth floors contain Unit 2, which includes three bedrooms, 3.5 baths, kitchen, and living/dining areas. A roof deck for Unit 2 is also proposed.

The project proposes a 23-foot rear yard which is the requirement for the subject property. The overall scale, design, and materials of the proposed replacement structure are compatible with the block face and are complementary to the residential neighborhood character. The materials for the front façade include stucco, wood, and limestone.

PUBLIC COMMENT

The Project has completed the Section 311 and Mandatory DR notification. Staff received one email and exchanged phone calls with Risa Meyer, an adjacent resident at 3321-3323 Broderick Street, in opposition to the project and one letter from Peter Dal Poggetto, the owner of 3321-3323 Broderick Street, in support of the project. No separate Discretionary Review was filed.

GENERAL PLAN COMPLIANCE

The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1:

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10:

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

While the project does not propose affordable units, it appropriately infills an underdeveloped lot with two units, a net gain of one unit to the City's housing stock. The project also provides family-sized housing for the City by proposing two three-bedroom units. The proposed residential units are within close proximity to neighborhood-serving uses along Chesnut and Lombard Streets, MUNI lines 28, 30, and 43.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Project complies with these policies as follows:

1. Existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The project would not remove any neighborhood-serving uses as the project is a residential use with a residential zoned district.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project's proposed scale, massing, and materials are consistent with the surrounding residential neighborhood and therefore, the project would not disrupt the existing neighborhood character.

3. That the City's supply of affordable housing be preserved and enhanced.

The project does not demolish any affordable housing units.

4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project proposes only the minimum amount of required parking. The proposed two-car garage and the size of the project should not impede MUNI service or overburden City streets.

5. A diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project would not affect industrial and service sectors as the project is located in a residential zoning district.

6. The City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project would be reviewed and constructed according to current Building Codes to address seismic safety issues.

7. Landmarks and historic buildings be preserved.

The subject property is not a historical resource or a landmark building.

8. Parks and open space and their access to sunlight and vistas be protected from development.

The project is proposed to be constructed within the 40-foot height limit and would not require a shadow study per Planning Code Section 295. The project is not located adjacent to any parks or open space.

ENVIRONMENTAL REVIEW

The Project was issued a Categorical Exemption, Classes 1 and 3 [State CEQA Guidelines Section 15301(l)(1) and 15303(b)] on December 24, 2013 per Case No. 2013.1355E.

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team found the scale and massing of the project to be appropriate in the context of the existing development, particularly in relation to both adjacent buildings. The depth of the project

and the setbacks at various levels at the rear of the project are proposed to address the adjacent building conditions and to preserve light and air access to the mid-block open space. The proposed exterior materials would not be disruptive to the neighborhood character.

Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves residential demolition.

BASIS FOR RECOMMENDATION

The Department recommends approval of the demolition of the existing one-story over garage, single-family dwelling and new construction of a three-story over garage, two-unit building. The Project is consistent with the Objectives and Policies of the General Plan and complies with the Residential Design Guidelines and Planning Code. The Project meets the criteria set forth in Section 101.1 of the Planning Code in that:

- The project would result in a net gain of one dwelling-unit.
- The project would create two family-sized dwelling-units, each with three bedrooms.
- Given the scale of the project, there would be no significant effect on the existing capacity of the local street system or MUNI.
- The RH-3 Zoning District allows a maximum of three dwelling-units on this lot. This district is intended to accommodate a greater density than what currently exists on this underutilized lot, and several of the surrounding properties reflect this ability to accommodate the maximum density. The project is therefore an appropriate in-fill development.
- Although the structure proposed for demolition is more than 50 years old, a review of the Historic Resource Evaluation resulted in a determination that the existing building is not an historic resource or landmark.

RECOMMENDATION:

Case No. 2013.1355D – Do not take DR and approve the demolition.

Case No. 2014.0624D – Do not take DR and approve the new construction as proposed.

DEMOLITION CRITERIA - ADMINISTRATIVE REVIEW

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Project Meets Criteria

The Project Sponsor submitted a closing sales statement that indicated the property value at \$1,550,000, which is above 80% of the median single-family home prices in San Francisco (\$1,506,000). As such, the property is considered relatively unaffordable and financially inaccessible housing for the purposes of this report and Planning Code Section 317.

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings);

Project Does Not Meet Criteria

The Project Sponsor does not claim that the property is unsound.

DEMOLITION CRITERIA

Existing Value and Soundness

3. Whether the property is free of a history of serious, continuing code violations;

Project Meets Criteria

A review of the databases for the Department of Building Inspection and the Planning Department did not show any enforcement cases or notices of violation.

4. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project Meets Criteria

The housing is free of Housing Code violations and appears to have been maintained in a decent, safe, and sanitary condition.

5. Whether the property is a "historical resource" under CEQA;

Project Does Not Meet Criteria

Although the structure is more than 50-years old, a review of the Historic Resource Evaluation resulted in a determination that it is not an historic resource for the purposes of CEQA.

Rental Protection

6. Whether the Project converts rental housing to other forms of tenure or occupancy;

Criteria Not Applicable to Project

The existing unit is currently vacant and thus not rental housing.

7. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

Project Does Not Meet Criteria

Although the single-family dwelling remains vacant under the current property owner, the units would be subject to the Rent Stabilization and Arbitration Ordinance due to the age of the building (constructed before June 13, 1979).

Priority Policies

8. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project Does Not Meet Criteria

The project does not meet this criterion because it proposes demolition of the existing building. Nonetheless, the project results in a net gain of housing, and thus increases the quantity of housing. Two family-sized units will replace the single-family dwelling that contains two bedrooms. The creation of these two family-sized units would preserve and enhance the cultural and economic diversity within the neighborhood.

9. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project Meets Criteria

The project would conserve the neighborhood character by creating a building that is compatible with regard to materials, massing, and window pattern with the dwellings in the surrounding neighborhood. By creating a compatible building that increases the density by one unit in a neighborhood defined by multi-unit buildings, the neighborhood's cultural and economic diversity would be preserved.

10. Whether the Project protects the relative affordability of existing housing;

Project Meets Criteria

The existing dwelling proposed for demolition is above the 80% average price of a single-family home and thus not considered "relatively affordable and financially accessible" housing and the dwelling is not defined as an "affordable dwelling-unit" by the Mayor's Office of Housing. By creating two new dwelling-units where one dwelling exists, the relative affordability of existing housing is being preserved because the land costs associated with the housing are spread out over two dwellings rather than one. The reduction in land costs per unit reduces the overall cost of housing.

11. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Project Does Not Meet Criteria

The project does not include any permanently affordable units, as the construction of two units does not trigger Section 415 review.

Replacement Structure

12. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;

Project Meets Criteria

The project replaces one single-family dwelling with two dwelling-units in a neighborhood characterized by two to four-story buildings containing a mix of one to 18 dwelling units.

13. Whether the Project increases the number of family-sized units on-site?

Project Meets Criteria

The project would create two family-sized units – each with three bedrooms. The floor plans reflect new quality, family housing.

14. Whether the Project creates new supportive housing;

Project Does Not Meet Criteria

The project is not specifically designed to accommodate any particular Special Population Group as defined in the Housing Element.

15. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;

Project Meets Criteria

The project is in scale with the surrounding neighborhood and would be constructed with high-quality materials.

16. Whether the Project increases the number of on-site dwelling units;

Project Meets Criteria

The project increases the number of dwelling units on the site from one to two.

17. Whether the Project increases the number of on-site bedrooms.

Project Meets Criteria

The Project increases the number of bedrooms on the site from two to six.

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The surrounding neighborhood consists of a mixture of two, three, and four-story buildings, containing one to 18 residential units. The residential neighborhood contains dwellings of varying heights and depths.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: The replacement building respects the existing block pattern by reducing the building depth and not intruding into the established mid-block open space. The adjacent property to the south is a corner building and partially located at the rear of the lot. The proposed building respects this existing noncomplying building as well as the adjacent building to the north by stepping its massing at the rear, allowing light and air to access through the noncomplying building's side windows.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The replacement building is compatible with the established building scale at the street, as it creates a stronger street wall on a block with many four-story buildings. The height and depth of the building are compatible with the existing mid-block open space. The building's form, façade width, proportions, and roofline are compatible with the mixed neighborhood context.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?	X		
Are the parapets compatible with the overall building proportions and other building elements?	X		

Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The location of the entrance is consistent with the predominant pattern of ground floor entrances found on Broderick Street. The length and type of the rectangular bay windows on the front façade are compatible with the style of bay windows found throughout the neighborhood. The garage door is recessed from the front façade and limited to a width of 10 feet. The rooftop parapets are standard in size and compatible with the parapets found on other flat-roofed buildings in the neighborhood.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

Comments: The placement and scale of the architectural details are compatible with the mixed residential character of this neighborhood. The windows are residential in character and compatible with the window patterns found on neighboring buildings. Although designed in a contemporary style, the limestone, stucco wall finish and wood siding are compatible with the existing buildings in the neighborhood.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 – 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X
Are the character-defining features of the historic building maintained?			X

Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X

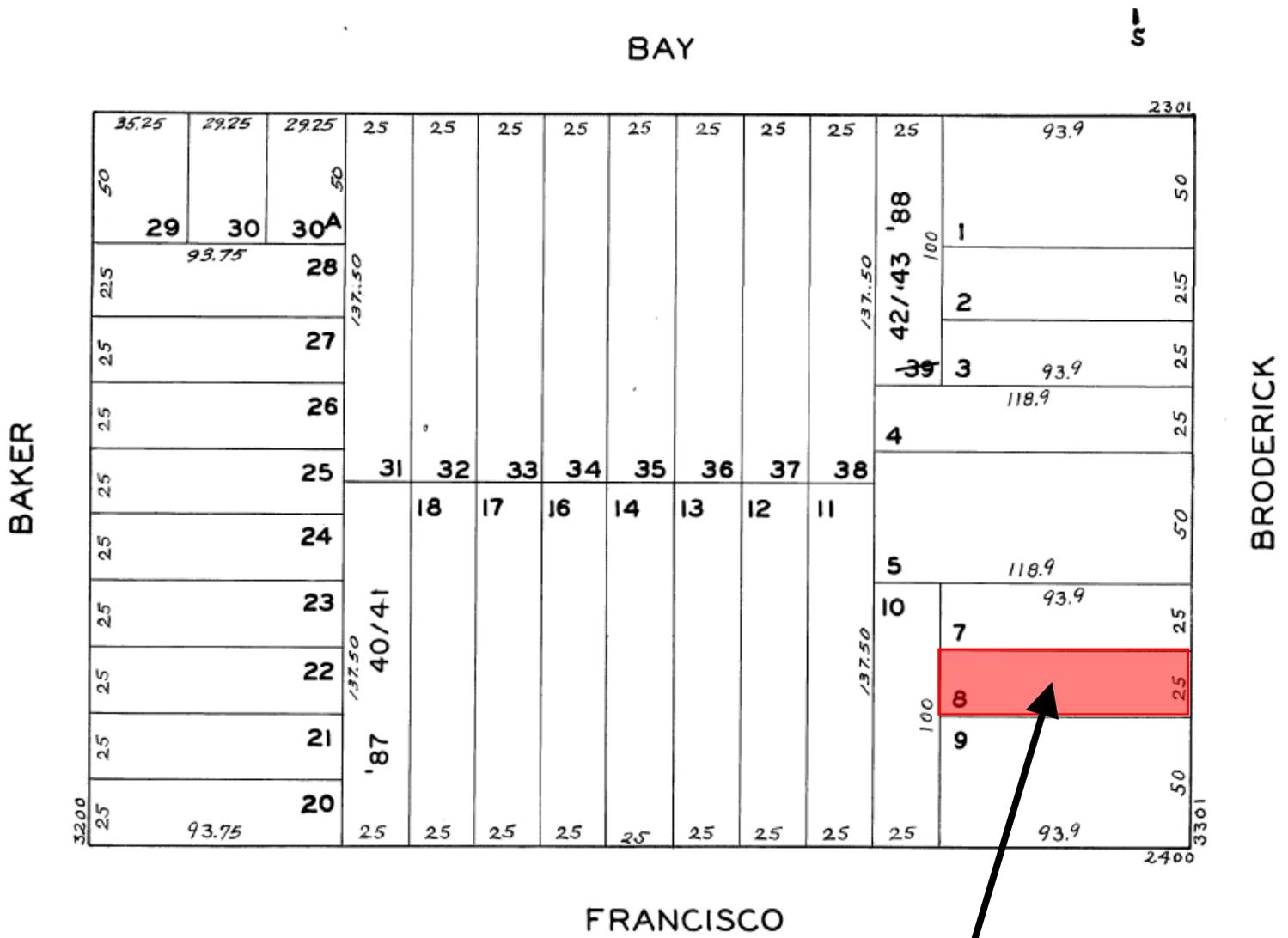
Comments: The project is not an alteration, and the building that will be demolished has been determined not to be an historical resource for the purposes of CEQA.

Attachments:

- Design Review Checklist
- Parcel Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Section 311 Notice
- Residential Demolition Application
- Prop M findings
- Letter of Opposition, dated April 25, 2014
- Residential Pipeline
- Project Sponsor Submittal
 - Context Photos
 - Letter from Project Sponsor
 - Environmental Evaluation / Historic Resources Information
 - Letter of Support, dated July 18, 2013
 - Maps
 - Rendering & Drawings

* All page numbers refer to the Residential Design Guidelines

Parcel Map

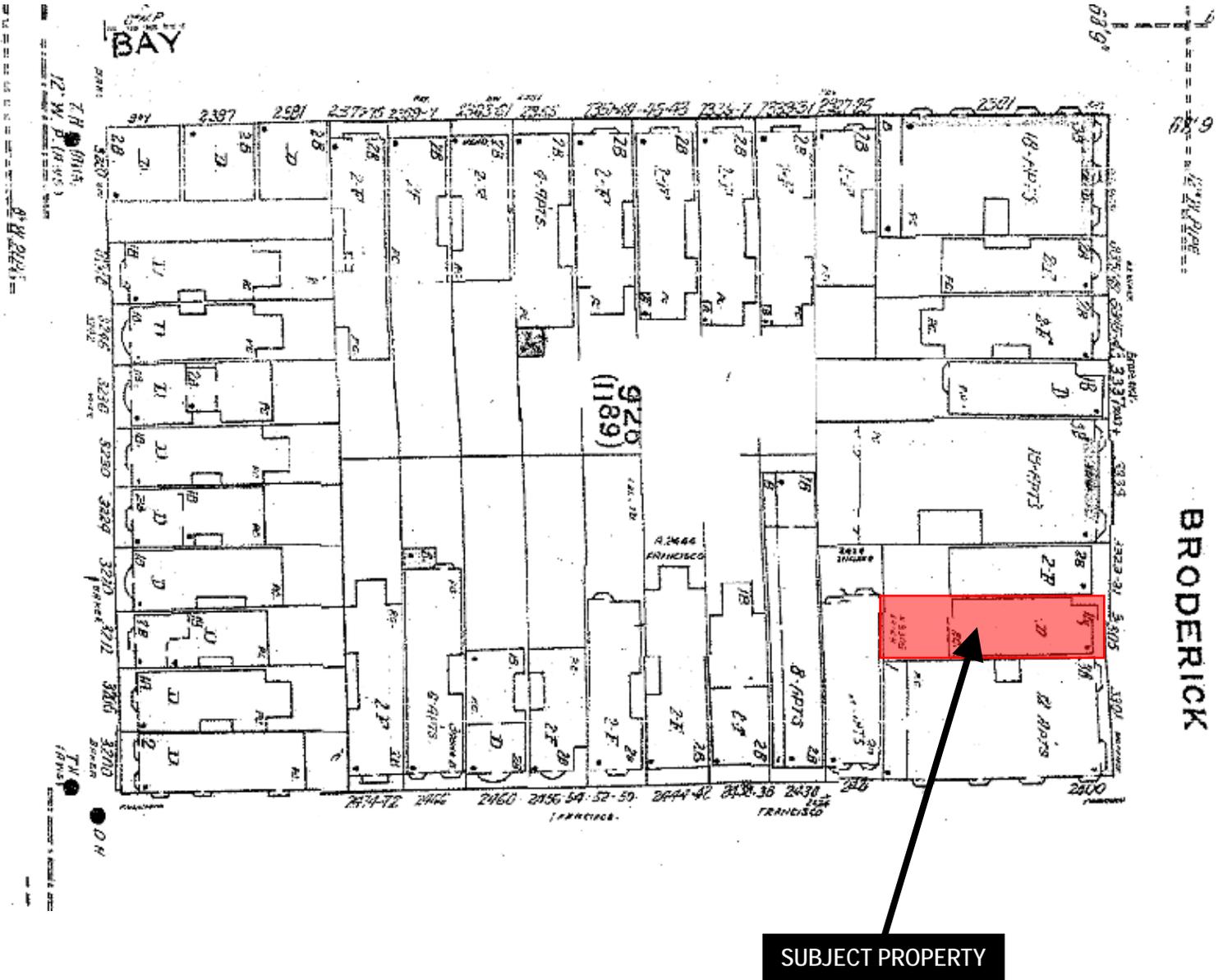


SUBJECT PROPERTY



Discretionary Review Hearing
 Case Number 2013.1355D/2014.0624D
 3305 Broderick Street
 Block 0926 / Lot 008

