



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JANUARY 9, 2014

Date: January 9, 2014
Case No.: **2013.1420C**
Project Address: **2168-2174 Market Street**
Zoning: Upper Market Neighborhood Commercial Transit District
40/50-X Height and Bulk District
Block/Lot: 3542/017
Project Sponsor: Enrique Landa
2170 Market Street
San Francisco, CA 94114
Staff Contact: Casey Noel – (415) 575-9125
casey.noel@sfgov.org
Recommendation: **Approval**

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415.558.6377

PROJECT DESCRIPTION

The project sponsor proposes to expand the existing Restaurant/Bona Fide Eating Place use (d.b.a. Café du Nord) to three levels (basement, ground floor, second floor and mezzanine) of the existing multi-story building at 2168-2174 Market Street, pursuant to Planning Code Sections 303, 733.44 and 186.2. The Conditional Use authorization would also allow a use size above 2,999 square feet, pursuant to Planning Code Sections 733.21 and 790.130. Café du Nord currently occupies the basement level as a Restaurant/Bona Fide Eating Place and will become the single tenant leasing all the above floors as a single tenant. Planning Code Section 186.2 allows for the expansion of the Restaurant/Bona Fide Eating Place use to all floors under a single tenant.

The proposed Project would occupy approximately 5,000 sq. ft. of floor area. The Project would not result in any expansion of the existing building, although improvements would be made to the interior and exterior including the installation of new signage.

SITE DESCRIPTION AND PRESENT USE

The project is located on Market Street between Sanchez and Church Streets within the Upper Market Street NCT (Neighborhood Commercial Transit District) and a 40/50-X Height and Bulk District. The subject location is currently occupied by the Café du Nord (Restaurant/Bona Fide Eating Place) in the basement, a recently vacated limited-restaurant (d.b.a. Café Cortado) on the ground floor and the Swedish Society of San Francisco on the first through third floors.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Upper Market Street NCT is a multi-purpose commercial district that provides limited convenience goods to adjacent neighborhoods, but also serves as a shopping street for a broader trade area. A large number of offices are located on Market Street within easy transit access to downtown. The width of Market Street and its use as a major arterial diminish the perception of the Upper Market Street NCT as a single commercial district. The street appears as a collection of dispersed centers of commercial activity, concentrated at the intersections of Market Street with secondary streets.

The district is well served by transit and is anchored by the Market Street subway (with stations Church Street and Castro Street) and the F-Market historic streetcar line. All light-rail lines in the City traverse the district, including the F, J, K, L, M, N and T, and additional key cross-town transit service crosses Market Street at Fillmore and Castro Streets. Additionally, Market Street is a primary bicycle corridor. Housing density is limited not by lot area, but by the regulations on the built envelope of buildings, including height, bulk, setbacks, and lot coverage, and standards for residential uses, including open space and exposure, and urban design guidelines. Residential parking is not required and generally limited. Commercial establishments are discouraged or prohibited from building accessory off-street parking in order to preserve the pedestrian-oriented character of the district and prevent attracting auto traffic. There are prohibitions on access (i.e. driveways, garage entries) to off-street parking and loading on Market and Church Streets to preserve and enhance the pedestrian-oriented character and transit function.

The Upper Market Street NCT controls are designed to promote moderate-scale development, which contributes to the definition of Market Street's design and character. They are also intended to preserve the existing mix of commercial uses and maintain the livability of the district and its surrounding residential areas. To promote mixed-use buildings, most commercial uses are permitted with some limitations above the second story. In order to maintain continuous retail frontage and preserve a balanced mix of commercial uses, ground-story neighborhood-serving uses are encouraged, and eating and drinking, entertainment, and financial service uses are limited. Ground floor-commercial space is required along Market and Church Streets, and most automobile and drive-up uses are prohibited or conditional.

Land uses located within the immediate vicinity of this subject include predominantly two- and three-story buildings that contain a range of commercial uses on the ground and upper floors including retail stores (Fashion Exchange, Sui Generis), eating and drinking establishments (Bombay Indian Restaurant, Sweet Inspiration, Hi Tops Bar, Barracuda Sushi), and financial, medical, professional and personal services (Wells Fargo Home Mortgage, Creelman Farmer Dentistry, Mason McDuffie Realty, Pretty Nails). Several buildings within the block also contain multi-family dwelling units above the ground floor. This area of the Upper Market Street NCT bounds the Upper Market Street Neighborhood Commercial District (NCD) to the southwest, which begins at Noe and 16th Streets.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	December 20, 2013	December 19, 2013	21 days
Posted Notice	20 days	December 20, 2013	December 19, 2013	21 days
Mailed Notice	20 days	December 20, 2013	December 19, 2013	21 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

PUBLIC COMMENT

- To date, the Department has received 14 letters in support of the Project from the public, the Castro Merchants/Merchants of Upper Market & Castro (MUMC), Duboce Triangle Neighborhood Association, Castro/Upper Market Community Benefit District and the Swedish Society of San Francisco. The Department has not received any communications in opposition to the proposal.

ISSUES AND OTHER CONSIDERATIONS

- The Commerce and Industry Element of the General Plan contains Guidelines that discourage the overconcentration of eating and drinking establishments in the area. The project would result in a net increase in the number of eating and drinking establishments in the area but the overall percentage would still be well below 10% and not considered an overconcentration (greater than 25% of the total commercial frontage). The existing total commercial frontage within 300 feet of the Property is approximately 2,260 linear feet, and the existing concentration of eating and drinking uses within 300 feet of the Property is 211 linear feet, or 9%. The Project would increase the concentration of eating and drinking uses in the area to 236 linear feet - equaling 10%.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to allow the expansion of the existing Restaurant/Bona Fide Eating Place use to three levels (basement through second floor) within the Upper Market NCT, pursuant to Planning Code Sections 303, 733.44, 733.21, 790.130 and 186.2.

BASIS FOR RECOMMENDATION

- The existing concentration of eating and drinking uses in the area is 9% and the project would only increase the concentration by 1% to 10%.
- The project is a locally-owned business that will convert the vacant storefront into a Restaurant that will contribute to the vitality of the neighborhood.
- Although the Project will be a neighborhood-serving business, it is within close access to public transit and should not adversely impact traffic.
- The business is not a Formula Retail Use and would serve the immediate neighborhood.

- The project has the support of the Castro Merchants/Merchants of Upper Market & Castro (MUMC), Duboce Triangle Neighborhood Association, Castro/Upper Market Community Benefit District and the Swedish Society of San Francisco
- The project meets all applicable requirements of the Planning Code.

RECOMMENDATION: Approval
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Attachments:

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Site Photo

Public Correspondence

Project Sponsor Submittal, including:

- Site Photographs

- Reduced Plans

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Wireless Telecommunications Materials |
| <input checked="" type="checkbox"/> Context Photos | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> RF Report |
| | <input type="checkbox"/> Community Meeting Notice |
| | <input type="checkbox"/> Housing Documents |
| | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |
| | <input type="checkbox"/> Residential Pipeline |

Exhibits above marked with an "X" are included in this packet

CJN

Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Motion No. XXXXX

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casey.noel@sfgov.org
Recommendation: **Approval with Conditions**

ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 733.44, 733.21, 790.130 and 186.2 OF THE PLANNING CODE TO ALLOW THE EXPANSION OF THE EXISTING RESTAURANT/BONA FIDE EATING PLACE USE TO THREE LEVELS (BASEMENT THROUGH SECOND FLOOR) WITHIN THE UPPER MARKET NCT (NEIGHBORHOOD COMMERCIAL TRANSIT) AND A 40/50-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On October 7, 2013 Enrique Landa (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Section(s) 303, 733.44, 733.21, 790.130 and 186.2 to allow the expansion of the existing Restaurant/Bona Fide Eating Place use to three levels (basement through second floor) within the Upper Market Neighborhood Commercial Transit (hereinafter "Upper Market NCT") and a 40/50-X Height and Bulk District, in general conformity with the plans filed with the Application and labeled Exhibit B (hereinafter "Project").

On January 9, 2014, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.1420C.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption under CEQA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.1420C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on Market Street between Sanchez and Church Streets within the Upper Market Street NCT (Neighborhood Commercial Transit District) and a 40/50-X Height and Bulk District. The subject location is currently occupied by the Café du Nord (Restaurant/Bona Fide Eating Place) in the basement, a recently vacated limited-restaurant (d.b.a Café Cortado) on the ground floor and the Swedish Society of San Francisco on the first through third floors.
3. **Surrounding Properties and Neighborhood.** The Upper Market Street NCT is a multi-purpose commercial district that provides limited convenience goods to adjacent neighborhoods, but also serves as a shopping street for a broader trade area. A large number of offices are located on Market Street within easy transit access to downtown. The width of Market Street and its use as a major arterial diminish the perception of the Upper Market Street NCT as a single commercial district. The street appears as a collection of dispersed centers of commercial activity, concentrated at the intersections of Market Street with secondary streets.

The district is well served by transit and is anchored by the Market Street subway (with stations Church Street and Castro Street) and the F-Market historic streetcar line. All light-rail lines in the City traverse the district, including the F, J, K, L, M, N and T, and additional key cross-town transit service crosses Market Street at Fillmore and Castro Streets. Additionally, Market Street is a primary bicycle corridor. Housing density is limited not by lot area, but by the regulations on the built envelope of buildings, including height, bulk, setbacks, and lot coverage, and standards for residential uses, including open space and exposure, and urban design guidelines. Residential parking is not required and generally limited. Commercial establishments are

discouraged or prohibited from building accessory off-street parking in order to preserve the pedestrian-oriented character of the district and prevent attracting auto traffic. There are prohibitions on access (i.e. driveways, garage entries) to off-street parking and loading on Market and Church Streets to preserve and enhance the pedestrian-oriented character and transit function.

The Upper Market Street NCT controls are designed to promote moderate-scale development, which contributes to the definition of Market Street's design and character. They are also intended to preserve the existing mix of commercial uses and maintain the livability of the district and its surrounding residential areas. To promote mixed-use buildings, most commercial uses are permitted with some limitations above the second story. In order to maintain continuous retail frontage and preserve a balanced mix of commercial uses, ground-story neighborhood-serving uses are encouraged, and eating and drinking, entertainment, and financial service uses are limited. Ground floor-commercial space is required along Market and Church Streets, and most automobile and drive-up uses are prohibited or conditional.

Land uses located within the immediate vicinity of this subject include predominantly two- and three-story buildings that contain a range of commercial uses on the ground and upper floors including retail stores (Fashion Exchange, Sui Generis), eating and drinking establishments (Bombay Indian Restaurant, Sweet Inspiration, Hi Tops Bar, Barracuda Sushi), and financial, medical, professional and personal services (Wells Fargo Home Mortgage, Creelman Farmer Dentistry, Mason McDuffie Realty, Pretty Nails). Several buildings within the block also contain multi-family dwelling units above the ground floor. This area of the Upper Market Street NCT bounds the Upper Market Street Neighborhood Commercial District (NCD) to the southwest, which begins at Noe and 16th Streets.

- 4. Project Description.** The project sponsor proposes to expand the existing Restaurant/Bona Fide Eating Place use (d.b.a. Café du Nord) to three levels (basement, ground floor, second floor and mezzanine) of the existing multi-story building at 2168-2174 Market Street, pursuant to Planning Code Sections 303, 733.44 and 186.2. The Conditional Use authorization would also allow a use size above 2,999 square feet, pursuant to Planning Code Sections 733.21 and 790.130. Café du Nord currently occupies the basement level as a Restaurant/Bona Fide Eating Place and will become the single tenant leasing all the above floors as a single tenant. Planning Code Section 186.2 allows for the expansion of the Restaurant/Bona Fide Eating Place use to all floors under a single tenant.

The proposed Project would occupy approximately 6,000 sq. ft. of floor area. The Project would not result in any expansion of the existing building, although improvements would be made to the interior and exterior including the installation of new signage.

- 5. Public Comment.** The Department has received 3 letters in support of the Project from the public, the Castro/Upper Market Community Benefit District and the Swedish Society of San Francisco. The Department has not received any communications in opposition to the proposal.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Restaurant.** Planning Code Section 733.44 specifies that a restaurant as defined in Section 790.90 is a conditionally permitted use in the Upper Market NCT.

The Sponsor seeks Conditional Use Authorization to expand the existing Restaurant/Bona Fide Eating Place use (d.b.a. Café du Nord) to three levels (basement, ground floor, second floor and mezzanine) of the Subject Property, which is located within the Upper Market NCT.

- B. **Use Size.** Planning Section 733.21 states that uses up to 2,999 sq. ft. are permitted by right and uses 3,000 sq. ft. and over require conditional use authorization in the Upper Market NCT.

The Project would occupy approximately 5,000 square-feet of occupied floor area and is applying for conditional use authorization.

- C. **Parking.** Planning Section 733.22 of the Planning Code requires off-street parking for every 200 square-feet of occupied floor area, where the occupied floor area exceeds 5,000 square-feet.

The Subject Property contains approximately 5,000 square-feet of occupied floor area and thus does not require any off-street parking.

- D. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department

Any proposed signage shall be subject to the review of the Planning Department and required to meet all provisions set forth in Article 6 of the Planning Code pending the approval of this application.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed use within the existing building is in keeping with other storefronts on the block face. The Project will provide a use that is necessary and desirable for the neighborhood in that it will provide a neighborhood serving use that will activate an inactive portion of the street frontage and occupy a vacant storefront.

B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope. The project will be compatible with the nearby commercial, residential, and retail uses, and will not significantly alter the neighborhood character or context.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

Traffic conditions will remain substantially unaltered by this Project because the proposed use is a neighborhood-serving business that will be frequented by foot, bicycle or public transportation, and is well served by the K, L, M and T streetcar lines. The Planning Code does not require off-street parking for the proposed Project.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will be subject to the standard conditions of approval for an eating and drinking establishment as outlined in Exhibit A to ensure that noise and odors are contained within the premises so as not to be a nuisance to nearby residents or businesses. Conditions of Approval 8 and 9 specifically obligate the Project Sponsor to mitigate odor and noise generated by the limited-restaurant.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

There are no proposed changes to the existing conditions as they relate to landscaping, screening, open spaces, service areas and lighting. Any proposed signage shall be subject to review by the Planning Department and required to comply with all the provisions set forth in Article 6 of the Planning Code upon approval of this application.

C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purposes of NC Districts in that the intended use will provide a compatible convenience service for the immediately surrounding neighborhoods during daytime hours.

- E. That the existing concentration of eating and drinking uses in the area should not exceed 25% of the total commercial frontage as measured in linear feet within the immediate area of the subject site. For the purposes of Section 303(p) of the Code, the immediate area shall be defined as all properties located within 300' of the subject property and also located within the same zoning district.

The existing total commercial frontage within 300 feet of the Subject Property is 2,260 linear feet, and the existing concentration of eating and drinking uses within 300 feet is 211 linear feet, or 9%. The Project would increase the concentration of eating and drinking uses in the area to 236 linear feet which equals 10% and does not exceed the 25% threshold.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed development will provide a desirable use to the neighborhood that is independent and locally-owned, and the Project is consistent with the uses in this neighborhood and with the commercial land use plan for the Upper Market NCT. The addition of a restaurant into a vacant commercial space at the ground

story of the building will provide pedestrian traffic at an intensity that is suitable for the transition between the commercial activity of the Upper Market NCT and the residential districts surrounding the site.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will retain an existing commercial activity and will enhance the diverse economic base of the City with the addition of new commercial activity.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 3.1:

Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers.

