



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JULY 17, 2014

Date: July 10, 2014
Case No.: 2013.1375 EC
Project Address: 115 TELEGRAPH HILL BLVD. (AKA 363 FILBERT STREET)
Zoning: RH-3 (Residential House, Three-Family)
Telegraph Hill/North Beach Residential Special Use District
40-X Height and Bulk District
Block/Lot: 0105/065
Project Sponsor: Jeremy Ricks
735 Montgomery Street, Suite 350
San Francisco, CA 94111
Staff Contact: Elizabeth Watty – (415) 558-6620
Elizabeth.Watty@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The Project Sponsor proposes to construct a 17,645 sq. ft. three-unit residential building with four off-street parking spaces on a lot that contains one existing dwelling-unit (a vacant cottage in the southeast corner of the lot). The Project also includes the renovation and restoration of the cottage located at the rear of the property with no expansion of the existing building envelope.

The new building will be designed to appear as three single-family dwellings, each approximately 40-feet tall that will step down the hill relative to the naturally sloping topography of Telegraph Hill. Each unit – including the cottage – will have one off-street parking space in a shared 3,742 sq. ft. below-grade garage/basement, accessed from one garage door that will be located at the top of the Filbert Street stairs along Telegraph Hill Boulevard. The cottage in the rear would be accessed via a designated pedestrian path between Unit #1 and #2, as well as through the garage.

The three units will each occupy between 25'-to-27' of frontage, each appearing as single-family dwellings. Each unit will contain a green roof deck featuring sustainable native plants, as well as extensive landscaping.

SITE DESCRIPTION AND PRESENT USE

The Property is a 7,517 square-foot lot that is steeply sloping; in 1993, three lots were merged into the one large lot in existence today. It once contained five buildings, but four of the five buildings were demolished circa 1997. The lot currently contains a one-story, one-unit cottage that was constructed in 1906; concrete retaining walls, concrete and wood stairways, and fencing. The lot has been vacant – with

the exception of the vacant cottage – since 1997. The Property occupies 82’-6” of frontage, including 68’ along the steps on Filbert Street.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project is located on the south side of Telegraph Hill Boulevard, between Montgomery, and Kearny Streets on Telegraph Hill near Coit Tower. On this portion of the hill, Filbert Street consists of a set of concrete public stairs, but provides no vehicle throughway. Telegraph Hill Blvd passes to the north of the Property, spiraling up to Coit Tower. The Property is in the North Beach neighborhood, and is located in an RH-3 Zoning District, towards the top of Telegraph Hill near Coit Tower. Properties in the immediate area typically consist of one-, two- and three-family dwellings. Buildings heights are varied, but typically range from two-to-four stories tall at the street, and are scaled at the street to respect the laterally-sloping topography of the hill. To the west is a two-story, two-unit building, and immediately to the east is a four-story, three-unit building.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 and 3 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	June 27, 2014	June 25, 2014	22 days
Posted Notice	20 days	June 27, 2014	June 27, 2014	20 days
Mailed Notice	10 days	July 07, 2014	June 25, 2014	22 days

The proposal requires a Section 311-neighborhood notification, which was conducted in conjunction with the Conditional Use Authorization process.

PUBLIC COMMENT

- The Department has received 32 letters of support, and 36 letters in opposition to the Project (including one from the Telegraph Hill Dwellers).

ISSUES AND OTHER CONSIDERATIONS

- The Housing Element of the General Plan encourages construction of new housing to accommodate families with children. Furthermore, the City is currently experiencing a housing crisis due in part to a shortage of housing supply. The proposed Project creates three new family-sized units on an in-fill lot in a centrally-located part of the City, without the demolition of any existing housing.
- The Project is compatible with the surrounding residential properties in terms of scale and massing, and includes a well-designed vernacular that uses high-quality materials.

- Due to the central location of the Property and its close proximity to public transit, the off-street parking will likely be used more as vehicle storage, rather than for daily commuter parking.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant Conditional Use Authorization for density and parking to allow a total of four units with four off-street parking spaces in the RH-3 (Residential House, Three-Family) Zoning District, Telegraph Hill – North Beach Residential Special Use District, and a 40-X Height and Bulk, pursuant to Planning Code Sections 151, 151.1, 209.1(h), 249.49, and 303.

BASIS FOR RECOMMENDATION

- The Project Sponsor has agreed to several additional conditions of approval to address some of the neighborhood's concerns about the potential for pedestrian conflicts with the proposed garage and the overall effects of construction.
- The Project is a well-designed residential in-fill development in an established residential neighborhood.
- The scale and mass of the three new dwelling-units are contextual and compatible with the surrounding neighborhood character.
- The creation of new family-sized housing on vacant land in an established residential neighborhood is desirable given the City's current housing crisis.
- The parking for the development is accessed through one minimal curb cut and garage door, and will be stored in a shared, subterranean basement garage that is not visible from the street.
- The Project is consistent with adopted City policy and the General Plan.
- The Project is Code-complying and meets all other applicable requirements of the Planning Code.
- The Project is desirable for, and compatible with the surrounding neighborhood.

RECOMMENDATION: Approval with Conditions
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Attachments:

Residential Pipeline
Environmental Determination
Parcel Map
Sanborn Map
Zoning Map
Aerial Photographs
Public Correspondence (see also Project Sponsor Submittal)
Project Sponsor Submittal, including:

- Sponsor's Brief
- Correspondence in Support
- Site Photographs
- Reduced Plans
- Renderings

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Parcel Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Sanborn Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Aerial Photo | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Context Photos | <input checked="" type="checkbox"/> Residential Pipeline |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

EW
Planner's Initials

EW: G:\Documents\PLANNER WORK\CUs\115 Telegraph Hill\PC Documents\Executive Summary.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other - Street Tree In-Lieu Fee (Sec. 428)

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Planning Commission Draft Motion HEARING DATE: JULY 17, 2014

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 151, 151.1, 209.1(h), 249.49, AND 303, TO ALLOW THE CONSTRUCTION OF THREE NEW DWELLING UNITS (FOR A LOT TOTAL OF FOUR UNITS) WITH FOUR OFF-STREET PARKING SPACES WITHIN THE RH-3 (RESIDENTIAL HOUSE, THREE-FAMILY) ZONING DISTRICT, TELEGRAPH HILL – NORTH BEACH RESIDENTIAL SPECIAL USE DISTRICT, AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On August 21, 2013, Daniel Frattin, attorney for Jeremy Ricks (hereinafter “Project Sponsor”), filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 151, 151.1, 209.1(h), 249.49, and 303, to allow the construction of three new dwelling-units above four off-street parking spaces on a lot that contains one existing unit within the RH-3 (Residential House, Three-Family) Zoning District, Telegraph Hill – North Beach Residential Special Use District, and a 40-X Height and Bulk District.

On July 17, 2014, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.1375C.

On June 10, 2014, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and 3 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.1375CE, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Property is a 7,517 square-foot lot that is steeply sloping; in 1993, three lots were merged into the one large lot in existence today. It once contained five buildings, but four of the five buildings were demolished circa 1997. The lot currently contains a one-story cottage that was constructed in 1906, concrete retaining walls, concrete and wood stairways, and fencing. The lot has been vacant – with the exception of the vacant cottage – since 1997. In the early 1990s, the Bureau of Building Inspection declared the cottage "unsound" and it is currently uninhabitable. The Property occupies 82'-6" of frontage, including 68' along the Filbert Street steps.
3. **Surrounding Properties and Neighborhood.** The Project is located on the south side of Telegraph Hill Boulevard, between Montgomery, and Kearny Streets on Telegraph Hill near Coit Tower. On this portion of the hill, Filbert Street consists of a set of concrete public stairs, but provides no vehicle throughway. Telegraph Hill Blvd passes to the north of the Property, spiraling up to Coit Tower. The Property is in the North Beach neighborhood, and is located in an RH-3 Zoning District, towards the top of Telegraph Hill near Coit Tower. Properties in the immediate area typically consist of one-, two- and three-family dwellings. Buildings heights are varied, but typically range from two-to-four stories tall at the street, and are scaled at the street to respect the laterally-sloping topography of the hill. To the west is a two-story, two-unit building, and immediately to the east is a four-story, three-unit building.
4. **Project Description.** The Project Sponsor proposes to construct a 17,645 sq. ft. three-unit residential building with four-off-street parking spaces on a lot that contains one existing dwelling-unit (a vacant cottage in the southeast corner of the lot). The Project also includes the renovation and restoration of the cottage located at the rear of the property with no expansion of the existing building envelope.

The new building will be designed to appear as three single-family dwellings, each approximately 40-feet tall that will step down the hill relative to the naturally sloping topography of Telegraph Hill. Each unit – including the cottage – will have one off-street parking space in a shared 3,742 sq. ft. below-grade garage/basement, accessed from one garage door that will be located at the top of the Filbert Street stairs along Telegraph Hill Boulevard. The cottage in the rear would be accessed via a designated pedestrian path between Unit #1 and #2, as well as through the garage.

The three units will each occupy between 25'-to-27' of frontage, each appearing as single-family dwellings. Each unit will contain a green roof deck featuring sustainable native plants, as well as extensive landscaping.

5. **Public Comment.** The Department has received 32 letters of support, and 36 letters in opposition to the Project (including one from the Telegraph Hill Dwellers).
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Density.** Planning Code Section 209.1(h) states that a density ratio up to one dwelling unit for each 1,000 square feet of lot area is permitted in the RH-3 Zoning District, if authorized as a Conditional Use by the Planning Commission.

The Property contains 7,517 sq. ft. of lot area and would permit up to seven units with a Conditional Use Authorization. The Project would result in a lot total of four units, and thus is permitted with a Conditional Use Authorization, which is justified in more detail through Section 7, below.

- B. **Rear Yard Requirement.** Planning Code Section 134 states that the minimum rear yard depth shall be equal to 45 percent of the total depth of a lot in which it is situated, and based on conditions on the adjacent properties, it may be reduced up to 25 percent of the total depth of the lot, based on the average depths of adjacent buildings.

The Project will be constructed within buildable area of the lot, maintaining a 45 percent rear yard. The existing rear yard cottage is located entirely within the required rear yard; although it will be repaired and remodeled, it will not be expanded, and therefore is considered an existing legal noncomplying structure. The Project complies with Planning Code Section 134.

- C. **Open Space.** Planning Code Section 135 requires 100 square-feet of usable open space per dwelling unit in the RH-3 Zoning District if privately accessible, or 133 square-feet per unit if the space is commonly accessible.

The Project satisfies the residential open space requirements through a private 132 square-foot deck for Unit #1, a private 300 square-foot deck for Unit #2, a 252 square-foot deck for Unit #3, and through a commonly-accessible 2,266 square-foot, terraced rear yard for the existing rear yard cottage. The three

new buildings also contain privately-accessible roof decks. The Project complies with the open space requirements of Planning Code Section 135.

- D. **Street Trees.** Planning Code Section 138.1 requires the provision of street trees with the addition of a new dwelling unit. When street trees are required, one 24-inch box size tree is required for each 20 feet of lot frontage along a street, with any remaining fraction of 10 feet or more of frontage requiring an additional tree. Such trees shall be located either within a setback area on the lot or within the public right-of-way along such lot.

The Property currently contains two street trees along the 82'-6" property frontage, located between the Filbert Street stairs and Telegraph Hill Boulevard. The Property requires installation of 4 trees; however, according to the Department of Public Works, installation of the additional two required street trees is infeasible. As such, the Project Sponsor will pay an in-lieu fee for two street trees.

- E. **Bird Safe Glazing.** Planning Code Section 139 allows residential buildings within R- Districts that are less than 45 feet in height and have an exposed facade comprised of less than 50% glass to be exempt from the Location-Related Glazing Standards outlined in Planning Code Section 139(c)(1).

The Property is located within 300-feet of an Urban Bird Refuge; however, the new buildings' exposed facades are comprised of less than unobstructed 50 percent glass, and are therefore exempt from meeting the Location-Related Glazing Standards outlined in Planning Code Section 139(c)(1). Unit #1's exposed façade is comprised of approximately 30 percent unobstructed glass; Unit #2's exposed façade is comprised of approximately 20.5 percent unobstructed glass; and Unit #3's exposed façade is comprised of approximately 17 percent unobstructed glass. Furthermore, the Project's rooftop glass railings are broken into glazed segments of less than 24 square feet and are thus not considered feature-related hazards.

- F. **Exposure.** Planning Code Section 140 requires that at least one qualifying room of every dwelling unit must face directly on an open area. The open area may be a street or alley, Code-compliant rear yard, or a qualifying open space.

The three new dwelling units will all face Telegraph Hill Boulevard, which is a qualifying street. The dwelling unit located within the existing legal noncomplying structure in the rear yard will face an open space between the buildings that meets the dimensional requirements of Planning Code Section 140(a)(2); the space is no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor. The Project complies with the dwelling unit exposure requirements of Planning Code Section 140.

- G. **Telegraph Hill – North Beach Residential Special Use District.** Planning Code Section 249.49 establishes the Telegraph Hill – North Beach Residential Special Use District (SUD). The purpose of this SUD, as it relates to new construction projects, is to regulate off-street parking in order to ensure that it does not significantly increase the level of automobile

traffic, increase pollution, or impair pedestrian use on narrow public rights-of-way in the District. Although the RH-3 Zoning District would typically require one parking space per dwelling unit (a one-to-one parking ratio), this SUD requires a Conditional Use, along with related findings outlined in Section 151.1(g), to achieve the same parking ratio.

The Project is located within the Telegraph Hill – North Beach Residential Special Use District. Since the Project proposes four off-street parking spaces, a Conditional Use Authorization is required.

Planning Code Sections 151.1(g) and 249.49 require the Planning Commission to make the following affirmative findings according to the uses to which the proposed parking is accessory, before approving residential off-street parking at a ratio of one parking space for each dwelling unit in the SUD.

Vehicle movement on or around the Project does not unduly impact pedestrian spaces or movement, transit service, bicycle movement, or the overall traffic movement in the district;

The Project is located in a low-density neighborhood, and includes four new parking spaces: one for each dwelling unit on the Property. All parking spaces will be located in a shared basement garage accessed from Telegraph Hill Boulevard. The addition of four new parking spaces on the Property is expected to have minimal effect on the overall traffic volumes and movement in the district. It will have minimal effect on any pedestrian spaces, transit or bicycle movement, due to the low volume of trips to-and-from the garage. There are several stop signs along Telegraph Hill Boulevard, including one located at its intersection with the Filbert Street walkway and stairs. This ensures that cars, including those moving in and out of the garage, will be traveling at slow speeds, thereby minimizing conflicts between vehicles and pedestrian, cyclists, and people using public transit.

Accommodating excess accessory parking does not degrade the overall urban design quality of the Project;

The four parking spaces will have no adverse effect on the overall urban design quality of the Project. The parking spaces will be located in a shared basement garage under the proposed structure, which is not readily visible from the public right-of-way. The garage will be accessed through Unit #1 from a driveway on Telegraph Hill Boulevard. The garage door will be powder coated dark steel to match the proposed window mullions, and will recede visually with the surrounding dark materials of the building. The building includes a concrete structural shell, with weathered steel and Corten steel panels to create warm highlights and reference the rustic nature of Historic Telegraph Hill. The Project also includes fixed wood louvers on the front façade. The garage door will be approximately 12-feet wide, which is in-keeping with the size of the garage doors found throughout the neighborhood, including on the adjacent two buildings to the east (one of which also abuts the Filbert Street walkway and stairs).

All above-grade parking is architecturally screened and lined with active uses according to the standards of Section 145.1, and the project sponsor is not requesting any exceptions or variances requiring such treatments elsewhere in this Code;

The Project includes a mechanical car lift that takes all cars down to a below-grade parking garage; there is no above-grade parking as part of this Project.

Excess accessory parking does not diminish the quality and viability of existing or planned streetscape enhancements.

The existing streetscape will be maintained and enhanced by the Project. No trees will be removed, and the parking will not diminish the viability of any street trees, or any other streetscape enhancements.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project is necessary and desirable because it will provide much needed family-sized in-fill housing in a residential neighborhood, on a lot that has been vacant (less for a small cottage at the rear of the lot) for over 10 years. The lot previously contained five buildings, but four of those five buildings were demolished in 1997. At present, the vacancy of the Property is a detriment to the neighborhood and creates a gap in the urban fabric that is built along the Filbert Street walkway and stairs. The vacant lot is visually inconsistent with the character of the surrounding private property, which features housing developments that relate to the topography of the hill. The Project is compatible with properties that abut a vehicular street, which typically include off-street parking. The Project will also incorporate landscaping to match the surrounding area, and create visual consistency in the neighborhood. As an area attracts a large number of tourists and visitors, the Project is a desirable improvement to the neighborhood over the existing vacant lot.

The Project will provide three new family-sized dwelling units, and will renovate an existing cottage that is in disrepair in order to make it suitable for occupancy. In-fill sites in developed residential neighborhoods, such as Telegraph Hill, should be developed with new housing.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The 7,517 square-foot Property is located in a relatively low-density area; the lot is large for the neighborhood. In 1993, three lots were merged into the one large lot in existence today. Prior to that merger, up to nine dwelling units would have been principally permitted (approvable without

a Conditional Use Authorization); now, only three units would be principally permitted, and four-to-seven units would be permitted with a Conditional Use Authorization.

This large vacant lot is an appropriate location for a three-unit in-fill development (for a total of four units on the lot). Due to the relatively low density development of the surrounding area, the Project will create housing at an appropriate scale in a desirable urban area without overcrowding the neighborhood. Although the three units are technically located within one building, they appear as three single-family dwellings, each with approximately 25-foot wide building facades that are located at the front property line, which is typical of residential properties in the surrounding area. The existing and proposed uses are consistent with the neighborhood uses, and the proposed design is compatible with the immediate vicinity.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Property is located in a relatively low-density area. The addition of three new dwelling units will have negligible adverse effect on traffic in the neighborhood, and it is anticipated that the Project will generate traffic volumes and patterns compatible with those of existing surrounding uses, particularly those properties with off-street parking. The Project will provide four off-street parking spaces in a below-grade basement garage, which will be sufficient to serve the residents at the property.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project consists of the construction of a new three-unit residential building with off-street parking, and the renovation of one existing cottage. The Project will comply with all City codes regarding construction hours, noise, and dust, and it will not produce, or include, any permanent uses that would emit noxious or offensive emissions such as noise, glare, dust and odor.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project will improve the exterior appearance of the Property by upgrading landscaping and creating an attractive, Code-compliant housing development. The Project will incorporate ample landscaping in planters at the front of the Property, and the area surrounding the new development will be landscaped to allow the development to blend into, and complement, the surrounding hillside. The Project will also incorporate green roof spaces so that when viewed from above, the Project will complement the character of Telegraph Hill and seamlessly blend into its surroundings.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with Objectives and Policies of the General Plan, as detailed below.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 2:

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.4:

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

The Project includes the renovation of the existing rear yard cottage, which is in poor condition, in order to make it suitable for occupancy.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project includes the renovation of the existing rear yard cottage, which is in poor condition, in order to make it suitable for occupancy, and includes the development of three new family-sized units.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTRICT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects the existing neighborhood character.

Policy 11.2:

Ensure implementation of acceptable design standards in project approvals.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

The Project includes a well-design renovation of the existing rear yard cottage, and includes new construction that is compatible with the surrounding scale of buildings at the street and the massing of adjacent buildings, as well as the architectural character of the surrounding neighborhood.

TRANSPORTATION ELEMENT

Objectives and Policies

OBJECTIVE 1:

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRANVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PART S OF THE REGION WHILE MAINTAINING THE HIGH QULAIITY LIVING ENVIRONMENT OF THE BAY AREA.

Policy 1.3:

Give priority to public transit and other alternatives to the private automotive as the means of meeting San Francisco's transportation needs, particularly those of commuters.

OBJECTIVE 2:

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.2:

Reduce pollution, noise and energy consumption.

The Project's central location to the City's downtown and its proximity to public transportation make it an ideal location for new family-sized housing. Residents will have a variety of options connecting them to the rest of the City and beyond. Due to the Property's central location, it is anticipated that residents will be able to commute to jobs and access much of San Francisco by transit, foot or bicycle; it is expected that the garage will be used primarily as vehicle storage.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.7:

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

Telegraph Hill is identified in the General Plan's Urban Design Element as an outstanding and unique area. The Special characteristics of the area are identified as the following:

- *A hilltop park with the highly visible green of trees from which Coit Tower rises above all else.*
- *Low, small-scale buildings having predominantly flat roofs and light pastel colors, hugging the topography in a highly articulated form which contrasts with the power of downtown construction.*
- *Cliffs and complex stairs and walkways on the east side above the waterfront, with buildings perched precariously along the slope and trees interspersed.*
- *Intimate pedestrian scale and texture of streets and housing, with sudden and dramatic views of the Bay and downtown through narrow openings.*

The Project is compatible with the aforementioned special characteristics, in that the buildings are designed to be consistent with the scale and massing of surrounding properties, and include flat, landscaped roof. The buildings respect the topography of the street by "stepping-down" the laterally-sloping topography of the Filbert Street steps. The buildings have been designed with a pedestrian scale and texture, incorporating both landscaping as well as a narrow opening between Unit #1 and #2 for views of downtown.

OBJECTIVE 3:

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy 3.1:

Promote harmony in the visual relationships and transitions between new and older buildings.

Policy 3.6:

Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.

The Project provides an attractive modern design and form that compliments and blends with surrounding structures without mimicking them. This creates a visually dynamic and harmonious neighborhood with an appropriate mixture of building styles.

OBJECTIVE 4

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY

Policy 4.4

Design walkways and parking facilities to minimize danger to pedestrians.

This General Plan states that driveways across sidewalks should be kept to a practical minimum, with control maintained over the number and width of curb cuts, in order to minimize danger to pedestrians. The Project includes a 10-foot wide curb cut, which is the City standard, and a 12-foot wide garage door, which is comparable with the size of garage doors found on surrounding properties (specifically the two

properties to the east). The Project has been designed to include one garage entrance that will serve the vehicle storage for all four units on the Property, thereby minimizing danger to pedestrians. The garage has sufficient space for maneuvering such that exiting vehicles will not need to be backed-out in reverse. As indicated through the Conditions of Approval, the Project Sponsor has agreed to install warning signs to alert pedestrians on the Filbert Steps to the presence of the driveway, as well as mirrors to enhance the view of drivers exiting the garage.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project includes the re-use of the existing vacant residential cottage at the rear of the property, and the addition of three residential units on a largely vacant lot. It will not displace any neighborhood serving retail uses or have any adverse effect on future opportunities for resident employment and ownership of retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project will conserve and protect existing housing and neighborhood character by renovating and restoring an existing building in the neighborhood. It will improve a dilapidated vacant lot with a well-designed, high-quality residential development that is compatible with the scale and mass of surrounding properties. It will include screening and green elements specifically designed to allow the new structure to blend seamlessly into the character of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project includes the rehabilitation and preservation of an existing vacant rear cottage, which based on its size, will be relatively affordable for the Telegraph Hill neighborhood.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

With four residential units within walking distance of the City's employment core and public transit (MUNI #39), the Project will not generate substantial commuter traffic that will impede MUNI transit service, or overburden the streets or neighborhood parking. Furthermore, by including four off-street parking spaces, the Project will minimize the need for residents to use the limited on-street parking in the neighborhood.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is a small residential development located on a nearly vacant lot in a residential neighborhood. No office use is proposed, and no industrial uses will be displaced.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will conform to the structural and seismic requirements of the San Francisco Building Code, and thus meets this requirement.

- G. That landmarks and historic buildings be preserved.

The Project is not located in any Conservation or Historic District. The Project will not adversely alter any landmark building, contributory building, or architecturally significant building on the Property or in the vicinity.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project includes the in-fill development of three new dwelling units on a largely vacant lot in a residential neighborhood. The Project will not adversely affect any public parks or open spaces. It is located below Coit Tower and Pioneer Park on Telegraph Hill, and will incorporate green rooftop terraces to ensure that the Project blends with the hillside when viewed from above. It will not adversely affect the tower's access to sunlight or public vistas.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.1375CE** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated May 19, 2014, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on July 17, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: July 17, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to allow the construction of three new dwelling-units on a lot that contains one existing unit, including four off-street parking spaces located at 115 Telegraph Hill Boulevard, Block 0105, and Lot 065 pursuant to Planning Code Sections 151, 151.1, 209.1(h), 249.49, and 303, within the RH-3 (Residential House, Three-Family) Zoning District, Telegraph Hill – North Beach Residential Special Use District, and a 40-X Height and Bulk District; in general conformance with plans, dated **May 19, 2014**, and stamped “EXHIBIT B” included in the docket for Case No. **2013.1375C** and subject to conditions of approval reviewed and approved by the Commission on **July 17, 2014** under Motion No. **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **July 17, 2014** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use Authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a Site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN

- 1. Final Materials.** Final materials, window details, glazing, color, texture, landscaping, and general detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 2. Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
- 3. Street Trees.** Pursuant to Planning Code Section 138.1, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the Site or Building Permit Application indicating that the two existing street trees will remain. The Sponsor will pay an in-lieu fee for the remaining two required street trees in accordance with Planning Code Section 428, and as outlined in more detailed below.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

- 1. Bicycle Parking.** The Project shall provide no fewer than **four (4)** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.5.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 2. Parking Maximum.** Pursuant to Planning Code Section 151.1 and 249.49, the Project shall provide no more than **four (4)** off-street parking spaces.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 3. Construction Parking.** The Project Sponsor shall require of the general contractor that construction workers shall park legally and shall not park in the Coit Tower parking lot. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*
- 4. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco

Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project. Prior to commencing construction, the Project Sponsor shall consult with the affected neighbors on Assessor's Block 105 before finalizing the construction staging and traffic plan, including:

- a. A schedule of delivery times and dates during which the construction materials are expected to arrive; and
 - b. Methods to be used to monitor truck movement into and out of the building site so as to minimize traffic conflicts on Telegraph Hill Boulevard.
5. There shall be no queuing of construction trucks along Telegraph Hill Boulevard. All trucks waiting to unload material shall be staged at a location offsite. Deliveries shall be made between the hours of 7:30 a.m. and 5 p.m. on weekdays, exclusive of legal holidays. The Project Sponsor shall employ full-time flag persons to direct traffic during excavation and concrete placement phases of construction. During other construction phases, all truck movement into and out of the Project Site shall be monitored by flag persons to minimize any traffic conflict.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
6. **Garage Safety Features.** The Project Sponsor shall post signs or other devices to alert pedestrians to vehicles exiting the garage. Parabolic mirrors shall be installed at the garage exit to enhance the view of exiting drivers.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

7. **Street Tree In-Lieu Fee.** The Zoning Administrator waived the requirement for installation of two of the required four street trees under Planning Code Section 138.1 based on DPW's recommendation. Pursuant to Planning Code Section 428, the Project Sponsor shall comply with Planning Code Section 138.1 through payment of an in-lieu Fee pursuant to Section 428.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

1. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

- 2. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

- 1. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all public sidewalks and stairways abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

- 2. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

RESIDENTIAL PIPELINE ENTITLED HOUSING UNITS 2007 to 2014 Q1

State law requires each city and county to adopt a Housing Element as a part of its general plan. The State Department of Housing and Community Development (HCD) determines a Regional Housing Need (RHNA) that the Housing Element must address. The need is the minimum number of housing units that a region must plan for in each RHNA period.

This table represents completed units and development projects in the current residential pipeline to the first quarter of 2014 (Q1). The total number of entitled units is tracked by the San Francisco Planning Department and is updated quarterly in coordination with the *Quarterly Pipeline Report*. Subsidized housing units – including moderate and low income units – as well as inclusionary units are tracked by the Mayor’s Office of Housing; these are also updated quarterly.

2014 QUARTER 1	RHNA Allocation 2007 - 2014	Units Built 2007 - 2014 Q1	Units Entitled in 2014 Q1 Pipeline*	Percent Built and Entitled
Total Units	31,193	18,078	16,733	111.6%
Above Moderate (> 120% AMI)	12,315	11,993	14,073	211.7%
Moderate Income (80 - 120% AMI)	6,754	1,107	753	27.5%
Low Income (< 80% AMI)	12,124	4,978	1,907	56.8%

**These totals do not include three entitled major development projects with a total of 23,714 net new units: Hunters' Point, Treasure Island and ParkMerced. While entitled, these projects are not expected to be completed during the 2007-2014 RHNA reporting period.*



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

Case No.: 2013.1375E
 Project Title: 115 Telegraph Hill Boulevard
 Zoning: RH-3 (Residential – House, Two Family) Use District
 Telegraph Hill – North Beach Residential Special Use District
 40-X Height and Bulk District
 Block/Lot: 0105/065
 Lot Size: 7,517 square feet
 Project Sponsor: Daniel Frattin, Reuben, Junius, & Rose, LLP, (415) 567-9000
 Staff Contact: Heidi Kline – (415) 575-9043, Heidi.Kline@sfgov.org

1650 Mission St.
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PROJECT DESCRIPTION:

The proposed project would allow the construction of a three-unit residential building and the exterior renovation (no increase in building area) of an existing 1,000-square-foot, two-story cottage constructed in 1906. The three new residential units would be located in a three-story over basement building with unit sizes ranging from 4,100 to 4,600 square feet. Three off-street parking spaces would be provided for the new units in a 3,000-square-foot area in the basement. The maximum height of the building would be 40 feet, as measured in accordance with the San Francisco Planning Code. No change would be made to the height of the existing cottage. The new three-unit building would be constructed at the front of the lot, adjacent to Telegraph Hill Boulevard, while the existing cottage would remain in its current location at the rear of the lot. A portion of the concrete sidewalk and steps (Filbert Steps) along the parcel's frontage would be replaced in kind. The project is located within the Telegraph Hill neighborhood on the south side of Telegraph Hill Boulevard between Kearney and Montgomery Streets.

EXEMPT STATUS:

Categorical Exemption, Class 1 (California Environmental Quality Act (CEQA) Guidelines Section 15301(d) and Class 3 CEQA Guidelines Section 15303(b)

REMARKS:

See next page.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.



Sarah Jones
 Environmental Review Officer

June 10, 2014
 Date

cc: Daniel Frattin, Project Sponsor

Supervisor David Chiu, District 3

PROJECT APPROVALS

- Conditional Use Authorization by the Planning Commission for residential density above three units per lot and the off-street parking spaces per Section 151 and the Telegraph Hill – North Beach Residential Special Use District of the San Francisco Planning Code.
- Building Permit from the San Francisco Department of Building Inspection.
- Permit from the Department of Public Works for construction within the public right-of-way.
- Approval from the San Francisco Municipal Transportation Agency (SFMTA) to relocate an existing stop sign.

Approval Action: The proposed project is subject to Planning Commission approval of a conditional use CU authorization for the off-street parking spaces and for residential density above three units per lot. This CU is the approval action for the project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

REMARKS:

Historic Resource. The existing cottage was constructed in 1906 and is classified as a Category “B”, or potential historic resource, in the Planning Department’s records. A Category B rating indicates that additional information is necessary to make a determination as to whether the site is an historic resource or not. In order for a building to be deemed a historic resource for purposes of CEQA Section 21084.1, it must be listed in or determined to be eligible for listing in the California Register of Historical Resources (CRHR), or included in a local register of historic resources.

Based on a historic resource evaluation (HRE) prepared by Page & Turnbull¹ and subsequent evaluation by the Planning Department Preservation Planning staff,² the project site was determined to not be eligible for listing in the CRHR nor was it included on a local register of historic resources. The extant cottage is a common example of a vernacular building and has been extensively altered such that it no longer represents its original 1906 construction.

In order for a project to be deemed eligible for listing in the CRHR, the project must be shown to meet any one of the National Register of Historic Places’ four criteria: Criterion 1 (Event), Criterion 2 (Persons), Criterion 3 (Architecture), or Criterion 4 (Information Potential). The Planning Department concurs with

¹ Page & Turnbull, *115 Telegraph Hill Boulevard Historic Resource Analysis, San Francisco, California*. February 19, 2014. A copy of this document is available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2013.1375E.

² Hilyard, Gretchen, *Preservation Team Review Form for 115 Telegraph Hill Boulevard*. May 1, 2014. A copy of this document is available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2013.1375E.

the findings of the HRE that the subject property is not eligible for listing in the California Register under any criteria, specifically: No known historic events occurred at the property (Criterion 1), none of the owners or occupants have been identified as important to history (Criterion 2), the building is not architecturally distinct and represents its alteration circa 1997 (Criterion 3). Based upon a review of information in the Departments records, the subject property is not significant under Criterion 4, which is typically associated with archaeological resources. Furthermore, the subject property is not likely significant under Criterion 4, since this significance criterion typically applies to rare construction types when involving the built environment. The subject property is not an example of a rare construction type. The surrounding neighborhood contains a mix of architectural styles, building sizes, and a defined period of development; therefore, it does not appear to be a potential historic district.

Preservation Planning staff determined that the site does not meet any of these four criteria. Therefore, the site was determined to not be eligible for listing individually or as part of a potential or existing historic district in the CRHR and the site is not an historic resource for purposes of CEQA. The proposed new construction project does not directly or indirectly involve any historic resources and will not cause a significant adverse impact upon a historic resource as defined by CEQA.

Geotechnical. The project site is on an approximately 80-foot-wide by 80-foot-deep, downhill-sloped lot with a slope from the east to west side of the lot. The elevation at the highest point along the street (northeast corner) is 251 feet (above sea level) and 214 feet at the rear lot line (southwest corner). The existing cottage is constructed in the southeastern corner of the lot at an elevation of 229 feet. The proposed three-unit residential building would be constructed at the front of the lot along Telegraph Hill Boulevard with a pad elevation at approximately 224 feet. The existing cottage at the rear of the lot would be renovated and no changes made to the existing poured concrete foundation. The foundation for the new building would be constructed using drilled concrete pier and grade beam foundation, requiring excavation up to 25 feet in depth.

A geotechnical report was prepared for the proposed project at 115 Telegraph Hill Boulevard³ and includes information gathered from a site reconnaissance by the geotechnical engineer and four soil borings conducted on the project site. The borings encountered 6 inches to 4 feet six inches of loose to dense clayey sand with varying amounts of silt and gravel to stiff, sandy silty clay, overlaying sandstone bedrock. No groundwater was encountered, though based on the hillside location it is possible that groundwater could be encountered near the surface following rain or upslope irrigation.

The geotechnical report evaluated the project site for potential liquefaction, surface rupture, lateral spreading, densification, and landslides and found the potential for risk to be low. The project site is in an area that would be exposed to strong earthquake shaking, though adherence to the recommendations in the 2013 San Francisco Building Code would reduce potential damage to the structure. The 2013 San Francisco Building Code (Building Code) requires Site Classification and Values of Site Coefficients for the design of earthquake resistant structures to minimize damage from earthquakes. The geotechnical

³ Earth Mechanics Consulting Engineers, *Report Geotechnical Investigation Planned Improvements at 115 Telegraph Hill Boulevard, San Francisco, California*, May 12, 2013. A copy of this document is available for public review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2013.1375E.

report includes seismic design parameters for use by the structural engineer for the project in complying with the Building Code during the Department of Building Inspection (DBI) building permit plancheck process.

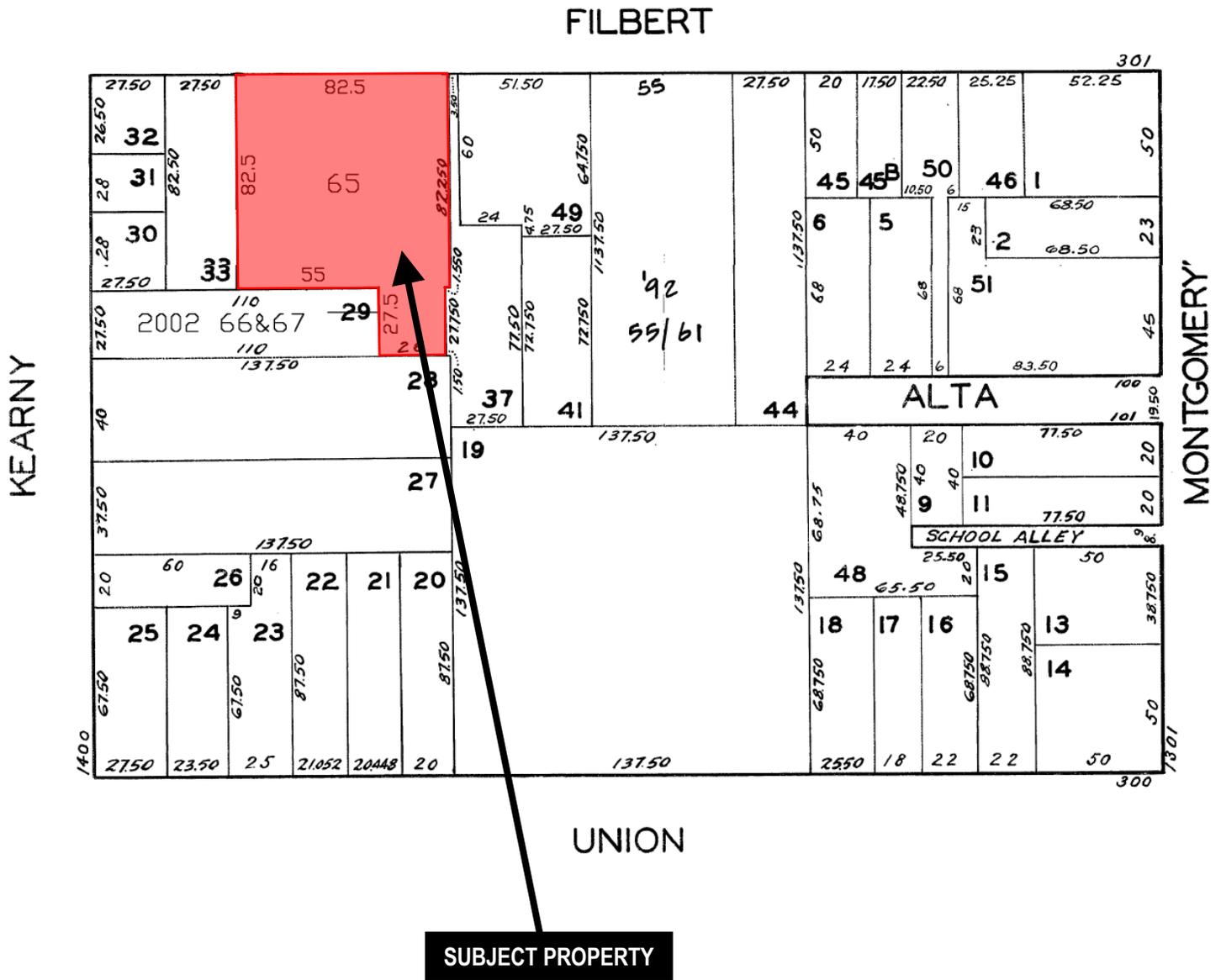
The geotechnical report found that the proposed structure's foundation could be safely supported using a drilled concrete pier and grade beam foundation, provided adherence to site preparation and foundation design recommendations in the project geotechnical report.

The project sponsor has agreed to adhere to the recommendations of the geotechnical report and include the report's design recommendations into the plans submitted for the building permit plancheck process, subject to final review by DBI. Thus, the proposed project would have no significant geotechnical impacts.

Exemption Class. Under CEQA State Guidelines Section 15301(d), or Class 1(d), exterior renovations to an existing single-family residence that is not a historic resource, as defined for purposes of CEQA, is exempt from environmental review. The proposed project involves the exterior renovation of the existing 1,000-square-foot cottage at the rear of the property. Under CEQA State Guidelines Section 15303(b), or Class 3(b), construction of a multi-family residential structure with up to four dwelling units in a residential zone is exempt from environmental review. In urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for not more than six dwelling units. The proposed project includes the construction of a multi-family residential structure with three dwelling units in a residential zoning district. Therefore, the proposed project would be exempt from environmental review under Class 1(d) and Class 3(b).

Summary. CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would not have significant geotechnical or historical resource impacts. The proposed project would have no significant environmental effects. The project would be exempt under the above-cited classifications. For the above reasons, the proposed project is appropriately exempt from environmental review.