Sanborn Map*



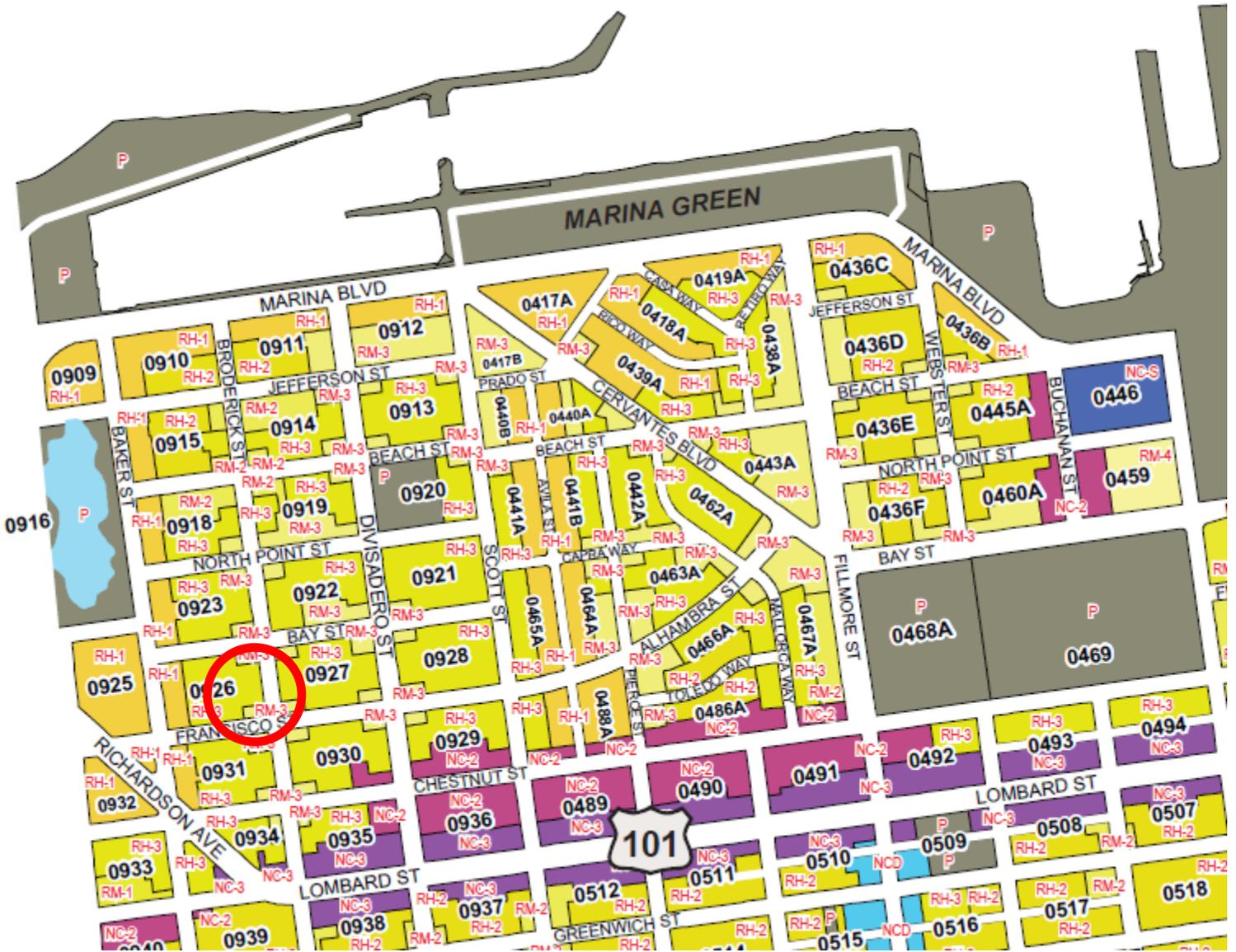
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2013.1355D/2014.0624D
3305 Broderick Street
Block 0926 / Lot 008

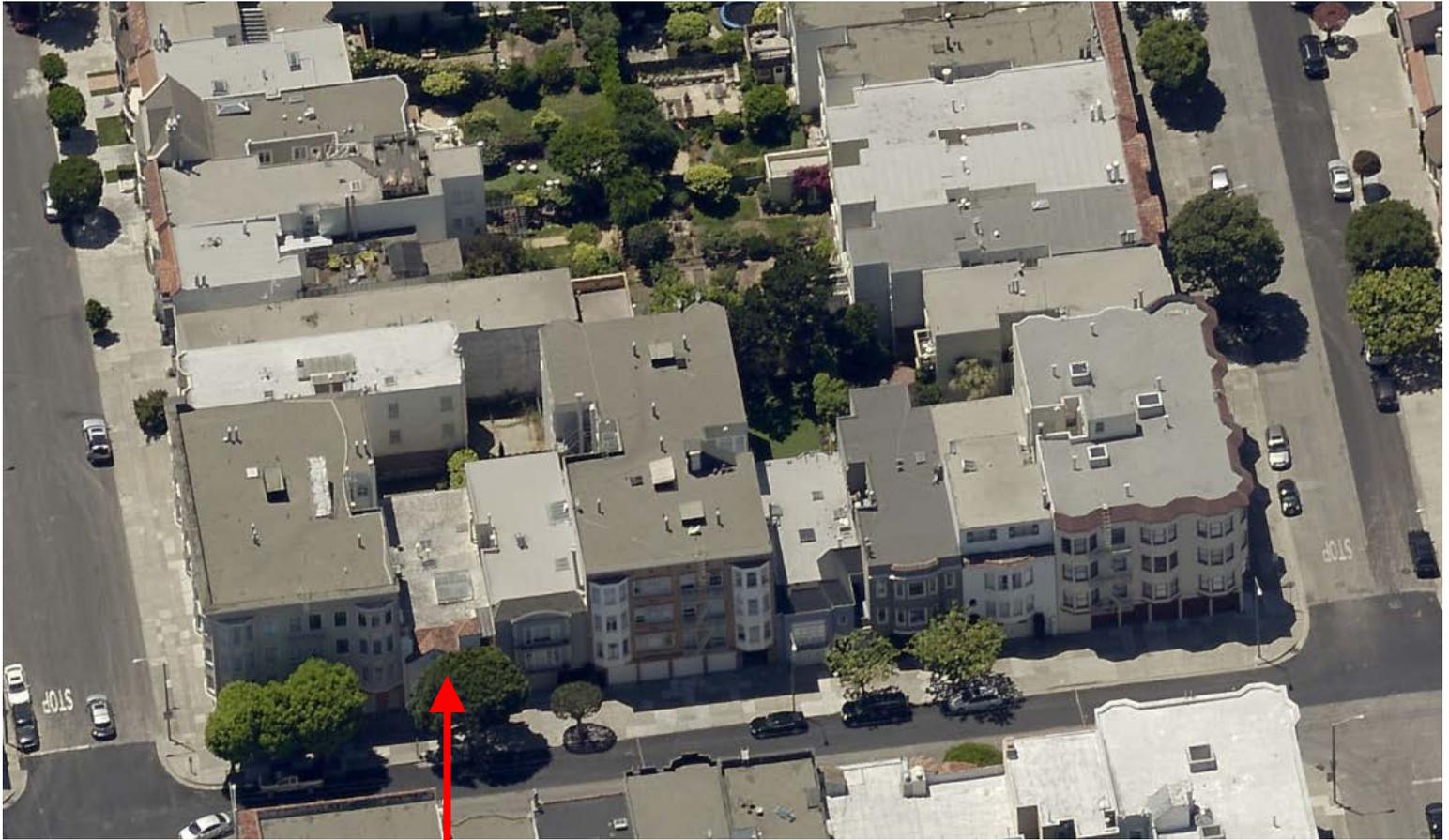
Zoning Map

SAN FRANCISCO BAY



Discretionary Review Hearing
Case Number 2013.1355D/2014.0624D
3305 Broderick Street
Block 0926 / Lot 008

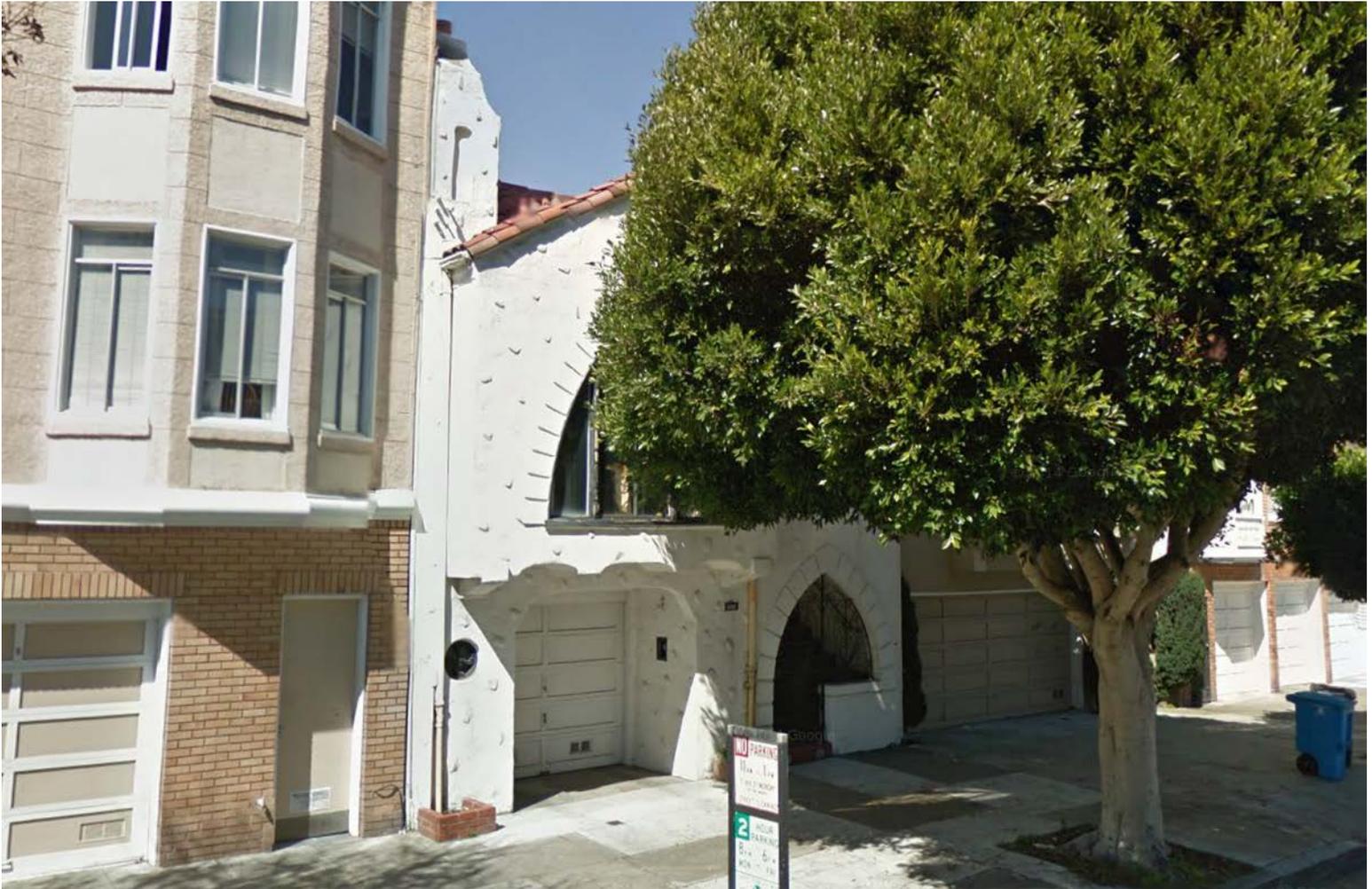
Aerial Photo (looking west)



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2013.1355D/2014.0624D
3305 Broderick Street
Block 0926 / Lot 008

Site Photo



Discretionary Review Hearing
Case Number 2013.1355D/2014.0624D
3305 Broderick Street
Block 0926 / Lot 008



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On July 30, 2013, the Applicant named below filed Building Permit Application No. 201307303152 & 201307303155 with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	3305 Broderick Street	Applicant:	Earle Weiss
Cross Street(s):	Bay & Francisco	Address:	21 Corte Madera, Suite 4
Block/Lot No.:	0926/008	City, State:	San Francisco, CA 94941
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 381-8700

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input checked="" type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	5'-6"	No Change
Side Setbacks	None	No Change
Building Depth	75'-9"	64'-10"
Rear Yard	13'-6"	23'-5"
Building Height	18'-9"	40'-0"
Number of Stories	1 over garage	3 over garage
Number of Dwelling Units	1	2
Number of Parking Spaces	1	2
PROJECT DESCRIPTION		
<p>The proposal is to demolish an existing one-story over garage single-family dwelling and construct a three-story over garage, two-unit building. The project includes construction of stairs at the rear from first floor to grade, a deck at the rear above a 2nd story portion of the building, and a roof deck with a stair penthouse and elevator. A Mandatory Discretionary Review hearing (Case 2013.1355D) before the Planning Commission is scheduled for Thursday, May 8, 2014.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Christine Lamorena

Telephone: (415) 575-9085

E-mail: christine.lamorena@sfgov.org

Notice Date: 3/26/2014

Expiration Date: 4/25/2014

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.** **Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION FOR Dwelling Unit Removal Merger, Conversion, or Demolition

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Colbreth Partners, LLC	
PROPERTY OWNER'S ADDRESS: 601 Van Ness, #E3606 San Francisco, CA 94102	TELEPHONE: (415) 355-0900
	EMAIL: johnstricklin@sbcglobal.net

APPLICANT'S NAME: Earle Weiss		Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS: 21 Corte Madera, Suite 4 Mill Valley, CA 94941	TELEPHONE: (415) 381-8700	
	EMAIL: admin@eeweiss.com	

CONTACT FOR PROJECT INFORMATION:		Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE: ()	
	EMAIL:	

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):		Same as Above <input checked="" type="checkbox"/>
ADDRESS:	TELEPHONE: ()	
	EMAIL:	

2. Location and Classification

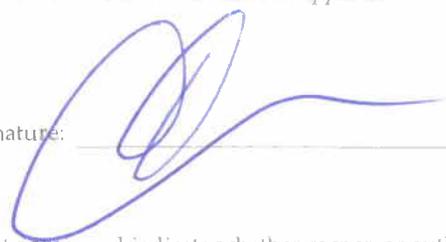
STREET ADDRESS OF PROJECT: 3305 Broderick		ZIP CODE: 94123		
CROSS STREETS: Francisco & Bay				
ASSESSORS BLOCK/LOT: 926 / 8	LOT DIMENSIONS: 25x93.75	LOT AREA (SQ FT): 2344	ZONING DISTRICT: RH-2	HEIGHT/BULK DISTRICT: 40x

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	PROJECT INFORMATION	EXISTING	PROPOSED	NET CHANGE
1	Total number of units	1	2	1
2	Total number of parking spaces	1	2	1
3	Total gross habitable square footage	1716	5095	3379
4	Total number of bedrooms	2	6	4
5	Date of property purchase	August 2013		
6	Total number of rental units	0	0	0
7	Number of bedrooms rented	0	0	0
8	Number of units subject to rent control	0	0	0
9	Number of bedrooms subject to rent control	0	0	0
10	Number of units currently vacant	1	0	-1
11	Was the building subject to the Ellis Act within the last decade?	no		
12	Number of owner-occupied units	1	2	1

Applicant's Affidavit

Under penalty of perjury the following declarations are made:
a: The undersigned is the owner or authorized agent of the owner of this property.
b: The information presented is true and correct to the best of my knowledge.
c: The other information or applications may be required.