Approving the Project will potentially create entry-level employment opportunities for local unskilled and semi-skilled workers.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No existing commercial tenant will be displaced by this Conditional Use Authorization, and the Project will not prevent the Upper Market NCT from achieving optimal diversity in the types of goods and services available in the neighborhood because the resulting concentration of eating and drinking uses in the immediate area will only be 10% and is less than the 25% threshold.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

The Applicant has recognized the desire for a neighborhood serving restaurant that will activate a block that currently has vacant or underused properties.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The granting of this Conditional Use Authorization will not adversely affect the existing neighborhood serving retail uses because the existing commercial space is vacant and the proposed restaurant will increase foot traffic along the 2100 block of Market Street. Future opportunities for resident employment will potentially be increased by establishing a restaurant where no business currently exists.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project will preserve neighborhood character because no changes are proposed to the existing building envelope and no housing will be removed.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is removed for this Project. The proposed project will not impact existing or future affordable housing projects.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Traffic conditions will remain substantially unaltered by the Project because the use is a neighborhood-serving business that can easily be frequented by foot, bicycle or public transportation. The Project is served by public transit and will not overburden the City's streets or neighborhood parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site. The owners of the building have initiated the process for landmark designation of the building.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.1420C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated December 16, 2013, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on January 9, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: January 9, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow the expansion of the existing Restaurant/Bona Fide Eating Place use to three levels (basement through second floor) located at 2168-2174 Market Street, Block 3542 and Lot 017 pursuant to Planning Code Section(s) **303, 733.44, 733.21, 790.130 and 186.2** within the **Upper Market Neighborhood Commercial Transit** District and a **40/50-X** Height and Bulk District; in general conformance with plans, dated **December 16, 2013**, and stamped "EXHIBIT B" included in the docket for Case No. **2013.1420C** and subject to conditions of approval reviewed and approved by the Commission on **January 9, 2014** under Motion No. **XXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **January 9, 2014** under Motion No. **XXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN

3. **Signage.** Any signs on the property shall be made to comply with the requirements of Article 6 of the Planning Code.

MONITORING

4. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

5. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning

Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

6. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

7. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>*

8. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org

For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org

9. **Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

10. **Hours of Operation.** The subject establishment is limited to the following hours of operation: 6:00 a.m. to 2:00 a.m. daily.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map

MISSION RECORDERS OFFICE
 © COPYRIGHT SAN FRANCISCO CITY & COUNTY ASSESSOR 1985

3542

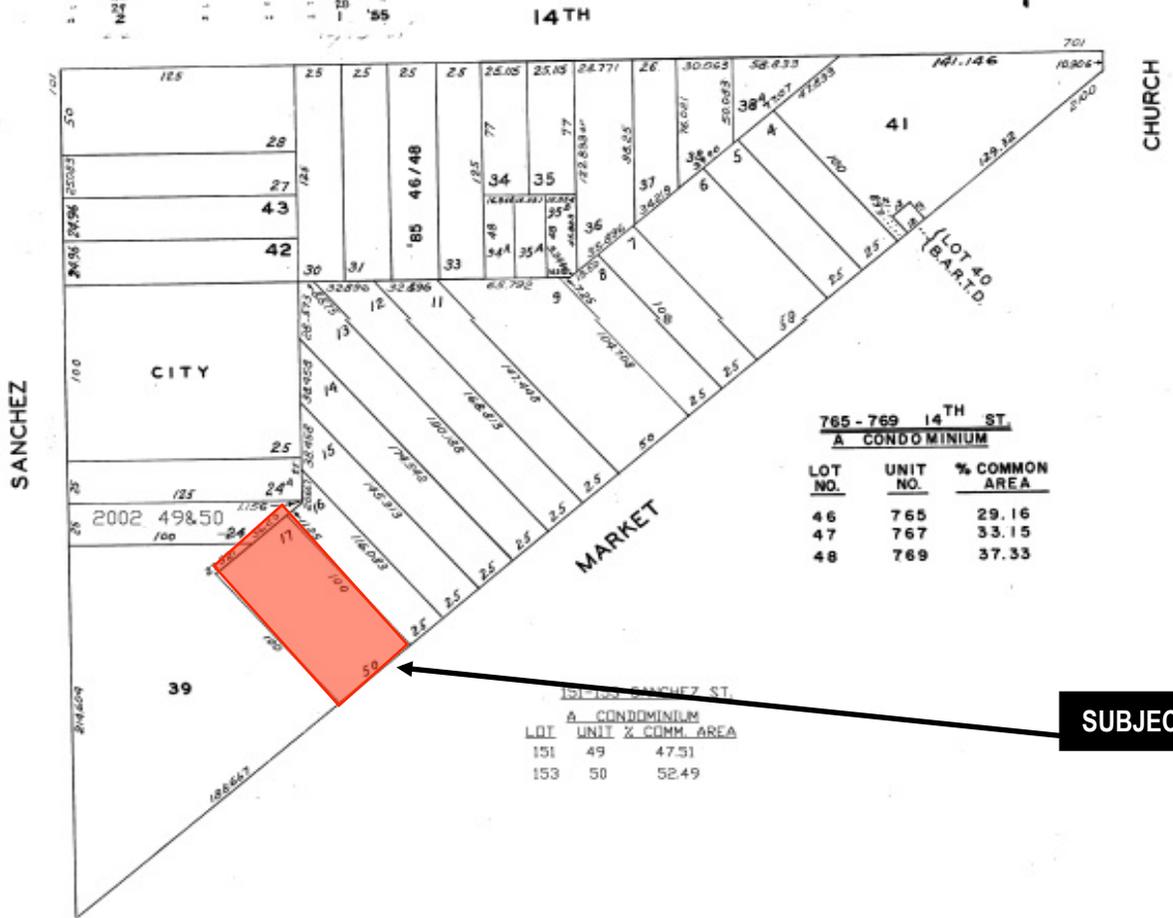
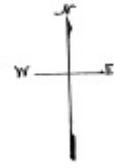
MISSION BLK. 98

REVISED '61
 " '75
 " '81
 " '85
 Revised 2002

lot24 into lots 49&50 for 2002 roll

LOTS MERGED

Lots	merged into Lot	'43'
3	2	
10	9	
17, 20	18	
23	22	
27	26	
2	1	'85



17187 SANCHEZ ST.
 A CONDOMINIUM

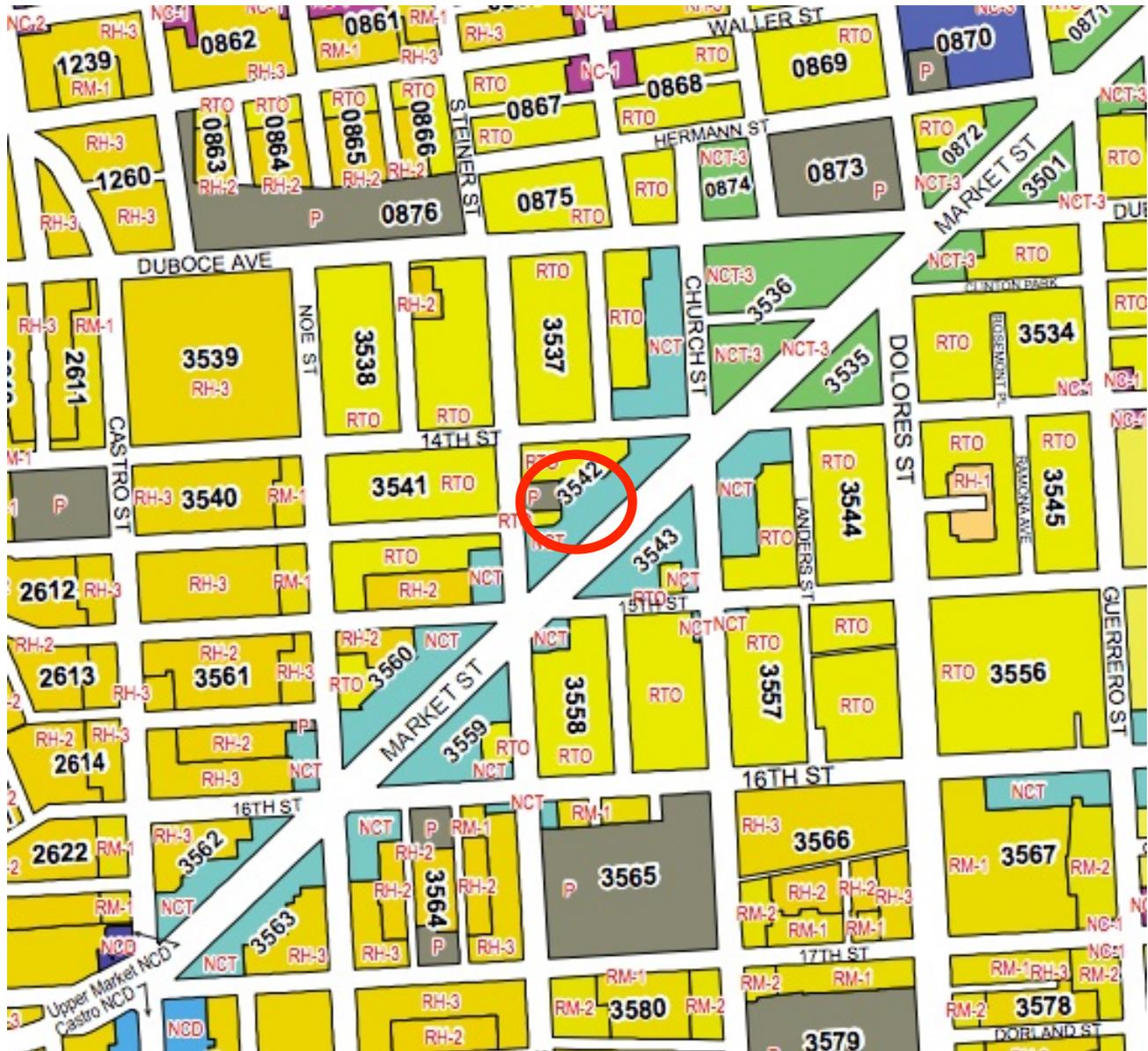
LOT	UNIT	% COMM. AREA
151	49	47.51
153	50	52.49

SUBJECT PROPERTY



Conditional Use Authorization Hearing
 Case Number 2013.1420C
 2168-2174 Market Street

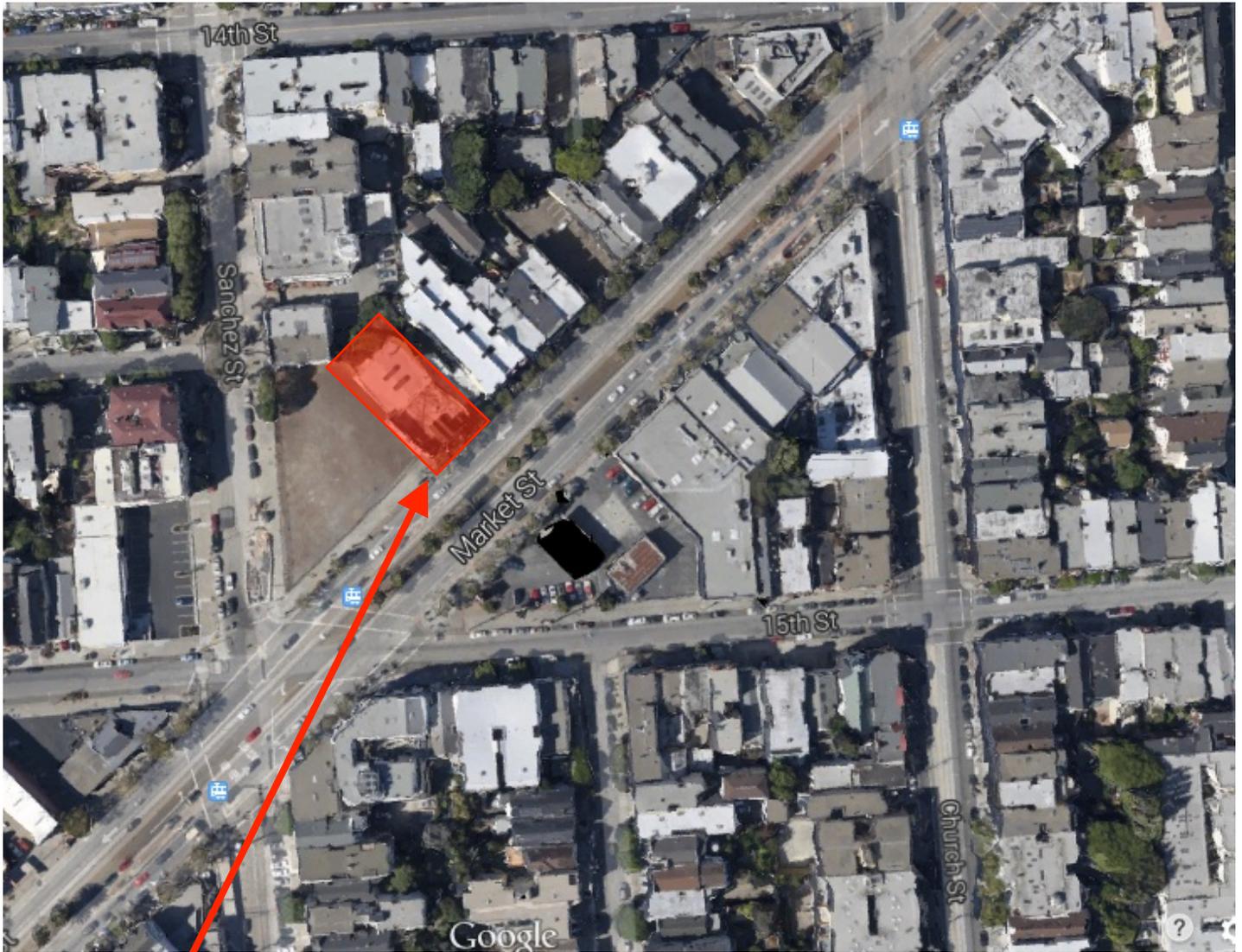
Zoning Map



Conditional Use Authorization Hearing
Case Number 2013.1420C
2168-2174 Market Street

Aerial Photo

View Looking North



PROJECT SITE

Conditional Use Authorization Hearing
Case Number 2013.1420C
2168-2174 Market Street

Aerial Photo

View Looking East

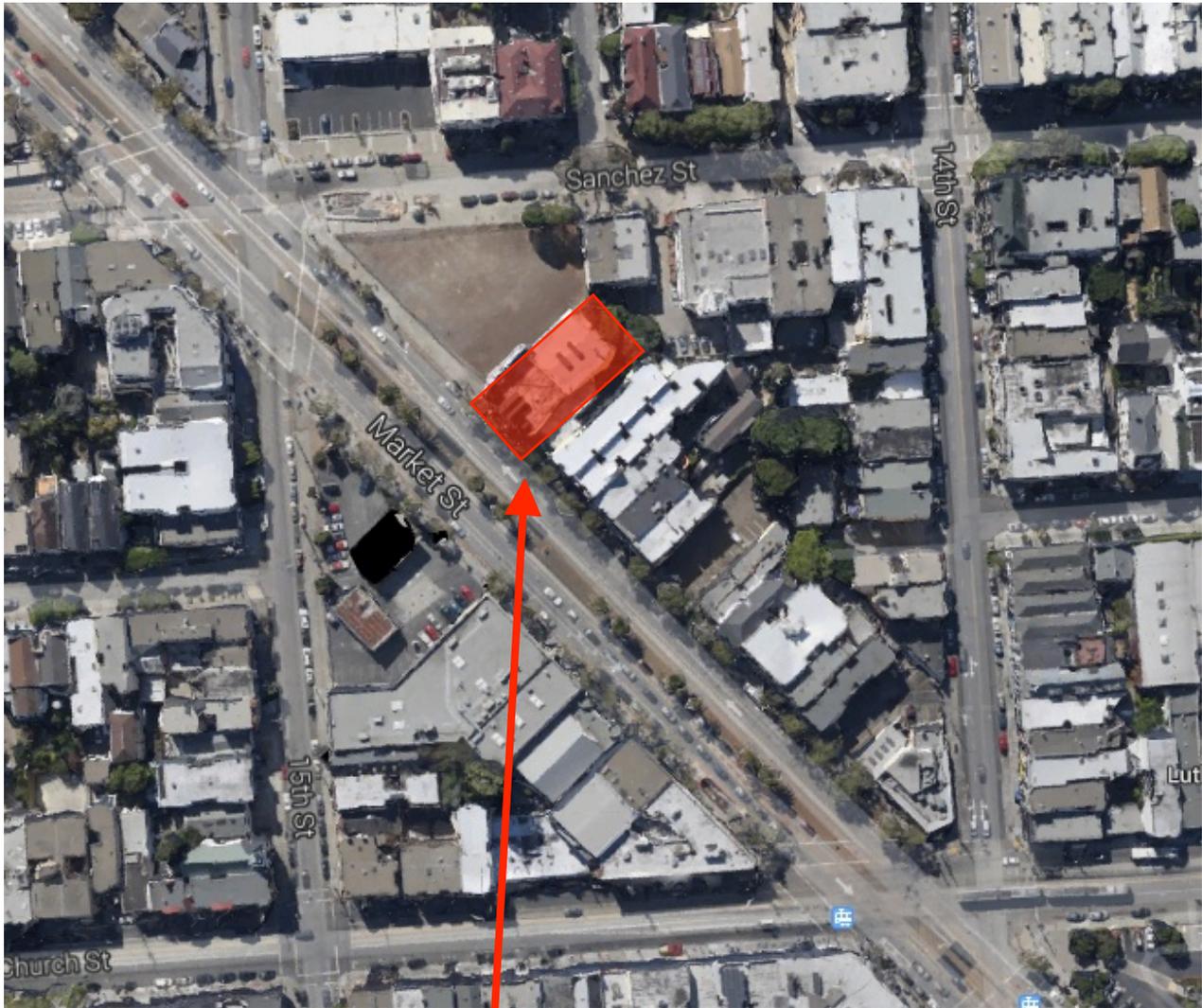


PROJECT SITE

Conditional Use Authorization Hearing
Case Number 2013.1420C
2168-2174 Market Street