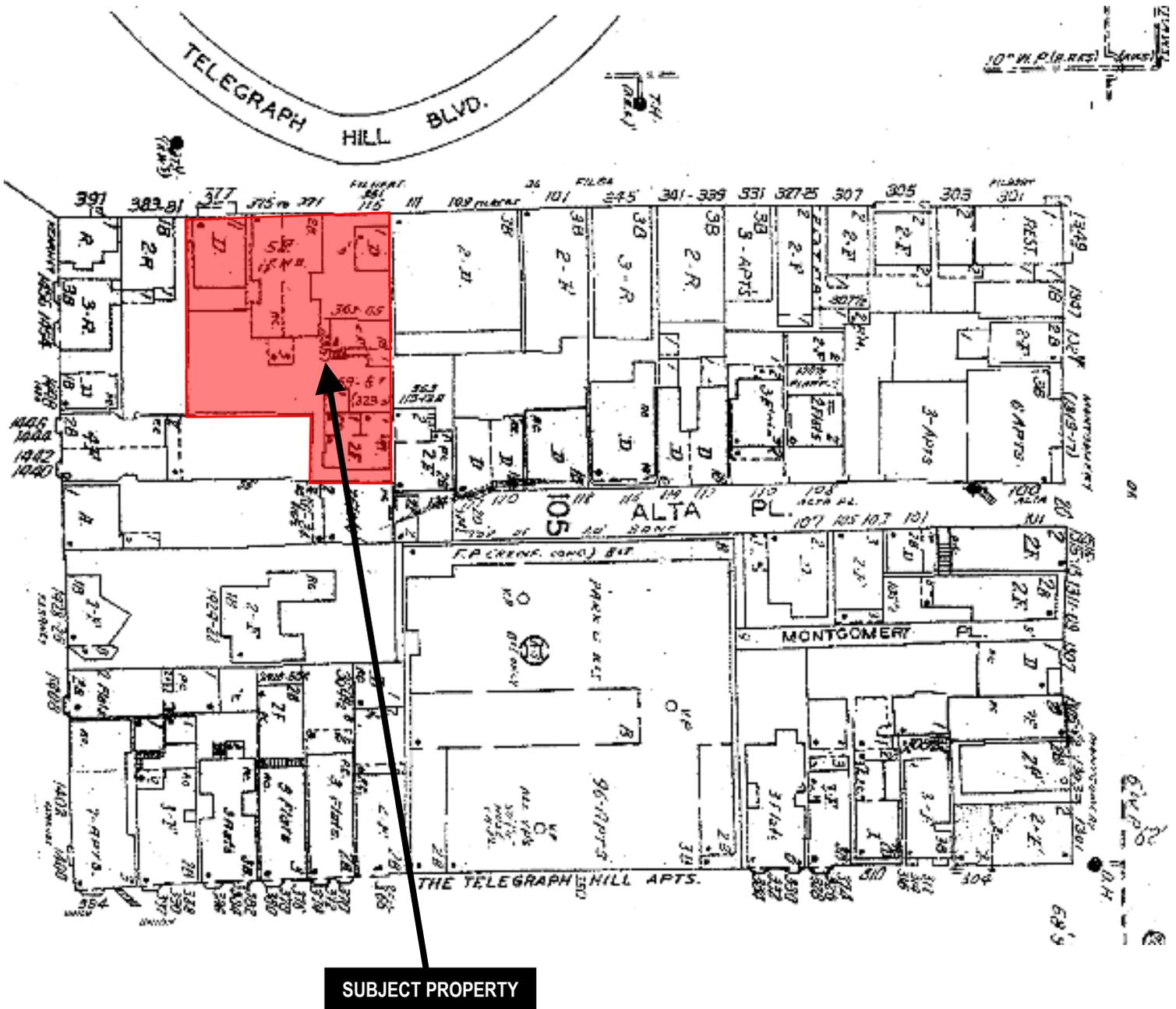
Parcel Map



Conditional Use Authorization Hearing
 Case Number 2013.1375CE
 New Construction of Three Dwelling Units
 115 Telegraph Hill



Sanborn Map*

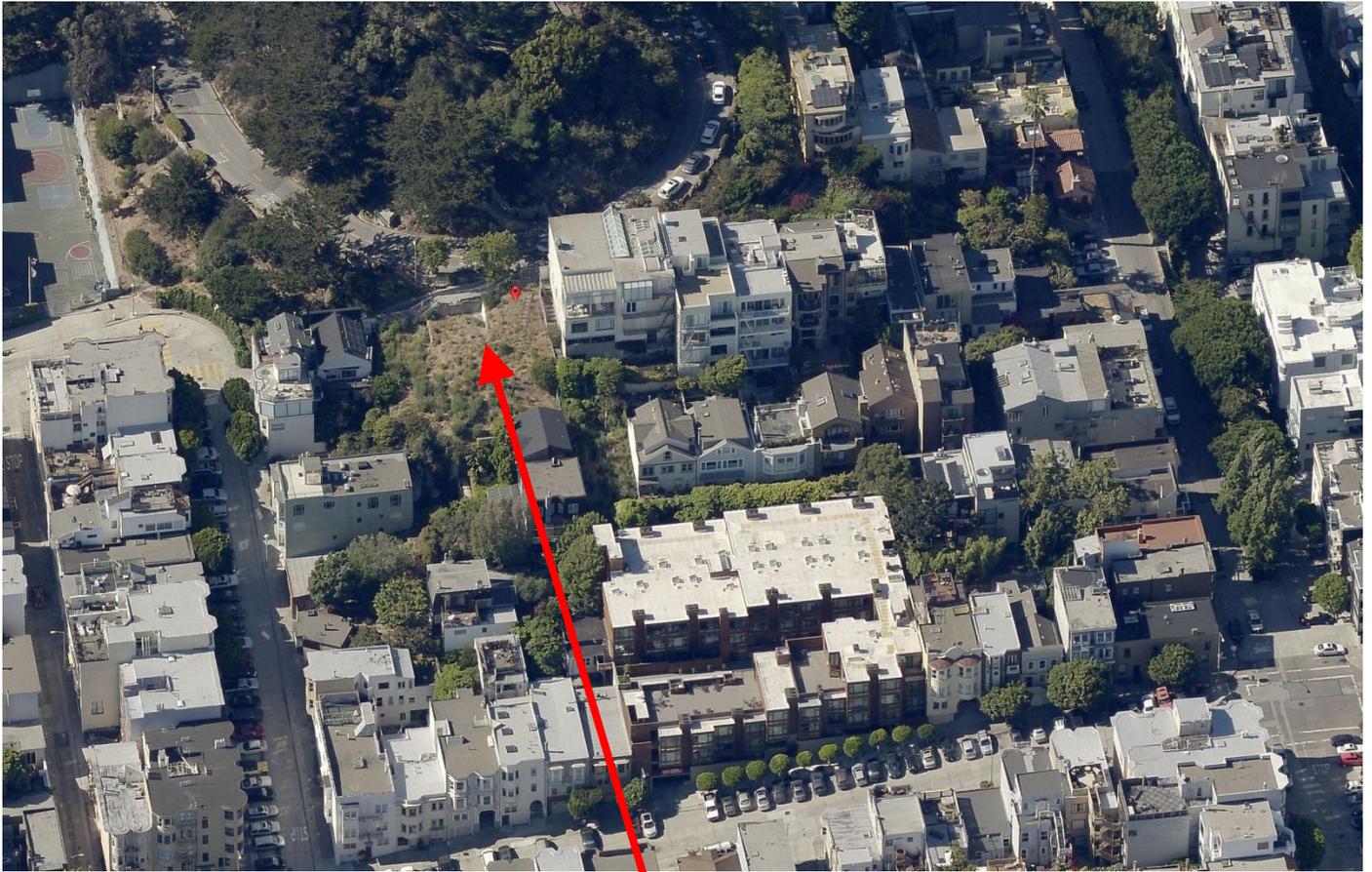


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Conditional Use Authorization Hearing
Case Number 2013.1375CE
New Construction of Three Dwelling Units
115 Telegraph Hill



Aerial Photo



SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2013.1375CE
New Construction of Three Dwelling Units
115 Telegraph Hill

Aerial Photo

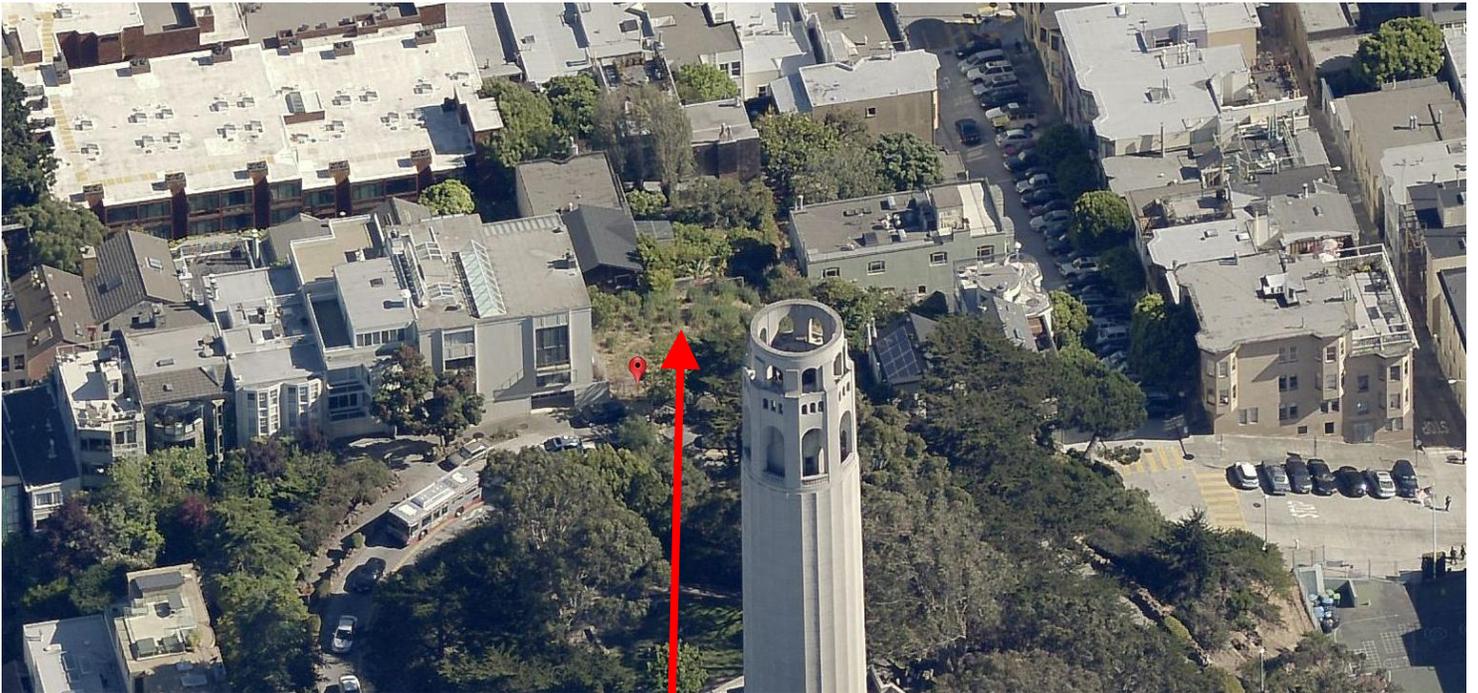


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2013.1375CE
New Construction of Three Dwelling Units
115 Telegraph Hill

Aerial Photo

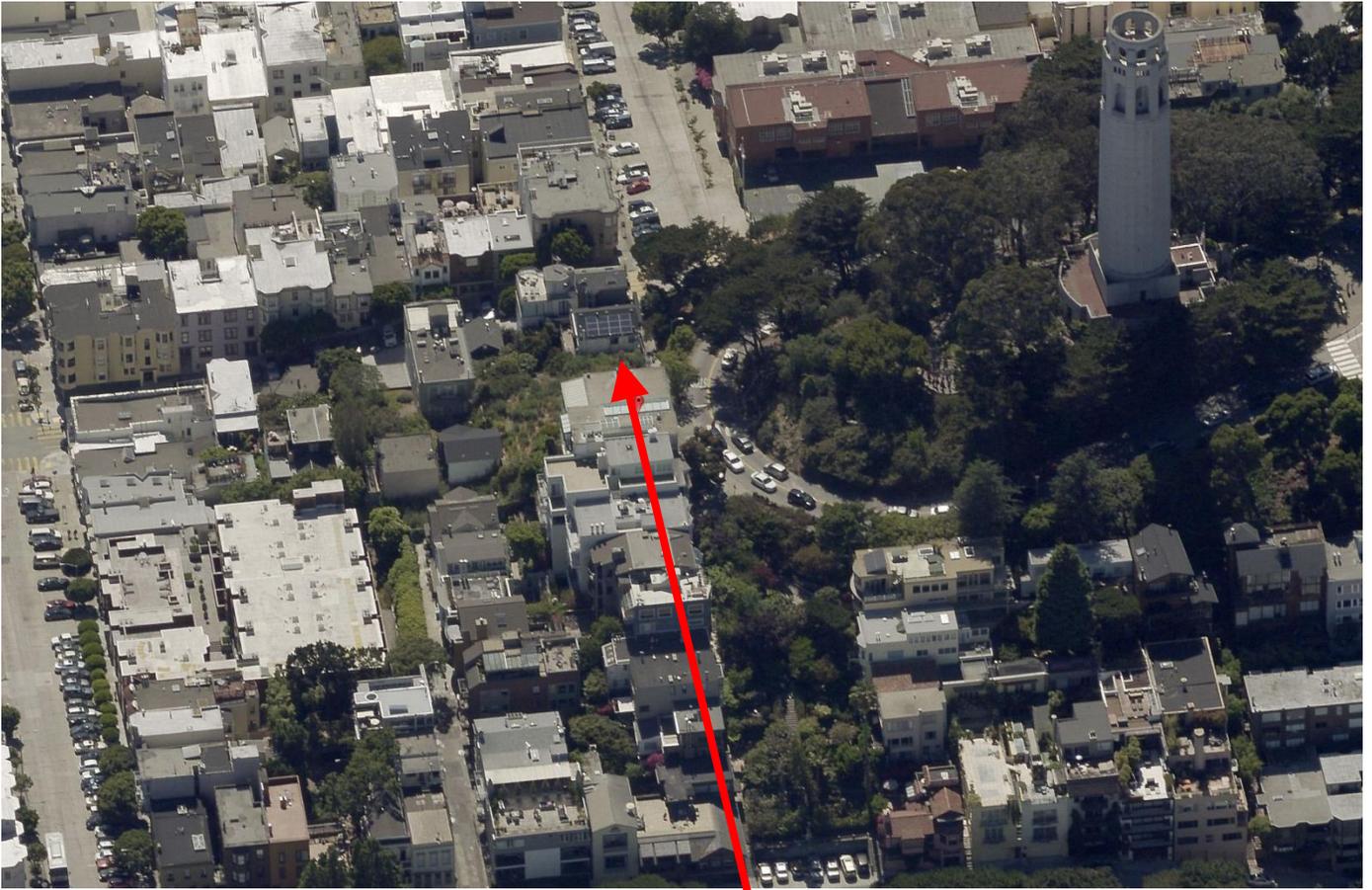


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2013.1375CE
New Construction of Three Dwelling Units
115 Telegraph Hill

Aerial Photo

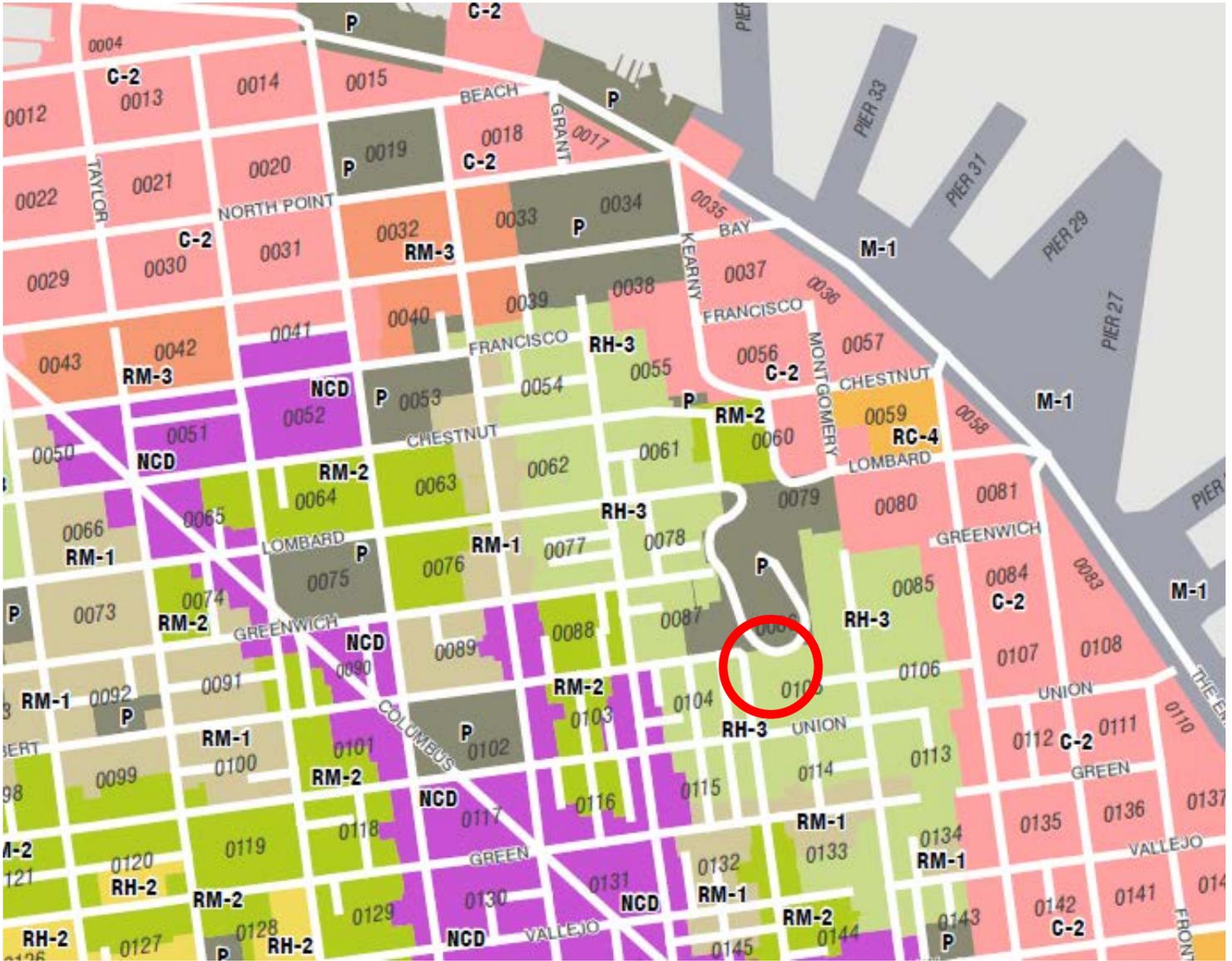


SUBJECT PROPERTY



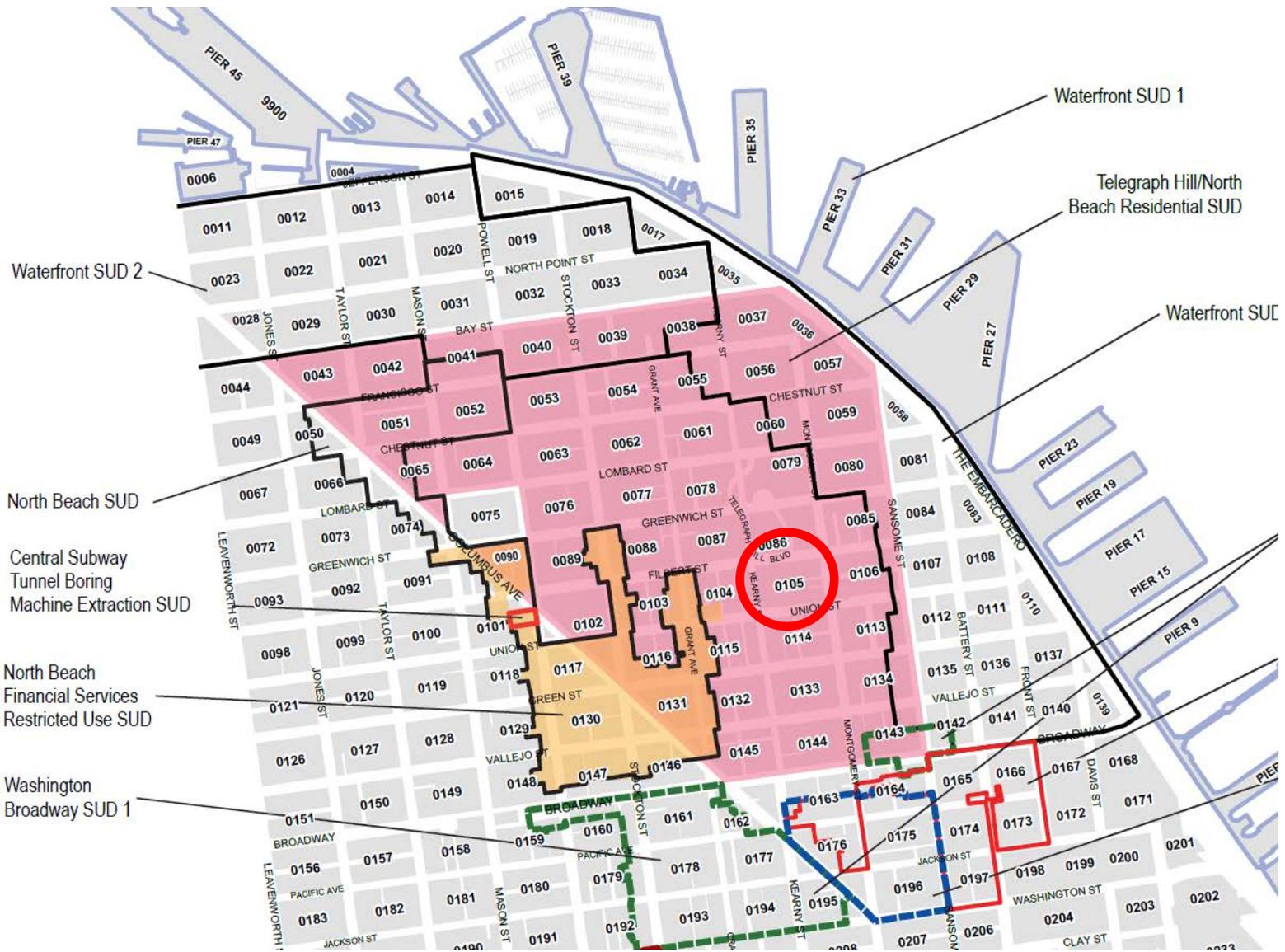
Conditional Use Authorization Hearing
Case Number 2013.1375CE
New Construction of Three Dwelling Units
115 Telegraph Hill

Zoning Map



Conditional Use Authorization Hearing
Case Number 2013.1375CE
New Construction of Three Dwelling Units
115 Telegraph Hill

Special Use District Map



Conditional Use Authorization Hearing
 Case Number 2013.1375CE
 New Construction of Three Dwelling Units
 115 Telegraph Hill

Site Photo



SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2013.1375CE
New Construction of Three Dwelling Units
115 Telegraph Hill



Dear Barbary Coast News,

We write to respond to the “Telegraph Hill Development Alert” that appeared on your website today. For the past two years, Telegraph Hill Housing LLC has worked with the Telegraph Hill Dwellers and immediate neighbors to design three new homes and renovate an uninhabitable cottage at 115 Telegraph Hill Boulevard. Given the opportunity to evaluate the design, view studies, and the actual facts, several neighbors have indicated their support for the project. We believe your readers should make an informed decision about the project and appreciate the opportunity to respond to the misstatements in the “Alert” and accurately describe the project. The project is modestly scaled and will transform a blighted lot with a well-crafted, architecturally elegant new building. The three new units at the front of the property are several feet under the height limit and follow the slope of the Filbert Steps. Together with the renovation of an uninhabitable cottage at the back of the property, there will be four units total. This is only half of what is allowed under the zoning.

We offer the following corrections and counterpoints to the factually incorrect “Alert” submitted to your site earlier this week.

- *Claim: The project will “block the sweeping views of San Francisco enjoyed by Pioneer Park users.”*
 - **The current proposal will have no impact on established vistas from Telegraph Hill’s historic Coit Tower or Pioneer Park at the base of the tower. The images at the bottom of this letter indicate the views from both locations, and as is evident, the proposal blocks no significant view and remains largely invisible from either location.**

- *Claim: The Project will “create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)”*
 - **This location is currently safeguarded by stop signs for a pedestrian crosswalk, forcing vehicular traffic on both sides of the street to come to a complete stop, making this area of Telegraph Hill Blvd. arguably the safest area of the street. The garage door incorporates safety features such as a flashing beacon to alert pedestrians to exiting vehicles.. In addition, this is not a “new” curb cut. There was an existing curb cut which can be seen in the image attached to this letter.**

- *Claim: The Project will “exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction.”*
 - **This is a four-unit project that will minimally affect traffic volumes. Construction will last less than 24 months. During this time, every effort will be made to minimize disturbance during construction, and due to the low-density development, traffic will not be exacerbated post construction.**

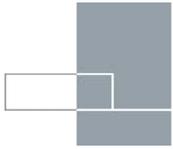
- *Claim: The Project will “adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will have to be moved but will still be next to their new driveway)”*
 - **There will be no move of the bus stop for any reason both during and after construction. This claim has no merit.**



- *Claim: The Project will “eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site”*
 - **There will be no lasting limitations on access to the Filbert Street Steps besides sporadic very short-term disturbances that are unavoidable for the construction of any project of any scope on this site. In fact, there is no modification proposed to the stairs, and only improvements by way of adjacent plantings, lights and handrails for a more pleasant and safe experience.**
- *Claim: The project will reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.*
 - **The permits to demolish the buildings were filed in 1997 and predate this proposal by over 17 years and were decrepit at the time of demolition. The Department of Public Works had found them to be “unsound.” The current developer and soon to be owner of this property (currently he holds an option to purchase the property) was not involved with the 1997 demolition in any way.**
- *Claim: The Project will “reward the current owners for their de-facto demolition of the historic cottage on the southern edge of the property.”*
 - **Though it is an older structure, the cottage on the southern edge of the property is not now, nor has it ever been, classified as historic. All the same, it will be retained and restored.**

There should be mention of the positive impacts that the proposal will have on the neighborhood and the city.

- **Conversion of a blighted and chain-link bordered vacant lot, which is currently utilized for numerous illegal activities and poses safety liabilities.**
- **The proposal contributes three new family-sized units to the city’s housing goal. Larger, family-sized units in particular are in short supply.**
- **A vacant and dilapidated cottage will be renovated and restored, maintaining an otherwise discarded element of Telegraph Hill and adding to its history.**
- **Repairing the Filbert Street Steps as needed, maintaining them and improving the experience with adjacent plantings while adding safety elements such as handrails and lighting.**
- **Introducing a view corridor between buildings to allow views from the steps to downtown, all while providing a much-needed informal gathering area at the top of the steps for pedestrians.**
- **Contributing an architecturally significant development that is well-designed and contextually sensitive to the larger neighborhood**
- **Addition of sustainable elements such as solar panels, vegetated roofs, and low-water demand plumbing fixtures.**



BUTLER ARMSDEN
ARCHITECTS

The history and significance of Telegraph Hill is an important consideration of this proposal. We hope that this letter accurately informs the neighborhood about the facts of this project and that everyone can see the the proposal for what it is: a well-crafted improvement to a blighted area of the city, which adds to, not detracts from, the fabric of Telegraph Hill.

If you agree, please let the Planning Commission know you support approval of the project at their hearing on July 17th by emailing Elizabeth.Watty@sfgov.org and referencing 115 Telegraph Hill Boulevard (Case No. 2013.1375CE).

If you'd like any additional information about the project, please feel free to contact Jeremy Ricks at Jeremy@adshoremedia.com.

Thank you,

Jeremy Ricks
Telegraph Hill Housing, LLC



BUTLER ARMSDEN
ARCHITECTS



VIEW FROM COIT TOWER
(PROPOSAL SHOWN IN RED)



BUTLER ARMSDEN
ARCHITECTS



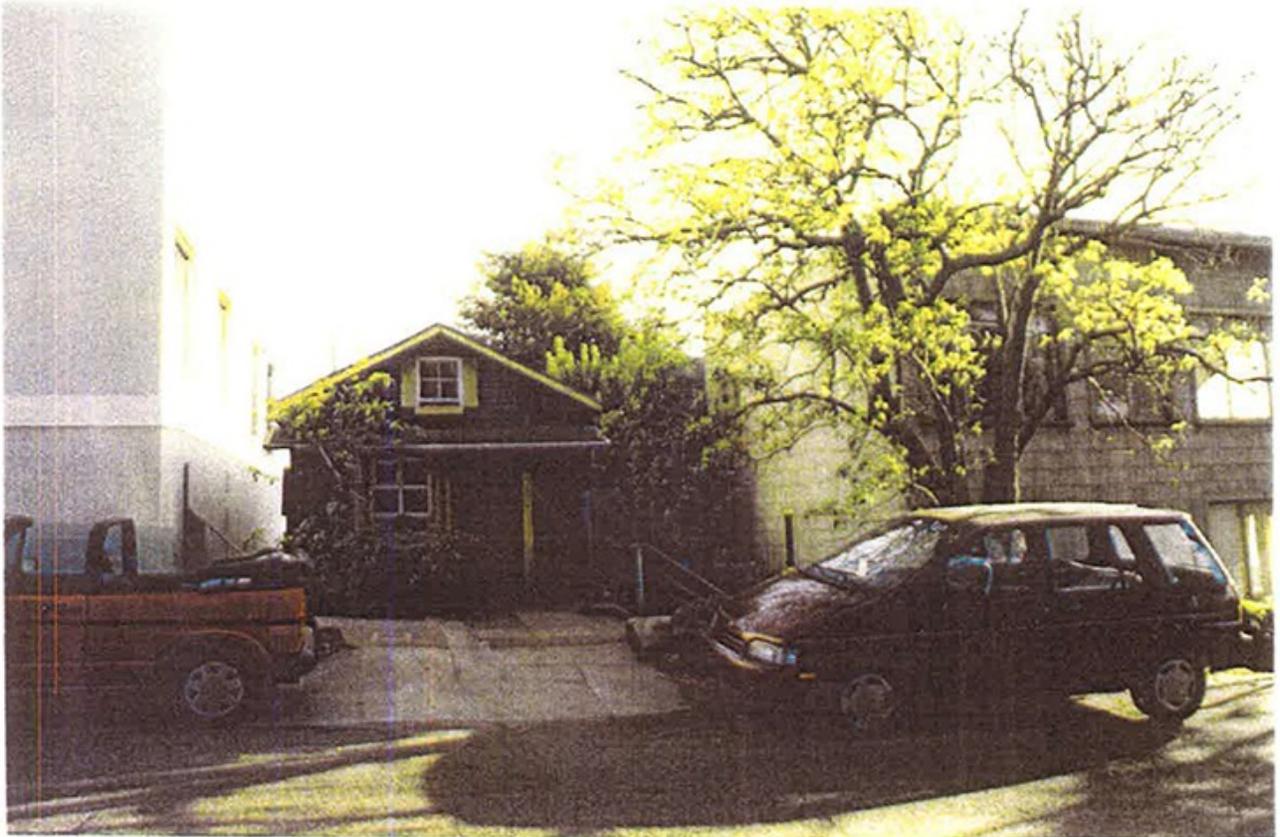
VIEW FROM PIONEER PARK
(PROPOSAL SHOWN IN RED)



VIEW FROM PIONEER PARK
(PROPOSAL SHOWN IN RED)



BUTLER ARMSDEN
ARCHITECTS



363 Filbert Street Driveway cut. Address is now more commonly known as 115 Telegraph Hill Boulevard.

From: [John Stewart](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: [Chiu, David \(BOS\)](#); [Rahaim, John \(CPC\)](#); [Lee, Olson \(MYR\)](#); [Ahalsted@aol.com](#); [Wells Whitney](#); [Bob Mittelstadt](#); [Lynda Spence](#); [Rod Freebairn-Smith \(f-sc@f-sc.com\)](#); [Janet Crane](#); [\(osheajm@mac.com\)](#); ["Irene Tibbits"](#); ["Julie Christensen \(julie@surfacework.com\)"](#); ["Gussie Stewart "](#)
Subject: 115 Telegraph Hill Blvd.
Date: Tuesday, July 08, 2014 4:16:47 PM
Attachments: [115 Telegraph.pdf](#)

Dear Ms. Watty,

My wife and I live about 200 yards north of the subject site on the same street. We are in receipt of a Telegraph Hill Development Alert which warns of a "massive, luxury condominium project." The bulletin states that "this is not about a particular neighbor's self-interest or views - this is about *public interest*." Fair enough. In that regard, from a public policy and planning perspective, what is the best use for this site? Let's briefly run through some options:

- Commercial – Inconsistent with zoning
- A Park – The site is uniquely unsuited for this use because of its 2:1 slope, customary high winds, and budget constraints at the Open Space Committee. Additionally, there's already a park above it.
- An affordable HUD-subsidized rental project- This site would support maybe 10-12 small units that would only have a remote chance of being financeable if a project-based Section 8 contract were available from HUD, which it isn't. Even then, it would not underwrite well because of the land basis and the fact that there's no economy of scale operationally.
- A Low Income Housing Tax Credit development - A small project on this site would not pass muster with the Low Income Housing Tax Credit Committee, and even if it did, an off-the-charts subsidy from the Mayor's Office of Housing would be required, which is an equally unlikely prospect.
- HUD Section 811 –Developmentally Disabled– This non-profit, only HUD-insured and subsidized program is tailored to small unit size (10-20); however, it would not meet reasonable HUD criteria for accessible social services, let alone neighborhood objection to high frequency visitation traffic.
- A market rate rental– Because of the high land costs and the fact that the project would have tenant incomes too high to qualify for Low Income Housing Tax Credits, or the City's Housing Trust Fund (Prop C) and because there's no economy of scale, this option is fiscally infeasible.
- Market Rate Condominiums – This development category is financeable and will generate over \$200,000 a year in revenue to the City in tax increment, plus intermittent transfer tax fees. These additional tax increment revenues will go into the General Fund for myriad different budget items including, but not limited to, infrastructure upgrades; the City's Health Department; Rec & Parks; Homeless Shelter maintenance, on and on. This has the substance and feel of public interest. Not parenthetically, the City has an operational deficit of \$134M per year which could use some help.

There are some sites that cry out for mixed income; some for affordable and/or market rate

rentals. All would have far better economy of scale than this tiny parcel. In this case, the City should capitalize on the highest and best use which the current proposal offers. At 3 units, it's hardly "massive". It is indeed, "luxury" but then its values comport with the surrounding homes ringing Coit Tower. Architecturally, there are elements which thoughtfully mirror the Gardner Dailey design directly next door to the east. It's doubtful that the curb cuts constitute an unsolvable safety problem. It blocks no views. Lastly, lest we forget, it is code compliant and needs no variance.

I concur with the recommendation from some of my fellow Hill dwellers that the developer upgrade and beautify the Filbert steps leading to the site.

It is not in the public's best interest to let this lazy asset remain fallow, as it has for years. Besides, it's a refuse-collecting eyesore.

Sincerely,
John K. Stewart

John K. Stewart, Chairman

The John Stewart Company
1388 Sutter Street, 11th Floor
San Francisco, CA 94109
(415) 345-4400 (415) 614-9175 - fax
www.jsco.net

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From: [Marcy Albert](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: SUPPORT FOR 115 Telegraph Hill Boulevard (Case No. 2013.1375CE)
Date: Wednesday, July 09, 2014 12:01:42 PM

I have read both the supporting and opposing sides of this development and it looks to me to be a perfectly delightful development. I encourage you to support it.

Marcy Albert
101 Lombard St #904W
San Francisco, CA 94111
415-627-6900

No virus found in this message.
Checked by AVG - www.avg.com
Version: 2014.0.4716 / Virus Database: 3986/7814 - Release Date: 07/07/14

From: [Regan Anderlini](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Boulevard Townhouses
Date: Tuesday, July 08, 2014 9:20:39 PM

Ms. Watty,

I am a resident of the Telegraph Hill neighborhood in San Francisco and I am writing in support of the proposed development at 115 Telegraph Hill Blvd. Recently there has been some heated discourse on our neighborhood email list, and I felt it is important that I let you know that my husband and I both support the idea of replacing the unsightly vacant lot that now exists with a tastefully conceived development. I have read the document sent to the list by Jeremy Ricks of Telegraph Hill Housing, LLC and support the ideas presented in his communication.

Thank you for your consideration,

Regan Anderlini
300 Filbert St

From: [Friea Berg](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: I support "luxury condos on Telegraph Hill"
Date: Thursday, July 10, 2014 9:10:39 AM

Hi,

I live in the North Beach/Telegraph Hill neighborhood – don't see why TDH is so upset about the condo development project. Personally I suspect TDH would fight any new project, and leaving that lot vacant and surrounded by a chain link fence is ridiculous.

So ... wanted to voice my support for the project. Looks reasonable enough.

I have no stake in this, don't know any of the involved folks.

-Friea

Friea Berg | Strategic Alliances | friea@splunk.com | Direct 415.852.5820 | Mobile: 415.254.1544 | twitter.com/friea
San Francisco | Cupertino | London | Hong Kong | Washington D.C. | Seattle | Plano | Singapore | Munich | Tokyo

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From: [Cal J.](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Support for proposal of 115 Telegraph Hill
Date: Wednesday, July 09, 2014 10:55:02 AM

Ms. Watty,

I own a TIC close to Telegraph Hill and often visit the Coit Tower area. Just last month I took some relatives that were visiting from out of town. We walked up the Filbert St stairs and one of them commented how ugly the vacant lot that sits on 115 Telegraph Hill was. When I spoke to Jeremy Ricks about his project I discovered that this lot has been vacant for over 15 years. I don't understand why/how one of the most beautiful and important streets in all of SF could have such a thing. I have reviewed the plans that Jeremy and his architects have proposed and I think that they would be an absolutely wonderful addition to the neighborhood. The proposed homes have a nice modern feel but also keep with the consistency of the neighborhood.

This letter is in **STRONG** support of the proposed 115 Telegraph Hill project. I urge the planning commission to pass the project as is.

Thank you,
Calvin Chan

From: [Lois Chess](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: SUPPORT for 115 Telegraph Hill Development
Date: Tuesday, July 08, 2014 4:15:10 PM

Just so you know, not everyone is against developing this site. It has been empty way too long. Good luck. I hope it passes.

Lois Chess
415-385-7505

June 8, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty:

As immediate neighbors to the proposed project, we would like to express our support for the new development by Jeremy Ricks' group at 115 Telegraph Hill Blvd. We have lived three homes away from the site for the past fifteen years, we have reviewed Mr. Rick's proposed plans as of May 2014, and we have long appreciated the site, its history, and the immediate environs.

We support the proposed development at 115 Telegraph Hill Blvd. for several reasons:

- The proposed building plan:
 - Has clean lines, open courtyards, and modern elements that contribute to the neighborhood's architecture.
 - Does not block views from Pioneer Park's rear lawn area or Coit Tower.
 - Does not block any neighbors' south facing views, and has little or no shadow impact on neighboring residences.
- Now an empty lot, the proposed building site offers an opportunity to:
 - Add residential units and tax-payers to both the neighborhood and the city.
 - See new residents be motivated to maintain the heavily tourist-trafficked Filbert stairs area in front, including keeping the area clean, graffiti-free, and planted.

We remember the former buildings on this site. After a long period of abandonment, we are glad to see this proposed plan for 115 Telegraph Hill Blvd.

Sincerely,



Greg Chiampou
345 Filbert Street
San Francisco, CA 94133

July 8, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty:

I am writing to respond to the "Telegraph Hill Development Alert" from Telegraph Hill Dwellers' Planning & Zoning Committee that was emailed to me yesterday and which urged that their members contact you to complain about the 115 Telegraph Hill Boulevard residential development project. I received this email because I am a member of Telegraph Hill Dwellers ("THD") for about the past twenty years, I am a former Board member of THD for six years, and I have lived two doors from the proposed development for the past twenty years. My family and I completely support the 115 Telegraph Hill Blvd. project, as do many of our immediate neighbors, and I categorically reject the demonizing and erroneous statements in the email sent by THD.

The THD email declares the project will:

- 1) *"Block the sweeping views of San Francisco enjoyed by Pioneer Park users."* I have seen the views for 20 years, and the proposed project does not block historic views from Coit Tower or the base of the tower.
- 2) *"Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)".* This location has two stop signs on either side (what better way to exit a driveway?)

There are curb cuts throughout Telegraph Hill Boulevard, and the specific site historically had a curb cut, and furthermore it is not the curviest point of the Boulevard. It's ironic that THD successfully advocated installing a crosswalk and staircase up to Coit Tower at exactly that same spot on the Boulevard in 1997 (including the installations of the two stop signs) but now for some reason considers it a dangerous spot for any traffic.

- 3) *"Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction."* This is a four unit project which will not add measurably to traffic congestion on the Hill, and the units will have garages.
- 4) *"Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will have to be moved but will still be next to their new driveway)."* I understand that the bus stop will continue as always, and it is an unsubstantiated claim by THD.

- 5) *“Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site”*. I am sure there will be some short-term interruptions, but that is true for all construction projects (as my neighbors who have their homes painted or sidewalks repaved) and disturbances can and should be addressed as part of the proposal.

- 6) *“Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.”* This seems a sly comment, as the residences there in 1994-1997ish were un-inhabited and largely uninhabitable. (The larger houses were occasional flop houses.) Also, prospective developer, Jeremy Ricks, did not remove the former houses, although this comment makes it sound as if he did. The current owners, the Coopers, bought and emptied the parcel years ago, and they were blocked from further developments.

- 7) *“Reward the current owners for their de-facto demolition of the historic cottage on the southern edge of the property.”* This is a sly and curious comment. There was a beautiful, historic cottage on the original parcel (“Bill Bailey’s cottage”) that was moved to another location (the Mission?) by the Coopers by popular request. The existing cottage on the property is uninhabitable, not historic, and an eyesore. I believe it was largely propped up by the Coopers to establish that they were continuing to develop the property, but that was years ago and it remains an eyesore of no significance.

THD is capable of meticulous research, but sly and erroneous claims like the above two claims make me question their motives as well as their means.

I previously wrote your offices on June 2nd (see my letter below) with my support of the 115 Telegraph Hill Boulevard residential project. I reiterate my support.

Thank you,

Greg Chiampou
345 Filbert Street
San Francisco, CA 94133
Tel. 415.845.4479

June 5, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty:

As immediate neighbors to the proposed project, we would like to express our support for the new development by Jeremy Ricks' group at 115 Telegraph Hill Blvd. We have lived three homes away from the site for the past fifteen years, we have reviewed Mr. Rick's proposed plans as of May 2014, and we have long appreciated the site, its history, and the immediate environs.

We support the proposed development at 115 Telegraph Hill Blvd. for several reasons:

- The proposed building plan:
 - Has clean lines, open courtyards, and modern elements that contribute to the neighborhood's architecture.
 - Does not block views from Pioneer Park's rear lawn area or Coit Tower.
 - Does not block any neighbors' south facing views, and has little or no shadow impact on neighboring residences.
- Now an empty lot, the proposed building site offers an opportunity to:
 - Add residential units and tax-payers to both the neighborhood and the city.
 - See new residents be motivated to maintain the heavily tourist-trafficked Filbert stairs area in front, including keeping the area clean, graffiti-free, and planted.

We remember the former buildings on this site. After a long period of abandonment, we are glad to see this proposed plan for 115 Telegraph Hill Blvd.

Sincerely,

Greg and Jennifer Chiampou
345 Filbert Street
San Francisco, CA 94133

From: [Janet Crane](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: [Silcox, Louis](#); [Rod Freebairn-Smith](#)
Subject: 115 Telegraph Hill Boulevard
Date: Tuesday, July 08, 2014 5:01:09 PM

Dear Ms. Watty:

I am a 40 year resident of Telegraph Hill and wish to support the right of the property owner to build homes on this lot.

I understand that the project does not require any variances and has received design approval from the Planning Department. This is a logical site for luxury homes.

It is reasonable to discuss with the property owner how the most difficult impacts of construction will be mitigated for the neighbors and that the Filbert Steps should be brought into good condition at that property line. Those discussions should occur with any significant construction site in a congested area. However, the project should not be attacked because it is not a park.

I am adding my name to the other letters of support that have been sent by our neighbors.

Best regards,
Janet

Janet Crane
Freebairn-Smith & Crane
Planning, Urban Design, Architecture
442 Post Street
San Francisco CA 94102
415 398 4094
jcrane@f-sc.com

From: [Alexis Donoghoe](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill - Vote of Approval
Date: Wednesday, July 09, 2014 2:16:36 PM

To whom it may concern:

I live in North Beach (529 Filbert St.) right near 115 Telegraph Hill. I walk to work up and over Telegraph Hill and pass by this empty lot everyday, so I am familiar with this proposal. I have reviewed the details of Jeremy's proposal with him and I think the project will be a welcomed addition to the neighborhood. I strongly support the project and urge the planning commission too as well, especially as it is below the height limit and requires no variances.

Fellow Neighbor,

Alexis Donoghoe

From: [MARINA GALLI](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Support of 115 Telegraph Boulevard
Date: Sunday, July 06, 2014 5:51:16 PM

July, 6th 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street - 4th Floor
San Francisco, CA 94103

Subject: Support of proposed development of 115 Telegraph Hill Boulevard

Dear Ms. Watty,

Monty Reedy and I are writing to you to support the proposed development of 115 Telegraph Boulevard. We believe it is high time that this vacant and desolate lot be turned into a home that contributes to the Telegraph Hill community and also beautifies the approach to Coit Tower. As neighbors, we frequently walk up Telegraph Hill Boulevard and past the 115 Telegraph Hill Boulevard lot. We often wish there was a lovely home that was thoughtfully built, instead of a blighted empty lot. It is our understanding that the owners are proposing a well thought out architectural plan that complies with city ordinances. We should work with them to create something in keeping with the neighborhood.

Wouldn't it be better to have a family or couple living in a newly built, well manicured home, where currently there is nothing but dirt and an unsightly chain link fence? The lot is filled with litter because of the wind tunnel effect, caused by no building on the lot.

Think of the jobs the construction and ongoing maintenance will create, the increased tax base, the additional stimulus to the community. The city needs to embrace and welcome residents who want to set up roots here and improve the city.

Further, it would be nice to have the driveway that once existed reinstated. In an emergency, there is no place to turn around until you get all the way to the top of the hill.

We are neighbors, we are taxpayers and we are supporters of the development of this unused parcel, 115 Telegraph Hill Blvd.

Thank you for your consideration.

Kind regards,

Marina Galli, CFA
& Monty Reedy

From: [Lauren Haugh](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Supporting the project on 115 Telegraph Hill
Date: Wednesday, July 09, 2014 11:46:15 AM

Dear Ms. Watty,

I would like to express my strong support for the proposed project at 115 Telegraph Hill. The Filbert steps are one of my favorite places to run. I have lived in the city for over 7 years and I don't think I have seen a bigger eye sore than this vacant lot. I have always wondered why it has remained vacant for so long. Last week I met Jeremy Ricks and his architects who were visiting the spot and looking at plans. I approached them and asked if they were developing the project etc... They showed me the plans and I absolutely love what they are proposing. I think that it will be a great addition to the neighborhood. I asked them if there was anything that I could do to help and they suggested that I write a letter of support, hence this email. I understand that there are no variances to this project and it falls under the height limit.

I would like to show my strong support for this project.

Sincerely,
Lauren Haugh
650-996-1090
S.F Resident

From: [Dustin Haytema](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Support for proposed Telegraph Hill Property
Date: Wednesday, July 09, 2014 11:10:31 AM

Dear Ms. Watty,

I have been renting an apartment near North Beach for over two years and walk near Coit Tower everyday on my way to work. Before even speaking to Mr. Ricks about the proposed project, I have commented on the vacant lot with many neighbors and tourists over the past year. It has been a huge eye sore for all local residents and tourists alike and sometimes even frequents vagrants at night.

I recently sat down with Mr. Ricks to discuss the building project and the proposed plans for 115 Telegraph Hill and am strongly in support of its development. Based on my experience, the project clearly falls under the height limit and there are clearly no proposed variances, thus making this project a perfect fit for that lot. This beautifully designed building will only add to the neighborhood as a whole.

I look forward to supporting this project through to completion.

Please contact me with any questions.

Best,
Dustin Haytema

From: [brad hedrick](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Fwd: support for 115 Telegraph Hill
Date: Wednesday, July 09, 2014 12:38:01 PM
Attachments: [Plans_Final_reduced.pdf](#)

Elizabeth,

I hope this note finds you well. I have lived in North Beach for many years now and know Jeremy Ricks from HS. Jeremy has brought me up to speed on the details of his proposal of the 115 Telegraph Hill Project, which seems like a great idea considering the lot he is pursuing has been vacant for so long. I foresee the project being a welcomed addition to the neighborhood. Per the plans, it looks the structure is below the height limit, and would not requires any major variances if any. Just thought i would shoot over a note to mention my firm support of the project and urge the planning commission too as well.

Always happy to chat.

brad hedrick
4154979844
520 chestnut St no 104
SF CA.