Signature:  _____ Date: 10-15-13

Print name, and indicate whether owner, or authorized agent:
ERNE WESS
Owner / Authorized Agent (circle one) AGENT

13.1463 0

Loss of Dwelling Units Through Demolition

(FORM A - COMPLETE IF APPLICABLE)

Pursuant to Planning Code Section 317(d), the demolition of residential dwellings not otherwise subject to a Conditional Use Authorization shall be either subject to a Mandatory Discretionary Review hearing or will qualify for administrative approval. Administrative approval only applies to (1) single-family dwellings in RH-1 Districts proposed for Demolition that are not affordable or financially accessible housing (valued by a credible appraisal within the past six months to be greater than 80% of combined land and structure value of single-family homes in San Francisco); or (2) residential buildings of two units or fewer that are found to be unsound housing. Please see website under Publications for Loss of Dwelling Units Numerical Values.

The Planning Commission will consider the following criteria in the review of applications to demolish Residential Buildings. Please fill out answers to the criteria below:

Existing Value and Soundness

1. Whether the Project Sponsor has demonstrated that the value of the existing land and structure of a single-family dwelling is not affordable or financially accessible housing (above the 80% average price of single-family homes in San Francisco, as determined by a credible appraisal within six months);

Property was purchased in August of 2013 for \$1.5m. See HUD1. Project is above demolition control threshold

2. Whether the housing has been found to be unsound at the 50% threshold (applicable to one- and two-family dwellings).

Not applicable

3. Whether the property is free of a history of serious, continuing code violations;

Yes, see Historic Report

Existing Building (continued)

4. Whether the housing has been maintained in a decent, safe, and sanitary condition;

No. Previous owner did no repairs for +/- 20 years

5. Whether the property is a *historical resource* under CEQA;

No. See historic report

6. If the property is a historical resource, whether the removal of the resource will have a substantial adverse impact under CEQA;

No. See historic report

Rental Protection

7. Whether the Project converts rental housing to other forms of tenure or occupancy;

The residence was owner occupied

8. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

No rental units; owner occupied

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Priority Policies

9. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;
The project provides and additional unit in sound conditon

10. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;
The project has been designed to blend with the existing neighborhood

11. Whether the Project protects the relative affordability of existing housing;
The project does not remove affordable housing, and adds and additional unit

12. Whether the Project increases the number of permanently affordable units as governed by Section 415;
The project does not increase affordable units

Replacement Structure

13. Whether the Project located in-fill housing on appropriate sites in established neighborhoods;
The new building is within neighborhood size, scale, massing, and unit blend

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Replacement Structure

14. Whether the Project creates quality, new family housing;
The project will create new, quality housing for 2 families

15. Whether the Project creates new supportive housing;
The project does not create supported living, but does have private elevators to help residents age in place

16. Whether the Project promotes construction of well-designed housing to enhance existing neighborhood character;
The project will be of high quality and up to current code

17. Whether the Project increases the number of on-site dwelling units;
Yes, and additional family size unit will be created

18. Whether the Project increases the number of on-site bedrooms.
Yes, the project adds 4 bedrooms to the 2 existing for a total of 6

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Priority General Plan Policies – Planning Code Section 101.1

(APPLICABLE TO ALL PROJECTS SUBJECT TO THIS APPLICATION)

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed alterations and demolitions are consistent with eight priority policies set forth in Section 101.1 of the Planning Code. These eight policies are listed below. Please state how the Project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. If a given policy does not apply to your project, explain why it is not applicable.

Please respond to each policy; if it's not applicable explain why:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

3305 Broderick is a residential project in a residential zone; it will not displace businesses, but will rather provide a larger customer base.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

3305 Broderick units are similar to the surrounding multi-family buildings in size and bulk.

3. That the City's supply of affordable housing be preserved and enhanced;

3305 Broderick will not displace affordable housing.

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

3305 Broderick has on-site parking for every unit. Bicycle parking to be provided

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Please respond to each policy; if it's not applicable explain why:

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;
3305 Broderick is not an office development, and will not displace industrial or service sectors.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;
3305 Broderick will be designed to current fire and structural code.

7. That landmarks and historic buildings be preserved; and
3305 Broderick will not impact any landmark building.

8. That our parks and open space and their access to sunlight and vistas be protected from development.
3305 Broderick is not near, or will impact, any park or open space.

Lamorena, Christine (CPC)

From: Risa Meyer <sfrisa@aol.com>
Sent: Friday, April 25, 2014 3:03 PM
To: Lamorena, Christine (CPC)
Subject: Application #201307303152 and 201307303155

To: City Planning Commission
C/o Christine Lamorena

I am the next door neighbor to the subject property, and after speaking with you in person last week to express my grave concerns and the concerns of my neighbors over the construction of the above property, you assured me that an email to you would be read to the committee during the Planning Commission meeting on May 8th.

It is important to state that I am not "complaining" about the demolition or construction even though this work will disrupt our street, peace and quiet, already limited parking, AND create an extreme amount of dust and debris in the air to which I am very sensitive. I am looking for some way for this project to be less of a long term burden for us than it appears it will be.

I have lived in my flat for 20 years. There have been many improvements made to homes in the neighborhood which have benefitted homeowners as well as the neighbors who enjoy a well kept neighborhood. This project and the impact it will have on the street, to our neighbors, and on the future of the neighborhood is very significant.

On a personal level--I am in a 2 flat building on the upper floor.

The only windows and light my neighbors and I have for the entire middle of the house comes from the light well that the subject building abuts. The planned addition of another 2 stories will close off that light well and diminish light to our units dramatically. The lower unit will be the worst. The units will become dark.

The building on the opposite side of the subject also has windows facing the subject and that light well will also be closed off.

Presently, parking on the street is extremely limited. Most neighbors have more than one car but only have one garage spot. The subject construction will have 2 units on 3 floors which may have 2 to 4 people in each unit (probably a minimum of 4 adults with 4 cars) and only room for a 2 car garage. What do we do then? They will be looking for street parking and will be vying for the same spaces we are.

The impact this will have just on this street alone is immense. Then we have to move onto the nearby streets for parking and those neighbors are also impacted. Not to mention when construction is going on and the street will be a construction zone with currently available parking eliminated.

The subject unit will be 2 stories higher than what presently exists. They want to add a roof deck which increases the height and at least one deck off the back. Our yard is very small and doesn't get a whole lot of sun. This new height will block much of the sun we do get making the use of the back yard even less desirable.

The rear of the house is our bedroom area where it is usually quiet. The neighboring properties also have their bedrooms facing the rear. The subject however is planning to reverse the layout and put the living area in the rear--- living room, kitchen and deck. The downstairs neighbors have an infant and noise is an issue for them. And we do not stay up late either, and enjoy knowing that we can go to bed without having to listen to neighbors having parties or that their deck lights are shining in our window. If we can avoid creating a situation where the neighbors are fighting over these things, I'm sure that everyone will be happier.

As I said, I've lived here for 20 years and love this neighborhood. I understand that the real estate boom we are going through is an opportunity for those who can afford to spend \$2 million dollars just to get an empty space---\$1.5 to buy and at least \$500,000 to tear it down. They are fortunate, and more power to them.

I am requesting your consideration with regard to what they are allowed to build in its place and how that impacts the neighbors, the neighborhood, and the long term viability of the community.

This is one more unit that will be removed from the in-tact rent controlled units in this city, and one less house that a middle income family might be able to afford that would enable them to continue to live in this great city. Hopefully it won't be permitted to force out the surrounding units that have maintained the integrity of this neighborhood in both style and maintenance, as more and more of the luxury high rise condos are built in their place.

Thank you for your serious consideration in this matter.

Sincerely yours,
Risa Meyer
Sfrisa@aol.com
415-999-6640

3323 Broderick Street
San Francisco, CA. 94123

Ps. We are prepared to sign a petition or any other document that you may need/request from us.

Sent from my iPad



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

RESIDENTIAL PIPELINE ENTITLED HOUSING UNITS 2007 to 2014 Q1

State law requires each city and county to adopt a Housing Element as a part of its general plan. The State Department of Housing and Community Development (HCD) determines a Regional Housing Need (RHNA) that the Housing Element must address. The need is the minimum number of housing units that a region must plan for in each RHNA period.

This table represents completed units and development projects in the current residential pipeline to the first quarter of 2014 (Q1). The total number of entitled units is tracked by the San Francisco Planning Department and is updated quarterly in coordination with the *Quarterly Pipeline Report*. Subsidized housing units – including moderate and low income units – as well as inclusionary units are tracked by the Mayor’s Office of Housing; these are also updated quarterly.

2014 QUARTER 1	RHNA Allocation 2007 - 2014	Units Built 2007 - 2014 Q1	Units Entitled in 2014 Q1 Pipeline*	Percent Built and Entitled
Total Units	31,193	18,078	16,733	111.6%
Above Moderate (> 120% AMI)	12,315	11,993	14,073	211.7%
Moderate Income (80 - 120% AMI)	6,754	1,107	753	27.5%
Low Income (< 80% AMI)	12,124	4,978	1,907	56.8%

**These totals do not include three entitled major development projects with a total of 23,714 net new units: Hunters' Point, Treasure Island and ParkMerced. While entitled, these projects are not expected to be completed during the 2007-2014 RHNA reporting period.*

**Before the
San Francisco Planning Commission**

**Mandatory Discretionary Review for
Demolition of Residential Building**

For

**Property Located at 3305 Broderick Street, San Francisco
Planning Department Case No. 2013.1355D**



Architect: Earle Weiss, Architect
EE Weiss Architects
21 Corte Madera, Suite 4
Mill Valley CA 94941

Owner: Colbreth Partners LLC
601 Van Ness Avenue, no. E3606
San Francisco, CA 94102

WEST SIDE OF BRODERICK STREET BETWEEN FRANCISCO AND BAY STREETS



(SUBJECT PROPERTY SHOWN WITH ARROW)

EAST SIDE OF BRODERICK BETWEEN FRANCISCO AND BAY STREETS



WEST SIDE OF BRODERICK STREET BETWEEN BAY AND NORTH POINT STREETS



EAST SIDE OF BRODERICK BETWEEN BAY AND NORTH POINT STREETS



PROPERTY SPONSOR PACKET

Table of Contents:

1. Introduction
2. Site Information
3. Project Summary
4. Description of the Site and Proposed Project
5. Conclusion

- Exhibit 1 Planning & Environmental Reviews
- Exhibit 2 Support Letter
- Exhibit 3 Assessor's Map Block 634, Sanborn Map of Block 634
- Exhibit 4 Plans & Elevations

1- Introduction

Colbreth Partners LLC ("Project Sponsor") proposes to demolish the existing single residential structure located at 3305 Broderick Street, Block 0926/Lot 008 ("Project Site"), and to construct a new two-unit residential building ("Project"). The Project is located on Broderick Street between Francisco and Bay Streets and is within the RH-3 Zoning District and the 40-X height and bulk district.

Mandatory discretionary review is required for the Project's demolition of the single residential structure at 3305 Broderick Street. Accordingly the Project Sponsor submits this application ("Application") for mandatory discretionary review.

The Project promotes the public welfare, convenience and necessity, and meets all other requirements of San Francisco's General Plan and the Planning Code for approval of the demolition and construction of the replacement Proposed Project. The increased density of housing on an in-fill site in an established residential neighborhood furthers the City's policy of providing new housing and increasing the density of housing in certain areas. The Project has been sensitively designed and will enhance the existing neighborhood character and is compatible with the surroundings.

Other than the review of the demolition application, the Project requires only building permits. No request for discretionary review has been filed and the adjacent neighbor has sent a letter of support.

PROPERTY SPONSOR PACKET

Colbreth Partners LLC's President, John Stricklin, is a long-time housing builder in San Francisco. He is working with respected architect Earle Weiss of EE Weiss Architects. They have conducted outreach to the immediate and surrounding neighbors and have modified, scaled and cut back their plans based on input from both neighbors and Planning Department Staff to create a well-designed and practical building, which will provide two new family sized housing units for the City.

2- Site Information

Street Address: 3305 Broderick Street
Cross Street: Bay & Francisco
Assessor's Block No.: 0926/008
Zoning/Height District: RH-3/40-X
Lot Area: 2338 sf
Existing Use: SFR

3- Project Summary

Proposed Use: New Two Unit Building
Building Height: 40 Feet with all required setbacks
Gross Square Footage: 5095 habitable
Number of Stories: Three Stories over garage

4- Description of Site and Proposed Project

The proposed project is located just north of the intersection of Broderick and Francisco Street in the Marina District. The Site is zoned RH-3. The site is adjacent to the large apartment building at the corner of Broderick Street/Francisco and the duplex at 3321 Broderick Street.

From the beginning of the process, the Project Sponsor and the Architect have reached out to the neighborhood and have worked closely with the concerned adjacent neighbor and Planning Staff. The Project has been modified in numerous ways in response to feedback and input by the neighbor and the Planning Department.

PROPERTY SPONSOR PACKET

The existing building is a two-story, wood-framed, single-family house. The first story consists of garage, a family room, bathroom, and utility/storage area. The second story consists of a living room, dining room, kitchen, bathroom, and bedrooms. The foundations appeared to be shallow "beach sand" concrete footings, typical of the era of original construction. Significant spalling of the foundations has occurred. The first floor consists of a concrete slab-on-grade. The second story and roof consist of light-wood framing. The house has a forced-air heating system.

The proposed project would conserve and enhance neighborhood character by replacing an older non contributing single family home with two, new family sized residential units. The Project will conform to the structural and seismic requirements of the San Francisco Building Code. The proposed replacement structure will be structurally and seismically stronger and safer than the existing structure.

5- Conclusion

The Project Sponsor respectfully requests that the Planning Commission approve the application for demolition. The new construction of two new family sized housing units on this property furthers the objectives and the policies of the City's Master Plan and zoning controls and will be a positive addition to the neighborhood.

Exhibit 1

Planning & Environmental Reviews



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

Case No.: 2013.1355E
Project Title: 3305 Broderick St
Zoning: RH-3 Residential House, Thee Family
40-X Height and Bulk District
Block/Lot: 0926/008
Lot Size: 2,338 square feet
Project Sponsor: Earle Weiss, EE Weiss Architects
415-531-5270
Staff Contact: Laura Lynch – (415) 575-9045
Laura.lynch@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

The proposed project is located on an interior lot, near the intersection of Broderick and Francisco streets. The property is located on the block bounded by Francisco, Bay, and Baker streets within the Marina neighborhood. The proposed project includes the demolition of the existing 1,916 square foot (sq. ft.), two-story, single family home and construction of a four-story over basement, approximately 6,200 sq. ft., 40 foot-tall, two-unit building. The project would include two off-street parking spaces.

EXEMPT STATUS:

Categorical Exemption, Class 3 and 1 (State CEQA Guidelines Section 15303(b) and 15301(l)(1))

REMARKS:

See next page.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.


Sarah B. Jones
Environmental Review Officer

December 24, 2013
Date

cc: Earle Weiss, Project Sponsor
Christine Lamorena, Current Planner
Gretchen Hilyard, Preservation Planner

Supervisor Mark Farrell, District 2 (via Clerk of the Board)
Historic Preservation Distribution List
Virna Byrd, M.D.F.

PROJECT DESCRIPTION (continued):

The proposed project is subject to notification under Section 311 of the Planning Code. Since the proposed project involves the demolition of a residential building, the project would also be subject to Section 317 of the Planning Code which requires a mandatory Discretionary Review hearing before the Planning Commission. The Discretionary Review hearing is the Approval Action for the project.