Aerial Photo

View Looking West

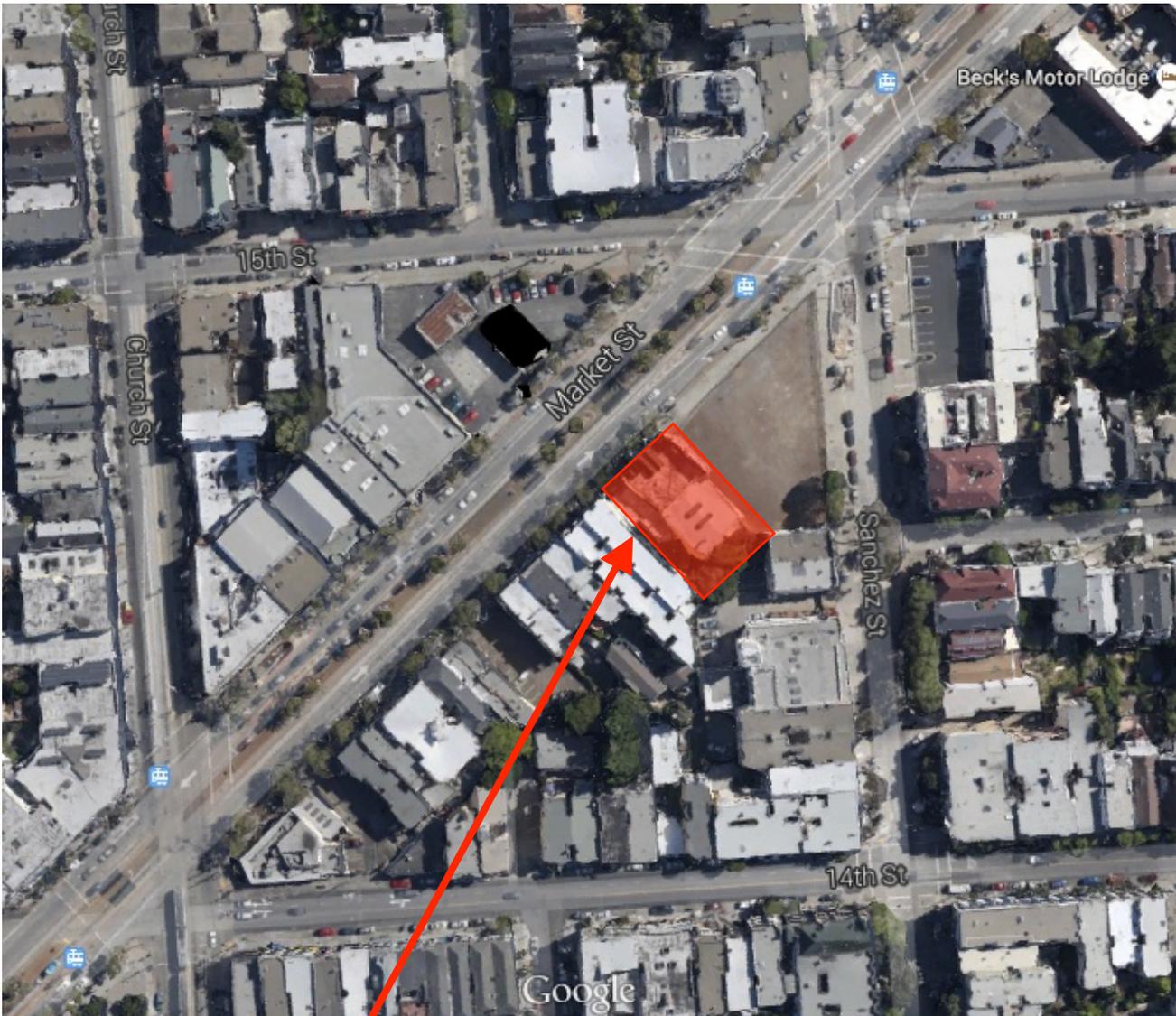


PROJECT SITE

Conditional Use Authorization Hearing
Case Number 2013.1420C
2168-2174 Market Street

Aerial Photo

View Looking South



SUBJECT PROPERTY

Dwelling Unit Merger DR Hearing
Case Number 2013.1001DV
1072-1074 Sanchez Street

Site Photo – Subject Front



Conditional Use Authorization Hearing
Case Number 2013.1420C
2168-2174 Market Street



584 Castro Street, # 333
San Francisco CA 94114-2512
415/431-2359
Email MUMC-SF@earthlink.net
www.CastroMerchants.com

Terry Asten Bennett, President
415/431-5365 Ext. 4
TerryAsten@cs.com

January 2, 2014

By Email and USPS hardcopy

Casey Noel, Staff Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

Re: Planning Case No. 2013.1420C, Request for Conditional Use Authorization
Café du Nord, et al Restaurant Expansion, etc. (Dylan MacNiven, Enrique Landa, et al)

Dear Mr. Noel,

This confirms that the Members of **Castro Merchants/Merchants of Upper Market & Castro (MUMC)** have voted to SUPPORT the Request for Conditional Use authorization and related approvals by Enrique Landa, Jesse Woodward, Café du Nord, et al to expand the restaurant with Type 47 liquor license throughout the Swedish-American Hall at 2168-2174 Market Street in San Francisco. We understand that Planning Commission's Hearing for this item currently is scheduled for January 9, 2014.

Castro Merchants/MUMC is the merchants' organization serving San Francisco's Castro-Upper Market area, generally along Upper Market Street from Octavia Blvd. to Castro Street; Castro from Market to 19th Street; and cross streets throughout that area. **Castro Merchants/MUMC** has over 250 paid Members for 2013-2014. The property covered by this matter is within our organization's primary service area.

Please let us know if you have any questions regarding **Castro Merchants/MUMC**'s SUPPORT for this Project. Please include this letter in the matter's permanent file, and assure that it is provided to all Planning Staff and Commissioners and to any other hearing panels at the time that this matter is considered by them. Thank you for considering our comments.

Respectfully,

Terry Asten Bennett, President

cc: Dylan MacNiven, Enrique Landa
email cc: Supervisor Scott Wiener and staff
Capt. Bob Moser, SFPD Mission Station



Duboce Triangle Neighborhood Association

2261 Market St. PMB 301, San Francisco, CA 94114
(415) 295-1530 / www.dtna.org

November 23, 2013

San Francisco Planning Commission
1660 Mission Street, 5th Floor
San Francisco Ca. 94103

Re: 2168-2174 Market Street proposed development project 2013.1420C

Dear President Fong and members of the Commission:

Duboce Triangle Neighborhood Association supports renovation and expansion of the existing footprint of the Swedish American Hall at 2168-2174 Market St. Currently the building seems under utilized, we believe the proposed plan will provide for a new successful commercial entity along the thriving Upper Market Corridor. We have been actively reviewing this project proposal and engaging with the project sponsor over the past several months, including a general meeting of our membership, which received a unanimous favorable response.

DTNA has a very thorough and proactive project review process, and we pride ourselves on holding a high but fair standards in working with project sponsors. We are particularly pleased that the project sponsor and the Board of the Swedish Society of San Francisco have agreed to work toward landmark status of the Swedish American Hall. We believe the building is an important historical resource and that preservation provides an important resource for the future of San Francisco.

DTNA will be staying in close contact with the project sponsor to hold strong to their commitment to the community on the issue of landmarking, we hope that the Commission will similarly convey its sentiments to renovating and preserving this historical resource in the Upper Market Corridor.

Thank you very much for considering our input.

Sincerely

A handwritten signature in blue ink that reads 'Pat Tura'.

Pat Tura, President
Duboce Triangle Neighborhood Association



584 Castro Street #336
San Francisco, CA 94114
PH 415.500.1181
FX 415.522.0395
www.castrocbd.org
www.facebook/
castrocbd
@visitthecastro

December 5, 2013

Rodney Fong, President and Fellow Commissioners
San Francisco Planning Commission
1650 Mission Street
San Francisco, CA

Re: Case Number 2013.1420C

Dear Commission President Fong and Fellow Commissioners,

This letter is written to express the Castro/Upper Market Community Benefit District's support for the request for Conditional Use Authorization and for the expansion of the basement level bar (ABC type 47, bona-fide eating place), restaurant and other entertainment operations to the first, second and second floor mezzanine levels, at 2174 Market Street (Swedish American Hall).

The addition of an ADA compliant elevator and ADA accessible bathrooms are major improvements for this building and will allow the public to enjoy the Swedish American Hall.

This unique building and the programing proposed for it will contribute to a growing and vibrant Upper Market community.

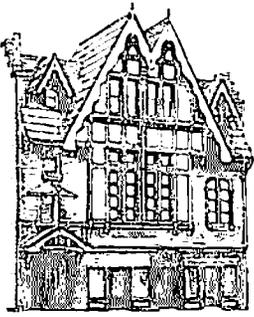
Thank you for your time on this matter.

Sincerely,

Andrea Aiello
Executive Director

cc: Supervisor Scott Wiener, Supervisor District 8
Andres Power, Legislative Aide, Supervisor Wiener

Casey Noel, Planner, S.F. Planning Department
Dylan MacNiven, 2174 Market Street Project
Enrique Landa, 2174 Market Street Project



SWEDISH AMERICAN HALL

November 15th, 2013

San Francisco Planning Department
Suite 400
1660 Mission Street
San Francisco, CA 94103

Re: CONDITIONAL USE APPLICATION FOR 2168-2174 MARKET St.

Dear Casey Noel:

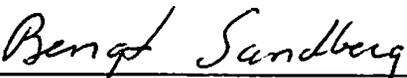
The Swedish Society of San Francisco ("Swedish Society") has been informed that the new tenants of the Swedish American Hall, UMV, LLC, are requesting a conditional use permit that Planning Code Section 186.2 allows for the upper floors in the building located at 2168-2174 Market Street for uses that are not otherwise permitted on upper stories pursuant to Article 7 of the Code.

The building in question, commonly called, the Swedish American Hall (the "Hall") was built by the Swedish Society and was completed in 1907.

UMV, LLC will act as our Tenant starting in 2014 for the Hall, the Swedish Society enthusiastically supports their request above.

Please let me know if you require anything further, thank you for your consideration.

Sincerely,


Bengt Sandberg, Vice President



2174 MARKET STREET • SAN FRANCISCO • CA 94114-1319 • TEL (415)431-7578 • FAX (415)431-2388

Ted Olsson, Ph.D.
30 Sharon Street
San Francisco, CA 94114
415/407.0094
olssonted@yahoo.com

23 December 2013

San Francisco Planning Commissioners

1. **Rodney Fong**, Commission President
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103-2414
415/2002-0436
planning@rodnevfong.com
2. **Cindy Wu**, Commission Vice President
1650 Mission Street, Suite 400
San Francisco, CA 94103-2414
cwu.planning@gmail.com
3. **Michael J. Antonini**, Commissioner
2827 Franklin Street
San Francisco, CA 94123-3107
Tel: 415/558-6615 ext 2
Fax: 415/558-6409
Wordweaver21@aol.com
4. **Gwyneth Borden**, Commissioner
San Francisco Planning Department
1650 Mission Street, Ste.400
San Francisco, CA 94103
Tel: 415/367-3801
plangsf@gmail.com
5. **Rich Hillis**, Commissioner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103-2414
richhillissf@yahoo.com
6. **Kathrin Moore**, Commissioner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103-2414
Tel: 415/558-6615 ext 5
mooreurban@aol.com
7. **Hisashi Sugaya**, Commissioner
San Francisco Planning Department
1650 Mission Street, Ste. 400
San Francisco, CA 94103-2414
Tel: 415/558-6615 ext 7
Fax: 415/558.6409
Hs.commish@yahoo.com

CC: Jonas P. Ionin, Commission Secretary
1650 Mission Street, Suite 400
San Francisco, CA 94103
Tel. 415.558.6309 (Direct); 415.558.6415 (Asst.)
Fax. 415.558.6409
Commissions.Secretary@sfgov.org

Casey.Noel@sfgov.org

RE: Swedish American Hall, 2174 Market Street
Case ID: 2013.1420C

Honorable Planning Commissioners,

My name is Ted Olsson. I am the third generation San Franciscan to live in our home across Market Street from the Swedish American Hall. After 1906 it was in the center of the Swedish and Scandinavian communities clustered for a dozen blocks around this historic building. Both pairs of my grandparents lived on Sharon Street and both grandfathers were instrumental in the founding and initial administration of this building. I am the third generation to serve on the board of The Swedish Society of San Francisco, which owns this hall.

Although now I am speaking here only as a citizen, as a founding member of the Market-Octavia Plan CAC, appointed by Mayors Newsom and Lee, I am very familiar with all aspects of development along the length of Market Street. I am writing to you today both as a neighbor and as a board member/owner of the Hall to fully support the purposes and plans of the Upper Market Vikings (UMV) partnership, led by Enrique Landa and Dylan MacNiven. Both of these men are successful entrepreneurs here in our city. They continue to contribute to the future needs of the city while revering the city's history, which provides continuing relevance and perspective in the midst of urban development.

Thanks to this UMV partnership becoming the Master Tenant of the Hall, the structure is being both preserved and renovated. The hall had been designed in 1907 for an elevator by August Nordin, famed Swedish-American and San Franciscan architect. However, it was built without one. Now a modern elevator will be installed in the shaft already originally built into the building. This elevator will serve all floors, from Café Du Nord in the basement to our local Swedish archives on the top floor. UMV's building-wide liquor license and restaurants/catering service will once again make this historic hall useful to all in our quickly renovated neighborhood, which by the end of 2014 will have an additional 2,000 or more neighbors. No other building along Market from Van Ness to Castro will be able to support the multiple functions and attendees that this hall will under UMV. It will enrich the life and public purposes of all Upper Market Street. The building has hosted royalty and ethnic celebrations, personal occasions (weddings, funerals, and anniversaries), and civic functions (City Arts & Lectures talks to candidate debates). Now, under UMV, this full service for the community and the city will only be enhanced.

I ask you to join me in giving your full approval and support to this new venture, which will restore and revitalize this historic building, rendering continuing service to fellow citizens and visitors throughout this century as well.

Sincerely yours,
~**TED OLSSON**

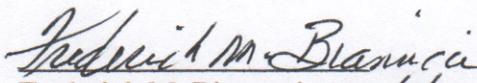
cc: The Swedish Society of San Francisco
UMV partners

Casey Noel
Casey.noel@sfgov.org
San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco, CA 94103-2479

RE: 2168-2174 Market Street
Support for Granting Conditional for Swedish American Hall

Mr. Noel:

I support the expansion of the current restaurant, bar and other entertainment uses at the basement level to the first and second floors of the Swedish American Hall. This change will increase public accessibility to the historical building as the new tenants are working with the building owners to install a new ADA elevator and bathrooms. The restaurant use on the ground floor will help revive a long dormant street frontage in a neighborhood that is seeing a lot of revitalization. The new tenants also have a great track record of neighborhood serving restaurant operation in San Francisco and granting them this expansion will therefor promote local business.


Frederick M. Bianucci 12/8/13

Contact: (fredbianucci@comcast.net) Cell/voicemail 415-509-6808
Cupertino Electric of San Francisco

Home Address: 35 Aura Vista, Millbrae CA 94030

From: [Matthew Bartlett](#)
To: [Noel, Casey](#)
Subject: In Support of Granting Conditional for Swedish American Hall
Date: Sunday, December 22, 2013 9:38:03 AM

Mr. Noel,

I'm writing to express my firm support for the expansion of the current restaurant, bar and other entertainment uses at the basement level to the first and second floors of the Swedish American Hall. This change will increase public accessibility to the historical building; the new tenants are working with the building owners to install a new ADA elevator and bathrooms. The restaurant use on the ground floor will help revive a long dormant street frontage in a neighborhood that is seeing a lot of revitalization. As an 8 year resident of Noe Valley/Castro/Eureka Valley, I can firmly say I would really like to see this space fully utilized.