From: peter_iskandar
To: [Watty, Elizabeth \(CPC\)](mailto:Watty.Elizabeth.CPC)
Cc: pi_iskandar@yahoo.com
Subject: 115 Telegraph Hill Project Support
Date: Wednesday, July 09, 2014 4:54:46 PM

Hi Elizabeth,

I live nearby and am a property owner at 1835 Grant Ave. I recently reviewed the plans for Jeremy's project at 115 Telegraph Hill and I think this project will be a nice addition to the neighborhood. As far as I can tell the project will add desired property value to the surrounding area, will clean up an underused vacant lot, and does not exceed any size limits or require any variances.

I support the project and urge the planning commission to do so as well.

Sincerely,

Peter Iskandar
1835 Grant Ave.

From: [shane](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Support for 115 Telegraph Hill
Date: Wednesday, July 09, 2014 11:19:12 AM

Dear Ms. Watty,

My wife and I have lived in North Beach for over 3 years. We often visit Coit Tower, especially when we have out of town visitors.

For some time I have thought that this unpleasant vacant plot of land should be developed as it would add MUCH beauty to the area.

I have met with Jeremy Ricks and reviewed his plans and think that what he is proposing, in its CURRENT state, would be an absolutely fantastic addition to the neighborhood. I strongly believe that this project should be approved and ask the commission to vote yes on this project.

Thanks,
Shane Kennedy

April 1, 2014

San Francisco Planning Commission
City and County of San Francisco
1650 Mission Street
San Francisco, CA 94103

**RE: Support for Conditional Use Application
115 Telegraph Hill Boulevard/363 Filbert Street
Case No.: 2013.1375C**

Dear Commissioners,

I have lived at 381 Filbert Street since 1997. My home is immediately next door to the proposed new building at 115 Telegraph Hill Boulevard. I believe the project deserves your support. The property has been largely vacant for nearly twenty years, wrapped with a chain-link and with only the shell of a cottage remaining. The owner has been receptive to my suggestions about the design, which will be both attractive and at an appropriate scale for this location. I look forward to the property being cleaned up and improved.

Thank you.

Sincerely,


Mary Kay Kew
381-383 Filbert Street

From: [Dana Kueffner](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: PMHeinemann@aol.com
Subject: Re: 115 Telegraph Hill Boulevard - Planning Case No. 2013.1375C
Date: Tuesday, July 08, 2014 8:51:50 PM

Dear Ms. Watty, President Wu and Commissioners:

Let me apologize in advance for the informal nature of this correspondence.

My husband, Peter Heinemann, and I are wanting to go on record as strong supporters of the above referenced project. Peter and I have lived on Telegraph Hill for the past 30 years. Our home is located at 335 Greenwich Street, approximately 6 parcels north/east of 115 Telegraph Hill Blvd.

We believe that the project has been very thoughtfully designed. The owner and their architects have listened to and addressed a wide variety of community concerns and issues. They should be commended for all their efforts.

Please add our names to the list of supporters of this plan. Thank you for your kind attention.

Sincerely,

Dana L. Kueffner and Peter M. Heinemann
335 Greenwich Street
San Francisco, CA. 94133

From: [dennis leary](#)
To: [Watty, Elizabeth \(CPC\)](#)
Date: Wednesday, July 09, 2014 5:36:56 PM

Hey Elizabeth, my name is Dennis Leary; I live at 80 Alta St on Telegraph Hill. I am writing to express my support for the proposed development at 115 Telegraph Hill Blvd. I think the project would be an improvement over the vacant lot that now exists; I also do not think the proposed construction would disrupt the neighborhood in any manner. I have lived on the Hill for 9 years, and am well familiar with the politics up here. I hope the fear-mongers do not sabotage yet another attempt to better the neighborhood. If you need to talk to me further about this matter, please do not hesitate to contact me. Thanks very much.

From: [Jady Manibusan](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill
Date: Wednesday, July 09, 2014 10:58:23 AM

Dear Ms. Watty,

I live at 34 Jasper Place and am writing this email in strong support of the proposed project on 115 Telegraph Hill. The land has been an eye sore to the neighborhood and the city as a whole as hundreds of tourists view this vacant lot every everyday as they drive up to Coit Tower. I have met with Jeremy Ricks and reviewed his plans for the new structure and believe that it will be a welcomed addition to the neighborhood and I think that planning should strongly support the project in its current form. I am aware that the project is below the height limit and does not require any variances so I see no reason why the commission should not support it.

Many Thanks
Jady Manibusan

From: [McCandless, Michael](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Support for 115 Telegraph Hill
Date: Wednesday, July 09, 2014 1:07:21 PM

Hi Sally,

I have reviewed the details of Jeremy's proposal for 115 Telegraph Hill and I think the project will be a welcomed addition to our neighborhood. Given that it's well below the height limit and requires no variances I strongly support the project and urge the planning commission too as well.

All the best,

Michael

Michael McCandless
289 Chestnut Street
San Francisco, CA 94133
415-699-8324

From: [Bill Ricks](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Support for development of 115 Telegraph Hill Blvd
Date: Tuesday, July 08, 2014 4:17:20 PM

> Dear Liz,

>

> I am writing you to display my strong support for the proposed development at 115 Telegraph Hill Blvd. I am a long-time resident of the Bay Area, and long-time admirer of Coit Tower and Telegraph Hill. I am an owner of 339 and 341 Filbert Street.

>

> I have met several times with the owner and the architect of the proposed development of this property. I feel that their proposal for 3 homes on this property is very appropriate for this location. I have long marveled that an unsightly property surrounded by a chain-link fence was allowed to exist in this iconic location. The proposed 3 stylish homes on this site would add a great deal of value and beauty to the neighborhood.

>

> Please feel free to contact me if you have any questions or comments.

>

> Regards,

>

> Bill Ricks

> 925-890-3933

From: [Dana Rivera](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Supporting project at 115 Telegraph Hill
Date: Wednesday, July 09, 2014 12:37:55 PM

Hi Elizabeth,

I am writing in support of the proposed project at 115 Telegraph Hill. As a neighbor at 279 Filbert Street, I believe the project will fit into the character of the neighborhood and will fill a current void.

I have reviewed the details of Jeremy's proposal with him and because the project is below the zoned height limit and requires no variances, I urge the Planning Commission to support this project.

Thank you for your consideration.

Best,
Dana Rivera

From: [Vincent scholl](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Support
Date: Wednesday, July 09, 2014 11:11:01 AM

Ms. Watty

I am writing to support the proposed project of 115 Telegraph Hill. I often run the Filbert steps with my girlfriend (Lauren Haugh, who I think is also writing a letter of support). We met with the project sponsor and his team of architects at the site and reviewed their plans. I feel that what they are proposing is both reasonable and quite spectacular and would be a VERY welcomed addition to the neighborhood. I strongly support the project.

Best

Vince Scholl

From: [Silcox, Louis](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Boulevard, aka 363 Filbert Street
Date: Tuesday, July 08, 2014 1:32:14 PM
Importance: High

Dear Ms. Watty,

I am the real estate agent who is involved in the sale of this property. I am also a long-time resident and property owner on Telegraph Hill, having lived here since the 1980's. My home is just six doors away from the parcel that has long been vacant, an eye-sore, a place for homeless to camp and a fire-hazard also, in my opinion. I will be writing a formal letter to you later today and emailing it to you. I just sent you an email from several other neighbors who currently live nearby, with the exception on one couple, who have now moved to another part of the city. Among those who signed that letter are a number of civic and charitable organization leaders, two architects and a couple who live in a Gardner Dailey designed residence a few doors away on Telegraph Hill Boulevard. There are also two architects who have signed. Having studied architecture at U.C. Berkeley myself, I have a tremendous appreciation for good architectural design.

While I may be involved in marketing and selling the finished product, my main interest in seeing this property developed is as a neighbor.

Sincerely and with kind regards,

Louis

**Louis J. Silcox, Jr.
Senior Marketing Consultant
Sotheby's International Realty
117 Greenwich Street
San Francisco, CA 94111
415 296-2229 Direct
415 297-2277 Cellular
415 901-1701 Facsimile
www.SFEstates.com
BRE License # 00949191**

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July 8, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 115 Telegraph Hill Boulevard (3 Proposed Townhouses + remodel of an existing Cottage)
Planning Case No. 2013.1375C
Hearing Date: July 17, 2014

Dear Ms. Watty, President Wu and Commissioners:

I have been a resident on Telegraph Hill since 1976 and love it dearly. In my early years there I was a renter while I studied architecture at U.C. Berkeley and have always considered myself fortunate indeed to call "The Hill" my home. Since then I was able to purchase my own home on the hill and I treasure it dearly. There is nowhere else in San Francisco that I would prefer to live.

I have also been a successful real estate agent in San Francisco since 1987 and I specialize in Telegraph Hill properties. Over the years I have learned that there are few homes in our neighborhood that are larger than two bedrooms, while there is a significant demand for such homes.

I support this project of 3-4 bedroom homes plus the remodeling of the existing cottage because good housing is needed everywhere in our city and family sized homes are very much needed on Telegraph Hill. I believe that a neighborhood that is rich in its eclecticism must by definition include family homes and homes that can also serve handicapped or very elderly persons as well as able bodied ones who can walk quickly up a hill with two full bags of groceries and their brimming briefcases. I can still remember being able to do that myself. The three townhouses that are proposed can serve any of these individuals as a proper and wonderful place to call home.

The project has already passed design review and does not seek any variances. Contrary to what some claim, it does not impact the public views from either Pioneer Park or Coit Tower. I live next to Coit Tower and walk this area regularly, so I can attest to that fact. Additionally, there was a driveway and curb cut previously, as evidenced by photographs that have already been provided to you. The sidewalk and curb were expanded out several years ago by the city when an additional stairway to Coit Tower on the South slope was created. A few people claim that this driveway cut never existed, which is a false statement. I do believe that there are a few individuals who oppose this project that do, in fact, have a personal vendetta against the sellers/current owners of this property and would rather it remain abandoned than have them benefit ever, in any way, from the sale of the property. Unfortunately, these few people have the ears of many uninformed residents on the hill and I imagine that their specious claims have generated dozens or even more letters to you in opposition of this handsome project.

Mr. Ricks and his architect, Lewis Butler have made several concessions and accommodations to the neighbors requests and demands, some very costly, including dramatically reducing the overall mass of the structure, particularly at the rear, a very costly reconfiguration of the garage structure, reducing the height of a major portion of the structure, volunteering to create a view corridor for pedestrians, that

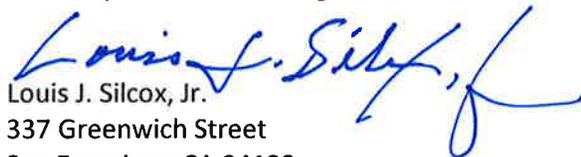
was never there when the previous structures were there. I remember those derelict structures well. They were actually deemed unsound by the city before a permit was issued by the city to demolish them.

I have over the course of the past several years witnessed break-ins onto the property and into the cottage, people dumping garbage there, people constantly loitering there smoking marijuana and drinking alcohol at all hours and lots of graffiti as well. Even though the owners cut back the weeds, it remains a severe fire-danger in my opinion. I often see passersby, some of them tourists, who may not know any better, flick lit cigarettes aside with them sometimes landing in the weeds. A severe fire-hazard, if there ever was one!

This project will provide a great deal of revenue for our city, new homes for four families, possibly even multi-generational families, many construction jobs, many service jobs such as landscapers & gardeners, decorators, house-cleaners, window washers and other maintenance personnel. Beyond that, it will extinguish a fire-hazard and what has long been an attractive nuisance and will most certainly improve overall safety and quality of life for its immediate and nearby neighbors. The neighbor, who in my view has the most potential to be impacted by this construction, Mary Kay Kew, wholeheartedly supports this project.

In closing, I and many of my well informed neighbors support this project and look forward to the day when there are beautiful homes ready to welcome all sorts of new neighbors and friends.

Sincerely and with kind regards,


Louis J. Silcox, Jr.
337 Greenwich Street
San Francisco, CA 94133
415 788-2008

July 7, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Boulevard.

Dear Ms. Watty:

The purpose of this letter is to convey a message of strong support for the proposed new development at 115 Telegraph Hill Boulevard from the undersigned individuals, all of whom are, or have been, residents of Telegraph Hill; they are also intimately familiar with the site, its history, and immediate environs.

We support the proposed development at 115 Telegraph Hill Boulevard because....

- It will extinguish what has been, for years, an empty and unattractive lot which has served increasingly as a refuse collection point and occasional unauthorized occupancy. It is also a fire-hazard. Many passersby, especially foreign tourists, discard burning cigarettes as they walk by without putting them out.
- The proposal complies with existing planning and zoning regulations and requires no variances.
- The clean modern design and rich surface materials are consistent with the adjacent Gardner Dailey structure to the immediate east and with the eclectic architecture found on many blocks of Telegraph Hill.
- When built out, no neighbor's south-facing cityscape views will be affected. The new buildings will not obstruct views from Pioneer Park or Coit Tower. Furthermore, the applicant and his architect have thoughtfully provided a generous view corridor to the city skyline, from the front to the rear of the property, which never existed when the pre-existing buildings were there.
- There will be little or no shadow effect on neighboring properties.
- Our City desperately needs housing of all types as evidenced by the Mayor's goal of 30,000 new units.
- This site-when improved-will generate tax increment to the City in excess of \$200,000 per year thus helping significantly to mitigate the City's \$134M annual operating deficit.

Converting this site from an empty, bleak lot to a place with elegantly designed homes generating much needed revenue for the City seems like an obvious choice. After literally decades of stasis, it's time to get on with it.

Gussie Stewart

Anne Halstead

Lynda Spence

Janet Crane

John Stewart

Wells Whitney

Bob Mittelstadt

Rod Freebairn-Smith

DocuSigned by:
Lynda Spence
CF9C2291E4B4480

July 7, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Boulevard.

Dear Ms. Watty:

The purpose of this letter is to convey a message of strong support for the proposed new development at 115 Telegraph Hill Boulevard from the undersigned individuals, all of whom are, or have been, residents of Telegraph Hill; they are also intimately familiar with the site, its history, and immediate environs.

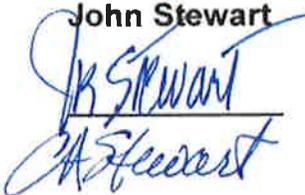
We support the proposed development at 115 Telegraph Hill Boulevard because....

- It will extinguish what has been, for years, an empty and unattractive lot which has served increasingly as a refuse collection point and occasional unauthorized occupancy. It is also a fire-hazard. Many passersby, especially foreign tourists, discard burning cigarettes as they walk by without putting them out.
- The proposal complies with existing planning and zoning regulations and requires no variances.
- The clean modern design and rich surface materials are consistent with the adjacent Gardner Dailey structure to the immediate east and with the eclectic architecture found on many blocks of Telegraph Hill.
- When built out, no neighbor's south-facing cityscape views will be affected. The new buildings will not obstruct views from Pioneer Park or Coit Tower. Furthermore, the applicant and his architect have thoughtfully provided a generous view corridor to the city skyline, from the front to the rear of the property, which never existed when the pre-existing buildings were there.
- There will be little or no shadow effect on neighboring properties.
- Our City desperately needs housing of all types as evidenced by the Mayor's goal of 30,000 new units.
- This site-when improved-will generate tax increment to the City in excess of \$200,000 per year thus helping significantly to mitigate the City's \$134M annual operating deficit.

Converting this site from an empty, bleak lot to a place with elegantly designed homes generating much needed revenue for the City seems like an obvious choice. After literally decades of stasis, it's time to get on with it.

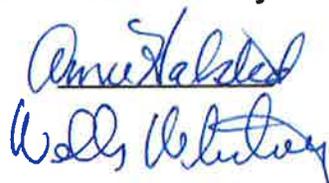
Gussie Stewart

John Stewart



Anne Halstead

Wells Whitney



Lynda Spence

Bob Mittelstadt

DocuSigned by:
Lynda Spence
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Janet Crane

Rod Freebairn-Smith



Judy M. O'Shea

Judy M. O'SHEA
M J O'Shea
MICHAEL J. O'SHEA
IRENE LINDBECK

DocuSigned by:
Robert Mittelstadt

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TIBBETS
J. Tibbets

DocuSigned by:
Gail Switzer

Gail Switzer...

Judy M. O'Shea
Judy M. O'SHEA
Michael J. O'Shea
MICHAEL J. O'SHEA
IRENE LINDBERK
TIBBETS
Irene Lindberk

DocuSigned by:
Robert Mittelstadt
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DocuSigned by:
Paul Switzer
Paul Switzer
200875003A74E

From: [Chris Stockton](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Condominium Project at 115 Telegraph Hill Boulevard
Date: Sunday, July 06, 2014 9:13:38 AM

Case 3013.1375

As a long standing member of Telegraph Hill Dwellers and as a resident of Telegraph Hill, on Chestnut Street, please be advised that I do not oppose the development of the property at 115 Telegraph Hill Boulevard for condominiums as long as the building does not exceed the usual 40' height limit and provides for the usual rear yard open space.

Chris Stockton,
Architect, retired

From: david.taylor10@comcast.net
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill
Date: Wednesday, July 09, 2014 11:14:15 AM

Hi Elizabeth,

I support the project at 115 Telegraph Hill as shown and am looking forward to getting rid of that eyesore lot.

Thank you,

David Taylor
1460 Montgomery Street
650 339 1476

May 5, 2014

SF Planning Commission
1660 Mission Street, First Floor
San Francisco, CA 94103-2479

Re: Proposed Project @115 Telegraph Hill

Dear Planning Commission Members:

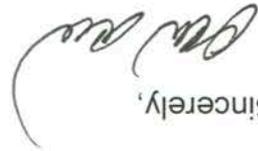
I have been a homeowner in San Francisco for more than a decade. Last year, I purchased a home in the Telegraph Hill neighborhood.

Recently, I had the opportunity to review the preliminary plans for a proposed project at 115 Telegraph Hill. I believe this proposal would be a welcome addition to our neighborhood providing an attractive multi-family structure on what is now a poorly maintained, vacant lot.

While I understand that you must take into consideration a variety of issues in your decision-making process, this appears to be a well-thought out proposal from a reputable, local firm. Most importantly, the overall plan would fit nicely into our existing neighborhood.

As a homeowner who lives close by and has an interest in the future of our neighborhood and San Francisco as a whole, I enthusiastically support the proposed plans. Thank you for your consideration.

Sincerely,



Olivia Ware
112 Alta Street
San Francisco, CA 94133
(650) 868-7955
ocware@gmail.com

From: [Wells Whitney](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: [John Stewart](#); [Gussie Stewart](#); [Anne Halsted](#); [Lynda Spence](#); [Robert Mittelstadt](#); [Janet Crane](#); [Rod Freebairn-Smith](#); [Louis Silcox](#)
Subject: Concerning 115 Telegraph Hill Boulevard
Date: Tuesday, July 08, 2014 2:50:31 PM

July 7, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Boulevard.

Dear Ms. Watty:

The purpose of this letter is to counteract some comments made by representatives of the Telegraph Hill Dwellers organization regarding this project. Here are their points, with my counter arguments:

<!--[if !supportLists]--> <!--[endif]-->The project would block sweeping views of San Francisco enjoyed by Pioneer Park visitors – ***In fact, by my own observation (I have pictures) the trees and vegetation on the top and sides of the hill already block all views on that side of Pioneer Park and this project in no way makes that worse.***

<!--[if !supportLists]--> <!--[endif]-->The project would adversely impact users of the 39 Coit Tower MUNI bus both during and after construction. – ***I have been told that there will be absolutely no effect on the bus stop during or after construction, nor to the Filbert steps either below or above the project site.***

<!--[if !supportLists]--> <!--[endif]-->The project would eliminate access from the Filbert steps for up to 2 years and create dangerous conditions nearby. – ***I have been told that there will not be limitations on the access of the Filbert steps at any time.***

<!--[if !supportLists]--> <!--[endif]-->The project would “reward” the current owners for demolishing affordable housing and an historical cottage – ***The demolition of housing on the property occurred many years ago and is not relevant to this project. The cottage which remains is in fact unlivable at present but is not now planned to be demolished during this project.***

Thank you for consideration of these points and corrections to misstatements made by neighborhood opponents to the project. Converting this site from an empty, bleak lot to a place with elegantly designed homes generating much needed revenue for the city still seems like an obvious choice.

Sincerely yours – Wells Whitney

Wells Whitney

1308 Montgomery St.

San Francisco, CA 94133

Wells Whitney

1308 Montgomery St.

San Francisco

CA 94133

415 203 5826 Wells' cell

415 398 5077 home in SF

707 996 4750 home in Glen Ellen

From: [Andrea Winograd](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill
Date: Wednesday, July 09, 2014 4:07:56 PM

Ms. Watty

My name is Andrea Winograd and I live at 1437 Hyde Street, and I have reviewed the details of Jeremy's proposal on 115 Telegraph Hill with him and I think the project will be a welcomed addition to the neighborhood. The project is below the height limit and requires no variances so I strongly support the project and urge the planning commission too as well. The vacant lot has been there for way too long and this is the perfect project for the property.

Please share my email of support with the planning commission and respective supervisors.

Thank you!

Andrea Winograd

From: [Justin Yonker](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Fwd: Support for Proposed Project at 115 Telegraph Hill
Date: Wednesday, July 09, 2014 4:39:24 PM

SF Planning Dept.

To Whom It May Concern,

I am a nearby neighbor and owner of my residence at 527 Union Street. I have reviewed the plans for Jeremy's project at 115 Telegraph Hill and I think the project will be a welcomed addition to our neighborhood. The project appears to be below the height limit, does not appear to require any variances, does not appear to have any negative effect on the neighborhood, and adds value to all nearby properties. Therefore I support the project and urge the planning commission to do so as well.

Sincerely,

Justin Yonker

Master Builders
C: [415-806-4676](tel:415-806-4676)
O: [415-567-8886](tel:415-567-8886)

justin@masterbuilderssf.com
www.masterbuilderssf.com

Please consider the environment before printing this e-mail

From: johanna.abate
To: [Watty, Elizabeth \(CPC\)](mailto:Watty.Elizabeth.CPC)
Cc: thdpz@mindspring.com
Subject: Housing Project on Telegraph Hill
Date: Sunday, July 06, 2014 7:39:32 PM

Regarding a proposal for a massive, luxury housing project proposed for the large, long vacant parcel at 115 Telegraph Hill Blvd. on the Filbert steps at the top of Telegraph Hill :

This project would:

- **Block the sweeping views of San Francisco enjoyed by Pioneer Park users**
- **Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street).**
- **Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction**
- **Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will be next to their new driveway)**
- **Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site**
- **Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.**
- **Reward the current owners for their defacto demolition of the historic cottage on the southern edge of the property**

NO NO NO NO NO!!!!

Johanna Abate
SF Resident since 1977

-

From: [Catherine Accardi](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Monday, July 07, 2014 11:46:57 AM

Elizabeth,

I just wanted you to hear from a life-long resident of San Francisco, born and raised on Telegraph Hill.

The 115 Telegraph Hill Blvd. project is very disturbing to those of us that care about North Beach. Just about all citizens are aware of the mind-boggling influence of developers on local government. It is a malignancy than cannot be stopped all-together. But how about we try to keep the silly super-building trend confined to areas like south of Market and not let the malignancy creep up to Telegraph Hill.

I understand if city government does not care about our votes but adverse developments on Telegraph Hill will also impact the safety and desirability that draws tourists to the iconic Coit Tower and Pioneer Park. Think about the long-time \$\$\$ not just the short-term \$\$\$ from developers. Pass along this message to the people at City Hall that decide what happens to their citizens' neighborhoods.

Catherine Accardi

From: susansf@ix.netcom.com
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd
Date: Wednesday, July 09, 2014 11:36:28 AM

Regarding a proposal for a massive, luxury housing project proposed for the large, long vacant parcel at 115 Telegraph Hill Blvd. on the Filbert steps at the top of Telegraph Hill :

This project is not suitable for this site. It would interfere with the ability of visitors and neighbors to use and enjoy the surrounding area. It would disrupt pedestrian traffic, auto traffic, and MUNI. It would obliterate spectacular views of downtown enjoyed by those who hike from Kearney to Coit Tower. Coit Tower is one of San Francisco's most iconic and precious treasures. The proposed massive structures would detract from the setting.

Susan Beard
SF Resident 43 years

From: [Mark Bittner](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Case No. 3013.1375CE, 115 Telegraph Hill Blvd Project
Date: Tuesday, July 08, 2014 11:49:23 AM

Dear Ms. Watty,

My name is Mark Bittner. I am a homeowner and 40-year resident of the North Beach/Telegraph Hill area. When I first arrived here in 1973, this place was unique and magical to a degree that I'd never seen anywhere else in America. It's these two qualities that, over the years, have been drawing visitors, one of the foundations of this city's economy. Lately, I've been watching an alarming trend where developers push bland or downright ugly projects that undermine what is so extraordinary about this place. Case No. 3013.1375CE, at 115 Telegraph Hill Blvd, is one such project. Pioneer Park with Coit Tower is one of the most beautiful spots in the city. This apartment project would substantially alter its character. If we make our neighborhoods look more and more like any other neighborhood in any other city in America, what reason does anyone have to come here anymore? And why should the residents of this city have to endure someone's lack of imagination? This project has one purpose and one purpose alone: to make one speculator a bundle of money. The rest of the city loses. I ask the Planning Commission to reject this proposal.

Sincerely,

Mark Bittner
Author, "The Wild Parrots of Telegraph Hill"

From: [David Burnett](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Case # 3013.1375CE Proposed Telegraph Hill Development
Date: Tuesday, July 08, 2014 1:26:26 PM

After reviewing the proposed project drawings I have come to the conclusion that the proposed project for 115 Telegraph Hill Blvd. would have the following negative impacts.

- 1) The proposed project would create a southern wall on the boundary of Pioneer park obstructing park user views.
- 2) The proposed curb cut for the proposed garage entrance would create a hazard for pedestrians using Telegraph Hill Blvd. and the Filbert steps.
- 3) If it could be done I would like to see more than 3 units on this site.

DAVE BURNETT

From: [Lance Carnes](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: [THD Planning & Zoning](#)
Subject: Proposed project at 115 Telegraph Hill Blvd (Case No. 3013.1375CE)
Date: Tuesday, July 08, 2014 10:20:43 AM

Dear Elizabeth,

The above-mentioned project as currently designed will have numerous negative effects on the sensitive and dense neighborhood atop Telegraph Hill:

Pedestrian safety: The proposed Filbert Steps pathway changes near Telegraph Hill Blvd. would create dangerous conditions for the thousands of pedestrians who use this route annually;

Traffic congestion: The already traffic-choked route to the Tower would be further constricted due to the proposed development, both before and after construction;

Public transit access: the current Muni stop is on the driveway of the proposed development and would be an unsafe place to wait or off-board; and

Historic resources demolished: The historic cottage on the southeast edge of the site would be removed.

For these and other reasons this project needs to be reviewed carefully and revised to allow it to better fit into the current neighborhood. There is a forum where this can be done constructively: the *Telegraph Hill Dwellers (THD) Planning & Zoning Committee*. By attempting an end-run around this forum the developers have shown an unneighborly attitude and disdain for the existing community. The developers need to first meet with the THD committee for a plan review. Other project developers who have used this forum have found that not only are their projects more acceptable to neighbors but that their projects are greatly improved in general.

I encourage the Planning Commission to reject the current project and direct the owners and developers to begin meeting with neighbors to come up with a plan that will work for all concerned.

Respectfully,

Lance Carnes

North Beach resident

From: [Dorothy Chang](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Monday, July 07, 2014 6:37:51 PM

(Case No. 013.13755SCE to be brought before the Board of SupervisorsThe new houses that were allowed to be built bon the North Side of Telegraph Kill by some grafters are an abomination and totally spoil the visit of the Hill as we look up at it. Rich SOB/s who are hardly ever there - I see these houses up on the Hill every day.. Don't let this kind of building happen again!!! Dorothy Chang

From: [Lifetheatre \(cynthia\)](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Tuesday, July 08, 2014 6:58:34 AM

Dear Ms. Watty,

I'm writing to protest the building of luxury condo's on Telegraph Hill. Case #3013.1375 CE. As a twenty year resident of North Beach/Telegraph Hill, and renter, I've seen the rents rise over the years to the point where only the wealthy can live in our beautiful neighborhood. If I were to try and move here now, there would be no way I could afford even the most modest of apartments. To eliminate 11 units of affordable housing to build four enormous apartments is just unfair. It makes me very sad to think that San Francisco is going the way of Manhattan, it's becoming a place where only the very rich can live.

People in our neighborhood take walks and Coit Tower is a popular route for us. To deny access to our most favorite evening walk for two years, especially after the relentless construction on Columbus is just depressing. This once again caters to the needs of the few over the quality of life for the many. Don't let this happen to our neighborhood, which is really like a small town.

Please do not allow them to build this building!

Thank you,
Cynthia Cristilli
418 Lombard Street
San Francisco, 94133

From: nomads18@yahoo.com
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Telegraph Hill condos
Date: Tuesday, July 08, 2014 9:07:09 PM

It seems a natural human tendency to oppose change of any kind but, in fact, some things need opposition. While I personally have no issue at stake in the condo construction on Telegraph Hill I see the proposed structures as described as having a deleterious effect on the community by disrupting the wonderful visage from Pioneer Park.

The very existence of your organization is testament to society's intention to protect the community from the unwarranted advance of any one individual or group. While it is the essence of America's promise that everyone has the right to advance his dreams it must be done without interfering with others' right to do the same.

Your task is not an easy one but I ask that you give the proposed project the closest possible scrutiny. Does it really preserve the community's values? I do not think so.

Robert Demchick

550 Battery Street

San Francisco, CA

THE DWARES GROUP
PROPERTY DEVELOPMENTS

331 Filbert Street
San Francisco, CA 94133
(Between Telegraph Hill Blvd.
(Lombard) and Montgomery St.
near Coit Tower)

Phone: 415-986-5885
Facimile: 415-986-5893
E-mail: pldwares@aol.com
PETER L. DWARES, PRESIDENT

July 7, 2014

Cindy Wu, President
Planning Commission
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Case No. 3013.1375CE
115 Telegraph Hill Blvd.
Telegraph Hill-North Beach Residential SUD
Request for Conditional Use Authorizations

Dear President Wu and Commissioners,

I am writing to express my concerns regarding the proposed project at 115 Telegraph Hill Blvd. and respectfully request that the Planning Commission not approve the Conditional Use Authorizations for this project.

I have owned at 331 Filbert, steps away from the property, since 1977. I observe traffic jams thus project would exacerbate significantly.

I love the scale of the Filbert Steps. We have no parking on the Steps.

It is rare that a local, neighborhood project rises to the level that I bother to write the Commission, but the proposed luxury condominium project at 115 Telegraph Hill Blvd., if built as proposed, would be a terrible planning mistake that will adversely impact San Francisco's world renowned Telegraph Hill, Coit Tower and the surrounding 4.89 acre Pioneer Park. Fundamentally, the issue at stake is about protecting the public's interest in Pioneer Park and Coit Tower. This is not about any particular neighbor's self-interest or views – this is about the public interest and the public's views, parks, access and pedestrian safety.

As San Francisco residents we have a collective duty to safeguard these treasures for future generations. The proposed project, if approved, will have an array of significant, adverse impacts to Coit Tower and Pioneer Park.

The proposed project would:

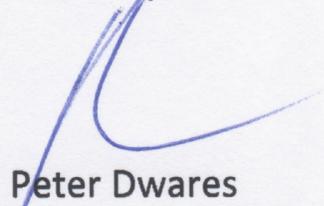
- Block the sweeping views of San Francisco enjoyed by thousands of Pioneer Park users

- Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)
- Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction. I have long felt a driveway there is a very bad idea.
- Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current bus stop will be next to their new driveway)
- Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site
- Reward the current owners for demolishing 11 units of affordable housing and replacing them with three market rate, 4,000 to 5,000 square foot, condos.
- Reward the current owners for their defacto demolition of the historic cottage on the southern edge of the property.

Please come and look at the site on a typical busy weekend day.

I hope that the Commission will reject the project as currently propose and encourage the project sponsor to come back with a more compatible project that better fits this unique important site which will be less impactful to Pioneer Park, the Filbert steps and Telegraph Hill Blvd.

Sincerely,



Peter Dwares
331 Filbert Street
San Francisco, CA 94133

From: [blandina farley](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: no condo on telegraph hill!!!!!!
Date: Monday, July 07, 2014 5:34:33 PM

As resident of North Beach?Telegraph Hill I absolutely oppose the luxury condo on the Filbert Steps on Telegraph hill and you will find that mostly all neighbors feel the same and you will be in for yet another battle in court

From: [Timothy Ferris](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: [CaISky.com Alerter](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Monday, July 07, 2014 11:57:50 PM

Dear Ms. Watty,

Regarding the proposed three residences at 115 Telegraph Hill Blvd., in our meetings with the developer, Jeremy Ricks, he assured us that he wanted to hear our thoughts and to respond accordingly in a revised design. Our conversations have been friendly and Mr. Ricks invariably polite.

We expressed just two concerns:

1. That something of a view corridor be preserved between the buildings;
2. That the design of the homes be more individualistic relative to one another, and of a vitality more nearly comparable to that of other homes near the top of the hill—rather than resembling, as I rather unkindly put it, the concrete cubes of an East Berlin housing project.

As neither of these concerns appears to have been addressed in the most recent revision, we are unable to support the proposed project at this time.

Yours,

Carolyn & Timothy Ferris

From: [Anthony Gantner](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd. (Case # 3013.1375CE)
Date: Wednesday, July 09, 2014 1:12:52 PM

Dear Ms. Watty:

I am writing to express my objections to the proposed condominium project at 115 Telegraph Hill Blvd (Case No. 3013.1375CE) as it is presently envisioned.

As you are no doubt aware, since World War II, the history of Northeastern San Francisco is littered with development proposals that may have seemed appropriate to some at the time, but wrong to the many who lived in or around the subject areas.

Some of those proposals, fantastical now, were judged by proponents as perfectly reasonable at the time. A few examples: extending the Embarcadero Freeway north past Broadway along the eastern (Bay) side of Telegraph Hill, as part of a proposed over-water bridge between San Francisco and Tiburon with exit ramps at Stockton and Francisco; a parking garage under Washington Square Park; proposed seven towers at Aquatic Park--the twin Fontana Towers were unfortunately built; 8-lane tunnels under Russian Hill; a proposed series of hotels along the Northern Waterfront halted at the ballot; highrises on Russian Hill---one built just down the alley from me at the time, now prevented by 40 foot height limits approved by a then-enlightened Board of Supervisors; and more recently, development proposals along the Northern Waterfront that would have breached existing height limits---turned back by unequivocal votes of the people of San Francisco. This is only a partial list of the horrors perpetuated on Northeast San Francisco that faded away as in a fevered dream.

The reason for bringing up the above matters is that it is far better to make good faith efforts to seriously consult with the neighborhoods potentially effected by development projects, which in the present instance appears to many reasonable observers as out-of-scale, inappropriate in location, with adverse environmental impacts. It is my understanding that this proposal effectively slid by the Telegraph Hill neighborhood and is shortly to be heard before the Planning Commission.

I well know the location in question. I live several blocks away and have walked by it hundreds of times. The project is inappropriate in its present form---a massive condominium project, hugely disruptive, that would be completely out-of scale---particularly given its location, contiguous to Pioneer Park and Coit Tower. Is there a more iconic location in San Francisco? Is there a more fragile neighborhood in San Francisco? Is traffic not a serious concern along one of the most beloved streets and visitor/Muni routes to Coit Tower? Is there any neighborhood in San Francisco where scalability is more important?

Postpone this matter, have the project proponents make a good faith effort to work with the neighborhood, then scale back the proposal to try and reach some form of consensus.

Thank you for your kind attention to this matter.

Sincerely,
Tony Gantner
235 Chestnut St.

San Francisco, CA 94133
415/596-3626



July 7, 2014

Cindy Wu, President
Planning Commission
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: *Proposed Luxury Condos and Garage Project at 115 Telegraph Hill Blvd, Case No. 3013.1375CE*

Dear President Wu,

I write on behalf of Protect Coit Tower, a nonprofit citizens group dedicated to the preservation of Coit Tower and the historic Depression-era murals that reside inside. As you know, Coit Tower is an iconic symbol of our unique city, known to every San Franciscan and instantly recognized around the world. Because of Lillie Hitchcock Coit's generous bequest "to beautify the city I have always loved," for 80 years Coit Tower and its murals have been a permanent gift to the people of San Francisco and have been enjoyed by millions of visitors from around the world.

Following voter approval in June 2012 of a ballot measure creating a Coit Tower Preservation Policy, the city engaged in the largest renovation project in Coit Tower's history, spending \$1.7 million to fix the building from top to bottom and painstakingly restoring the damaged Depression-era murals to fabulous condition. The city also proceeded with a major upgrade of the interior operations of Coit Tower, bringing in a new concession company to improve the gift shop, implement regular mural tours, greet visitors as they enter, and implement new Art Commission guidelines to ensure the Tower and murals are more easily enjoyed by visitors and protected from damage.

This is why, less than two months after you, the Mayor, and other city leaders joined with the community for a grand Coit Tower Reopening Celebration on May 14, 2014, it is a shock to discover that the Planning Commission later this month is scheduled to vote to waive a full environmental review and greenlight the construction of a large luxury condo project and multi-unit garage at 115 Telegraph Hill Boulevard immediately adjacent to Coit Tower. If approved, this would have serious short-term and long-term impacts on public access to Coit Tower. Construction and long-term environmental impacts from this project on Coit Tower need to be fully analyzed, particularly as it relates to the likely restrictions on public access to Coit Tower and Pioneer Park via the southern steps, the complete closure of the Filbert stairs pedestrian access to Coit Tower, and the serious impediments the project would create for the 39 Coit Muni bus and other vehicle access to Coit Tower.

Why on earth would the city not at least take the time to fully and adequately analyze the potential impacts of this proposed project on Coit Tower so soon after the voters made clear the importance of Coit Tower and \$1.7 million in public funds have been expended to restore the Tower to beautiful shape? Furthermore, the new Coit Tower concessionaire is working hard to make his operation successful, and the impacts of this project on his ability to succeed, and consequently for the city to receive the millions in revenue that Coit Tower visitors provide, should at least be understood before allowing this project to proceed with a special waiver from the Planning Commission.

I hope you will take this information into consideration as you consider this issue.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jon Golinger', with a small dot at the end of the line.

Jon Golinger
Protect Coit Tower

Cc: All Members, San Francisco Planning Commission
Elizabeth Watty, San Francisco Planning Commission
Supervisor David Chiu



7/7/2014

Ms. Cindy Wu

President

San Francisco Planning Commission

Re: Case # 3013 1375CE (115 Telegraph Hill Avenue)

As the newly-placed concessionaire at Coit Tower, I need to express real concerns over the three condo proposal at 115 Telegraph Hill Boulevard. As the operator, this project would certainly impact me negatively with reduced numbers of visitors able to use the transit system, further reduction of personal vehicles and the Filbert steps. The iconic Coit Tower, which was closed for six and half months for renovations has only been opened for two months. The tower is now producing income that supports several city parks as well as the tower. The lease with Recreation and Parks Department took two years of negotiations with neighbors and concerned citizens and the reduction in the visitors to Coit Tower would constitute grounds for renegotiations with the city or put me at risk for outright failure to meet the minimum financial terms of the lease.

In general terms I am usually a proponent of peoples' property rights, but the impact of this project appears to cast a very large shadow on the surrounding area... affecting not only the park and tower but the wellbeing of many neighbors. The end result of this working well for only the three condo owners and the developer. Additionally, to consider a project of this magnitude without a comprehensive environmental impact study would be hasty and ill conceived.

If this project is approved, I would hope the Planning Department could make it conditional on less disruption to the surrounding area and consider the negative impact the project will bring to Telegraph Hill, Pioneer Park and Coit Tower, but as the project currently stands, I encourage you to reject the project as currently proposed.

Respectfully,

Terry Grimm

One Telegraph Hill

San Francisco, CA 94133

From: [Stan Hayes](mailto:Stan.Hayes@planning.com)
To: cwu.planning@gmail.com; planning@rodneymfong.com; wordweaver21@aol.com; plangsf@gmail.com; richhillissf@yahoo.com; Mooreurban@aol.com; hbsugs@sbcglobal.net; [Secretary, Commissions \(CPC\)](mailto:Secretary.Commissions.CPC@chiu.com); [Chiu, David \(BOS\)](mailto:Chiu.David@bos.ca.gov); [True, Judson](mailto:True.Judson@watty.com); [Watty, Elizabeth \(CPC\)](mailto:Watty.Elizabeth@watty.com)
Subject: REQUEST FOR ENVIRONMENTAL ANALYSIS - 115 Telegraph Hill Blvd (Case No. 3013.1375CE)
Date: Wednesday, July 09, 2014 5:44:15 PM

Members of the Planning Commission –

My wife and I own a house and live at 25 Napier Lane, where we have resided for ten years and I have lived since 1995.

I was a planning commissioner for a town in Marin County for sixteen years. In that time, I experienced many of the same development issues and pressures as you have on projects such as this. Like you, I've had to balance the rights of project proponents with community concerns about project impacts.

I'm sure that you, like me, have found that the best decisions are informed ones. Ones that identify, fairly analyze, and adequately account for the environmental impacts of a project, both seen and unforeseen. Ones that weigh in a balanced fashion the relative merits of reasonable project alternatives, not simply as proposed.

The site of the 115 Telegraph Hill project is an unusually sensitive one. It's located along the narrow, winding, and heavily travelled approach to Coit Tower, one of the San Francisco's most iconic landmarks, just reopened after extensive and protective renovation and now again enjoyed by thousands of visitors.

The City has a strong stake in protecting, and avoiding the interruption of, the visitor experience at Coit Tower and the surrounding Pioneer Park due to such factors as permanent loss of view corridors, traffic delays and disruption during construction, and continuing traffic and pedestrian safety dangers after construction (e.g., driveway access at the top of and directly across the Filbert Steps).

To ensure that these and other issues are addressed and mitigated, my wife and I strongly urge you to require an environmental analysis of at least the following:

- Size and massing of buildings (e.g., over-sized buildings leading to unnecessary loss of view corridors)
- Traffic safety and circulation (e.g., adverse impacts on Coit Tower visitor traffic, public transit including rider safety at bus stops, and local resident access)
- Geotechnical safety (e.g., adverse impacts on adjoining structures and the Filbert Steps, particularly excavation of a large auto elevator shaft immediately adjacent to the Filbert Steps)
- Construction impacts (e.g., extended periods of delay and access disruption to local residents, visitor traffic, public transit, and concession business)
- View corridors (e.g., loss of views from key visitor locations including incoming and outgoing traffic vantage points, Pioneer Park and the memorial steps leading to it, and the upper Filbert Steps).

We further urge you to require that the environmental analysis consider alternatives to the proposed project, as commonly required under CEQA.

Sincerely,

Stan Hayes

25 Napier Lane
San Francisco, CA 94133
(415) 298-0489 (cell)
<mailto:shayes@environcorp.com>

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From: [Judy Irving](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd. (Case No. 3013.1375CE)
Date: Tuesday, July 08, 2014 1:27:06 PM

Dear Elizabeth Watty and Planning Commission,

I'll leave it to others to describe the massive, inappropriate scale of the proposed project, and the views it would block. The last thing we need in San Francisco is more luxury condos (the entire city agrees on this point, having turned down 8 Washington and approved Proposition B). Please send this developer back to the drawing board. What he proposes doesn't work on any level. I'll give you just one example:

I've lived on the east side of Telegraph Hill for 13 years, and I walk over the hill via the Filbert Steps to my office, which is on Stockton on the west side. Daily I see pedestrians, mostly tourists, straining up the Filbert Steps from North Beach, then stopping at the top to get their bearings, catch their breath, and figure out how to proceed. The place where people congregate is exactly the spot where 115 Telegraph Hill Blvd wants to install a driveway! This is a very bad idea. These tourists are not paying attention to traffic hazards; they are disoriented and tired; the last thing they need is cars coming and going across the sidewalk where they all congregate.

This same spot is also where people get on and off the Coit 39 bus, and where people cross the street to continue up the steps to Coit Tower. Please leave the sidewalk intact so that all these people will stay safe, i.e., do not allow a driveway to cut through there.

My understanding is that new curb cuts are no longer allowed in this area, in any case. Is the project asking you for a special favor, only to endanger pedestrians' safety and create liability for the city? To say the least, it's poor planning. For this and many other reasons, the project as proposed should be rejected.

In a better world this lot, with its spectacular views, would be a PARK: "South Slope Park." I hope someday that's what actually happens. We need a better vision for Telegraph Hill, our world-class tourist attraction, better than luxury condos.