REMARKS:

Historic. In evaluating whether the proposed project would be exempt from environmental review under the California Environmental Quality Act (CEQA), the Planning Department must first determine whether the building at 3305 Broderick Street is a historical resource as defined by CEQA. A property may be considered a historic resource if it meets any of the California Register of Historical Resources criteria related to (1) Events, (2) Persons, (3) Architecture, or (4) Information Potential that make it eligible for listing in the California Register of Historical Resources, or if it is considered a contributor to a potential historic district. Based on the information provided in the Part I Historical Resource Evaluation,¹ Supplemental Information for Historic Resource Determination² and research performed by Planning Department staff, the subject property and the existing structure on the project site is not a historical resource as defined by CEQA.³

The structure at 3305 Broderick Street was constructed in 1932 and does not appear to be associated with any significant historic events such that it would be eligible for the California Register under Criterion 1. The building was not inhabited by any person important to local, state or national history; thus, it is not eligible for listing in the California Register under Criterion 2. The existing building was not designed by a known master architect and the building is not architecturally distinct such that it would qualify the building for a listing under Criterion 3. The property at 3305 Broderick does not appear to be eligible under Criterion 4, information potential, which is generally associated with archeologically sensitive areas. The building is not eligible for the California Register as an individual resource.

The subject property is not located within the boundaries of any known historic districts. The surrounding neighborhood primarily consists of multi-family, revival style buildings, with some single-family residences. Many of the buildings share similar features, and follow the same development patterns of the larger Marina neighborhood. This area is not distinct from its greater context and would not qualify for listing as a historic district. The building is not eligible for the California Register as a contributor to a potential historic district.

In conclusion, the property at 3305 Broderick Street is not eligible for the California Register either as an individual resource or as part of a historic district and is not considered a historical resource for purposes of CEQA. Therefore, the proposed project would have no significant impact on on-site or off-site historic resources.

¹ Part I Historical Resource Evaluation, 3305 Broderick Street, San Francisco, California, Tim Kelley Consulting, July, 2013. This document is summarized and can be reviewed under Case Number 2013.1355E at the San Francisco Planning Department reception, 1650 Mission Street, San Francisco, CA

² Supplemental Information for Historic Resource Determination, 3305 Broderick Street, July 20, 2013.

³San Francisco Planning Department, *Preservation Team Review Form*, November 7, 2013. This document is summarized and attached.

Geotechnical. The Planning Department's records show that the property is located within a liquefaction zone; therefore a geotechnical investigation was performed at the project site⁴. The geotechnical report confirmed that the property is located within a liquefaction potential zone, mapped by the California Division of Mines and Geology for the City and County of San Francisco (CDMG, 2000) and that sandy soils located below the groundwater table of the site do have the potential to liquefy during moderate to strong earthquake shaking.

The main geotechnical concerns addressed within the report include settlement of improvements, low foundation bearing capacity caused by the presence of loose sand at the site, seismic shaking and related effects during earthquakes. After the Loma Prieta Earthquake, many sites within the area underwent structural and other seismic improvements. The geotechnical report concluded that it is unknown if 3305 Broderick Street underwent any of these improvements. The report provided geotechnical design criteria for both unimproved and improved site conditions, stating that "The designer should assume that the site has not been improved, unless information shows otherwise".

Recommendations within the report address site preparation and grading, seismic design, foundations, densification of liquefiable sands via compaction grouting, retaining walls, slab-on-grade floors, site drainage and supplemental services. The loose sandy soils should be improved in order to reduce the potential for liquefaction, seismic densification, and lateral spreading. In addition testing should be performed during construction to confirm that sufficient densification has been achieved. The project sponsor has agreed to follow the report recommendations. The project will be required to comply with the applicable building code through the review and permitting by the Department of Building Inspection. Thus, the proposed project would have no significant geotechnical impacts.

Hazardous Materials. The proposed project would be located in an area of artificial fill. There is no visual evidence of registered or unregistered underground storage tanks (USTs) in the nearby area; however some nearby properties may have unregistered and unknown tanks.⁵The project is subject to Article 22A of the Health Code, also known as the Maher Ordinance, which is administered and overseen by the Department of Public Health (DPH). The Maher Ordinance requires the project sponsor to retain the services of a qualified professional to prepare a Phase I Environmental Site Assessment (ESA) that meets the requirements of Health Code Section 22.A.6. The Phase I would determine the potential for site contamination and level of exposure risk associated with the project. Based on that information, the project sponsor may be required to conduct soil and/or groundwater sampling and analysis. Where such analysis reveals the presence of hazardous substances in excess of state or federal standards, the project sponsor is required to submit a site mitigation plan (SMP) to DPH or other appropriate state or federal agency(ies), and to remediate any site contamination in accordance with an approved SMP prior to issuance of any building permit. The project applicant has had a Phase 1 Environmental Site Assessment prepared, has submitted a Maher Application to DPH and would be required to remediate soil and/or groundwater contamination, if any is determined to be present, in accordance with Article 22A of the Health Code. Thus, the proposed project would not result in a significant hazard to the public or the environment through the release of hazardous materials.

⁴ H Allen Gruen, *Report Geotechnical Investigation Planned Development at 3305 Broderick Street, San Francisco, California*. September 28, 2013. This report is available for review as part of Case No. 2013.1355E.

⁵ John Carver Consulting, *Phase I Environmental Site Assessment at 3305 Broderick Street, San Francisco, California*, November 16, 2013. This report is available for review as part of Case No. 2013.1355E.

Exemption Class. CEQA Guidelines Section 15303(b), or Class 3, provides an exemption from environmental review for the construction of a duplex or similar multi-family residence totaling no more than six dwelling units in urbanized areas. CEQA State Guidelines Section 15301(1)(1), or Class 1, provides an exemption from environmental review for the demolition of a single-family residential structure or up to three single-family residential structures in urbanized areas. The proposed project would result in the demolition of one, 1,916 sq. ft. single-family residential structure and the construction of a two-unit duplex residential building. Therefore, the proposed project would be exempt from environmental review under Class 3 and 1.

Summary. CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would not have significant historical resource, geologic hazards or hazardous materials impacts. The proposed project would have no significant environmental effects. The project would be exempt under the above-cited classification. For the above reasons, the proposed project is appropriately exempt from environmental review.



WAIVER FROM SAN FRANCISCO HEALTH CODE ARTICLE 22A (MAHER ORDINANCE)

Compliance with Article 22A of the San Francisco Health Code is required for all sites that require a permit from the Department of Building Inspection, will move or excavate at least 50 cubic yards (38.23 m³) of soil and/or that have the potential to contain hazardous materials in soil and/or groundwater or are within the mapped Article 22A (Maher) area. Sites subject to Article 22A may be granted a waiver by the San Francisco Department of Public Health per Section A.4. of Article 22A which states, "The Director may waive the requirements imposed by this Article if the applicant demonstrates that the property has been continuously zoned as residential under the City Planning Code since 1921, has been in residential use since that time, and no evidence has been presented to create a reasonable belief that the soil and/or groundwater may contain hazardous substances. In these circumstances, the Director shall provide the applicant and the Director of Building Inspection with written notification that the requirements of this Article have been waived."

The following information and documents were submitted in support of the Waiver:

- Site history information and/or environmental /geotechnical documents
- Project plan and elevation Drawings AND excavation, trenching grading plans
- Current or former underground storage tank operation and removal documents (adjacent site)

PROPERTY/PROJECT INFORMATION

Address: 3305 Broderick Block/Lot: 0926 / 008 SMED No.: 978

Owner/Proponent name Colbreth Partners Contact Name/ phone: John Stricklin 415-381-8700

Proponent Address: 601 Van Ness #E3606

Current Site Use: single family residential Proposed Site Use: 2 family residential

If residential use only, approximate year residential only use began: _____

COMMENTS:

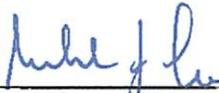
The San Francisco Department of Public Health has determined that:

- The project Property has been continuously zoned as residential since at least 1921 AND the available information does not indicate potential or known the soil and/or groundwater contamination by contain hazardous substances or materials. AND The site use will remain as residential or a less sensitive land use.
- Less than 50 Cubic Yards of soil will be disturbed by the proposed project AND the available information does not indicate potential or known the soil and/or groundwater contamination by contain hazardous substances or materials.
- A former underground storage tank removed from the residential site or nearby residential site, does not present a significant health or environmental risk to the project property based on the information available from publically available state databases and SF DPH files.

SF DPH Recommendations

- Site Soils are known to, or may, contain fill material. Fill material associated with the 1906 Earthquake and Fire or other fill materials in San Francisco may contain elevated lead concentrations among other potential contaminants. SF DPH recommends that excavated fill soils be segregated, stored on plastic sheeting and chemically analyzed for contaminants prior to soil reuse or as required by the disposal facility prior to disposal. The analyses considered may include the analytes listed in the Maher Ordinance, which include: Metals, volatile and semi volatile organic compounds, cyanide and petroleum hydrocarbons. Any remaining soils with elevated contaminants should be capped by the building, hardscape or at least one foot of clean soil over a visual physical barrier such as expanded plastic geogrid, or similar material.
- Construction activities should follow a work health and safety plan and dust control measures.

San Francisco Department of Public Health grants a waiver from the requirements of the SF Health Code Article 22A for *the specified project only* based on the site criteria and characteristics listed above. Should you have any questions please contact the San Francisco Department of Public Health, Site Assessment and Mitigation Program (DPH SAM) at (415) 252-3800.



Richard Lee, MPH, CIH, REHS
Acting Director of Environmental Health
San Francisco Department of Public Health

Date: 2-25-14

Distribution: Project proponent, consultant
SF Planning Department
SF DBI
SF DPH SAM Project file

PROPERTY SPONSOR PACKET

Exhibit 2

Neighbor's Support Letter

Peter Dal Poggetto
27040 Ridge Rd.
Willits, CA 95490

July 18, 2013

E. E. WEISS
Architects, Inc.
21 Corte Madera, Suite 3
Mill Valley, CA 94941
415.381.8700

Dear Earle and John,

I want to thank you for setting up the meeting at our properties last month to discuss your project at 3305 Broderick st., San Francisco. Your project is next door to my property at 3321 Broderick and as you can imagine, I had several concerns regarding the project you are proposing.

I had three major concerns regarding the sun continuing to shine into our light well in the kitchens, the depth of your project in the back area reducing the amount of sunshine into our yard, and what the building would look like. You showed me a draft plan which was subject to future modifications.

During our meeting, I took you and John, the project owner, to each location to see first hand my concerns. You took pictures and addressed each of my concerns. You understood each issue well and told me you would modify your final plans to alleviate any problems of reduced sunshine onto our property.

You both said you would incorporate a light well into your final plans adjacent to our light well to keep as much sunshine as possible flowing into our kitchen area. You said it would be designed to ensure privacy so no windows would look into our patio. Both you and John said you would create a setback in the rear top story to allow the continuation of sunlight into our yard. What the final plans will look like remains to be seen. You and John also mentioned you would design a front elevation that would be in keeping with the architectural style of the surrounding properties in the Marina. You later emailed me color photos of several of your past projects in Noe Valley which looked appropriate and tasteful in their settings. As long as the project incorporates the modifications stated above I support your new construction at 3305 Broderick Street.

I felt confident during and after our meeting you understood first hand how to address my concerns. Although the final plans have not been submitted to me, I have every reason to believe you will design and construct a property that will not take away from our building and the immediate area but add to its value. I appreciate the effort you and John have put forth to be a good neighbor at this point and time.

Sincerely,

Peter Dal Poggetto
3321/3323 Broderick property co-owner

PROPERTY SPONSOR PACKET

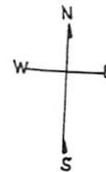
Exhibit 3

Assessor's Map Block 634

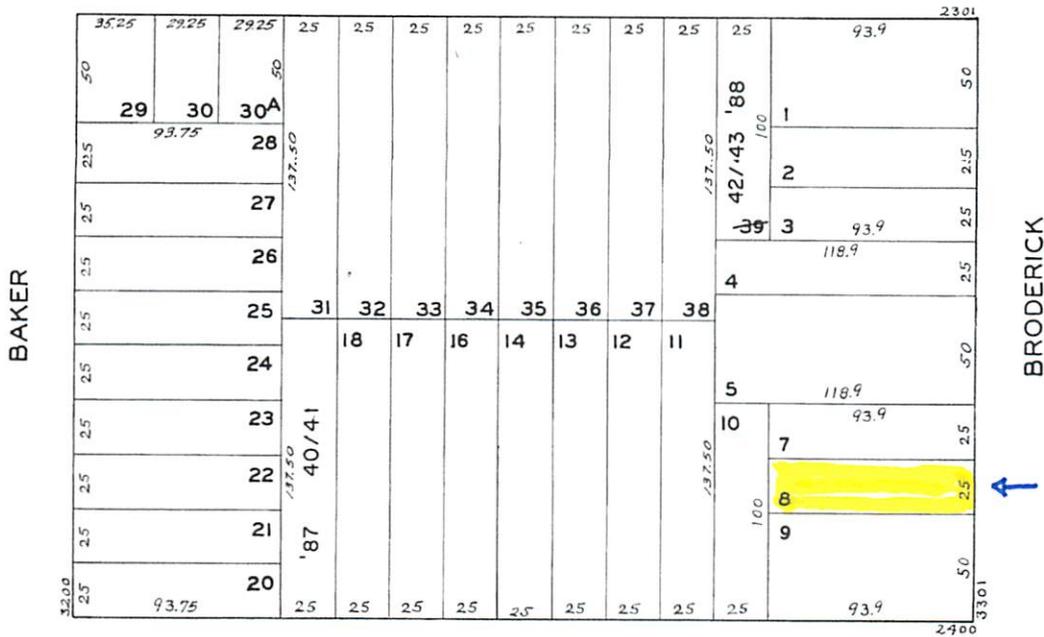
Sanborn Map of Block 634

LOTS MERGED
LOT 6 INTO LOT 5 - 1933
" 15 " " " 14 - 1944

REVISED '87
" '88



BAY



FRANCISCO

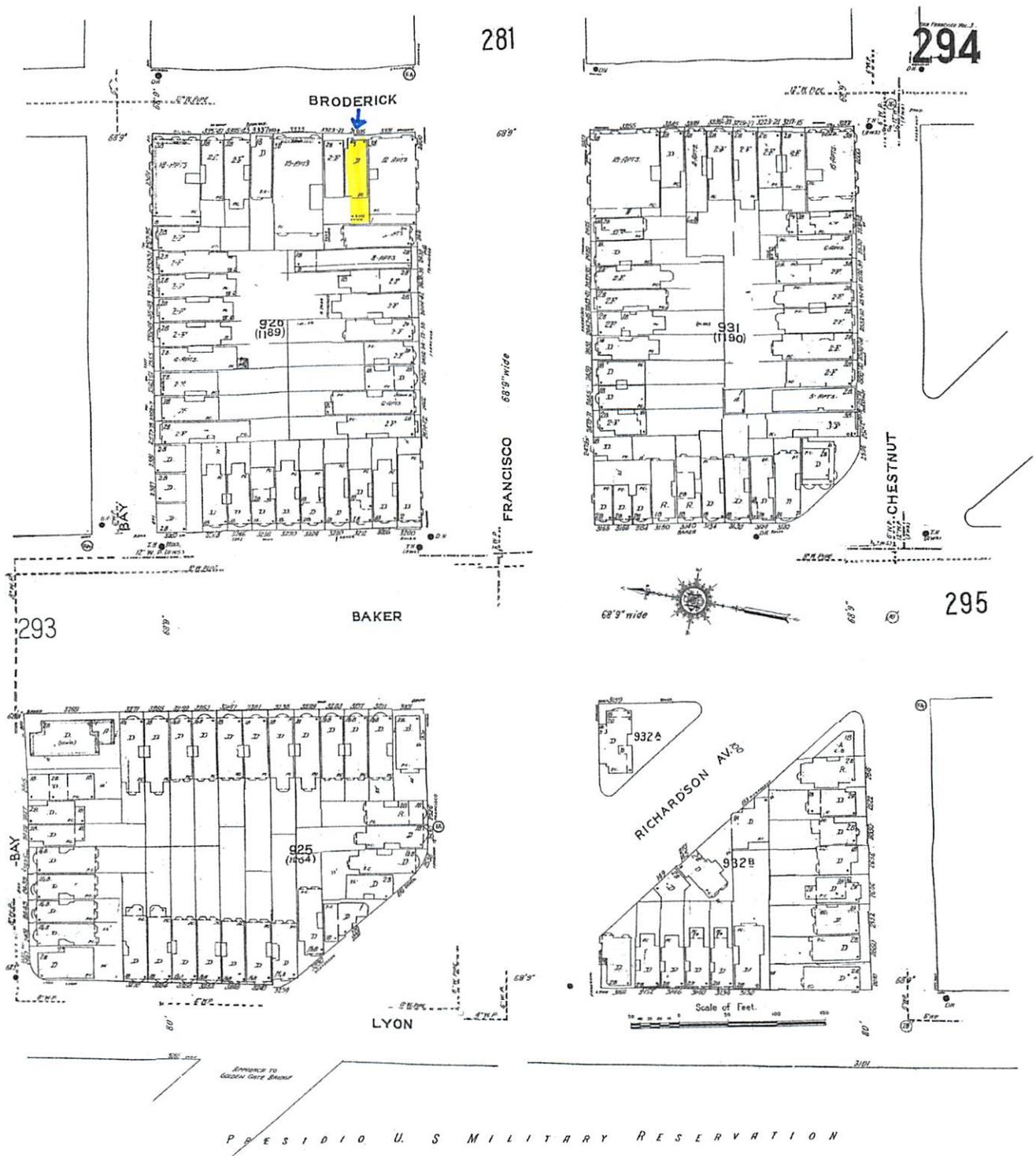
2472-2474 FRANCISCO ST.