The new tenants also have a great track record with their other restaurants in San Francisco and granting them this expansion will promote local business.

Matthew P. Bartlett /s/

510A Diamond Street
San Francisco, CA 94114

From: [Eoin Harrington](#)
To: [Noel, Casey](#)
Subject: Re: Playing at cafe du nord
Date: Thursday, December 26, 2013 7:54:46 AM

Happy Holidays Casey,
Yes I am definitely in support of the project. I believe they will do amazing things there!
E

Sent from my iPhone

On Dec 24, 2013, at 2:27 PM, "Noel, Casey" <casey.noel@sfgov.org> wrote:

> That is great to hear, Eoin. I was just wondering if you are in support of the project?
>
> Casey Noel
> Planner - Southwest Quadrant
> Planning Department;City and County of San Francisco
> 1650 Mission Street, Suite 400, San Francisco, CA 94103
> Phone: 415-575-9125;Web: www.sfplanning.org
>
>
> -----Original Message-----
> From: Eoin Harrington [<mailto:eoin3003@yahoo.com>]
> Sent: Tuesday, December 24, 2013 11:25 AM
> To: Noel, Casey
> Subject: Playing at cafe du nord
>
> Hello Casey
> I just wanted to share a few thoughts about Cafe du Nord and my experiences there.
>
> I have played many venues across the country and Ireland but Cafe Du Nord is one of my favorites
by far.
> There's a reason why it's one of the most loved venues in the city for both Artists and music fans.
> It has an atmosphere that is all it own and the sound is top notch.
> And to cap it all off, the Sweedish American Music Hall is one of the most special places to see a live
show.
> There's nothing quite like it.
>
>
> Eoin Harrington
>
>
>
> Case ID: 2013.1420C
>
> Sent from my iPhone
>
>

From: [Monica Bannan](#)
To: [Noel, Casey](#)
Subject: RE: Support for Granting Conditional for Swedish American Hall
Date: Friday, December 27, 2013 11:17:24 AM

Casey Noel
Casey.noel@sfgov.org
San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco, CA 94103-2479

RE: Support for Granting Conditional for Swedish American Hall

Mr. Noel:

As a long time San Francisco music lover and foodie I am writing to you to tell you I support the expansion of the current restaurant, bar and other entertainment uses at the basement level to the first and second floors of the Swedish American Hall. This change will increase public accessibility to the historical building as the new tenants are working with the building owners to install a new ADA elevator and bathrooms. The restaurant use on the ground floor will help revive a long dormant street frontage in a neighborhood that is seeing a lot of revitalization. The new tenants also have a great track record of neighborhood serving restaurant operation in San Francisco and granting them this expansion will therefor promote local business.

Best regards,

Monica Bannan
558 9th Aveune
San Francisco, CA 94118

From: [Sarah Grossman-Swenson](#)
To: [Noel, Casey](#)
Subject: Support for granting conditional for Swedish American Hall
Date: Thursday, December 26, 2013 6:34:55 PM

Dear Mr. Casey,

As a Lower Haight resident, I support the expansion of the current restaurant, bar and other entertainment uses at the basement level to the first and second floors of the Swedish American Hall. A few years ago, I looked at the Hall as a possible wedding reception site, but we unfortunately couldn't use it because of disability access issues that would not have worked for elderly relatives. The change proposed will increase the accessibility of the historical building, as the new tenants are working with the building owners to install a new ADA elevator and bathrooms. The restaurant use on the ground floor will help revive a long dormant street frontage in a neighborhood that is seeing a lot of revitalization and increased foot traffic. The new tenants also have an excellent track record of operating neighborhood restaurants in San Francisco. Granting them this expansion will help promote local business and the local economy.

Thank you for your attention to this important matter.

Sincerely,
Sarah Grossman-Swenson

From: [Lindsay Pollak](#)
To: [Noel, Casey](#)
Subject: Support for Granting Conditional for Swedish American Hall
Date: Thursday, December 26, 2013 10:40:20 PM

Casey Noel
Casey.noel@sfgov.org
San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco, CA 94103-2479

Mr. Noel:

As a San Franciscan living in Noe Valley, I support the expansion of the current restaurant, bar and other entertainment uses at the basement level to the first and second floors of the Swedish American Hall. This change will increase public accessibility to the historical building as the new tenants are working with the building owners to install a new ADA elevator and bathrooms. The restaurant use on the ground floor will help revive along dormant street frontage in a neighborhood that is seeing a lot of revitalization. The new tenants also have a great track record of neighborhood serving restaurant operation in San Francisco and granting them this expansion will therefor promote local business.

Sincerely,
Lindsay Pollak
481 Elizabeth St. #1

From: [Barney Bannan](#)
To: [Noel Casey](#)
Subject: Support for Granting Conditional for Swedish American Hall
Date: Thursday, December 26, 2013 9:29:35 PM

As a music lover and musician that has played a few gigs at the Swedish American Hall, I support the expansion of the current restaurant, bar and other entertainment uses at the basement level to the first and second floors of the Swedish American Hall. This change will increase public accessibility to the historical building as the new tenants are working with the building owners to install a new ADA elevator and bathrooms. The restaurant use on the ground floor will help revive a long dormant street frontage in a neighborhood that is seeing a lot of revitalization. The new tenants also have a great track record of neighborhood serving restaurant operation in San Francisco and granting them this expansion will therefor promote local business.

Sincerely,
Barney Bannan
558 9th Ave
SF, CA
94118

From: [Mark McHale](#)
To: [Noel, Casey](#)
Subject: Support of proposed expansion of services at the Swedish Hall...
Date: Wednesday, December 25, 2013 7:21:05 PM

Hi Casey Noel-

I am writing to express my sincere and enthusiastic support of the project at the Swedish Hall being put forth by Dylan MacNiven and his crew. As a resident, local business man, board person for both MUMC (now Castro Merchants) and the Eureka Valley Neighborhood Association (EVNA), I think expanding the food service and the beverage/liquor licence is a great idea, will help to keep in tact the rich historical significance of the property, and will be a great resource for the growing neighborhood.

Happy New Year!

Mark D. McHale

Realtor BRE# 01243912
Vanguard Properties
555 Castro Street
San Francisco, CA 94114
415.735.8037
mark@markdmchale.com
www.markdmchale.com
FB: SFRealtor

From: [Joel Bubeck](#)
To: [Noel, Casey](#)
Subject: Swedish American Hall Expansion
Date: Sunday, December 15, 2013 2:32:08 PM

Dear Mr. Noel:

My name is Joel Bubeck and I own the property at 151 Sanchez St that adjoins the rear of the Swedish American Hall. I support the proposed expansion of use for case number 2013.1420C that is to go before the Planning Commission. I believe in my discussions with the management group that they take their responsibilities to work with the community seriously and will make good neighbors in the future.

Joel Bubeck
151 Sanchez St
San Francisco, CA 94114



REVITALIZING THE
SWEDISH
AMERICAN HALL

Dylan MacNiven
Enrique Landa

Enrique Landa & Dylan MacNiven
2170 Market Street
San Francisco, CA 94114

January 1st, 2014

San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Rodney Fong, Commission President
Cindy Wu, Commission Vice President
Michael J. Antonini, Commissioner
Gwyneth Borden, Commissioner
Rich Hillis, Commissioner
Kathrin Moore, Commissioner
Hisashi Sugaya, Commissioner

CC: Casey Noel, Planner

RE: Swedish American Hall, 2174 Market Street Case ID: 2013.1420C

Honorable Planning Commissioners,

The Swedish American Hall at 2170 Market Street at Sanchez Street is a treasured and historic building in the midst of one of San Francisco's most rapidly changing neighborhoods, the Upper Market area.

Since its completion in 1907, the building has been home of the Swedish Society of San Francisco and has ably served the surrounding neighborhood. The 18,000 square feet Hall was designed by respected San Francisco architect August Nordin and consists of the private quarters of the Swedish Society, a downstairs lounge, the Café du Nord, which is currently operating as a music club, two dormant ground-floor retail spaces and four magnificent event rooms on the first and second levels. During its 107-year history it has hosted countless meetings, festivals, concerts, weddings, dances and banquets.

We write to you today, asking for your support and approval of the Conditional Use Authorization before you that will allow us to revitalize this underutilized community resource and prepare it to serve the neighborhood and San Francisco for the next hundred years. Our aim for the Café du Nord and the Swedish American Hall is to preserve its history and greatly expand community access to the building.

Currently, public access to the Hall is very limited. The building is only open to the public only four to five nights a week for ticketed music events in the basement lounge, the event space is available only to private events and the ground floor retail spaces have been dormant for at least five years. As of today, the only level fully licensed to serve the

public is the basement and access to the building has been further limited by the lack of an elevator.

Our centerpiece of our plan for greater access has been the revival of a shelved, but fully permitted plan to install an elevator to all floors of the building and updating the bathrooms to current ADA standards. We have arranged the necessary financing to begin this barrier removal project in 2014, 107 years after an elevator was originally proposed for the building. The vertical transportation to all floors of the building will provide far greater access to the building for the community, allowing vastly greater access for basement lounge and the meeting spaces on the second and third floors.

In seeking the expansion of the current use to all floors, our plan is provide for greater uses for the building as a whole and expand the public's access to this historic building. The downstairs level currently operating as a live music venue, will be updated with food and beverage program more consistent with offerings in San Francisco. The ticketed music events will be reduced in order to provide greater accessibility to the general public to the historic lounge that retains its original bar and many period details from 1907. At the ground level, the restaurant will be expanded to the retail spaces, one of which previously housed a café, activating the spaces, increasing foot-traffic and activity along a quiet stretch of Market St. The events space and banquet rooms to will be available to public events and open to broader programming including speaker series, conferences, recitals, debates, banquets, meetings and public musical performances.

Since embarking on this project we have worked with the community and our neighbors to understand their goals and concerns for this building. One resonating theme has been the desire to see that the Swedish American Hall be preserved and protected through a landmark designation. We are happy to report that as a part of our project, we have been able convince the Swedish Society, who sent enclosed letter to the Planning Department last month, to reinitiate the preservation process. We will begin work with Tim Frye and his team on the historical designation later this month.

Granting this Conditional Use Authorization will allow the Swedish American Hall to remain one of the focal points of the Upper Market Neighborhood. Few buildings have as much to offer the community and with the proposed improvements, the building will be more accessible to the public and a far better resource for the city. We respectfully ask for your approval and support of our project.

Sincerely,

Enrique Landa & Dylan MacNiven

Enclosures (3): Swedish American Hall Plans and Pictures, Historical Preservation Letter



SWEDISH AMERICAN HALL

Tim Frye
Preservation Coordinator
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Mr. Frye,

This letter is to inform you that the Board of the Swedish Society of San Francisco, the owner of the Swedish American Hall located 2168 -2174 Market Street, has allowed me to initiate the San Francisco Landmark process with the San Francisco Planning Department of designating our building as a historical landmark.

Our Society and our master tenant, UMV, look forward to working with your staff to research the history of our 106 year-old building and protecting its place in San Francisco History.

Sincerely,

Bengt Sandberg
Treasurer
The Swedish Society of San Francisco



DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TELE AND/OR DATA OUTLET TO BE REMOVED.
	EXISTING ELECTRICAL OUTLET TO BE REMOVED.
	EXISTING POWER FLOOR MONUMENT TO BE REMOVED.
	EXISTING TELE AND/OR DATA FLOOR MONUMENT TO BE CAPPED.
	EXISTING FLUSH DUPLEX OUTLET TO BE CAPPED.
	EXISTING FLUSH TELEPHONE AND/OR DATA OUTLET TO BE CAPPED.
	EXISTING DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED. RETURN TO BUILDING MANAGER, AS DIRECTED.
	EXISTING PARTITION TO BE DEMOLISHED.
	EXISTING NON-RATED CEILING HIGH PARTITION TO REMAIN.
	EXISTING LOW-HEIGHT PARTITION TO REMAIN.
	EXISTING ONE-HOUR RATED PARTITION TO REMAIN.
	EXISTING TWO-HOUR RATED PARTITION TO REMAIN.
	EXISTING FLOOR-TO-CEILING WINDOW TO REMAIN.
	EXISTING PARTIAL-HEIGHT WINDOW TO REMAIN.

- KEYNOTES**
- (X) REMOVE (E) FLOOR FINISH THROUGHOUT OR IN THIS AREA AS REQUIRED FOR NEW FINISH
 - (X) REMOVE (E) WALL FINISH AT THIS LOCATION TO PREPARE FOR NEW FINISH AS SCHEDULED.
 - (X) REMOVE (E) CEILING ASSEMBLY IN THIS AREA. [USE ONLY IF THERE IS NO DEMO RCP]
 - (X) REMOVE (E) BASE IN THIS ROOM
 - (X) REMOVE (E) WINDOW COVERING
 - (X) REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE IN THIS ROOM.
 - (X) REMOVE (E) MILLWORK AND SALVAGE FOR RELOCATION.
 - (X) REMOVE (E) PLUMBING FIXTURES AND SALVAGE FOR RELOCATION.
 - (X) REMOVE EXISTING LIGHT FIXTURES AND SALVAGE FOR RELOCATION

- SHEET NOTES**
1. REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION INCLUDING SELECTIVE DEMOLITION, PROTECTION AND CUTTING OF EXISTING CONSTRUCTION.
 2. ITEMS TO BE SALVAGED FOR REUSE:
 - A. [XXXX].
 - B. [XXXX].
 3. ITEMS TO BE SALVAGED FOR RETURN TO OWNER:
 - A. [XXXX].
 - B. [XXXX].
 4. EXISTING WINDOW COVERING IS TO BE REMOVED DURING CONSTRUCTION, CLEANED, AND REINSTALLED FOR REUSE.
 5. EXISTING WINDOW COVERING IS TO BE REMOVED DURING CONSTRUCTION, CLEANED, AND REINSTALLED FOR REUSE. [OR - EXISTING WINDOW COVERING IS TO BE DRAWN OPEN AND BAGGED DURING CONSTRUCTION.]
 6. REMOVE ALL EXISTING ELECTRICAL OUTLETS AND DEVICES IN CONSTRUCTION SHOWN TO BE DEMOLISHED. REMOVE ALL WIRING AND CONDUIT BACK TO SOURCE AND CAP ACCORDINGLY.
 7. WHERE LIGHT FIXTURES HAVE BEEN DEMOLISHED, REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO SOURCE.
 8. (E) LIFE SAFETY SYSTEM TO REMAIN INTACT AND OPERATIONAL THROUGHOUT DEMOLITION.