Best regards,

Judy Irving
Producer/Director
"The Wild Parrots of Telegraph Hill"
"Pelican Dreams" (Fall 2014 Premiere)

Pelican Media
1736 Stockton Street, Suite 2
San Francisco, CA 94133

415-362-2420 phone
films@pelicanmedia.org
www.pelicanmedia.org

From: [Julie Jaycox](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: [Cindy Wu](#); [Rodney Fong](#); [Gwyneth Borden](#); [Kathrin Moore](#); [Secretary, Commissions \(CPC\)](#); [Chiu, David \(BOS\)](#); [Judy Irving](#); [Katherine Petrin](#); [Stan Hayes](#); [Hisashi Sugaya](#)
Subject: 115 Telegraph Hill Blvd (Case No. 3013.1375CE)
Date: Wednesday, July 09, 2014 4:57:08 PM

To Elizabeth Watty and Planning Commission:

Besides the fact that this project is grossly over-scaled for the location and the neighborhood, creates a huge reflective glass wall across the south side of Telegraph Hill, blocks panoramic views from most Pioneer Park locations, and is a luxury condominium project that will most likely house people who are rarely in residence, the actual construction of this project will have some extreme effects on the locality. Due to its accessibility from only one street - which is also the only street that accesses Coit Tower - the disruption to the people who live there and the large number of people who visit will be absolute.

This project has ONLY ONE ACCESS POINT - a narrow, heavily trafficked winding road with turnaround available only at the Coit Tower parking lot. Living next to the huge building project on the 200 block of Green Street at Montgomery, I can say that this proposed construction project will probably look like this for minimally 2 years:

- excavation requires multiple dump truck trips arriving empty and being filled, with no off-road loading area, creating dust and dropping debris
- cement truck traffic with subsequent noisy pouring time, with no off-road parking space
- excavation requires debris boxes dragged in, filled, traded out - most likely needing the Coit Tower parking lot for any maneuverability at all, with no off-road loading/parking space
- excavation may require blasting rock from a substrate known to be crumbly and unstable (look at the hill that fell down above Broadway near Montgomery just a few years ago)
- local resident parking at the Coit Tower parking lot replaced for years by construction parking or debris box turn-around
- cranes to lift in large structural components and the necessity to close the road for each use, crane engines/machinery running the entire visit to the site

I believe a comprehensive traffic and pedestrian study needs to be made before anything is approved on this project. I understand there will be NO environmental impact studies. There are too many people who access this location to block access for the number of years it will take to finish this construction or to put them in danger once there is a driveway in a location where a stairway, bus stop and crosswalk all meet. Having worked in a location on a street leading to the Tower, I have seen the

countless numbers of tourists who climb up and down Telegraph Hill every day, in all seasons. It never stops.

It is also undeniable that the City and Park and Rec are interested in Coit Tower being a viable and regular income stream. Coit Tower was just reopened after a significant renovation with a new vendor inside the building who has taken over the lease longterm. The lines to go to the top to see the views have increased. Pioneer Park is being continually groomed to deal with the bad decisions of previous landscapers to try to overcome the ingrown views. The planting of native plants is in progress to encourage bee foraging and local bird and animal visits. The 39 bus, after years of being neglected by the MTA, has been rerouted at the bequest of Telegraph Hill residents to wait for tourists in front of Pier 39 to increase ridership up to the top of the hill. *But this will all be to no avail if construction of this huge project goes forward on the only street that accesses both this address and Coit Tower.*

This project has so many detrimental issues that will not be reviewed by the City (for an unknown reason/decision by someone in the Planning Department, apparently) that it would be folly to approve it as is. Please reconsider any idea to allow this monstrous project to disrupt the enjoyment of a gorgeous part of San Francisco's historic Telegraph Hill, and disrupt the function of a beloved local monument.

Thank you.

Julie Jaycox
307 Green Street SF CA 94133

From: [Paul"n"Shanti Kohler](#)
To: [Watty, Elizabeth \(CPC\)](#)
Cc: thdpz@mindspring.com
Subject: Opposition to 115 Telegraph Hill Blvd Development
Date: Sunday, July 06, 2014 8:50:17 PM

Planning Commission:

We would like to express our opposition to the proposed project at 115 Telegraph Hill Blvd (Case No. 3013.1375CE) for the following reasons:

- Block the sweeping views of San Francisco enjoyed by Pioneer Park users
- Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.
- Reward the current owners for their defacto demolition of the historic cottage on the southern edge of the property

Please see to it that these property owners are not rewarded for their bad behavior , and other property owners aren't sent the wrong message.

Yours sincerely,

Paul & Shanti Kohler

534 Filbert St

San Francisco, CA 94133

From: [Deena Landau](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd
Date: Tuesday, July 08, 2014 11:10:20 AM

To: San Francisco Planning Commission

I am writing to ask that the Planning Commission not issue permits for the proposed luxury condo project at 115 Telegraph Hill Blvd. I believe it would be a terrible planning mistake that would adversely impact Telegraph Hill, Coit Tower, and Pioneer Park.

The proposed project would:

- Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the top of the Filbert Steps coming up from Kearny Street)
- Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction
- Adversely impact users of the 39 Coit bus both during and after construction (particularly because the current stop will have to be moved but will still be next to the new driveway)
- Eliminate access from the Filbert Steps to Coit Tower for up to two years while the new parking garage is built
- Eliminate 11 units of affordable rent-controlled housing, replacing them with three luxury, 4,000 to 5,000 square foot condos

Losing 8 units of rent-controlled housing in San Francisco has a great impact. Replacing 11 units of housing with 3 luxury condos at this time in this city would be further indication of San Francisco's indifference toward the housing crisis and income divide facing us today.

Respectfully,

Deena Landau
1429 Kearny Street #6
San Francisco, CA 94133

From: [Dennis McElrath](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Condominium project at 115 Telegraph Hill Blvd..
Date: Sunday, July 06, 2014 11:08:48 AM

Dear Ms. Watty:

I should like to join the voices of many local residents here on Telegraph Hill in strenuously objecting to the construction of a large condominium project at 115 Telegraph Hill Blvd..

It is obvious that the many adverse consequences of this project would negatively impact the Hill but also the larger community and visitors who now enjoy the hill and tower.

Very Sincerely Yours,

Dennis McElrath

383 Lombard St. #405
San Francisco, CA 94133
Phone 415 397 0201

From: [Mary Etta Moose](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd.
Date: Monday, July 07, 2014 11:20:28 AM

July 7, 2014

VIA EMAIL (c/o Elizabeth Watty <[wlmhtml:Elizabeth.Watty@sfgov.org](mailto:Elizabeth.Watty@sfgov.org)>)

Cindy Wu, President
Planning Commission
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Case No. 3013.1375CE
115 Telegraph Hill Blvd.
Telegraph Hill-North Beach Residential SUD
Request for Conditional Use Authorizations

Dear President Wu and Commissioners,

I am writing to express my concerns regarding the proposed project at 115 Telegraph Hill Blvd. and respectfully request that the Planning Commission not approve the Conditional Use Authorizations for this project.

It is rare that a local, neighborhood project rises to the level that I bother to write the Commission, but the proposed luxury condominium project at 115 Telegraph Hill Blvd., if built as proposed, would be a terrible planning mistake that will adversely impact San Francisco's world renowned Telegraph Hill, Coit Tower and the surrounding 4.89 acre Pioneer Park. Fundamentally, the issue at stake is about protecting the public's interest in Pioneer Park and Coit Tower. This is not about any particular neighbor's self-interest or views – this is about the public interest and the public's views, parks, access and pedestrian safety.

As San Francisco residents we have a collective duty to safeguard these treasures for future generations. The proposed project, if approved, will have an array of significant, adverse impacts to Coit Tower and Pioneer Park.

The proposed project would:

- Block the sweeping views of San Francisco enjoyed by thousands of Pioneer Park users
- Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)
- Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph

Hill Blvd. both during and after construction

- Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current bus stop will be next to their new driveway)
- Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site
- Reward the current owners for demolishing 11 units of affordable housing and replacing them with three market rate, 4,000 to 5,000 square foot, condos.
- Reward the current owners for their defacto demolition of the historic cottage on the southern edge of the property

I hope that the Commission will reject the project as currently proposed and encourage the project sponsor to come back with a more compatible project that better fits this unique important site which will be less impactful to Pioneer Park, the Filbert steps and Telegraph Hill Blvd.

Sincerely,

Mary Etta Moose
1962 Powell Street
San Francisco, CA 94133

From: Mottly275@aol.com
To: [Watty, Elizabeth \(CPC\)](#)
Subject: CASE NO, 3013.1375CE (115 TELEGRAPH HILL BLVD.)
Date: Wednesday, July 09, 2014 12:13:08 PM

SAN FRANCISCO PLANNING COMMISSION

COMMISSIONERS:

I HAVE JUST BECOME AWARE OF YOUR HEARING ON JULY 17, THE PROPOSAL TO BUILD THREE LUXURY CONDOS AND UNDERGROUND PARKING, ON FILBERT ST. BETWEEN KEARNY AND TELEGRAPH HILL BLVD

I HAVE LIVED AT 275 TELEGRAPH HILL BLVD. SINCE 1981 AND IN NORTH BEACH SINCE 1967. I RECALL CLEARLY THE PRIOR CONTROVERSY AND VIGOROUS DEBATE WHICH BEGAN WITH THE SPECULATIVE PURCHASE OF THIS HILLSIDE LOT .THIS HUGE UNDERTAKING IS FAR MORE DAMAGING THEN THE PROJECTS PROPOSED IN THE LATE 1980'S.

I KNOW MOST OF MY NEIGHBORS, MANY OF WHOM HAVE LIVED IN THIS NEIGHBORHOOD FOR MUCH LONGER THAN I. I PLAN ON HELPING TO BUILD A LARGE AND UNRELENTING OPPOSITION TO THIS OUTLANDISH PROJECT.

MICHAEL MOTT
275 TELEGRAPH HILL BLVD. NO 2
SAN FRANCISCO, CALIFORNIA
E MAIL MOTTLY275@AOL

From: /
To: [Watty, Elizabeth \(CPC\)](#)
Subject: new development atop telegraph hill
Date: Monday, July 07, 2014 4:51:37 PM

The news of a large development atop Filbert en route to Coit Tower has come as a potential disaster to the area. View blockage and general ugliness aside, the concern really lies in pedestrian safety and access to Coit Tower while construction occurs.

Please consider the many impeding headaches and serious problems that can be stopped by vetoing this project for the wealthy.

Thank you.

Sherry O'Donnell

From: [LEERADNER](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: condos at 115 Telegraph Hill Blvd.
Date: Monday, July 07, 2014 11:12:27 AM

Dear Ms. Watty:

I am writing to express my concern on the proposed 3 condominiums at 115 Telegraph Hill Blvd. (case 3013.1375.ce).

Why in the world would 3 condominiums take precedence and destroy 15 rental units in the process. It is this kind of thinking that continues to exacerbate the critical housing shortage in S.F.

Please express my concerns to the proper parties at the Planning Department & Commission.

Sincerely,
Lee Radner
405 Davis Ct. #703
San Francisco, CA. 94111
415-986-2896

From: [John Reed](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Monday, July 07, 2014 11:48:14 AM

Dear Elizabeth Watty;

I received the attached email today from Vedica Puri, President of Telegraph Hill Dwellers regarding the proposal before the Planning Commission to allow the following construction at 115 Telegraph Blvd. I want to stand firmly opposed to permitting this construction to take place for the reasons well stated by Vedica Puri. I've been feeling that San Francisco has been taken over by an army of bulldozing contractors and this is just one more nail in that coffin. Please stand with San Francisco residents and for San Francisco and do not allow this assault on Telegraph Hill to take place.

Sincerely,

John T Reed
THD resident

It is rare that a local, neighborhood project rises to the level that we send out an alert like this, but the proposed luxury condominium project at 115 Telegraph Hill Blvd., if built as proposed, would be a terrible planning mistake that will adversely impact San Francisco's world renowned Telegraph Hill, iconic Coit Tower and the surrounding 4.89 acre Pioneer Park. Fundamentally, the issue at stake is about protecting the public's interest in Pioneer Park and Coit Tower. This is not about any particular neighbor's self-interest or views - this is about the public interest and the public's views, parks, access and pedestrian safety. Please read on and help.

As San Francisco residents we have a duty to safeguard these treasures for future generations. We are faced with a proposal for a massive, luxury 3-unit condominium project proposed for the large (7,500 sq.ft.) vacant parcel at 115 Telegraph Hill Blvd. on the Filbert steps at the top of Telegraph Hill which, if approved, will have an array of significant, adverse impacts to Coit Tower and Pioneer Park. The project is scheduled for a hearing at the Planning Commission on

Thursday, July 17. Now is the time to take a few minutes and write and/or email the Planning Commission. Your input will make a difference.

The proposed project would:

- * Block the sweeping views of San Francisco enjoyed by Pioneer Park users
- * Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)
- * Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction
- * Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will have to be moved but will still be next to their new driveway)
- * Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site
- * Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.
- * Reward the current owners for their defacto demolition of the historic cottage on the southern edge of the property

What you can do:

Please take a few minutes and write a letter expressing your concerns about the proposed project at 115 Telegraph Hill Blvd (Case No. 3013.1375CE) to the Planning Commission.

Make some or all of these points and add anything else that you wish to add.

Please email your comments on or before this Wednesday July 9 to Elizabeth.Watty@sfgov.org.

From: [Judith Robinson](#)
To: [Watty, Elizabeth \(CPC\)](#); [Chiu, David \(BOS\)](#); thdpz@mindspring.com
Subject: 115 Telegraph Hill Blvd. project
Date: Tuesday, July 08, 2014 12:20:38 PM

*Judith Robinson
562 B Lombard Street
San Francisco, California 94133-7057
415 788 9112*

8 July, 2014

TO: S. F. Planning Commission
FROM: J. Robinson
RE: 115 Telegraph Hill Blvd. (Case No. 3013.1375CE)
On hearing agenda for Thursday, July 17

I am a resident and property owner on Telegraph Hill.

I wish to strongly oppose a proposed development for 115 Telegraph Hill Boulevard.

The project is:

- 1) out of scale for the small site;
- 2) would block views from the top of Telegraph Hill and the newly-restored Pioneer Park at Coit Tower;
- 3) curtail walking and vehicle access to the Tower and Hill, among other adverse effects.

It would violate the integrity and beauty of an important public site in San Francisco.

Please OPPOSE the project as designed. Thank you for taking my views into consideration.

cc: Supervisor David Chiu
Telegraph Hill Dwellers

From: [Nan Roth](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: July 17, 2014 Planning Commission Hearing--Case No. 3013.1375CE (115 Telegraph Hill Boulevard)
Date: Wednesday, July 09, 2014 4:37:14 PM

Please include the following Comments in the information provided to the Commission in regard to the project below to be heard by the Planning Commission on Thursday, July 17, 2014:

**115 Telegraph Hill Boulevard
Case No. 3013.1375CE**

Members of the Commission:

We urge the Commission to deny this application.

It was with shock and dismay that my husband and I first heard about this application and pending hearing from a neighbor on June 29. We own two properties adjoining the project site, Lots 28 and 37 at 1436 Kearny Street and 357 Filbert Street respectively. Although we had attended a project presentation at a neighborhood meeting on July 31, 2013, and met briefly later with a Mr. Jeremy Ricks, who we understood to be the developer with a recorded Option to Purchase the site, we had heard nothing further and to date have not been provided with drawings, plans or any information regarding the proposal to be presented on July 17, 2014.

I was invited to a meeting of the Telegraph Hill Dwellers held on July 3, 2014, at which two copies of drawings, without any dimensions, were made available in the absence of the project sponsors, to be shared by all of the attendees. Thus I only had a few minutes to glance at them. Frankly, I was shocked and dismayed by what I saw—three monster trophy mansions, taking up every inch of the permitted building envelope, without any concessions to the setting, and the complete destruction of the hillside above our house leaving a huge glass wall over a stone block base with a small level rear yard. I know tradition requires paying a compliment before critiquing a presentation, but I dare anyone to find a feature to admire or speak of favorably.

This makes us very uncomfortable. What is the strategy behind imposing this on both the neighborhood and the Commission? We see a lot of mediocre design and construction around this city, but never anything as boldly bad as this, and in such a sensitive and high profile location. Surely their architect is capable of better work, but at the end of the day, he serves his client. So what is the hidden agenda?

I would like to caution the Commission in regard to suggesting incremental modifications. This design defies tweaking. It needs to be rethought and redesigned from the ground up. We know everyone is tired of the unkempt lot, the vandals and trespassers. That too is a strategy—get the neighbors so tired of the mess and the transients that they will accept anything. This is one of the most important vacant sites in the City. It's widely visible, is part of the setting for one of our most visited landmarks, and is the most heavily used pedestrian approach to Coit Tower.

I would also like to raise an often overlooked issue, subsurface groundwater and drainage. An excavation such as this design requires can have devastating impacts on neighboring properties. For example, a broken sprinkler head at Coit Tower broke the seal on our newly installed steel-enforced concrete floor and flooded our basement. We have a sump pump and it normally catches any storm drainage, but this was at a deeper subterranean level and the water backed up behind a barrier a few feet downhill and the pressure built up until it broke through the floor. The City has three wells on the stretch of the Filbert Steps adjacent to the project site. There is free flowing subterranean water on Telegraph Hill. Water can be very unpredictable—water seeks its own way.

Of all the places we have lived on Telegraph Hill, this location is the most vulnerable.

Thank you for your consideration of my comments.

Sincerely,

Nan and Nathan Roth
1436 Kearny Street
San Francisco, CA 94133
nanroth88@gmail.com

From: Watty, Elizabeth (CPC)
To: dfrattin@reubenlaw.com
Cc: swetz@butlerarmsden.com
Subject: 115 Telegraph Hill - Neighbor Opposition
Date: Tuesday, June 24, 2014 3:42:00 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

Dan,

Just wanted to update you that I received a call from a neighbor in opposition to the project at 115 Telegraph Hill today. Her name is Nan Roth (398-7893), and owns the property to the east and south of the subject property. She expressed concerns about the process (lack of transparency, notice, etc.), adequate CEQA review, and upcoming CU hearing. She will likely be submitting a letter closer to the hearing date.

Thanks,

Elizabeth Watty, LEED AP
Assistant Director of Current Planning

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-558-6620 **Fax:** 415-558-6409

Email: Elizabeth.Watty@sfgov.org

Web: www.sfplanning.org



From: [Anneke Seley](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project(Case No. 3013.1375CE)
Date: Tuesday, July 08, 2014 4:11:54 PM

Dear Ms. Watty,

As Telegraph Hill home owners, we respectfully want to express our concern regarding the proposed luxury condominium project at 115 Telegraph Hill Blvd. If built as proposed, we feel it would be a terrible planning mistake that will adversely impact San Francisco's world renowned Telegraph Hill, iconic Coit Tower and the surrounding 4.89 acre Pioneer Park. What is at stake is the public's views, parks, access and pedestrian safety, not any particular neighbor's self-interest or views.

As San Francisco residents we have a duty to safeguard these treasures for future generations. A massive, luxury 3-unit condominium project proposed for the large (7,500 sq.ft.) vacant parcel at 115 Telegraph Hill Blvd. on the Filbert steps at the top of Telegraph Hill which, if approved, will have an array of significant, adverse impacts to Coit Tower and Pioneer Park. It will:

- * Block the sweeping views of San Francisco enjoyed by Pioneer Park users
- * Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)
- * Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction
- * Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will have to be moved but will still be next to their new driveway)
- * Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site
- * Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square

foot, condos.

* Reward the current owners for their defacto demolition of the historic cottage on the southern edge of the property

Thank you for your consideration of these points, as you and the Planning Commission make your decision.

Sincerely,

Anneke Seley and Jack Oswald
310 Green Street
San Francisco, CA 94133

From: [Mel Solomon](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Monday, July 07, 2014 12:09:46 PM

As 15 year residents in North Beach we have always taken pride in the fact that Telegraph Hill is not just a significant icon and tourist's point of interest, but also a place where we, as residents, can walk and enjoy the beauty of our magnificent surroundings.

We have become aware of a proposed project at 115 Telegraph Hill Blvd (Case Number 3013.1375E) that, if approved, would most certainly be detrimental to the public's interests, the public's views, parks, access and pedestrians safety. These are treasures that are not just for us, as current residents, but for our future generations to enjoy as we do today. Doesn't our great City of San Francisco have a responsibility to not merely accept what is in the best interests of developers and those who are looking to make the big bucks, but to more importantly consider the negative impact of such a project to those who already live here?

The following list of negative impacts that will result from the approval of this proposed project offer some excellent reasons why my wife and I ask that this project be rejected:

- * Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)
- * Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction
- * Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will have to be moved but will still be next to their new driveway)
- * Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site
- * Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.
- * Reward the current owners for their defacto demolition of the historic

cottage on the southern edge of the property

We respectfully request that you not approve this project for all the reasons listed above.

Sincerely,

Mel and Maxine Solomon
530 Chestnut Street #209
San Francisco, CA 94133

Stan Teng /
333 Greenwich St. # 2
San Francisco, CA 94133

9 July 2014

Ms. Elizabeth Watty
City of San Francisco Planning Department
1650 Mission St. , Suite 400
San Francisco, CA 94103

RE: Case No. 3013.1375CE
Proposed Project at 115 Telegraph Hill Blvd.

Dear Ms. Watty:

This letter is to express my concern about the required special approvals and the overall design of the proposed project at 115 Telegraph Hill Boulevard.

I live quite near (within 340 feet) of the project site and pass by it at least twice a day and hence have an intimate knowledge of the neighborhood and the site. In addition, I am an architect that has lived and worked in San Francisco since 1981.

My concerns are for both the application for Conditional Use and for the compliance of the project design with the SF Planning Code including the Residential Design Guidelines.

The Planning Code's stated purpose of a CU is to determine if the proposed use is necessary or desirable to the neighborhood, and whether the use complies with the San Francisco General Plan.

CU Item 1: Number of Units

The developer of the project has publicly stated that his interest in the property is speculative. Therefore, the definition of "necessary" is skewed. It may be necessary to this developer to maximize the size of the units, but units of 4138 to 4583 square feet are out of character, compatibility and affordability of the neighborhood and certainly not necessary. The developer has also publicly stated that there is an absolute need for parking, as these types of units would otherwise not be marketable. Marketability is not "necessary" to the neighborhood and is a result of the developer's choice of programming the project as a high end luxury development requiring special approvals.

CU Item 2: Parking Exemption

The parking ratios Planning Code of Section 249.49 were developed with good reason for the Telegraph Hill / North Beach Residential Special Use district. Those reasons include the generation of additional traffic by new dwellings and garages and the problems created by the need for garage access including large doors and the effect on the public right of way. Approval of a conditional use for garage might be justified as a “wash” as far as the taking away of street parking but there are important additional consequences that impact the neighborhood including additional traffic at a already heavily trafficked location.

The subject property is located at an important and heavily trafficked juncture of six existing elements; a narrow curving roadway to a major City attraction, a major pedestrian sidewalk used by both for residents and tourists connecting Telegraph Hill to North Beach, a MUNI bus route and passenger stop, a crosswalk connecting the sidewalk to Pioneer Park and the location of two desperately needed street parking spaces. Such a confluence of elements at a single point is not the location for the entrance to a new parking garage.

Unfortunately the project does not offer any mitigation of the impacts of the requested CU items. None of the CU items are of benefit or necessary to the neighborhood and on the contrary would be detrimental to the neighborhood.

Conformance with the Residential Design Guidelines?

Without going into a lengthy detailed analysis of the project in terms of the Residential Design guidelines a number of major incompatibilities with the Guidelines are present:.

“ Guideline: Protect Major Public Views From Public Spaces” And “Design Building Facades To Enhance And Complement Public Spaces”

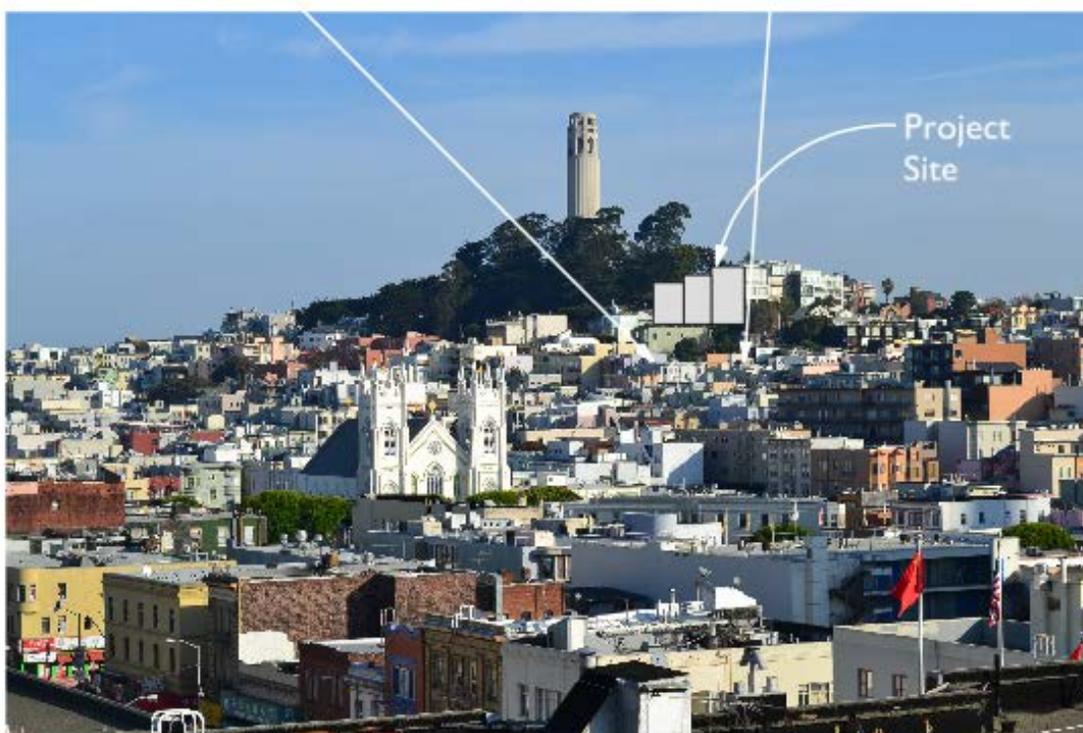
It should be noted that the project has two major facades, one facing Coit Tower and Pioneer Park, the other façade facing the Financial District, Chinatown, Russian Hill and Nob Hill as seen from Telegraph Hill or conversely, Telegraph Hill as seen from the Financial District, Chinatown, Russian Hill and Nob Hill. This is a major “postcard” view of Telegraph Hill that will be adversely affected by the proposed project.

The project’s façade along Telegraph Hill Blvd. resembles the set of “Hollywood Squares” and is overtly out of character and scale with the neighborhood. The rear (South facing) façade is a 4 to 5 story wall of monotonous rectangular patterns and glass that will read within the cityscape as a huge reflective surface as it is facing due south and will receive a great amount of sunlight.

“ Guideline; “Design The Scale Of The Building To Be Compatible With The Height And Depth Of Surrounding Buildings”

Please see attached project rendering to understand the size of the development and its scale, especially as viewed from the South.

Proposed Rear Facade of Project



View of Project of Telegraph Hill as seen from the Financial District, Chinatown, Russian Hill and Nob Hill.

In summary, my concerns about the project may be distilled to these simple points:

1. The special conditions of use being requested are necessary and of benefit only to the speculative project sponsor and are not necessary, with no benefit and are detrimental to the neighborhood.

2. The project fails to comply with the Residential Design Guidelines especially with respect to:

- Design The Scale Of The Building To Be Compatible With The Height And Depth Of Surrounding Buildings
- Protecting Major Public Views From Public Spaces
- Design Building Facades To Enhance And Complement Public Spaces

As an architect I am an advocate for new construction - but not for buildings that are inappropriate and detrimental to the neighborhood and City and for the benefit of the few.

Sincerely,

A handwritten signature in black ink that reads "Stan Teng". The signature is stylized and written in a cursive-like font.

Stan Teng
Architect, A.I.A.



July 9, 2014

Cindy Wu, President
Planning Commission
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Case No. 3013.1375CE
115 Telegraph Hill Blvd.
Telegraph Hill-North Beach Residential SUD

Dear President Wu and Commissioners,

The Telegraph Hill Dwellers has spent innumerable hours reviewing this Project and working with the project architects. We did so because in 2012, earlier designs were in the proverbial ballpark -- nearing appropriate heights and massing. We are not sure what happened to cause a sudden and complete change that is now enshrined in the current version of the Project now before the Planning Commission. But as currently proposed, the Project creates grave impacts that cannot be overlooked and should cause this Commission great pause.

The property owners, Tracy Kirkham and Josef D. Cooper (herein "Applicants"), applied through their authorized agent for a conditional use authorization to construct a three unit condominium building and to rehabilitate an existing two-story cottage on the site. Telegraph Hill Dwellers, a neighborhood organization that has long fought to preserve Telegraph Hill's affordable housing, parks, open spaces and character, urges you to deny the Conditional Use Application ("Application") for the construction of a three-unit condominium building and rehabilitation of an existing cottage at the southeast corner of the lot ("Project") at 115 Telegraph Hill Boulevard ("Project Site") because the Certificate of Categorical Exemption issued for the Project is legally inadequate and the Project described in the Application does not meet the Planning Code criteria for the requested Conditional Use Authorizations. Alternatively, the Commission should continue this matter and require the Department to prepare a new environmental review document for the Project, and require the Project to be redesigned to reduce the mass and scale of the proposed new condominium building to address the unique location of the Project Site.

A. THE PROJECT SITE AND ITS HISTORY

1. *Unique Nature and Location of the Project Site*

The nature and location of the Project Site are unique in the City of San Francisco. The area surrounding Coit Tower and Pioneer Park is one of San Francisco's premier destinations for residents and visitors from around the world. Coit Tower and Pioneer Park are considered iconic symbols of San Francisco, equivalent in stature to the Golden Gate Bridge. The Urban Design Element of the General Plan recognizes Telegraph Hill as an "Outstanding and Unique Area" that contributes in an extraordinary degree to San Francisco's visual form and character. Listed as a special characteristic of Telegraph Hill is its "hilltop park with the highly visible green of trees..." (See Policy 2.7 of the Urban Design Element of the San Francisco General Plan.) The SF Recreation and Parks Department web page states: "Located at the top of Telegraph Hill, Pioneer Park is the site of world-famous landmark Coit Tower. At 4.89 acres, Pioneer Park offers wide, brehtaking views of the city and the bay. The park space was built in 1876 to commemorate the country's centennial anniversary." [Emphasis added]

It is not only a resource for visitors. Scores of office workers, other San Francisco residents, Tai Chi practitioners and joggers use the park throughout the day. In other words, the Project Site is in the heart of a very well used public area. Unfortunately, our analysis reveals that the Project -- as proposed -- will greatly diminish this world-renowned public resource and compromise the public's experience at Pioneer Park.

By the early 1990's, Pioneer Park was in state of disarray. As one of the very few open green spaces in the densest part of the City, neighborhood leaders and residents banded together to fix this situation. In 1995, the Pioneer Park Project, a public-private partnership, involving the Telegraph Hill Dwellers, San Francisco Beautiful, the Department of Public Works, and the Recreation and Parks Department brought together professional landscape architects, designers, fund-raisers and environmental educators, all working *pro bono*. The Pioneer Park Project developed the plans to rebuild stairways, paths and terraces, restore natural habitat, and deal with the problems of erosion, safety and handicap access. They raised over \$1.6 million from public and private sources to implement the Pioneer Park Project. Over 500 individuals supported Pioneer Park by participating in the "Step into History" program and contributing \$500 or more to have his or her name engraved on a tile placed on a stair riser in one of the park's new pedestrian stairways.

Earlier this year the San Francisco Arts Commission refurbished Coit Tower's historic murals, and the Recreation and Parks Department completed a \$1.7 million renovation of Coit Tower and installed a new concessionaire. Today, over 200,000 people visit Coit Tower each year, and many more visit Pioneer Park. More than half of the visitors to Coit Tower/Pioneer Park come by foot or by bus.

The Project Site is located at a very important intersection. First, the narrow Filbert Steps that comprise the northern boundary of the Project Site is a key and primary pedestrian access point to Pioneer Park and is therefore used by hundreds of people daily. Second, the Filbert Steps meet

Telegraph Hill Boulevard, also the only vehicular access to Coit Tower and Pioneer Park, at the northeast corner of the Project Site (where the driveway and curb cut for the Project are proposed). The proposed driveway is located between the Muni stop for the 39 Coit bus and the mid-block pedestrian cross walk that crosses Telegraph Hill Blvd. to Pioneer Park and Coit Tower. A stop sign currently located within the proposed driveway will require relocation and the sidewalk extended to the west to accommodate relocation of the stop sign. The proposed garage and curb cut are located at a blind curve for cars traveling to and from Coit Tower.

2. *Topography of the Site*

The Project Site has a cross slope that exceeds 20% in both directions. The 82.5-foot long north property line, with frontage on the Filbert Steps, has an elevation difference of 22.38 feet. The east property line has an elevation difference of approximately 40 feet. The west property line has an elevation difference of approximately 16 feet, and the south property line has an elevation difference of approximately 11 feet. (See the topographic survey attached to the Case Report.)

Except for an existing cottage on the southeast corner of the Project Site, it is vacant. None of the former buildings located on the Project Site had on-site parking and there is no existing curb cut from Telegraph Hill Blvd. to the Project Site. Telegraph Hill Blvd. is a narrow, dead-end, winding street that experiences heavy traffic volumes associated with Coit Tower visitation. The only place for a vehicle to turn around on Telegraph Hill Blvd. is at the Coit Tower parking lot at the end of the road.

3. *History of the Current Lot*

The Project Site originally consisted of three separate lots containing five small-scale buildings providing 11 units of rent-controlled and affordable housing to artists, photographers, writers and workers, including the legendary longshoreman and activist Bill Bailey. (See photos attached as **Exhibit A**.)

- Acquired by the Applicants in 1990, their parcel map application to merge the three lots into one was granted in 1993, creating the current 7,517 sq. ft. lot.
- In 1997, the Applicants submitted a Conditional Use Application to develop a six-unit condominium on the site, rehabilitate the cottage located in the southwest corner of the lot, and demolish the rest of the buildings. The approved plans for the remaining cottage required a variance.
- In a community-wide effort to prevent the demolition of the Bill Bailey cottage, it was lifted off its site and relocated to a Muni's railway storage yard, where it was destroyed by fire before it could be brought back to Telegraph Hill.

- While the 1997 conditional use application and variance application were granted, both expired because no work had been undertaken within three years. All site and alteration permits expired and were subsequently cancelled.
- On December 2, 1999, the Applicants submitted and were issued an over-the-counter permit (No. 9925477) to repair dry rot for 115 Telegraph Hill Boulevard (the remaining cottage). Work was never completed and this permit expired on April 11, 2001. The dry rot repair essentially gutted the interior, removed all exterior finishes but the plywood.
- The Applicants' current Conditional Use Application to this Commission, dated February 13, 2014, states that the cottage is "run-down" and that "[t]he run-down vacant lot is out of character with the rest of the neighborhood, and detracts from the well-kept and landscaped surroundings." However, the run-down condition of the site and the cottage is solely attributable to the Applicants' failure to maintain the property.

In the 1950's, developers attempted to ring the base of Pioneer Park with a wall of luxury residences up to the maximum height limit of 40 feet by demolishing historic, smaller scale affordable housing stock and by merging smaller lots. Some of these battles were won, and some were lost. A few inappropriately large buildings exist at the base of Pioneer Park, but for the most part views from the park remain unobstructed. Notwithstanding the Applicants' claim that the trees and dense foliage from Pioneer Park preclude and public view to the south and southeast, this Project will obliterate any and all views now enjoyed by the public from the Filbert Steps and from the Pioneer Park pedestrian stairway from Telegraph Hill Blvd. to Coit Tower.

B. PROJECT DESCRIPTION

Now, the Project consists of constructing a three-unit condominium building and renovation of the existing rear cottage with four off-street parking places¹. The plans are internally inconsistent and lacking important dimensions. Furthermore, there are no plans for the renovation of the cottage. Simply stated, the Project plans are inconsistent with the Project description.

1. Number of Off-Street Parking Spaces: The Conditional Use Application and the published Public Notice requests four parking spaces, but the plans submitted to the Commission show only three parking spaces.
2. Rear Cottage Rehabilitation: The Project application is incomplete for failure to include any plans for the rehabilitation of the cottage at the rear of the Project Site, which represents one of the four housing units proposed for the Project Site. If the Applicants' intend to rely on the previously approved plans to rehabilitate the cottage, which are no longer valid, a rear yard variance would be required. In any event, the Application is incomplete without renovation plans for the cottage.

¹ The CU application requests four off-street parking spaces but the plans show three.

3. Scope of Work for the Side Walk and the Filbert Steps: The Application states that the Filbert Steps will be removed. Apparently, via an exchange of e-mails between the Applicants and the environmental review planner, the Applicants decided that the wholesale replacement of the Filbert Steps involved “too many impediments” such as a General Plan Referral and the approval of a Major Encroachment Permit by the Board of Supervisors. The foregoing notwithstanding, the Project will still require relocation of a bus stop and stop sign, and appears to require relocation of the first set of the Filbert Steps at the west end the Project Site, as shown on the Plans. (See Sheet A0.1 and Sheet A0.6 of the plans attached to the Case Report.) Relocation of the bus stop, stop sign will require removal of a portion of the historic stone wall.
4. Encroachment of Cottage onto Adjacent Lot: The existing and proposed site plan show that the existing cottage encroaches on the adjoining private property to the west. (See Sheet A0.5 and Sheet A0.6 of the plans attached to the Case Report.) However, the site survey did not.

C. NEIGHBORHOOD OUTREACH

In the Applicants’ letter to the Commission, their communications with THD are misrepresented. The Applicants and/or their architect met with THD’s Planning and Zoning Committee on three separate occasions: July 12, August 30, and October 11 of 2012. These meetings were open to all THD members. The project sponsor and architect stated their intent to accommodate the Committee’s suggestions as to project design, protecting public views from Pioneer Park, pedestrian safety and traffic issues relating to a new garage.

At the July 12, 2012 meeting, the project architect presented massing studies, including a much smaller scale project than currently being proposed, with heights below 40-ft without stair penthouses or other rooftop features. The Committee’s concerns and suggestions were set forth in an email to the project architect, Lewis Butler, on July 30, 2012 (Attached as **Exhibit B**).

At the October 11, 2012 Committee meeting, the project sponsor and architect presented a project of a smaller scale and massing that better reflected the site’s topography, would not overwhelm the small cottages down hill from the Project Site and would preserve more of the existing public views from Pioneer Park. Those plans included a passage from the Filbert Steps to a small view platform accessible by the public. These plans presented two buildings well within the 40-ft height limit, but without stair penthouses, roof decks or other rooftop features above 40 ft. (Attached as **Exhibit C**). With only two new units, the Committee noted that this October 11, 2012 plan would not require a conditional use for a project with a total of three units and three off-street parking spaces. The Committee was generally impressed by this plan, but still expressed concerns about potential impacts to pedestrian safety and traffic relating to the proposed garage and curb cut at the top of the Filbert Steps.

Subsequently, nine months later, a pre-application neighborhood meeting was noticed for July 30, 2013, at which completely different plans were presented, essentially the plans now before

the Commission. Needless to say, neighbors and THD members were shocked, frustrated and felt betrayed.

D. THE ISSUED CATEGORICAL EXEMPTION IS LEGALLY INADEQUATE.

1. ***A Categorical Exemption may not be issued for a project that may have any potentially significant impacts due to its particular circumstances.***

CEQA provides that categorical exemptions *shall not be used* for a project that *may* cause a substantial adverse change due to its particular circumstances. (CEQA Guideline Section 15300.2(c).) The Project's particular circumstances are its unique location immediately across from Pioneer Park and Coit Tower and its relationship to Telegraph Hill Boulevard and the Filbert Steps. Significant impacts may result from, but are not limited to, the following:

- The lack of any landing at the top of the Filbert Steps requiring pedestrians to walk onto a driveway with a recessed garage that is not visible to pedestrian traveling east to Coit Tower;
- The need to reconfigure the sidewalk and bus stop and relocate the bus stop to accommodate the proposed driveway requiring removal of a portion of the historic stone wall separating the Telegraph Hill Boulevard and the Filbert Steps;
- The noise and light impacts associated with the flashing lights and/or beeping sounds of warning signals that will be required for automobile ingress and egress from the garage to alert pedestrian walking up the Filbert Steps;
- The facts that cars must cross a double yellow line on a blind curve to make an sharp right hand turn to access the garage;
- As acknowledged by the Planning Department, additional environmental review may be required if DPW requires changes to the design of the Filbert Steps to meet their requirements, such as a landing at the top of the Filbert Steps;
- Replacement or modification of the Filbert Steps would required a General Plan Referral and a Major Encroachment Permit approved by the Board of Supervisors;
- Blockage of a public view corridor from the pedestrian stairways and landings of Pioneer Park; and
- Construction impacts, while not are normally considered to be unusual, the setting of the Project Site and a two year construction period demands analysis of construction and construction-related traffic impacts including, but not limited to, shoring and underpinning of the historic Filbert Steps, providing access to the construction site, moving construction equipment on and off of the site, removing rocks and soil from the excavation that will be 30 feet below the sidewalk, staging of trucks during concrete pours and the noise impacts associated with construction.

2. ***Categorical Exemption is legally insufficient because a “fair argument” can be made that the Project may have potentially significant impacts.***

The Categorical Exemption is legally insufficient because a “fair argument” can be made that the Project may have the following impacts:

- The transportation impacts, especially vehicular/pedestrian conflict;
- The failure to timely consult with DPW to determine if the Filbert Steps will require relocation or reconstruction thereby requiring additional environmental review and segmenting the Project resulting in an incomplete project description;
- Geotechnical impacts;
- Construction impacts;
- Inconsistencies with the General Plan and Priority Planning Policies, including the impact on public views from a public park; and
- Failure to require environmental review of new off-street parking in the Telegraph Hill/North Beach area pursuant to Board of Supervisors File No. 10-0638.

The above lists of the insufficiency of the Categorical Exemption are merely samples and not a complete list.

E. THE CONDITIONAL USE APPLICATION DOES NOT MEET THE CRITERIA IN SECTION 303(c) OR 151.1(g) OF THE PLANNING CODE

The Project requires two separate Conditional Use Authorizations under the San Francisco Planning Code: (1) to provide more than the maximum allowable on-site parking spaces in Telegraph Hill/North Beach Residential Special Use District (Sec. 249.49); and (2) to allow four dwelling units on a lot zoned RH-3 (Sec. 209.1(h)). Given the unique and sensitive location of the Project Site, the findings required for approving each of these conditional use authorizations cannot be made.

1. *Conditional Use Authorization For Off Street Parking – Special Criteria Not Met.*

The Project is located in the Telegraph Hill/North Beach Residential Special Use District where Planning Code Sec. 249.49 limits the amount of new off-street car parking to three parking spaces for each four dwelling units. A maximum of one car for each dwelling is allowed subject to Conditional Use Authorization only if the Planning Commission can find, in addition to the Section 303(c) criteria, that the specific criteria set forth in Sec. 151.1(g)(1)(A) are met. Three of the required findings, and reasons they cannot be made, are set forth below:

“Vehicle movement on or around the project does not unduly impact pedestrian spaces or movement, transit service, bicycle movement, or the overall traffic movement in the district.” [Sec. 151.1(g)(1)(A)(i)]

The Project cannot meet this criterion and will unduly impact pedestrian spaces, movement and transit service for the following reasons:

Impacts on Pedestrian Movement and Safety: The Project Site is located on the Filbert Steps, a pedestrian corridor used by hundreds of tourists and residents who walk up to Coit Tower/Pioneer Park on these steps. The new garage and driveway at this particular location –

between the top of the pedestrian stairs and the pedestrian cross walk – would be a pedestrian safety hazard in that there will be no landing at the top of the stairs before the driveway. Because the garage door will be indented 5-6 feet to provide for an entry court off of the driveway to Unit 1 of the building, an even greater safety hazard will be created for pedestrians coming up the stairs right at the garage entrance, most of whom, whether residents or visitors to the City, will be unfamiliar with this condition.

Impacts on Traffic Congestion: The Project will cause an increase in the use of Telegraph Hill Blvd., the only vehicular access to Pioneer Park and Coit Tower. Over the years, residents along the Boulevard have experienced the traffic impacts generated by Coit Tower, including adverse impacts to air quality and emergency vehicle access. Tourists and residents competing for the limited spaces in the Coit Tower parking lot often results in a long line of cars queuing up the Boulevard with engines idling, waiting to park. Attempting to address these impacts by limiting the number of cars going up to Coit Tower and Pioneer Park on Telegraph Hill Boulevard, the City has installed signs encouraging people to use public transit (MUNI's Coit 39 bus) or walk to Coit Tower via the Filbert Steps, both of which will be impacted by the location of the Project's proposed new parking garage.