A CONDOMINIUM		
LOT	UNIT	% COMM. AREA
40	2472	58.50
41	2474	41.50

2325-2327 BAY ST

A CONDOMINIUM		
LOT	UNIT	% COMM. AREA
42	2325	47.08
43	2327	52.92

THESE SANBORN MAPS ARE DATED TO THE MID 1990's
USE ONLY FOR HISTORICAL CONTEXT



281

294

293

295

0

Exhibit 4
Plans & Elevations



SBR
 5 MAY 2014

HISTORY	BY
PLANNING PERMIT 2013-0730-3158	



CONCEPT RENDERING
 SITE PERMIT SET

3305 BRODERICK
 SAN FRANCISCO, CA 94123
 ASSESSOR'S BLOCK: 926 LOT: 8

Date: 5/5/14
 Time: 12:21:01 PM

16 DEC 13

OWNER / REPRESENTATIVE:

JOHN STRICKLIN
601 VAN NESS AVENUE, E#3606
SAN FRANCISCO, CA 94102

DATE OF SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY GL A CIVIL ENGINEERS, INC., ON MAY 5, 2013.

BENCHMARK @ INTERSECTION OF BRODERICK STREET & FRANCISCO STREET

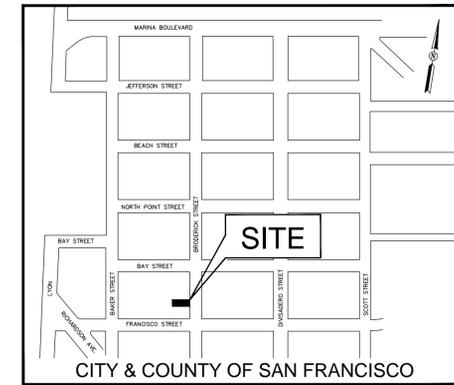
SE CORNER CROW CUT OUTER RIM SW ELEV.= 6.257, WAS USED AS BASIS OF ELEVATION FOR THIS SURVEY.

BASIS OF SURVEY

FOUND SURVEY MARKERS PER CITY OF SAN FRANCISCO MONUMENT MAP NO. 33, FILED AT THE CITY ENGINEERS OFFICE, WAS USED AS BASIS FOR THIS SURVEY.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORD DATA AND ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ACTUAL LOCATION, TYPE, AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.



VICINITY MAP
CITY & COUNTY OF SAN FRANCISCO
NOT TO SCALE

NOTES:

- RECORD OWNERSHIP INFORMATION WAS TAKEN FROM GRANT DEED, REEL H701 O.R. IMAGE 0266, DATED AUGUST 15, 2000.
- BOUNDARY INFORMATION IS COMPILED FROM RECORD AND FIELD DATA.
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- PROPERTY LINE TO MONUMENT LINE MEASURED DISTANCES WERE BASED UPON FOUND SURVEY MARKS, CURB SPLITS AND BUILDING OCCUPATIONS.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- REFERENCE MAPS: MONUMENT MAP NO. 33, GRADE MAP NO. 33, 99 CM 4-6, AND 71 CM 26-29.
- ENCROACHMENT FROM/ONTO THE ADJOINING PROPERTIES THAT MAY EXIST OR MAY BE CONSTRUCTED IS HEREBY ACKNOWLEDGED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUES WHICH MAY ARISE THERE FROM. THIS MAP DOES NOT CONVEY ANY INTEREST IN SUCH ENCROACHMENT AREAS TO THE PROPERTY OWNER(S).
- PROPERTY AND RIGHT-OF WAY SHOWN HEREON ARE BASED ON RECORD DATA AND NOT INTENDED TO BE A DETAILED FINAL SURVEY OF THE PROPERTY.
- THIS MAP DOES NOT CONSTITUTE A COMPLETE BOUNDARY AND IS NOT SUFFICIENT FOR SETTING OF PROPERTY CORNERS.
- ALL LIGHT-WELLS LOCATIONS ARE APPROXIMATE UNLESS OTHERWISE NOTED.
- BUILDING FOOTPRINTS SHOWN ARE TAKEN AT GROUND LEVEL UNLESS OTHERWISE NOTED.
- ALL WINDOWS LOCATIONS ARE APPROXIMATE UNLESS OTHERWISE NOTED.

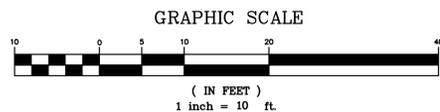
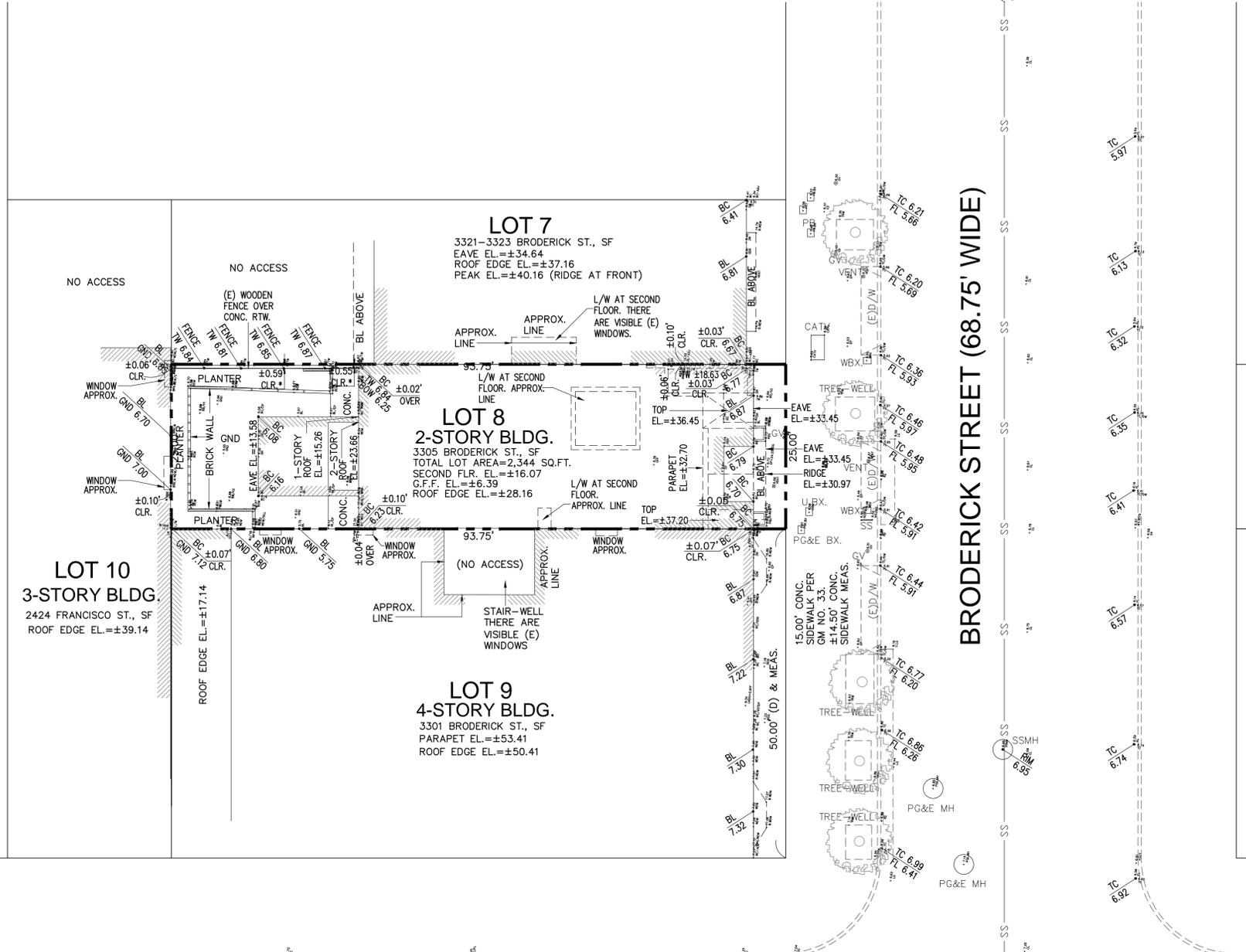
LEGEND

- EXISTING PROPERTY LINE
- BUILDING LIMITS
- UNDERGROUND SANITARY SEWER LINE (ASSUMED)
- EXISTING CONCRETE CURB
- EXISTING CONCRETE DRIVEWAY
- MEASURED INSIDE FACE OF WOODEN FENCE TO PL.

ABBREVIATIONS

ADJ.	ADJACENT	LG	LIP OF GUTTER
APPROX.	APPROXIMATE	LP	LIGHT POLE
BC	BUILDING CORNER	L/W	LIGHT-WELL
BM	BENCHMARK	NTS	NOT TO SCALE
BL	BUILDING LINE	PB	PACIFIC BELL
BW	BACK OF WALK	PL	PROPERTY LINE
BOW	BOTTOM OF WALL	PP	POWER POLE
CONC.	CONCRETE	RTW.	RETAINING WALL
CL	CENTERLINE	SSMH	SANITARY SEWER MANHOLE
CLR.	CLEAR	SS	STREET SIGN
D/W	DRIVEWAY	S/W	SIDEWALK
EL.	ELEVATION	TC	TOP OF CURB
EP	EDGE OF PAVEMENT	TOW	TOP OF WALL
(E)/EX	EXISTING	TYP.	TYPICAL
FH	FIRE HYDRANT	U. BX.	UTILITY BOX
FL	FLOW LINE	WBX	WATER BOX
GND	GROUND	WV	WATER VALVE
GV	GAS VALVE	(D)	PER DEED
GM	GRADE MAP (PER CITY)	()	PER RECORD

ASSESSOR'S BLOCK 926

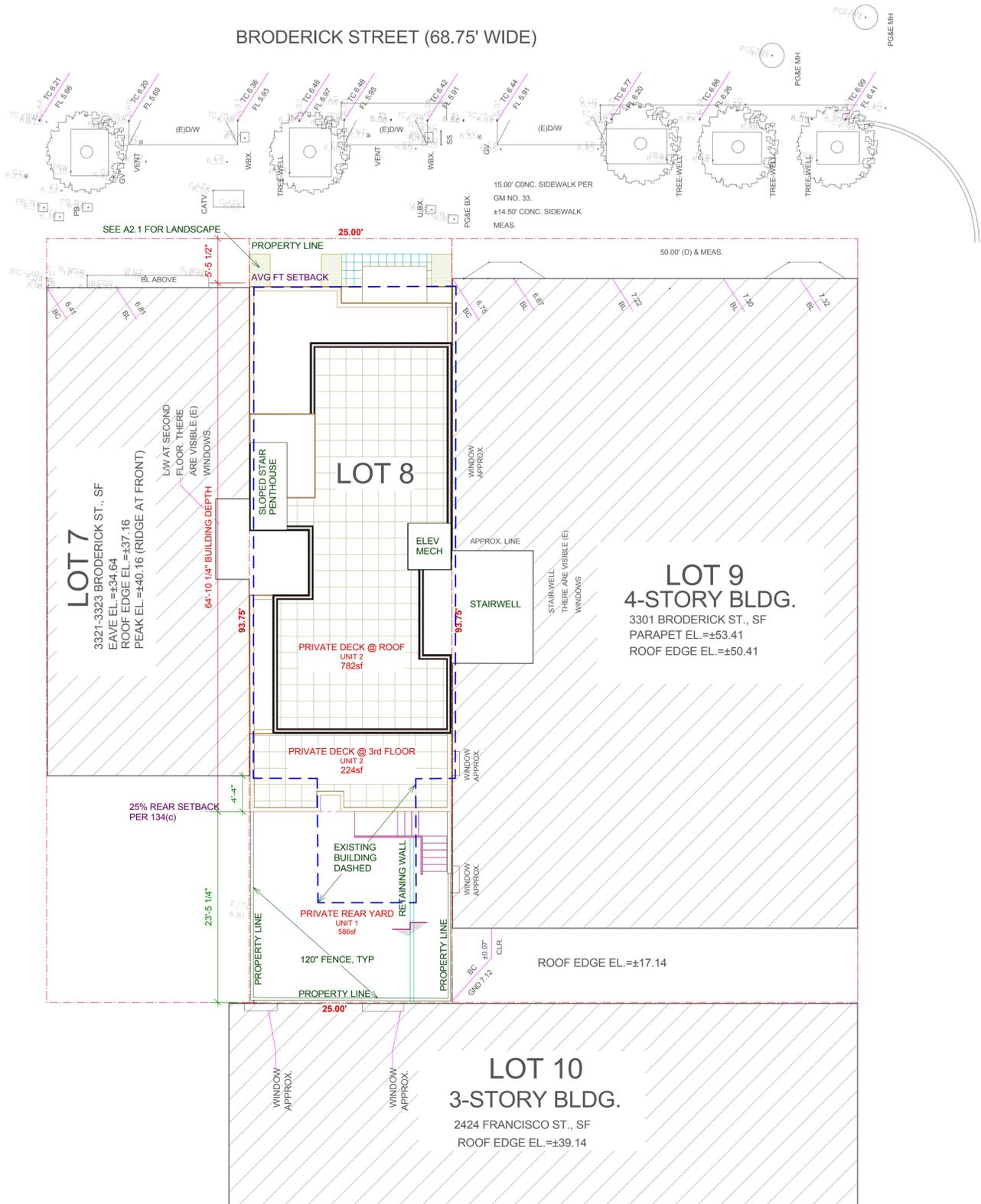


PROJECT TITLE: 3305 BRODERICK STREET SAN FRANCISCO, CALIFORNIA 94123 CLIENT: JOHN STRICKLIN	DESIGNED BY: DRAWN BY: CHECKED BY: SCALE: 1"=10.0' PROJECT TITLE: 3305 BRODERICK STREET SAN FRANCISCO, CALIFORNIA 94123 CLIENT: JOHN STRICKLIN
DRAWING TITLE: TOPOGRAPHIC SURVEY PLAN	
SHEET C-1 OF 1 SHEET	