NO	DATE	ISSUE	BY/CHECK

H HUNTSMAN

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 50 California Street Seventh Floor San Francisco California 94111
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**SWEDISH AMERICAN HALL
 BARRIER REMOVAL**

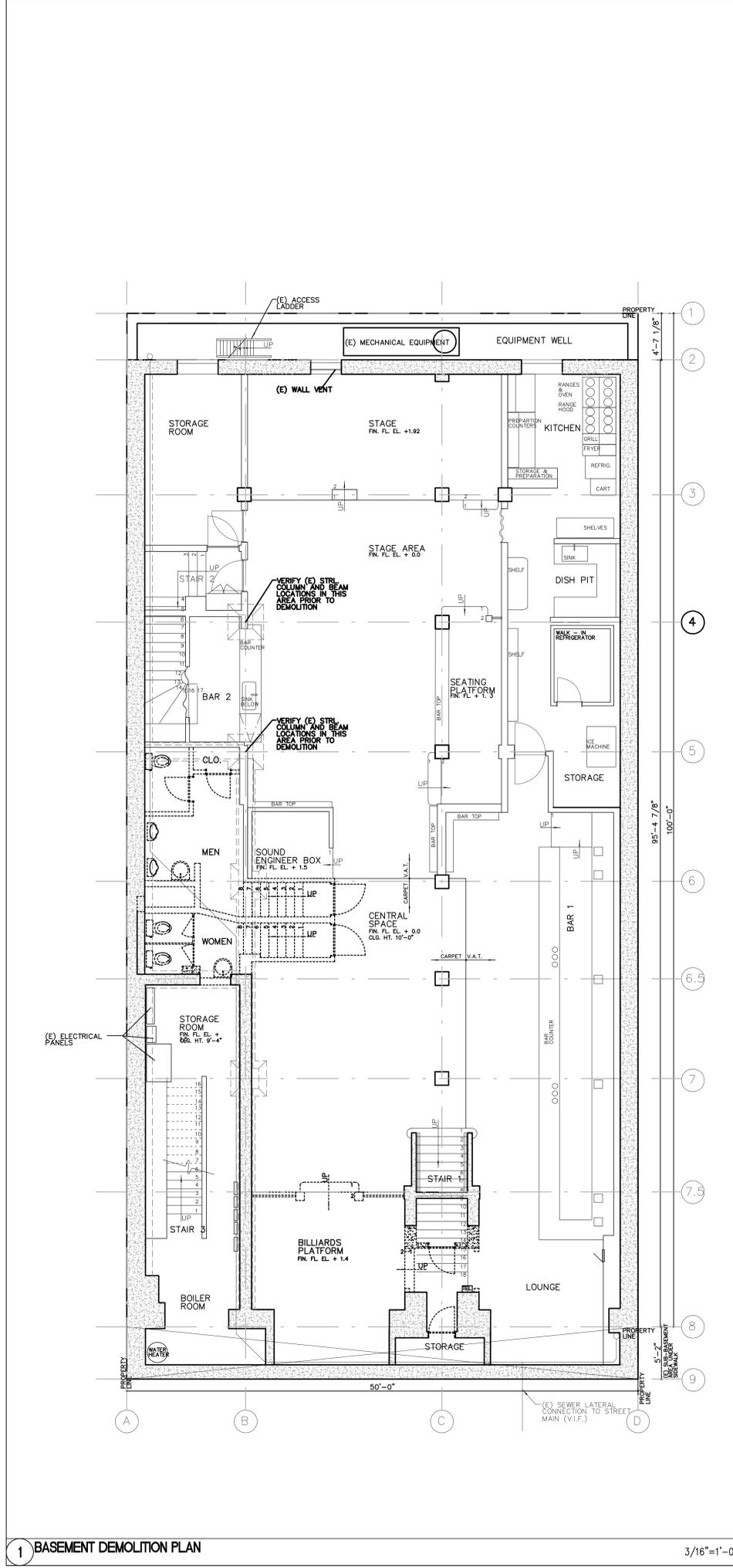
**2174 MARKET STREET
 SAN FRANCISCO, CA 94114**

PROJECT: 08076-01
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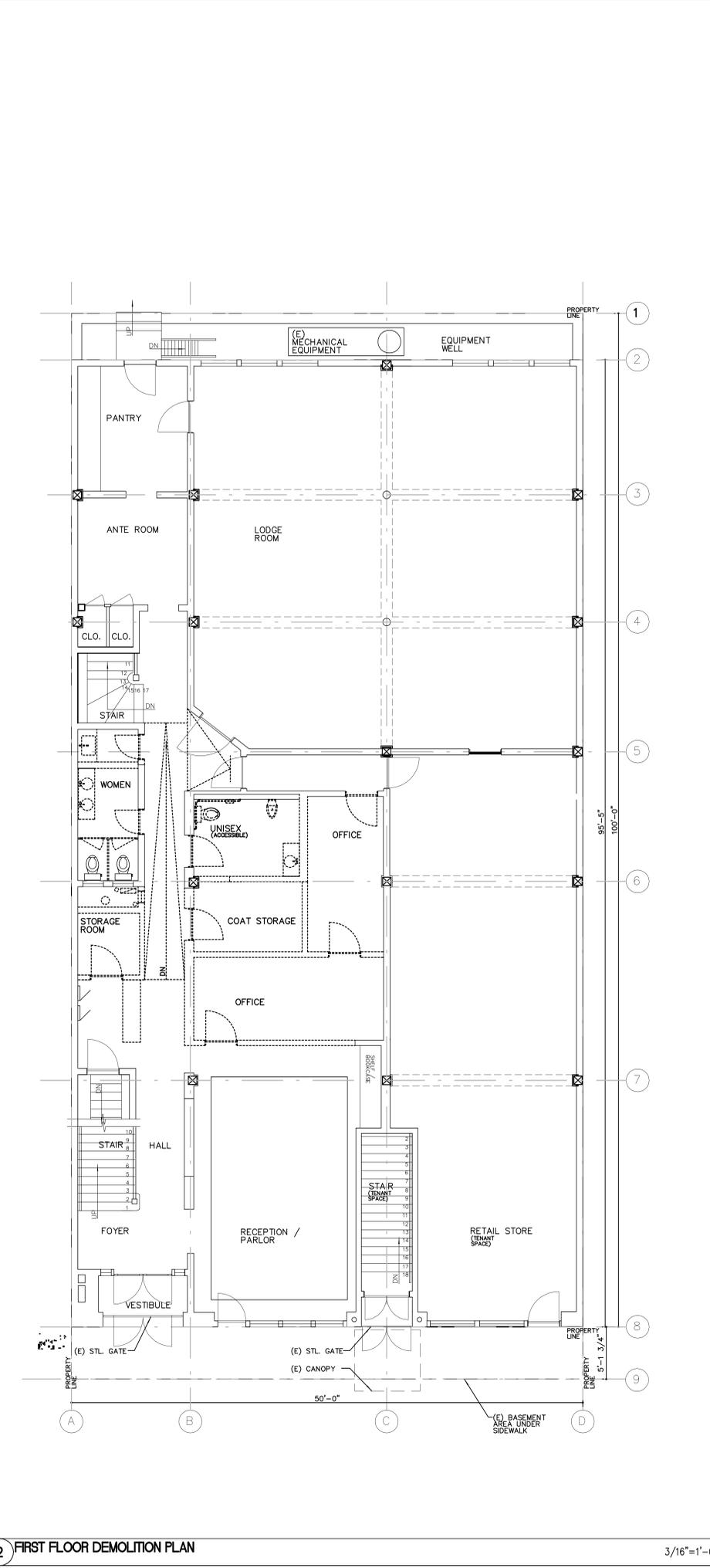
**BASEMENT AND FIRST FLOOR
 DEMOLITION PLAN**

3/16"=1'-0"

A-3.1



1 BASEMENT DEMOLITION PLAN 3/16"=1'-0"



2 FIRST FLOOR DEMOLITION PLAN 3/16"=1'-0"

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING TELE AND/OR DATA OUTLET TO BE REMOVED.
	EXISTING ELECTRICAL OUTLET TO BE REMOVED.
	EXISTING POWER FLOOR MONUMENT TO BE REMOVED.
	EXISTING TELE AND/OR DATA FLOOR MONUMENT TO BE CAPPED.
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	EXISTING FLUSH TELEPHONE AND/OR DATA OUTLET TO BE CAPPED.
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	EXISTING PARTITION TO BE DEMOLISHED.
	EXISTING NON-RATED CEILING HIGH PARTITION TO REMAIN.
	EXISTING LOW-HEIGHT PARTITION TO REMAIN.
	EXISTING ONE-HOUR RATED PARTITION TO REMAIN.
	EXISTING TWO-HOUR RATED PARTITION TO REMAIN.
	EXISTING FLOOR-TO-CEILING WINDOW TO REMAIN.
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- (X) REMOVE (E) BASE IN THIS ROOM
- (X) REMOVE (E) WINDOW COVERING
- (X) REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE IN THIS ROOM.
- (X) REMOVE (E) MILLWORK AND SALVAGE FOR RELOCATION.
- (X) REMOVE (E) PLUMBING FIXTURES AND SALVAGE FOR RELOCATION.
- (X) REMOVE EXISTING LIGHT FIXTURES AND SALVAGE FOR RELOCATION

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8. (E) LIFE SAFETY SYSTEM TO REMAIN INTACT AND OPERATIONAL THROUGHOUT DEMOLITION.

NO DATE ISSUE BY/CHECK



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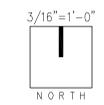
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**SWEDISH AMERICAN HALL
BARRIER REMOVAL**

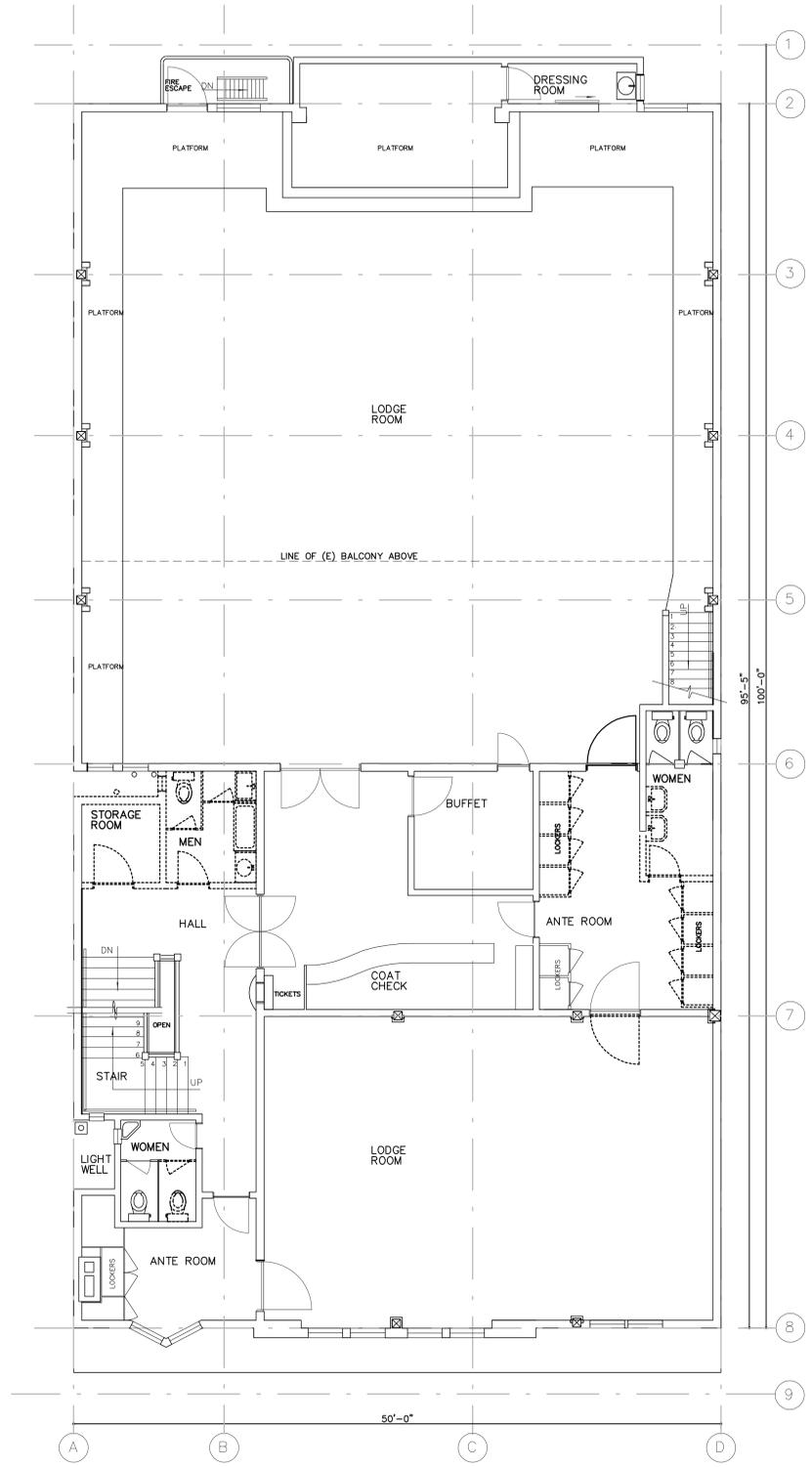
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 Fit\\Plot\\A-3.2.dwg