Construction Traffic: The existing and proposed site plan show that access to the construction site is limited to approximately 13 feet right at the top of the Filbert Steps. The construction activities include, but are not limited to, excavation, shoring and/or underpinning the Filbert Steps, equipment access, truck loading during the excavation phase, trucks delivering reinforcing bars and queuing during the concrete pour phase, unloading of materials during the superstructure and interior finish phases.

More importantly, there is no information provided to enable this Commission to make an informed decision. The information includes, but is not limited to:

- There is a 3-ton truck limit on the size of trucks on Lombard (from Stockton Street) and Telegraph Hill Boulevard. Assuming this would apply to the construction trucks, smaller trucks will require more truck trips
- Will the Filbert Steps have to be closed to accommodate the construction and for how long.

Impacts on Transit Service: The 39 Coit Bus Stop is located right where the proposed new curb cut and driveway are located. The sidewalk will have to be reconfigured and the bus stop and stop sign relocated a short distance to the west.

“Accommodating excess accessory parking does not degrade the overall urban design quality of the project proposal.” [Sec. 151.1(g)(1)(A)(ii)]

The proposed 3,742 square foot parking garage will degrade the overall urban design quality of the Project and the surrounding area.

Accommodating a 3,742 square foot parking garage as a significant part of the Project at this unique location across from Pioneer Park and Coit Tower will, by necessity, add to the overall mass and height of the proposed new structure, resulting in a building design that is not contextual for this outstanding and unique urban setting. Not only will the 40-foot high Project plus stair penthouses impact views from public areas, including the Filbert Steps and Pioneer Park, but it will obscure views of Coit Tower and Pioneer Park from the south since the rear of the building presents a massive fort-like structure.

The Commission's Residential Design Guidelines provide for the protection of "major public views of the City as seen from public spaces such as streets and parks by adjusting the massing of proposed development project to reduce or eliminate adverse impacts on public view sheds." Pursuant to these guidelines, while views from private buildings are not protected, "[v]iews from public areas, such as parks, are protected." (See Residential Design Guidelines, page 18.) The views from Pioneer Park are recognized and protected by Policy 2.7 of the Urban Design Element of the General Plan. San Francisco Recreation and Parks Department, expressed such concerns about blockage of these views in a letter dated July 29, 1993, with respect to the development at this site (Attached as **Exhibit D**).

"Excess accessory parking does not diminish the quality and viability of existing or planned streetscape enhancements." [Sec. 151.1(g)(1)(A)(vi)]

The Project will diminish the quality and viability of existing or planned streetscape enhancements in that the proposed new garage entrance will be located between the top of the Filbert Steps where a Muni Coit 39 Bus stop is located and the major pedestrian crosswalk to Coit Tower. The Project will require removing an area of the existing pedestrian sidewalk to accommodate the new curb cut and driveway, which will necessitate the relocation of the existing stop sign at a blind corner on Telegraph Hill Blvd. (See Existing and Proposed Site Plans.) The proposed new parking garage will decrease the existing pedestrian streetscape, require removal of a section of the historic stone wall and impact pedestrian safety and convenience at this heavily used pedestrian crossing.

2. *Conditional Use Authorization For 4 Dwelling Units in RH-3 Zone -- Criteria Not Met.*

The Project is located in the RH-3 Zoning District, where Section 209.1(h) and a fourth unit is allowed only with a Conditional Use Authorization by the Planning Commission. The Project with four dwelling units on a single lot cannot meet each of the criteria set forth in Section 303(c) for the reasons discussed below:

"That the proposed use or feature, at the size and intensity contemplated and at the proposed location will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community."(Sec.303(c)(1))

The Applicants who are the current owners of this property previously demolished 4 of the 5 modestly-sized buildings located on this site that once provided 11 affordable, rental housing

units occupied by artists, photographers and writers. The construction of large luxury condominiums now proposed at this site is not “necessary and desirable” for or “compatible” with the Neighborhood. Admittedly designed to attract extremely affluent buyers, the Project includes the construction of three new condominiums units each ranging in size from 4,100 to 4,600 square feet (in addition to a 3,742 square foot parking garage). San Francisco is currently experiencing a surge in high-end residential development because it has not maintained a balance of affordable and middle class housing in its neighborhoods, thereby losing its economic diversity.

Furthermore, a project at this sensitive location across from Pioneer Park at the top of the narrow pedestrian Filbert Steps that will negatively impact traffic, transit, pedestrians, and views from public places, is hardly a development that is necessary and/or desirable for the neighborhood or community.

The Applicants appear to have intentionally failed to maintain the property and have gutted and stripped the remaining cottage so that it became uninhabitable all after the Planning Commission approved a permit to renovate it in 1997. They now argue that the Project is necessary and desirable because the existing cottage is in “disrepair” and the site is “run down and vacant for over 10 years.” The Applicants have also refused to grant permission to neighbors who have volunteered to maintain it as an attractive green space. Inasmuch as the “run down” condition of the property is solely attributable to the Applicants’ failure to maintain the property, its existing condition cannot support a finding that the Project is necessary and desirable for the neighborhood.

The Project’s mass, scale and design are incompatible with the existing structures and historic development pattern of the surrounding area. One of the experiences of walking up the Filbert steps from the base of Telegraph Hill is enjoying the finer scale buildings that line the steps. The Project’s size and intensity at this location, is incompatible with the overall character of the buildings in North Beach and Telegraph Hill, as well as with the buildings located to the west and south of the site. The west exterior wall of the proposed new structure (facing Kearny St.) presents a solid blank wall towering over the adjacent structure at 381-383 Filbert Street. In addition, the south facing façade of the Project presents a highly visible fortress-like wall towering above the buildings to the south of the site obstructing the visual form and character of Pioneer Park that is described in the Urban Design Element of the General Plan as a “hilltop park with the highly visible green of trees from which Coit Tower rises.” (See Policy 2.7 of the Urban Design Element of the San Francisco General Plan.) The Applicants attempt to justify the scale by using the maximum height for all the buildings along the Filbert Steps instead of the existing urban context and historic development patterns.

The current Project design is incompatible with the special character of Telegraph Hill and will chip away at its unique character that attracts and endears this neighborhood to residents and visitors alike. Continuation of the height and design of the two existing buildings located east of the Project Site on Telegraph Hill Boulevard will forever change the unique character of Telegraph Hill.

In their submittal to the Commission, the Applicants' architect misinterprets and/or misrepresents the design character of Telegraph Hill with the following statement:

“The building design draws from historical elements of Telegraph Hill by referencing the rustic and industrial quality of fenestration from the quarry and shipyards once existing in the surrounding neighborhood. Weathered and treated wood louvers and exterior features mimic the fishing cottages and residences of Telegraph Hill.”

The Telegraph Hill Historic District case report describes the architectural character of Telegraph Hill as follows:

“The typical structure is a rectangle in plan, often with addition of rear shed(s) and/or porch(es) on the down hill or view side. *Usually it has a difference of one, two or more floors between its uphill and downhill sides.* Often it is *one story at access level with lower floors added as the hill drops.* It is clad in *rustic wood siding, laid horizontally,* and it has a gable roof with either bard boards or false front. Ornamentation is restrained... Windows are often double hung, often two-over-two or four-over-four, or else wooden casements.” [Emphasis added.]

Telegraph Hill Historic District Case Report, Page 3

“Fishing cottages” and “industrial quality fenestration from the quarry and shipyards” were never historic elements of Telegraph Hill and “mimicking” them does not integrate the Project contextually into its surroundings.

“That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity” with respect to “the nature of the proposed site” and “[t]he accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic...”(Sec. 303(c)(2))

As discussed above, given the unique nature and location of the Project Site on the main route to Coit Tower used by more than 200,000 individuals each year who arrive by foot, bus or car, the parking garage will impede pedestrian movement and safety, require the relocation of a stop sign, create conflicts with the Muni bus stop, and add to the recognized traffic congestion on Telegraph Hill Blvd. leading to Coit Tower. The Project would, therefore, be detrimental to the health, safety, convenience and general welfare of persons residing or working in the vicinity, as well as thousands of visitors to Coit Tower and Pioneer Park.

F. INCONSISTENCY WITH THE PRIORITY POLICIES OF THE MASTER PLAN.

Planning Code Sec. 101.1 establishes eight Priority Planning Policies and requires the Planning Commission to find that the Project is consistent with these policies before approving the Project. The Project is inconsistent with the following Priority Planning Policies:

“That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.” (Sec. 101.1(2))

Construction of new luxury condos will not preserve the cultural and economic diversity of our neighborhood, particularly given the high rate of evictions of lower income tenants by speculators in our neighborhood who are converting the former homes of writers, poets, artists and blue collar workers into luxury TICs and condos.

“That the City’s supply of affordable housing be preserved and enhanced.” (Sec. 101.1(3))

New uber luxury condos each to be priced in the millions, designed to attract affluent buyers, will not enhance the City’s supply of affordable housing; but will increase the City’s supply of overpriced housing for multi-millionaires. The cottage which could be been renovated at a reasonable cost was left vacant and the so-called “dry rot repair” was essentially a de facto demolition. The photographs of the cottage in the Department’s file clearly showed that the exterior and interior stud walls, ceiling joists, etc. were completely removed and replaced.

“That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.” (Sec. 101.1(4))

In their application, the Applicants claim that the property is located in a relatively low-density area comparing to other neighborhoods. However, the Applicants conveniently forget that the residents along Lombard Street, which feeds into Telegraph Hill Boulevard, have had to bear the high volume of traffic generated by Coit Tower. The Coit Tower parking lot has a limited number of parking spaces resulting in a long line of cars, queuing up as far down the hill as the Stockton/Lombard intersection, with engines idling, waiting to park.

Further, as the entrance and curb cut for the Project’s proposed 3,742 square foot parking garage will be located at the very the top of the heavily used Filbert Steps, next to a Muni Bus stop and the major pedestrian crosswalk to Coit Tower, conflicts between vehicular, pedestrian and Muni service will result. The garage entrance will also require the relocation of a stop sign, which is currently located within the proposed new driveway.

During construction, construction trucks will use the bus stop area to load and unload. During concrete pours, trucks will queue waiting for their turn, again at the bus stop or at the top of the Filbert Steps, which will exacerbate the existing traffic congestion on the narrow two-lane Telegraph Hill Boulevard, as well as on Lombard Street, which feeds into Telegraph Hill Boulevard. As mentioned above, after construction is completed, because of the turning radius required, access to the garage will require crossing the double yellow line into the on coming lane of traffic in order to make the tight turn into the driveway, thereby creating additional traffic

impacts that must be considered cumulatively with existing traffic conditions on Telegraph Hill Blvd.

“That our parks and open space and their access to sunlight and vistas be protected from development.” (Sec. 101.1(8))

It is undisputed that the views from Pioneer Park and the stairs leading down to Telegraph Hill Boulevard will be impacted. The so-called “view corridor” included in the Project plan is a narrow tunnel -- 3’6” wide and approximately 50’-6” long – located above ground level. At the ground level, the “view corridor” is wider on north side narrowing towards the south where the view is. Even at a glance, it is clear that the separation between Unit 1 and Unit 2 is needed to allow access to the existing cottage at the rear of the lot, and not motivated by a magnanimous gesture of the Applicants’ desire to preserve a “public view corridor.”

G. RECOMMENDATIONS

We respectfully ask the Commission to either deny the conditional use application or continue this matter and review and be redesigned in accordance with the following recommendations:

1. Require the Project to be redesigned as proposed by the Applicants and presented to THD on October 11, 2012, with only two units, without roof decks and penthouses, maintaining a large open view corridor between them. (See **Exhibit C.**) Alternatively, require a reduction in massing by eliminating the top floor of each of the new units and eliminating the roof decks, glass railings, stair and elevator penthouses to maximize public views from Pioneer Park and its stairways. [Private open space can be provided by terracing the rear yard or adding decks to the south-facing (rear) façades of the new condo structures without diminishing public views. Even without the top floor, all the units can be redesigned to have at least three bedrooms each.];
2. Require changes to the design and exterior material to be more compatible with the cottages to the west in order to maintain the character of the neighborhood and the experience of walking up the Filbert Stairs to Coit Tower/Pioneer Park;
3. Require significant separation between the units facing on the Filbert Steps to allow significant public views through the building mass;
4. Eliminate the off-street parking spaces;
5. Require one of the units be affordable to replace at least one of the affordable units previously removed from the market by the Applicants;
6. Articulate the blank west wall that looms above the small cottage located below it on the Filbert Steps to provide scale and visual interest;

7. Require the south-facing (rear) façade of the building to be stepped down to eliminate the fort like appearance; and
8. Impose conditions of approval to address the construction traffic impacts and the conflict between vehicle/Muni/pedestrian conflict caused by the Project's driveway.

H. CONCLUSION

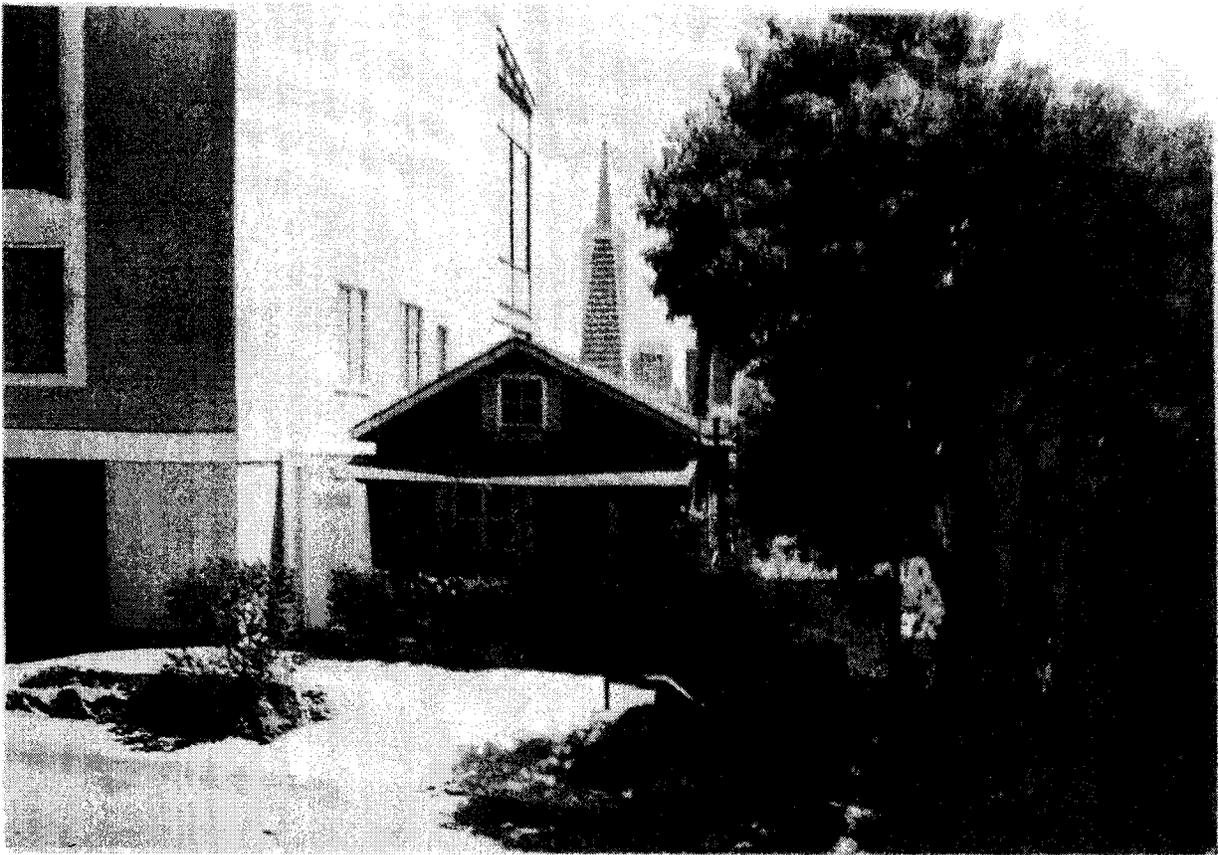
The discussion above clearly shows that the Certificate of Categorical Exemption is legally insufficient. Therefore, this Commission must direct the Department to prepare a new legally adequate environmental review document. THD has also demonstrated that the Project cannot meet all of the criteria necessary for the requested the Conditional Use Authorization to construct four dwelling units and the additional criteria required for four off-street parking spaces. Thus, this Commission should either deny the conditional use application or continue this matter and require the Department to prepare a new environmental review document for the Project, and require the Project to be redesigned in accordance with our recommendations listed above.

Sincerely,



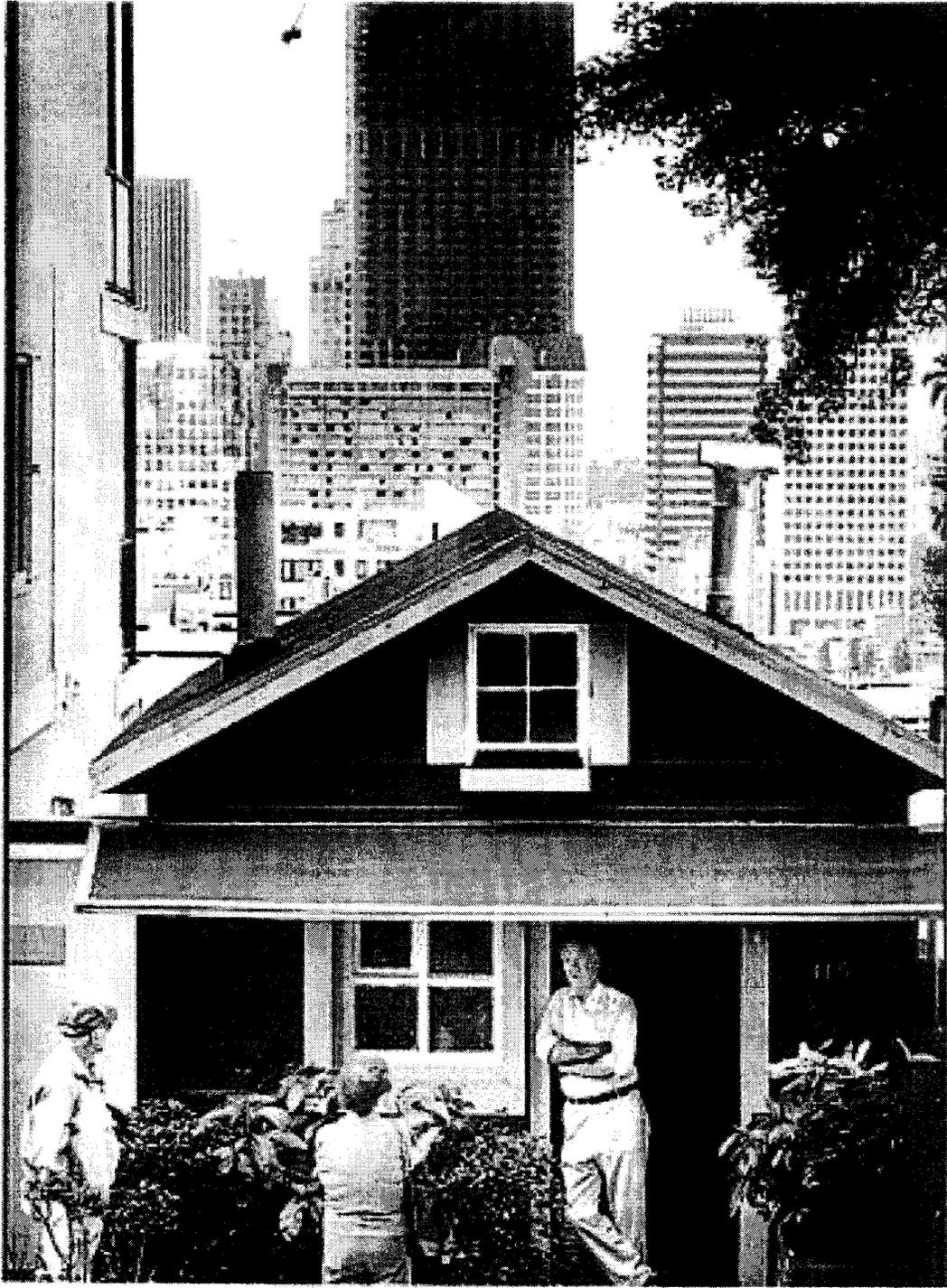
Vedica Puri
President

cc: Commissioner Michael Antonini
Commissioner Rodney Fong
Comissioner Richard Hillis
Commissioner Kathrin Moore
Commissioner Hisashi Sugaya
Commissioner Christine Johnson
John Rahaim, Director of Planning
Scott Sanchez, Zoning Administrator
Elizabeth Watty, Planner
Tina Tam, Presevation Planner
Gretchen Hilyard, Preservation Planner
Sarah Jones, ERO
Heidi Kline, Environmental Planner
Jessica Range, Environmental Planner



*Circa 1985 Bailey Cottage, Telegraph Hill
"Tiny Houses" by Lester Walker (1987)*

EXHIBIT "A"





P & Z COMMITTEE'S COMMENTS & SUGGESTIONS ON 115 TELEGRAPH HILL BLVD.

Date: Mon, 30 Jul 2012 11:12:17 -0700

To: Lewis Butler <Butler@butlerarmsden.com>

Subject: P & Z COMMITTEE NOTES ON 115 TELEGRAPH HILL BLVD.

Hi Lewis,

The Committee thanks you for your presentation and especially appreciates the quality and clarity of the materials presented, which provided a massing study without specific design details. We understand that although you and your client propose a “modern” approach for the site, design details will be discussed with us later. Although these notes are provided to fully and openly inform you and your client of the issues that this site raises, we hope that our comments will lead to further discussions and future meetings. Please consider our comments in this light.

The Committee identified 2 major issues: Massing & parking, and generally discussed design issues. We address the parking issues first.

1. Adding a Parking Garage:

It is our understanding that the decision of the Board of Supervisors on 424 Francisco (Motion No. M10-88) would require environmental review, likely and EIR, if a new garage is proposed as a part of the development. Telegraph Hill Dwellers joined with the Chinatown Community Development Corp. (CCDC) on the appeal of the exemption determination on the 424 Francisco case and would not support disregarding or overlooking that decision on this or any other project in the North Beach/Telegraph Hill area. We feel that the fact that there may have been no curb in this location a very long time ago (per the RE Broker for this property who also attended our meeting) is irrelevant to the application of the 424 Francisco decision today.

The committee discussed several potentially serious impacts from the addition of a garage at this location:

- Pedestrian Safety: The Filbert steps in front of the subject site are a highly used pedestrian corridor. Hundreds of people walk up to Coit Tower/Pioneer Park on these steps. Adding a garage and driveway at this particular location -- right at the top of the stairs between the stairs and the pedestrian crosswalk – could create a safety hazard.
- Adding to Traffic Congestion: Attempting to limit the number of cars from coming up to Coit Tower/Pioneer Park has been a many-year campaign of the Telegraph Hill Dwellers. There have been numerous studies addressing the serious traffic issues and the pollution from cars waiting in long lines to get to the Tower. The solution and community goal has been to limit the number cars from coming up to Coit Tower by limiting available parking and encouraging people to walk (up the Filbert Steps) or take the 39 Coit Bus. [More information on this campaign and the issues can be provided if it would be helpful.]

Questions: Assuming the proposed addition of a garage at the site will require the preparation of an EIR to address these and other issues, with an uncertain outcome, would your client be

willing to go ahead with the purchase? Would the project be financially infeasible without a garage? Would a project without parking be financially feasible if the parcel were re-subdivided into 3 or 4 separate legal lots with single-family homes instead of condos? (See suggested alternative approach below.) As we discussed at the meeting, it is a fact that many homes on Telegraph Hill with great views do not have garages/dedicated parking.

2. Building Massing/Design Comments:

The Committee very much appreciates the concept of 3 separate houses with space between them. However, the problem with the massing as presented is the fact that the building would be a solid mass at the pedestrian level along the Filbert Steps, with no pedestrian views through the proposed “garage” that would form the base of the condos. A related concern is the absence of front entrances at the street/steps level.

Recommendation: That the space between the buildings be extended to the level of the steps and that a front entry to each building be located at that level as well.

Even though “option 5” as presented is below the 40 foot height limit, the site is still subject to the City’s Residential Design Guidelines and the Urban Design Element of the General Plan, which require the protection of “major public views in the City as seen from public spaces such as streets and parks by adjusting the massing of proposed development project to reduce or eliminate adverse impacts on public view sheds.” It is our understanding that views from public areas, such as the Filbert steps and Pioneer Park are protected regardless of the building height otherwise allowed. The existing trees that currently obscure the view may not be there in future years.

Recommendation: That you give consideration to reducing the proposed height along the Filbert steps. In particular, Committee members expressed concern with the dramatic difference between the height of the cottage to the west and the proposed height of the building proposed at 121 Telegraph Hill.

One of the architects on our Committee suggested that consideration be given to alternative massing schemes, including locating the structures at other locations on the site – perhaps setting the cottages back from the steps with gardens at the front along the steps as a way to protect views. Is there an existing topographic survey of the site? Or, at least a schematic section north-south and east-west through the site?

3. Alternative Approach Suggested:

As an alternative approach that could address the parking and massing issues discussed above, it was suggested that instead of adding parking to the site, the lot could be re-subdivided into 4 separate legal lots, with a single-family home on each lot instead of building condos over a garage base. This approach would allow each home to be larger and potentially be designed so that (1) their heights along the Filbert Steps could be reduced, thereby protecting “major public views from public spaces” as required by the City’s Residential Design Guidelines and Urban Design Element of the General Plan, would also address massing issues; (2) allow for real space/gardens between the buildings at “ground” level to enhance pedestrian views from the steps; and (3) allow for entries at the “ground” level. It would also eliminate the requirement

for an EIR related to the addition of parking at this sensitive site.

4. Design Details:

Although the presentation specifically did not focus on design details, you stated that your client likes a “modern” approach to the site, but that the intent is to “recall” the neighborhood pattern without resurrecting the old buildings. The following are several general comments made by committee members:

- Views of the back (south façade) are important since it is highly visible from many viewpoints near and far.
- Would like to see a reduction in the amount of glass on the front facades.
- Would like to see entrances on the Filbert steps side.
- As mentioned above, would like separation between the buildings visible to pedestrians on the Filbert steps.
- Questions were raised as to the appropriateness of bays on the Filbert steps facade. Bay windows are not characteristic of cottages on Telegraph Hill.
- Concern was expressed as to the height differential between the small cottage on the west and the first building in the project. This dramatic difference should be reduced.
- Would like to see the design bridge the architectural styles of cottages to the west to the larger building on the east. However, as Committee members pointed out, the building on the east does not fit the neighborhood character of North Beach/Telegraph Hill.

In response to your suggestion that we provide some examples of new buildings on the Hill that we feel fit the character of the area, here are a few:

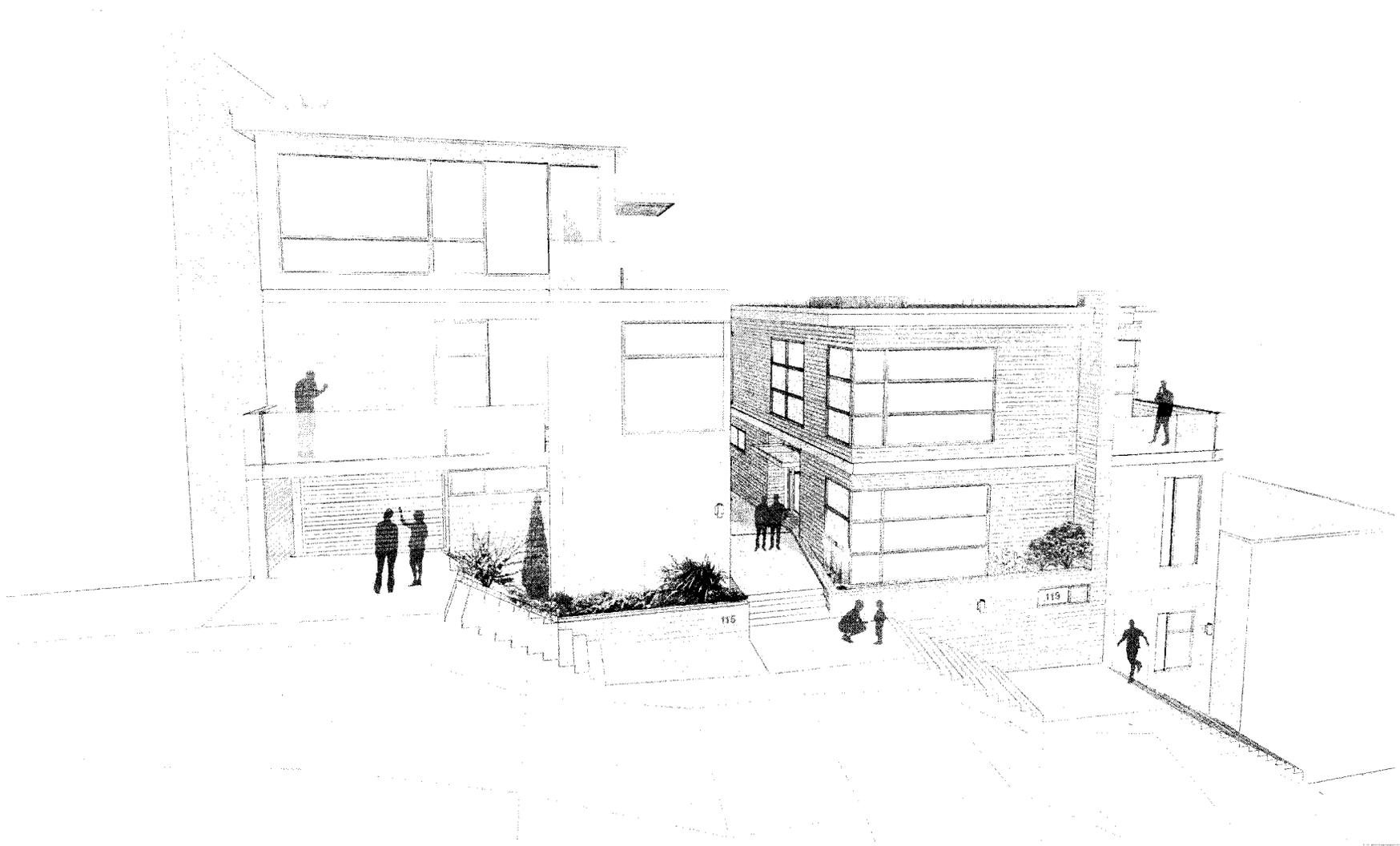
1320 Kearny

407 Filbert

324 Chestnut

1059 Union (details, not scale) see Macondary Lane side

EXHIBIT "C"



STREET FRONTAGE FACADE

115 TELEGRAPH HILL
SAN FRANCISCO, CA



OCTOBER 11, 2012

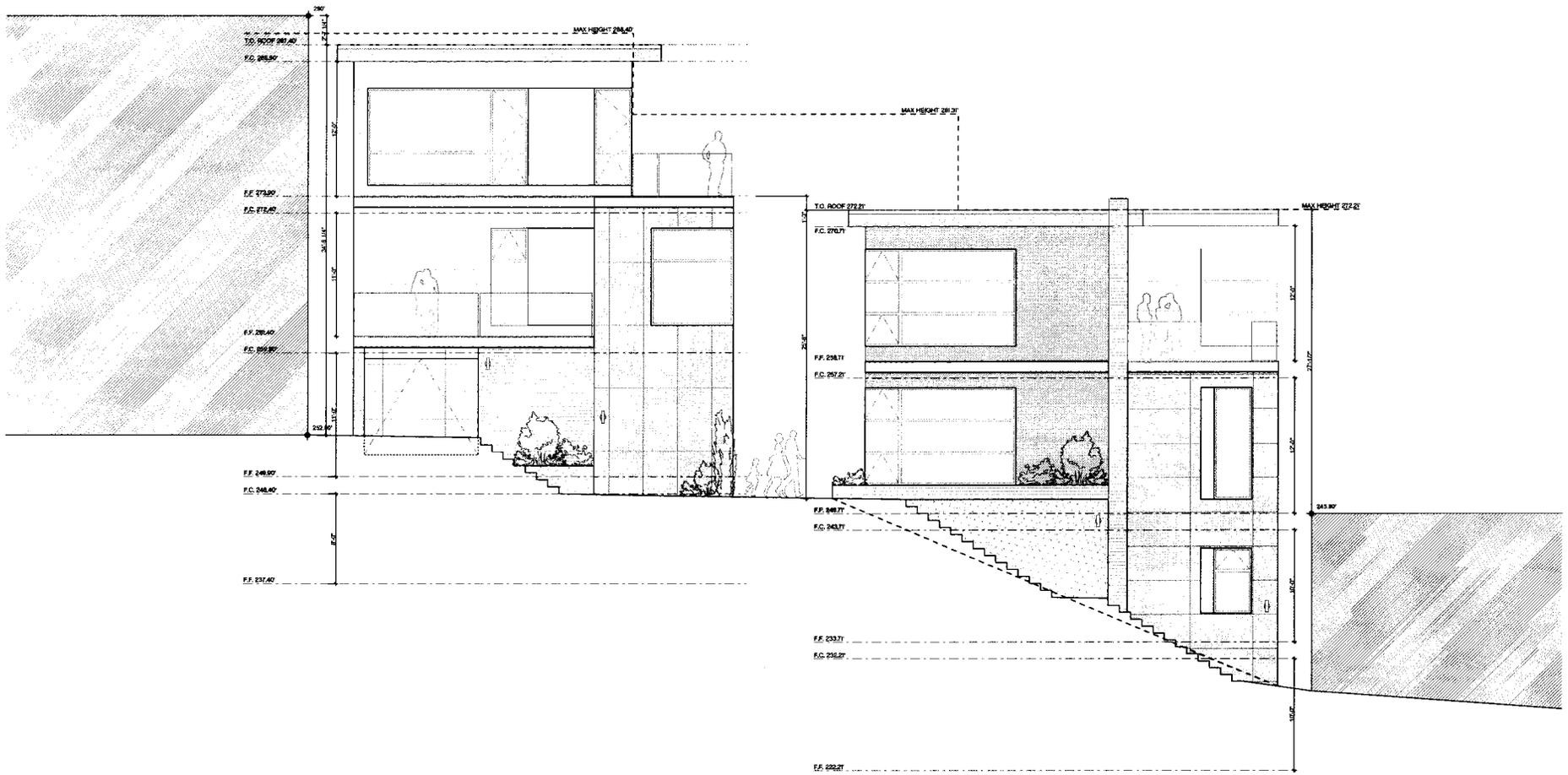


PROPOSED SITE PLAN

115 TELEGRAPH HILL
SAN FRANCISCO, CA



OCTOBER 11, 2012



SCHEMATIC FRONT ELEVATION

115 TELEGRAPH HILL
SAN FRANCISCO, CA



OCTOBER 11, 2012



RECEIVED

AUG 04 1993

CITY & COUNTY OF S.F.
DEPT. OF CITY PLANNING

July 29, 1993

Mr. Jim Nixon
Department of City Planning
450 McAllister Street
San Francisco, CA 94102

Dear Mr. Nixon:

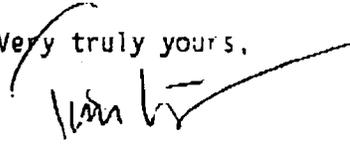
This is in regard to the project that we recently discussed on the Filbert Street Steps adjacent to Telegraph Hill Blvd. and Pioneer Park. The Recreation and Park Department has several concerns about the possible impact of this project on the park.

The first concern is impact on view. This project would effectively block the sight line from the viewing area at the rear of Coit Tower, down into North Beach and across to Nob Hill. Even though current landscaping in this area substantially limits the view, planting schemes often change over the years and the proposed construction would preclude any future use of this view corridor.

The second concern regards the increase the project may cause in the use of Telegraph Hill Blvd. Over the years, some of the residents along the Boulevard have complained about the traffic generated by Coit Tower, and possible impact on emergency vehicle access, etc. The problem is caused by tourists and residents competing for the limited spaces in the Coit Tower parking lot which often results in a line of cars waiting to park. I am concerned that the project may increase the use of the Boulevard and parking lot, adding to the number and volume of complaints.

Thank you for this opportunity for input. If you have any questions please do not hesitate to contact me at 666-7080.

Very truly yours,


Tim Lillyquist
Assistant to the General Manager

4220t

From: [Liz Vasile](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: Proposed condominium project at 115 Telegraph Hill Blvd (Case No. 3013.1375CE)
Date: Tuesday, July 08, 2014 10:32:59 PM

Attn: San Francisco Planning commission

I am writing to express my concern, as an urban geographer, public historian, San Francisco registered business owner, and citizen, with the proposed project at 115 Telegraph Hill referenced above. As presently designed, the project will have numerous negative effects on the sensitive and dense neighborhood atop Telegraph Hill:

Pedestrian safety: The proposed Filbert Steps pathway changes near Telegraph Hill Blvd. would create dangerous conditions for the thousands of pedestrians who use this route annually;

Traffic congestion: The already traffic-choked route to the Tower would be further constricted due to the proposed development, both before and after construction;

Public transit access: the current Muni stop is on the driveway of the proposed development and would be an unsafe place to wait or off-board; and

Historic resources demolished: The historic cottage on the southeast edge of the site would be removed.

Housing impacts: in a city already reeling from the effects of spiraling rents and holder of the title of least affordable major urban area in the country, the proposed project would reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.

For these and other reasons this project needs to be reviewed carefully and revised to allow it to better fit into the current neighborhood. There is a forum where this can be done constructively: the **Telegraph Hill Dwellers (THD) Planning & Zoning Committee**. By attempting an end-run around this forum the developers have shown an unneighborly attitude and disdain for the existing community. The developers need to first meet

with the THD committee for a plan review. Other project developers who have used this forum have found that not only are their projects more acceptable to neighbors but that their projects are greatly improved in general.

I encourage the Planning Commission to reject the current project and direct the owners and developers to begin meeting with neighbors to come up with a plan that will work for all concerned.

Respectfully,
Elizabeth Vasile
Independent Consultant and San Francisco registered business

Elizabeth Vasile, Ph.D.

Genius Loci

Historical Geographies

Tel. 415.509.4543

Cultural Heritage Program Development

From: [Susan Wintersteen](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Wednesday, July 09, 2014 9:52:19 AM

Dear Miss Watty:

I want to express my great concern about plans for the proposed luxury condominium project at 115 Telegraph Hill Blvd. I was not aware of the planned project until the Telegraph Hill Dwellers sent information to us.

Shouldn't we have been given a heads up about projects like this planned in our neighborhood?

I think the information supplied by THD about the development project truly shows the impact it would have on the public's views, parks, access and pedestrian safety:

The proposed project would:

- * Block the sweeping views of San Francisco enjoyed by Pioneer Park users
- * Create permanent dangerous conditions for pedestrians coming up the Filbert Steps and Telegraph Hill Blvd. (by creating a new curb cut on the curviest section of Telegraph Hill Blvd. at the very top of the Filbert Steps coming up from Kearny Street)
- * Exacerbate traffic congestion for visitors and residents to Coit Tower on Telegraph Hill Blvd. both during and after construction
- * Adversely impact users of the 39 Coit Tower MUNI bus both during and after construction (particularly because the current stop will have to be moved but will still be next to their new driveway)
- * Eliminate access from the Filbert Steps to Coit Tower for up to two years while the project sponsor digs 30 feet for a new parking garage on this highly constrained site
- * Reward the current owners for demolishing 11 units of affordable rent-controlled housing and replacing them with three luxury, 4,000 to 5,000 square foot, condos.
- * Reward the current owners for their defacto demolition of the historic cottage on the southern edge of the property

I have lived at 275 Telegraph Hill Blvd. for over 20 years and am very familiar with the neighborhood and the adverse impact it would have on

Telegraph Hill. The Hill is already impacted by the tremendous amount of tourists coming up to the area.

In addition, construction of structures like this contribute to the fragile hillside problems and how it affects the surrounding areas. Seriously! Dig 30 feet for a new parking garage in this area on a fragile hillside?

I think the City has a great responsibility by protecting the Hill and not allowing projects like this to be developed.

Regards,
Susan Wintersteen

From: WongAIA@aol.com
To: [Watty, Elizabeth \(CPC\); Secretary, Commissions \(CPC\); hs.commish@yahoo.com; Mooreurban@aol.com; wordweaver21@aol.com; cwu.planning@gmail.com; richhillissf@yahoo.com; planning@rodnevfong.com; Rahaim, John \(CPC\); Jones, Sarah \(CPC\)](mailto:Watty,Elizabeth(CPC);Secretary,Commissions(CPC);hs.commish@yahoo.com;Mooreurban@aol.com;wordweaver21@aol.com;cwu.planning@gmail.com;richhillissf@yahoo.com;planning@rodnevfong.com;Rahaim,John(CPC);Jones,Sarah(CPC))
Subject: CASE NO. 3013.1375CE, 115 Telegraph Hill Blvd.----PROTECT PIONEER PARK
Date: Tuesday, July 08, 2014 5:46:37 AM



PROTECT PIONEER PARK: 115 TELEGRAPH HILL BOULEVARD PROJECT

TO: Elizabeth Watty, Planning Department and Planning Commission
Also For Planning Commission Meeting Package----July 17, 2014 Hearing

Cindy Wu, President, Planning Commission
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: Case No. 3013.1375CE, 115 Telegraph Hill Blvd. Telegraph Hill-North Beach Residential SUD Request for Conditional Use Authorizations

Unfortunately, this project has become progressively taller and bulkier over time. In past community meetings, the project sponsor presented buildings well below the height limit, to preserve public view corridors from Pioneer Park---for residents and visitors alike. Also, the addition of rooftop elevator/stair penthouses and railings exacerbate height issues and view obstructions.

The 115 Telegraph Hill Boulevard Project should revisit the direction of earlier designs.

I am the founder and a leader of the Pioneer Park Project, which led to new stairways and the south terrace at Coit Tower. Pioneer Park is one of San Francisco's oldest parks---an outlook for ships and a signal station starting in 1849. Coit Tower opened in 1933 without architect Arthur Brown's intended south terrace, which the Pioneer Project completed. The south terrace and Filbert steps have timeless views that need to be protected for everyone.

The design does not integrate the sites' sloping topography, contributing to view obstructions. The building does not step down in height with the southerly slope of Telegraph Hill. As a result, the project's west elevation is a huge blank wall---the most public face of the project.

The project's north elevation, facing Coit Tower, would benefit from a more traditional massing---without the wrap-around "trim" surrounding each of the three buildings. A decomposed massing would better conform to San Francisco's ubiquitous bay windows, insets, setbacks, step-backs....

As an architect, I see better options than construction disruptions to residents, pedestrians, Muni riders and car drivers by closures of the Filbert stairs and Telegraph Hill Boulevard. Construction logistics, staging and phasing can mitigate years of disruptions---albeit at a bit more cost.

Sincerely,
Howard Wong, AIA

From: [Termeh Yeghiazarian](#)
To: [Watty, Elizabeth \(CPC\)](#)
Subject: 115 Telegraph Hill Blvd Project
Date: Tuesday, July 08, 2014 10:57:37 AM

Dear Planning Commissioners,

I am seriously concerned that plans to build large scale condos are even being considered for a densely populated and small scale neighborhood such as North Beach and Telegraph Hill. My neighborhood is already dealing with traffic and parking issue and variety of issues due to over population, we don't need yet another project that will add to these issues. Specially not a condo which will most likely serve corporate transients rather than provide affordable housing for the locals, something that this city desperately needs.

Commissioners, I rely on you to make your decisions based on how well a project will serve my neighborhood's well being and longevity. I rely on you to consider the impact that this condo project and all future projects proposed for North Beach will have in the long run. Also, please consider how approval of this project will trigger many other similar proposals in the future and endanger the unique demography and character of my neighborhood.

I request that you reject the proposed project for 115 Telegraph Hill Blvd.

Thank you,
Termeh Yeghiazarian
473-A Union Street

REUBEN, JUNIUS & ROSE, LLP

June 26, 2014

By Hand Delivery

President Cindy Wu
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, California 94103

**Re: 115 Telegraph Hill Boulevard
Planning Case No. 2013.1375C
Hearing Date: July 17, 2014
Our File No.: 7058.01**

Dear President Wu and Commissioners:

This office represents Jeremy Ricks, sponsor of a small residential infill development consisting of the restoration of an existing run-down cottage and the construction of three new family-sized dwelling units (the “Project”) on a 7,517 sq. ft. lot located at 115 Telegraph Hill Boulevard (the “Property”). The Property is situated near the top of Telegraph Hill and Coit Tower, in close proximity to public transit, schools, core services and open space. Four units and three stories in height are proposed, where up to seven units and six stories are allowed.