2 SITE PHOTO (EXISTING BLDG)
 A1.0 Scale: 1/8" = 1'-0"



1 SITE PLAN
 A1.0 Scale: 1/8" = 1'-0"

HISTORY	BY
PLANNING PERMIT 2013-0730-3159	



SITE PLAN
SITE PERMIT SET

3305 BRODERICK
 SAN FRANCISCO, CA 94123
 ASSESSOR'S BLOCK: 926 LOT: 8

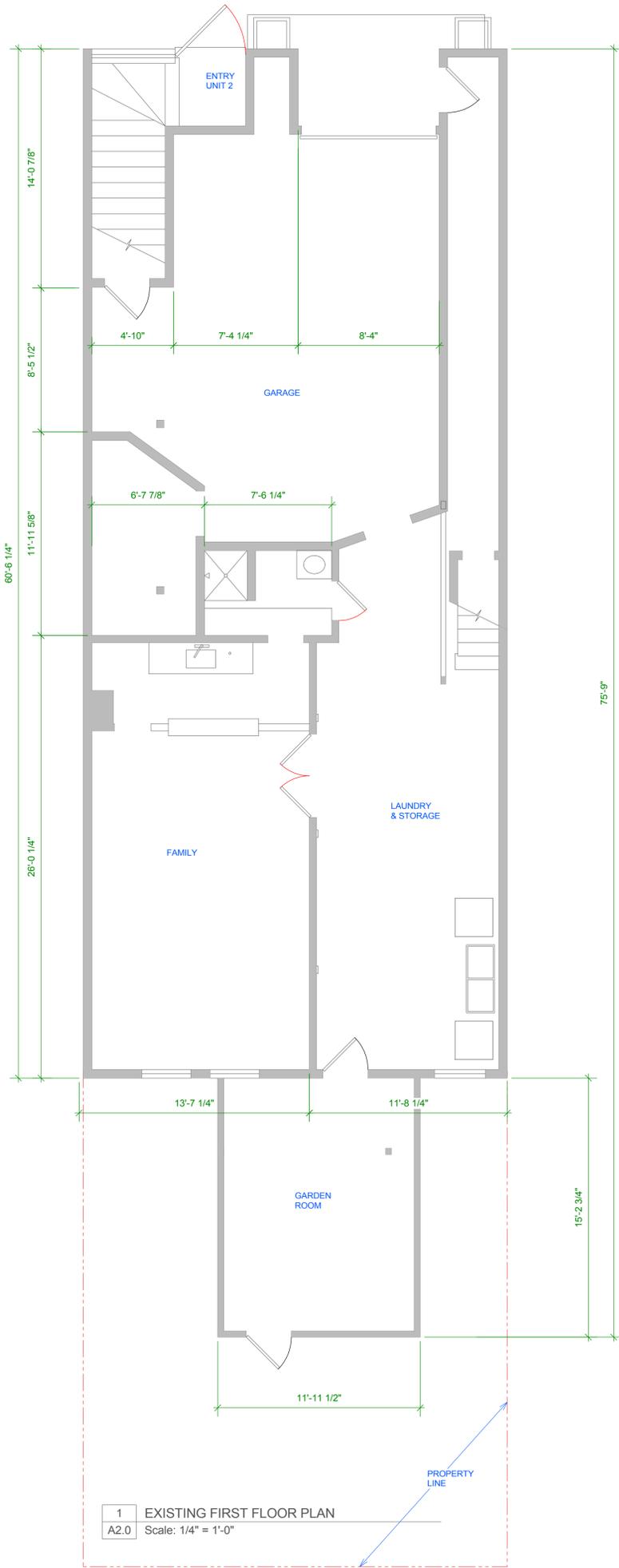
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16 DEC 13

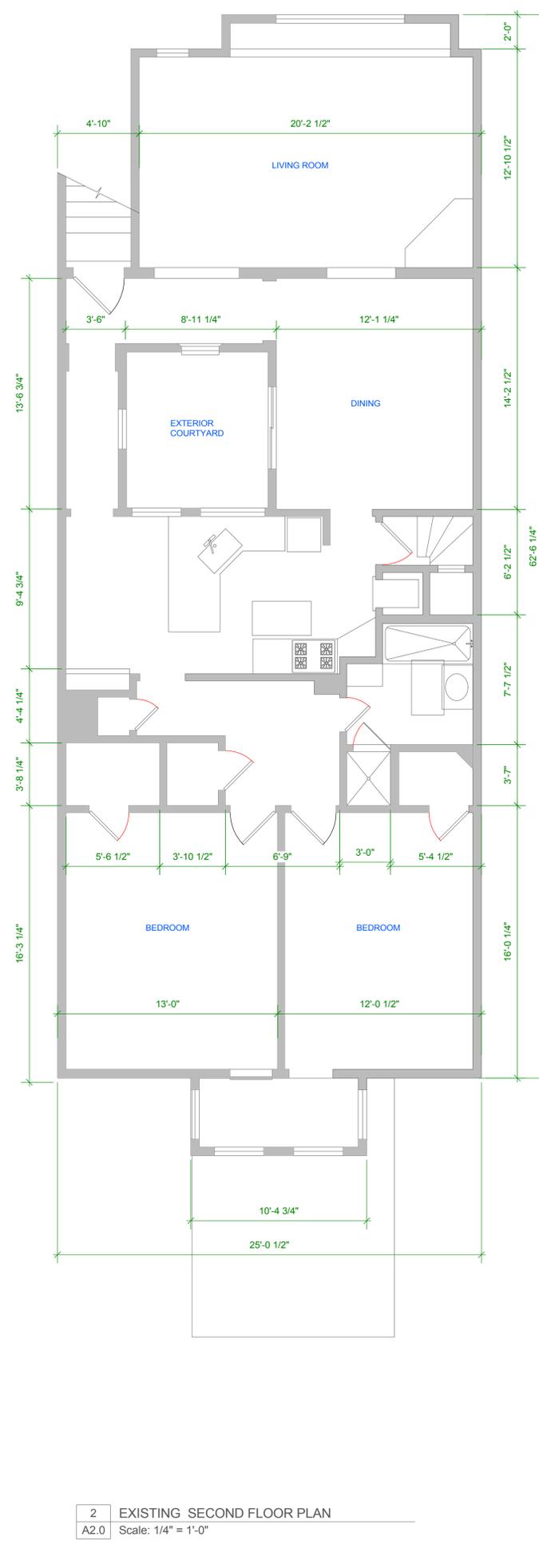
A1.0



ASSESSOR'S BLOCK 926

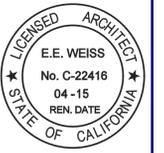


1 EXISTING FIRST FLOOR PLAN
A2.0 Scale: 1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
A2.0 Scale: 1/4" = 1'-0"

HISTORY	BY
PLANNING PERMIT 2013-0730-3158	



EXISTING FLOOR PLANS
SITE PERMIT SET

3305 BRODERICK
SAN FRANCISCO, CA 94123
ASSESSOR'S BLOCK: 926 LOT: 8

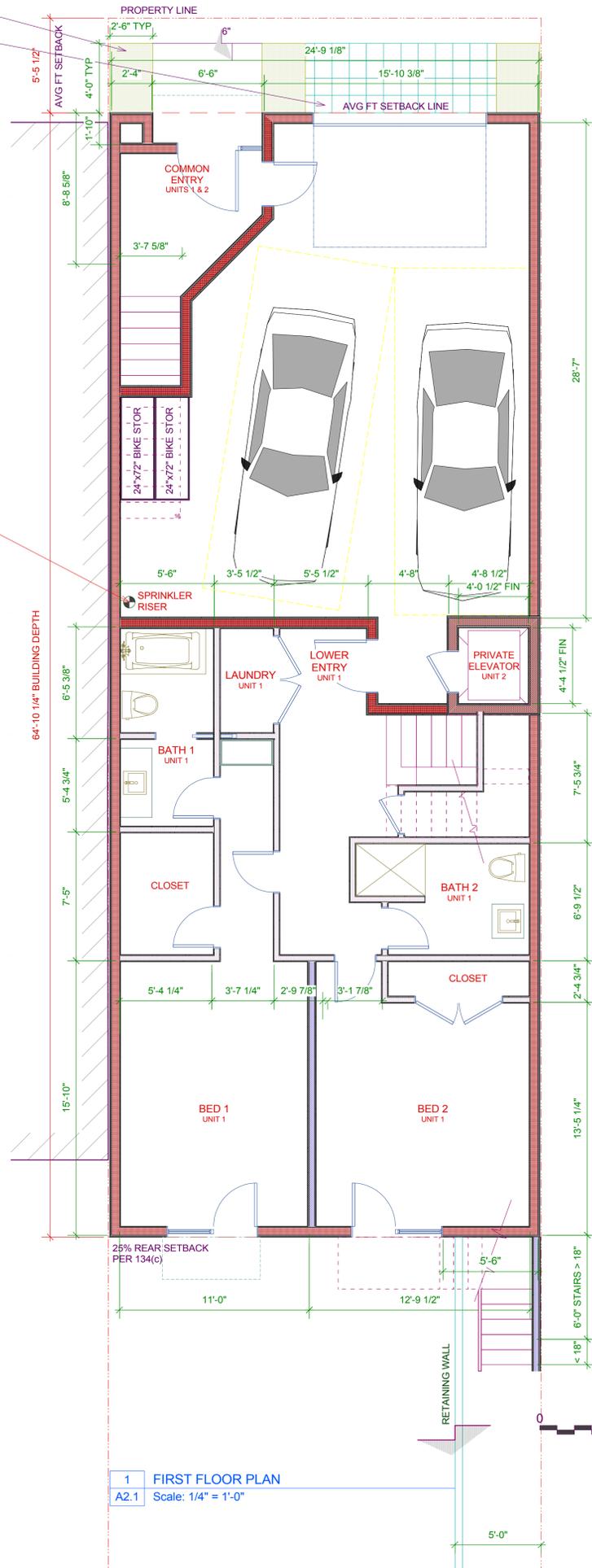
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16 DEC 13

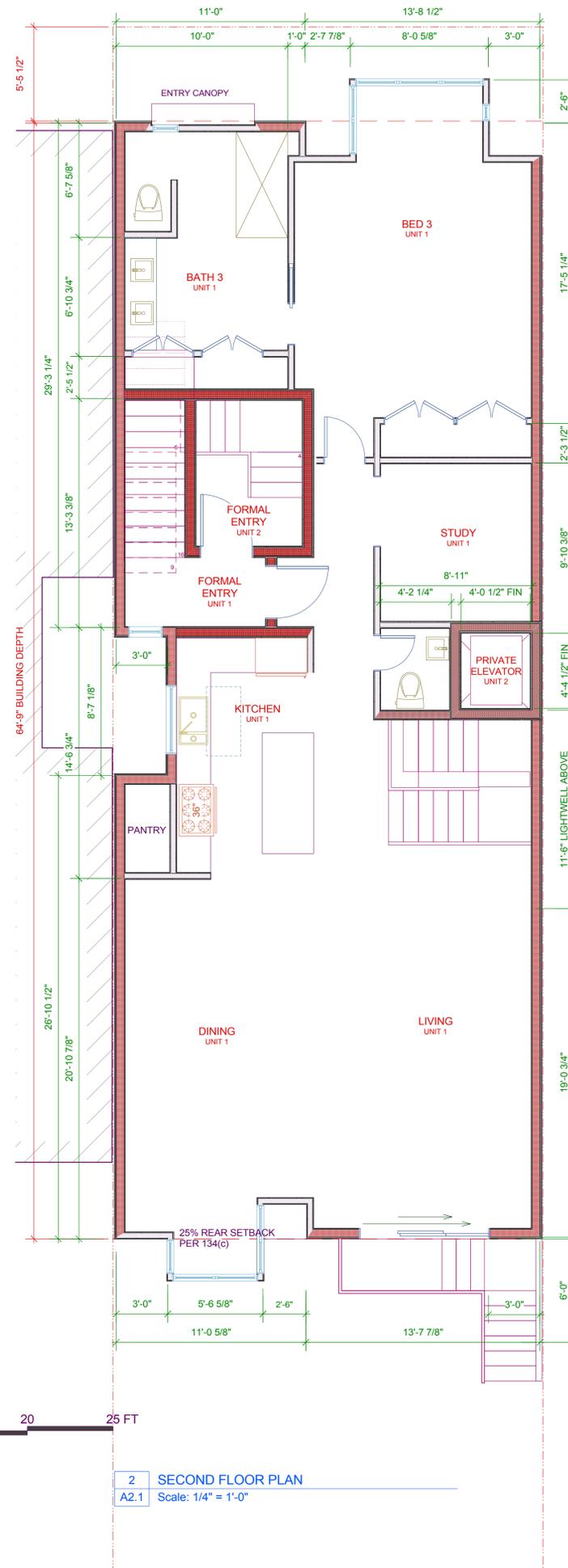
A2.0

FRONT SETBACK = 137sf
 (3) 30"x48" PLANTERS (FLUSH WITH GRADE)
 =3 x10sf PLANTER = 30sf LANDSCAPE AREA
 20% OF 137 = 27.5 sf. AREA COMPLIES
 4' x 11' PERMEABLE PAVERS = 44sf
 30sf + 44sf = 74sf PERMEABLE IN SETBACK
 50% OF 137 = 68.5sf AREA COMPLIES

FIRE SPRINKLER RISER LOCATION; RUN
 SPRINKLER MAIN UNDER SLAB.
 PROTECT WITH BOLLARD(S)



1 FIRST FLOOR PLAN
 A2.1 Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
 A2.1 Scale: 1/4" = 1'-0"

- WALL SCHEDULE**
- NEW 2x6 ONE-HOUR EXT WALL: 5/8" TYPE 'X' GWB ON INTERIOR, 5/8" GYP SHEATHING OVER STUDS, BUILDING PAPER OVER GYP SHEATHING, EXT T&G P.T. PLYWOOD PER STRUCTURAL, "Z" FLASHING AT HORIZONTAL JOINTS, ADDITIONAL FINISH OVER EXT PLY WHERE PLY IS VISIBLE. **CBC ITEM 15-1.13**
 - NEW 2x6 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS **CBC ITEM 15-1.12**
 - NEW 2x6 TWO-HOUR INT SOUND WALLS: STAGGER 2x4 STUDS ON 2x6 PLATES, SOUND INSUL IN ALL VOIDS, (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS. **CBC ITEM 14-1.5**
 - NEW 2x6 ONE-HOUR INT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS **CBC ITEM 14-1.3**
 - NEW 2x4 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS **CBC ITEM 14-1.5**
 - NEW 2x4 ONE-HOUR INT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS **CBC ITEM 14-1.3**
 - NEW 2x4 ONE-HOUR EXT PARAPET: 30" MIN. WALL AT ROOFS, 42" AT DECKS, WITHIN 60" OF PROPERTY LINE, ONE LAYER 5/8" TYPE 'X' SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL, EXTERIOR FINISHES WHERE PLY IS EXPOSED, NON-COMBUSTIBLE FINISH TOP 18" **CBC ITEM 15-1.1**

HISTORY	BY
PLANNING PERMIT 2013-0730-3165	



FIRST & SECOND FLOOR PLANS
SITE PERMIT SET

3305 BRODERICK
 SAN FRANCISCO, CA 94123
 ASSESSOR'S BLOCK: 926 LOT 8

PRINTED ON RECYCLED PAPER

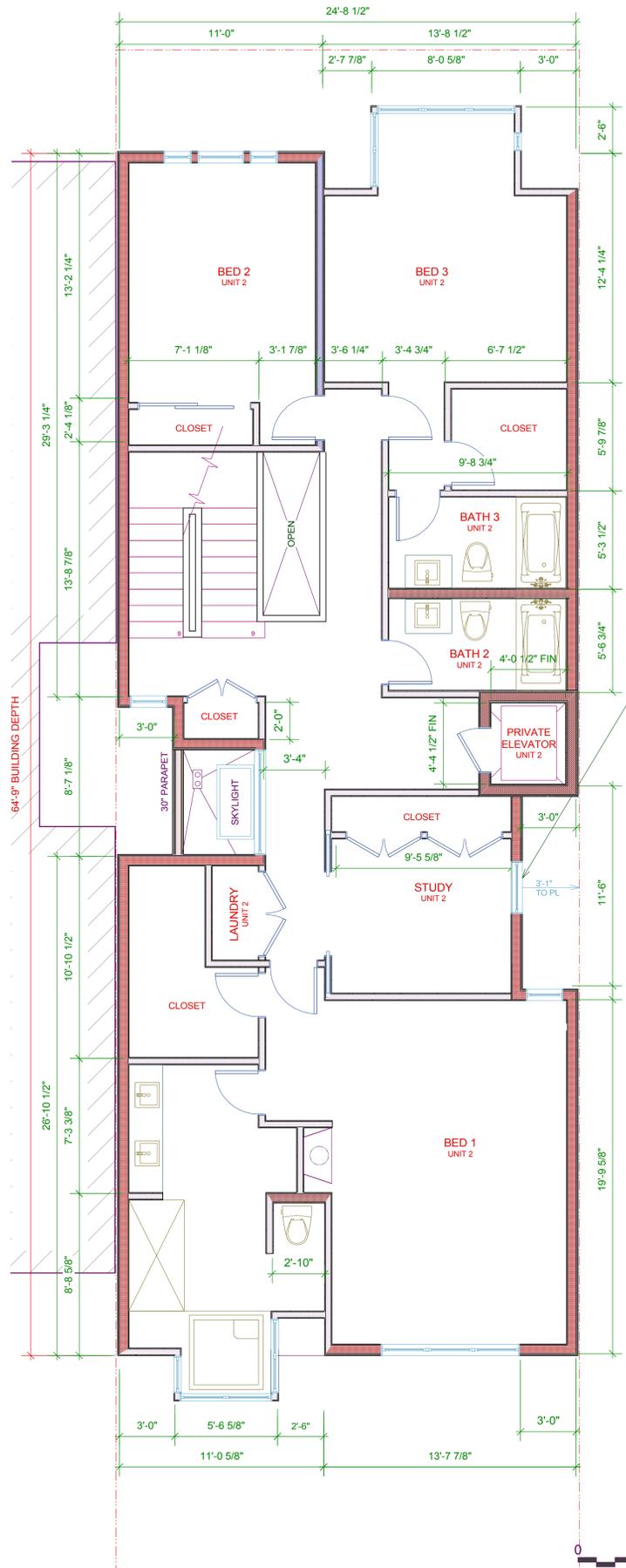
HISTORY	BY
PLANNING PERMIT 2013-0720-3165	