**SECOND FLOOR AND MEZZANINE
DEMOLITION PLAN**

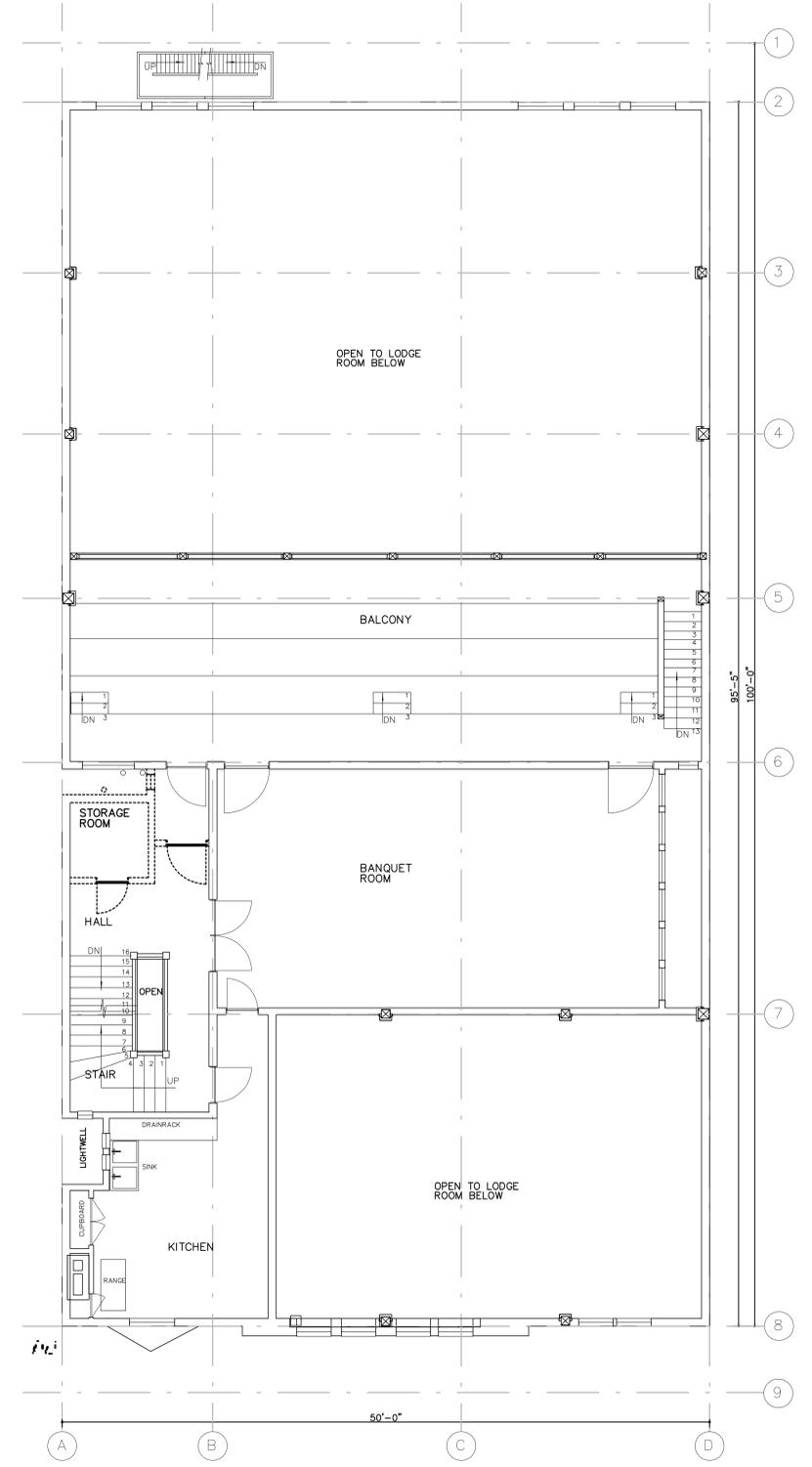


A-3.2

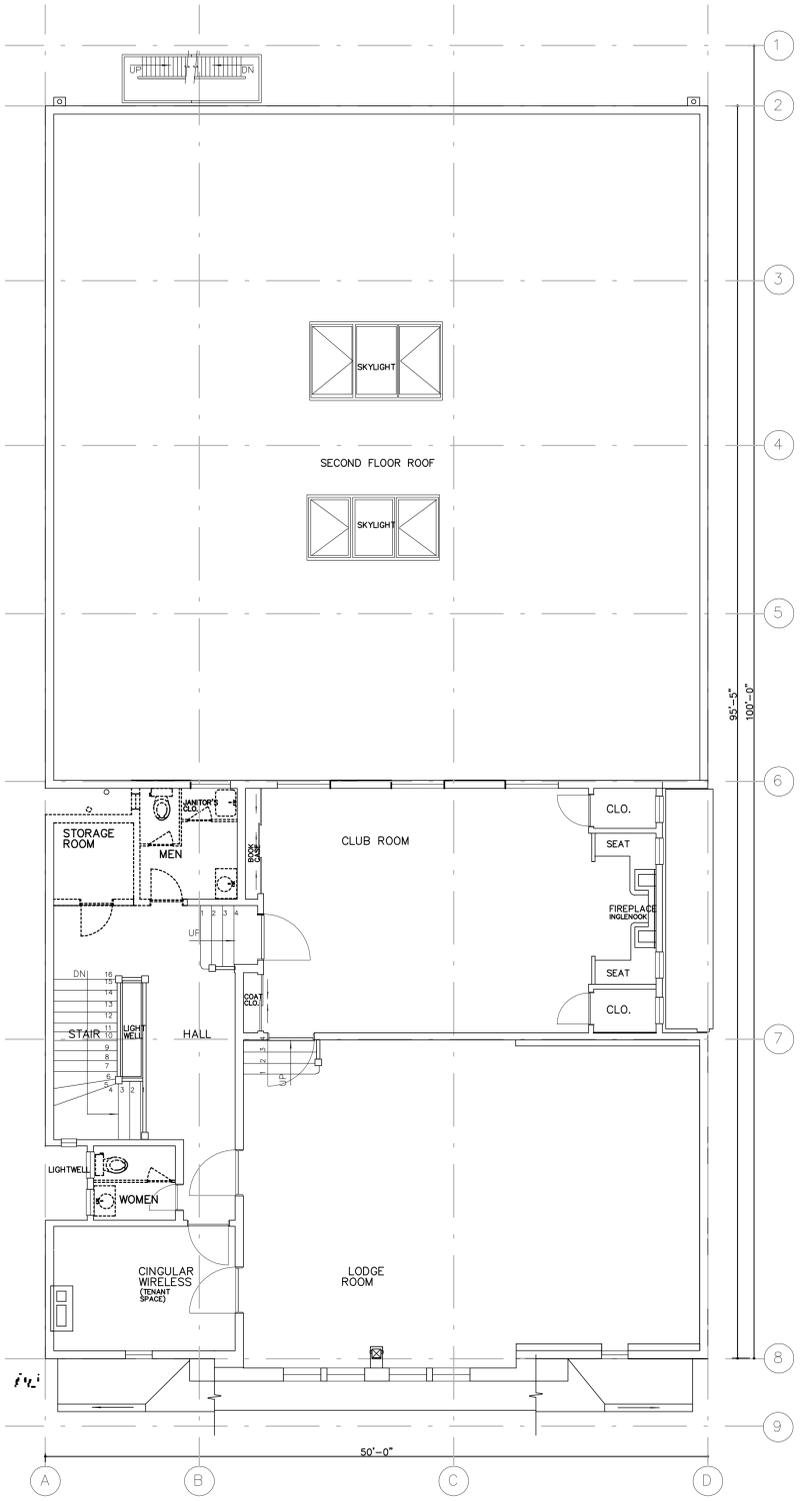


1 BASEMENT DEMOLITION PLAN

2 FIRST FLOOR DEMOLITION PLAN

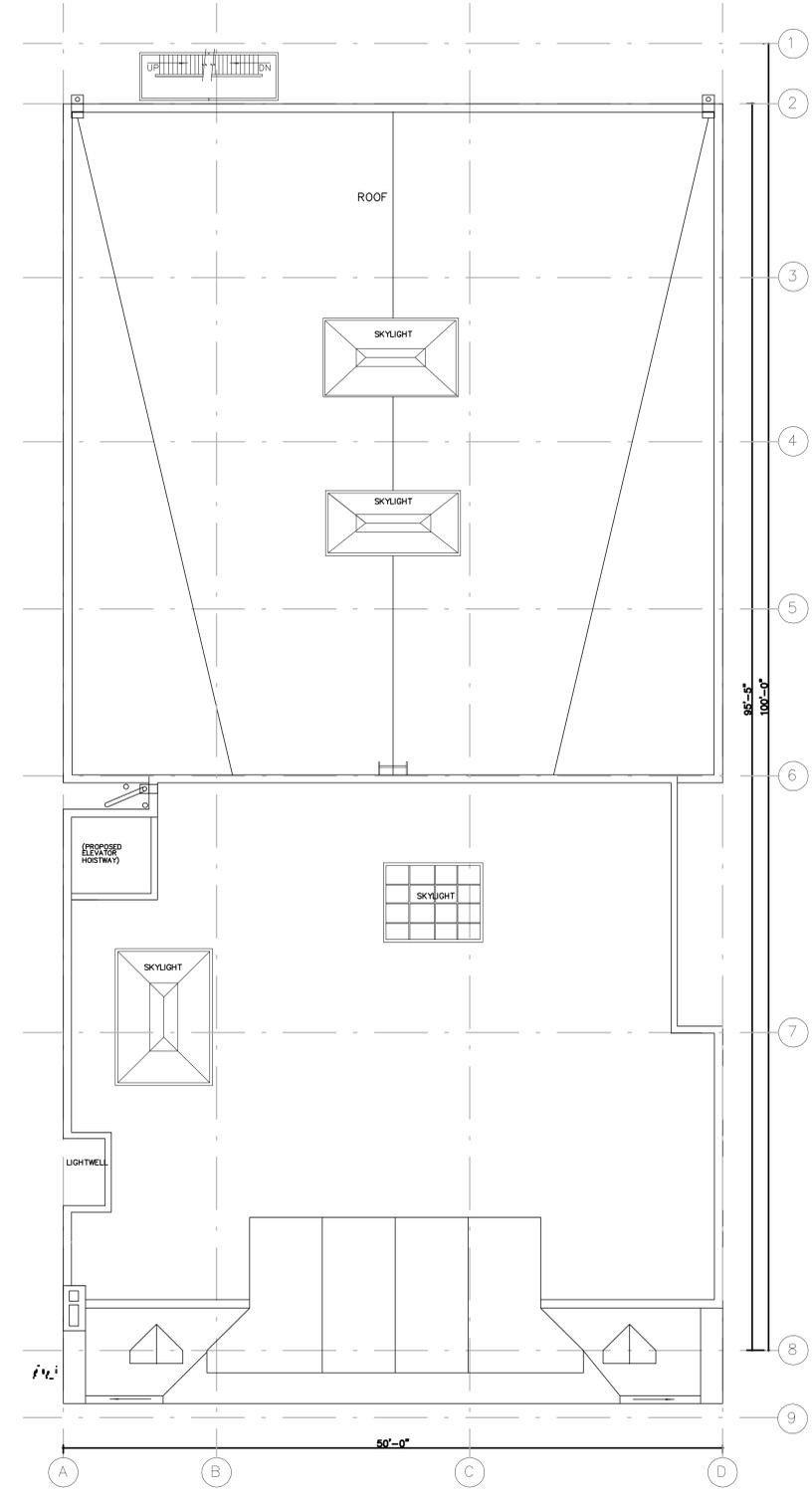


3/16"=1'-0"



1 BASEMENT DEMOLITION PLAN

3/16"=1'-0" 2 FIRST FLOOR DEMOLITION PLAN



3/16"=1'-0"

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TELE AND/OR DATA OUTLET TO BE REMOVED.
	EXISTING ELECTRICAL OUTLET TO BE REMOVED.
	EXISTING POWER FLOOR MONUMENT TO BE REMOVED.
	EXISTING TELE AND/OR DATA FLOOR MONUMENT TO BE CAPPED.
	EXISTING FLUSH DUPLEX OUTLET TO BE CAPPED.
	EXISTING FLUSH TELEPHONE AND/OR DATA OUTLET TO BE CAPPED.
	EXISTING DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED. RETURN TO BUILDING MANAGER, AS DIRECTED.
	EXISTING PARTITION TO BE DEMOLISHED.
	EXISTING NON-RATED CEILING HIGH PARTITION TO REMAIN.
	EXISTING LOW-HEIGHT PARTITION TO REMAIN.
	EXISTING ONE-HOUR RATED PARTITION TO REMAIN.
	EXISTING TWO-HOUR RATED PARTITION TO REMAIN.
	EXISTING FLOOR-TO-CEILING WINDOW TO REMAIN.
	EXISTING PARTIAL-HEIGHT WINDOW TO REMAIN.

- KEYNOTES**
- (X) REMOVE (E) FLOOR FINISH THROUGHOUT OR IN THIS AREA AS REQUIRED FOR NEW FINISH
 - (X) REMOVE (E) WALL FINISH AT THIS LOCATION TO PREPARE FOR NEW FINISH AS SCHEDULED.
 - (X) REMOVE (E) CEILING ASSEMBLY IN THIS AREA. [USE ONLY IF THERE IS NO DEMO RCP]
 - (X) REMOVE (E) BASE IN THIS ROOM
 - (X) REMOVE (E) WINDOW COVERING
 - (X) REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE IN THIS ROOM.
 - (X) REMOVE (E) MILLWORK AND SALVAGE FOR RELOCATION.
 - (X) REMOVE (E) PLUMBING FIXTURES AND SALVAGE FOR RELOCATION.
 - (X) REMOVE EXISTING LIGHT FIXTURES AND SALVAGE FOR RELOCATION

- SHEET NOTES**
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 2. ITEMS TO BE SALVAGED FOR REUSE:
 - A. [XXXX].
 - B. [XXXX].
 3. ITEMS TO BE SALVAGED FOR RETURN TO OWNER:
 - A. [XXXX].
 - B. [XXXX].
 4. EXISTING WINDOW COVERING IS TO BE REMOVED DURING CONSTRUCTION, CLEANED, AND REINSTALLED FOR REUSE.
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 6. REMOVE ALL EXISTING ELECTRICAL OUTLETS AND DEVICES IN CONSTRUCTION SHOWN TO BE DEMOLISHED. REMOVE ALL WIRING AND CONDUIT BACK TO SOURCE AND CAP ACCORDINGLY.
 7. WHERE LIGHT FIXTURES HAVE BEEN DEMOLISHED, REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO SOURCE.
 8. (E) LIFE SAFETY SYSTEM TO REMAIN INTACT AND OPERATIONAL THROUGHOUT DEMOLITION.

NO DATE ISSUE BYCHECK



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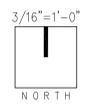
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**SWEDISH AMERICAN HALL
 BARRIER REMOVAL**

**2174 MARKET STREET
 SAN FRANCISCO, CA 94114**

PROJECT: 08076-01
 PLOTTER: 10.11.13 | 8:22 AM BY: vnh
 CREATOR: 02.20.09 BY: XXX
 FILE: ...\\Swedish_08076\\S01_ElevRetro
 Fit\\Plot\\A-3.3.dwg

**THIRD FLOOR AND ROOF
 DEMOLITION PLAN**



A-3.3

CONSTRUCTION PLAN LEGEND

SYMBOL DESCRIPTION	SYMBOL DESCRIPTION
DOOR AND DOOR FRAME	NEW NON RATED CEILING-HIGH PARTITION.
DOOR NUMBER	NEW LOW-HEIGHT PARTITION. HEIGHT AS NOTED.
ROOM NAME/NUMBER KEY	NEW ONE-HOUR RATED PARTITION TO STRUCTURE ABOVE.
ELEVATION KEY	NEW TWO-HOUR RATED PARTITION TO STRUCTURE ABOVE.
ELEVATION NUMBER	NEW ONE-HOUR RATED ACOUSTICAL PARTITION TO STRUCTURE ABOVE.
SHEET NUMBER	NEW NON-RATED ACOUSTICAL PARTITION TO STRUCTURE ABOVE.
ORIENTATION	NEW FLOOR-TO-CEILING WINDOW. NUMBER DENOTES SILL HEIGHT.
DETAIL KEY	NEW PARTIAL-HEIGHT WINDOW. NUMBER DENOTES SILL HEIGHT.
DETAIL NUMBER	
SHEET NUMBER	
WALL TAG (SEE 10/XXX-9.0)	
WALL TYPE	
ACOUSTICAL	
EXISTING CONSTRUCTION TO REMAIN.	
EXISTING ONE HOUR RATED PARTITION TO REMAIN.	
EXISTING LOW HEIGHT PARTITION TO REMAIN.	
EXISTING FLOOR-TO-CEILING WINDOW TO REMAIN.	
EXISTING PARTIAL-HEIGHT WINDOW TO REMAIN.	

KEYNOTES

- (NX) PROVIDE NEW FIRE EXTINGUISHER AND CABINET PER DETAIL [X/A9.X].
- (E) FIRE EXTINGUISHER AND CABINET TO REMAIN.
- (NX) LINE OF SOFFIT ABOVE.
- (NX) PROVIDE NEW TACTILE EXIT SIGNAGE PER DETAIL [X/A9.X].
- (NX) CONTRACTOR TO VERIFY THAT CONSTRUCTION OF (E) PARTITION MEETS THE REQUIREMENT FOR [ONE]-HOUR RATING. MODIFY PARTITION IF REQUIRED TO MEET REQUIREMENTS OF PARTITION RATING, SEE DETAIL [X/A9.X].
- (NX) PROVIDE [INDICATE SIZE] x 3/4" THICK FIRE-RETARDANT TREATED PLYWOOD TELEPHONE EQUIPMENT BACKBOARD PER DETAIL [X/A9.X].
- (NX) PROVIDE 1/4" COPPER COLD WATER LINE TO ICE MAKER AT REFRIGERATOR.
- (NX) PROVIDE 1/4" COPPER COLD WATER LINE TO COFFEE EQUIPMENT.
- (NX) PROVIDE CORNER GUARD PER DETAIL [X/A9.X].
- (NX) PROVIDE UPPER AND LOWER CABINETS WITH COUNTER TOP. [EXPAND NOTE TO DESCRIBE MILLWORK, USE ONLY IF THERE IS NO ELEVATION.]
- (NX) PROVIDE WHITEBOARD PER DETAIL [X/A9.X].
- (NX) PROVIDE HANDRAIL PER DETAIL [X/A9.X].
- (NX) AREA OPEN TO BELOW.
- (NX) RAMP WITH MAXIMUM SLOPE OF 1:12; SEE DETAIL [X/A9.X].
- (NX) PROVIDE FLOOR DRAIN; SEE PLUMBING DRAWINGS
- (NX) PROVIDE STAIRWAY FLOOR NUMBER SIGNAGE PER DETAIL [X/A9.X].
- (NX) REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS ROOM.
- (NX) RELOCATED SINK [MILLWORK ETC. - INDICATE ITEM].
- (NX) PROVIDE LEVEL 5 FINISH AT THIS SURFACE FOR SPECIAL FINISH AS SCHEDULED. SEE FINISH PLAN FOR EXTENT.
- (NX) PATCH AND REPAIR AREAS WHERE WALLCOVERING HAS BEEN REMOVED. PREP FOR NEW SCHEDULED FINISH.

SHEET NOTES

1. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE OF GYPSUM BOARD (U.O.N.). ALL VERTICAL DIMENSIONS ARE ABOVE FINISHED FLOOR.
2. ALL DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE EDGE OF WINDOW FLOOR PLATE, (U.O.N.).
3. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
4. THE CONTRACTOR SHALL PROVIDE LINE AND GRADE MARKINGS ON THE FINISH FLOOR FOR RECTIFYING UNLEVEL FLOOR CONDITIONS. ANY FLOOR OUT OF LEVEL MORE THAN 1/4" IN 10'-0" SHALL BE MADE TO BE LEVEL OVER ENTIRE DISTANCE.
5. THERE SHALL BE A MINIMUM OF 18" CLEAR TO THE NEAREST RETURNING PARTITION, PERMANENT FIXTURE OR MULLION AT THE LATCH SET PULL SIDE OF ALL DOORS.
6. THE CONTRACTOR SHALL PATCH AND REPAIR GYPSUM BOARD SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE NEW WORK IS TO OCCUR.
7. THE CONTRACTOR SHALL PROVIDE NECESSARY BACKING FOR WALL MOUNTED ITEMS INCLUDING NOT LIMITED TO HANDRAILS, CABINETS, COUNTERS, GRAB BARS, LOCKERS, AND FIXTURES. BACKING SHALL BE FIRE-RETARDANT-TREATED WOOD BLOCKING AS REQUIRED BY CODE OR HEAVY GAUGE SHEET METAL STRAPPING. REFER TO DETAIL [12/A-9.0] FOR ADDITIONAL INFORMATION.
8. ABOVE-CEILING BRACING FOR DOOR FRAME IS NOT REQUIRED AT DOOR JAMBS LOCATED 6" OR LESS FROM 90 DEGREE PARTITION INTERSECTION. REPAIR OR REPLACE ALL SPRAY-ON FIREPROOFING WHERE METAL DECK / BEAM / COLUMNS WERE EXPOSED DURING, OR PRIOR TO DEMOLITION. THICKNESS TO BE DETERMINED PER MANUFACTURER'S SPECIFICATIONS TO MATCH RATING OF EXISTING ADJACENT FIREPROOFING.
9. FOR RESTROOM TACTILE SIGNAGE REQUIREMENTS, SEE SHEET [XXA-9.X].

NO DATE ISSUE BY/CHECK



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BARRIER REMOVAL**

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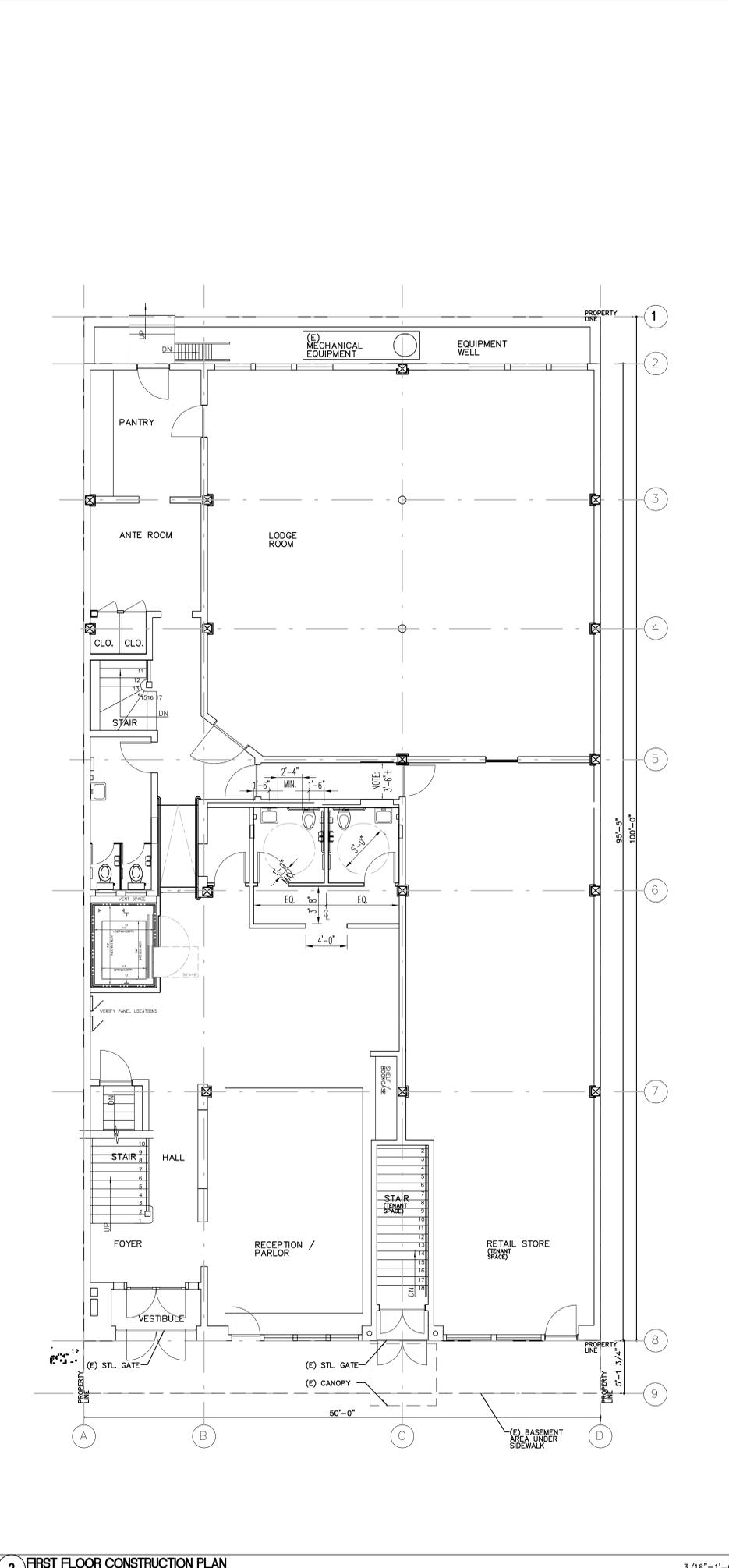
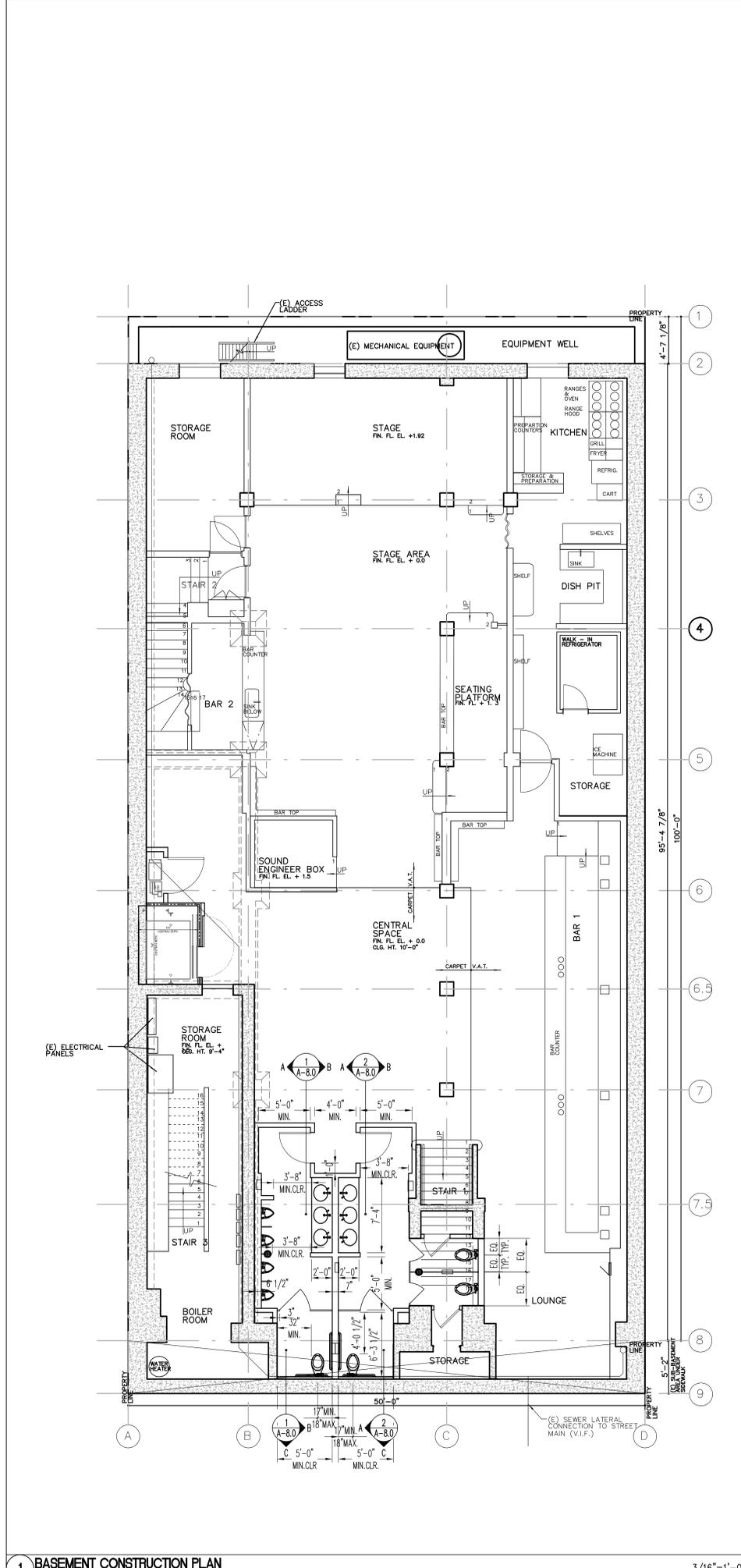
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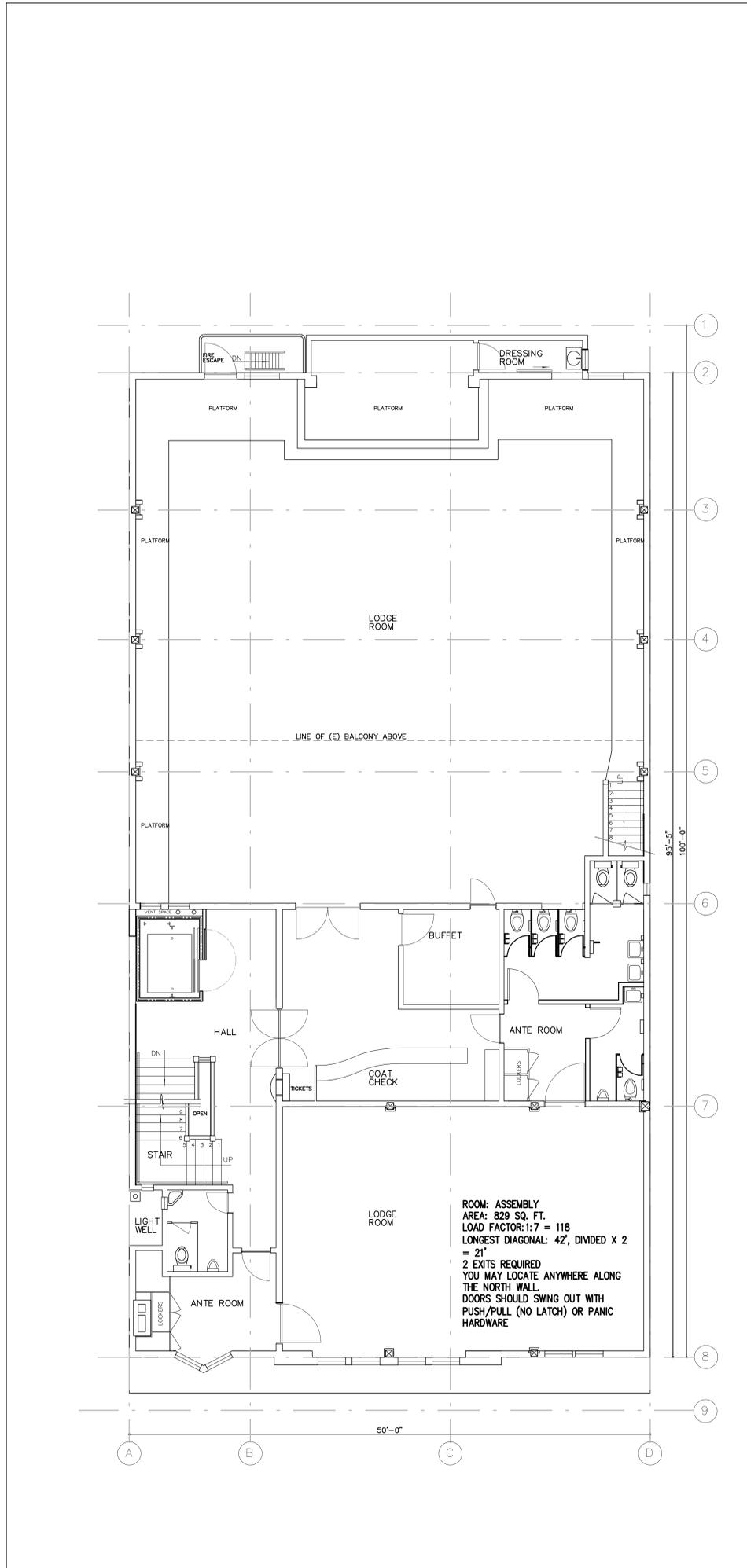
**BASEMENT AND FIRST FLOOR
CONSTRUCTION PLAN**

3/16"=1'-0"

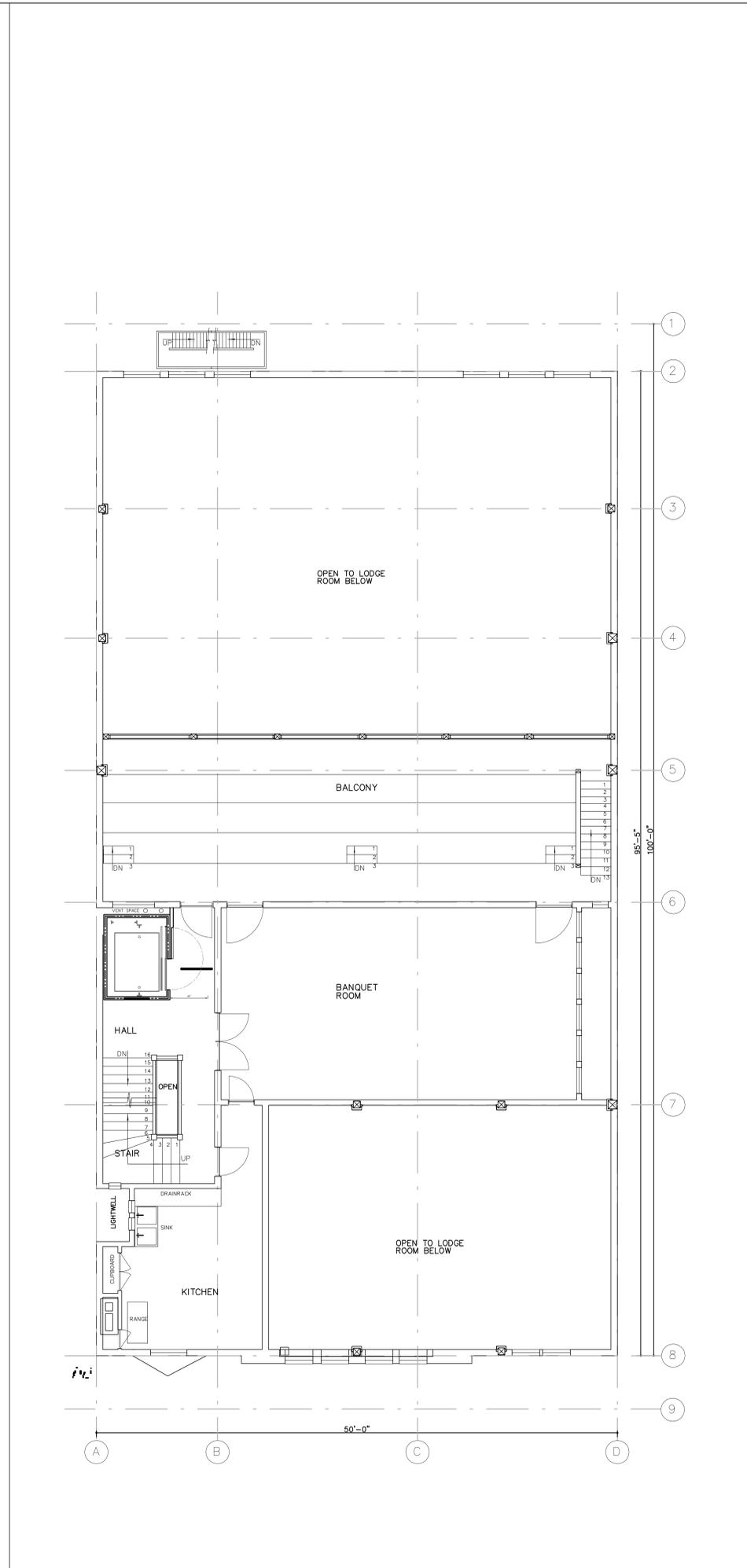


A-4.1





1 SECOND FLOOR CONSTRUCTION PLAN 3/16"=1'-0"



2 MEZZANINE CONSTRUCTION PLAN 3/16"=1'-0"

CONSTRUCTION PLAN LEGEND

SYMBOL DESCRIPTION	SYMBOL DESCRIPTION
DOOR AND DOOR FRAME	NEW NON RATED CEILING-HIGH PARTITION.
DOOR NUMBER	NEW LOW-HEIGHT PARTITION. HEIGHT AS NOTED.
ROOM NAME/NUMBER KEY	NEW ONE-HOUR RATED PARTITION TO STRUCTURE ABOVE.
ELEVATION KEY	NEW TWO-HOUR RATED PARTITION TO STRUCTURE ABOVE.
ELEVATION NUMBER	NEW ONE-HOUR RATED ACOUSTICAL PARTITION TO STRUCTURE ABOVE.
SHEET NUMBER	NEW NON-RATED ACOUSTICAL PARTITION TO STRUCTURE ABOVE.
ORIENTATION	NEW FLOOR-TO-CEILING WINDOW. WINDOW TYPE WHEN INDICATED.
DETAIL KEY	NEW PARTIAL-HEIGHT WINDOW. NUMBER DENOTES SILL HEIGHT.
DETAIL NUMBER	
SHEET NUMBER	
WALL TAG (SEE 10/XXX-9.0)	
WALL TYPE	
ACOUSTICAL	
EXISTING CONSTRUCTION TO REMAIN.	
EXISTING ONE HOUR RATED PARTITION TO REMAIN.	
EXISTING LOW HEIGHT PARTITION TO REMAIN.	
EXISTING FLOOR-TO-CEILING WINDOW TO REMAIN.	
EXISTING PARTIAL-HEIGHT WINDOW TO REMAIN.	

- ### KEYNOTES
- PROVIDE NEW FIRE EXTINGUISHER AND CABINET PER DETAIL [X/A9.X].
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 - PROVIDE UPPER AND LOWER CABINETS WITH COUNTER TOP. [EXPAND NOTE TO DESCRIBE MILLWORK, USE ONLY IF THERE IS NO ELEVATION.]
 - PROVIDE WHITEBOARD PER DETAIL [X/A9.X].
 - PROVIDE HANDRAIL PER DETAIL [X/A9.X].
 - AREA OPEN TO BELOW.
 - RAMP WITH MAXIMUM SLOPE OF 1:12; SEE DETAIL [X/A9.X].
 - PROVIDE FLOOR DRAIN; SEE PLUMBING DRAWINGS
 - PROVIDE STAIRWAY FLOOR NUMBER SIGNAGE PER DETAIL [X/A9.X].
 - REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS ROOM
 - RELOCATED SINK [MILLWORK ETC. - INDICATE ITEM].
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**SWEDISH AMERICAN HALL
BARRIER REMOVAL**

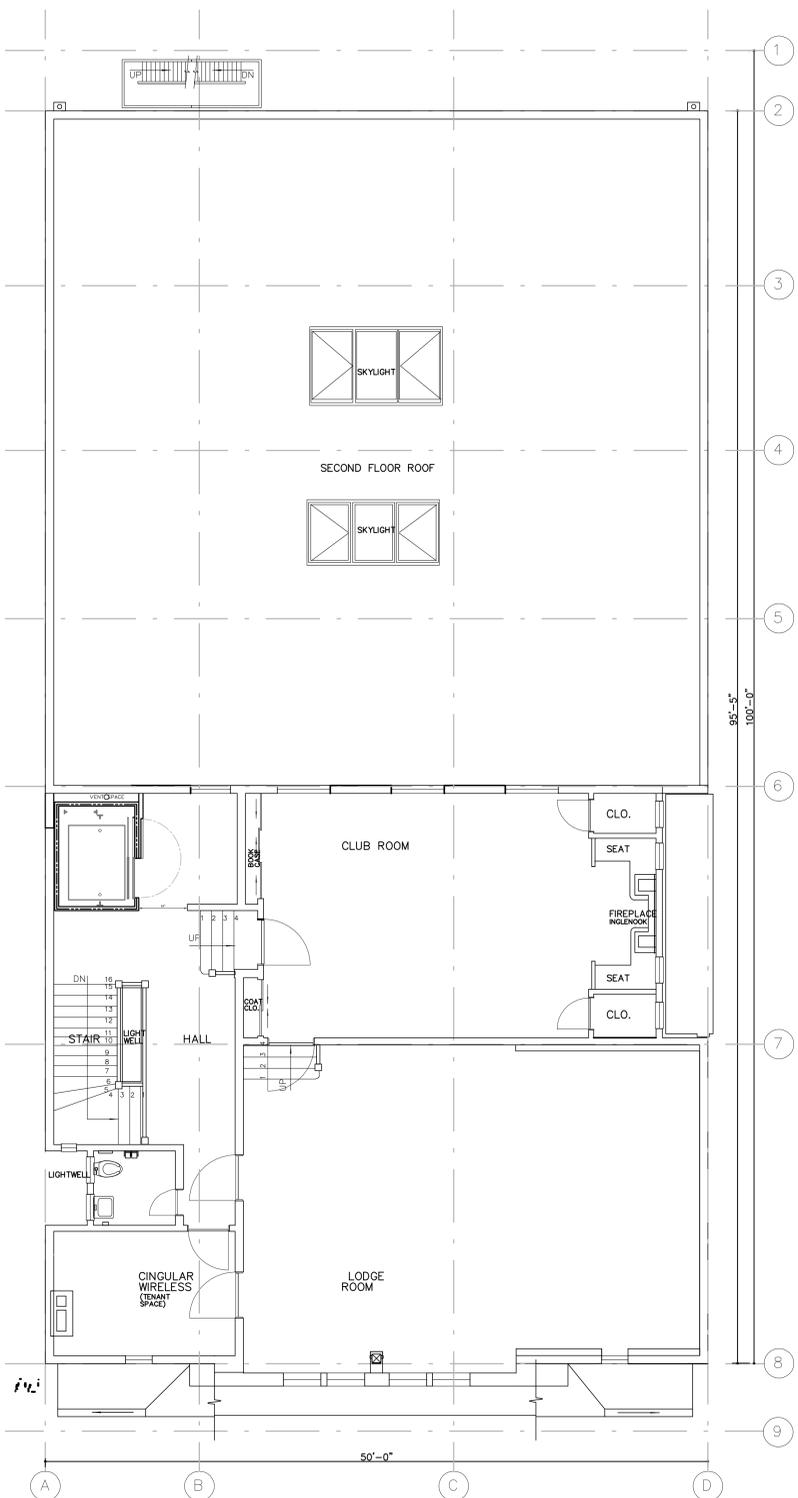
**2174 MARKET STREET
SAN FRANCISCO, CA 94114**

PROJECT: 08076-01
PLOTTER: 10.14.13 | 11:43 AM BY: vnh
CREATOR: 02.20.09 BY: XXX
FILE: ...\\Swedish_08076\\S01_ElevRetro
Fit\\Plot\\A-4.2.dwg

**SECOND FLOOR AND MEZZANINE
CONSTRUCTION PLAN**

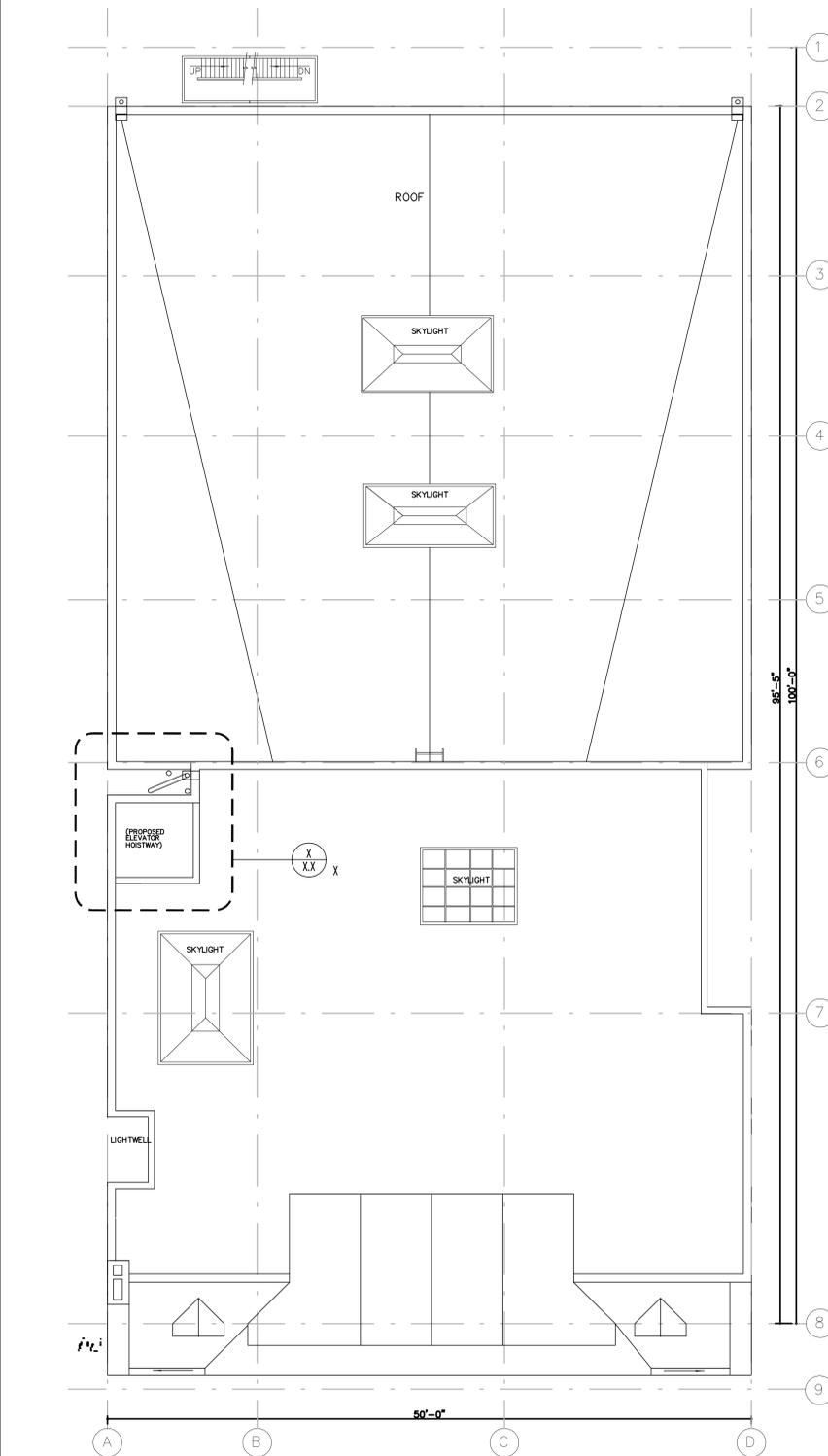
3/16"=1'-0"

A-4.2



1 THIRD FLOOR CONSTRUCTION PLAN

3/16"=1'-0"



2 ROOF CONSTRUCTION PLAN

3/16"=1'-0"

CONSTRUCTION PLAN LEGEND

SYMBOL DESCRIPTION	SYMBOL DESCRIPTION
DOOR AND DOOR FRAME	NEW NON RATED CEILING-HIGH PARTITION.
DOOR NUMBER	NEW LOW-HEIGHT PARTITION. HEIGHT AS NOTED.
ROOM NAME/NUMBER KEY	NEW ONE-HOUR RATED PARTITION TO STRUCTURE ABOVE.
ELEVATION KEY	NEW TWO-HOUR RATED PARTITION TO STRUCTURE ABOVE.
ELEVATION NUMBER	NEW ONE-HOUR RATED ACOUSTICAL PARTITION TO STRUCTURE ABOVE.
SHEET NUMBER	NEW NON-RATED ACOUSTICAL PARTITION TO STRUCTURE ABOVE.
ORIENTATION	NEW FLOOR-TO-CEILING WINDOW. WINDOW TYPE WHEN INDICATED.
DETAIL KEY	NEW PARTIAL-HEIGHT WINDOW. NUMBER DENOTES SILL HEIGHT.
DETAIL NUMBER	
SHEET NUMBER	
WALL TAG (SEE 10/XXA-9.0)	
WALL TYPE	
ACOUSTICAL	
EXISTING CONSTRUCTION TO REMAIN.	
EXISTING ONE HOUR RATED PARTITION TO REMAIN.	
EXISTING LOW HEIGHT PARTITION TO REMAIN.	
EXISTING FLOOR-TO-CEILING WINDOW TO REMAIN.	
EXISTING PARTIAL-HEIGHT WINDOW TO REMAIN.	

KEYNOTES

- (NX) PROVIDE NEW FIRE EXTINGUISHER AND CABINET PER DETAIL [X/A9.X].
- (E) FIRE EXTINGUISHER AND CABINET TO REMAIN.
- (NX) LINE OF SOFFIT ABOVE.
- (NX) PROVIDE NEW TACTILE EXIT SIGNAGE PER DETAIL [X/A9.X].
- (NX) CONTRACTOR TO VERIFY THAT CONSTRUCTION OF (E) PARTITION MEETS THE REQUIREMENT FOR [ONE]-HOUR RATING. MODIFY PARTITION IF REQUIRED TO MEET REQUIREMENTS OF PARTITION RATING, SEE DETAIL [X/A9.X].
- (NX) PROVIDE [INDICATE SIZE] x 3/4" THICK FIRE-RETARDANT TREATED PLYWOOD TELEPHONE EQUIPMENT BACKBOARD PER DETAIL [X/A9.X].
- (NX) PROVIDE 1/4" COPPER COLD WATER LINE TO ICE MAKER AT REFRIGERATOR.
- (NX) PROVIDE 1/4" COPPER COLD WATER LINE TO COFFEE EQUIPMENT.
- (NX) PROVIDE CORNER GUARD PER DETAIL [X/A9.X].
- (NX) PROVIDE UPPER AND LOWER CABINETS WITH COUNTER TOP. [EXPAND NOTE TO DESCRIBE MILLWORK, USE ONLY IF THERE IS NO ELEVATION.]
- (NX) PROVIDE WHITEBOARD PER DETAIL [X/A9.X].
- (NX) PROVIDE HANDRAIL PER DETAIL [X/A9.X].
- (NX) AREA OPEN TO BELOW.
- (NX) RAMP WITH MAXIMUM SLOPE OF 1:12; SEE DETAIL [X/A9.X].
- (NX) PROVIDE FLOOR DRAIN; SEE PLUMBING DRAWINGS
- (NX) PROVIDE STAIRWAY FLOOR NUMBER SIGNAGE PER DETAIL [X/A9.X].
- (NX) REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION IN THIS ROOM
- (NX) RELOCATED SINK [MILLWORK ETC. - INDICATE ITEM].
- (NX) PROVIDE LEVEL 5 FINISH AT THIS SURFACE FOR SPECIAL FINISH AS SCHEDULED. SEE FINISH PLAN FOR EXTENT.
- (NX) PATCH AND REPAIR AREAS WHERE WALLCOVERING HAS BEEN REMOVED. PREP FOR NEW SCHEDULED FINISH.

SHEET NOTES

1. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE OF GYPSUM BOARD (U.O.N.). ALL VERTICAL DIMENSIONS ARE ABOVE FINISHED FLOOR.
2. ALL DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE EDGE OF WINDOW FLOOR PLATE, (U.O.N.).
3. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
4. THE CONTRACTOR SHALL PROVIDE LINE AND GRADE MARKINGS ON THE FINISH FLOOR FOR RECTIFYING UNLEVEL FLOOR CONDITIONS. ANY FLOOR OUT OF LEVEL MORE THAN 1/4" IN 10'-0" SHALL BE MADE TO BE LEVEL OVER ENTIRE DISTANCE.
5. THERE SHALL BE A MINIMUM OF 18" CLEAR TO THE NEAREST RETURNING PARTITION, PERMANENT FIXTURE OR MULLION AT THE LATCH SET PULL SIDE OF ALL DOORS.
6. THE CONTRACTOR SHALL PATCH AND REPAIR GYPSUM BOARD SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE NEW WORK IS TO OCCUR.
7. THE CONTRACTOR SHALL PROVIDE NECESSARY BACKING FOR WALL MOUNTED ITEMS INCLUDING NOT LIMITED TO HANDRAILS, CABINETS, COUNTERS, GRAB BARS, LOCKERS, AND FIXTURES. BACKING SHALL BE FIRE-RETARDANT-TREATED WOOD BLOCKING AS REQUIRED BY CODE OR HEAVY GAUGE SHEET METAL STRAPPING. REFER TO DETAIL [12/A-9.0] FOR ADDITIONAL INFORMATION.
8. ABOVE-CEILING BRACING FOR DOOR FRAME IS NOT REQUIRED AT DOOR JAMBS LOCATED 6" OR LESS FROM 90 DEGREE PARTITION INTERSECTION. REPAIR OR REPLACE ALL SPRAY-ON FIREPROOFING WHERE METAL DECK / BEAM / COLUMNS WERE EXPOSED DURING, OR PRIOR TO DEMOLITION. THICKNESS TO BE DETERMINED PER MANUFACTURER'S SPECIFICATIONS TO MATCH RATING OF EXISTING ADJACENT FIREPROOFING.
9. FOR RESTROOM TACTILE SIGNAGE REQUIREMENTS, SEE SHEET [XXA-9.X].

NO DATE ISSUE BY/CHECK



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THIRD FLOOR AND ROOF
CONSTRUCTION PLAN

3/16"=1'-0"



A-4.3