The Project architecture sensitively responds to the neighborhood’s character. The building design draws from historical elements of Telegraph Hill by referencing the rustic and industrial qualities of the quarry and shipyards once existing in the surrounding neighborhood. Weathered and treated wood louvers and exterior features mimic the fishing cottages and residences of Telegraph Hill. View corridors are preserved.

The Project’s scale and design are the result of a more than two-year neighborhood outreach program, which is unprecedented for a project this size, and countless revisions in response to neighborhood input.

The Project will provide much-needed family housing, and transform a mostly vacant, squalid lot into a source of pride for one of San Francisco’s iconic neighborhoods. We look forward to presenting the Project to you on July 17. Project plans and renderings are attached as **Exhibit A**. The Project’s design and materials are graphically depicted in **Exhibit B**.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin
Sheryl Reuben¹ | David Silverman | Thomas Tunny | Jay F. Drake | John Kevlin
Lindsay M. Petrone | Melinda A. Sarjapur | Kenda H. McIntosh | Jared Eigerman^{2,3} | John McInerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

www.reubenlaw.com

A. Project Description and Conditional Use Authorization

The proposed Project would renovate and restore an existing cottage with no expansion of its building envelope, and would construct three new dwelling units: one three-story, 4,138 sq. ft., four-bedroom unit; one four-story, 4,583 sq. ft. five-bedroom unit; and one four-story, 4,182 sq. ft. four-bedroom unit. Each unit will be approximately 40 ft. in height and stepped down both vertically and horizontally in response to the Property's naturally sloping topography. Each unit, including the cottage, will have one off-street parking space in a 3,210 sq. ft. shared subterranean garage, accessed from Telegraph Hill Boulevard. The cottage in the rear would be accessed by foot on a designated pedestrian path, as well as through the garage.

The Project is located in an RH-3 Zoning District, which principally permits up to three units per lot, and up to one unit per 1,000 sq. ft. of lot area with Conditional Use Authorization. Most lots in the District with three units are 2,500 sq. ft. or smaller, whereas the Property is 7,517 sq. ft. The Property consists of three merged lots. Prior to the merger, nine different dwelling units would have been principally permitted on the Property. A total of seven units are permitted on the existing lot with Conditional Use Authorization; only four are requested.

The proposed Project also requires Conditional Use Authorization under Planning Code Section 249.49 to provide parking at a ratio of one space per residential unit in the Telegraph Hill/North Beach Residential Special Use District. Approval of the parking is warranted because none of the concerns that prompted the adoption of Section 249.49 are present here. The purpose of Section 249.49 is to prevent parking from replacing residential units in existing buildings. In this case, the Property is vacant save for the cottage, and the proposed parking does not replace any residential units.

B. Benefits of the Project

The benefits of the Project include the following:

- Provision of new, family-sized housing consistent with the General Plan, the Planning Code, the Residential Design Guidelines, and the City's goal of 30,000 new dwelling units by 2020 (these City policy consistencies are further described in **Exhibit C**);
- Infill development that converts a mostly vacant, unimproved lot into sustainably-designed housing with extensive landscaping to match the aesthetics of the green surroundings, green rooftop decks featuring native plant species on each unit to reduce the visual impact of the new structures when viewed from above, and large built-in planters at set-back entrances to

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each unit to reduce the visual impact of the structures and enhance the pedestrian experience;

- The Proposal diffuses the scale of the larger building to the east and the smaller building to the west with a height in between the two, and with a façade pattern/width and articulation typical of the neighborhood. The parking level is unobtrusively located underground, in area that otherwise could not be used for housing due to lack of access to light and air;
- Restoration and renovation of an existing vacant and dilapidated cottage; and
- Creation of new construction jobs.

C. Neighborhood Outreach and Support

Our neighborhood outreach to neighbors concerning the Project began over two (2) years ago. In May 2012, we first met with representatives of the Telegraph Hill Dwellers (“THD”). We had four initial meetings, during which we produced and reviewed at least six sets of drawings depicting different designs and massing.

After this initial process was completed and the initial THD representatives were comfortable with the design, we had two meetings with two leaders of the THD Design Committee to discuss the proposal. After these meetings with the two Committee leaders, we met with the entire Design Committee. The Committee expressed a range of suggestions, all of which we attempted to accommodate in further designing the Project. We have worked diligently to produce a design that captures the look and feel of the neighborhood, and is sensitive to the desires of neighborhood residents.

On July 30, 2013, we held our neighborhood pre-application meeting. At least 40 neighbors attended. Again, we have made every effort to address concerns raised by the neighbors. We responded individually to every neighbor that provided an email address.

Letters of support for the Project are attached as **Exhibit D**.

D. Conclusion

The Project requires Conditional Use Authorization to authorize four dwelling units at the Property and to provide parking at a ratio of one space per residential unit in the Telegraph Hill/North Beach Residential Special Use District. The Project is highly desirable because it will provide much-needed and thoughtfully-designed family housing in a residential neighborhood,

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President Wu and Commissioners
June 26, 2014
Page 4

on a lot that has been conspicuously ignored and vacant for over 10 years. The poor condition of the lot is out of character with the rest of the neighborhood, and detracts from the well-kept and landscaped surroundings. This Project is long overdue.

For all of these reasons, we respectfully request that this Commission grant the Conditional Use Authorization for this Project.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Daniel A. Frattin

Enclosures

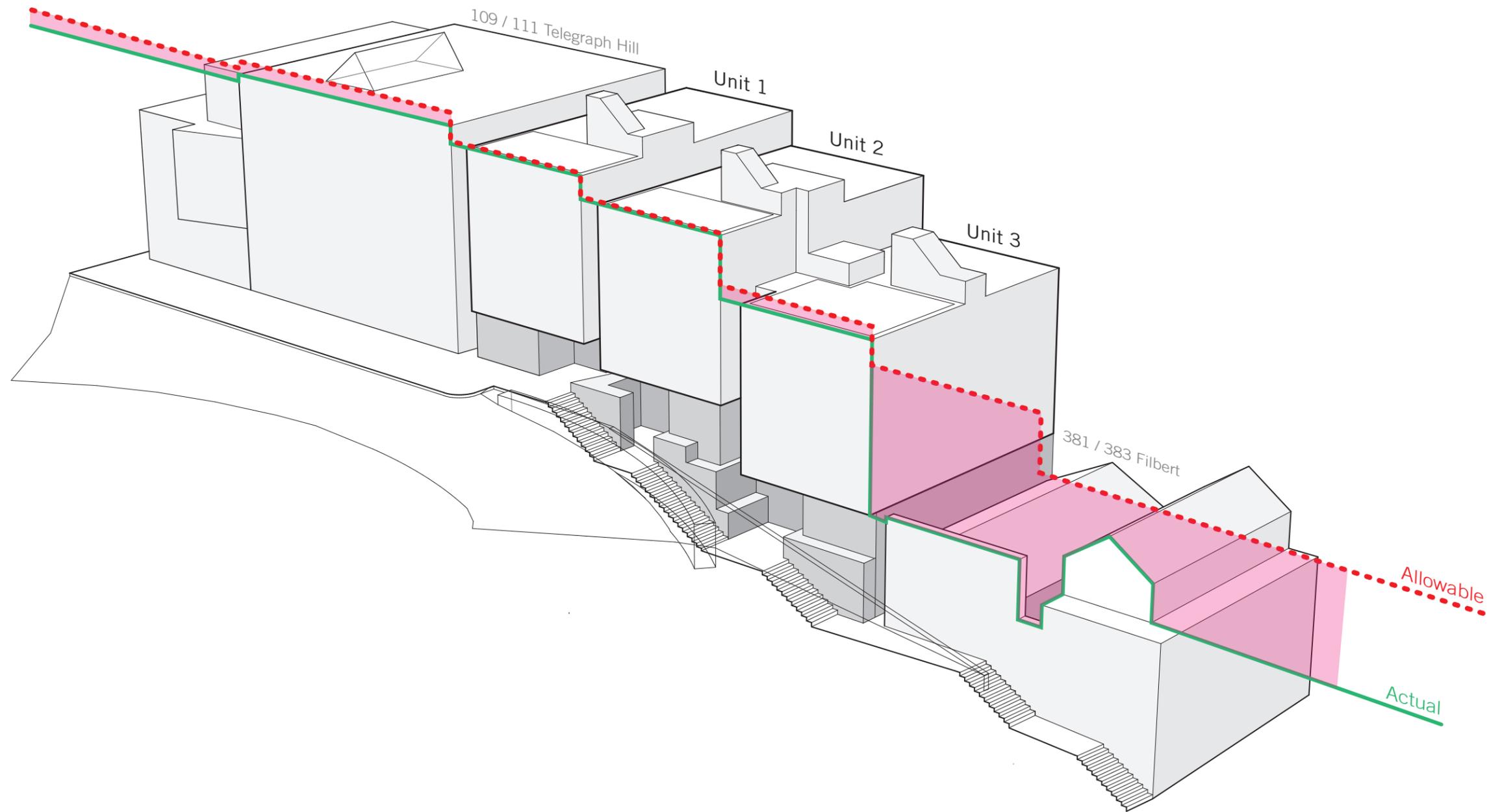
cc: Vice-President Rodney Fong
Commissioner Michael Antonini
Commissioner Gwyneth Borden
Commissioner Rich Hillis
Commissioner Kathrin Moore
Commissioner Bill Sugaya
Jonas P. Ionin – Commission Secretary
John Rahaim – Planning Director
Jeremy Ricks

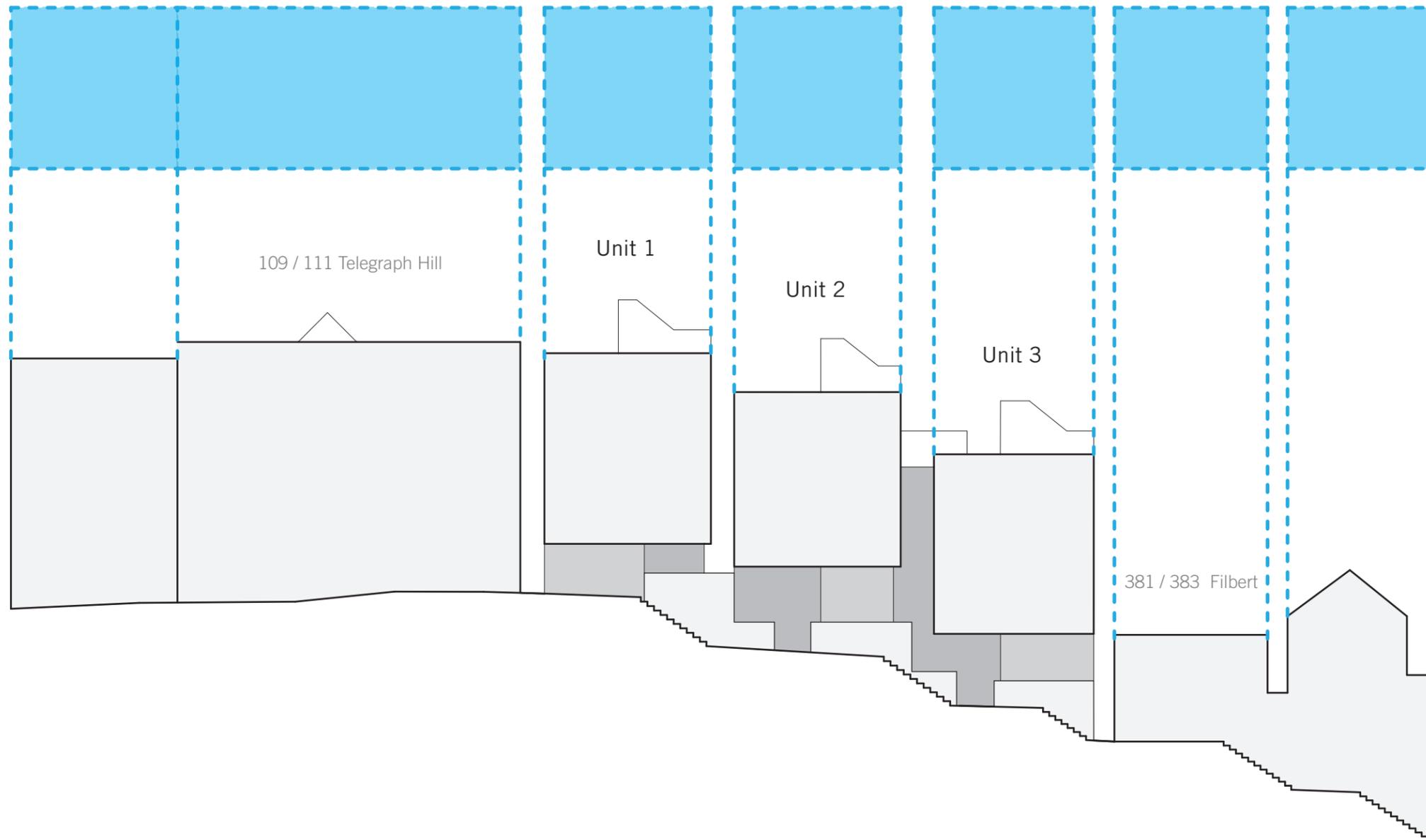
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REUBEN, JUNIUS & ROSE, LLP

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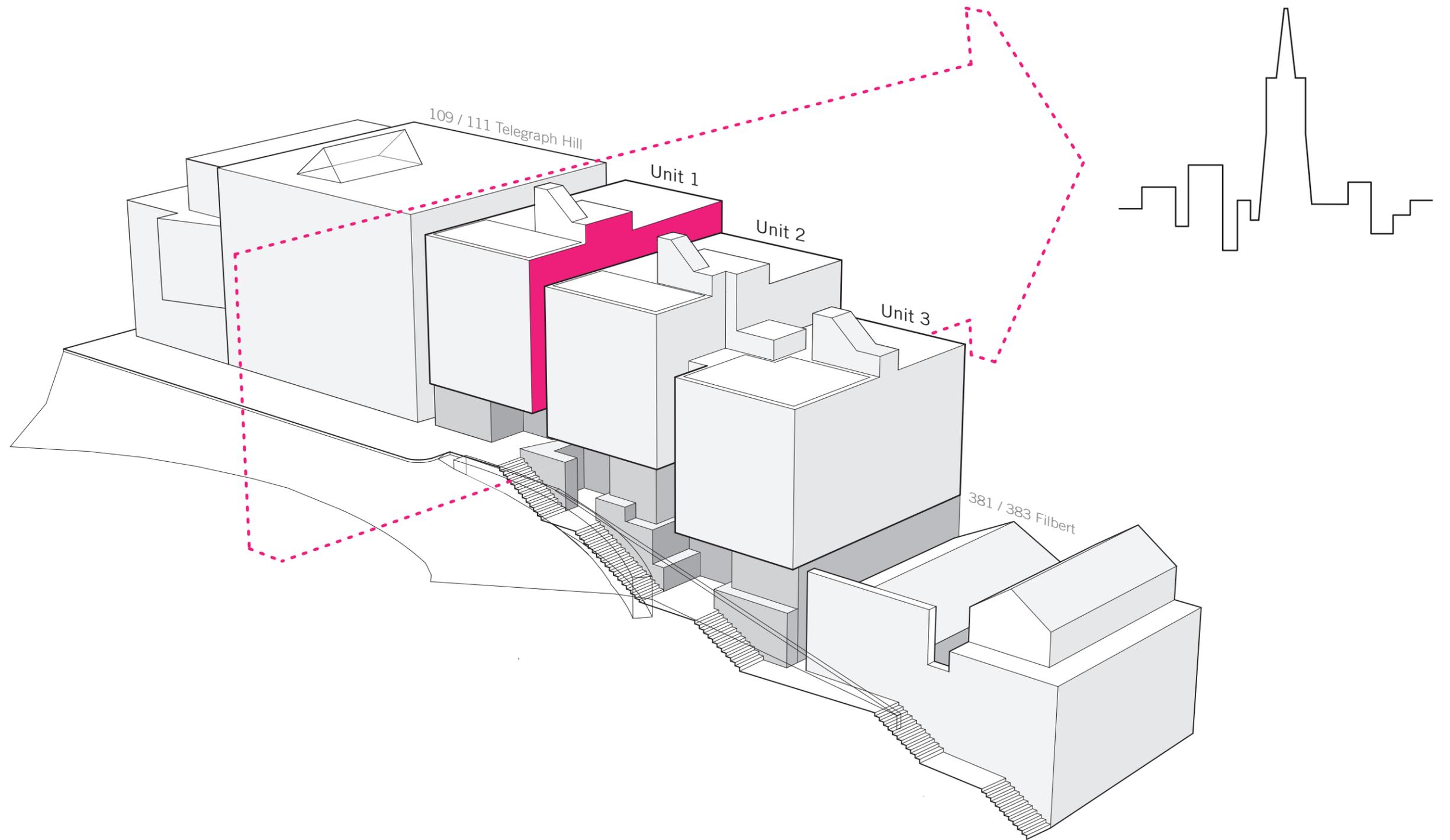
109 / 111 Telegraph Hill

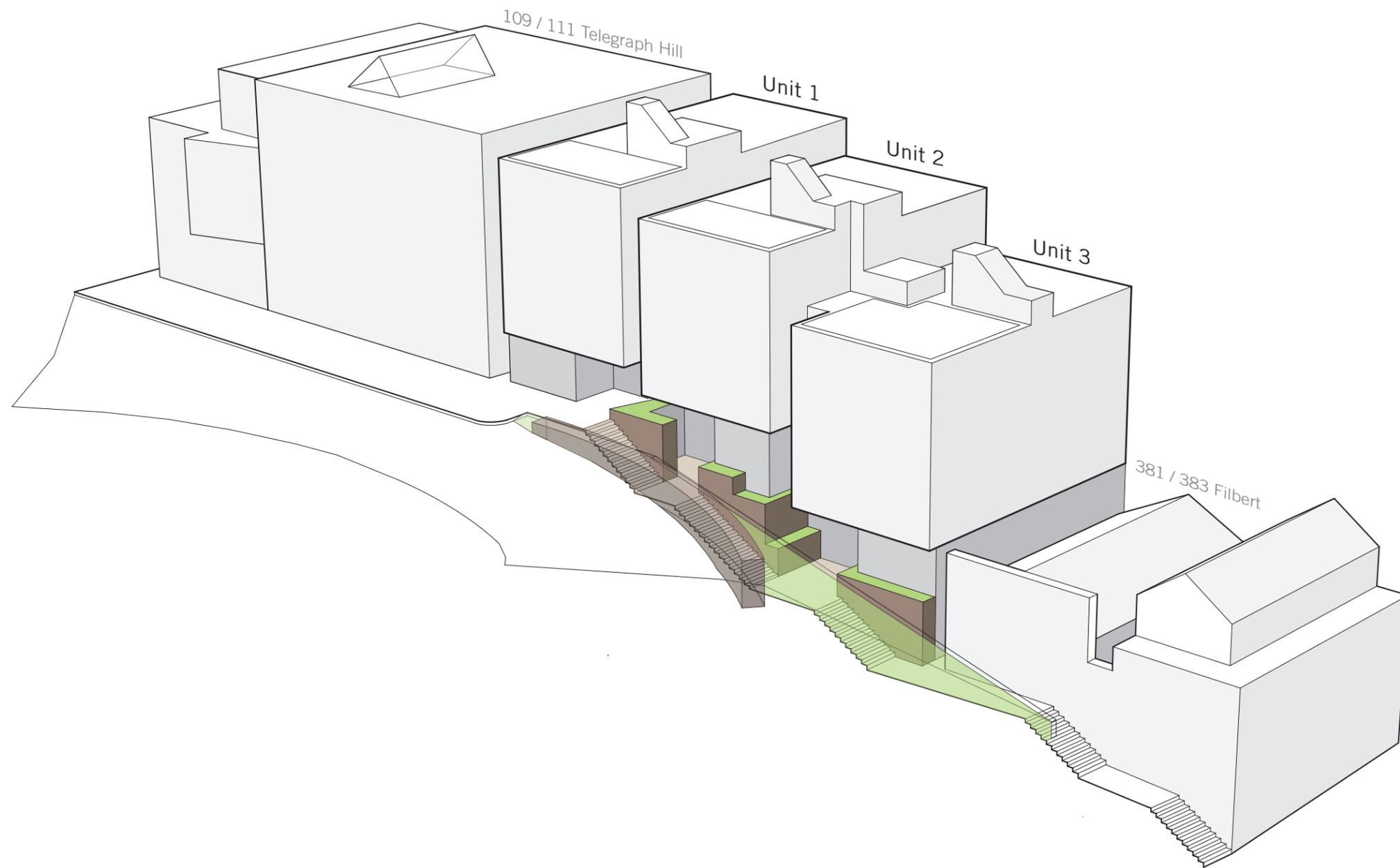
Unit 1

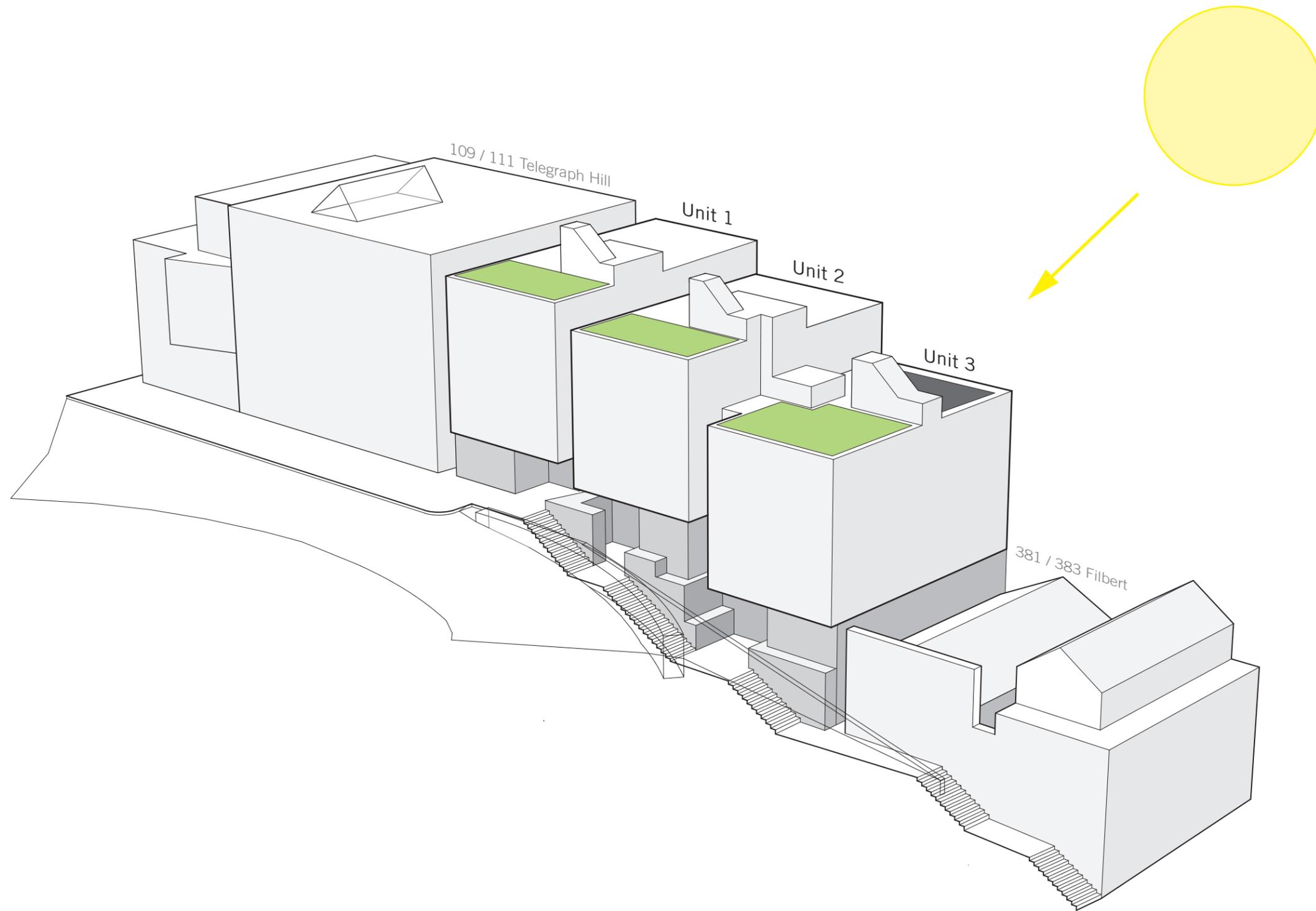
Unit 2

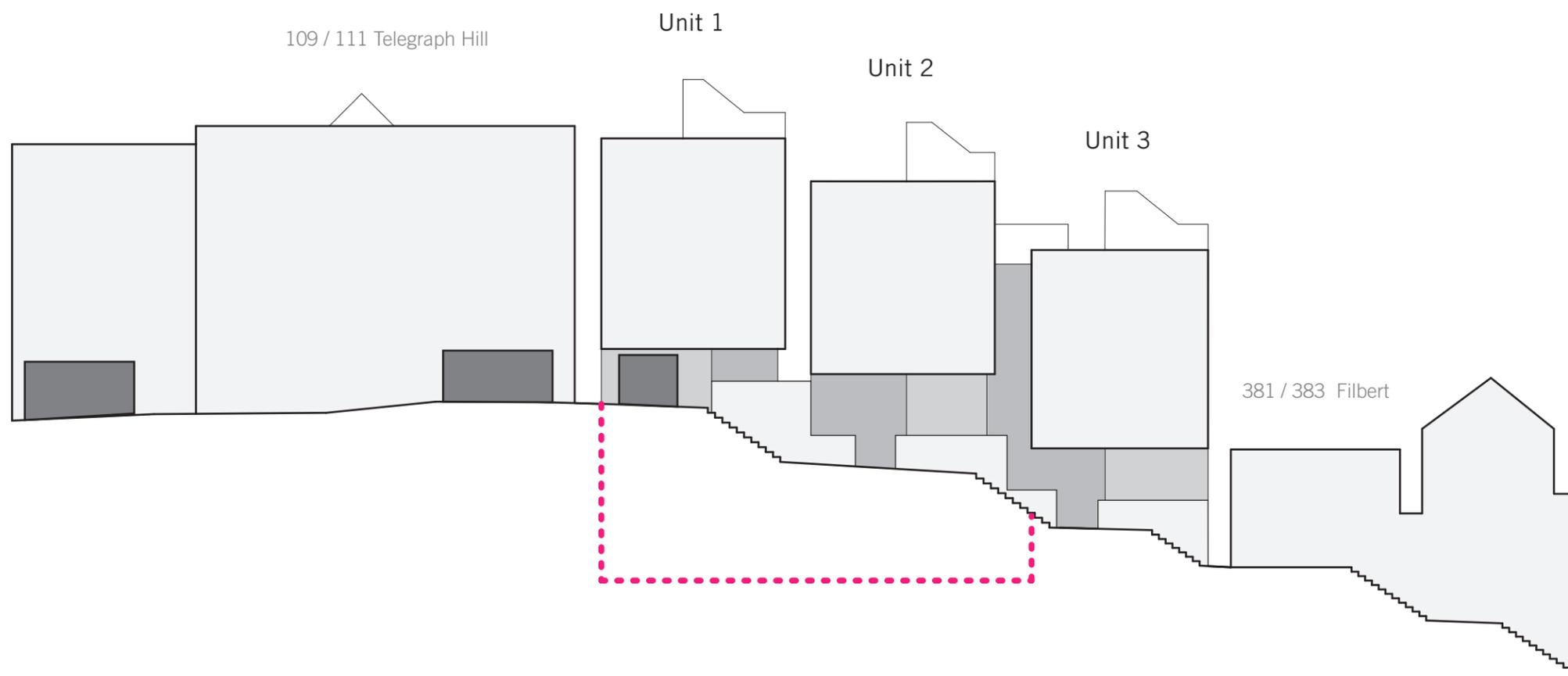
Unit 3

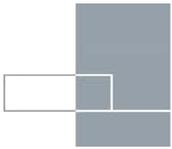
381 / 383 Filbert











DATE: June 26, 2014

TO: San Francisco Planning Commission

FROM: Butler Armsden Architects

PROJECT NAME: 115 Telegraph Hill

SUBJECT: Project Consistency with City Policies

The subject property has a lot area of 7,517 sq. ft. The proposed project would renovate and restore an existing cottage in the rear of the property with no expansion of its building envelope, and would construct three new dwelling units: one three-story, 4,138 sq. ft., four-bedroom unit; one four-story, 4,583 sq. ft. five-bedroom unit; and one four-story, 4,182 sq. ft. four-bedroom unit. Each unit will be approximately 40 ft. in height and stepped down both vertically and horizontally in response to the property's naturally sloping topography. Each unit, including the cottage, will have one off-street parking space in a 3,210 sq. ft. shared subterranean garage, accessed from Telegraph Hill Boulevard. The cottage in the rear would be accessed by foot on a designated pedestrian path, as well as through the garage. This memorandum describes the project's consistency with the City's General Plan ("GP"), Planning Code ("SFPC"), and Residential Design Guidelines ("RDG").

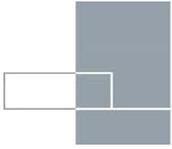
HOUSING / DEVELOPMENT

The proposed project places little to no additional strain on existing infrastructure. The project property is located close to public transit, and within walking distance to core services. (*GP Policies 1.10, 4.6, 12.1, 12.3, 13.1, 13.3*). The proposal includes three family-sized units in close proximity to schools and open space (*GP Policy 4.1*), as well as retaining an existing at risk cottage unit of "normal affordability" (*GP Policies 2.2, 2.4, 2.5, 7.7*).

PROJECT DESIGN / NEIGHBORHOOD CHARACTER

The applicable zoning allows for a 6-story/7-unit project. The proposed project consists of 4 units in 4 separate structures keeping in character with the neighborhood. (*GP Policy 11.5, RDG Neighborhood Context*). The project sponsor has worked extensively with neighborhood groups through a variety of designs and scales to establish a transparent and iterative design process. (*GP Policy 10.1*). The site presents a challenging topography; the proposed project resolves this by reducing allowable massing to match the neighborhood block pattern, and with scaled facades with intermediate setbacks, view corridors, and reduced heights from the street. (*GP Policies 2.7, 11.3, 11.6, RDG Neighborhood Context, Site Design*). The merged lot is treated as if it were not merged, and developed to mimic the block pattern and density of appropriate neighborhood scale. (*GP Policy 11.5*). Views from public parks and open spaces are preserved, and a view corridor is provided at street level for additional views to Downtown (*GP Policies 2.7*).

BUILDING DESIGN / SCALE



The proposed project negotiates the steep topography by stepping down its massing as it moves down the hill (*RDG Site Design*), as well as the height differences of adjacent buildings (*GP Policy 11.7, RDG Neighborhood Context, Site Design*). The neighboring building to the east is significantly over scaled for the neighborhood, while the neighboring building to the west is a small-scale two-level cottage. The project finds a middle ground between these two, and presents a façade pattern/width and articulation typical of the neighborhood (*GP Policies 11.2, 11.7, RDG Neighborhood Context, Site Design*). The parking level is underground, in an area that otherwise could not be used for housing due to lack of access to light and air (*GP Policy 2.3*). The pedestrian experience is enhanced by setting back building entrances, introducing planters, and exceeding planting requirements (*SFPC § 132(g)*), all while retaining the existing Filbert Street steps (*GP Policies 11.3, 11.6, RDG Landscaping*). The buildings along the Filbert steps never exceed three-stories from the sidewalk, in keeping with the context of the block face (*RDG Neighborhood Context, Building Scale*).

DETAILS AND FEATURES

The building design draws from historical elements of Telegraph Hill by referencing the rustic and industrial quality of fenestration from the quarry and shipyards once existing in the surrounding neighborhood. Weathered and treated wood louvers and exterior features mimic the fishing cottages and residences of Telegraph Hill. (*RDG Neighborhood Character*). High quality and contemporary construction methods and materials such as concrete and steel ensure the proposal continues the evolving history of Telegraph Hill by honoring the current day means and methods, all while providing sound seismic and structural integrity. Sustainable elements such as Green Roofs, Solar PV, and low consumption fixtures are proposed (*GP Policy 13.4*). Building entrances and the garage door are minimized and set back from the façade to create articulation and pedestrian-scaled design for those traveling the Filbert steps, and safety and security for the residents of the project (*RDG Garages, Building Entrances*).

June 8, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty:

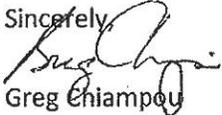
As immediate neighbors to the proposed project, we would like to express our support for the new development by Jeremy Ricks' group at 115 Telegraph Hill Blvd. We have lived three homes away from the site for the past fifteen years, we have reviewed Mr. Rick's proposed plans as of May 2014, and we have long appreciated the site, its history, and the immediate environs.

We support the proposed development at 115 Telegraph Hill Blvd. for several reasons:

- The proposed building plan:
 - Has clean lines, open courtyards, and modern elements that contribute to the neighborhood's architecture.
 - Does not block views from Pioneer Park's rear lawn area or Coit Tower.
 - Does not block any neighbors' south facing views, and has little or no shadow impact on neighboring residences.
- Now an empty lot, the proposed building site offers an opportunity to:
 - Add residential units and tax-payers to both the neighborhood and the city.
 - See new residents be motivated to maintain the heavily tourist-trafficked Filbert stairs area in front, including keeping the area clean, graffiti-free, and planted.

We remember the former buildings on this site. After a long period of abandonment, we are glad to see this proposed plan for 115 Telegraph Hill Blvd.

Sincerely,



Greg Chiampou

345 Filbert Street
San Francisco, CA 94133

Exhibit B – Letter of Support

April 1, 2014

San Francisco Planning Commission
City and County of San Francisco
1650 Mission Street
San Francisco, CA 94103

**RE: Support for Conditional Use Application
115 Telegraph Hill Boulevard/363 Filbert Street
Case No.: 2013.1375C**

Dear Commissioners,

I have lived at 381 Filbert Street since 1997. My home is immediately next door to the proposed new building at 115 Telegraph Hill Boulevard. I believe the project deserves your support. The property has been largely vacant for nearly twenty years, wrapped with a chain-link and with only the shell of a cottage remaining. The owner has been receptive to my suggestions about the design, which will be both attractive and at an appropriate scale for this location. I look forward to the property being cleaned up and improved.

Thank you.

Sincerely,


Mary Kay Kew
381-383 Filbert Street

May 5, 2014

SF Planning Commission
1660 Mission Street, First Floor
San Francisco, CA 94103-2479

Re: Proposed Project @115 Telegraph Hill

Dear Planning Commission Members:

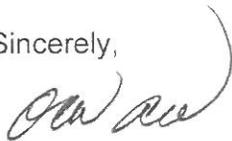
I have been a homeowner in San Francisco for more than a decade. Last year, I purchased a home in the Telegraph Hill neighborhood.

Recently, I had the opportunity to review the preliminary plans for a proposed project at 115 Telegraph Hill. I believe this proposal would be a welcome addition to our neighborhood providing an attractive multi-family structure on what is now a poorly maintained, vacant lot.

While I understand that you must take into consideration a variety of issues in your decision-making process, this appears to be a well-thought out proposal from a reputable, local firm. Most importantly, the overall plan would fit nicely into our existing neighborhood.

As a homeowner who lives close by and has an interest in the future of our neighborhood and San Francisco as a whole, I enthusiastically support the proposed plans. Thank you for your consideration.

Sincerely,

A handwritten signature in cursive script, appearing to read "Olivia Ware", written in black ink.

Olivia Ware
112 Alta Street
San Francisco, CA 94133
(650) 868-7955
ocware@gmail.com

June 10, 2014

Ms. Elizabeth Watty
San Francisco Planning Department
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Subject: 115 Telegraph Hill Blvd.

Dear Ms. Watty:

As immediate neighbors to the proposed project, I would like to express support for the new development by Jeremy Ricks' group at 115 Telegraph Hill Blvd. I have lived three homes away from the site for the past fifteen years, and have reviewed Mr. Rick's proposed plans as of May 2014.

I support the proposed development at 115 Telegraph Hill Blvd. for several reasons, but the main reason is that the current empty lot is a MAJOR EYESORE that has essentially become a big garbage dump. It is sad to see such a beautiful location littered with trash and graffiti.

The proposed building plan is thoughtful, and I appreciate the clean lines and modern elements that would complement the neighborhood's architecture. From my review of the plan, I do not see any impact on views from Pioneer Park's rear lawn area or Coit Tower, block any neighbors' south facing views, and has little or no shadow impact on neighboring residences.

The project would also bring tax dollars and jobs to our city/neighborhood.

I welcome the proposed project and appreciate that Mr Ricks has worked with the neighbors to create residences that would be an asset to Telegraph Hill.

Sincerely,

Jennifer Mattson Chiampou
345 Filbert Street
San Francisco, CA 94133

John Fitzgerald
381 Filbert Street
San Francisco, CA 94133
(415) 397-6630 / groundfitz@yahoo.com

**Attention: City of San Francisco Planning
Department**

I am John Fitzgerald. I reside at 381 Filbert, the garden apartment below 383 Filbert. I have lived here for seventeen years.

Telegraph Hill is a wonderful place to live! The views are fantastic and I especially appreciate that every day of the year people from all over the world are climbing the Filbert steps on their way up to, and down from, Coit Tower.

I have met with Jeremy Ricks and seen his plans for developing the properties next door. I look forward to having neighbors, instead of the empty, often trashed and blighted lots that have been next door for many years. Indeed, I think Mr. Ricks' residences will be a welcome addition to the neighborhood.

I trust that you will give his proposal a fair hearing.

Sincerely,

John J. Fitzgerald



BLOCKFACE EAST OF SUBJECT PROPERTY

115 TELGRAPH HILL BLVD., SAN FRANCISCO, CA 94133



BUTLER ARMSDEN
ARCHITECTS

BUTLER ARMSDEN ARCHITECTS
2849 CALIFORNIA STREET, SAN FRANCISCO CA 94115



BLOCKFACE WEST OF SUBJECT PROPERTY

115 TELGRAPH HILL BLVD., SAN FRANCISCO, CA 94133



BUTLER ARMSDEN
ARCHITECTS

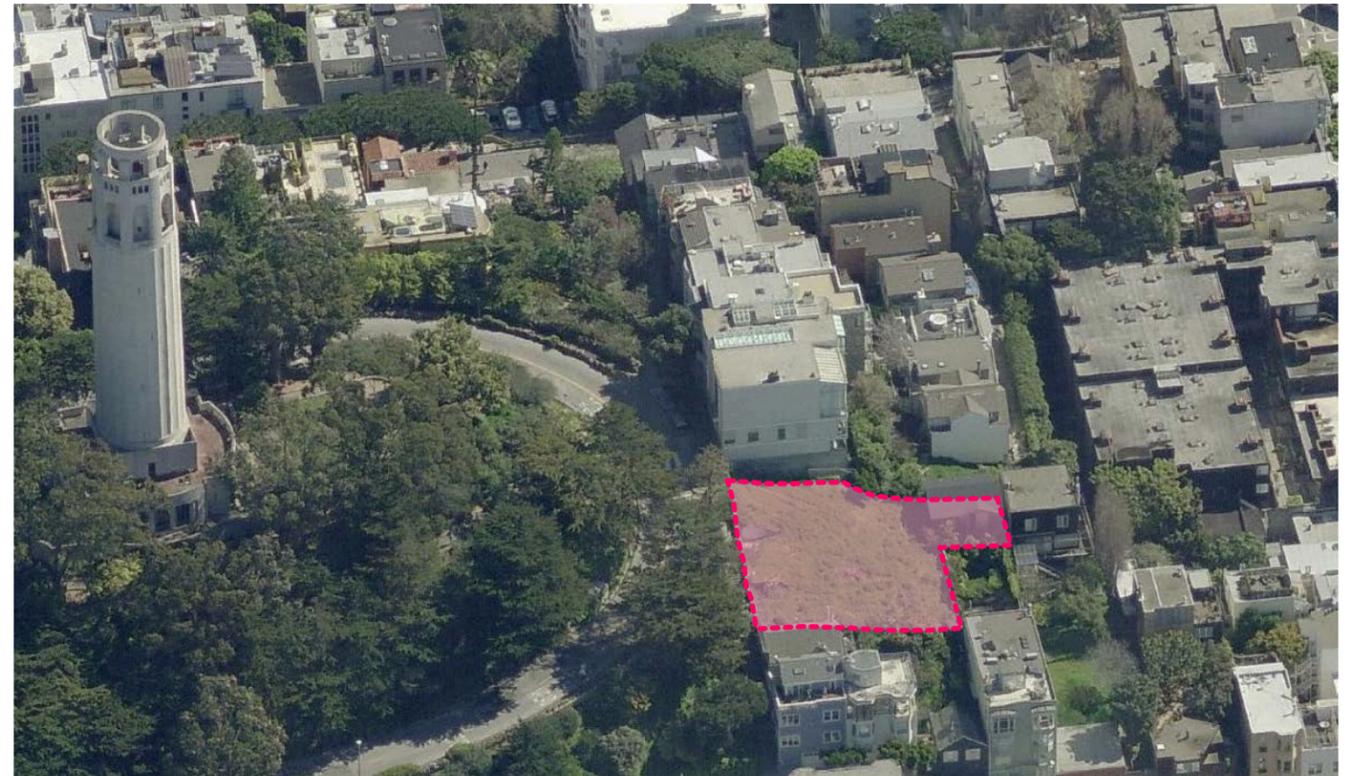
BUTLER ARMSDEN ARCHITECTS
2849 CALIFORNIA STREET, SAN FRANCISCO CA 94115



BLOCKFACE OPPOSITE FROM SUBJECT PROPERTY



AERIAL VIEW NORTH



AERIAL VIEW EAST



AERIAL VIEW SOUTH



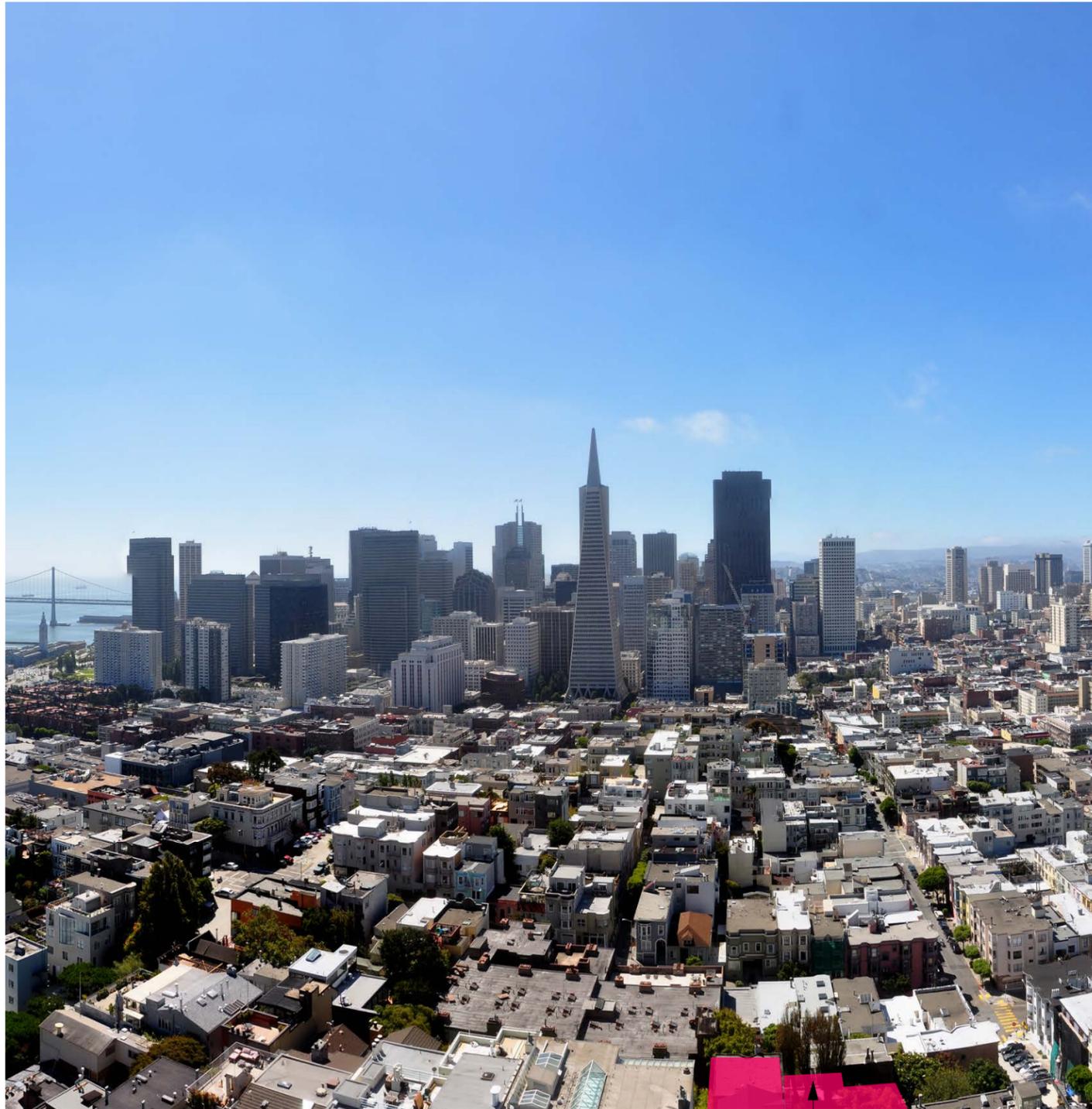
AERIAL VIEW WEST

115 TELGRAPH HILL BLVD., SAN FRANCISCO, CA 94133

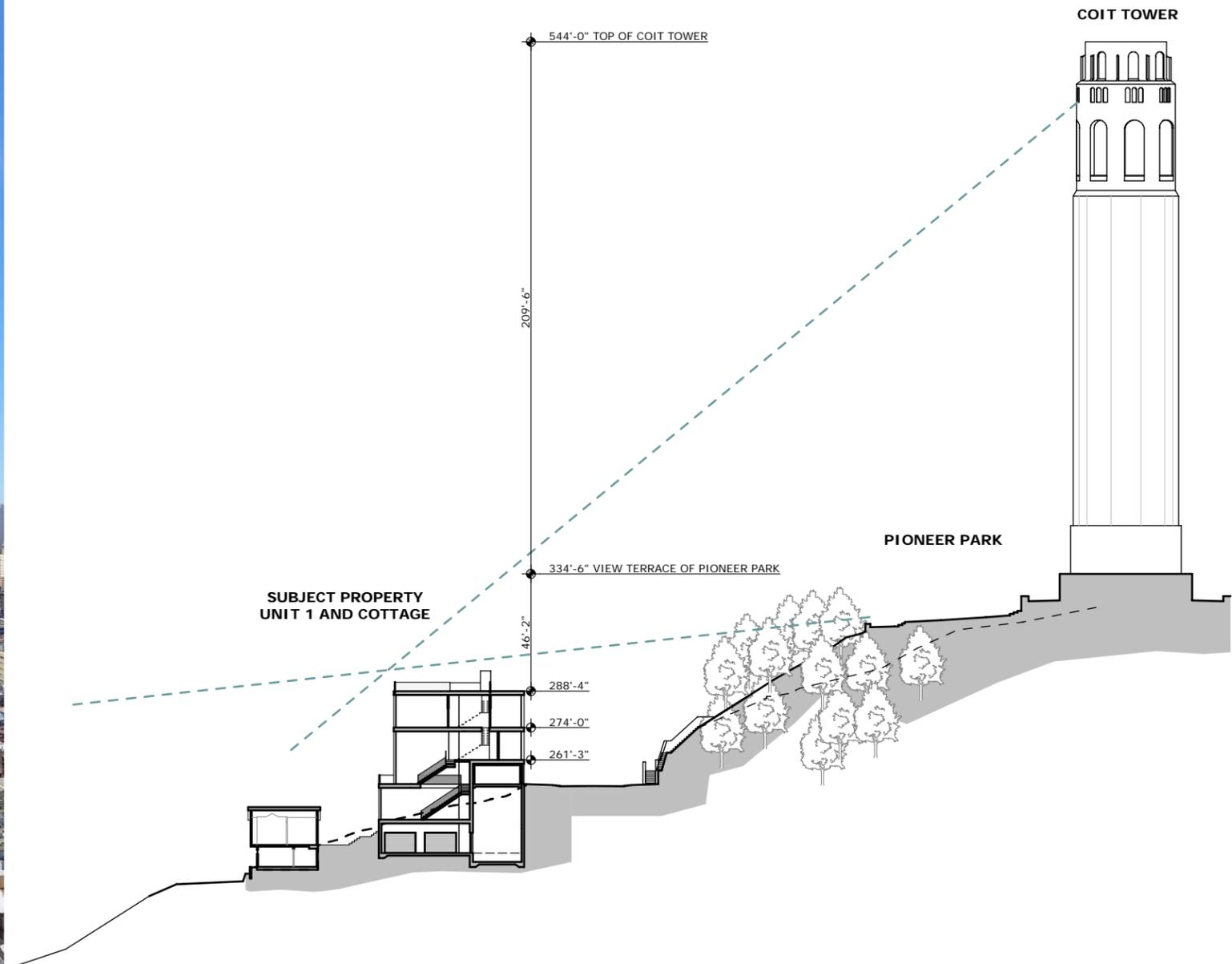


BUTLER ARMSDEN
ARCHITECTS

BUTLER ARMSDEN ARCHITECTS
2849 CALIFORNIA STREET, SAN FRANCISCO CA 94115



VIEW FROM COIT TOWER
(TREE COVER TOO DENSE FROM PIONEER PARK)