THIRD & FOURTH FLOOR PLANS
SITE PERMIT SET

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SAN FRANCISCO, CA 94123
ASSESSOR'S BLOCK: 926 LOT 8

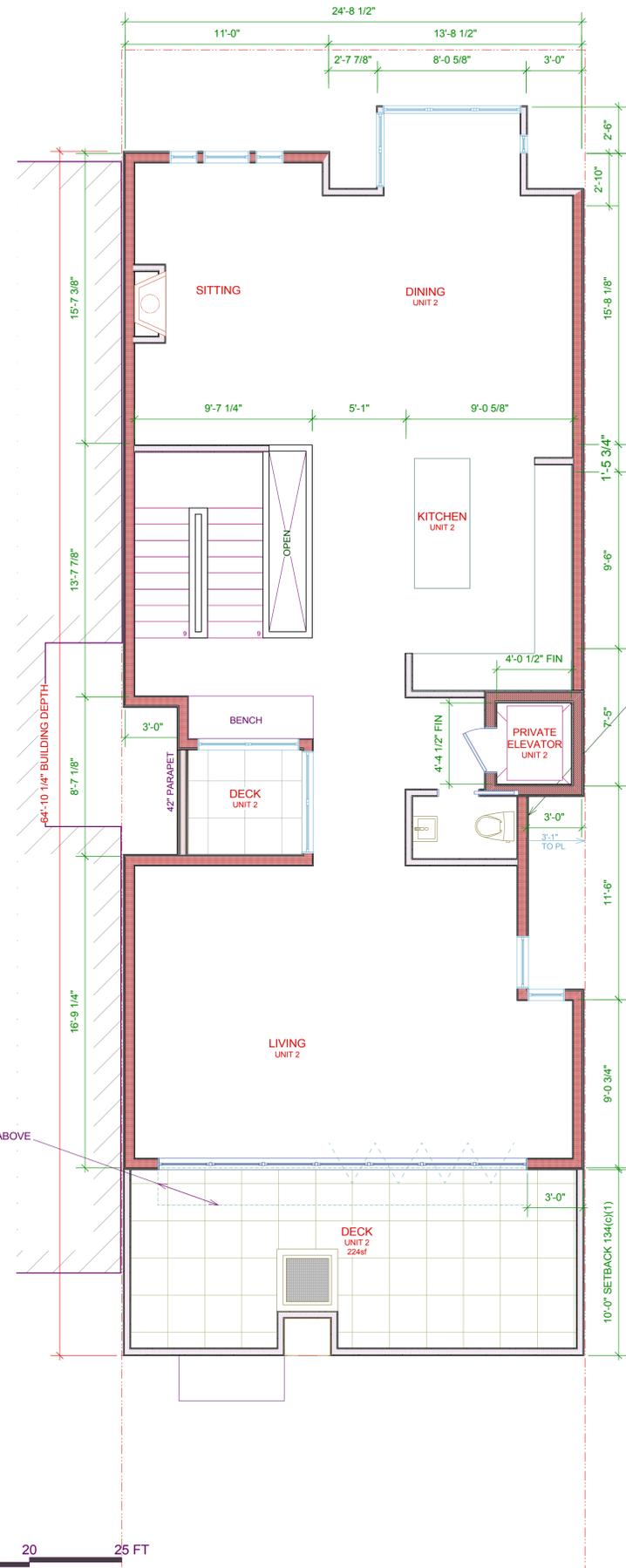
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16 DEC 13
A2.2



2'-10 X 4'-6 WINDOW = 13 sf
10'-3" X 8'-6" = 13.5 SF
WINDOW COMPLIES; LESS THAN
15% OF WALL AREA AND MORE
THAN 36" FROM PROPERTY LINE

24" DEEP SUN SHADE ABOVE

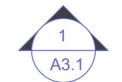
1 THIRD FLOOR PLAN
A2.2 Scale: 1/4" = 1'-0"



2'-10 X 4'-6 WINDOW = 13 sf
10'-3" X 8'-6" = 13.5 SF
WINDOW COMPLIES; LESS THAN
15% OF WALL AREA AND MORE
THAN 36" FROM PROPERTY LINE

- WALL SCHEDULE**
- NEW 2x6 ONE-HOUR EXT WALL: 5/8" TYPE 'X' GWB ON INTERIOR, 5/8" GYP SHEATHING OVER STUDS, BUILDING PAPER OVER GYP SHEATHING, EXT T&G P.T. PLYWOOD PER STRUCTURAL, 1/2" FLASHING AT HORIZONTAL JOINTS, ADDITIONAL FINISH OVER EXT PLY WHERE PLY IS VISIBLE. **CBC ITEM 15-1.13**
 - NEW 2x6 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS **CBC ITEM 15-1.12**
 - NEW 2x6 TWO-HOUR INT SOUND WALLS: STAGGER 2x4 STUDS ON 2x6 PLATES, SOUND INSUL IN ALL VOIDS, (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS. **CBC ITEM 14-1.5**
 - NEW 2x6 ONE-HOUR INT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS **CBC ITEM 14-1.3**
 - NEW 2x4 TWO-HOUR INT WALLS: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS **CBC ITEM 14-1.5**
 - NEW 2x4 ONE-HOUR INT WALLS: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS **CBC ITEM 14-1.3**
 - NEW 2x4 ONE-HOUR EXT PARAPET: 30" MIN. WALL AT ROOFS, 42" AT DECKS, WITHIN 60" OF PROPERTY LINE, ONE LAYER 5/8" TYPE 'X' SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL, EXTERIOR FINISHES WHERE PLY IS EXPOSED, NON-COMBUSTIBLE FINISH TOP 18" **CBC ITEM 15-1.1**

2 FOURTH FLOOR PLAN
A2.2 Scale: 1/4" = 1'-0"



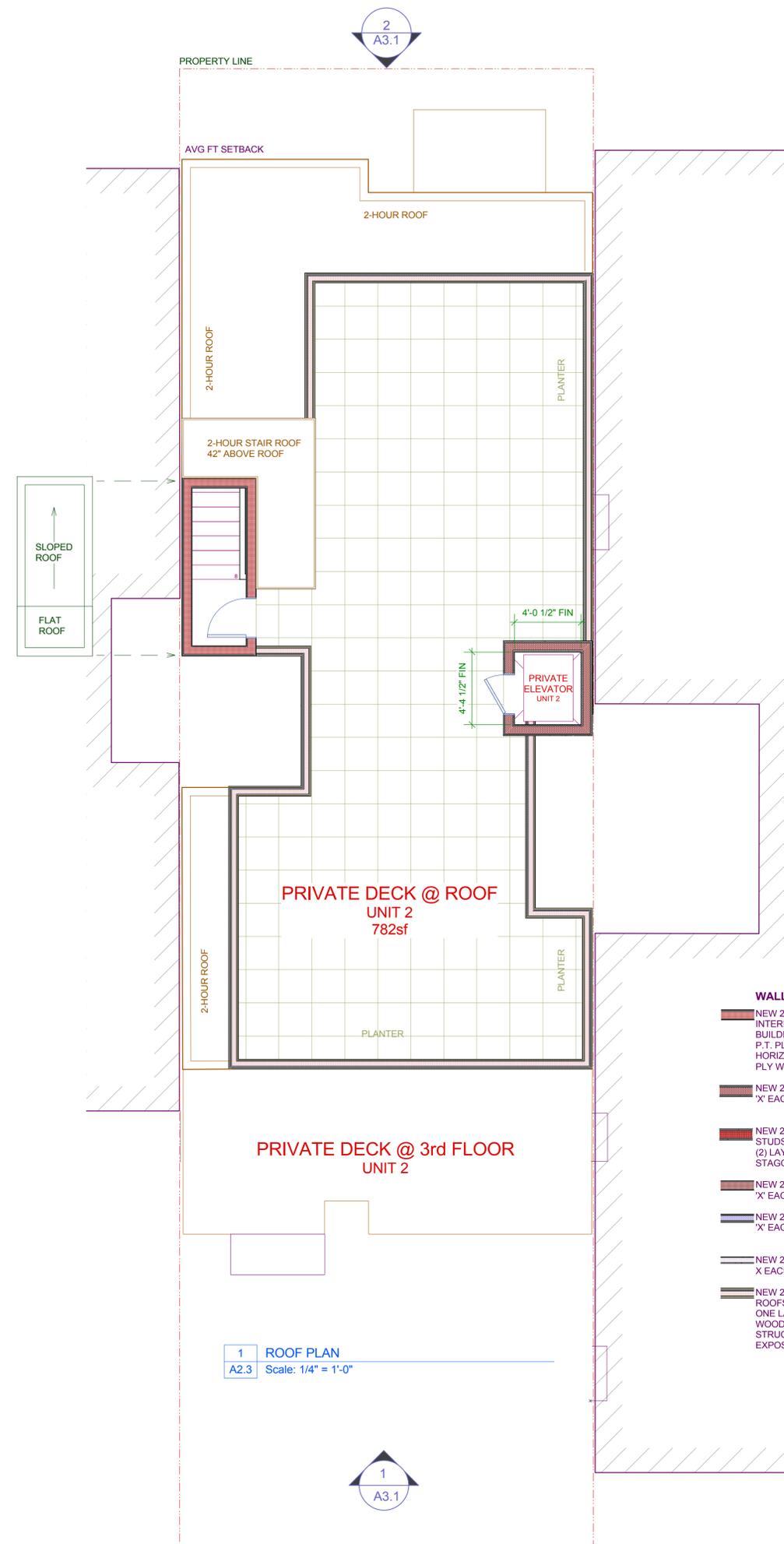
HISTORY	BY
PLANNING PERMIT 2013-0720-3165	



ROOF PLANS
SITE PERMIT SET

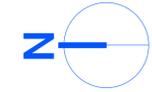
3305 BRODERICK
SAN FRANCISCO, CA 94123
ASSESSOR'S BLOCK: 926 LOT: 8

Date: 5/5/14
Time: 12:19:28 PM
16 DEC 13
A2.3



- WALL SCHEDULE**
- NEW 2x6 **ONE-HOUR EXT WALL**: 5/8" TYPE 'X' GWB ON INTERIOR, 5/8" GYP SHEATHING OVER STUDS, BUILDING PAPER OVER GYP SHEATHING, EXT T&G P.T. PLYWOOD PER STRUCTURAL, 'Z' FLASHING AT HORIZONTAL JOINTS, ADDITIONAL FINISH OVER EXT PLY WHERE PLY IS VISIBLE. **CBC ITEM 15-1.13**
 - NEW 2x6 **TWO-HOUR INT WALLS**: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS **CBC ITEM 15-1.12**
 - NEW 2x6 **TWO-HOUR INT SOUND WALLS**: STAGGER 2x4 STUDS ON 2x6 PLATES, SOUND INSUL IN ALL VOIDS, (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS. **CBC ITEM 14-1.5**
 - NEW 2x6 **ONE-HOUR INT WALLS**: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS **CBC ITEM 14-1.3**
 - NEW 2x4 **TWO-HOUR INT WALLS**: (2) LAYERS 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS; STAGGER SEAMS **CBC ITEM 14-1.5**
 - NEW 2x4 **ONE-HOUR INT WALLS**: ONE LAYER 5/8" TYPE 'X' EACH SIDE OF WOOD STUDS **CBC ITEM 14-1.3**
 - NEW 2x4 **ONE-HOUR EXT PARAPET**: 30" MIN. WALL AT ROOFS, 42" AT DECKS, WITHIN 60" OF PROPERTY LINE, ONE LAYER 5/8" TYPE 'X' SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL, EXTERIOR FINISHES WHERE PLY IS EXPOSED, NON-COMBUSTIBLE FINISH TOP 18" **CBC ITEM 15-1.1**

1 ROOF PLAN
A2.3 Scale: 1/4" = 1'-0"



HISTORY	BY
PLANNING PERMIT 2013-0720-3165	



SITE PHOTOS
SITE PERMIT SET

3305 BRODERICK
SAN FRANCISCO, CA 94123
ASSESSOR'S BLOCK: 926 LOT:8

Date: 5/5/14
Time: 12:19:28 PM

16 DEC 13

A3.0

SUBJECT PROPERTY
3305 BRODERICK



1: BRODERICK STREET EAST BLOCK FACE



2: BRODERICK STREET EAST BLOCK FACE



3: BRODERICK STREET WEST BLOCK FACE



4: BRODERICK STREET WEST BLOCK FACE



5: ADAJCENT PROPERTY
3305 BRODERICK
REAR YARD



6: SUBJECT PROPERTY
3305 BRODERICK
REAR YARD



7: ADAJCENT PROPERTY
3305 BRODERICK
REAR YARD

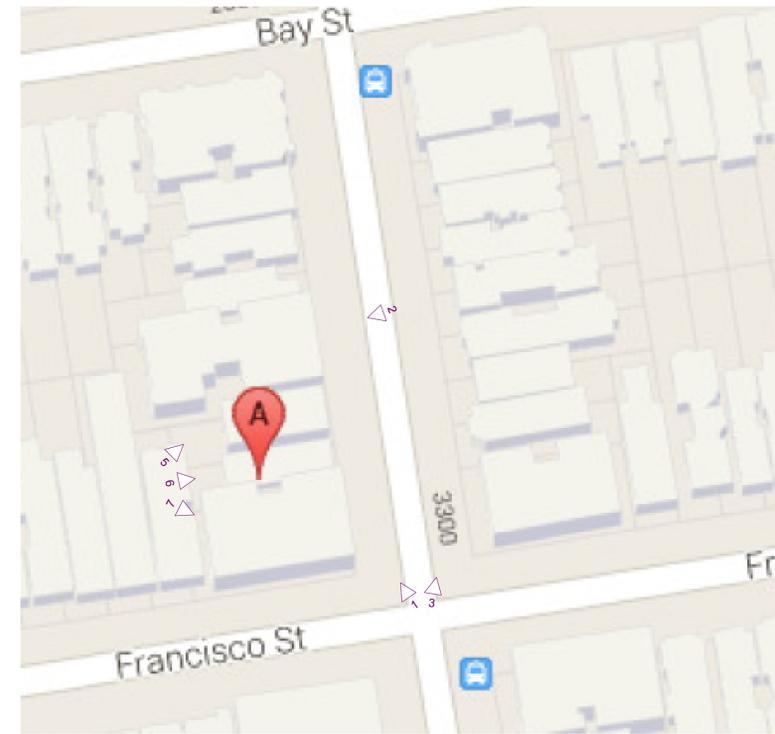
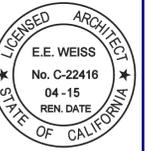