OUTLINE OF PROPOSAL SHOWN

ABBREVIATIONS

&	AND	F.D.	FLOOR DRAIN	P.G.	PAINT GRADE
@	ANGLE	F.F. & E.	FURNITURE, FIXTURES & EQUIP.	PL	PLATE
○	CENTERLINE	F.F.	FINISH FLOOR	PLAM.	PLASTIC LAMINATE
∅	DIAMETER	FIN.	FINISH	PLYWD.	PLYWOOD
#	FLOOR NUMBER	FLR.	FLOOR	PR	PAIR
(D)	DEMOLISH	FLUOR.	FLUORESCENT	PROP.LN.	PROPERTY LINE
(E)	EXISTING	FIXT.	FIXTURE	P.T.	PRESSURE TREATED
(N)	NEW	F.O.	FACE OF	R	RISER
(R)	REMOVE	F.O.C.	FACE OF CONCRETE	RAD.	RADIUS
A.B.	ANCHOR BOLT	F.O.F.	FACE OF FINISH	R.D.	ROOF DRAIN
ABV.	ABOVE	F.O.S.	FACE OF STUD	RDWD.	REDWOOD
ADJ.	ADJACENT	FNDN.	FOUNDATION	REF.	REFERENCE
A.F.F.	ABOVE FINISHED FLOOR	FT.	FOOT OR FEET	REFR.	REFRIGERATOR
AGGR.	AGGREGATE	FTG.	FOOTING	REINF.	REINFORCED
ALN.	ALIGN	FURR.	FURRING	REQD.	REQUIRED
ALUM.	ALUMINUM	GALV.	GALVANIZED	RESIL.	RESILIENT
APPROX.	APPROXIMATE	GA	GAGE	R.L.	RAIN LEADER
ARCH.	ARCHITECTURAL	G.F.I.C.	GROUND FAULT INTERCEPTOR CIRCUIT	RM.	ROOM
AV.	AUDIO VISUAL			R.O.	ROUGH OPENING
BD.	BOARD	GL	GLASS	S	SOUTH
BLDG.	BUILDING	GR.	GRADE	S.C.	SOLID CORE
BLK.	BLOCK	GRND.	GROUND	SCHED.	SCHEDULE
BLKG.	BLOCKING	GSM.	GALVANIZED SHEET METAL	SD	SMOKE DETECTOR
BM.	BEAM	GYP.	GYPSUM	SECT.	SECTION
B.O.	BOTTOM OF	H.B.	HOSE BIB	SHR.	SHOWER
B.U.R.	BUILT UP ROOFING	H.C.	HOLLOW CORE	SHT.	SHEET
B/W	BETWEEN	HDWD.	HARDWOOD	SL.	SLOPE
CAB.	CABINET	HDWR.	HARDWARE	S.L.D.	SEE LANDSCAPE DRAWINGS
CEM.	CEMENT	HT.	HEIGHT	SPEC.	SPECIFICATION
CER.	CERAMIC	HORIZ.	HORIZONTAL	SQ.	SQUARE
CLG.	CEILING	HR.	HOUR	S.S.D.	SEE STRUCTURAL DRAWINGS
CLKG.	CAULKING	INSUL.	INSULATION	S.S.	STAINLESS STEEL
CLR.	CLEAR	INT.	INTERIOR	STD.	STANDARD
C.M.U.	CONC. MASONRY UNIT	LAM.	LAMINATE	STL.	STEEL
C.O.	CENTER OF	LAV.	LAVATORY	STRUC.	STRUCTURE
COL.	COLUMN	L.O.	LINE OF	STRUC.	STRUCTURAL
CONC.	CONCRETE	LT.	LIGHT	SYM.	SYMMETRICAL
CONT.	CONTINUOUS			T.	TREAD
DBL.	DOUBLE	MAX.	MAXIMUM	T.B.	TOWEL BAR
DTL.	DETAIL	MED. CAB.	MEDICINE CABINET	TEL	TELEPHONE
DIA.	DIAMETER	MECH.	MECHANICAL	T.&G.	TONGUE AND GROVE
DIM.	DIMENSION	MEMB.	MEMBRANE	THK.	THICK
DN	DOWN	MTL.	METAL	TMPR.	TEMPERED
DR.	DOOR	MTD.	MOUNTED	T.O.	TOP OF
DS.	DOWNSPOUT	MFR.	MANUFACTURER	T.O.P.	TOP OF PAVEMENT
DWG.	DRAWING	MIN.	MINIMUM	T.O.W.	TOP OF WALL
DWR.	DRAWER	MIR.	MIRROR	T.S.	TUBULAR STEEL
		MISC.	MISCELLANEOUS	T.V.	TELEVISION
E.	EAST			TP.	TYPICAL
EA.	EACH	N.	NORTH	U.O.N.	UNLESS OTHERWISE NOTED
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT	V.C.T.	VINYL COMPOSITION TILE
ELEV.	ELEVATION	NO.	NUMBER	VERT.	VERTICAL
ENCL.	ENCLOSURE	NOM.	NOMINAL	V.I.F.	VERIFY IN FIELD
EQ.	EQUAL	N.T.S.	NOT TO SCALE	W.	WEST
EQUIP.	EQUIPMENT	O/	OVER	W/	WITH
EXT.	EXTERIOR	O.A.	OVERALL	W/O	WOOD
		OBS.	OBSOLETE	WD.	WITHOUT
		O.C.	ON CENTER	W/O	WITHOUT
		O.D.	OUTSIDE DIAMETER	W.P.	WATERPROOFING
		OPNG.	OPENING	WT.	WEIGHT
		OPP.	OPPOSITE		

SYMBOLS

	DRAWING/DETAIL REFERENCE TAG
	DRAWING OR DETAIL
	SHEET WHERE DRAWING/DETAIL OCCURS
	SECTION REFERENCE TAG
	BUILDING SECTION
	SHEET WHERE SECTION OCCURS
	INTERIOR ELEVATION REFERENCE TAG
	INTERIOR ELEVATION
	SHEET WHERE INTERIOR ELEVATION OCCURS
	ALIGN
	HIDDEN LINE
	STUD WALL (UNLESS NOTED OTHERWISE)
	CONCRETE STRUCTURE, S.S.D.
	INSULATION IN SECTION (BATT)
	INSULATION IN SECTION (RIGID)
	LATH AND PLASTER IN SECTION
	GYPSON BOARD IN SECTION
	PLYWOOD IN SECTION
	FINISH WOOD IN SECTION
	GLASS IN SECTION
	DOOR TAG
	WINDOW TAG
	PLUMBING FIXTURE TAG
	PLUMBING FITTING TAG
	APPLIANCE TAG
	EQUIPMENT TAG
	REVISION TAG
	MATCHLINE
	WORKPOINT OR DATUM
	WALL TYPE TAG
	THRESHOLD

GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.
- ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY. DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.
- THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.
- WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.
- ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

NOTE: DESIGN BASED ON THE CBC 2010 & SAN FRANCISCO BUILDING CODE 2010 AMENDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS.

PROJECT TEAM

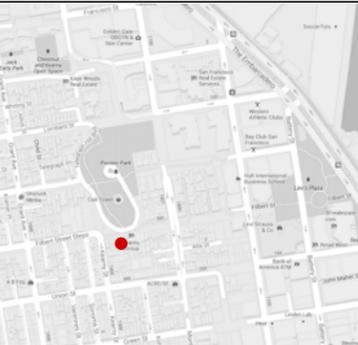
ARCHITECT:
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2849 CALIFORNIA STREET
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T. 415.674.5554
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PROPERTY ATTORNEY:
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1 BUSH STREET, SUITE 600
SAN FRANCISCO, CA 94104
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SURVEYOR:
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2410 CALIFORNIA STREET, #2
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360 GRAND AVENUE, SUITE 262
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VICINITY MAP



BUTLER ARMSDEN ARCHITECTS

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PROJECT DATA

BLOCK: 0105 ZONED: RH-3
LOT: 065 HEIGHT LIMIT: 40'-0"
LOT SIZE: 7,521 sq.ft. OCCUPANCY: R3

	BASEMENT LEVEL	PARKING LEVEL	GROUND LEVEL	SECOND LEVEL	THIRD LEVEL	UNIT TOTAL
UNIT 1	0	1,315	798	775	1,250	4,138
UNIT 2	0	1,136	1,039	1,204	1,204	4,583
UNIT 3	1,205	575	1,201	1,201	0	4,182
UNIT 4	400	600	0	0	0	1,000
PARKING	3,210	266	266	0	0	3,742
TOTAL BY LEVEL	4,815	3,892	3,304	3,180	2,454	17,645
						TOTAL PROJECT SQ.FT.

CONSTRUCTION CLASSIFICATION:
Type V-B

CODES

- 2010 CA BLDG. CODE
- 2010 S.F. BLDG. CODE & AMENDMENTS
- 2010 CA ENERGY CODE
- 2010 S.F. ELECTRICAL CODE
- 2010 S.F. MECHANICAL CODE
- 2010 S.F. PLUMBING CODE
- 2010 S.F. FIRE CODE

SCOPE OF WORK

NEW 3-UNIT RESIDENTIAL DEVELOPMENT, PRIVATE RESIDENTIAL GARAGE, MAINTAIN EXISTING 1-UNIT COTTAGE, SITE GRADING AND DRAINAGE AS REQUIRED

SHEET INDEX

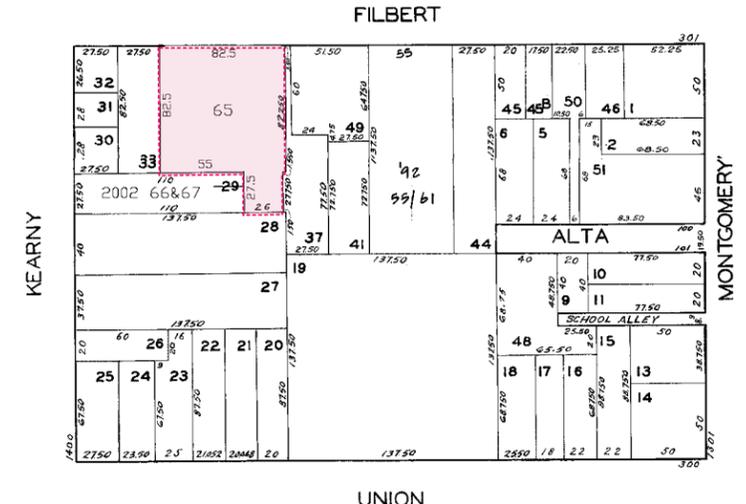
ARCHITECTURAL	SUBMITTAL 08/12/2013	NOPDR #1 02/12/2014	NOPDR #2 05/19/2014
A0.0 TITLE SHEET	■	■	■
A0.1 SITE SURVEY	■	■	■
A0.2 SITE PHOTOS	■	■	■
A0.3 SITE PHOTOS	■	■	■
A0.4 SITE PHOTOS	■	■	■
A0.5 EXISTING SITE PLAN	■	■	■
A0.6 PROPOSED SITE PLAN	■	■	■
A2.1 BASEMENT LEVEL	■	■	■
A2.2 PARKING LEVEL	■	■	■
A2.3 MAIN LEVEL	■	■	■
A2.4 SECOND LEVEL	■	■	■
A2.5 THIRD LEVEL	■	■	■
A2.6 ROOF LEVEL	■	■	■
A3.1 FRONT ELEVATION	■	■	■
A3.2 REAR ELEVATION	■	■	■
A3.3 LONGITUDINAL SECTION	■	■	■
A3.4 UNIT 1 LATERAL SECTION	■	■	■
A3.5 UNIT 2 LATERAL SECTION	■	■	■
A3.6 UNIT 3 LATERAL SECTION	■	■	■
A3.7 CONCEPTUAL RENDERINGS	■	■	■
A3.8 CONCEPTUAL RENDERINGS	■	■	■
A3.9 CONCEPTUAL RENDERINGS	■	■	■
A3.10 CONTEXT VIEWS	■	■	■

PLANNING PERMIT

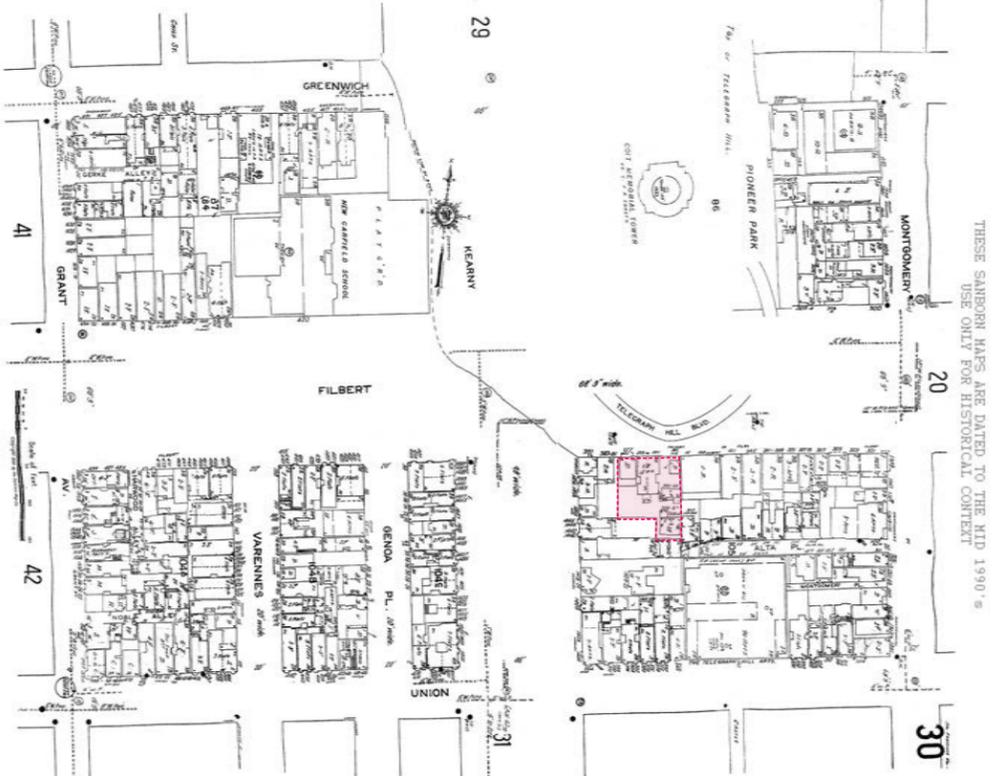
REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR
2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

AREA OF SUBJECT PROPERTY:
115 TELEGRAPH HILL BLVD. / 363 FILBERT STREET
BLOCK 0105 / LOT 065



2 ASSESSOR BLOCK 0105
NOT TO SCALE



1 SANBORN MAP
SCALE: 1:0.78

TITLE SHEET

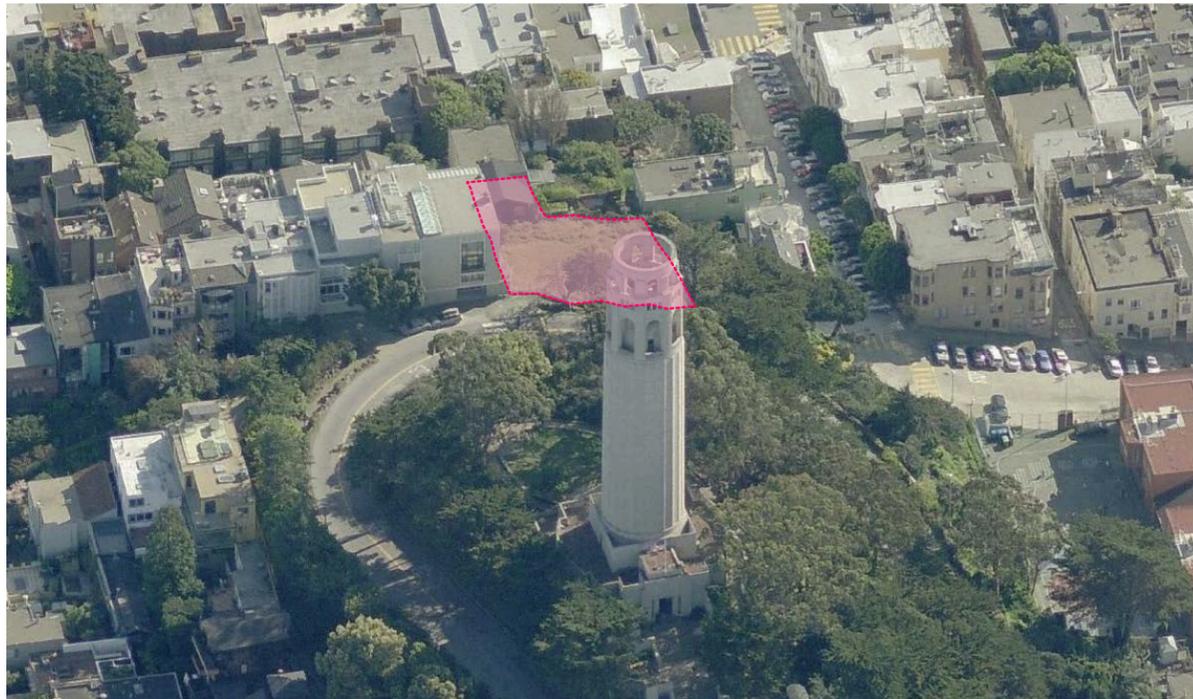
115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.



4 AERIAL VIEW LOOKING NORTH
SCALE: 1:1.17



2 AERIAL VIEW LOOKING EAST
SCALE: 1:1.17



3 AERIAL VIEW LOOKING SOUTH
SCALE: 1:1.17



1 AERIAL VIEW LOOKING WEST
SCALE: 1:1.17

AREA OF SUBJECT PROPERTY:
115 TELEGRAPH HILL BLVD. / 363 FILBERT STREET
LOT AREA = 7,521

PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR

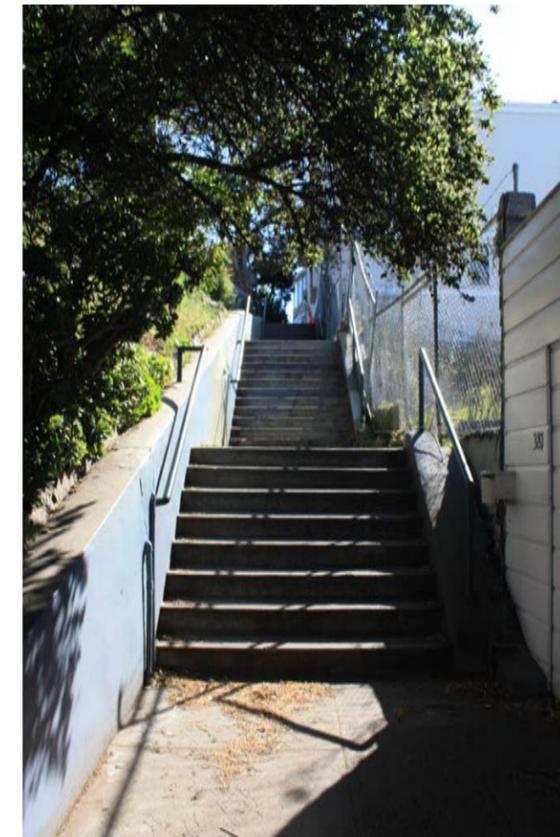
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SCALE:	AS NOTED



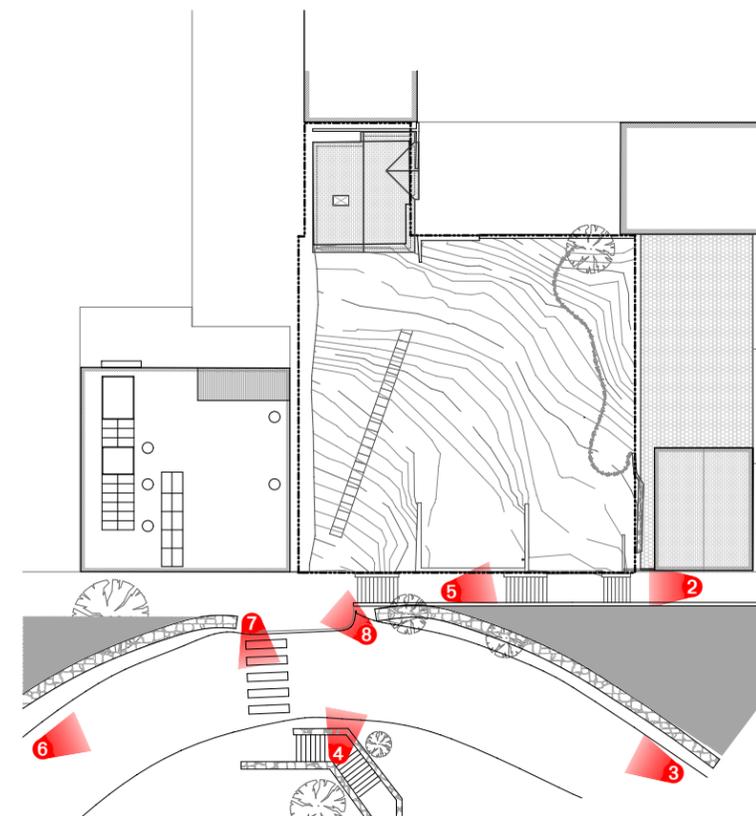
4 VIEW SOUTH FROM ACCROSS TELEGRAPH HILL BLVD.



3 VIEW UP TELEGRAPH HILL BLVD. TO SITE
SCALE: 1:1.09



2 VIEW UP FILBERT STREET STEPS
SCALE: 1:3.16



1 PHOTO KEY PLAN
SCALE: 1:246.43

PLANNING PERMIT

REVISIONS:	BY:
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CHECKED:	LB
SCALE:	AS NOTED

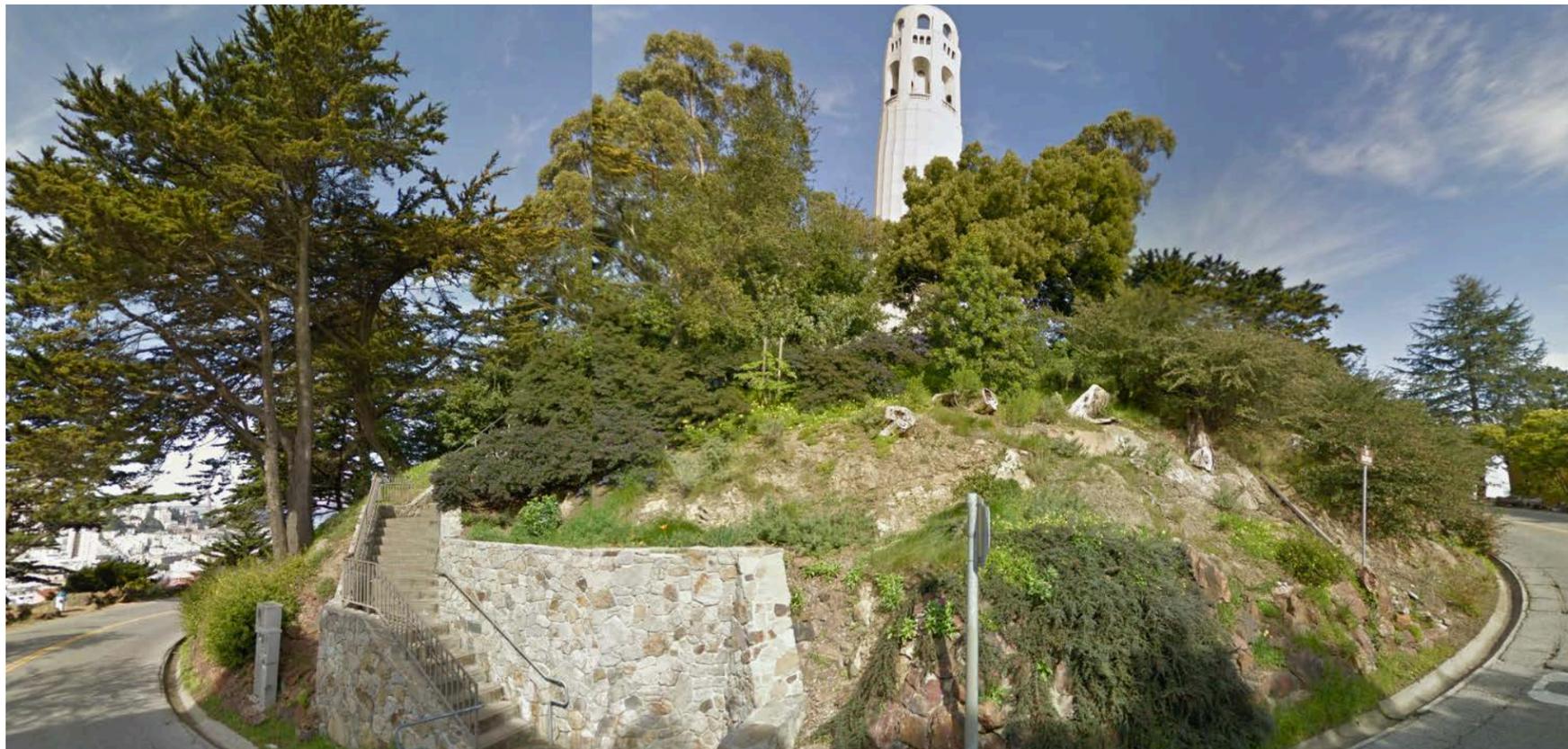
SITE PHOTOS



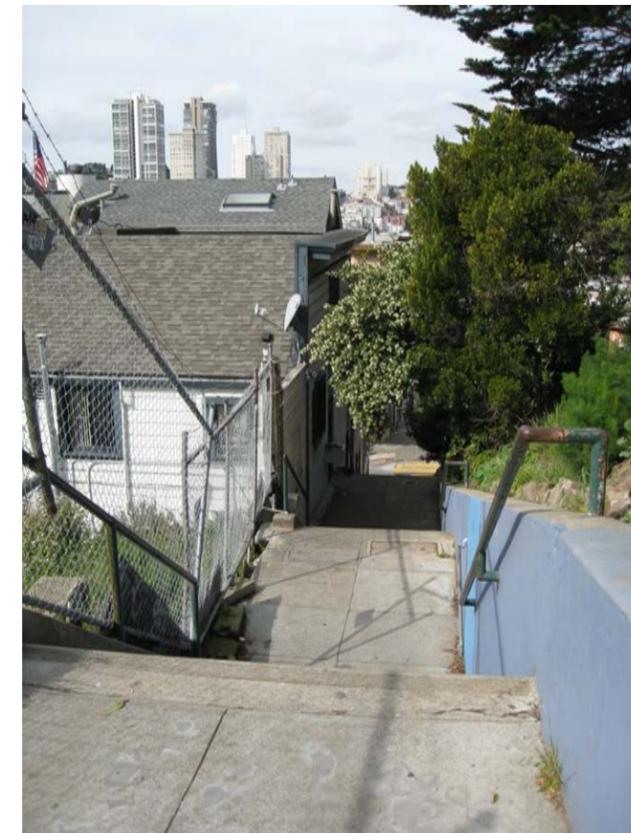
8 109/111 TELEGRAPH HILL BLVD.
SCALE: 1" = 1'-0"



6 ADJACENT CONTEXT TO EAST OF SUBJECT PROPERTY
SCALE: 1:0.96



7 STREETScape OPPOSITE OF SUBJECT PROPERTY
SCALE: 1" = 1'-0"



5 VIEW DOWN FILBERT STREET STEPS
SCALE: 1:1.83

PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

SITE PHOTOS

GENERAL DEMOLITION NOTES

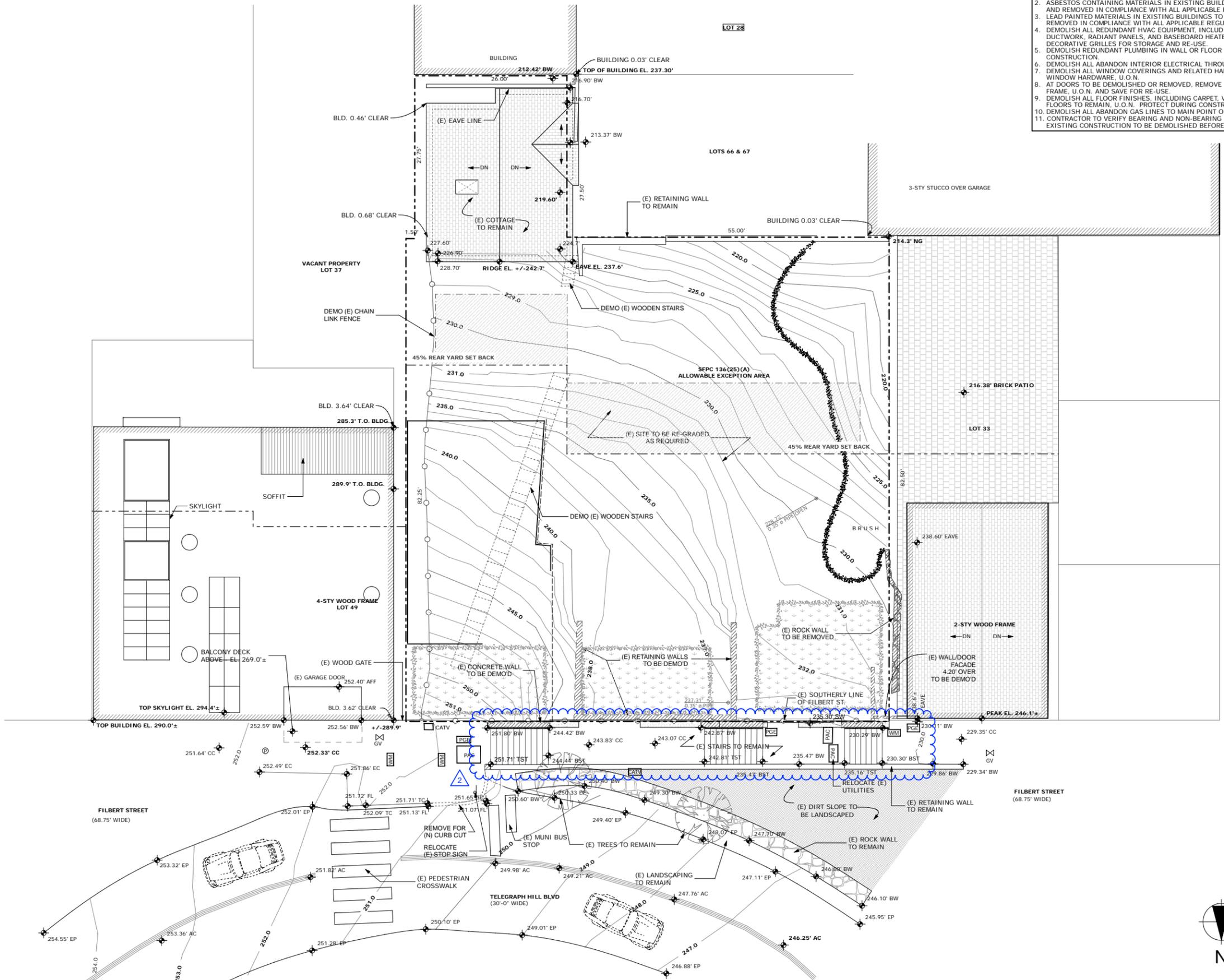
1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE. REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN ARCHITECTS

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115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.



PLANNING PERMIT

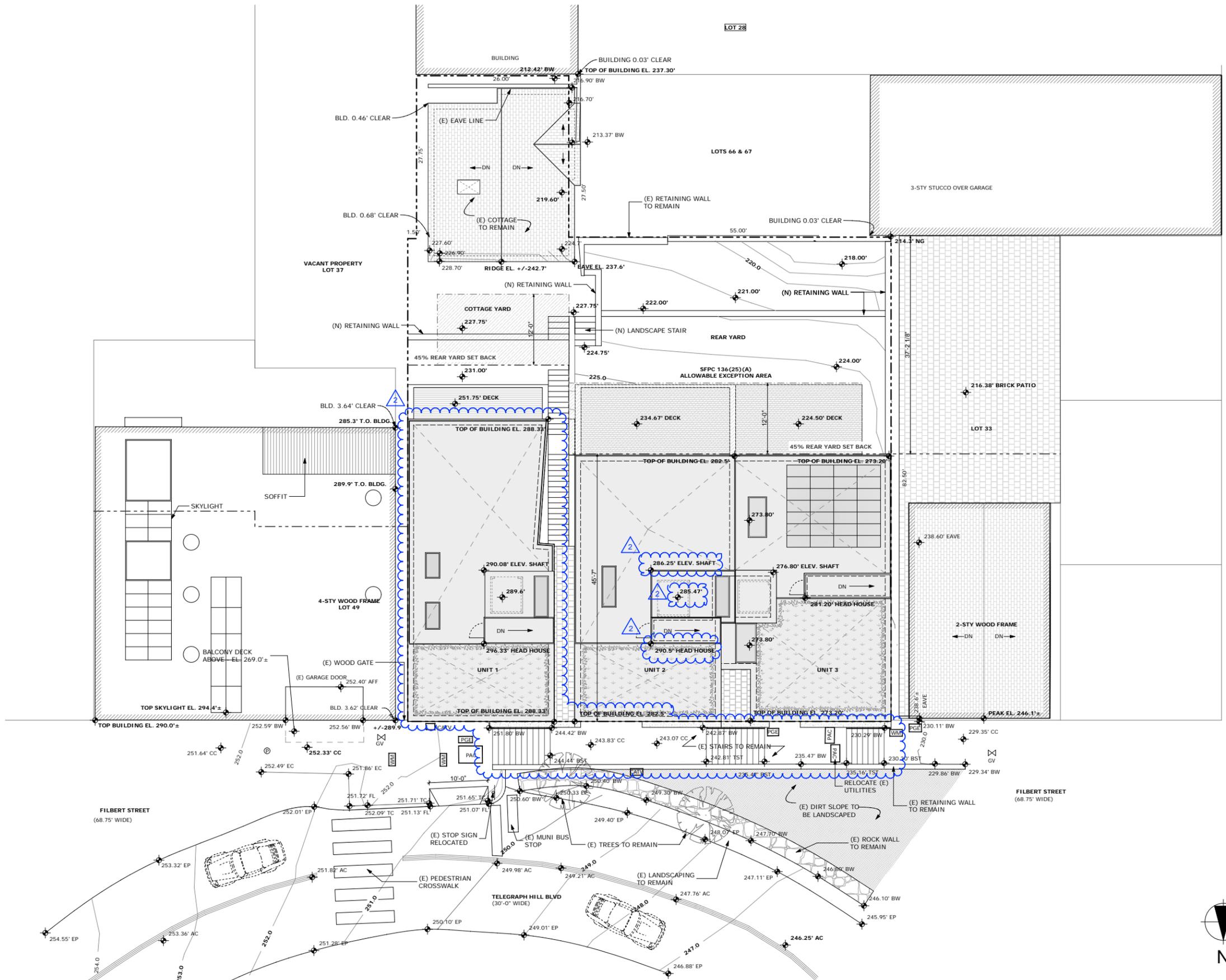
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2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

EXISTING SITE PLAN



PLANNING PERMIT

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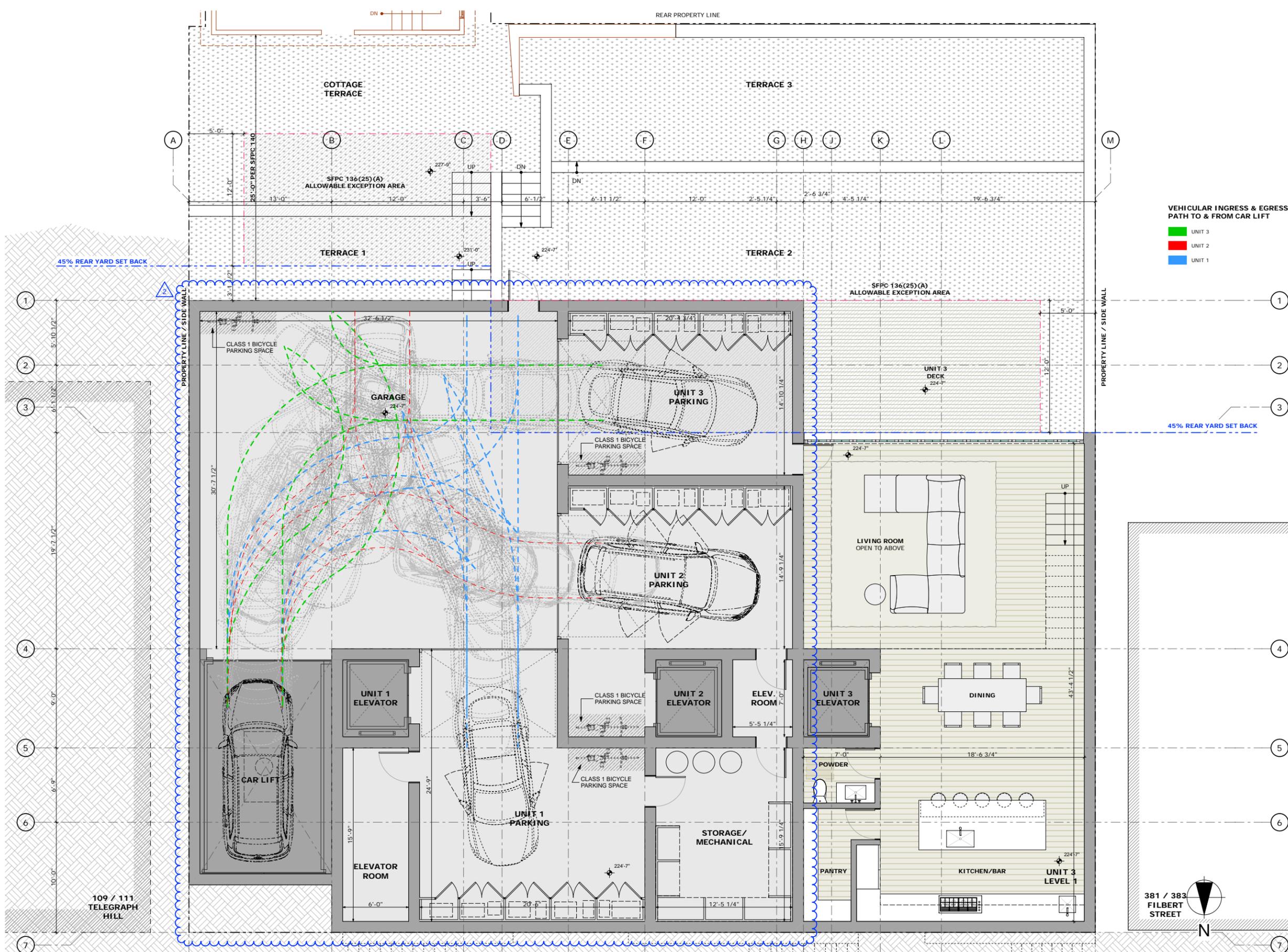
JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN

115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.