PHOTO MAP

HISTORY	BY
PLANNING PERMIT 2013-0730-3165	



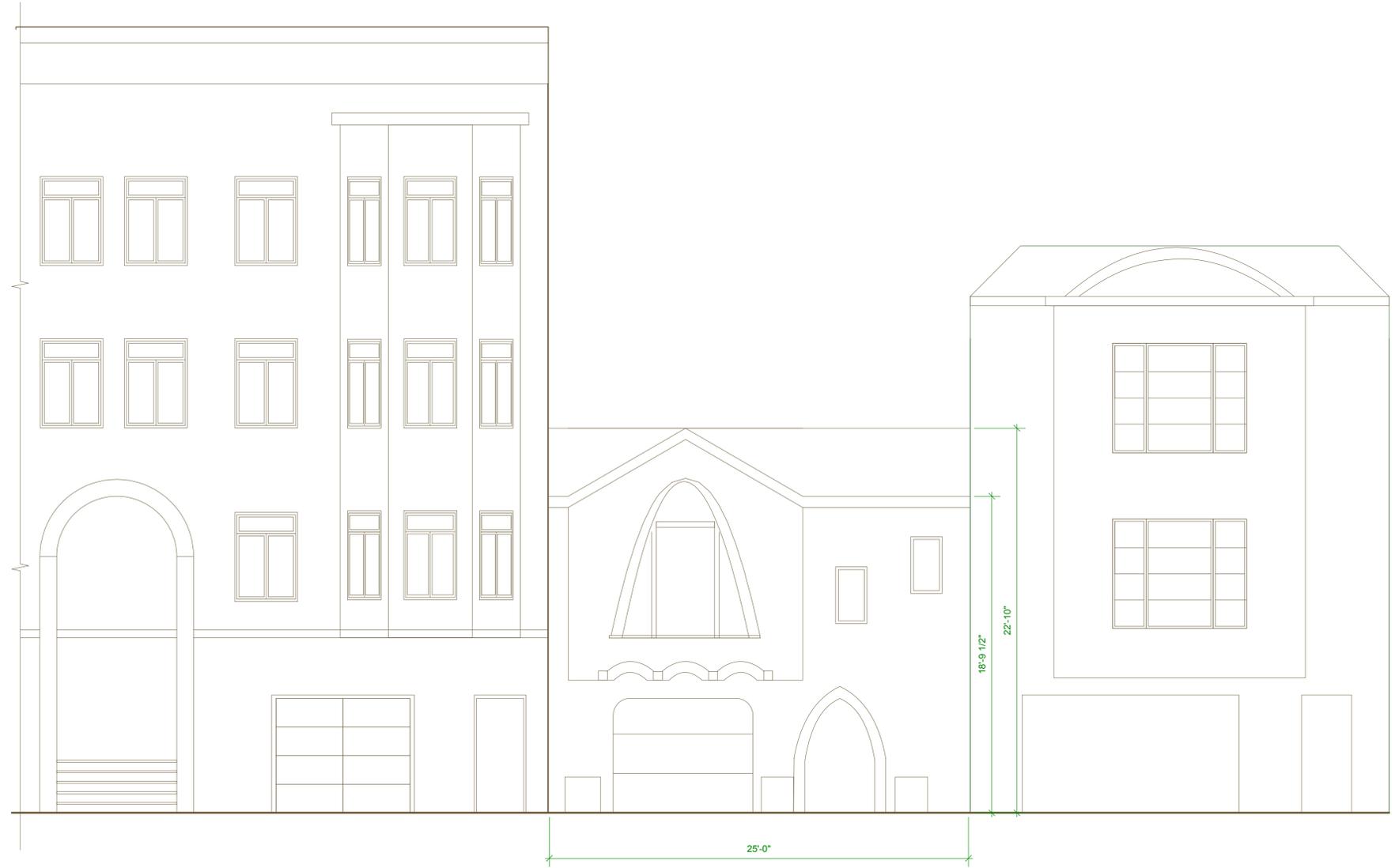
EXISTING FRONT ELEVATIONS
 SITE PERMIT SET

3305 BRODERICK
 SAN FRANCISCO, CA 94123
 ASSESSOR'S BLOCK: 926 LOT 8

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 16 DEC 13
A3.01

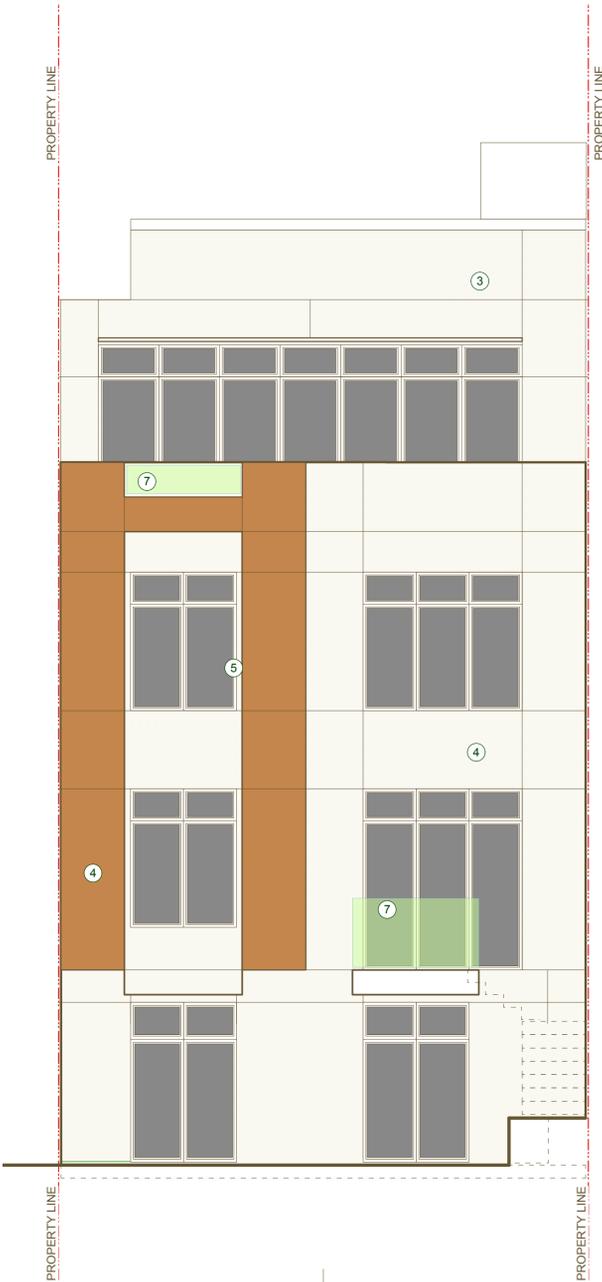


EXISTING PROPERTY



1 EXISTING (STREET) ELEVATION
A3.01 Scale: 1/4" = 1'-0"

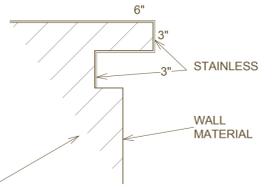
- FINISH SCHEDULE:**
- ① WOOD SIDING
 - ② LIMESTONE VENEER
 - ③ STAINLESS OR COPPER FLASHING
 - ④ STUCCO: SMOOTH TROWEL PLASTER
 - ⑤ WINDOWS AND DOORS; BRONZE ALUMINUM (OR PAINTED WOOD)
 - ⑥ SOLID RAIL
 - ⑦ GLASS RAIL
 - ⑧ WOOD DOOR
 - ⑨ PT BLIND PROPERTY LINE WALL
 - ⑩ PLANTER
 - ⑪ PAINTED FIRE RESISTANT SIDING



1 WEST ELEVATION
A3.1 Scale: 1/4" = 1'-0"



2 EAST (STREET) ELEVATION
A3.1 Scale: 1/4" = 1'-0"



STAINLESS STEEL CORNICE; SECTION NOT TO SCALE

BAY WINDOW CALCULATION:
2'-6" + 8'-0" + 2'-6" x 31' = 403sf
50% = 202sf GLAZING REQUIRED
1/3 202sf = 67sf AT SIDE OF BAY REQ.
6'-6" + 6'-6" + 7'-6" VERTICAL GLAZING x
2'-6" + 12" HORIZONTAL GLAZING =
72sf SIDE GLAZING 72>67; BAY COMPLIES

HISTORY	BY
PLANNING PERMIT 2013-0720-3165	



FRONT & REAR ELEVATIONS

SITE PERMIT SET

3305 BRODERICK

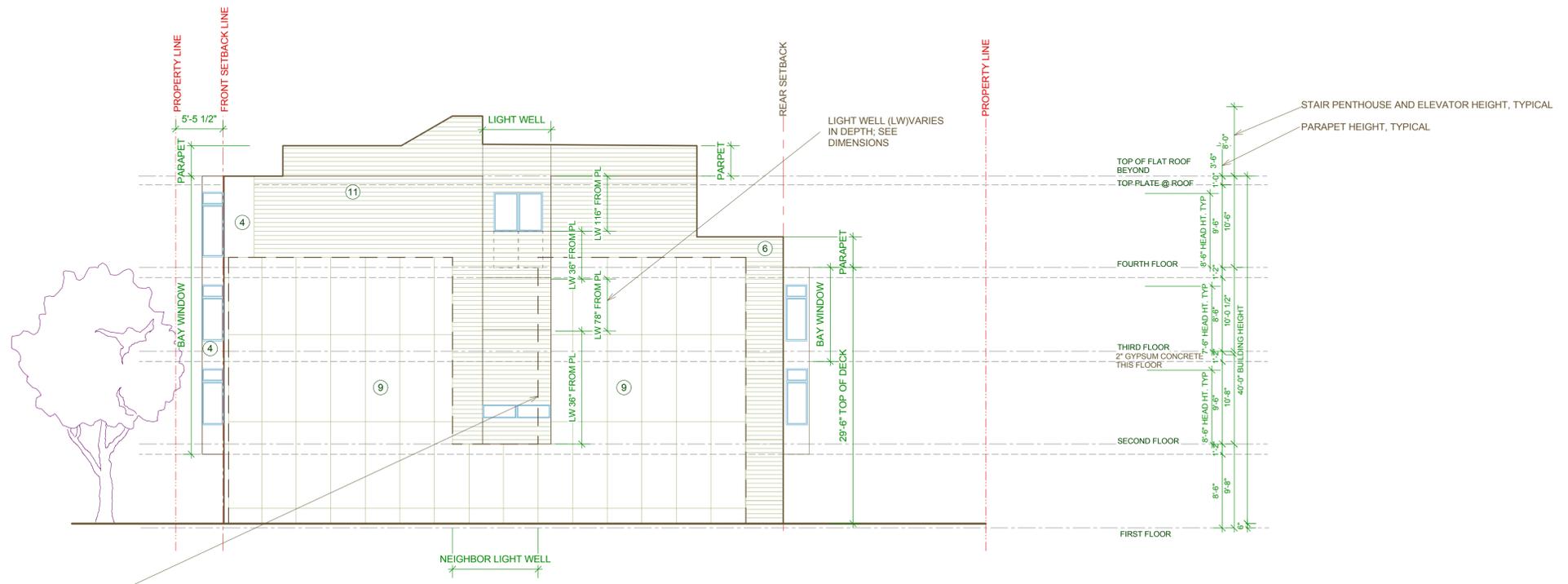
SAN FRANCISCO, CA 94123
ASSESSOR'S BLOCK: 926 LOT 8

Date: 5/5/14
Time: 12:19:28 PM

16 DEC 13

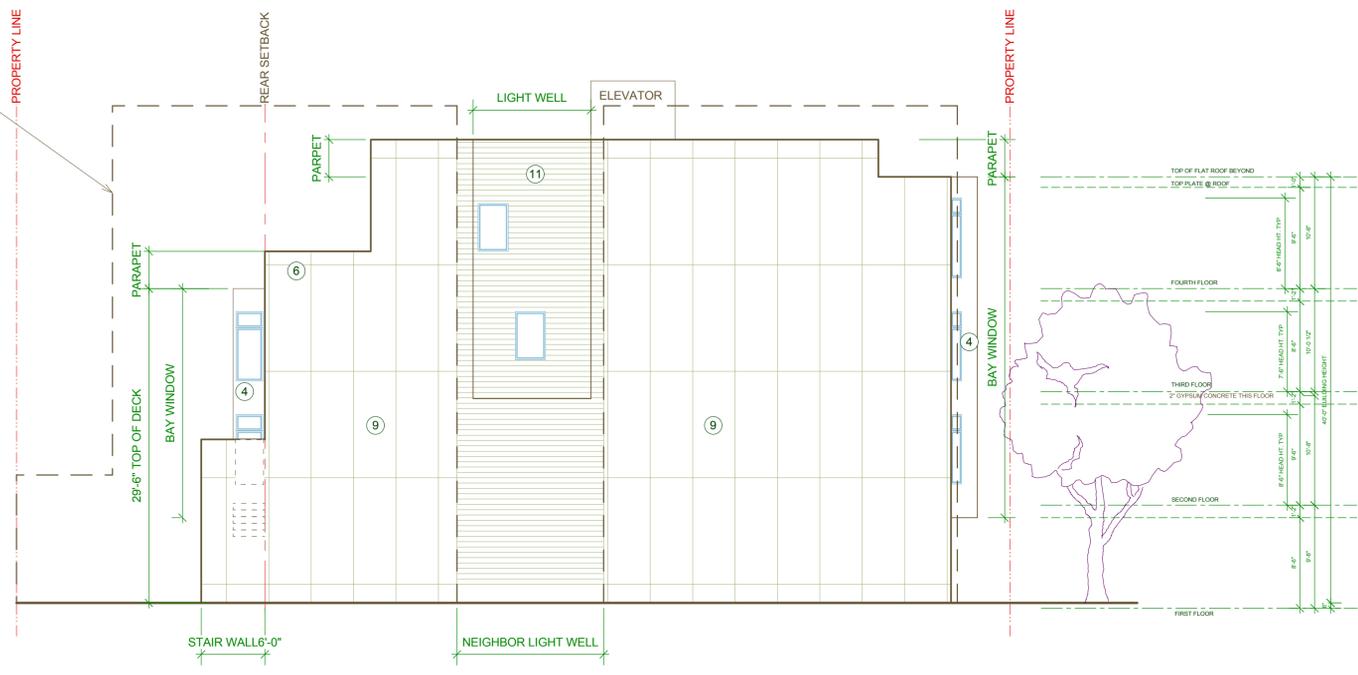
A3.1

- FINISH SCHEDULE:**
- 1 T&G WOOD
 - 2 BRICK VENEER
 - 3 PAINTED GALVANIZED FLASHING
 - 4 STUCCO
 - 5 WINDOWS AND DOORS; BRONZE ALUMINUM
 - 6 SOLID RAIL
 - 7 GLASS RAIL
 - 8 METAL PANEL
 - 9 PT BLIND PROPERTY LINE WALL
 - 10 PLANTER
 - 11 PAINTED FIRE RESISTANT SIDING

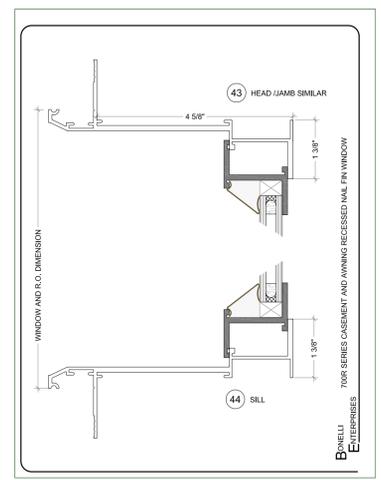


2 NORTH ELEVATION
A3.2 Scale: 1/8" = 1'-0"

OUTLINE OF NEIGHBORING BUILDING SHOWN DASHED

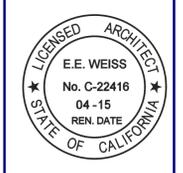


1 SOUTH ELEVATION
A3.2 Scale: 1/8" = 1'-0"



3 HIGH PROFILE WINDOW SECTION
A3.2

HISTORY	BY
PLANNING PERMIT 2013-0720-3165	



SIDE ELEVATIONS
SITE PERMIT SET

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A3.2