VEHICULAR INGRESS & EGRESS PATH TO & FROM CAR LIFT

- █ UNIT 3
- █ UNIT 2
- █ UNIT 1

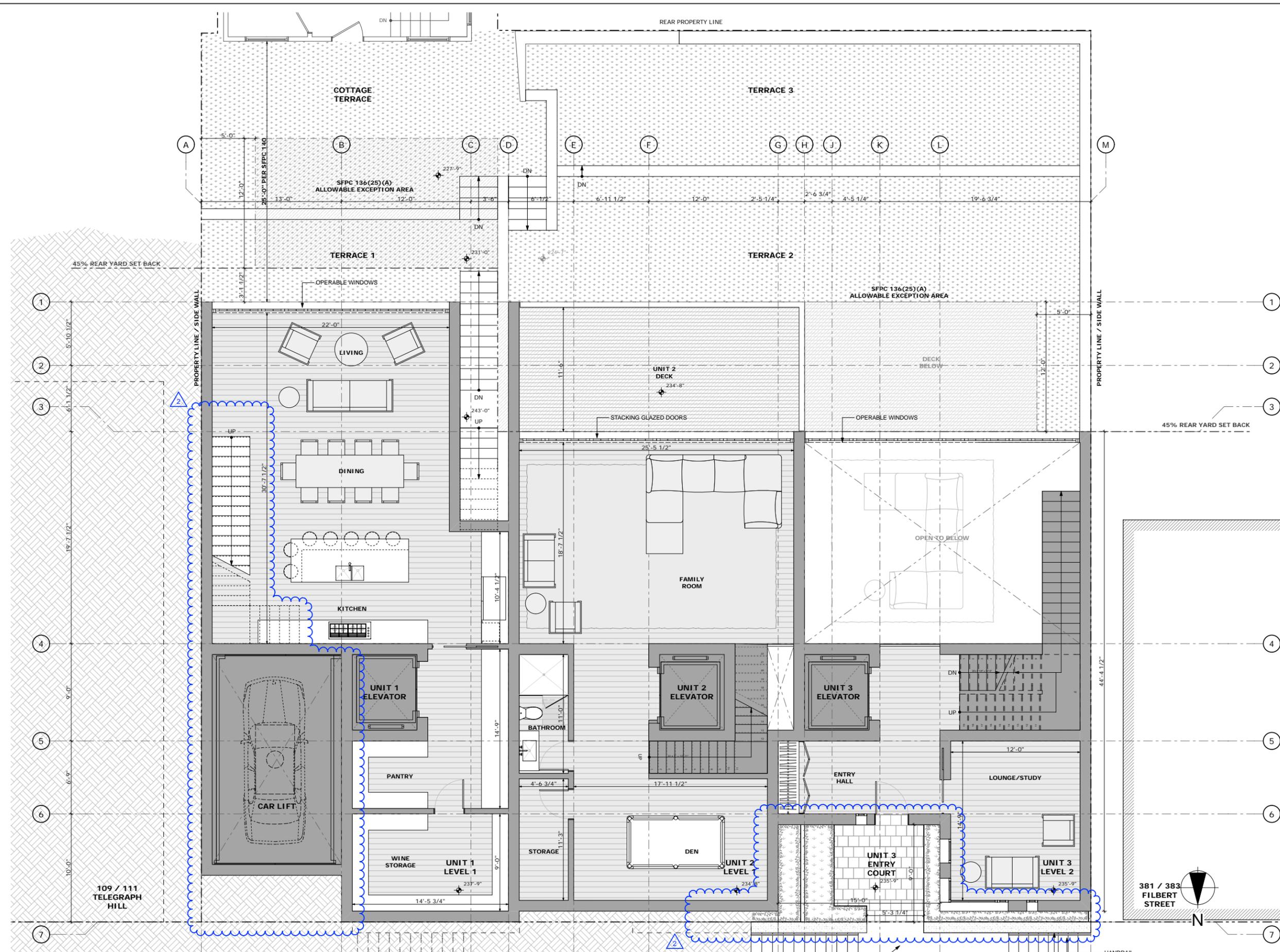
PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR
2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

PARKING LEVEL PROPOSED PLAN

1 NEW PARKING LEVEL
SCALE: 1/4" = 1'-0"



PLANNING PERMIT

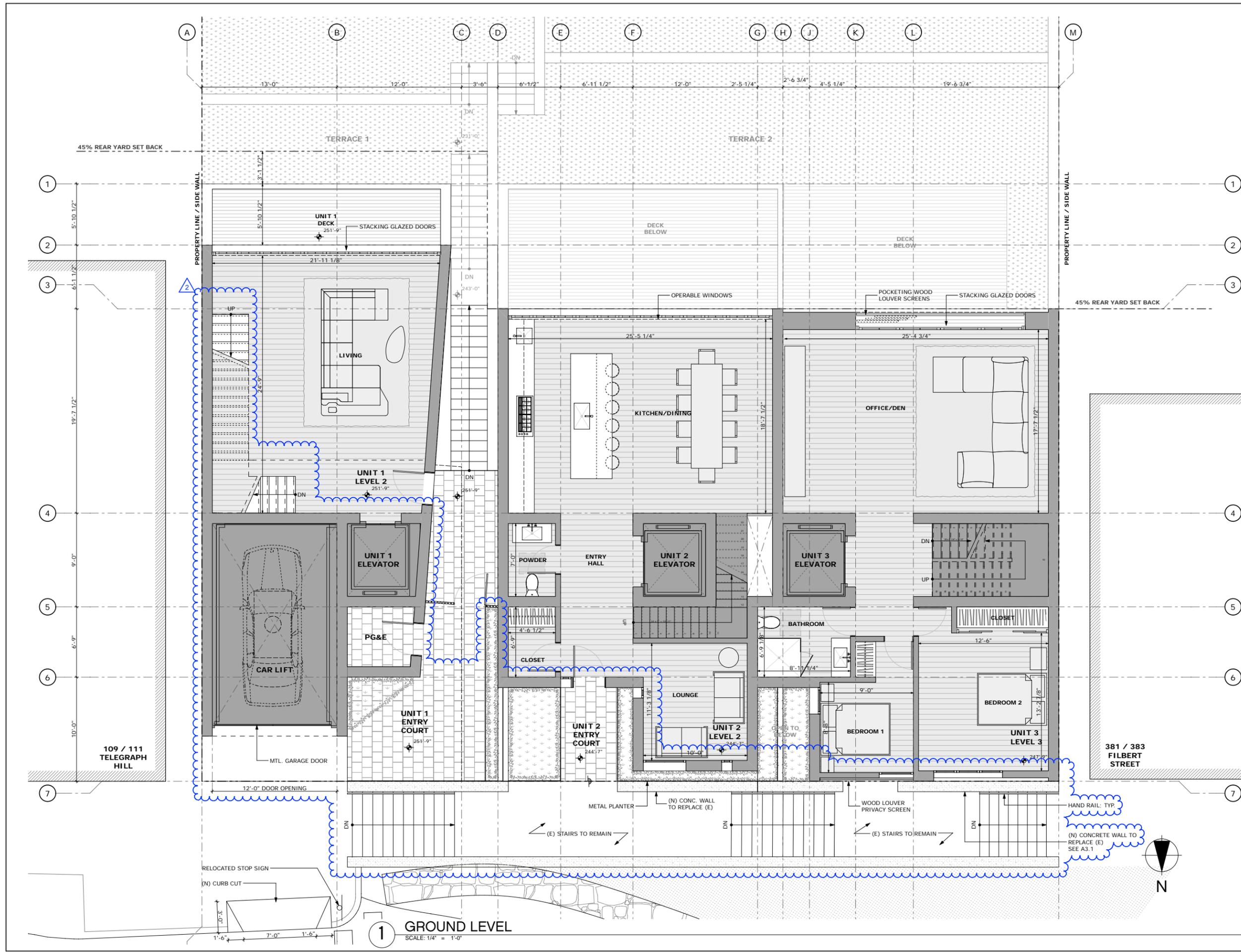
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2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

**BASEMENT
LEVEL
PROPOSED PLAN**

1 BASEMENT LEVEL
SCALE: 1/4" = 1'-0"

115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.



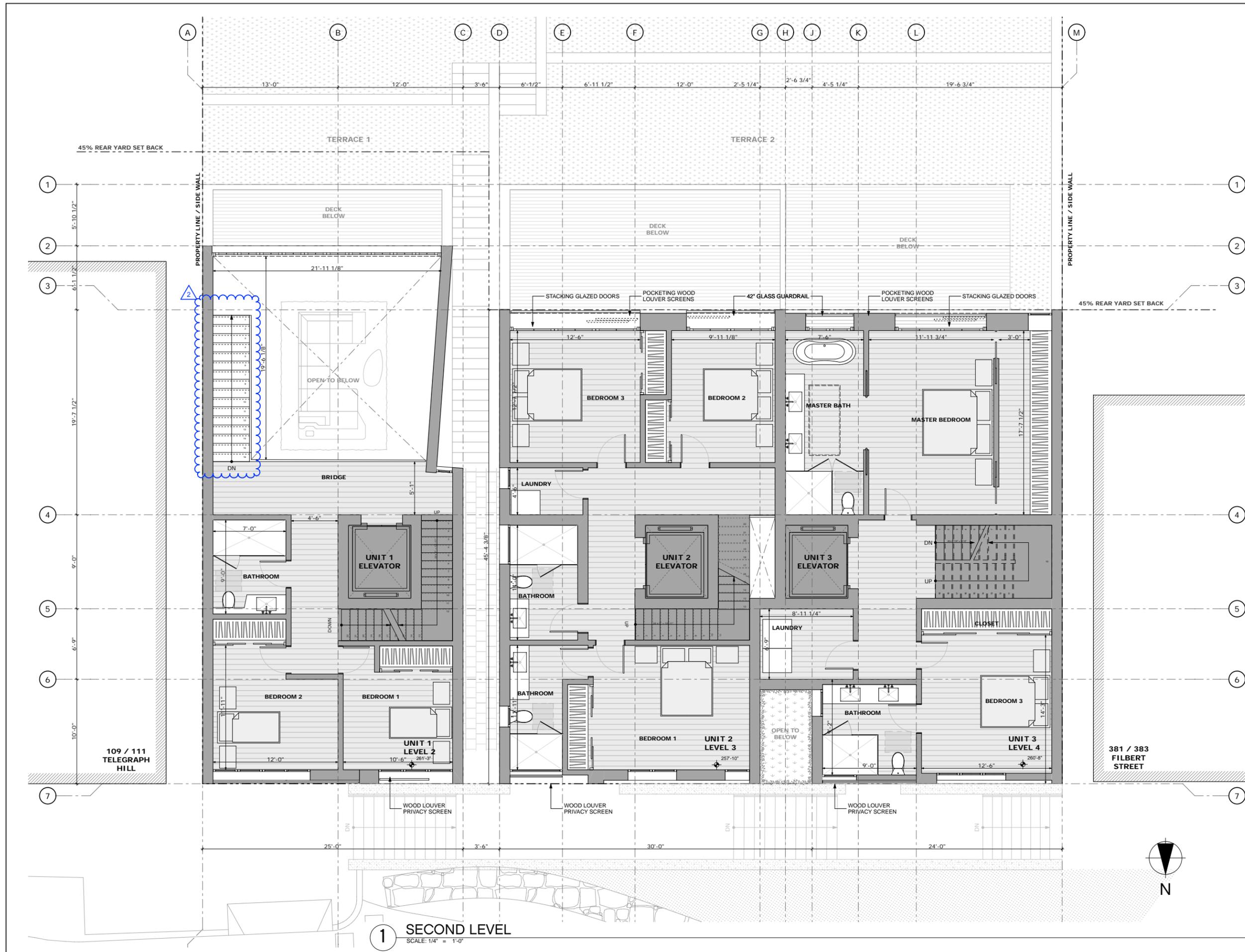
PLANNING PERMIT

REVISIONS:	BY:
1 NODR #1 - 02/13/2014	DS / SR
2 NODR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

**GROUND LEVEL
PROPOSED PLAN**

1 GROUND LEVEL
SCALE: 1/4" = 1'-0"



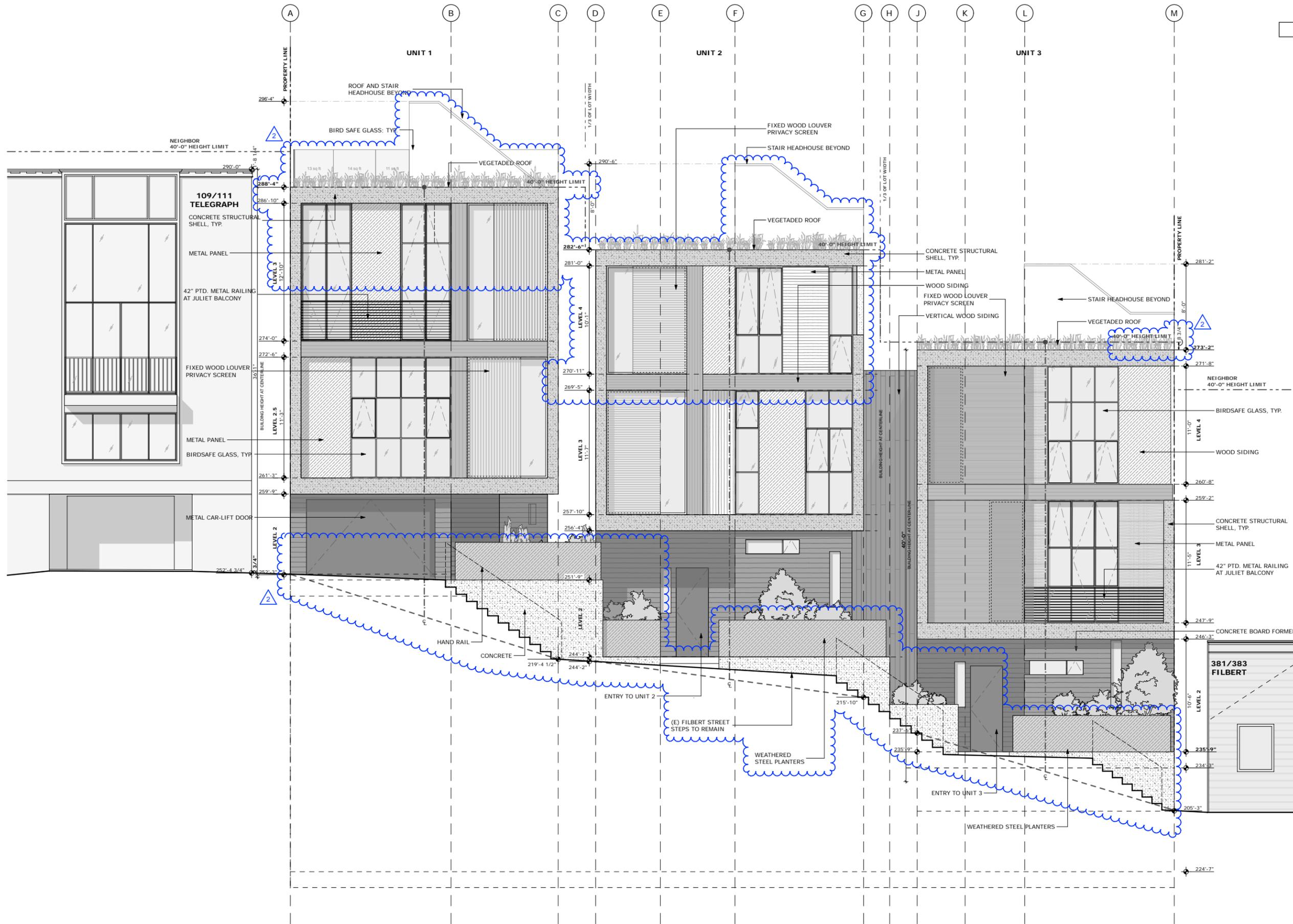
PLANNING PERMIT

REVISIONS:	BY:
1 NODR #1 - 02/13/2014	DS / SR
2 NODR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 SECOND LEVEL
SCALE: 1/4" = 1'-0"

**SECOND LEVEL
PROPOSED PLAN**



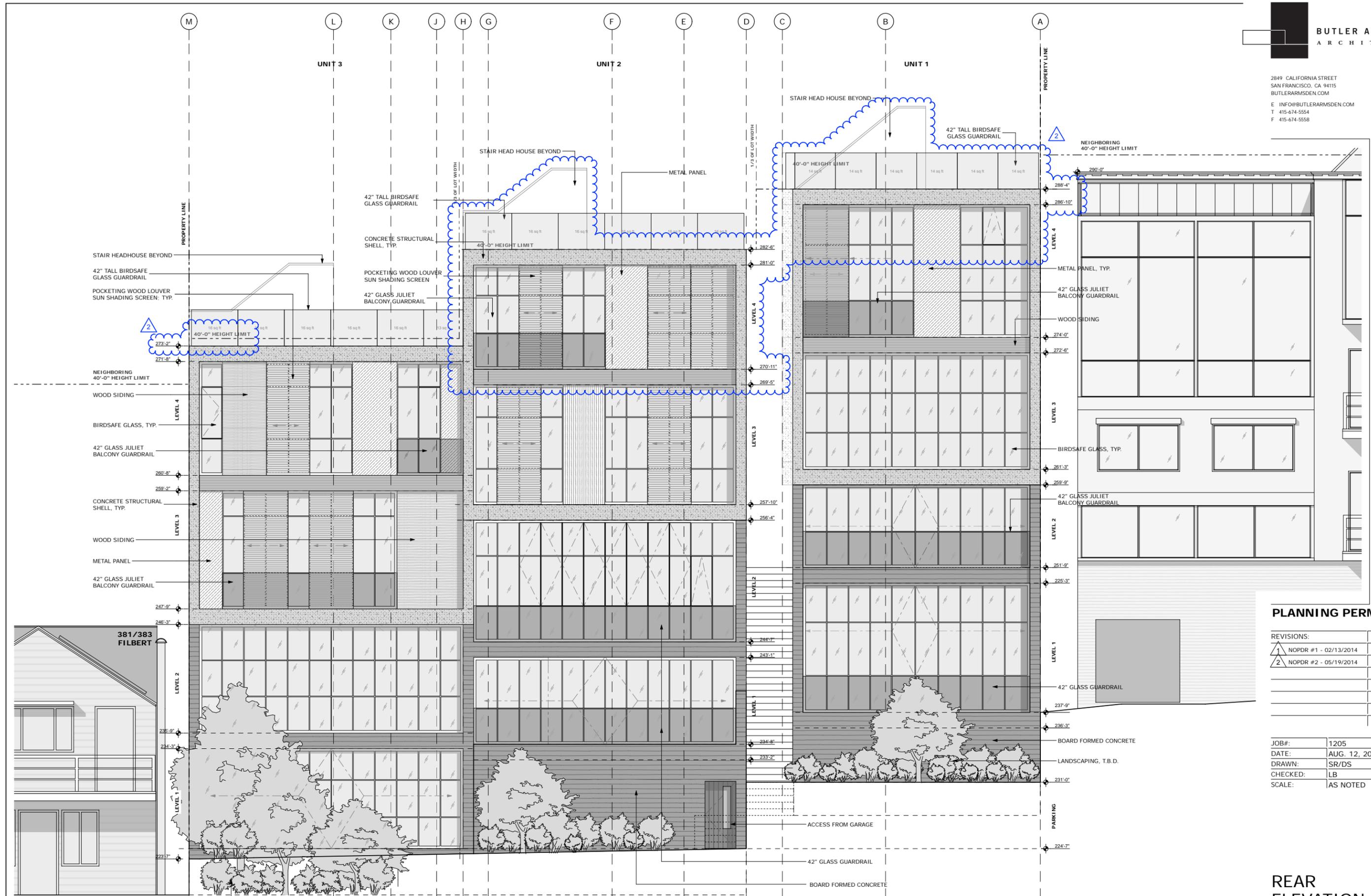
PLANNING PERMIT

REVISIONS:	BY:
1 NODR #1 - 02/13/2014	DS / SR
2 NODR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FRONT ELEVATION



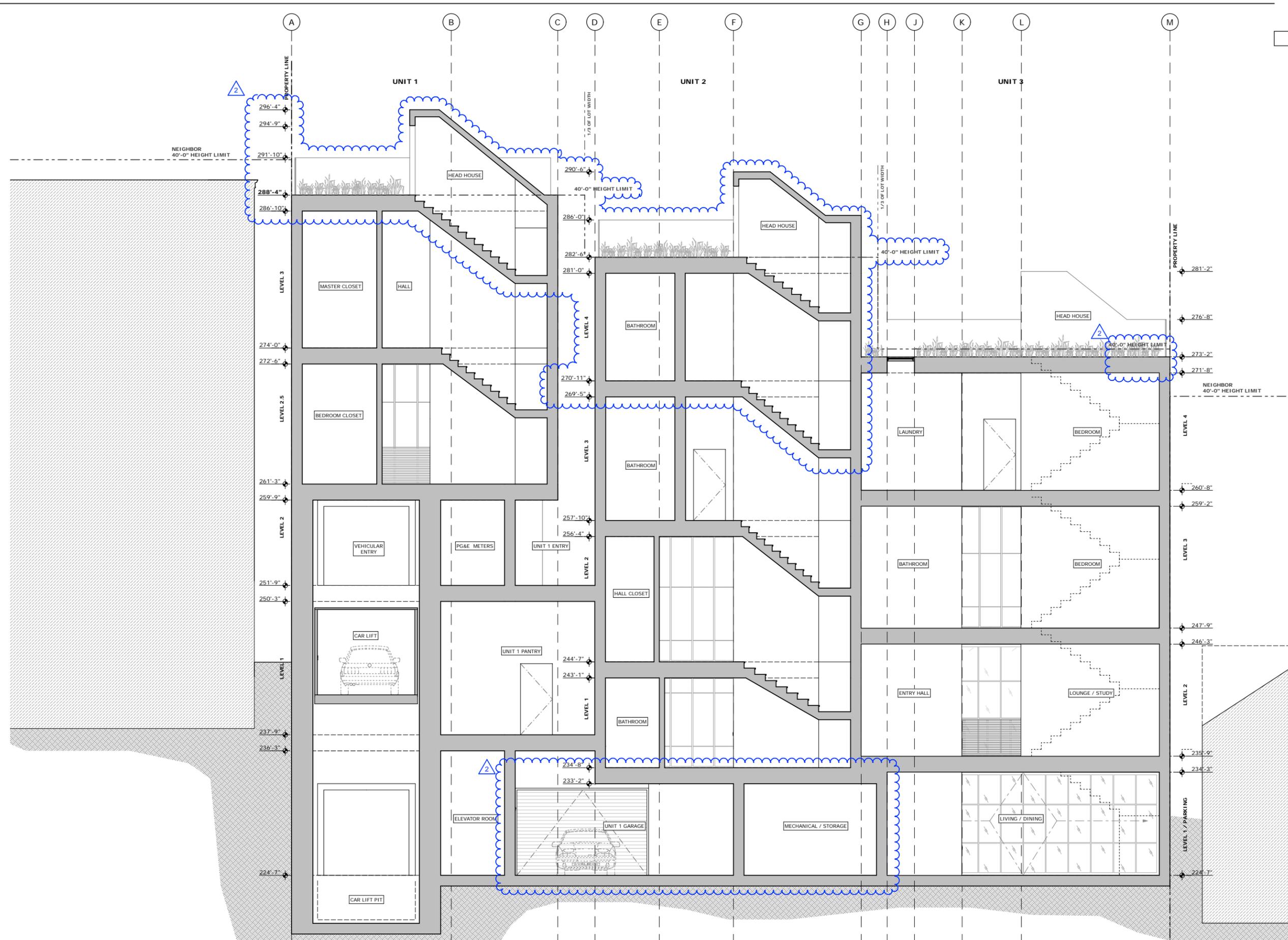
PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR
2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION



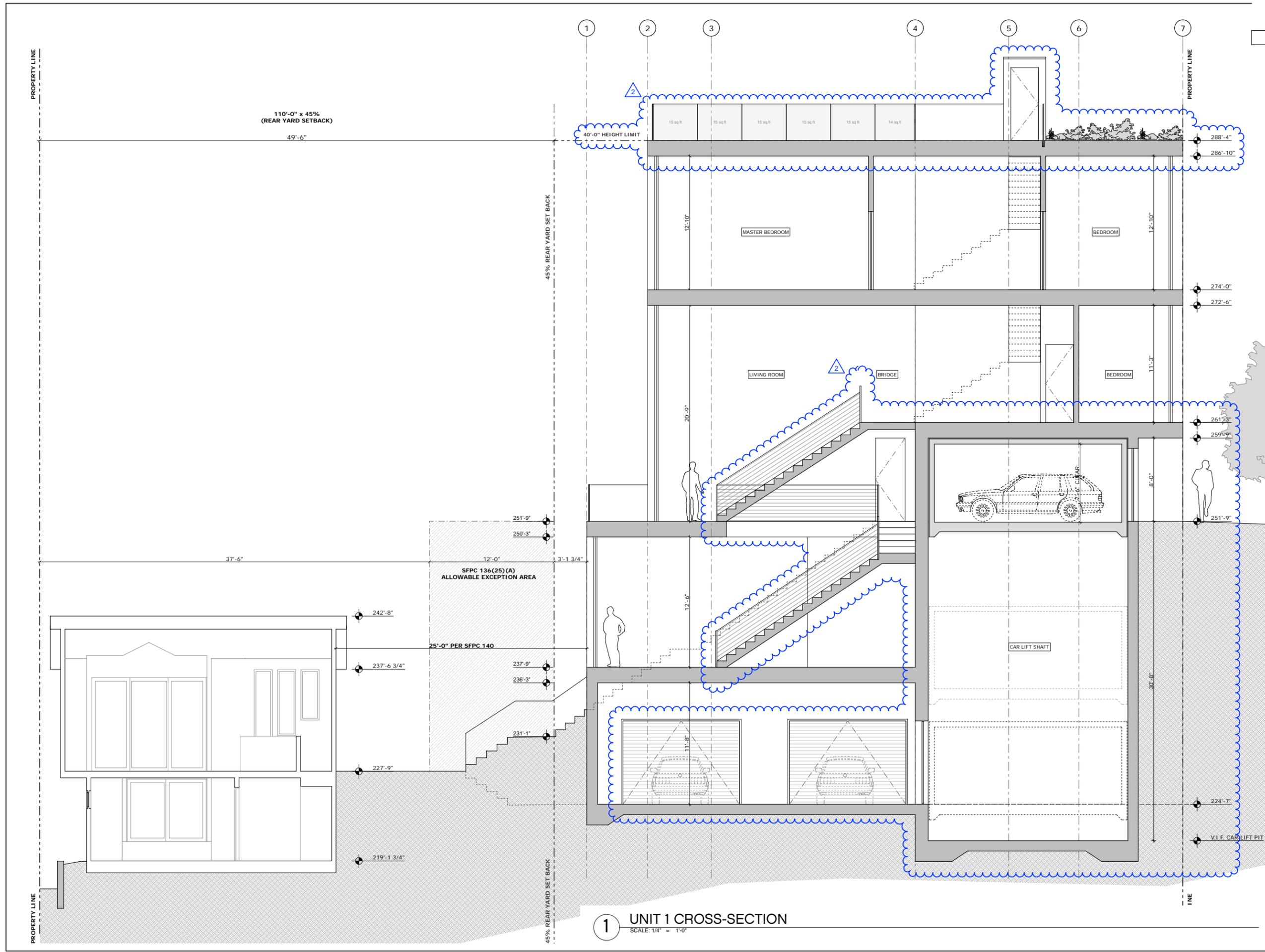
1 LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"

PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR
2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
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SCALE:	AS NOTED

LONGITUDINAL SECTION



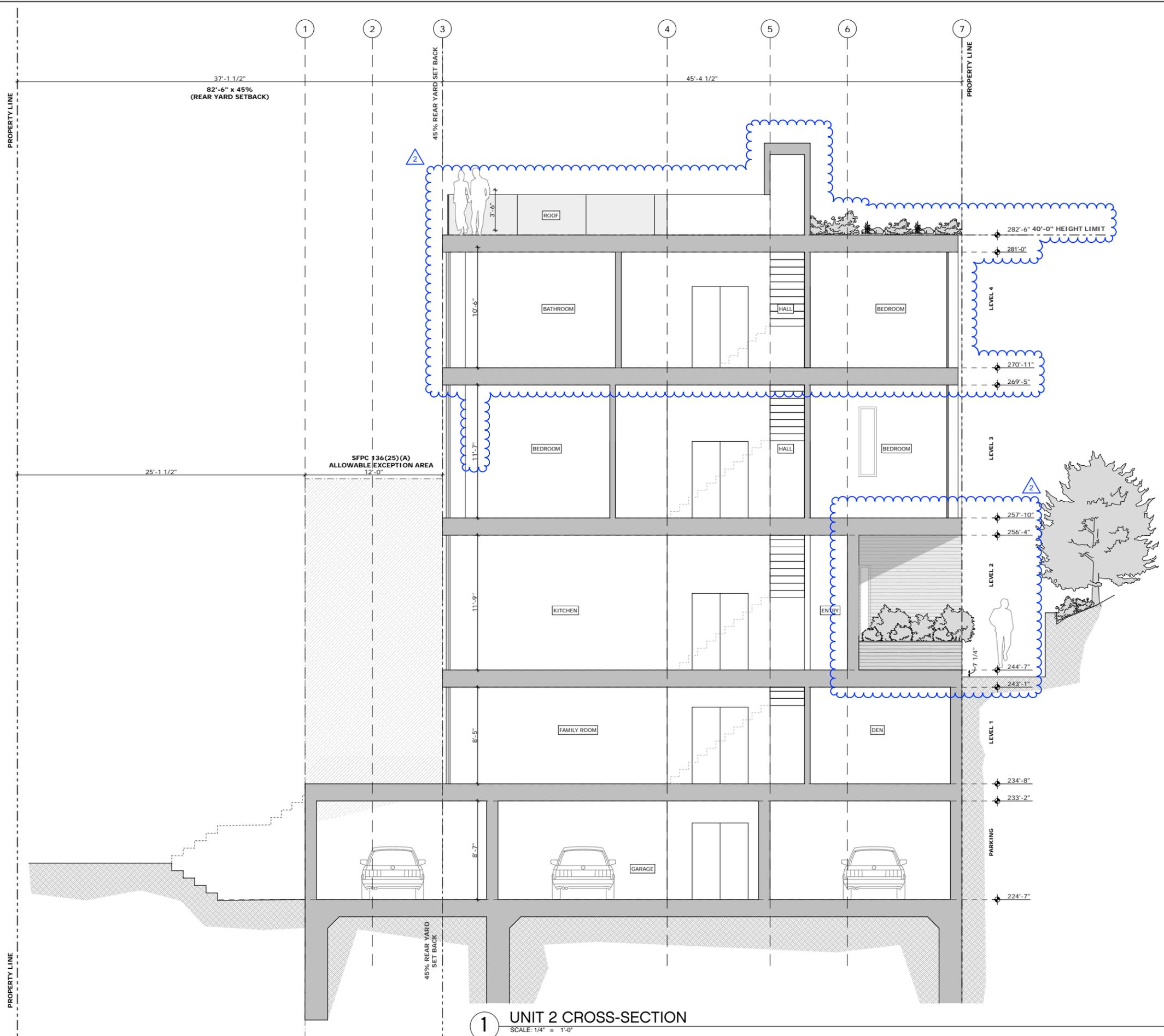
PLANNING PERMIT

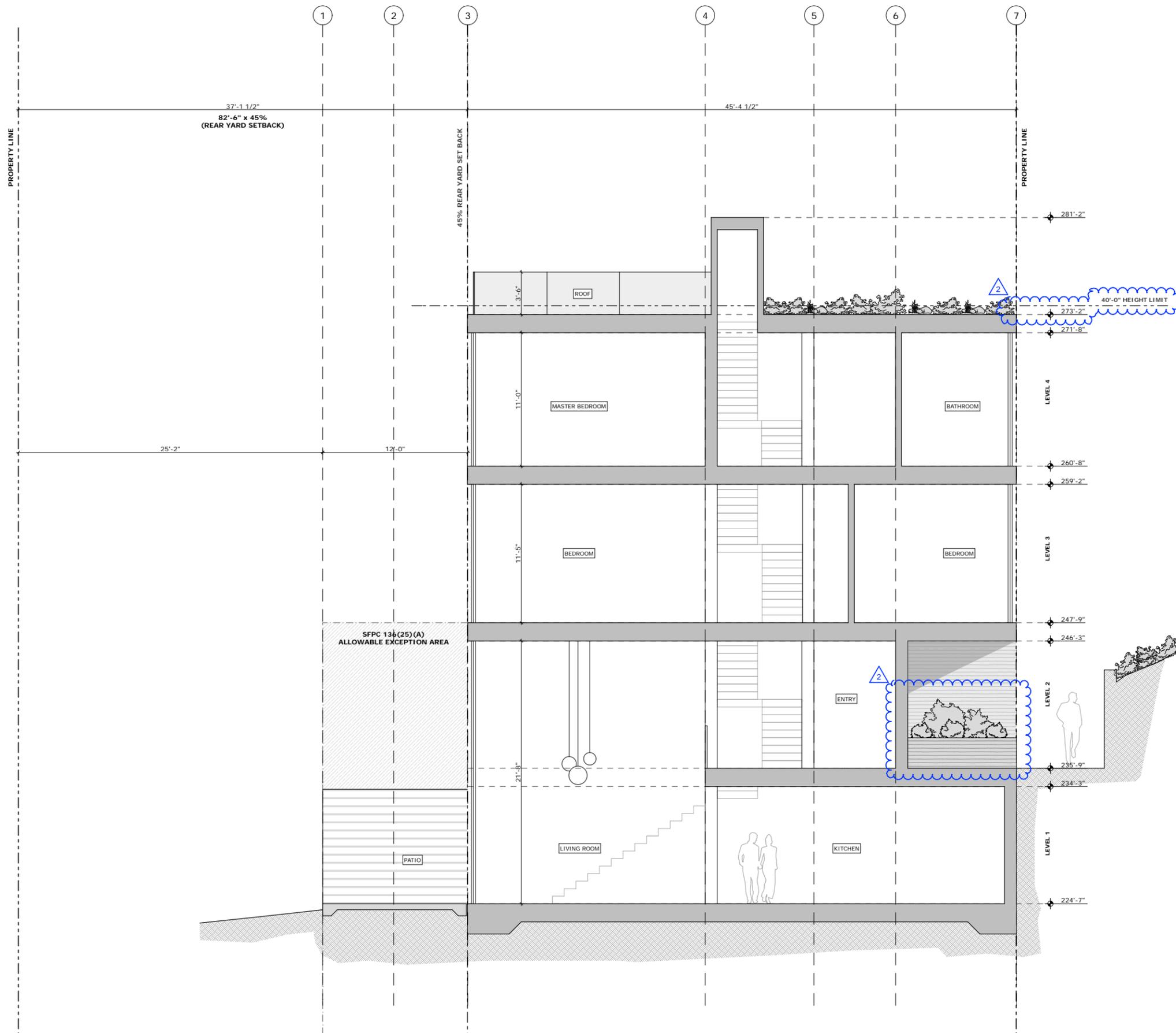
REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR
2 NOPDR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 UNIT 1 CROSS-SECTION
SCALE: 1/4" = 1'-0"

UNIT 1 SECTION





PLANNING PERMIT

REVISIONS:	BY:
1 NODR #1 - 02/13/2014	DS / SR
2 NODR #2 - 05/19/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 UNIT 3 CROSS-SECTION
SCALE: 1/4" = 1'-0"



115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133,

PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

1 FRONT FACADE LOOKING SOUTHEAST

CONCEPTUAL
RENDERINGS



1 FRONT FACADE LOOKING SOUTHWEST

115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133.

PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

**CONCEPTUAL
RENDERINGS**



1 REAR FACADE LOOKING NORTH

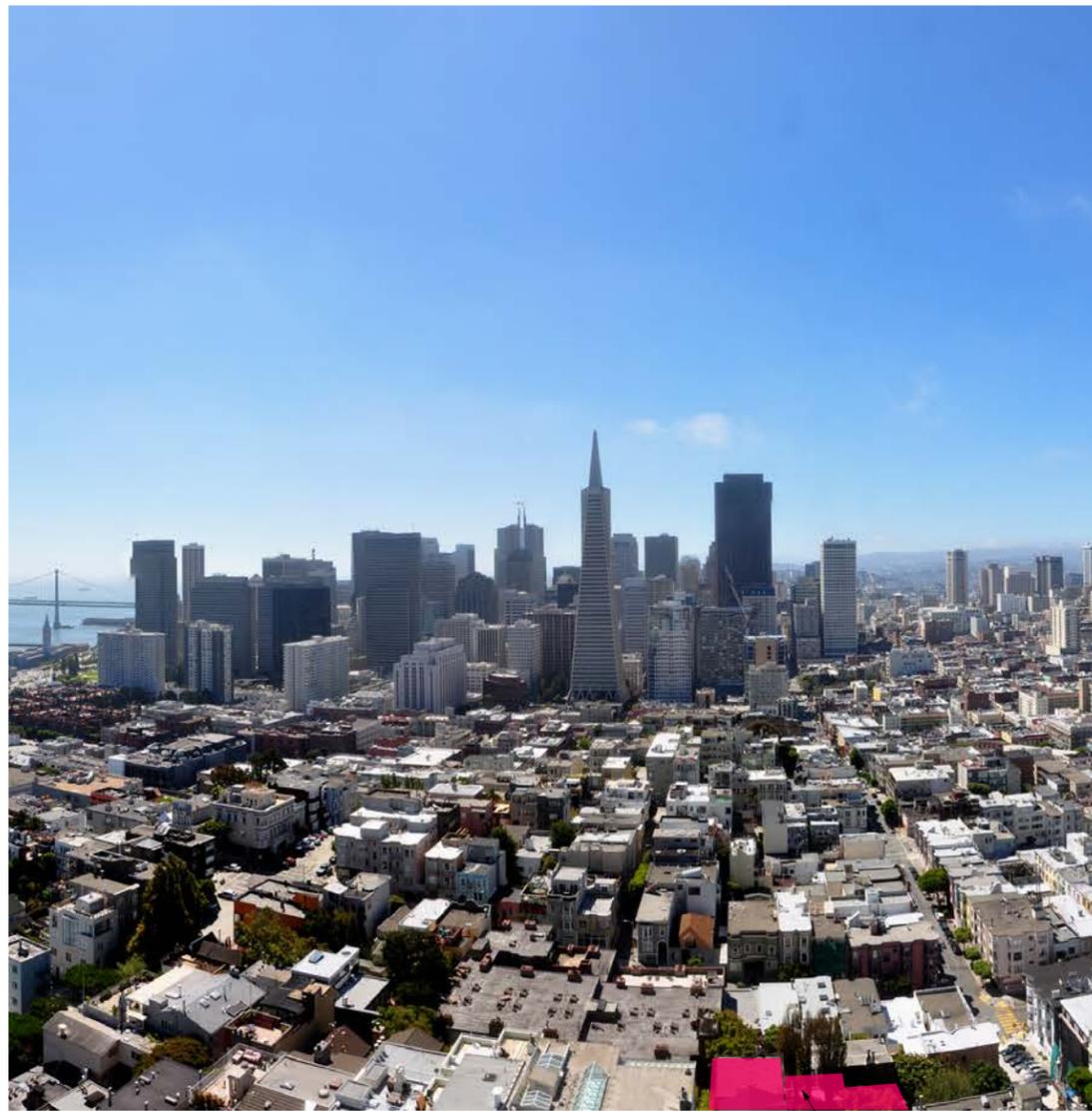
115 TELEGRAPH HILL
115 TELEGRAPH HILL BLVD., SAN FRANCISCO, CA, 94133,

PLANNING PERMIT

REVISIONS:	BY:
1 NODR #1 - 02/13/2014	DS / SR

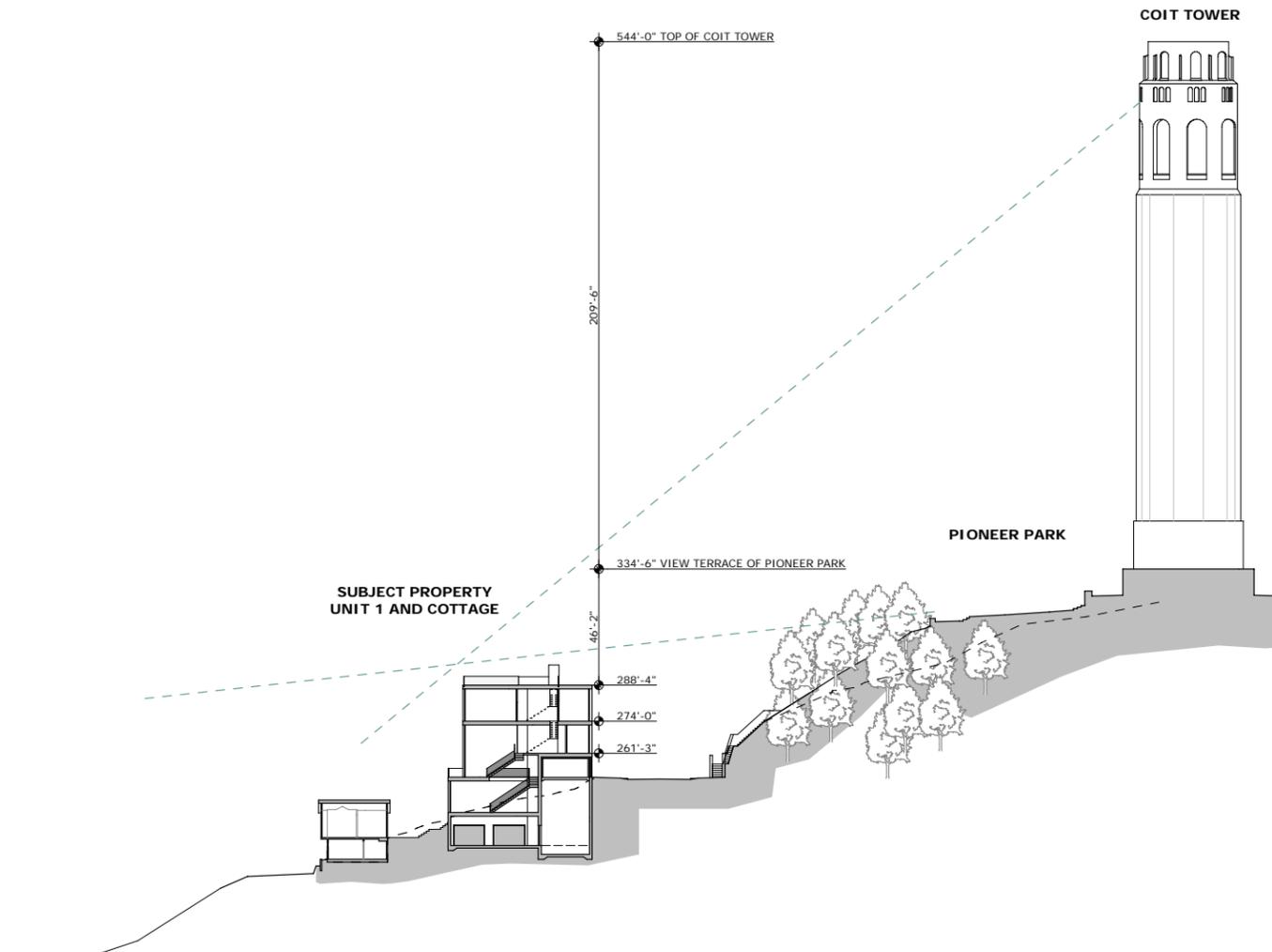
JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

CONCEPTUAL
RENDERINGS

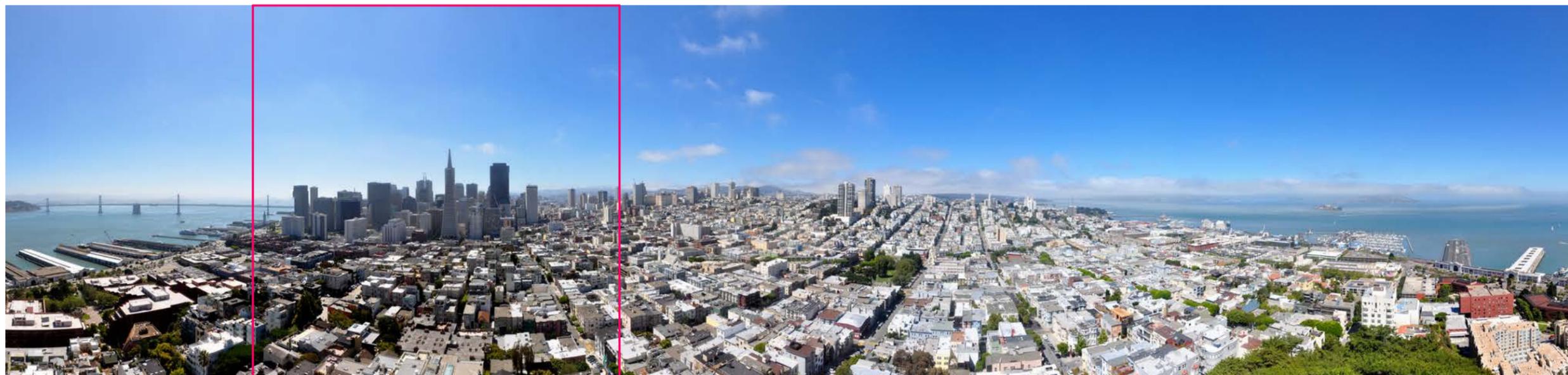


2 VIEW FROM COIT TOWER TO SUBJECT PROPERTY
NOT TO SCALE

— OUTLINE OF PROPOSAL SHOWN



1 VIEW FROM COIT TOWER TO SUBJECT PROPERTY
NOT TO SCALE



PLANNING PERMIT

REVISIONS:	BY:
1 NOPDR #1 - 02/13/2014	DS / SR

JOB#:	1205
DATE:	AUG. 12, 2013
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED