



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use

HEARING DATE: NOVEMBER 13, 2014

### CONSENT CALENDAR

*Date:* November 6, 2014  
*Case No.:* **2014.0165 C**  
*Project Address:* **1661 PINE STREET**  
*Zoning:* RC-4 (Residential Commercial, High Density) and NC-3 (Neighborhood Commercial, Moderate Scale)  
Partially w/in the Van Ness and Van Ness Automotive Special Use District  
130-E and 130-V Height and Bulk Districts  
*Block/Lot:* 0666/030  
*Project Sponsor:* John Sanger  
3600 Washington Street  
San Francisco, CA 94118  
*Staff Contact:* Sharon Lai – (415) 575-9087  
[sharon.w.lai@sfgov.org](mailto:sharon.w.lai@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The Planning Commission approved Case No. 89.037C on December 22, 1992 (Motion No. 13429) for the existing San Francisco Towers PUD development. The Project Sponsor is seeking to modify conditions of approval to convert a portion of the ground floor retail space (Retail Space C)<sup>1</sup> along Pine Street (within RC-4 portion of the site) to accessory sales offices for the residential care facility. The project further requests to amend the 1992 conditions of approval to convert six subterranean residential parking spaces<sup>2</sup> to accessory storage for the residential care facility, within NC-3 portion of the site. Lastly, the project proposes to increase the building's gross floor area by approximately 4,200 square feet at Level 2 by enclosing existing covered outdoor terraces (approximately 1,200 square feet) and extending the habitable space into the recessed Porte Cochere area for vehicular access from Pine Street (approximately 3,000 square feet). The increase in habitable area will increase the FAR from the previously entitled limit of 7.06:1 to 7.11:1. The new habitable areas will be used for additional supplemental amenities for the senior residents such as additional meeting spaces and dining spaces. No changes are proposed for the operation of the facility, the number of units or the number of beds from the previous entitlement.

<sup>1</sup> CPC Motion No. 13429, Condition I(B)(4)

<sup>2</sup> CPC Motion No. 13429, Condition I(E)(1)

## **SITE DESCRIPTION AND PRESENT USE**

The subject Planned Unit Development (PUD), (D.B.A. San Francisco Towers) project occupies the entirety of Block 0666, which contains frontage on Pine Street, Van Ness Avenue, Austin and Franklin Streets. The property is located within the NC-3 (Neighborhood Commercial, Moderate Scale) and RC-4 (Residential Commercial, High Density) Districts, the 130-V and 130-E Height and Bulk Districts, and partially within the Van Ness and Van Ness Automotive Special Use District.

The previous PUD entitlement and EIR (Environmental Impact Report) certification allowed the construction of a full lot coverage building, consisting of 250 senior dwelling units with a 12-bed accessory personal care (medical use) unit, other accessory uses, a 55-bed skilled nursing unit (institutional use) and retail uses. The building was constructed in 1997, as 12-stories over three levels of subterranean parking structure, and varies from 109 to 130 feet in height. It consists of a total of 523,711 gross square feet, including approximately 275,817 square feet of residential living space, 20,207 square feet of skilled nursing facility space, 57,745 square feet of residential accessory space (including a personal care facility, dining room and recreation rooms), and about 5,200 square feet of ground-level retail space, with 122,330 square feet of parking and loading space (two ground-level loading docks, 250 parking spaces in a four level underground garage and two guest parking spaces in the pine Street auto entry court). The entitled Project FAR is approximately 7.06: 1: for the VNSUD portion of the Project. Non-residential use, in the NC-3 portion of the existing site does not exceed the permissible FAR of 3.6: 1.

## **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The Project Site is located on the west side of Van Ness Avenue in the Western Addition neighborhood. The block to the east across Van Ness Avenue is the Nob Hill and Downtown/Civic Center neighborhoods. The adjacent blocks in the surrounding area are also zoned NC-3 and RC-4.

To the east of the Project Site, and including the majority of the subject site, is the Van Ness SUD and the Van Ness Automotive SUD within the underlying RC-4 zoning. The corridor contains a number of architecturally and historically significant and contributory buildings. Van Ness Avenue is also known as the U.S. Highway 101, which is a wide vehicular arterial that consists of a variety of residential, commercial, and mixed-use buildings featuring residential uses above ground-floor commercial establishments. Generally, the commercial establishments characterizing this portion of Van Ness Avenue include a mixture of retail stores, office buildings, restaurants, and automobile dealership/repair shops.

To the west of the Project Site and including a portion of the subject site, is the NC-3 Zoning District which is characterized by moderate scale mixed-use buildings with residential units above ground floor commercial use. The District provides convenience goods and services to the surrounding residential communities such as specialty stores, automobile uses, office uses, restaurants and bars.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

## HEARING NOTIFICATION

| TYPE               | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|--------------------|-----------------|----------------------|--------------------|---------------|
| Classified News Ad | 20 days         | October 24, 2014     | October 24, 2014   | 20 days       |
| Posted Notice      | 20 days         | October 24, 2014     | October 24, 2014   | 20 days       |
| Mailed Notice      | 20 days         | October 24, 2014     | October 24, 2014   | 20 days       |

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the Conditional Use authorization process.

## PUBLIC COMMENT

To date, the Department has not received any comments.

## ISSUES AND OTHER CONSIDERATIONS

- The Planning Commission required 252 off-street parking spaces under the previous entitlement in order to satisfy the anticipated project demand that 90-percent of the occupants own automobiles. The project will replace six parking spaces with storage for the residential care facility.
- The existing entitled FAR limit exceeds the permitted amount of 7.0 to 1, for the Van Ness Special use district portion of the site. An exception to Planning Code Section 243 was granted to allow an FAR of 7.06 to 1. The proposed addition of 4,200 square feet by enclosing covered outdoor spaces and expanding into the Porte Cochere at Level 2 will result in a 7.11 to 1 FAR.
- The Planning Commission required the project to include approximately 5,200 square feet of rentable retail space at the ground floor (Retail Space A, B, and C), including approximately 1,200 square feet at the corner of Van Ness and Austin Street and approximately 3,950 square feet at the corner of Van Ness and Pine Street. The proposed project will reduce the required rentable retail space to 2,400 square feet that fronts on Van ness Avenue and Austin Street.

## REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization and amend conditions of approval to Motion No. 13429 to allow the addition of floor area, reduction of parking and the reduction of ground floor rentable retail space pursuant to Planning Code Sections 243, 253, 303 and 304.

## BASIS FOR RECOMMENDATION

- The current reported rate of occupants owning automobiles is approximately 41 percent, which is well below the originally anticipated number from the 1992 approval of Motion No. 13429. The proposed parking reduction is consistent with the City's transit first policies and will bring the

project closer to conformity with the prescribed requirements. The subject development is along existing transit routes and the proposed BRT line along Van Ness Avenue; hence, the proposed six parking space reduction will not affect the traffic pattern of the area. Furthermore, San Francisco Towers operates a shuttle service for its residents.

- The proposed FAR increase is minor in nature and the scale and design of the expansions are minimal and consistent with the existing structure.
- The increase in habitable area will allow the residents to have additional indoor recreational space and amenities sheltered from the elements, which is vital for the senior residents.
- The proposed replacement of rentable retail at the corner of Van Ness Avenue and Pine at the ground floor will allow the senior care facility to have a marketing office at the street level and provide a clearer presence to the community. The subject retail space is currently vacant.
- The existing use is desirable for, and compatible with the surrounding neighborhood.
- No opposition to the project has been received.

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| <b>RECOMMENDATION:</b> <b>Approval with Conditions</b> |
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**Attachments:**

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Site Photos

Project Sponsor Submittal, including:

- Reduced Plans

- Photos

Motion No. 13429

Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project sponsor submittal                                 |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Existing Conditions</u>  |
| <input type="checkbox"/> Environmental Determination    | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u>   |
| <input checked="" type="checkbox"/> Height & Bulk Map   | <input checked="" type="checkbox"/> Check for legibility                                      |
| <input checked="" type="checkbox"/> Parcel Map          |   |
| <input checked="" type="checkbox"/> Sanborn Map         |   |
| <input checked="" type="checkbox"/> Aerial Photo        | <input type="checkbox"/> Wireless Telecommunications Materials                                |
| <input checked="" type="checkbox"/> Context Photos      | <input type="checkbox"/> Health Dept. review of RF levels                                     |
| <input checked="" type="checkbox"/> Site Photos         | <input type="checkbox"/> RF Report  |
|   | <input type="checkbox"/> Community Meeting Notice   |
|   | <input type="checkbox"/> Housing Documents  |
|   | <input type="checkbox"/> Inclusionary Affordable Housing<br>Program: Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

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Planner's Initials

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# SAN FRANCISCO PLANNING DEPARTMENT

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Subject to: (Select only if applicable)

- |  |  |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)           | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)            | <input type="checkbox"/> Other                             |

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## Planning Commission Draft Motion

HEARING DATE: NOVEMBER 13, 2014

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*Project Address:* **1661 PINE STREET**  
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**ADOPTING FINDINGS RELATED TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION TO AMEND THE CONDITIONS OF APPROVAL OF MOTION NO. 13429 FOR THE EXISTING SAN FRANCISCO TOWERS PUD (PLANNED UNIT DEVELOPMENT) AND FOR THE GRANTING OF EXCEPTIONS FROM THE REQUIREMENTS SET FORTH IN THE PLANNING CODE SECTIONS 243, 253, 303 AND 304 TO CONVERT EXISTING PARKING TO ACCESSORY RESIDENTIAL USE, TO ADD 4,200 SQUARE FEET OF HABITABLE SPACE AT THE SECOND LEVEL, AND TO CONVERT A CONDITIONED GROUND FLOOR RETAIL SPACE TO AN ACCESSORY USE TO THE EXISTING SENIOR RESIDENTIAL CARE FACILITY, WITHIN THE RC-4 (RESIDENTIAL COMMERCIAL, HIGH DENSITY) AND NC-3 (NEIGHBORHOOD COMMERCIAL, MODERATE SCALE) DISTRICTS, THE 130-V AND 130-E HEIGHT AND BULK DISTRICTS, AND PARTIALLY WITHIN THE VAN NESS AND VAN NESS AUTOMOTIVE SPECIAL USE DISTRICT.**

### PREAMBLE

On January 29, 2014, John Sanger (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Sections 243, 253, 303 and 304 to allow exceptions from the Floor Area Ratio (FAR) limitations and required parking and to amend the conditions of approval to allow the addition of 4,200 square feet of habitable

space at the second floor, to allow the conversion of required parking to storage, and to allow an existing ground floor retail use to be converted to accessory use to the senior residential care facility, within the RC-4 (Residential Commercial, High Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Districts, the 130-V and 130-E Height and Bulk Districts, and partially within the Van Ness and Van Ness Automotive Special Use District.

On November 13, 2014, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2014.0165C.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2014.0165C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject Planned Unit Development (PUD), (D.B.A. San Francisco Towers) project occupies the entirety of Block 0666, which contains frontage on Pine Street, Van Ness Avenue, Austin and Franklin Streets. The property is located within the NC-3 (Neighborhood Commercial, Moderate Scale) and RC-4 (Residential Commercial, High Density) Districts, the 130-V and 130-E Height and Bulk Districts, and partially within the Van Ness and Van Ness Automotive Special Use District.

The previous PUD entitlement and EIR (Environmental Impact Report) certification allowed the construction of a full lot coverage building, consisting of 250 senior dwelling units with a 12-bed accessory personal care (medical use) unit, other accessory uses, a 55-bed skilled nursing unit (institutional use) and retail uses. The building was constructed in 1997, as 12-stories over three levels of subterranean parking structure, and varies from 109 to 130 feet in height. It consists of a total of 523,711 gross square feet, including approximately 275,817 square feet of residential living space, 20,207 square feet of skilled nursing facility space, 57,745 square feet of residential accessory space (including a personal care facility, dining room and recreation rooms), and about 5,200 square feet of ground-level retail space, with 122,330 square feet of parking and loading space (two ground-level loading docks, 250 parking spaces in a four level underground garage

and two guest parking spaces in the pine Street auto entry court). The entitled Project FAR is approximately 7.06: 1: for the VNSUD portion of the Project. Non-residential use, in the NC-3 portion of the existing site does not exceed the permissible FAR of 3.6: 1.

3. **Surrounding Properties and Neighborhood.** The Project Site is located on the west side of Van Ness Avenue in the Western Addition neighborhood. The block to the east across Van Ness Avenue is the Nob Hill and Downtown/Civic Center neighborhoods. The adjacent blocks in the surrounding area are also zoned NC-3 and RC-4.

To the east of the Project Site, and including the majority of the subject site, is the Van Ness SUD and the Van Ness Automotive SUD within the underlying RC-4 zoning. The corridor contains a number of architecturally and historically significant and contributory buildings. Van Ness Avenue is also known as the U.S. Highway 101, which is a wide vehicular arterial that consists of a variety of residential, commercial, and mixed-use buildings featuring residential uses above ground-floor commercial establishments. Generally, the commercial establishments characterizing this portion of Van Ness Avenue include a mixture of retail stores, office buildings, restaurants, and automobile dealership/repair shops.

To the west of the Project Site and including a portion of the subject site, is the NC-3 Zoning District which is characterized by moderate scale mixed-use buildings with residential units above ground floor commercial use. The District provides convenience goods and services to the surrounding residential communities such as specialty stores, automobile uses, office uses, restaurants and bars.

4. **Project Description.** The Planning Commission approved Case No. 89.037C on December 22, 1992 (Motion No. 13429) for the existing San Francisco Towers PUD development. The Project Sponsor is seeking to modify conditions of approval to convert a portion of the ground floor retail space (Retail Space C)<sup>1</sup> along Pine Street (within RC-4 portion of the site) to accessory sales offices for the residential care facility. The project further requests to amend the 1992 conditions of approval to convert six subterranean residential parking spaces<sup>2</sup> to accessory storage for the residential care facility, within NC-3 portion of the site. Lastly, the project proposes to increase the building's gross floor area by approximately 4,200 square feet at Level 2 by enclosing existing covered outdoor terraces (approximately 1,200 square feet) and extending the habitable space into the recessed Porte Cochere area for vehicular access from Pine Street (approximately 3,000 square feet). The increase in habitable area will increase the FAR from the previously entitled limit of 7.06:1 to 7.11:1. The new habitable areas will be used for additional supplemental amenities for the senior residents such as additional meeting spaces and dining spaces. No changes are proposed for the operation of the facility, the number of units or the number of beds from the previous entitlement.
5. **Public Comment.** The Department has not received any public comment to date.

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<sup>1</sup> CPC Motion No. 13429, Condition I(B)(4)

<sup>2</sup> CPC Motion No. 13429, Condition I(E)(1)

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Bulk.** Pursuant to Planning Code Section 270, the “V” Bulk District shall have a maximum length of 110 feet and a maximum diagonal dimension of 140 feet, above 50 feet in height; and the “A” Bulk District shall have a maximum length of 110 feet and a maximum diagonal dimension of 125 feet.

*The Project’s proposed enclosure of the covered outdoor areas will not alter the existing bulk of the building.*

- B. **Floor Area Ratio (FAR).** In the Van Ness Special Use District, the FAR limit for properties zoned RC-4 is 7.0 to 1 where the height limit is 130 feet, pursuant to Planning Code Section 243. Additionally, the Planning Commission granted a PUD modification under Motion No. 13429 to allow the FAR limit to be increased to 7.06 to 1.

*The portion of the site located within the Van Ness SUD is approximately 37,410 square feet. The entitled limit allows the Project to be approximately 264,115 gross square feet within the RC-4 and Van Ness SUD portion of the lot. The Project proposes to increase the square footage to 268,315 gross square feet and is seeking a modification to the PUD to increase the FAR limit from 7.06 to 1 to 7.11 to 1.*

- C. **Open Space.** Per Planning Code Section 135, in Neighborhood Commercial Districts, the amount of usable open space to be provided shall be the amount required in the nearest Residential District. The adjacent RC-4 District requires 36 square feet of private open space per unit or 48 square feet of common open space per unit. The existing PUD contains 250 units that are considered residential per Planning Code Section 102.6.1 and 209.1.

*The subject development provides a mix of private and common usable open space. The Project proposes to decrease the common usable open space from 14,851 square feet to 13,364 square feet, and complies with the open space requirements of the Code.*

- D. **Street Frontage.** Per Planning Code Section 145.1, the treatment of the street frontages at the project shall be designed to preserve, enhance and promote attractive, clearly defined street frontages that are pedestrian-oriented, fine-grained, and which are appropriate and compatible with the buildings and uses in the RC and NC Districts. The project requires that 60 percent of the building perimeter at the ground floor be transparent and the first 25 feet of the ground floor to be devoted to active uses. Spaces such as lobbies are considered active uses only if they do not exceed 40 feet and spaces such as restrooms, bike parking, and other service areas are not considered “active uses”.

*The previous entitlement conditioned the project to include no less than “5,000 rentable square feet of retail space, including approximately 1,200 rentable square feet of space at the corner of Van Ness*

*Avenue and Austin Street entered from Van Ness Avenue and approximately 3,950 rentable square feet of rectangular space at the corner of Van Ness and Pine Street entered from Van Ness Avenue and from Pine Street”<sup>3</sup> The Project proposes to convert a vacant ground floor retail space (approximately 2,800 square feet) at the corner of Van Ness Avenue and Pine Street along Pine Street to a sales and marketing office space for the senior care facility, which is also considered an active use. The project is seeking a modification to the conditions of approval from Motion No. 13429 (Condition I(B)(4)). The existing recessed storefront will revert to the 1992 approval and be flush with the existing building wall at the ground floor. The level of transparency at the ground floor will not be altered.*

- E. **Off-Street Parking.** Planning Code Sections 151 and 102.6.1 do not require off-street parking for residential care facilities or dwellings specifically designed for and occupied by senior citizens. Additionally, one parking space is required for each 500 square feet of occupied floor area up to 20,000 square feet where the occupied floor area exceeds 5,000 square feet. Planning Code Section 204.5 permits 150 percent of the required number of spaces where three or more spaces are required. The Planning Commission granted a PUD modification under Motion No. 13429 to require 252 parking spaces.

*The existing use is required to provide 10 parking spaces for the retail component under the current Code and no parking for the senior residential units and residential care facility, where 246 are proposed. The proposed retail space reduction to less than 5,000 square feet would eliminate the required parking under the current Code. The existing and proposed parking exceeds the accessory amount permitted by the current Code. The prior entitlement in 1992 approved an exception to exceed the permitted accessory parking limit as part of the PUD modification. 252 parking spaces were conditioned in order to offset the anticipated traffic impacts. The Project seeks a modification to the conditions of approval from Motion No. 13429 (Conditions I(E)(1)) in order to replace six existing parking spaces with storage for the residents, where no parking is required by the current Code.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed new 4,200 square feet of habitable space to be created by enclosing existing covered outdoor space and mezzanine area at Level 2 will not alter the exterior massing of the building. The additional space will be used for supportive services and amenities for the senior residents such as indoor recreational spaces and meeting spaces. The proposed project is desirable in that it will increase usable space that is protected from the elements for the senior residents while preserving the exiting building massing. The sales and marketing office at the ground floor proposed to replace the existing vacant retail space is a compatible use for the neighborhood and the level of active use and fenestration*

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<sup>3</sup> Motion No. 13429, Exhibit A - Conditions of Approval

*at the ground floor will be preserved. The proposed parking reduction is consistent with the City's transit first policies and is desirable for the neighborhood.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed enclosures at Level 2 and the expansion of the ground floor to eliminate the existing recessed retail storefront are minor in nature and have been designed to be compatible with the existing structure. The proposed new storefront along Pine Street will provide a more consistent street presence as it will match the existing building wall.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The proposed enclosures are designed to meet the needs of the building's residents and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. The reduction of six parking spaces is not anticipated to affect the adequacy of parking in the area. Furthermore, the subject property is located along the planned Bus Rapid Transit line along the Van Ness corridor.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*No noxious or offensive emissions are anticipated to be generated.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*A large amount of usable open space will remain at Levels 2 and 12 of the building. The proposed below grade parking reduction has been appropriately designed and will not be visible from the street.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project will exceed the FAR limit and seeks a PUD modification from the Planning Commission. The project is consistent with the objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

*The proposed project will not change the existing use within the NC portion of the site.*

8. **Planning Code Section 304** establishes criteria and limitations for the Planning Commission to consider when reviewing applications for the authorization of PUD's over and above those applicable to Conditional Uses. On balance, the project does comply with said criteria and limitations in that:

- 1) Affirmatively promote applicable objectives and policies of the General Plan;

*This project is consistent with the General Plan and the Van Ness Plan Area objectives and policies relating to housing, commercial development and urban design. See General Plan Compliance (See Below).*

- 2) Provide off street parking adequate for the occupancy proposed;

*The existing development contains 252 off-street parking spaces in the three-level subterranean garage, which is well above the current Planning Code requirement. The proposed reduction of six parking spaces is equal to a 2-percent decrease in off-street parking. Project Sponsors stated that approximately 41 percent of current residents own and park vehicles on-site as compared to the 90 percent anticipated in the 1992 approval. As this is a senior housing and residential care facility many of the residents limit their activities to within the development or rely on group transit, the proposed remaining 246 parking spaces are adequate.*

- 3) Provide open space usable by the occupants and, where appropriate, by the general public, at least equal to the open spaces required by this Code;

*The project proposes to enclose a small portion of existing covered outdoor areas in order to provide additional indoor activity areas for the residents. The remaining 16,963 square feet of usable open space are still well above the amount required by the Planning Code. The additional indoor activity space will allow the senior residents additional social opportunities that are protected from the elements.*

- 4) Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of this Code for a district permitting a greater density, so that the PUD will not be substantially equivalent to a reclassification of property;

*The proposed project does not involve changes to the existing dwelling unit density. The previously entitled PUD includes 250 residential units for the site, where there are no density limits for the Van Ness SUD portion of the site.*

- 5) In R Districts, include commercial uses only to the extent that such uses are necessary to serve residents of the immediate vicinity, subject to the limitations for NC-1 (Neighborhood Commercial Cluster) districts under the Code;

*The RC-4 portion of the site contains three ground floor retail spaces (A, B, and C), including a wine shop (retail space A, d.b.a. Enoteca Vino Nostro), a cafe (retail space B, d.b.a. Dolce Amore), and a vacant retail space (retail space C, last occupied by an audio store). The vacant retail space is proposed to be converted into an accessory use for the residential care facility as the sales and marketing office for San Francisco Towers. The proposed sales office is a permitted use which will serve future residents of the development.*

- 6) Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections;

*The Project does not propose to seek a height exception. This criterion does not apply.*

- 7) In NC Districts, be limited in gross floor area to that allowed under the Floor Area Ratio limit permitted for the district in Section 124 and Article 7 of this Code.

*The existing development complies with the FAR limits established for the NC-3 portion of the lot. The proposed project will not alter the FAR for the NC-3 portion of the site. All uses above grade within this zoned portion of the site are residential.*

- 8) In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code.

*The Project is in compliance with the use limitation set forth by Article 7 of the Planning Code.*

- 9) In RTO and NCT Districts, include the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of block size, streets and alleys, and foster beneficial pedestrian and vehicular circulation.

*The subject property is not located in the RTO or NCT districts, hence this criterion does not apply.*

- 10) Provide street trees as per the requirements of Section [138.1](#) of the Code.

*The Project proposes to add 4,200 square feet and thus does not trigger additional street trees per Planning Code Section 138.1.*

- 11) Provide landscaping and permeable surfaces in any required setbacks in accordance with Section [132](#) (g) and (h).

*The existing development is full lot coverage. The site does not contain any required front setbacks and has been granted an exception under the prior motion from the rear yard requirement. The proposed Project does not propose to alter the permeable surfaces of the site.*

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## HOUSING ELEMENT

### Objectives and Policies

#### **OBJECTIVE 2:**

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

#### Policy 2.3

Prevent the removal or reduction of housing for parking.

#### Policy 2.4

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

*The proposed project will remove parking for additional accessory storage space for the residents. The project will also increase the amount of usable interior recreational spaces for the senior residents in order to meet their needs.*

#### **OBJECTIVE 4:**

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

#### **Policy 4.2:**

Provide a range of housing options for residents with special needs for housing support and services.

#### **Policy 4.2:**

Create housing for people with disabilities and aging adults by including universal design principles in new and rehabilitated housing units.

*San Francisco Towers is a senior housing development that includes supportive medical services. It serves the goal of providing diverse housing to meet the needs of the senior population and residents with special needs of the City.*

## NEIGHBORHOOD COMMERCE

### Objectives and Policies

#### **OBJECTIVE 2:**

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

#### **Policy 2.1:**

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

*The proposed ground floor marketing office for San Francisco Towers will help retain and attract future senior residents and will help preserve the viability of the subject facility.*

## TRANSPORTATION ELEMENT

### Objectives and Policies

#### **OBJECTIVE 2:**

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

#### **OBJECTIVE 11:**

MAINTAIN PUBLIC TRANSIT AS THE PRIMARY MODE OF TRANSPORTATION IN SAN FRANCISCO AND AS A MEANS THROUGH WHICH TO GUIDE FUTURE DEVELOPMENT AND IMPROVE REGIONAL MOBILITY AND AIR QUALITY.

*The project proposes to reduce the number of parking from 252 to 246 spaces. The Project Site is easily accessible by public transit. MUNI lines 1, 31, 38, 47, 49 AX, BX and NX are within one block of the project site. MUNI lines 2, 3 and 19 are within 2-4 blocks from the Project Site.*

## VAN NESS AVENUE AREA PLAN

### Objectives and Policies

#### **OBJECTIVE 1:**

CONTINUE EXISTING OF THE AVENUE AND ADD A SIGNIFICANT INCREMENT OF NEW HOUSING.

#### **Policy 1.3:**

Allow residential densities to be established by building volume rather than lot size.

*The proposed changes will meet the height and bulk requirements of the Code.*

**OBJECTIVE 5:**

ENCOURAGE DEVELOPMENT WHICH REINFORCES TOPOGRAPHY AND URBAN PATTERN, AND DEFINES AND GIVES VARIETY TO THE AVENUE.

**Policy 5.2:**

Encourage a regular street wall and harmonious building forms along the Avenue.

POLICY 5.3

Continue the street wall heights as defined by existing significant buildings and promote an adequate enclosure of the Avenue.

*The proposed recessed storefront relocation along Pine Street at the existing vacant retail space has been designed to maintain a regular street wall and designed to continue the street wall heights of the existing building.*

POLICY 5.5

Encourage full lot development resulting in a maximum number of dwelling units.

POLICY 5.6

Encourage separation of towers for buildings involving more than one tower.

*The existing building was constructed with full lot development and multiple towers. The proposed minor expansions will not alter the overall design of the residential towers.*

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*All retail uses along Van Ness Avenue will be retained. The retail space on Pine Street proposed to become the marketing center for San Francisco Towers is currently vacant and was previously occupied by an audio store, which was a destination specialty retail use. The proposed marketing office will serve San Francisco residents and future residents of the building and will help promote the presence and long term viability of the subject senior housing facility, which is a much needed housing type for the City.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The existing neighborhood character will be conserved as there are no changes visible to the exterior at the pedestrian level. No changes to the existing housing are proposed.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*No housing is removed for this Project.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The minor changes proposed are not anticipated to affect traffic or transit services. The Van Ness Avenue corridor is well served by MUNI transit as well as the planned BRT.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*A landmark or historic building does not occupy the Project site.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The project will have no negative effect on existing parks and open spaces. The Project does not have an effect on open spaces.*

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2014.0165C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated October 30, 2014, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on August 09, 2007.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: November 13, 2014

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to grant exceptions from the Floor Area Ratio (FAR) limitations and required parking and to amend the conditions of approval to allow the addition of 4,200 square feet of habitable space at the second floor, to allow the conversion of required parking to storage, and to convert an existing ground floor retail use to an accessory storage use for the residential care facility, (d.b.a. San Francisco Towers) pursuant to Planning Code Sections 243, 253, 303 and 304, located at 1661 Pine Street, Block 0666, and Lot 030, within the RC-4 (Residential Commercial, High Density) and NC-3 (Neighborhood Commercial, Moderate Scale) Districts, the 130-V and 130-E Height and Bulk Districts, and partially within the Van Ness and Van Ness Automotive Special Use District; in general conformance with plans, dated **October 30, 2014**, and stamped "EXHIBIT B" included in the docket for Case No. **2014.0165C** and subject to conditions of approval reviewed and approved by the Commission on **November 13, 2014** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **November 13, 2014** under Motion No **XXXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## DESIGN

6. **FAR.** Pursuant the Planning Commission approval to modify Motion No. 13429 under Case No. 2014.0165C, the Project shall not exceed a Floor Area Ratio of 7.11 to 1 within the RC-4 portion of the site.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
7. **Rentable Retail.** Pursuant to the Planning Commission approval to modify condition I(B)(4) of Motion No. 13429, under Case No. 2014.0165C, the Project shall maintain a minimum of 2,400 square feet of rentable ground floor retail space on Van Ness Avenue and the corner of Austin Street.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
8. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.  
*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*
9. **Signage.** The Project Sponsor shall develop a signage program for the Project which shall be subject to review and approval by Planning Department staff before submitting any building permits for construction of the Project. All subsequent sign permits shall conform to the approved signage program. Once approved by the Department, the signage program/plan information shall be submitted and approved as part of the site permit for the Project. All exterior signage shall be designed to complement, not compete with, the existing architectural character and architectural features of the building.  
*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

10. **Parking Requirement.** Pursuant to the Planning Commission approval to modify condition I(A) and I(B)(4) of Motion No. 13429, under Case No. 2014.0165C, the Project shall maintain 246 independently accessible off-street parking spaces.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject

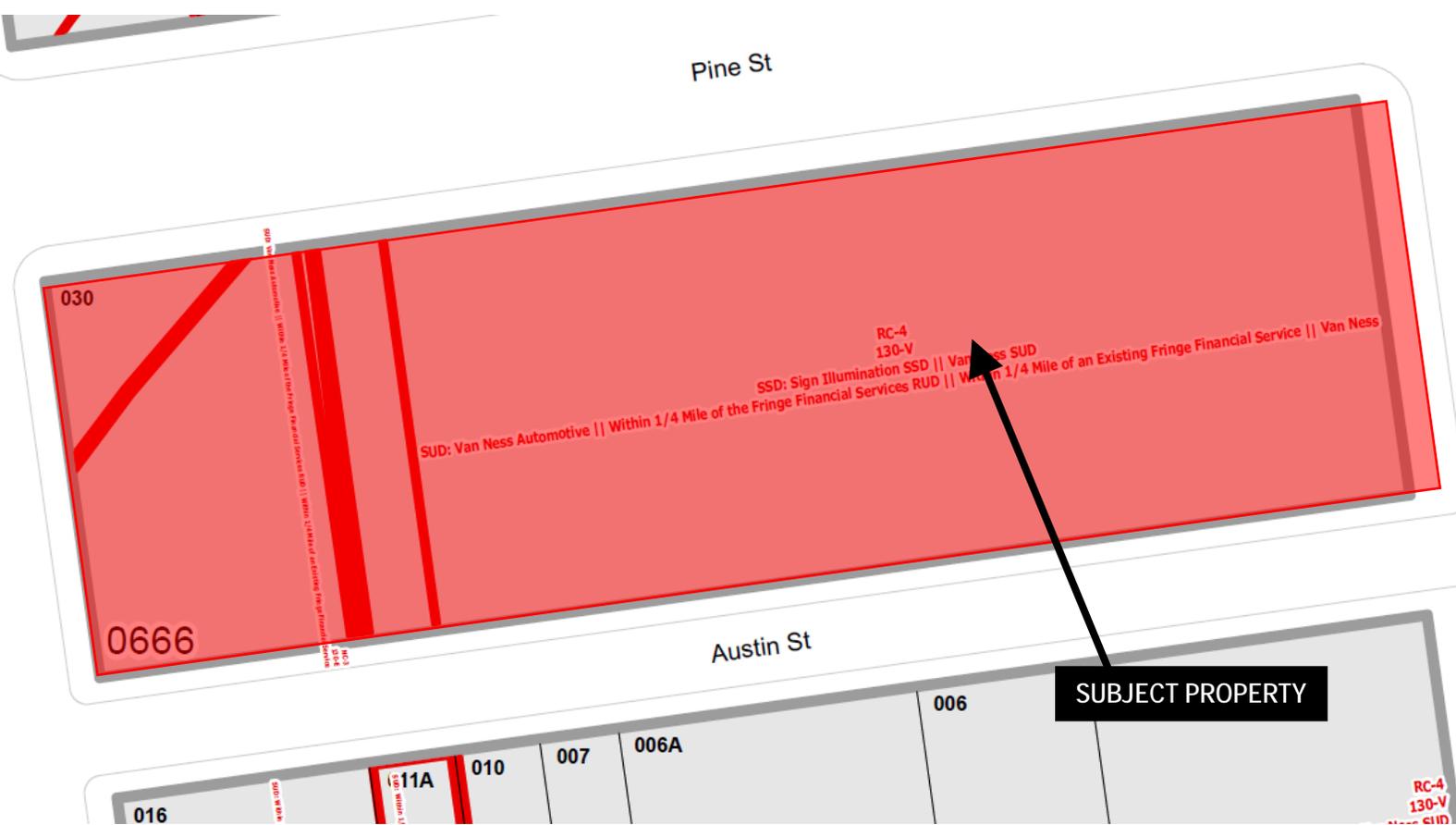
to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

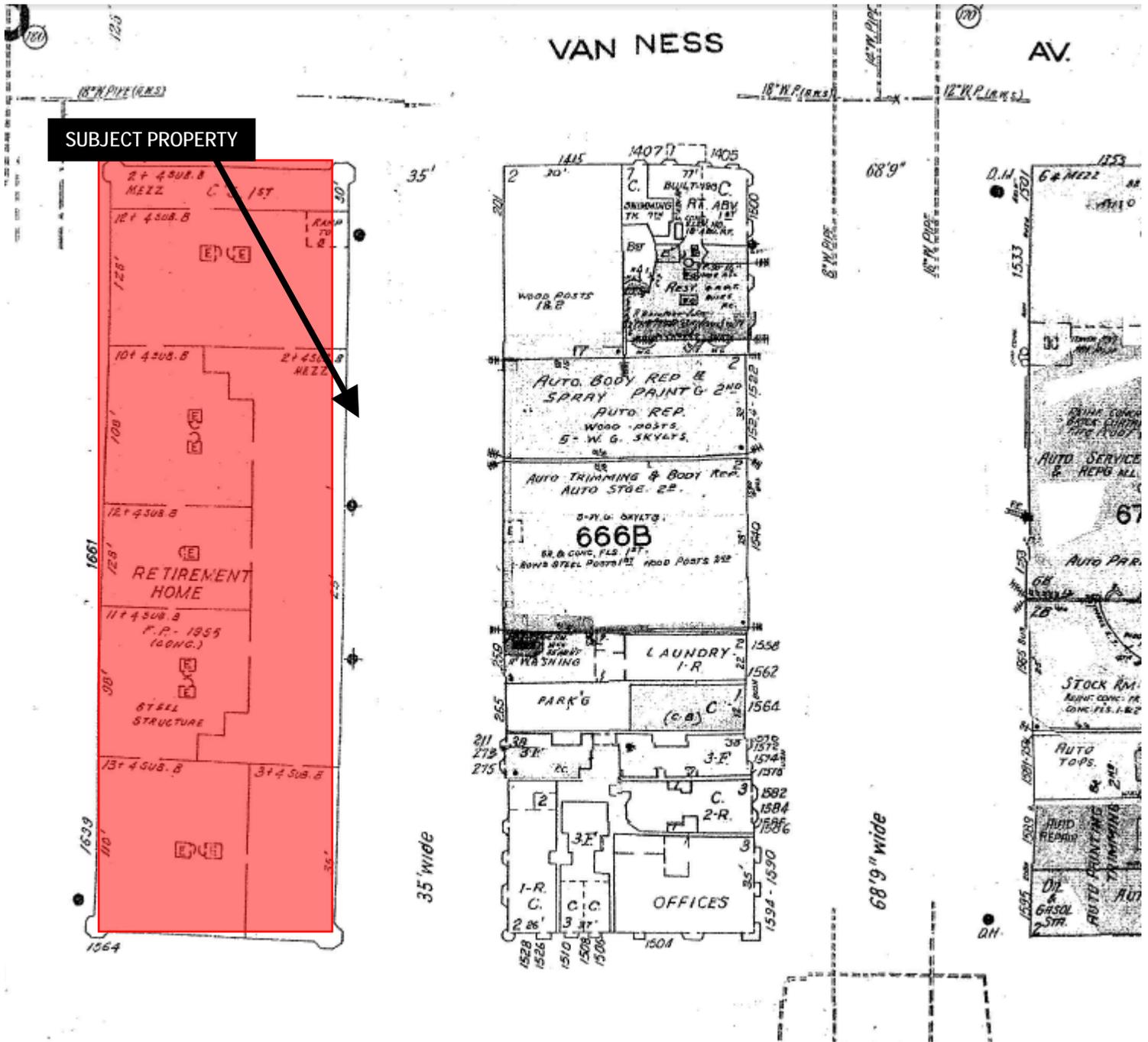
12. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>*

# Parcel Map



Conditional Use Authorization  
Case Number 2014.0165C  
Alteration – San Francisco Towers  
1661 Pine Street

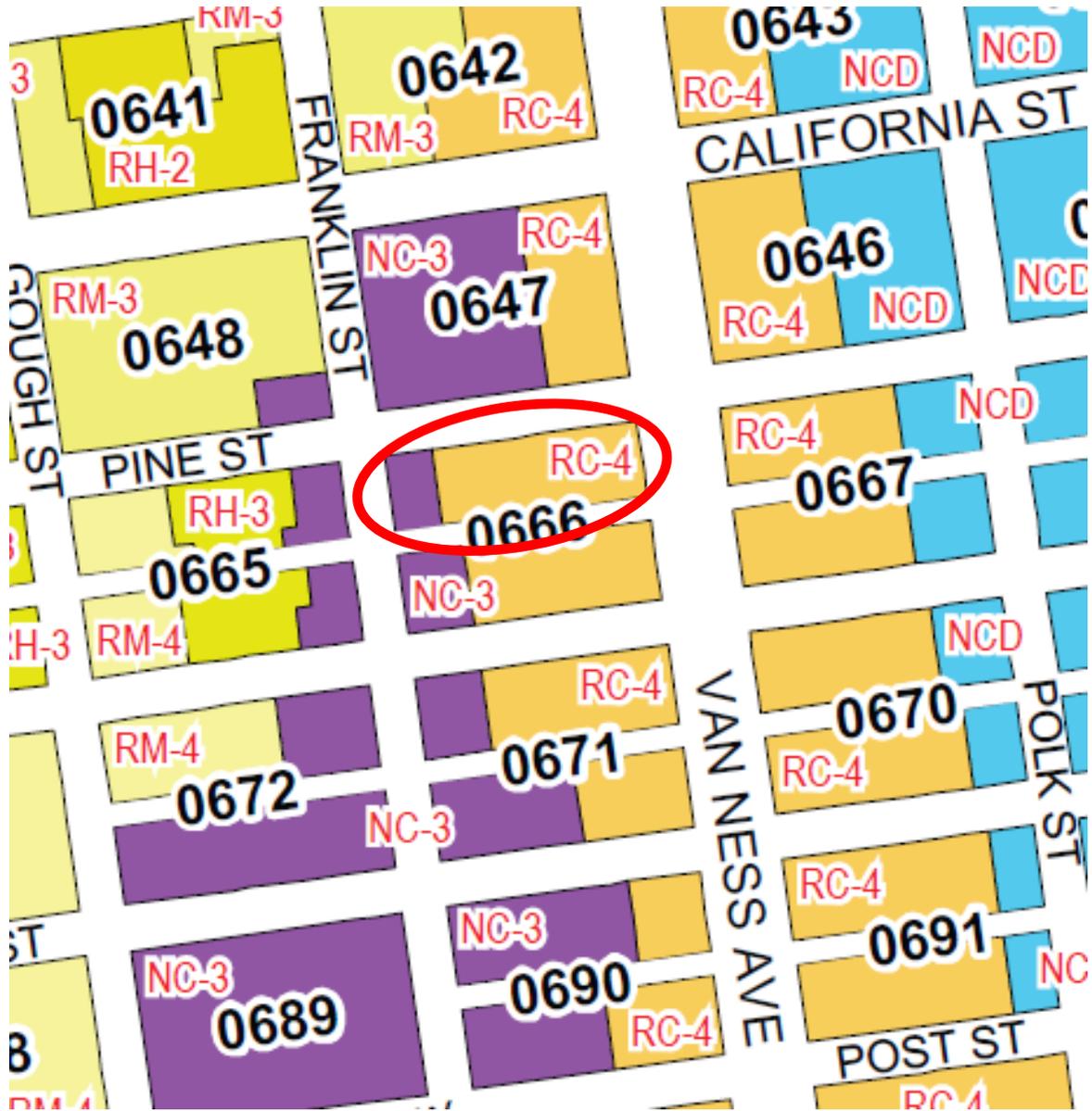
# Sanborn Map\*



\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

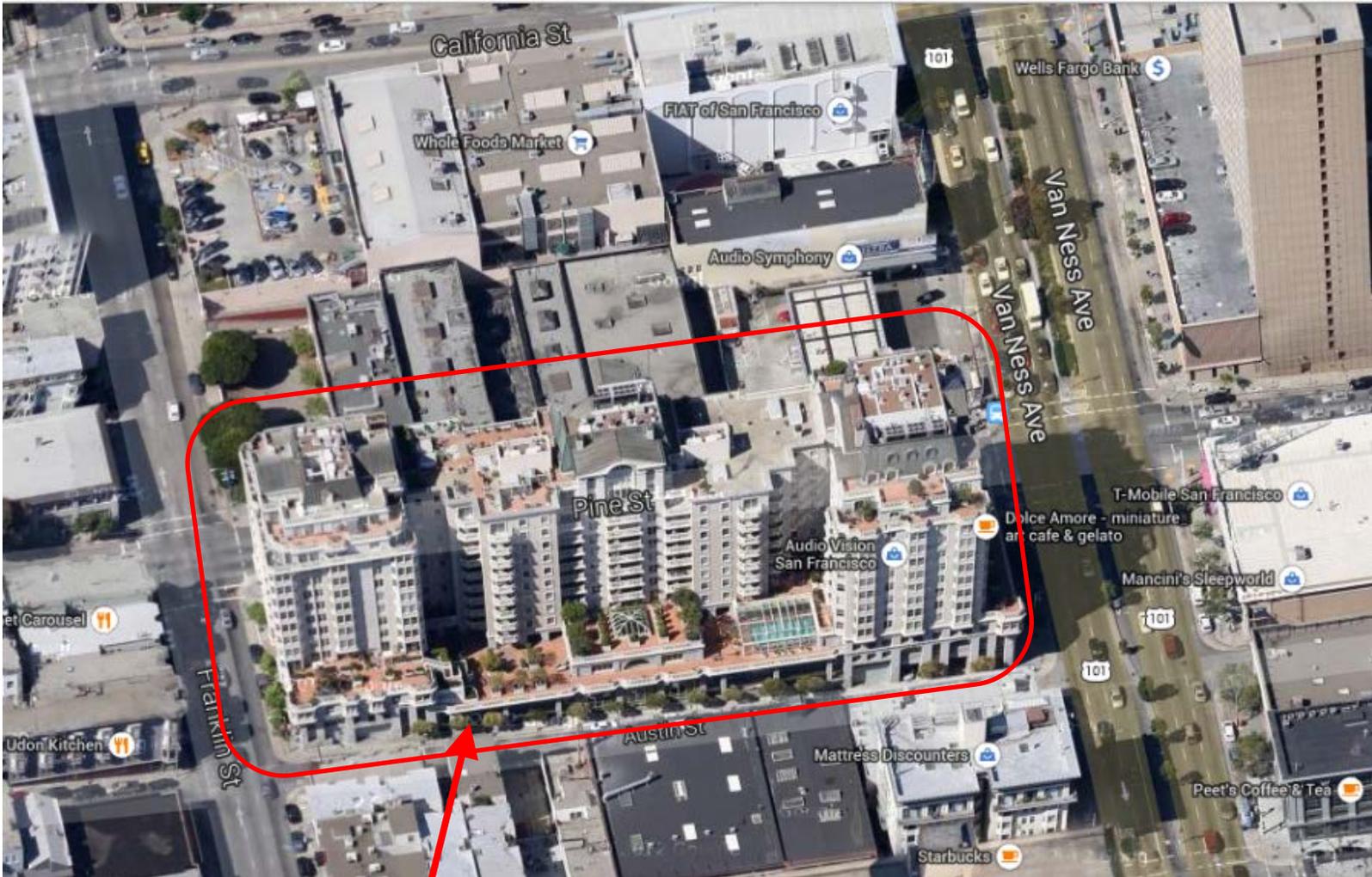
Conditional Use Authorization  
 Case Number 2014.0165C  
 Alteration – San Francisco Towers  
 1661 Pine Street

# Zoning Map



Conditional Use Authorization  
Case Number 2014.0165C  
Alteration – San Francisco Towers  
1661 Pine Street

# Aerial Photo – View to north

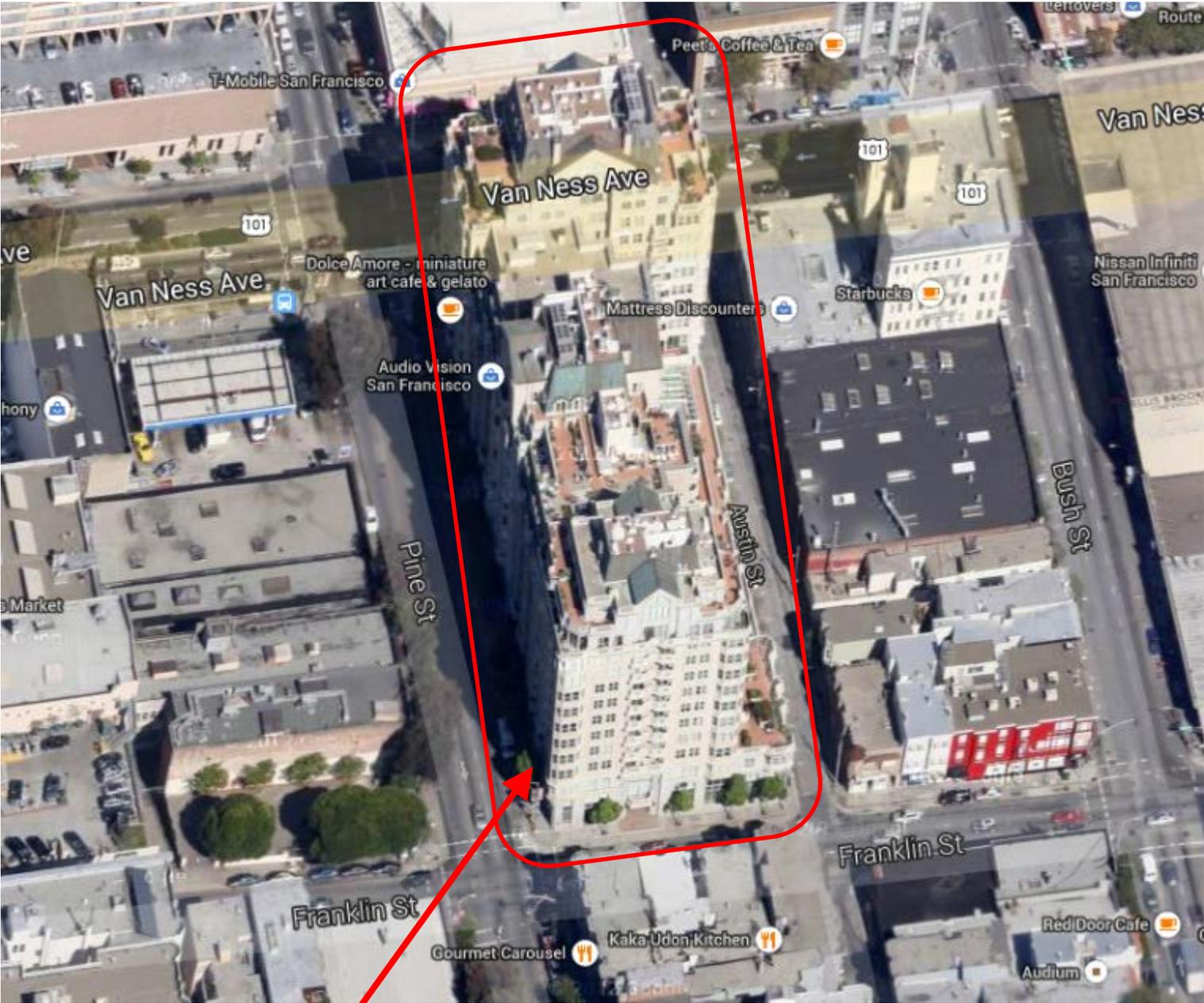


**SUBJECT PROPERTY**



Conditional Use Authorization  
Case Number 2014.0165C  
Alteration – San Francisco Towers  
1661 Pine Street

# Aerial Photo – View to east

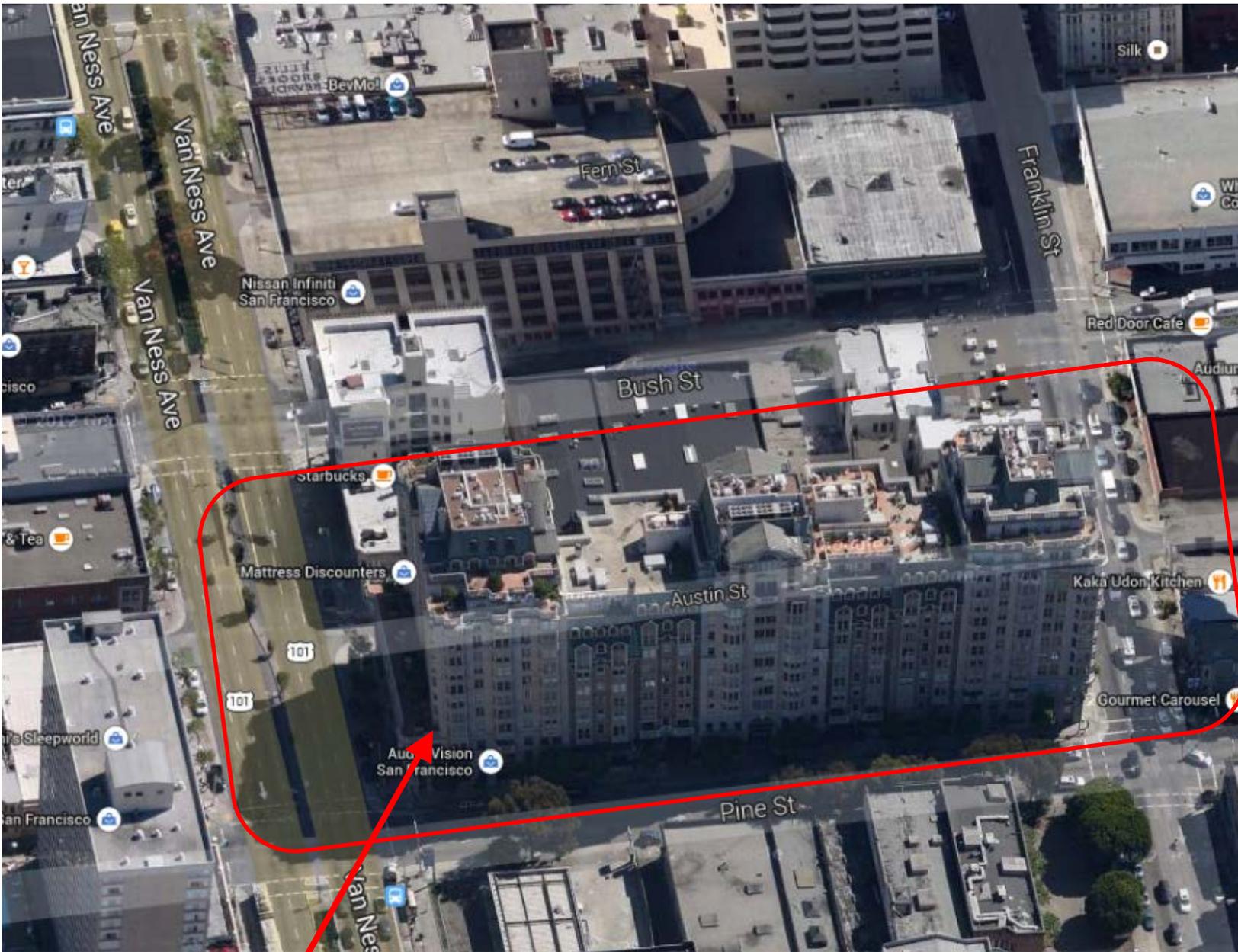


**SUBJECT PROPERTY**



Conditional Use Authorization  
Case Number 2014.0165C  
Alteration – San Francisco Towers  
1661 Pine Street

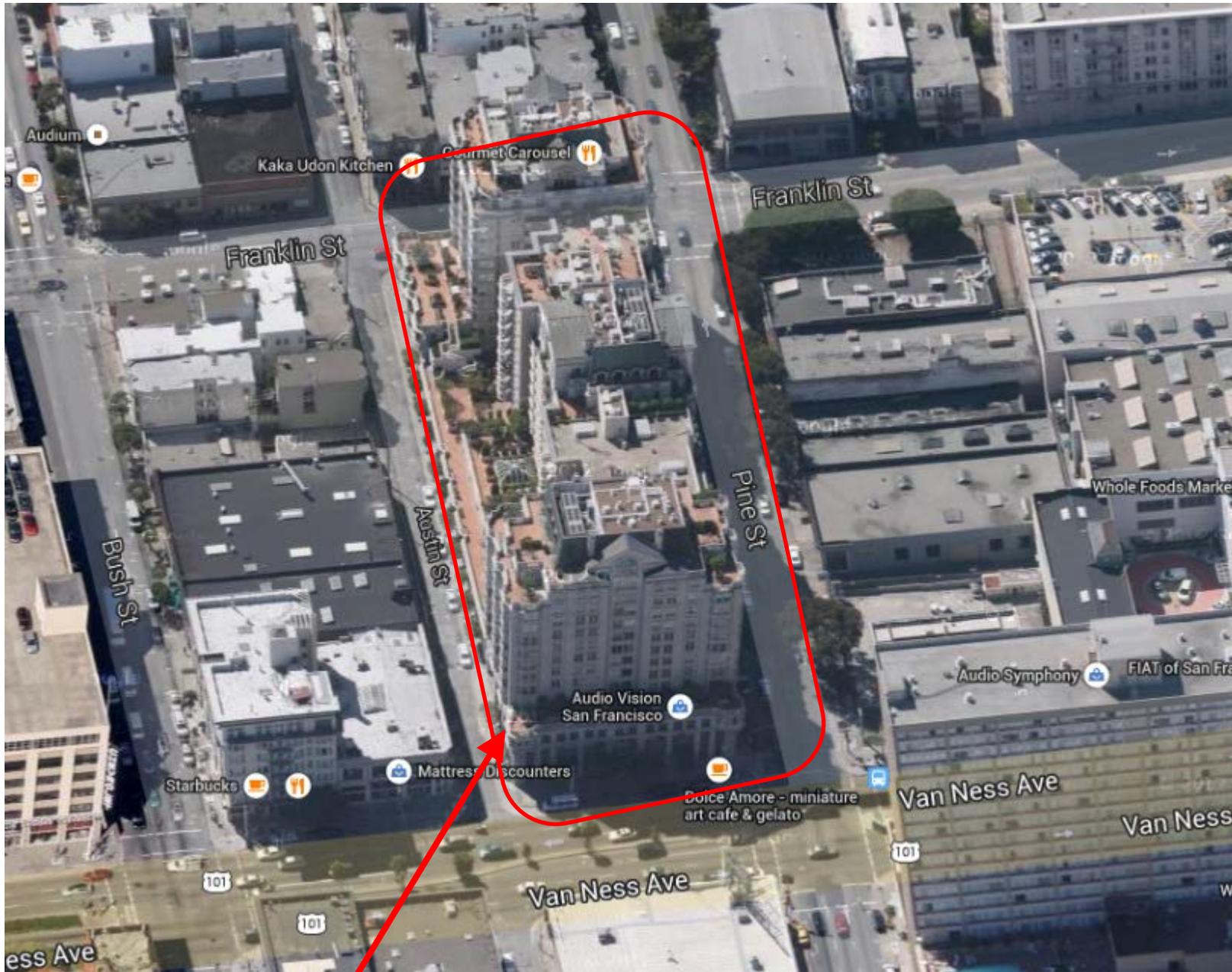
# Aerial Photo – View to south



**SUBJECT PROPERTY**

Conditional Use Authorization  
Case Number 2014.0165C  
Alteration – San Francisco Towers  
1661 Pine Street

# Aerial Photo – View to west

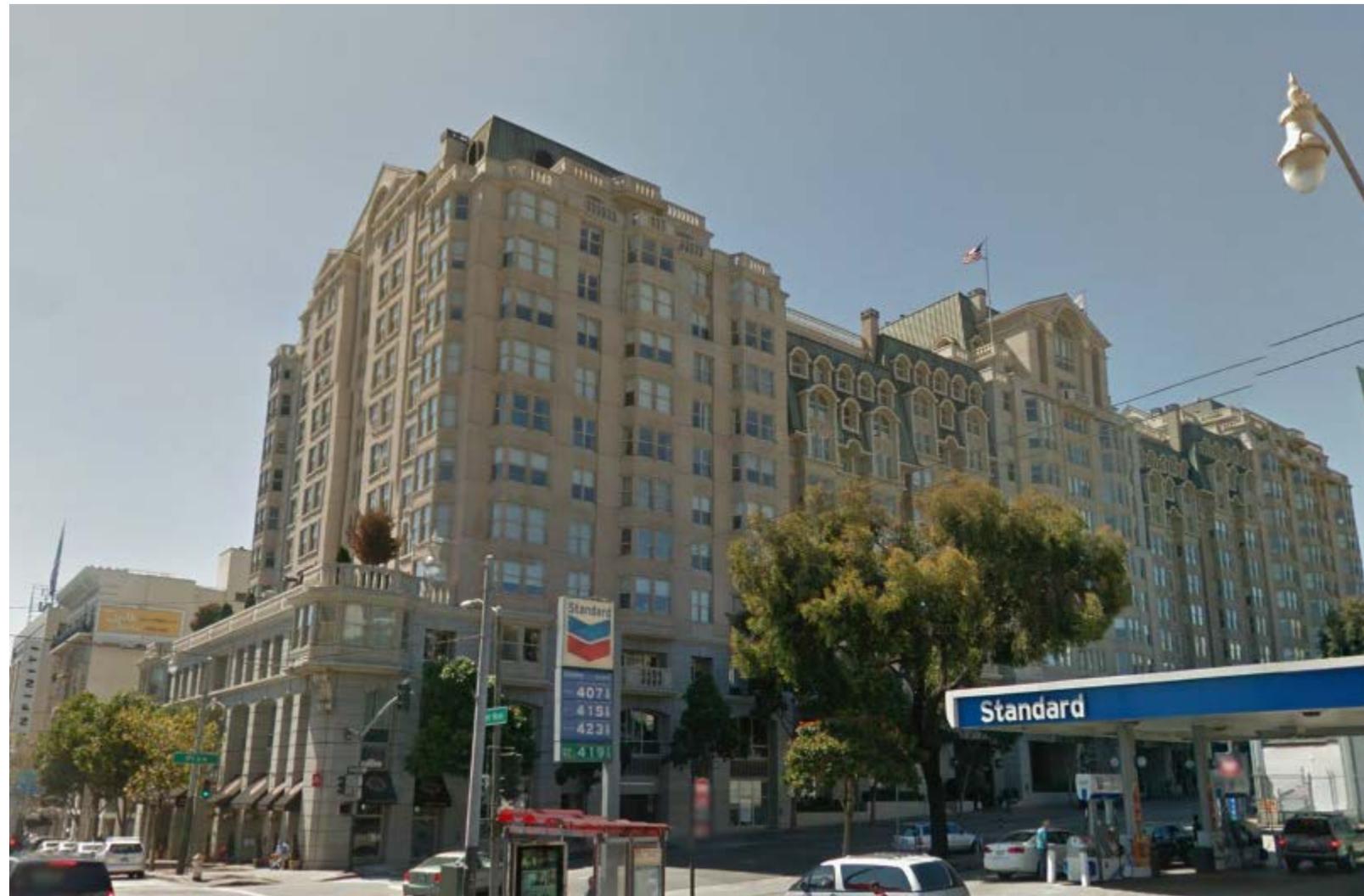


**SUBJECT PROPERTY**



Conditional Use Authorization  
Case Number 2014.0165C  
Alteration – San Francisco Towers  
1661 Pine Street

# Site Photo – View of Pine St and Van Ness Ave Façade



Conditional Use Authorization  
Case Number 2014.0165C  
Alteration – San Francisco Towers  
1661 Pine Street

CORRECTED COPY 12/22/92

File No. 89.037C  
1661 Pine Street  
Assessor's Block 666, Lots 1,  
3, 17, 25, 26, 27, 28 and 29

SAN FRANCISCO

CITY PLANNING COMMISSION

MOTION NO. 13429

ADOPTING FINDINGS RELATED TO THE APPROVAL OF CONDITIONAL USE APPLICATION NO. 89.037C BY THE CITY PLANNING COMMISSION FOR THE PROPOSED CONSTRUCTION OF A RESIDENTIAL LIFE CARE FACILITY LOCATED ON ASSESSOR'S BLOCK 666, BOUNDED BY VAN NESS AVENUE, PINE STREET, FRANKLIN STREET AND AUSTIN STREET, LOTS 1, 3, 17, 25, 26, 27, 28 and 29.

PREAMBLE

Episcopal Homes Foundation (hereinafter "Project Sponsor") has applied for Conditional Use Authorization to construct a 9-13 story life care facility consisting of 250 apartments, a 55-bed skilled nursing facility, an accessory 12-bed personal care unit, and other accessory residential facilities, including common dining rooms, kitchen, lobby area, activities rooms, chapel, indoor and outdoor open spaces and 250 underground parking spaces, and retail space on Van Ness Avenue and Pine Street (hereinafter the "Project") on Assessor's Block 666, Lots 1, 3, 17, 25, 26, 27, 28, and 29 (hereinafter the "Project Site"). The Project Site has an area of 46,170 square feet. Most of the site (approximately 81%) is in an RC-4 Zoning District, the Van Ness Special Use District, Subarea 1 ("VNSUD"), and the 130-V Height and Bulk District. The remaining western end of the site 75 feet in from Franklin Street (approximately 19%) is in an NC-3 Zoning District and a 130-E Height and Bulk District.

An application for environmental evaluation was filed with the Office of Environmental Review on January 26, 1989. A Draft Environmental Impact Report (the "DEIR") for the Project, 89.037E, was published on June 5, 1992. On July 9, 1992, the City Planning Commission (hereinafter the "Commission") held a duly noticed public hearing on the DEIR for the Project.

An application for Conditional Use Authorization, 89.037C, was filed with the Department of City Planning on April 23, 1992. An addendum to the Conditional Use application was filed on September 18, 1992. A further addendum in the form of correspondence was filed on October 9, 1992.

On November 5, 1992 by Motion No. 13424, the City Planning Commission ("Commission") found the Final Environmental Impact Report ("FEIR") to be adequate, accurate and objective, and certified the completion of the FEIR in compliance with the California Environmental Quality Act ("CEQA"), the State CEQA guidelines and Chapter 31 of the San Francisco Administrative Code.

On November 5, 1992, after certification of the FEIR, the Commission conducted a duly noticed public hearing on the merits of Conditional Use Application No. 89.037C. The public testimony portion of the hearing was closed and the case was continued to November 19, 1992.

In reviewing these applications in accordance with the provisions of the California Environmental Quality Act (hereinafter "CEQA"), the State CEQA Guidelines (hereinafter "State Guidelines"), and Chapter 31 of the San Francisco Administrative Code (hereinafter "Chapter 31"), the Commission has reviewed and considered the information contained in the FEIR and (i) has found the FEIR to reflect the independent judgement of the City; (ii) has found the EIR to be adequate, accurate and objective; (iii) has certified the completion of the FEIR in compliance with CEQA, the State Guidelines and Chapter 31; and (iv) has found that the FEIR contains no significant revisions to the DEIR.

In reviewing this application, the Commission has had available for its review and consideration studies, letters, plans, and reports pertaining to the Project contained in the Department of City Planning's case files and other relevant materials, has held a public hearing on November 5, 1992 and has heard testimony from interested parties.

#### FINDINGS

Having reviewed all the materials identified in the recitals above, and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. Nature of Project. The Project includes the construction of a 250 unit life care facility with a 12-bed personal care unit, other accessory uses, a 55-bed skilled nursing unit and retail uses. The Project will vary from 9 to 13

stories, and be 109 to 130 feet tall. It will consist of a total of 523,711 gross square feet, including approximately 275,817 square feet of residential living space, 20,207 square feet of skilled nursing facility space, 57,745 square feet of residential accessory space (including a personal care facility, dining room and recreation rooms), and about 5,200 square feet of ground-level retail space, with 122,330 square feet of parking and loading space (two ground-level loading docks, 250 parking spaces in a four level underground garage and two guest parking spaces in the Pine Street auto entry court). The Project's FAR is approximately 7.06:1: for the VNSUD portion of the Project. Non-residential use, in the NC-3 portion of the Project will not exceed the permissible FAR of 3.6:1.

2. Requirement for Conditional Use Authorization and Planned Unit Development. The Project requires Conditional Use Authorization for construction of a project in excess of 40 feet in height in an R-district and the VNSUD, for a residential care facility (the Skilled Nursing Facility) serving more than six persons in the VNSUD, for a use exceeding 6,000 square feet in an NC-3 zoning district and for a Planned Unit Development ("PUD"). Approvals are also required as a part of the PUD for modification of the rear yard requirement, for an exception for bay window projections on Austin Street, for exceptions for wind speeds in excess of the VNSUD's standards, for excess bulk in a 130-V district and for excess floor area to permit additional retail space.

3. Project Site. The Project Site is in excess of one-half acre and the development may be treated as a PUD under Section 304 of the City Planning Code (the "Code").

4. Conformity with the Code. The Project is in conformity with all applicable provisions of the Code when considered as a PUD.

5. Application Properly Made. An application for Conditional Use Authorization has been properly filed and accepted.

6. Review by Commission. The Project has been reviewed by the Commission under its Conditional Use authority pursuant to relevant sections of the Code.

7. Authority for Approval. Pursuant to Section 303 of the Code, the Commission may grant Conditional Use Authorization for a project in excess of 40 feet in height in the VNSUD, for a residential care facility use in the VNSUD and for a use exceeding 6,000 square feet in an NC-3 zoning district.

Pursuant to Section 304 of the Code, the Commission may grant Conditional Use Authorization to a project as a PUD and various exceptions to strict application of Code requirements in connection with such approval.

8. Project as Described in FEIR. The Project approved by this Motion is essentially as described as the project in the FEIR, with minor modifications in facade treatment and retail floor area.

9. Compliance with Requirements For Conditional Use Authorization. The Commission has determined that the Project meets all requirements for Conditional Use Authorization under Code Section 303 as follows:

(A) The Project, which will provide a continuum of care to the elderly, is necessary and desirable for the neighborhood and community as demonstrated in part by existing reservations for over 150 of the 250 units proposed for the facility. Only one other residential life care facility, The Sequoias, operates in the City and it has a waiting list. The Project will develop a new use on an economically depressed site, providing new job opportunities in the neighborhood and City. The size and intensity of the Project conforms with Code requirements, except for a small overage in floor area for additional retail space on Van Ness Avenue. This type of project was contemplated by the City in adopting the Van Ness Avenue Plan, which encourages high density residential development at this location. The Project is compatible with the neighborhood and the community in that the Project Site is located in a section of Van Ness Avenue where mid-rise mixed-use and residential structures have been and will continue to be constructed or proposed.

(B) The Project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property,

improvements or potential development in the vicinity in that:

(1) The height and bulk of the Project will be compatible with existing structures in the area. Although the Project is taller than older adjacent structures, it is similar in height to new developments, and even some older apartment buildings, on Van Ness Avenue and Franklin Street and substantially lower than the nearby Holiday Inn. A 20-foot setback has been incorporated on Van Ness Avenue above a 39 foot base, thereby maintaining the established cornice line along Van Ness Avenue. The Project occupies a half-block site with its main length running along east-west streets, thereby preserving the existing character of Van Ness Avenue. The Pine Street facade has a stepped belt course and varied setbacks to create seven vertical modules reflective of the predominant width of existing structures on the Project Site. Ground level retail uses on Van Ness Avenue, multiple entries, a large entry court, landscaping and ground floor common rooms will add to a pleasant and varied pedestrian experience.

(2) The Project will not degrade the level of service at any intersection in the vicinity of the Project Site. Because the Project will not generate many daily vehicle trips, traffic patterns and volume in the vicinity will not be significantly affected. Interior, off-street passenger and freight-loading areas and parking facilities will minimize conflict with local traffic patterns. Off-street parking will be provided to meet the Project demand without relying on on-street parking, thereby ensuring that neighboring businesses and residents will not be adversely affected. Off-street passenger and freight loading will accommodate Project needs.

(3) No reflective glass will be used in the Project and exterior lighting will be designed to prevent glare. As a residential development, the Project will not emit any noxious or offensive odor, noise or dust.

(4) The Project will provide interior common open space and private open space in the form of balconies,

decks, terraces and a swimming pool. Common open spaces will include landscaping, wind-screening as necessary, and amenities such as fountains and benches. Sidewalk areas adjacent to the Project will be improved with planters and trees. All parking spaces will be located underground or in the auto entry court. Final design and selection of materials for pedestrian areas, landscape areas, service areas, lighting and signage will conform to all requirements of the Code. Rooftop mechanical equipment will be screened and integrated as part of the roof form.

(C) The Project as approved will comply with the applicable provisions of the Code.

- (1) The portion of the Project located in the VNSUD will be 109 feet to 130 feet high where the height limit is 130 feet. The portion of the Project in the NC-3 district will be 130 feet high where the height limit is 130 feet.
- (2) The Project will have an FAR of 7.06:1 in the VNSUD where 7.0:1 is permitted. The Commission has approved approximately 2,250 square feet of retail space in the VNSUD in excess of the FAR limit for the purpose of enlivening the streetscape and providing necessary retail services to the Project residents and community, consistent with the goals and policies of the Van Ness Plan. Non-residential use, located within the NC-3 portion of the Project Site will not exceed the permissible FAR of 3.6:1.

The approximately 2,250 square feet of retail area approved by the Commission in excess of the FAR limit for the VNSUD is desirable to increase the potential amount of retailing to serve the needs of the residents of the Project and of the immediate vicinity and to enhance the overall retail function of Van Ness Avenue, consistent with the objectives and policies of the Van Ness Avenue Plan. Because functional requirements of the life care facility make infeasible elimination of proposed uses within the Project to accommodate additional retail area without

such exception to the FAR limit, the Commission has determined pursuant to Code Section 304 that an exception to the FAR limit is warranted in the VNSUD to increase the proposed retail space in order to benefit the neighborhood and the City as a whole.

The Commission has determined that about 252 parking spaces are needed and adequate for the occupancy proposed based upon the FEIR and other testimony and data received.

- (3) As a residential use, the Project is a principal use on all floors located in the NC-3 portion of the Project Site. Any portion which is deemed non-residential and classified as "institutional," would also be a principal permitted use except to the extent such use exceeds 6,000 square feet in which case it would require conditional use approval under Code Sections 712.21 and 121.2. As a residential development with ground floor retail space fronting Van Ness Avenue, the Project exceeds the 3:1 residential to commercial use ratio set forth in Code Section 243(c)(7)(A).
- (4) To the extent required in addition to a finding of the need for such parking pursuant to Section 304, the criteria of Code Section 157 for parking exceeding accessory amounts are met in that:
  - (a) Parking demand associated with the Project cannot be satisfied by the 84 off-street spaces classified as accessory under the Code, and any additional parking for the retail by transit service or car pool arrangements or by existing on or off-street parking in the vicinity of the Project. Parking demand is almost one-to-one when a life care facility first opens. Based on existing reservations for the Project, 90% of the future occupants will own one or more automobiles. Parking is also required for doctors, staff and visitors. The Project

will have employees working two or three shifts, with most employees not traveling during peak a.m. or p.m. periods. Outside physicians require on-site parking. Although Project residents will use transit, especially during daylight hours, and car and van pools will be provided, this will not have a substantial effect on the anticipated parking demand because most Project residents will own cars even if they do not use them for all trips. On-street parking is extremely limited in the Project area, with no capacity for improvement due to three major thoroughfares surrounding the Project Site. Parking is prohibited on the south side of Pine Street between 3 p.m. and 6 p.m.; meter parking is limited to 30 minutes on Van Ness Avenue in front of the Project Site and to one hour on Franklin and Austin Streets. Although some capacity currently exists at off-street parking facilities near the Project Site, use of these facilities by the Project residents would require residents to walk to and from the Project to off-site parking, sometimes late at night. Providing 252 parking spaces in the Project will retain available on-street parking for residents, employees and customers of businesses in the Project vicinity.

- (b) Providing 252 off-street parking spaces in the Project will not adversely affect the surrounding area, contribute to traffic congestion or conflict with transit services. Most Project residents will avoid peak traffic and use public transit and car pools for daytime group activities. Because ingress and egress to the parking garage is located on Austin Street, garage use will not conflict with evening peak hour traffic or MUNI operations in the Project vicinity. The auto entry court on Pine Street will eliminate on-street passenger loading.

- (c) If Project-related parking demand decreases below 252 spaces in the future, the Project Sponsor will designate dedicated visitors' parking areas or offer excess off-street spaces for rent to residents in the Project vicinity.
- (5) No additional setbacks beyond those incorporated into the Project are required for the building. The Project incorporates a setback of 20 feet from Van Ness Avenue above a base of 39 feet, and 2-1/2 to 5 foot setbacks on Pine Street. The setback on Van Ness Avenue maintains the continuity of the prevailing street wall height and exceeds the setbacks that may be required under Code Sections 243 and 253.2(1). No additional setbacks are required on Pine Street because no existing view corridor on Pine Street will be impaired as a result of the Project.

Deviation from bulk limits is required under Code Section 271 as the project within the VNSUD above a height of 50 feet exceeds the 110 foot length standard by 189.75 feet and the 140 foot diagonal standard by 172 feet. Such requirements are met in that the Project's apparent bulk is reduced by varying planes and setbacks along Pine Street, significantly differentiating in height between portions of the building and the use of different details, materials and colors to create a strong pedestrian base and separate the vertical segments. As a result, the design creates the impression of seven separate building elements from the street to the roof. Recessed windows, bay windows, and other rich building details create shadow lines that break the apparent bulk of the structure further and complement the existing Victorian buildings on Pine Street. The Project is also compatible with the character and development of newer projects along Van Ness Avenue in terms of its height, silhouette, materials, colors, detailing and scale. The building includes a low 39 foot base height that enhances the pedestrian environment and incorporates retail use along Van Ness Avenue and

landscaping, wall displays and an auto entry court along Pine Street. This three story base echoes the height of some older neighboring buildings and serves as a transition to the tower elements.

(a) A distinctly better design will be achieved by a deviation from the bulk limits, including creation of a strong street wall and improved sunlight access to open space.

(b) The Project will also provide widespread public service benefits significant to the community at large by offering a continuum of care for the elderly. Compelling functional requirements of the Project necessitate a structure with continuous floors of substantial size. Such requirements include the ability of residents to move to areas of safety without elevators or stairs, quick medical emergency response from the Skilled Nursing Facility to residential apartments, a high opportunity for social contact resulting from ease of access among apartments and to common rooms, and direct connections between the Skilled Nursing Facility and personal care unit of the same floor.

- (7) (a) The criteria for waiver of rear yard requirements in the VNSUD are met in that:
- (i) There are no existing rear yards on the Project Site block and therefore the Project will not adversely affect any interior open space of abutting properties.
  - (ii) The Project will provide more usable open space, approximately 13,000 square feet where approximately 6,500 square feet are required, accessible to Project residents.

- (iii) The Project will not significantly impede light or air to abutting properties in the VNSUD because none exist in that portion of the Project.
- (b) The criteria for modification or waiver of rear yard requirements to allow for the absence of a rear yard at the first level of residential use in the NC-3 portion of the Project are met in that:
  - (i) Residential uses are included in the Project and more usable open space is provided elsewhere within the Project where it is more accessible to Project residents than would be provided by a rear yard on the first level of residential use, as required by the Code for projects in a NC-3 District.
  - (ii) Sunlight access to existing structures on the south side of Austin Street will not be impeded and sunlight access to buildings on the west side of Franklin Street will not be significantly affected by the Project. Shadow studies show little impact, if any, from the Project on existing structures around the Project Site.
  - (iii) The Project will not adversely affect the interior block open space formed by the rear yards of adjacent properties.
- (8) The personal care unit (approximately 8,980 square feet) requires conditional use approval under Code Sections 712.21 and 121.2, which require conditional use authorization of nonresidential uses of over 6,000 gross square feet in NC-3 Districts, only due to its size.

The requirements of Code Section 121.2 are met in that the Project is fundamentally a residential use, consisting of dwelling units and ancillary support facilities such as the personal care

unit. For this reason, the personal care unit will not foreclose the location of other needed neighborhood-serving uses in the area. The Project will serve a demonstrable need for a life care facility in the City and neighborhood, and total necessary components, including the personal care unit, cannot be provided within the space of 6,000 square feet. The Project is designed in discrete elements to respect the developing scale of the district.

- (9) The Project will cause ground level wind currents to exceed the pedestrian comfort level established by Code Section 243(c)(9) outside the VNSUD where Franklin Street intersects with Pine Street and Austin Street by 1 mph and 2 mph respectively. Ambient wind speeds in the vicinity of the Project Site on Van Ness Avenue and Pine Street currently exceed the comfort criterion and cannot be reduced by the Project design or any other known structure. The Project will not therefore cause ground level wind currents to exceed the pedestrian comfort level within the VNSUD established in Code Section 243(c)(8), but will cause two such exceedences outside the VNSUD. There are no ground level public seating areas in the vicinity of the Project. The equivalent wind speed will not exceed the hazard level of 26 mph set forth in the Code as a result of the Project.

An exception to the Code requirement calling for a reduction of ambient ground level wind currents that presently exceed comfort levels is warranted because the building cannot be reshaped, or wind baffling measures adopted, to reduce ambient wind speeds. Currently, ambient wind speeds in the vicinity of the Project Site exceed the 11 mph pedestrian comfort criterion on portions of Van Ness Avenue by reason of the Holiday Inn building located northeast across the street from the Project Site. The low-rise buildings currently existing on the Project Site do not prevent these high speed wind currents. All data and analysis indicate that neither a no-project alternative

nor any feasible development will reduce ambient winds speeds because the Project Site is not upwind of the Holiday Inn building. Wind tunnel tests of a number of alternatives to the Project design indicate that feasible alternative designs could not reduce the excesses and would only shift the location of the currents. To the extent Code Section 243(c)(9) is applicable to the area outside the VNSUD, an exception to the code requirements is warranted because excess ground level wind currents on Franklin Street could only be reduced by adding significant building setbacks to the Project facade on Franklin Street. Such setbacks are infeasible because they would significantly reduce the development potential of the Project Site (loss of approximately 25 units) or require reconfiguration in conflict with NC-3 rear yard requirements and with attendant loss of sunlight to open space.

(10) The 55-bed Skilled Nursing Facility constitutes a residential care facility under Code Section 209.3(c) because it will provide lodging, board and care for periods of 24 hours or more to seven or more persons in need of specialized aid by personnel licensed by the State of California. The Skilled Nursing Facility meets the requirements of Code Section 209.3(c) for conditional use authorization in the RC-4 District in which it will be located because there will be no display on or near the building which gives an outward indication of the nature of the Skilled Nursing Facility, no outpatient services will be provided and it will be located in the Project, which constitutes a residential use. As an integral part of the life care facility, the Skilled Nursing Facility also qualifies for conditional use authorization for the reasons stated elsewhere in this motion.

(11) The requirements of Code Section 253 with respect to conditional use authorization of buildings in excess of 40-feet in R-Districts are met in that the criteria stated in Code Section 303 and the objectives, policies and principles of the Master Plan are met as discussed elsewhere in this motion.

(a) The additional requirements of Code Section 101 are met in that the Project will promote the goals of the Van Ness Avenue Plan for development of high-density residential uses, will provide adequate light, air, privacy and convenience of access without adversely affecting the open space of abutting properties, and will provide a structure which meets current seismic safety, fire safety and Title 24 standards, as required. The density of the Project is consistent with that contemplated under the Van Ness Avenue Plan, and the location and use of the building will not cause undue interference with existing or prospective traffic movements on streets in the vicinity of the Project because of the anticipated low trip generation and the provision of adequate parking.

(b) The purposes of the Residential Districts established by the Code are met in that the Project will create 250 units meeting the special needs of the elderly. Although the Project requires demolition of a residential hotel with twenty affordable units, the rooms will be replaced by 250 units for the elderly and by at least twenty new single occupancy rooms affordable to individuals with low incomes through financial contributions by the Project Sponsor pursuant to Chapter 41 of the San Francisco Administrative Code. The height, bulk and density of the Project will be compatible with new development in the area and is consistent with the scope of development contemplated under the Van Ness Avenue Plan. The Project will maximize housing choice in the City by assuring the availability of quality housing for the elderly suitable to a range of household types, lifestyles and economic levels. The Project will meet outstanding community needs by providing a second residential life care facility in the City. Adequate indoor and outdoor spaces for the Project's occupants are provided by the common areas on the second, third and fourth levels. The Project will also promote balanced neighborhoods by including retail uses at street

level along Van Ness Avenue to meet the needs of residents of the Project and immediate vicinity.

(c) The Project is consistent with the purposes of the RC-4 District in that it provides 250 residential units with supporting retail uses at ground level and includes open space in excess of that required by the Code.

(d) As discussed elsewhere in this motion, the Project meets the purposes of the height and bulk districts. The height and bulk of the Project are consistent with that of other new developments in the Van Ness corridor and the height is consistent with even some older apartment buildings in the area. No open space or other public areas are affected by the location and design of the building. Transitions between new and older buildings are maintained by the provision of the 39-foot base height of the building, use of bay windows, and articulation of the building facade along Pine Street to represent the scale of existing development in the area. The Van Ness Avenue Plan contemplates high density residential development of the scale provided by the Project.

(12) The Project requires an exception from Code Section 136(c)(2)(B) for its bay window projections on Austin Street. The deviation from Code requirements is minor (1 foot) and enhances the Project's overall design along the Austin Street facade.

(D) The Project will affirmatively promote, is consistent with, and will not adversely affect the Master Plan, including, among others, the following objectives and policies:

Van Ness Avenue Area Plan

(1) Land Use

(a) The Project makes use of a large, substantially under-developed parcel to add

a significant increment of new residential development which will continue commercial use along Van Ness Avenue, consistent with Objective 1.

- (b) The Project provides new high density housing above ground floor commercial use, consistent with Objective 1, Policy 1.
- (c) The Project will maximize the number of dwelling units developed on the Project Site, thereby promoting Objective 1, Policies 1 and 4.
- (d) The Project includes a mix of units in all sizes to encourage a mix of occupants consistent with Objective 1, Policy 4.

(2) Urban Design

- (a) The height of the Project is within the height limits set forth in the master plan and Code, consistent with Objective 5, Policy 1.
- (b) The Project will provide a cohesive street wall along Van Ness Avenue by incorporating a 20-foot setback above the 39-foot high podium, promoting Objective 5, Policies 2 and 3.
- (c) No significant view corridors exist in the Project vicinity. Therefore no additional set-back is necessary along Pine Street, consistent with Objective 5, Policy 4.
- (d) The Project design maximizes the number of dwelling units and provides adequate light, air and open space without adversely affecting the open space of a abutting properties, consistent with Objective 5, Policy 5.

(3) Architecture

- (a) The Project's exterior facade on Van Ness Avenue has been designed to complement and enhance the varied architectural styles along Van Ness Avenue, consistent with Objective 6, Policy 1.
- (b) The Project is located on a block bisected by an alley and contains differentiation in the facade plane, consistent with Objective 6, Policy 2.
- (c) The building contains setbacks and other design features to increase sun exposure on the sidewalks and open spaces, including rooftops and court yards, promoting Objective 6, Policy 3.
- (d) The building differentiates the base from the upper levels and incorporates detail at ground level through variety in materials, color and projections. A common element using the base height fronting on Van Ness Avenue will be carried throughout the building. Non-reflective glass will be used throughout the building. The design of the Austin Street facade incorporates a cornice and change in colors and materials. The proposed Project is therefore consistent with Objective 6, Policy 4.

(4) Residential Livability

- (a) The Project will provide a secure, safe and attractive environment which will promote the physical and mental well-being of the elderly. Residential common areas are located on the second, third and fourth floors and are separated from retail uses, advancing Objective 7, Policy 1.
- (b) The Project will provide a variety of common indoor and outdoor open spaces, as well as terraces and balconies. Many of the common

areas will be indoors. Outdoor seating areas will be protected by landscaping or wind screens, as appropriate. The open space is primarily located on the Austin Street side of the Project to maximize sunlight and minimize noise. The Project is therefore consistent with Objective 7, Policies 2, 3 and 4.

(5) Streetscape

- (a) Project sponsors will improve or maintain the sidewalk space abutting the Project consistent with Van Ness Avenue Plan policies by planting or replacing street trees or groundcover, promoting Objective 8, Policies 1, 2 and 3.
- (b) Existing sidewalk widths will be maintained, consistent with Objective 8, Policy 5.
- (c) New sidewalks along Van Ness Avenue and Pine Street will implement the design criteria set forth in Objective 8, Policies 6 and 7.
- (d) The Project design on Van Ness Avenue incorporates features suitable for retailer signage. No projecting signs except for possible awnings will be used; signage will be discreet and surface mounted at pedestrian and vehicular entrances, consistent with Objective 8, Policy 11.

(6) Transportation and Circulation

- (a) The Project will provide access to 250 off-street parking spaces from Austin Street, a minor east-west street, and will not allow direct parking access from Van Ness Avenue, consistent with Objective 9, Policy 5.
- (b) The Project will provide parking spaces at a ratio of one parking spaces per dwelling

unit to meet the demand of the Project, promoting Objective 9, Policy 8.

- (c) The main residential entrance on Pine is graciously designed and commercial entrances are featured on Van Ness Avenue, thereby enhancing pedestrian circulation and promoting Objective 9, Policy 12.
- (d) The two off-street freight loading spaces are located on Austin Street, consistent with Objective 9, Policy 14.

(7) Preservation of Significant Buildings

- (a) Although the 1623 and 1629 Pine Street buildings have been designated as architecturally and historically significant, demolition of these buildings is consistent with Objective 11, Policy 1, because an extensive structural and economic studies demonstrate that the buildings have suffered irretrievable deterioration and damage from the Loma Prieta Earthquake and have been rendered unoccupiable and infeasible of rehabilitation for any use.
- (b) Although the Project involves the demolition of two buildings characterized as contributory under the Van Ness Avenue Plan, these buildings are also not economically feasible to rehabilitate and it is not possible to develop the Project while retaining these buildings because of the adverse impacts on the number of residential units that could be provided and on the provision of life care services. The Project is therefore consistent with Objective 11, Policy 3.
- (c) The Project design harmonizes with themes of nearby buildings of architectural value, consistent with Objective 11, Policy 4.

Residence Element

- (1) The Project will meet identified housing needs by providing new housing for seniors in the Van Ness corridor, which has been designated as a prime location of new residential development, furthering Objective 1.
- (2) The Project Site, which is currently an under-utilized commercial area, will be converted to high-density residential use without displacement of commercial activity, in conformance with Objective 1, Policy 2.
- (3) The Project provides new high-density housing in the VNSUD and the NC-3 District and will not generate additional traffic and parking problems because the residents of the Project will not generate a significant number of vehicle trips and the anticipated parking demand will be met on-site, implementing Objective 2, Policy 2.
- (4) Although the Project requires the demolition of a residential hotel with 20 permanent units, the rooms will be replaced by 250 units for the elderly and by new single occupancy rooms affordable to individuals with low incomes at the Canon Kip Community Center, consistent with Objective 3, Policies 1 and 7.
- (5) The Project will eliminate existing buildings, including a residential hotel, which do not meet seismic safety standards and replace them with a residential building designed to provide care for the elderly in a new building meeting today's Code requirements for seismic safety, thereby promoting Objective 4, Policy 2.
- (6) The inclusionary affordable housing policy of Objective 7, Policy 2 does not apply to the Project because the Project Sponsor commenced acquisition of the Project Site and filed an environmental evaluation application for the Project prior to July 16, 1990 and reasonably did not expect at that time to be required to provide

affordable units in the Project. Bonds were sold for Project financing in 1988, premised upon sale of the units as forecast at that time. The bond sale and the 1988 Project budget did not include funds for subsidized units because of the Project Sponsor's other affordable housing projects in the Bay Area. The Project Sponsor, as an integral part of the Episcopal Diocese of California's outreach program for the poor and the elderly, has completed a low-income senior housing project in San Francisco (Presidio Gates).

The Project is comprised of life care services and social programs in addition to shelter, and is not a housing project of the type contemplated by the inclusionary affordable housing policy. Measures of affordability, using market rates for rental or homeownership, are inappropriate to the life care facility context, making the application of the inclusionary policy infeasible. In addition, the Project meets the Guideline requirements for policy modification in that it will serve a demonstrable community need in providing special housing services for the elderly that are affordable to a broad cross-section of elderly residents, with an "assist program" that assures continued occupancy to those who exhaust their assets and income over time.

- (7) The Project will have access to transit, police and fire services, and will contain its own amenities, which will provide residents with a quality living environment, consistent with Objective 12, Policy 1.
- (8) The Project will contain appropriate neighborhood-serving retail activities on Van Ness Avenue and a portion of Pine Street that are primarily pedestrian oriented, furthering Objective 12, Policy 2.
- (9) The Project's exterior design, recreation/open space, security and building maintenance will

provide quality housing designed to serve the special needs of its elderly residents, consistent with Objective 12, Policy 4.

- (10) The Project will provide residential life care units suited to the special needs of the elderly, some of whom will be physically disabled and all of whom will choose the Project because of the support services such as ancillary social and medical service facilities and sense of community, furthering Objective 13, Policies 2 and 3.
- (11) The relocation and displacement caused by the closure of the Gita Hotel has been minimized by the implementation of a fair and equitable relocation plan and the provision of comparable replacement housing and comparable rents, consistent with Objective 14, Policies 1, 2 and 3. All former residents of the Gita Hotel have been relocated in full compliance with the City's Residential Hotel Unit Conversion and Demolition Ordinance and have been provided relocation financial assistance in excess of that required by law. The Project Sponsor contributed funds for development of replacement housing in the Canon Kip project, an affordable housing project commenced by the Project Sponsor, which more than adequately covers the cost of the replacement housing. All former Gita Hotel residents will be offered replacement units in the Canon Kip project when those units are constructed, with the Project Sponsor subsidizing the rent differential for as long as the resident remains at Canon Kip.
- (12) The Project will help meet regional housing needs by providing a residential life care facility in the City, where only one other currently exists, promoting Objective 16, Policy 2.

Commerce and Industry Element

- (1) The Project will help establish a new job-producing activity in the City, consistent with Objective 2, Policy 1.
- (2) The Project will create approximately 200 new jobs, many at the entry level, advancing Objective 3, Policies 1 and 2.
- (3) The Project will provide retail space on Van Ness Avenue which will encourage the provision of goods and services for the area, consistent with Objective 6, Policies 1 and 2.
- (4) The Project will provide continuous retail frontage at street level on Van Ness Avenue, consistent with Objective 6, Policy 7.
- (5) The Project will be located in an area characterized by vacant buildings and will promote revitalization of the area, advancing Objective 7, Policy 10.
- (6) The Project will provide needed health services for the elderly in this area of the City, will promote employment opportunities, and encourage appropriate residential use in the neighborhood-commercial area, consistent with Objective 7, Policies 2 and 3.

Recreation and Open Space Element

The Project will provide more than double the required usable open space on site for enjoyment by the residents, including more open space than required in the form of common usable space and private and shared terraces and balconies, consistent with Objective 4, Policy 5.

Transportation Element

- (1) The Project has been designed to meet the needs of the elderly being located in an area well served by transit and near neighborhood

commercial districts, consistent with Objective 2, Policy 2.

- (2) The Project Sponsor will provide incentives for the use of transit, car and van pools for residents and employees, thereby promoting Objective 2, Policy 6.
- (3) The Project Sponsor will provide secure on-site storage for bicycles for commuters, thereby promoting Objective 9, Policy 1.
- (4) The Project will provide below-grade parking sufficient for the demand created by the Project without creating adverse traffic effects on surrounding streets, consistent with Objective 10, Policy 1.
- (5) The Project will allocate a portion of the parking spaces for compact cars, consistent with Objective 10, Policy 4.
- (6) The Project's parking facility will not provide excess parking spaces, consistent with Objective 12, Policy 1.

Urban Design Element

- (1) The Project is consistent with Objective 1, Policies 1 and 3 (see Van Ness Avenue Area Plan, Objectives 5 and 6 above).
- (2) The Project is consistent with Objective 3, Policies 1 through 8 (see Van Ness Avenue Area Plan, Objectives 5 and 6 above).
- (3) The Project has been designed to buffer traffic noise from Pine Street and Van Ness Avenue and to provide an excess of recreational open space, consistent with Objective 4, Policy 2.
- (4) The Project includes on-site recreational and social facilities such as swimming pool and spa, community meeting room and music room to meet some of the residents' recreational needs, furthering Objective 4, Policy 10.

- (5) The Project will include landscaping and will provide human scale and interest along Pine Street and Van Ness Avenue with retail windows, displays, landscaping and architectural variation, consistent with Objective 4, Policies 12 and 13.

Environmental Protection Element

- (1) The Project will not disrupt the natural ecological balance or degrade the visual character of natural resources, consistent with Objective 1, Policy 4.
- (2) The Project will include a 20-foot setback on Van Ness Avenue and will incorporate noise insulation materials, lessening the noise intrusion on the Project, consistent with Objective 10, Policies 1 and 2.
- (3) The Project will incorporate energy saving appliances and fixtures, consistent with Objective 13, Policy 4.
- (4) The Project provides off-street freight loading, advancing Objective 15, Policy 4.

Community Safety Element

- (1) The Project will be constructed to meet current seismic safety requirements and the portion of the building containing the Skilled Nursing facility will be designed to meet Title 24 Hospital Construction Standards, promoting Objective 1, Policy 1.
- (2) The Project is consistent with Objective 2, Policy 1 (see Van Ness Avenue Area Plan, Objective 11 above).

10. Compliance with Requirements for Planned Unit Development. The Commission has determined that the Project meets all requirements for a planned unit development under Code Section 304 as follows:

(A) Project Site. The Project Sponsor owns or will own the entire Project Site, and the Project Site, consisting of 46,170 square feet, exceeds the 1/2 acre requirement for a planned development.

(B) Objectives. The proposed Project will provide integrated residential facilities and health care services for its occupants in a stable and safe environment designed to meet the needs of the elderly. The Project will help fulfill an unmet demand for a full service life care facility in the City, as only one other such facility currently operates in the City. The Project is therefore desirable and beneficial to the neighborhood and the City as a whole and the high quality of the Project design warrants modification of some provisions of the Code.

(C) Section 303. As discussed above, the Project meets the criteria applicable to conditional uses as stated in Section 303(c) and elsewhere in the Code.

(D) Master Plan. As fully discussed above, the Project affirmatively promotes applicable objectives and policies of the Master Plan.

(E) Off-Street Parking. The Project will provide off-street parking and loading adequate for the occupancy proposed. Two hundred fifty-two (252) parking spaces will be provided, including two guest parking spaces for short-term use and that amount of parking is required to satisfy project demand. Current reservations for the Project indicate that about 90% of the future occupants will own automobiles. To the extent that the Project's parking supply exceeds that considered accessory under the Code, such additional parking is necessary to meet project demand and to retain the available on-street parking for residents, employees and customers in the immediate Project vicinity.

(F) Open Space. The proposed Project will provide more private and common open space than required by the Code.

(G) Dwelling Density. The dwelling unit density of the Project will not exceed the allowable density for senior housing under the Code for the portion of the Project located in the NC-3 district and will be less than that for the next highest district for non-senior housing. There is

no density limitation for the portion of the Project located in the VNSUD.

(H) R District Limitations. In the RC-4 district portion of the Project, the Project will include retail uses on Van Ness Avenue that are designed to serve residents of the Project and the immediate vicinity.

(I) Height. The Project will not exceed allowable height limits established by the Code.

(J) NC District Floor Area. Non-residential uses located in the NC-3 portion of the Project will not exceed the FAR of 3.6:1 allowed under Section 124 of the Code. Approximately 8,164 square feet of area are not considered accessory and therefore count against the allowable FAR. The 8,164 square feet equals a 0.9:1 FAR.

(K) NC District Use Limitations. As a residential use, the Project is a principal use on all floors located in the NC-3 portion of the Project Site. Any portion deemed nonresidential and classified as "institutional" is also a principal or conditional permitted use.

11. Conformity with Priority Policies. On balance, the Commission finds that the Project is consistent with the Priority Policies established in Section 101.1(b) of the Code in that the Project will:

- (a) Enhance neighborhood-serving retail uses in the area by creating retail uses and job opportunities on Van Ness Avenue;
- (b) Cause minimal displacement of existing residential units while strengthening the economic and cultural diversity of the neighborhood through the diverse background of future residents;
- (c) Preserve and enhance the supply of affordable housing in the City by constructing 250 residential units which meet the special needs of the elderly and assisting in the financing of 103 units of additional affordable housing to be constructed in the Canon Kip project, to replace

the 20 residential units formerly located in the Gita Hotel;

- (d) Cause no additional commuter traffic that will impede Muni transit service or overburden neighborhood streets and parking because the Project will generate a low number of vehicle trips and will provide adequate on-site parking to meet its projected demand;
- (e) The Project is not an office development and will create new job opportunities;
- (f) Replace existing structures which do not meet present day seismic safety requirements, some of which were severely damaged in the 1989 Loma Prieta earthquake and cannot be seismically upgraded, with a building which meets all applicable safety requirements of the current building code;
- (g) Involve the demolition of two buildings designated in the Van Ness Avenue Area Plan as historically and architecturally significant because they have been determined unsafe for occupancy and infeasible to repair or rehabilitate for any use and would have to be demolished in any event and the Landmarks Preservation Advisory Board has advised that it is not opposed to such demolition;
- (h) Not impair sunlight access of any park or open space, nor obstruct public view corridors or vistas.

12. Mitigation of Environmental Impacts. The mitigation measures set forth in the FEIR as included in the Project are incorporated as part of the Project and imposed by the Commission as conditions of approval of the Project and will substantially mitigate environmental and other impacts of the Project such that the only significant adverse impacts will be as indicated below. Other conditions of approval imposed upon the Project will further mitigate Project impacts or otherwise improve the Project. The conditions of approval are attached hereto as

EXHIBIT A and are incorporated herein by reference as though fully set forth.

Implementation of Mitigation Measures included in the FEIR and imposed as conditions of approval will be monitored pursuant to CEQA §21081.6 as described in a Mitigation Monitoring and Reporting Plan that is attached hereto as Exhibit C and incorporated herein by reference.

The FEIR indicates that demolition of the 1623 and 1629 Pine Street buildings constitutes a significant environmental impact that cannot be eliminated or reduced to a level of insignificance by mitigation measures incorporated into the Project. Further mitigation of this effect is not feasible unless the Project Site is changed or the Project is substantially altered (see "14" below).

13. Mitigation of Other Impacts. The conditions imposed by the Commission will also mitigate impacts other than those on the environment as defined for FEIR purposes.

14. Infeasibility of Alternatives and Mitigation Measures. As to the following Alternatives to the Project which are not included as part of the Project described in the FEIR, the Commission finds as follows with respect to their ability to further reduce or avoid significant impacts and as to their feasibility:

A. Alternatives

- (1) Alternative One, "No Project Alternative," might avoid the Project's significant impact if a means were found to avoid demolition of the 1623 and 1629 Pine Street buildings, but is infeasible because (i) it would not create a residential life care facility meeting the special housing and medical needs of the elderly, (ii) it would violate Code Section 101.1(b)(6) by retaining the existing structures which do not meet seismic safety requirements and cannot be made seismically safe without substantial demolition and reconstruction which evidence indicates is economically infeasible, (iii) it would result in an underutilization of land in an area designated for high density residential development, and

- (iv) it would not create new employment opportunities or contribute to the economic health of the Van Ness Avenue area, thereby not meeting Master Plan objectives.
- (2) Alternative Two, "Mixed Use Development," would not avoid the Project's significant impact and is infeasible because (i) it would not create a residential life care facility meeting the special housing and medical needs of the elderly, (ii) it would increase traffic congestion and air quality effects in the area, (iii) it would not create as many jobs on site as the Project, and (iv) its design would not be consistent with the prevailing architecture in the vicinity or the City's Urban Design policies.
- (3) Alternative Three, "Preservation," Variants C-1 and C-2, would avoid the Project's significant impact but is infeasible because (i) the preservation of 1623 and 1629 Pine Street buildings under either Variant is economically infeasible, (ii) neither Variant would contain the minimal number of residential units necessary for development of a full-service life care facility, and (iii) support facilities would have to be duplicated unnecessarily.
- (4) Alternative Four, "Three-Tower" would not avoid the Project's significant impact and is infeasible because (i) the alternative design would result in less efficient delivery of services and elimination of public assembly and activity areas at the top of the central portion of the building, (ii) it would result in less interaction between residents due to the elimination of direct connections among residential units, (iii) its design would not be consistent with the prevailing architecture in the vicinity or the City's Urban Design policies encouraging uniform streetscapes, and (iv) reduced distances between towers would create less desirable residential units.

15. Benefits of Project. The following benefits are generated by the Project:

- (a) enhancement of the Van Ness Avenue area with a new life care facility for the elderly and retail use on Van Ness Avenue and Pine Street, consistent with the objectives of the Van Ness Area Plan and other elements of the Master Plan;
- (b) creation of approximately 200 permanent jobs, many at the crucial entry level;
- (c) provision of care, companionship and compassion to elderly citizens of San Francisco in a secure environment that addresses a growing social need created by an increasing elderly population;
- (d) the availability of housing units currently occupied by the elderly to other productive San Franciscans;
- (e) the Project's Sponsor's contribution of funds for the construction of 103 affordable housing units at Canon Kip to replace 20 residential hotel units in San Francisco;
- (f) contribution to the City's economy through the budget of the Project, while retaining important expenditures by residents who might otherwise leave the area.

16. Statement of Overriding Considerations. After balancing unavoidable significant and other adverse effects on the environment and the benefits of the Project, the Commission concludes that the benefits of the Project outweigh any unavoidable adverse effects on the environment, which are hereby found to be acceptable, and that the social, economic, and environmental benefits of the Project constitute overriding considerations justifying approval.

DECISION

Therefore, the Commission, after carefully balancing the competing public and private interests, both environmental and otherwise, hereby approves Conditional Use Application

City Planning Commission

File No. 89.037C  
1661 Pine Street  
Assessor's Block 666  
Lots 1, 3, 17, 25, 26,  
27, 28 and 29  
Motion No. 13429  
Page 32

No. 89.037C, for a Conditional Use Authorization including use of the Project Site for a residential life care facility, subject to the Conditions of Approval attached hereto as EXHIBIT A, and the Mitigation Monitoring and Reporting Program attached hereto as Exhibit C, which are incorporated herein as though fully set forth.

I hereby certify that the foregoing Motion was ADOPTED by the City Planning Commission on November 19, 1992.

Linda Avery  
Commission Secretary

AYES: Commissioners Boldridge, Levine, Lowenberg, Prowler,  
Smith and Unobskey

NOES: None

ABSENT: Commissioner Fung

ADOPTED: November 19, 1992

EXHIBIT A

CONDITIONS OF APPROVAL

I. CONDITIONS TO BE MET

A. Land Use/Density

This approval is for a residential life care facility containing approximately 250 residential units, a skilled nursing facility, accessory residential facilities including common dining room, kitchen, activities rooms, chapel and a personal care unit, retail space on Van Ness Avenue and Pine Street, 252 parking spaces in a below-level parking garage and an auto entry court located on Pine Street and two loading spaces, in general conformity with the plans accepted by the Commission on November 19, 1992 as EXHIBIT B, dated November 5, 1992 modified in response to the Commissions concerns.

B. Design

1. The final plans shall meet the standards of the Planning Code with the exceptions permitted under the Conditional Use and Planned Unit Development.

2. The final design, pattern, and character of architectural and decorative detailing shall be reviewed and approved by the Department staff prior to approval of the superstructure addendum to the site permit.

3. Decisions on final materials, glazing, color, texture, landscaping and detailing shall be subject to review and approval by Department staff. Highly reflective spandrel or vision glass and reflective coated mirror glass or deeply tinted glass shall not be permitted.

4. The Project Sponsor shall include within the project not less than 5,000 rentable square feet of retail space, including approximately 1,200 rentable square feet of space at the corner of Van Ness and Austin Street entered from Van Ness Avenue, and approximately 3,950 rentable square feet of rectangular space at the corner of Van Ness and Pine Street entered from Van Ness Avenue and from Pine Street, both as shown on Exhibit B. The larger area shall have the ability to access and accommodate all utilities,

including necessary HVAC systems (air intake and exhaust) which may be required for a restaurant and shall be capable of meeting all of the code requirement for a restaurant with subsequent tenant improvements.

5. The Project Sponsor shall continue to explore the feasibility of providing a gasoline filling service within the garage.

6. The Project Sponsor shall continue to work with Department staff to develop design treatments which advance the goals of the Code in reducing the buildings perceived bulk.

C. Landscaping and Open Space

1. A landscape plan prepared by a licensed landscape architect shall be submitted for review and approval by the Department of City Planning prior to approval of the final addendum of the site permit. The plan shall emphasize drought resistant plants, street trees of reasonably large size along Pine, Van Ness and Franklin Streets with smaller trees on Austin Street and shall comply with Code Section 143.

2. Common open space areas shall be retained for the use of residents for the lifetime of the project.

D. Housing Affordability

Should any units be converted from senior life care units to conventional market rate units, such conversion of units shall be subject to any housing affordability guidelines or ordinances in effect at the time of such conversion. Any provisions of such future housing affordability guidelines or ordinances exempting existing units shall not apply to the Project.

E. Transportation

1. Parking and Loading

a. The Project shall include an off-street parking supply of approximately 252 spaces to help offset the estimated demand of 270 spaces. The Project shall include a covered off-street passenger pick-up/drop-off area accessible from Pine Street.

b. The Project shall include two separated loading docks on Austin Street to meet loading/delivery demand.

c. The Project parking driveway shall include warning devices (lighted signs and/or noise-emitting devices) to alert pedestrians to vehicles exiting the structure.

d. Not later than three years from the date of opening of the facility, and from time to time thereafter, the Project Sponsor shall report to the Planning Department regarding utilization of parking garage capacity. In the event that spaces are available surplus to the demands of residents, employees, and visitors, the Project Sponsor shall proceed to make available spaces for rent to business owners, residents, employees and/or visitors within the vicinity, in cooperation with the Planning Department, and no modification of this conditional use authorization shall be required in order to install those physical or management techniques necessary to implement this condition, such as additional gates to divide the garage.

2. Construction Related Transportation

a. The Project Sponsor shall prepare a phasing plan for the closure and temporary use of public street and/or sidewalk space during the construction period. Such a plan shall be accepted and approved by the City prior to and as a part of approval of a right-of-way encroachment permit. Such a plan shall include the following:

- (i) Installation of a fenced enclosure along all streets for the safety of the public and temporary sidewalks on Van Ness Avenue and on other streets if necessary to accommodate pedestrian needs, which should be balanced with traffic flow needs;
- (ii) Prohibition of long-term idling by trucks waiting to unload construction materials to minimize exhaust emissions; and
- (iii) Monitoring of truck movement into and out of the Project Site to reduce any conflicts.

b. The Project Sponsor and the construction contractor shall meet with the Traffic Engineering Division of the Department of Parking and Traffic, the Fire Department, MUNI and the Department of City Planning to determine feasible traffic mitigation measures to reduce traffic congestion and inconvenience to nearby residents and businesses during construction of the

Project and other nearby projects, if any. To minimize cumulative traffic impacts due to lane closures during construction, the Project Sponsor shall coordinate with construction contractors for any concurrent nearby projects, if any, that are planned for construction or which later become known.

3. Deliveries

The Project Sponsor shall instruct suppliers and service providers to use Franklin Street from the south, or Pine Street from the east, to avoid any tendency for U-turns from northbound Van Ness Avenue at Pine Street. The Project Sponsor shall, to the best of its ability, inform all companies making deliveries to the site that vehicles greater than 30 feet in length shall not be used as the loading docks on Austin Street cannot accept longer vehicles and loading/unloading in the traffic lane(s) is not permitted.

4. Sidewalks

a. The Project Sponsor shall correct existing sidewalk obstructions and irregular grades (as currently exist on Austin Street) to allow free flow pedestrian movement. The placement of paving, landscaping or other structures in the sidewalk area (subject to City approval) shall be done in such a way as to minimize interference with pedestrian traffic.

b. Along Van Ness Avenue and along Pine and Austin Streets to a depth of not less than 75 feet, sidewalk paving materials shall be concrete, light grey-tone in color, with a plain, brushed surface texture, except for a darker grey 12 inch curbside trim which should add a richness in color and texture.

c. The curbside trim shall be hydraulically pressed, pre-cut four-inch square stone paving blocks to a horizontal depth of 12 inches. The stone pavers should be of a complementary medium grey-tone color (e.g., Hanover Prest Paving R.D. No. 4).

d. While subsurface sidewalk vaults are discouraged, the Project Sponsor shall design any subsurface sidewalk vaults to allow for possible future widening of adjacent streets. Vault design shall be of sufficient strength to carry maximum vehicular live and dynamic loads. Vault areas could be designed to accommodate street trees subject to Department of Public Works approval. In addition, should vaults exist or be installed as part of the Project, the Project Sponsor shall

accommodate and pay for the installation of all subsurface footings, supports and foundations as may be required for future public improvements such as street lights, street trees, trolley wire poles, signs, benches and transit shelters within the Project vault areas.

5. Transportation Management

a. The Project Sponsor shall encourage transit use by employees not living nearby, and transit use by residents by posting MUNI schedules in employee common areas and by selling Fast Passes for MUNI to employees and residents on site.

b. The Project Sponsor shall encourage automobile rental rather than ownership for project residents.

c. Not later than three years after the date of opening of the facility, the Project Sponsor shall survey its employees to determine modes and times of travel to and from work, report such results to the Planning Department and meet with the Planning Department to determine if additional measures are warranted to achieve reduced work trips by personal automobile.

d. The Project Sponsor shall reserve at least two spaces on the first level of the garage for vanpools organized by or for project employees. Once project hires are completed, the Project Sponsor shall conduct a survey of employees to determine the potential for vanpool use organized by the Project Sponsor itself or by others. If demand exists to support vanpool service operated by the Project Sponsor, the Project Sponsor shall make available the project vehicles for that purpose during the prime commute period or otherwise support vanpool service by others.

e. The Project Sponsor shall assess actual parking demand every five years following the residential occupancy. If demand declines the surplus parking shall be made available to residents, business owners, merchants and others in the area. To provide adequate security for residents, additional resident-controlled gates would be required beyond the public parking area.

6. Bicycle Storage

The Project Sponsor shall provide secure bicycle storage facilities for 13 bicycles which would, at a minimum, provide safe shelter for commuters and short-term visitors to the Project.

7. Other

The Project Sponsor shall, in consultation with MUNI, install eyebolts or make provisions for direct attachment of eyebolts for attachment of MUNI trolley wires on the proposed building wherever necessary or waive the right to refuse the attachment of eyebolts to the proposed building if such attachment is done at City expense.

F. Construction Activities - General

1. The Project Sponsor shall use drapes to close in building floors when applying mineral-based insulation to the building frame.

2. The Project Sponsor shall designate an individual to whom complaints regarding temporary noise, dust, fumes, double parking and other construction-related impacts can be made during Project construction. The Project Sponsor shall post the name and phone number of the designated individual in a visible location at the Project Site.

G. Construction Noise

1. The construction contract shall require that the project contractor muffle and shield intakes and exhausts, shroud or shield impact tools, and use electric-powered rather than diesel powered construction equipment, as feasible, so that noise will not exceed limits stated in the City Noise Ordinance (Article 29, San Francisco Police Code, 1972).

2. The Project Sponsor shall require the general contractor to construct barriers around the site, and around stationary equipment such as compressors, to reduce construction noise by as much as five dBA, and to locate stationary equipment in pit areas or excavated areas, as these areas would serve as noise barriers.

H. Operational Noise

The Project Sponsor shall require the building management to maintain a general policy against the unnecessary use of emergency vehicle sirens to reduce the disruptive noise impacts they create to Project residents and surrounding neighbors.

I. Air Quality

1. Construction Related

a. The Project Sponsor shall require the general contractor to sprinkle demolition sites with non-potable water continually during demolition activity; sprinkle unpaved construction areas with non-potable water at least twice per day to reduce dust generation by about 50%; cover stockpiles of soil, sand, and other materials; cover trucks hauling debris, soils, sand or other such material; and clean and wash down (with reclaimed or otherwise non-potable water) streets surrounding demolition and construction sites at least once per day to reduce total suspended particulates (TSP) emissions.

b. The Project Sponsor shall require the general contractor to maintain and operate construction equipment so as to minimize exhaust emissions of TSP and other pollutants by such means as a prohibition on idling of motors when equipment is not in use or trucks are waiting in queues, and implementation of specific maintenance programs (to reduce emissions) for equipment that would be in frequent use for much of a construction period.

2. Project Related

a. The Project Sponsor shall require the project architect to incorporate into the Project design a comprehensive landscaping program, including trees, hedges, screens, fences, statuary and other landscaping elements, to reduce wind effects and provide wind protection in common seating areas created by the Project.

b. Project residents, employees and visitors shall be warned about the presence of hazardous wind conditions on the east side of the Van Ness Avenue/Pine Street intersection with signs placed at exits to the eastern portion of the site.

J. Geology/Topography

The Project Sponsor shall follow the recommendations contained in the detailed foundation and structural design study for the building prepared by its California-licensed structural engineer and a geotechnical consultant during the final design, excavation of the Project Site and construction of the Project, except as otherwise required by the Office of Statewide Health

Planning and Development for that part of the Project under its jurisdiction.

K. Resident Employment Opportunities.

The Project Sponsor will make good-faith best efforts to ensure that San Francisco residents have the opportunity to be hired to work at the facility, working within the limits of legal constraints and collective bargaining agreements, by advertising in local newspapers and through local employment referral agencies and similar measures.

L. Community Liaison

The Project Sponsor shall appoint a liaison to arrange for meetings with neighboring residents and businesses to address and resolve concerns regarding construction related problems prior to and during the construction period and in respect to problems related to operation of the facility.

M. Hazards

1. Emergency Plan

The Project Sponsor shall develop an evacuation and emergency response plan in consultation with the Mayor's Office of Emergency Services, to insure coordination between the City's emergency planning activities and the Project's plan and to provide for building occupants in the event of an emergency. The Project's plan shall be reviewed by the Office of Emergency Services and implemented by building management insofar as feasible before issuance of the first TCO. To expedite implementation of the emergency response plan, the Project Sponsor shall prominently post information for building occupants concerning what to do in the event of a disaster.

2. Removal of Asbestos and Hazardous Materials  
From Existing Buildings

a. As required by law and implementing regulations, the Project Sponsor shall submit to the Bay Area Air Quality Management District (BAAQMD), and any other appropriate State agency, a report of its inspection for asbestos in the existing buildings on the Project Site, including the plan for the safe removal and disposal of any asbestos found in the buildings exceeding allowable levels under applicable State law. Evidence of

this submittal shall be transmitted to the Department of City Planning before the commencement of asbestos abatement. The Project Sponsor shall comply with applicable State law which regulates asbestos removal and disposal.

b. As currently required by law, the Project Sponsor shall notify BAAQMD ten (10) working days in advance of any proposed demolition of buildings on the Project Site which contain asbestos. Notification must include the names and addresses of persons responsible, including the contractor; description and location of the structure(s) to be demolished including size, age, prior use, and the approximate amount of friable (easily crumbled or pulverized) asbestos present; methods to be employed; procedures employed to meet BAAQMD requirements; and the name and location of the waste disposal site to be used. The Project Sponsor or its contractors must have a Hazardous Waste Generator Number assigned by and registered with the Office of the California Department of Health Services in Sacramento. The contractor and hauler of the material is required to file a Hazardous Waste Manifest which details the hauling of the material from the Project Site and the disposal of it. Should BAAQMD regulations be amended, the Project Sponsor shall fulfill any additional requirements set forth in such amendments.

c. The Project Sponsor shall arrange for removal of the small quantity of wastes identified in existing buildings on the Project Site during the physical inspection for appropriate disposal or recycling prior to building demolition. The Project Sponsor shall have the project contractor conform to State regulations for the removal of toxic materials in the existing structures. Freon in the air conditioning units shall be evacuated by a licensed air-conditioning specialist who can recycle the substance.

3. Soil and Groundwater Contamination  
from UNOCAL Site

The following mitigation measures shall be implemented according to direction of the San Francisco City Department of Public Health (DPH), the San Francisco Bay Regional Water Quality Control Board (RWQCB), and other appropriate regulatory agencies to the extent applicable. These measures include, but are not limited to, the preliminary recommendations stated in Exceltech's report of October 1991, advising the Project Sponsor regarding the Unocal investigation and remediation:

(a) If site remediation has not been completed prior to proposed excavation of the site, a site-specific Safety and Health Plan for hazardous materials and waste operations shall be prepared and submitted to the San Francisco Department of Public Health before site activities begin. The site-specific Safety and Health plans, which shall be applicable to all activities at the site prior to completion of site remediation, shall establish policies and procedures to protect workers and the public from potential hazards posed by hazardous wastes. The Plan would be prepared according to federal and state regulations for hazardous waste site Safety and Health plans. The site safety officer's log would be made available to the San Francisco Department of Public Health for inspection.

(b) A report detailing the extent of previous soil and groundwater contamination from the Unocal site and efforts and accomplishments at remediation shall be submitted to the City and the RWQCB. If contamination levels on the Project Site remain at or near thresholds set by California regulations (California Code of Regulations, Title 22) or relevant federal law, the Project Sponsor shall meet with City staff to determine whether further action, including additional testing, and/or remediation would be necessary. If contamination levels exceed State and/or federal threshold levels on the Project site prior to proposed excavation, a Remedial Action Plan may be required by the City's Department of Public Health and such Remedial Action Plan shall be carried out when recommended to the RWQCB for approval by the Department of Public Health.

Written verification of implementation or of site remediation shall be provided to the City's Department of Health and the RWQCB a Registered Environmental Assessor, a registered engineer, or registered geologist, and shall include chain-of-custody forms, laboratory analysis reports, and copies of hazardous waste transport manifests, if any. Soil remediation methods would include if applicable excavation and on-site treatment, excavation and off-site treatment or disposal, or treatment without excavation. Remediation alternatives for clean-up of contaminated groundwater could include in situ treatment, extraction and on-site treatment, extraction and off-site treatment and/or disposal, or on-going monitoring. The site mitigation plan would include if applicable a dust control program to minimize potential public health impacts associated with exposure to contaminated dust. Water produced during construction shall be handled with caution

and treated prior to discharge, if necessary. RWQCB standards for discharged water shall apply. The City shall supervise implementation of any necessary mitigation for groundwater contamination to the extent not preempted by the RWQCB.

4. Other

The Project Site shall be secured during non-work hours to prohibit unauthorized persons from entering the construction/excavation area until completion of site remediation. Warning signs shall be posted in conspicuous locations on the project site.

N. Cultural Resources

1. Historic Buildings

Prior to demolishing the buildings on the Project Site which are designated as significant or contributory under the Van Ness Avenue Plan, the Project Sponsor shall cause HABS-type recordation of the buildings, including archival 4"x5" or 5"x7" black and white photos mounted and labeled (but not including measured drawings) and architectural/historical descriptions of the buildings delineated by the HABS standards. In addition, the Project Sponsor shall prepare and transmit the photos and descriptions of the buildings, to the Department of City Planning, Landmarks Board, the State Historic Preservation Office and the History Room of the San Francisco Public Library.

2. Archaeological Resources

a. The Project Sponsor shall retain the services of an archaeologist. The Environmental Review Officer (ERO) in consultation with the President of the Landmarks Preservation Advisory Board (LPAB) and the archaeologist shall determine whether the archaeologist should instruct all excavation and foundation crews on the Project Site of the potential for discovery of cultural and historic artifacts, and the procedures to be followed if such artifacts are uncovered.

b. Given the possibility of encountering the remains of cultural or historic artifacts within the Project Site, prior to the commencement of foundation excavations the Project Sponsor shall undertake a program of archaeological testing, consisting of observation and monitoring by a qualified historical archaeologist of site clearance of at least any materials below

existing grade level, and either the placement of a series of mechanical, exploratory borings or of other similar on-site testing methods. The archaeologist shall supervise the testing at the Project Site to determine the probability of finding cultural and historical remains. At the completion of the archaeological testing program, the archaeologist shall submit a written report first and directly to the ERO (3 copies), with a copy to the Project Sponsor, describing the findings, assessing their significance and proposing appropriate recommendations for any additional procedures necessary for the mitigation of adverse impacts to cultural resources determined to be significant.

c. An historical archaeologist shall be present during site excavation and shall record observations in a permanent log. The ERO shall also require cooperation of the Project Sponsor in assisting such further investigations on site as may be appropriate prior to or during Project excavation, even if this results in a delay in excavation activities.

d. In addition, a program of on-site construction monitoring by a qualified historical archaeologist, designed to allow for the recovery of a representative sample of the cultural materials existing on the Project Site, shall be implemented by the Project Sponsor. This monitoring and recovery program would result in a written report to be submitted to the ERO, with a copy to the Project Sponsor.

e. Should cultural or historic artifacts be found following commencement of excavation activities, the archaeologist shall assess the significance of the find, and immediately report to the ERO and the President of the (LPAB). Upon receiving the advice of the consultants and the LPAB, the ERO shall recommend specific mitigation measures, if necessary. Excavation or construction activities following the preconstruction archaeological testing program which might damage the discovered cultural resources shall be suspended for a maximum of four weeks (cumulatively for all instances that the ERO has required a delay in excavation or construction) to permit inspection, recommendation and retrieval, if appropriate.

f. Following site clearance, an appropriate security program shall be implemented to prevent looting. Any discovered cultural artifacts assessed as significant by the archaeologist upon concurrence by the ERO and the President of the LPAB shall be placed in a repository designated for such materials or displayed on the Project Site if appropriate. Copies of the

reports prepared according to these mitigation measures shall be sent to the California Archaeological Site Survey Office at Sonoma State University.

II. TIMING OF CONDITIONS RELATED TO PERFORMANCE

A. Compliance with all conditions shall be in accordance with the terms of the condition or at such times as are reasonably related to the nature of the condition and/or the mitigation monitoring program described in EXHIBIT C. Where any time for performance is expressed as a function of issuance of a permit or obtaining some City approval required for the Project, the time for performance shall be extended by one day for each day for which the Project Sponsor is unable to proceed pursuant to such permit or approval by reason of any administrative appeal, litigation, legislation or the failure of the City and County of San Francisco or any other public agency to provide an approval or other prerequisite for action required of the Project Sponsor.

B. Upon request of the Zoning Administrator prior to the issuance of the first TCO for the Project and at periodic intervals as requested by the Zoning Administrator, the Project Sponsor shall provide such information as the Zoning Administrator shall reasonably require to determine the level of compliance achieved at such time. With respect to conditions requiring performance through a part or all of the construction period or period of operation of the Project, the Project Sponsor shall report, on the request of the Zoning Administrator, not more frequently than every six months and not less frequently than annually, on those actions undertaken by the Project Sponsor to comply with the condition.

C. The authorization and rights granted by virtue of this action shall be deemed void and cancelled, if within twenty-four (24) months of this motion, permits for the construction of the Project have not been secured by the Project Sponsor. This authorization may be extended at the direction of the Zoning Administrator for up to a maximum of 36 additional months where the failure to construct the Project is delayed by any other public agency or by legal challenges.

D. Failure to comply with any of these conditions shall constitute a violation of the Planning Code, enforceable by the Zoning Administrator.

CITY PLANNING COMMISSION

File No. 89.037C  
Residential Life Care Facility  
1661 Pine Street  
Motion No. 13429  
Exhibit A  
Page 14

E. The Project Sponsor will provide semiannual reports to the Environmental Review Officer describing compliance with all mitigation measures described in the mitigation monitoring program attached hereto. The first such report will be submitted six (6) months from the date of this Approval.

E P I S C O P A L  
SENIOR COMMUNITIES

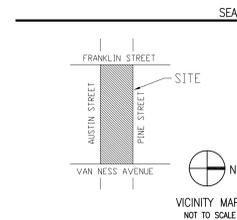


San Francisco Towers

# Episcopal Senior Communities San Francisco Towers

1661 Pine Street  
San Francisco, CA

| 3   | 10/29/2014 | ISSUED FOR SF PLANNING DEPT. |
|-----|------------|------------------------------|
| 3   | 10/17/2014 | ISSUED FOR SF PLANNING DEPT. |
| 2   | 10/08/2014 | ISSUED FOR SF PLANNING DEPT. |
| 1   | 08/09/2014 | ISSUED FOR SF PLANNING DEPT. |
| NO. | DATE       | REVISION                     |



**PERKINS EASTMAN**  
33 GILBERT STREET, SUITE 500  
SAN FRANCISCO, CA 94102  
T 415 774-7900  
F 415 774-7233

Owner:  
EPISCOPAL SENIOR COMMUNITIES  
1661 PINE STREET  
SAN FRANCISCO, CA

## DRAWING LIST

## PROJECT DATA

- IN-1.0 COVER SHEET
- PLANS
- S-1.0 SITE PLAN
- E-1.0 EXTG FLOOR PLANS, GARAGE LEVELS 2-4  
A-1.0 PROPOSED FLOOR PLANS, GARAGE LEVELS 2-4
- E-1.1 EXTG FLOOR PLANS, RETAIL #2 LEVEL & LEVEL 1  
A-1.1 PROPOSED FLOOR PLANS, RETAIL #2 LEVEL & LEVEL 1
- E-1.2 EXTG LEVEL 2 PLAN, EXTG ROOF PLAN - USABLE OPEN SPACE  
A-1.2 PROPOSED LEVEL 2 FLOOR PLAN, PROPOSED ROOF PLAN - USABLE OPEN SPACE

|                   | EXISTING |       |        | PROPOSED |       |        | NET CHANGE |      |        |
|-------------------|----------|-------|--------|----------|-------|--------|------------|------|--------|
|                   | RC-4     | NC-3  | TOTAL  | RC-4     | NC-3  | TOTAL  | RC-4       | NC-3 | TOTAL  |
| RETAIL            | 5200     |       | 5200   | 2400     |       | 2400   | -2800      |      | -2800  |
| USABLE OPEN SPACE | 14423    | 4040  | 18463  | 12923    | 4040  | 16963  | -1500      | 4040 | -1500  |
| GROSS FLOOR AREA  | 264115   | 94854 | 358969 | 268315   | 98154 | 366469 | 4200       | 3300 | 7500 * |

\* The addition of 3300 SF of GFA in the NC-3 district consists entirely of the conversion of parking area to tenant storage on three levels of the parking garage. The addition of 4200 SF of GFA in the RC-4 district is comprised of the enclosure of unbuilt area above the porte-cochere (2700 SF) and an enclosure of a portion of the usable open space on level 2 (1500 SF)

- ELEVATIONS
- E-3.0 EXTG ELEVATIONS, NORTH & SOUTH  
A-3.0 PROPOSED ELEVATIONS - NORTH & SOUTH
- E-3.1 EXTG ELEVATION - CENTRAL TOWER, NORTH  
A-3.1 PROPOSED ELEVATION - CENTRAL TOWER, NORTH
- E-3.2 EXTG ELEVATION - CENTRAL TOWER, SOUTH  
A-3.2 PROPOSED ELEVATION - CENTRAL TOWER, SOUTH
- E-3.3 EXTG ELEVATION - RETAIL LEVEL #2, EAST TOWER, NORTH  
A-3.3 PROPOSED ELEVATION - RETAIL LEVEL #2, EAST TOWER, NORTH
- A-4.0 SECTIONS

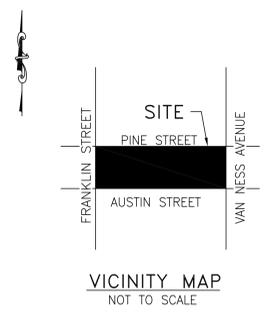
PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**

ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA

PROJECT NO.: 54020.00

DRAWING TITLE:  
**COVER SHEET**

SCALE:  
**IN-1.0**



ALTA/ACSM LAND TITLE SURVEY  
1661 PINE STREET, CITY & COUNTY OF SAN FRANCISCO,  
CALIFORNIA

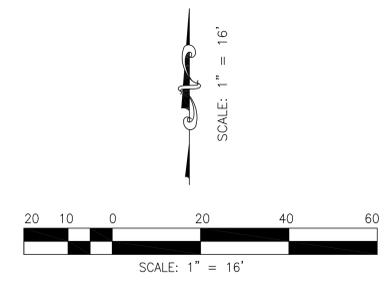
PREPARED FOR  
THE EPISCOPAL SENIOR COMMUNITIES  
2185 NORTH CALIFORNIA BLVD.  
SUITE 575  
WALNUT CREEK, CA 94596

PROPERTY AREA  
TOTAL AREA: 1.060± ACRES  
TOTAL AREA: 46,170± SQUARE FEET

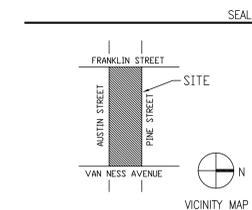
SITE ZONING  
THIS PROPERTY IS ZONED RC-4/NC-3  
(RESIDENTIAL-COMMERCIAL, HIGH DENSITY/NCBD COMMERCIAL, MODERATE SCALE)  
AND LIES WITHIN SPECIAL USE DISTRICTS VAN NESS AND  
VAN NESS /AUTOMOTIVE PER CITY OF SAN FRANCISCO PLANNING CODE.  
NO SETBACK OR HEIGHT RESTRICTIONS WERE LISTED.

SITE LOCATION  
1661 PINE STREET  
SAN FRANCISCO, CA

- | LEGEND |                               | ABBREVIATIONS |                 |
|--------|-------------------------------|---------------|-----------------|
| ▲      | FOUND MONUMENT NOTED          | UV            | UTILITY VAULT   |
| ⊕      | SIGN                          | PB            | UTILITY PULLBOX |
| ⊕      | FIRE HYDRANT                  | SCO           | SEWER CLEANOUT  |
| ⊕      | DROP INLET                    | TRN           | TRANSFORMER     |
| ⊕      | STREET LIGHT                  | UT            | UTILITY MANHOLE |
| ⊕      | PULLBOX                       | PM            | PARKING METER   |
| ⊕      | WATER METER                   | DWY           | DRIVEWAY        |
| ⊕      | FIRE MANIFOLD                 |               |                 |
| ⊕      | TREE                          |               |                 |
| ▭      | BUILDING FOOTPRINT            |               |                 |
| —S—    | UNDERGROUND SANITARY SEWER    |               |                 |
| —W—    | UNDERGROUND WATER             |               |                 |
| —G—    | UNDERGROUND GAS               |               |                 |
| —E—    | UNDERGROUND ELECTRICAL        |               |                 |
| —CATV— | UNDERGROUND CABLE TV          |               |                 |
| —F—    | UNDERGROUND FIRE SERVICE LINE |               |                 |

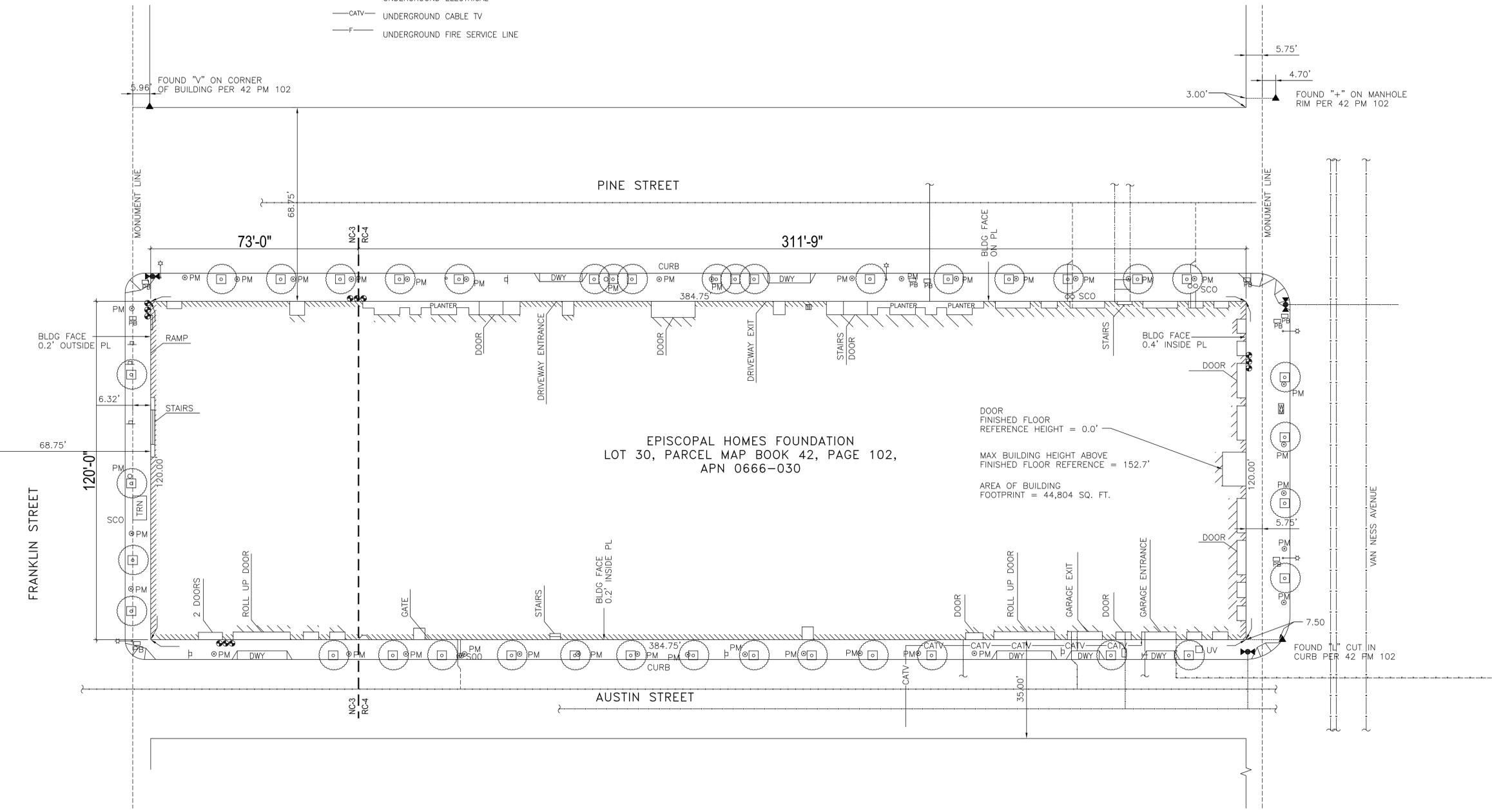


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23 GEARY STREET, SUITE 500  
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T 415 774 2900  
F 415 774 2233

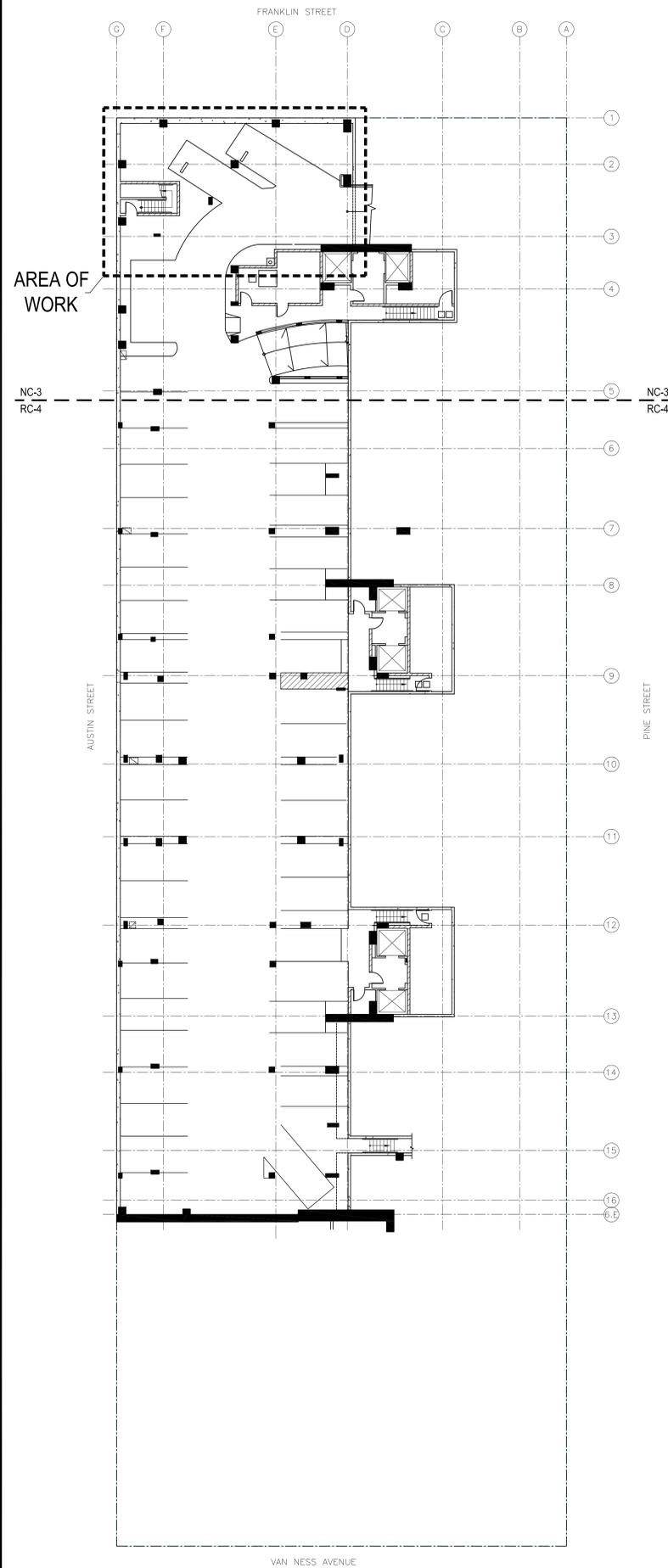
Owner:  
EPISCOPAL SENIOR COMMUNITIES  
1661 PINE STREET  
SAN FRANCISCO, CA



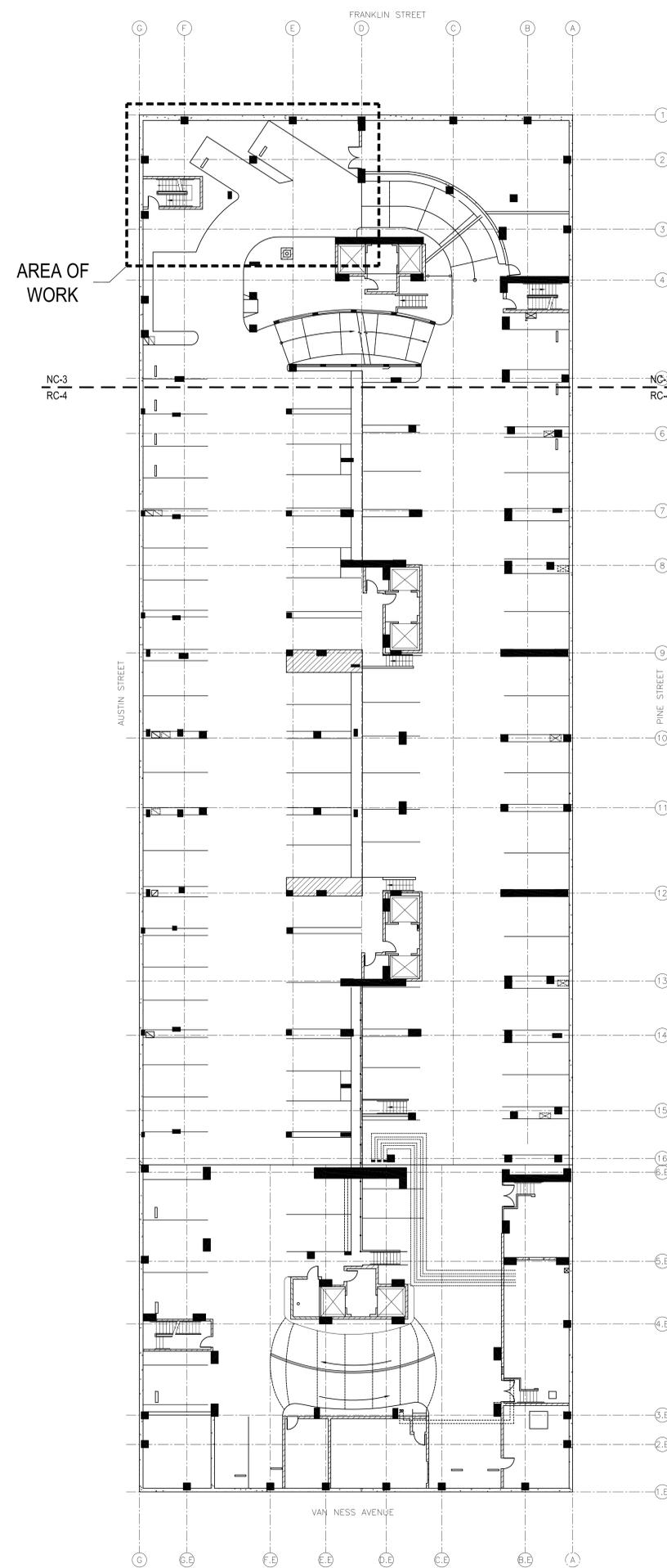
**1 SITE PLAN**  
SCALE: 1/16" = 1'-0"

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00  
DRAWING TITLE:  
**SITE PLAN**

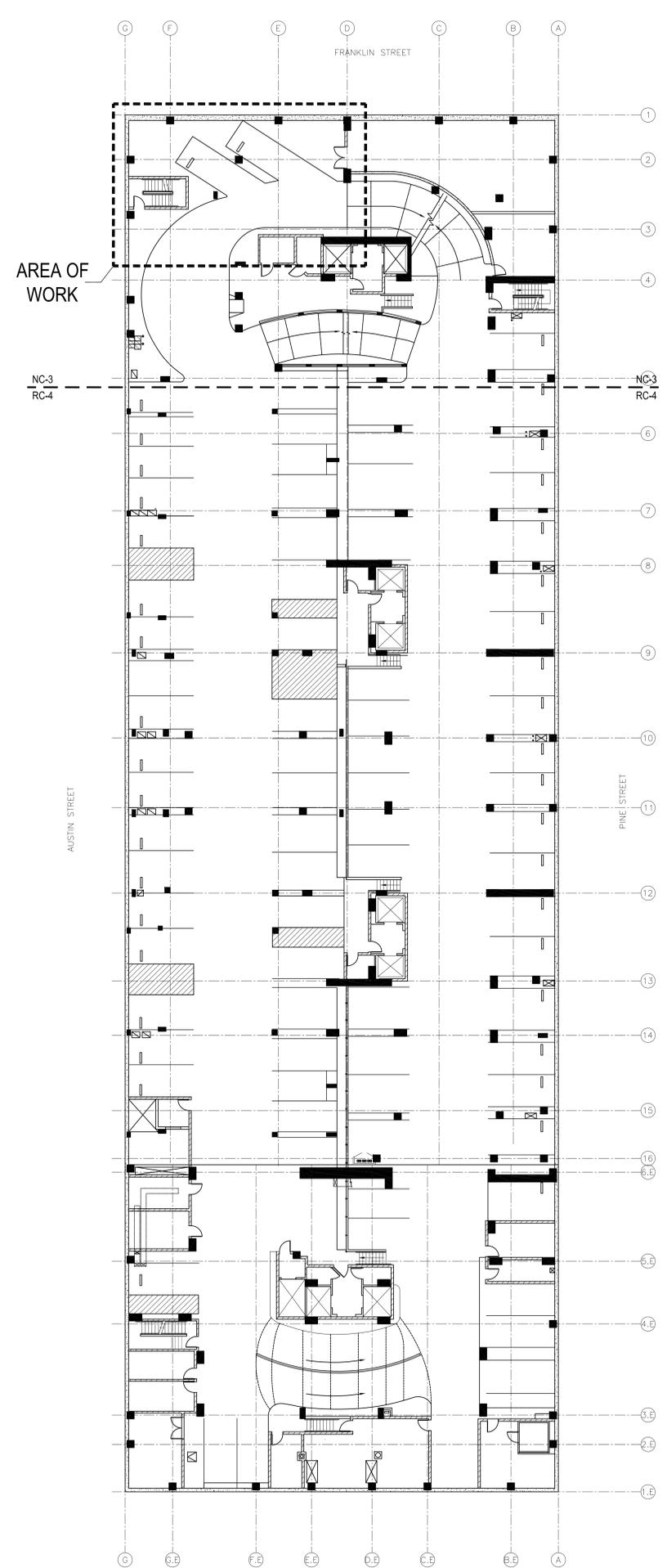
SCALE: 1/16" = 1'-0"  
**S-1.0**



**1 PLAN - EXTG GARAGE LEVEL 4**  
SCALE: 1/16" = 1'-0"

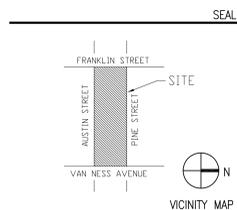


**2 PLAN - EXTG GARAGE LEVEL 3**  
SCALE: 1/16" = 1'-0"



**3 PLAN - EXTG GARAGE LEVEL 2**  
SCALE: 1/16" = 1'-0"

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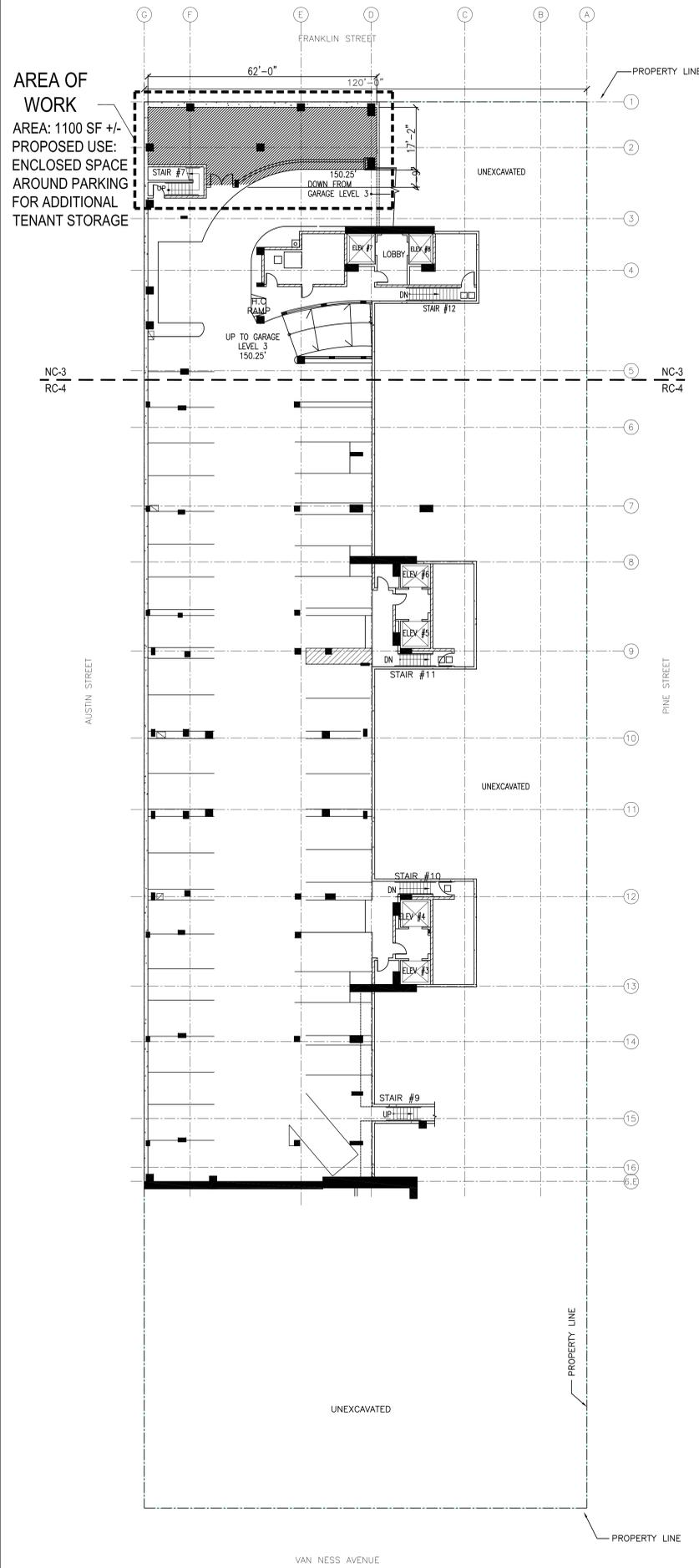
**PERKINS EASTMAN**  
23 GEARY STREET, SUITE 500  
SAN FRANCISCO, CA 94102  
T 415.774.2500  
F 415.774.2233

Owner:  
EPISCOPAL SENIOR COMMUNITIES  
1661 PINE STREET  
SAN FRANCISCO, CA

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00

DRAWING TITLE:  
**EXTG FLOOR PLANS  
GARAGE LEVELS 2-4**  
SCALE: 1/16" = 1'-0"

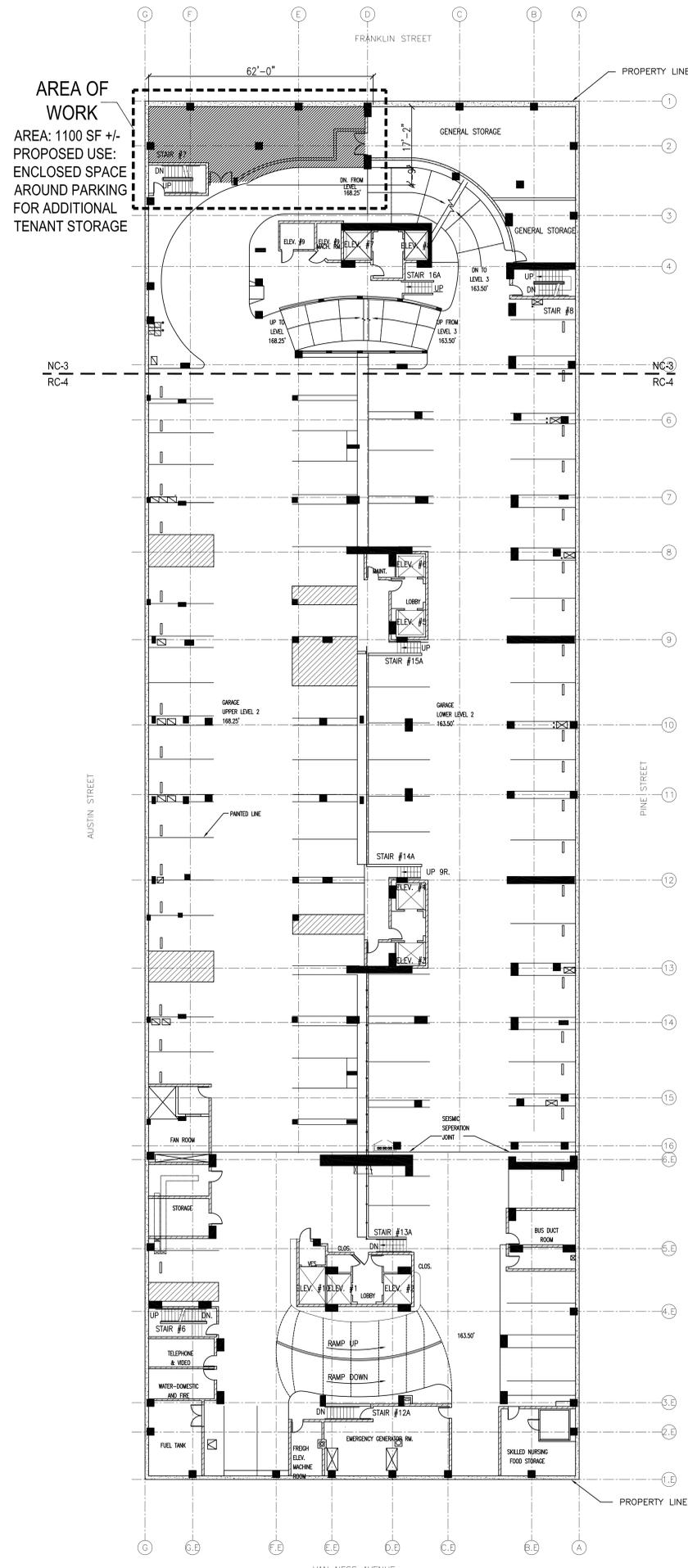
**E-1.0**



**1 PROPOSED PLAN - GARAGE LEVEL 4**  
SCALE: 1/16" = 1'-0"

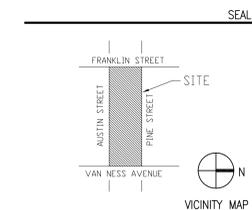


**2 PROPOSED PLAN - GARAGE LEVEL 3**  
SCALE: 1/16" = 1'-0"



**3 PROPOSED PLAN - GARAGE LEVEL 2**  
SCALE: 1/16" = 1'-0"

| NO. | DATE       | REVISION                     |
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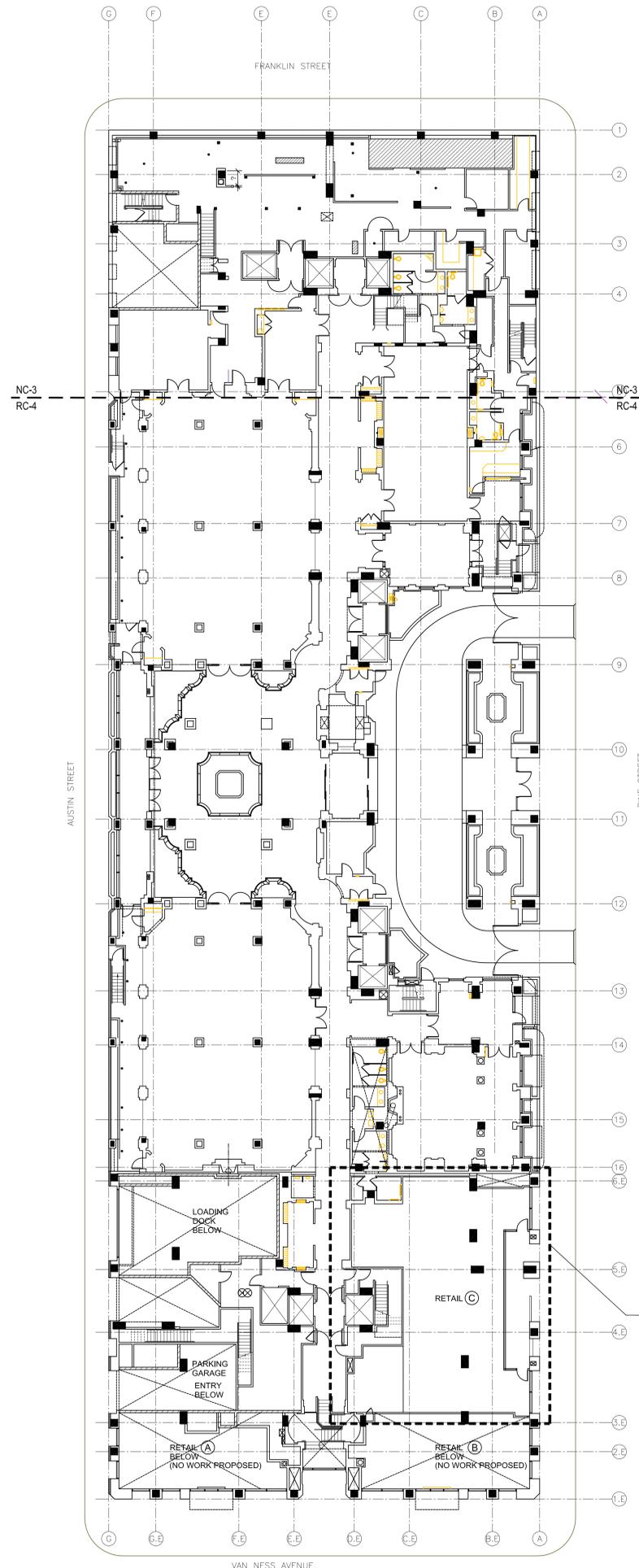


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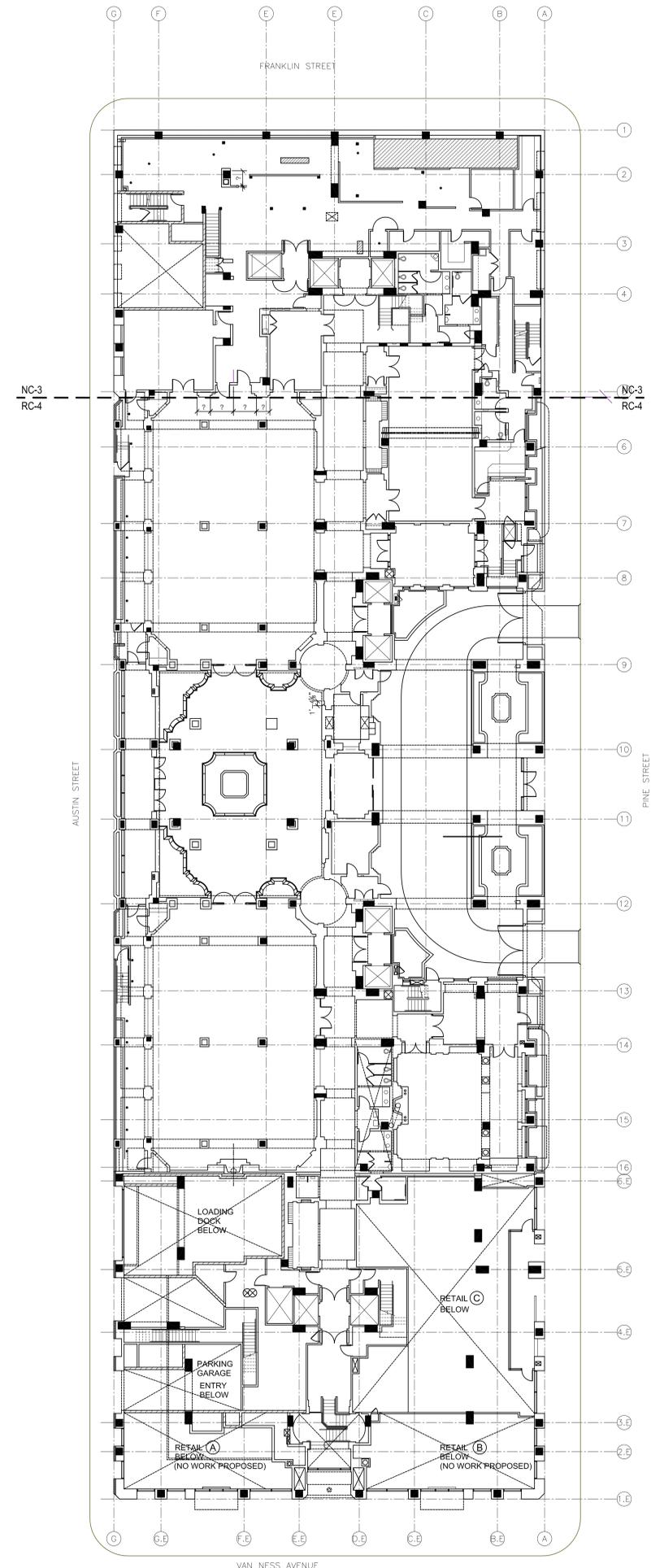
Owner:  
EPISCOPAL SENIOR COMMUNITIES  
1661 PINE STREET  
SAN FRANCISCO, CA

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00  
DRAWING TITLE:  
**PROPOSED FLOOR PLANS**  
**GARAGE LEVELS 2-4**

SCALE: 1/16" = 1'-0"  
**A-1.0**

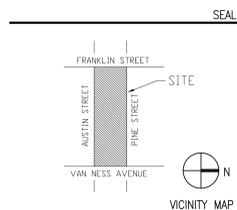


**1 EXTG RETAIL #2 LEVEL PLAN**  
SCALE: 1/16" = 1'-0"



**2 EXTG LEVEL 1 PLAN**  
SCALE: 1/16" = 1'-0"

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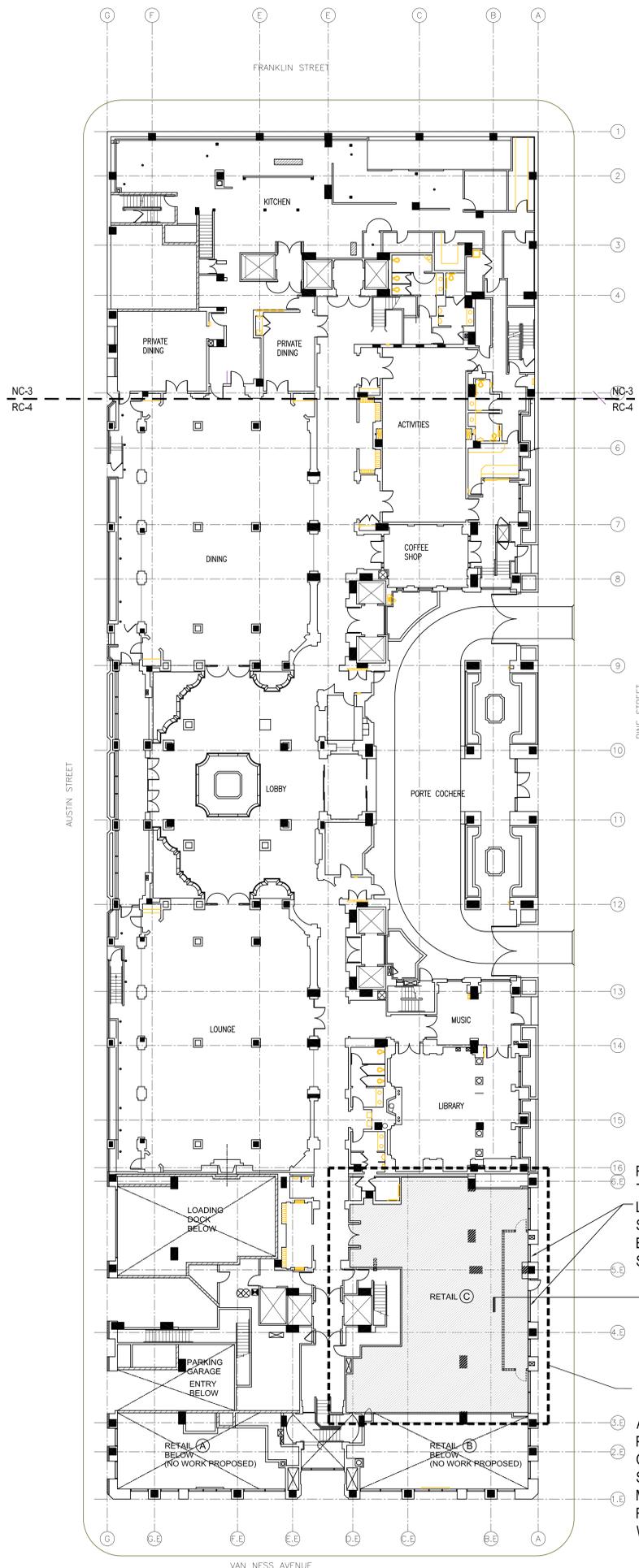
**PERKINS EASTMAN**  
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T 415.774.2900  
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Owner:  
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1661 PINE STREET  
SAN FRANCISCO, CA

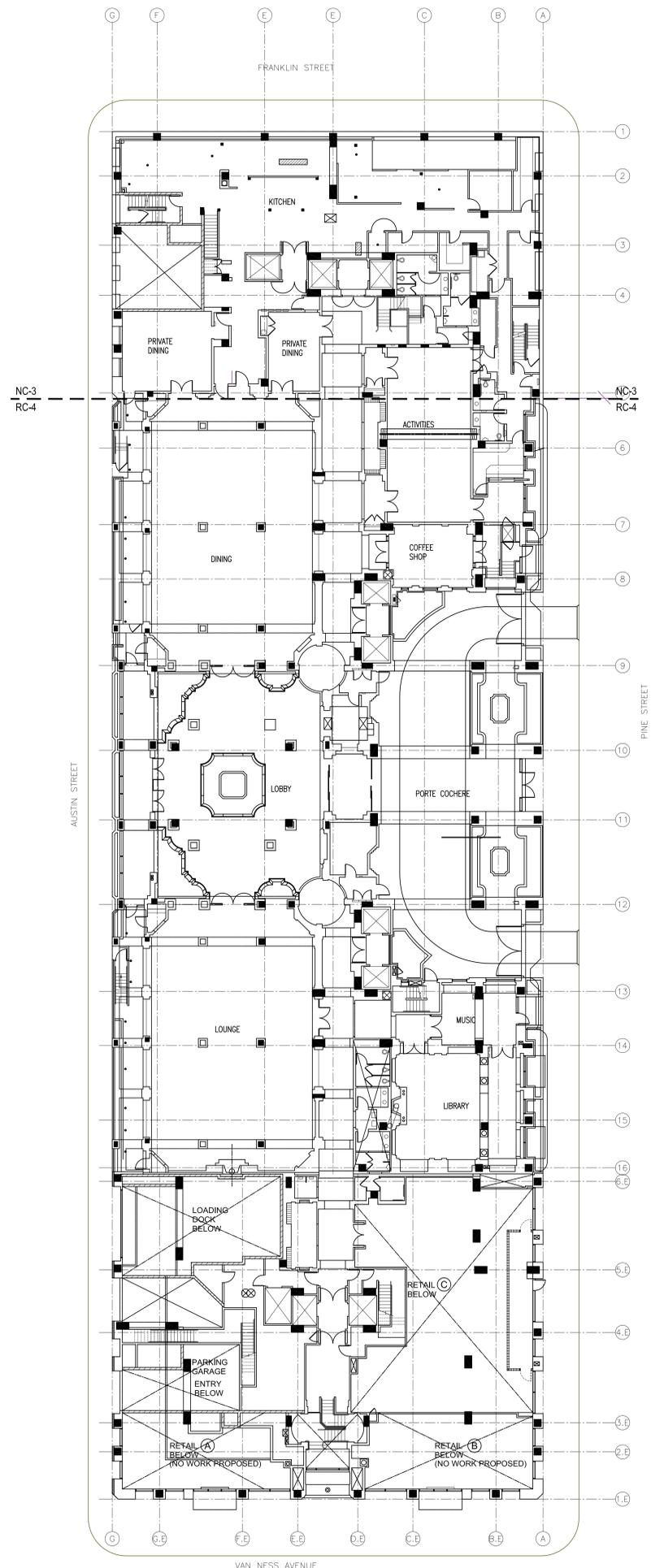
PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00  
DRAWING TITLE:  
**EXTG FLOOR PLANS  
RETAIL #2 LEVEL & LEVEL 1**

SCALE: 1/16" = 1'-0"

**E-1.1**



**1 PROPOSED PLAN - RETAIL #2 LEVEL**  
SCALE: 1/16" = 1'-0"



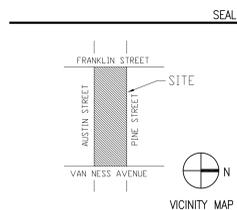
**2 PLAN - LEVEL 1 (NO WORK PROPOSED)**  
SCALE: 1/16" = 1'-0"

RETURN STOREFRONT TO ITS ORIGINAL LOCATION; ALIGN NEW STOREFRONT WITH EXISTING EXTERIOR STOREFRONT

AREA OF WORK

AREA: 2800 SF +/-  
PROPOSED USE:  
CONVERT RETAIL SPACE TO COMMUNITY MARKETING OFFICE  
RELOCATED FROM WEST SIDE

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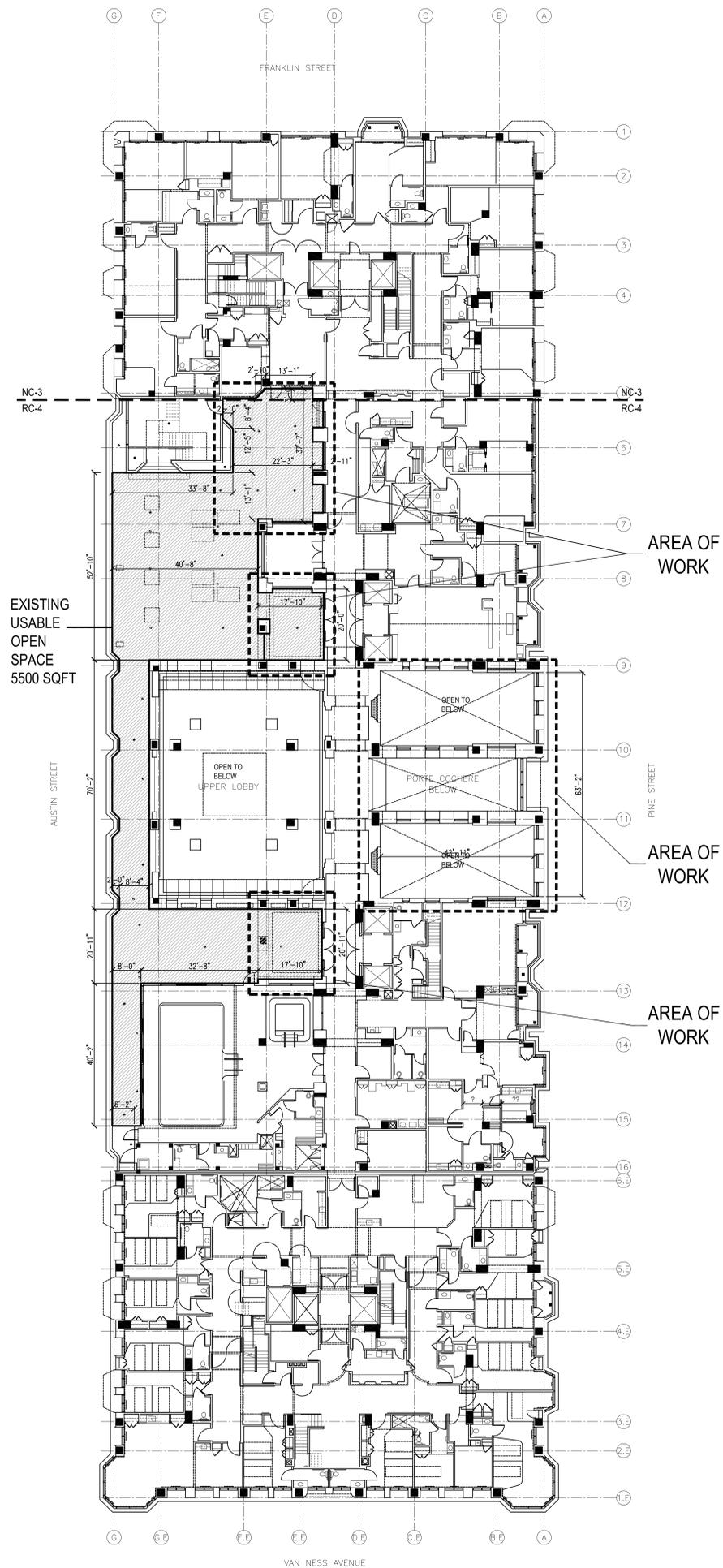
Owner:  
EPISCOPAL SENIOR COMMUNITIES  
1661 PINE STREET  
SAN FRANCISCO, CA

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00

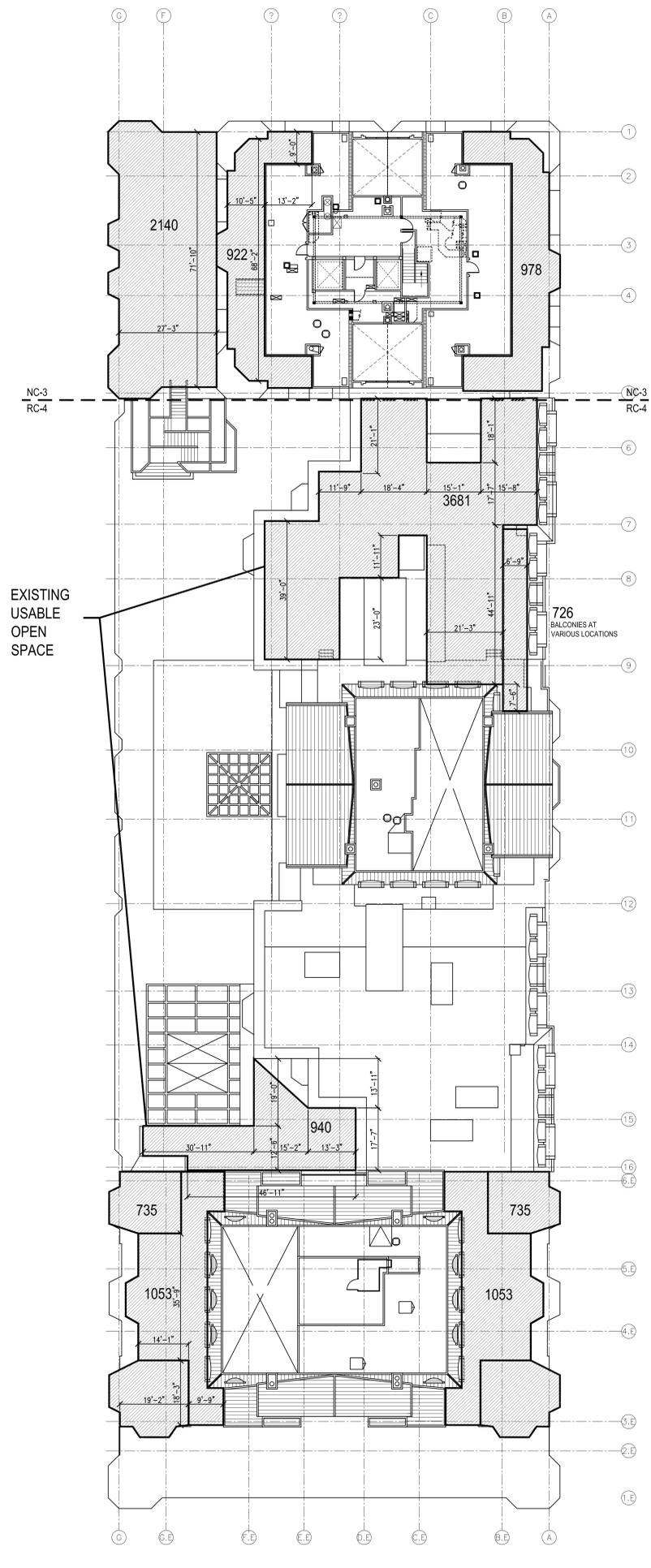
DRAWING TITLE:  
**PROPOSED FLOOR PLANS  
RETAIL #2 LEVEL  
& LEVEL 1**

SCALE: 1/16" = 1'-0"

**A-1.1**

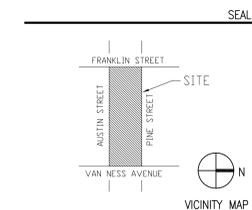


**1 EXISTING LEVEL 2 PLAN**  
SCALE: 1/16" = 1'-0"



**2 EXISTING ROOF PLAN - USABLE OPEN SPACE**  
SCALE: 1/16" = 1'-0"

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1661 PINE STREET  
SAN FRANCISCO, CA

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**

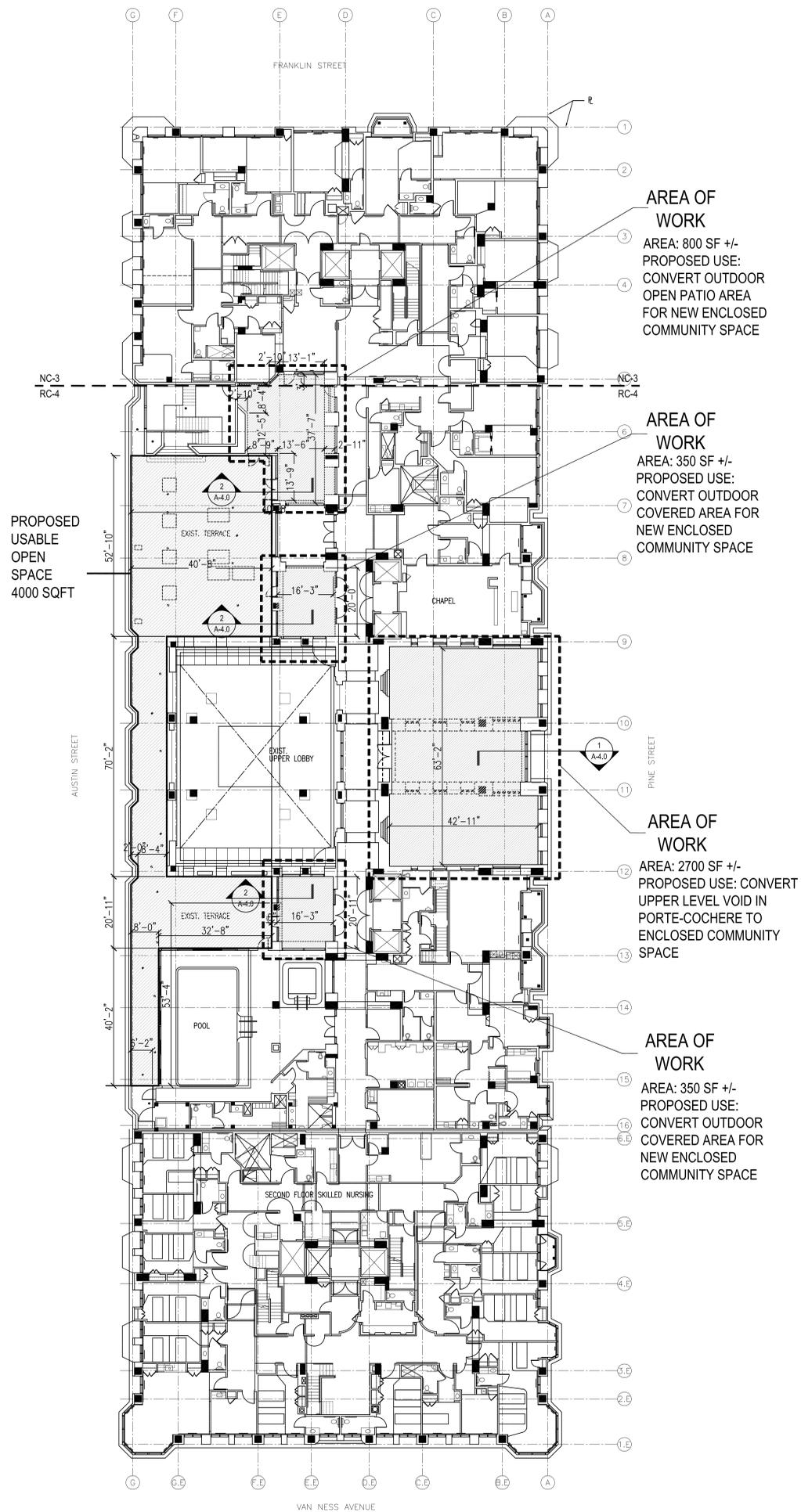
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA

PROJECT NO.: 54020.00

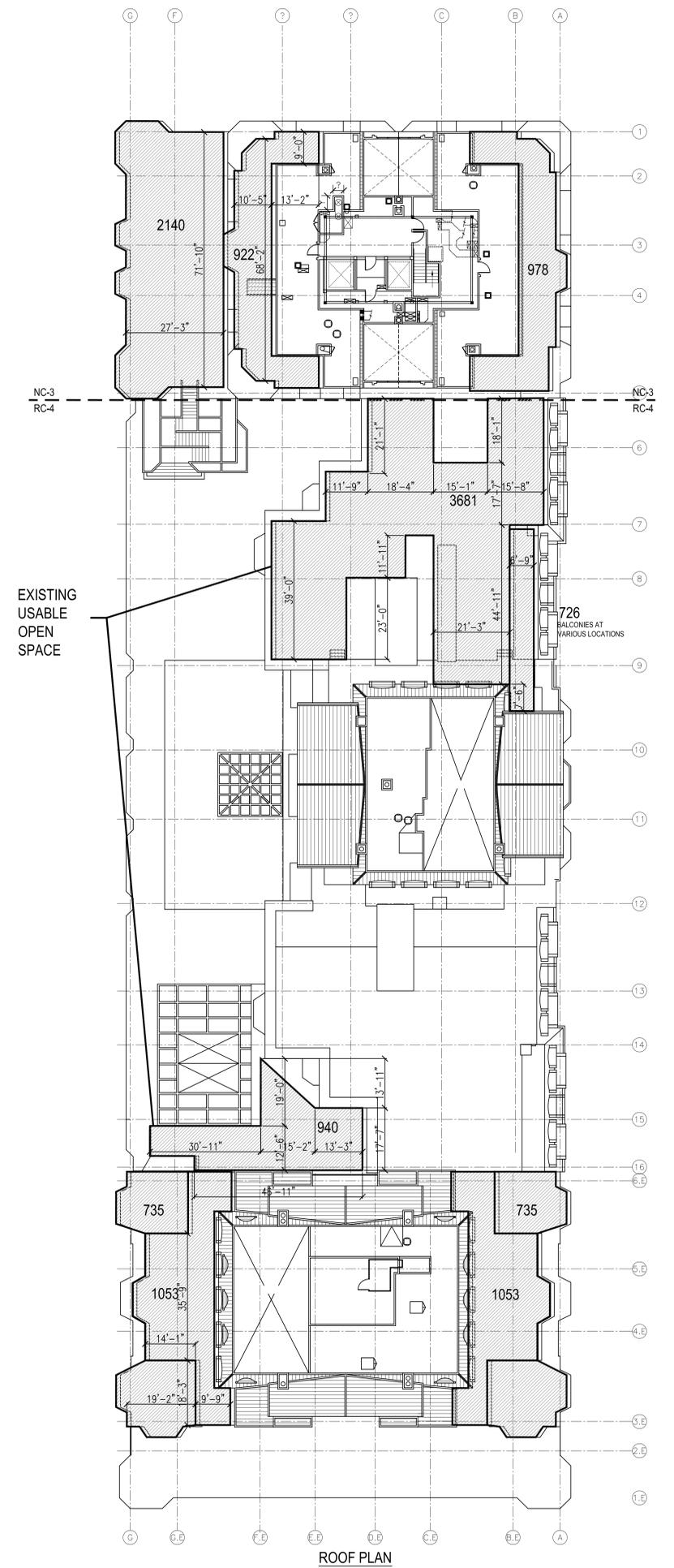
DRAWING TITLE:  
**EXTG LEVEL 2 PLAN,  
EXTG ROOF PLAN -  
USABLE OPEN SPACE**

SCALE: 1/16" = 1'-0"

**E-1.2**

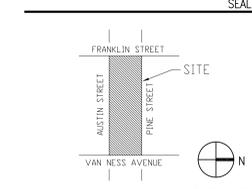


**1 PROPOSED PLAN - LEVEL 2**  
SCALE: 1/16" = 1'-0"



**2 PROPOSED ROOF PLAN - USABLE OPEN SPACE**  
SCALE: 1/16" = 1'-0"

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1661 PINE STREET  
SAN FRANCISCO, CA

PROJECT TITLE:  
**EPISCOPAL SENIOR  
COMMUNITIES  
SAN FRANCISCO TOWERS**

ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA

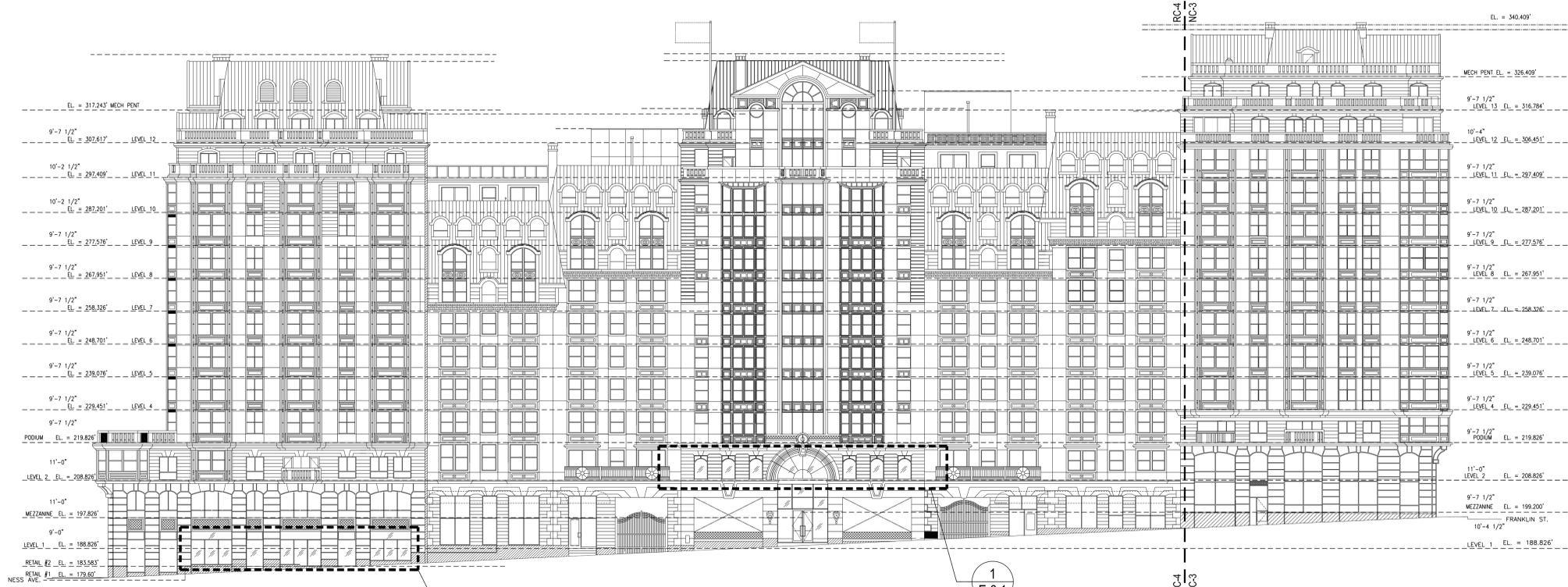
PROJECT NO.: 54020.00

DRAWING TITLE:  
**PROPOSED LEVEL 2  
FLOOR PLAN, PROPOSED  
ROOF PLAN - USABLE OPEN SPACE**

SCALE: 1/16" = 1'-0"

**A-1.2**

EAST ELEVATION (VAN NESS AVE.)



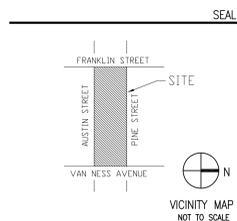
NORTH ELEVATION (PINE ST.)

1  
E-3.3  
AREA OF WORK

1  
EXTG ELEVATION -PINE STREET  
SCALE: 1/16" = 1'-0"

1  
E-3.1  
AREA OF WORK

| NO. | DATE       | REVISION                     |
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Owner:  
EPISCOPAL SENIOR COMMUNITIES  
1661 PINE STREET  
SAN FRANCISCO, CA



WEST TOWER

2  
E-3.2  
AREA OF WORK

WEST WING

2  
E-3.2  
AREA OF WORK

1  
EXTG ELEVATION -AUSTIN STREET  
SCALE: 1/16" = 1'-0"

1  
E-3.2  
AREA OF WORK

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00

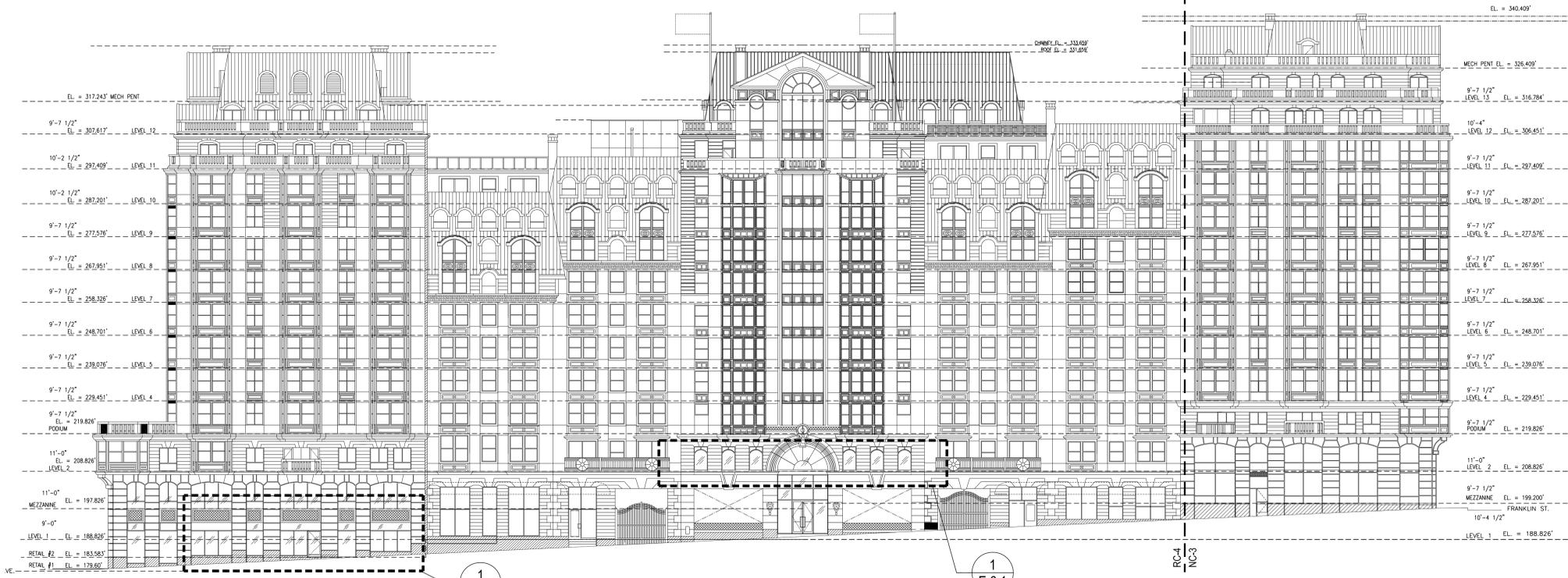
DRAWING TITLE:  
**EXTG ELEVATIONS**

**NORTH & SOUTH**

SCALE: 1/16" = 1'-0"

**E-3.0**

EAST ELEVATION (VAN NESS AVE.)

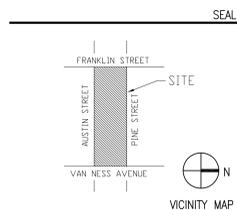


1  
E-3.3  
AREA OF WORK

**2 ELEVATION - PINE STREET**  
SCALE: 1/16" = 1'-0"

1  
E-3.1  
AREA OF WORK

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1661 PINE STREET  
SAN FRANCISCO, CA



2  
E-3.2  
AREA OF WORK

2  
E-3.2  
AREA OF WORK

1  
E-3.2  
AREA OF WORK

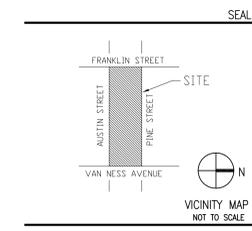
**1 ELEVATION - AUSTIN STREET**  
SCALE: 1/16" = 1'-0"

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00

DRAWING TITLE:  
**PROPOSED ELEVATIONS NORTH & SOUTH**

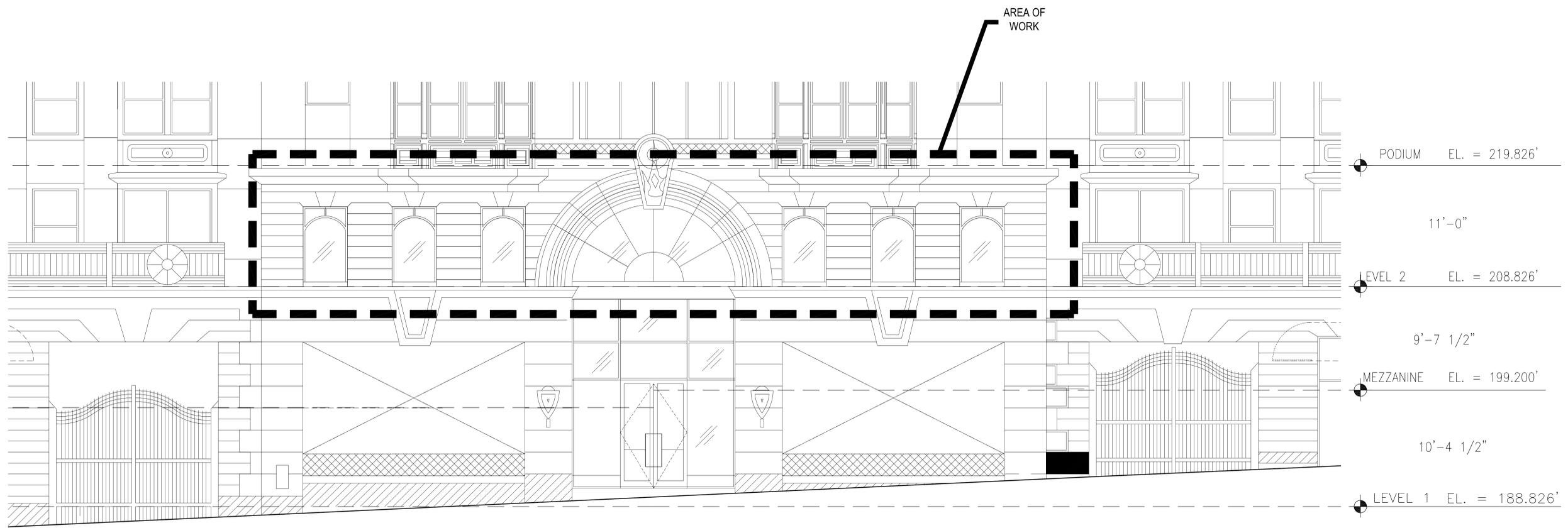
SCALE: 1/16" = 1'-0"  
**A-3.0**

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1661 PINE STREET  
SAN FRANCISCO, CA



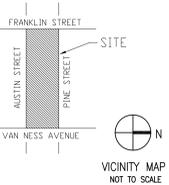
**1** EXTG ELEVATION - LEVEL 1 (PINE STREET)  
SCALE: 1/4" = 1'-0"

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00

DRAWING TITLE:  
**EXTG ELEVATION  
CENTRAL TOWER, NORTH**  
SCALE: AS SHOWN  
**E-3.1**

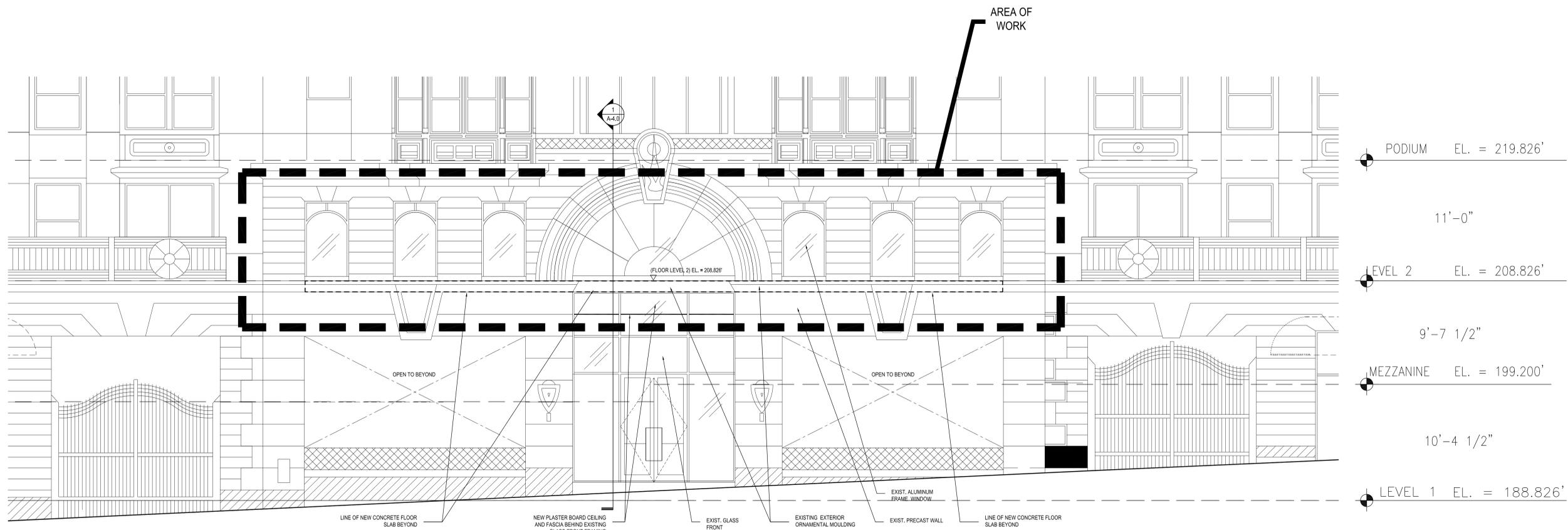
| 3   | 10/29/2014 | ISSUED FOR SF PLANNING DEPT. |
|-----|------------|------------------------------|
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SEAL



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Owner:  
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 1661 PINE STREET  
 SAN FRANCISCO, CA



**1 ELEVATION - LEVEL 1 (PINE STREET)**  
 SCALE: 1/4" = 1'-0"

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
 SAN FRANCISCO TOWERS**  
 ZONING DISTRICT: RC-4/NC-3  
 1661 Pine Street  
 San Francisco, CA  
 PROJECT NO.: 54020.00

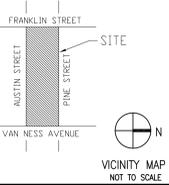
DRAWING TITLE:  
**PROPOSED  
 ELEVATION  
 CENTRAL TOWER, NORTH**

SCALE: AS SHOWN

**A-3.1**

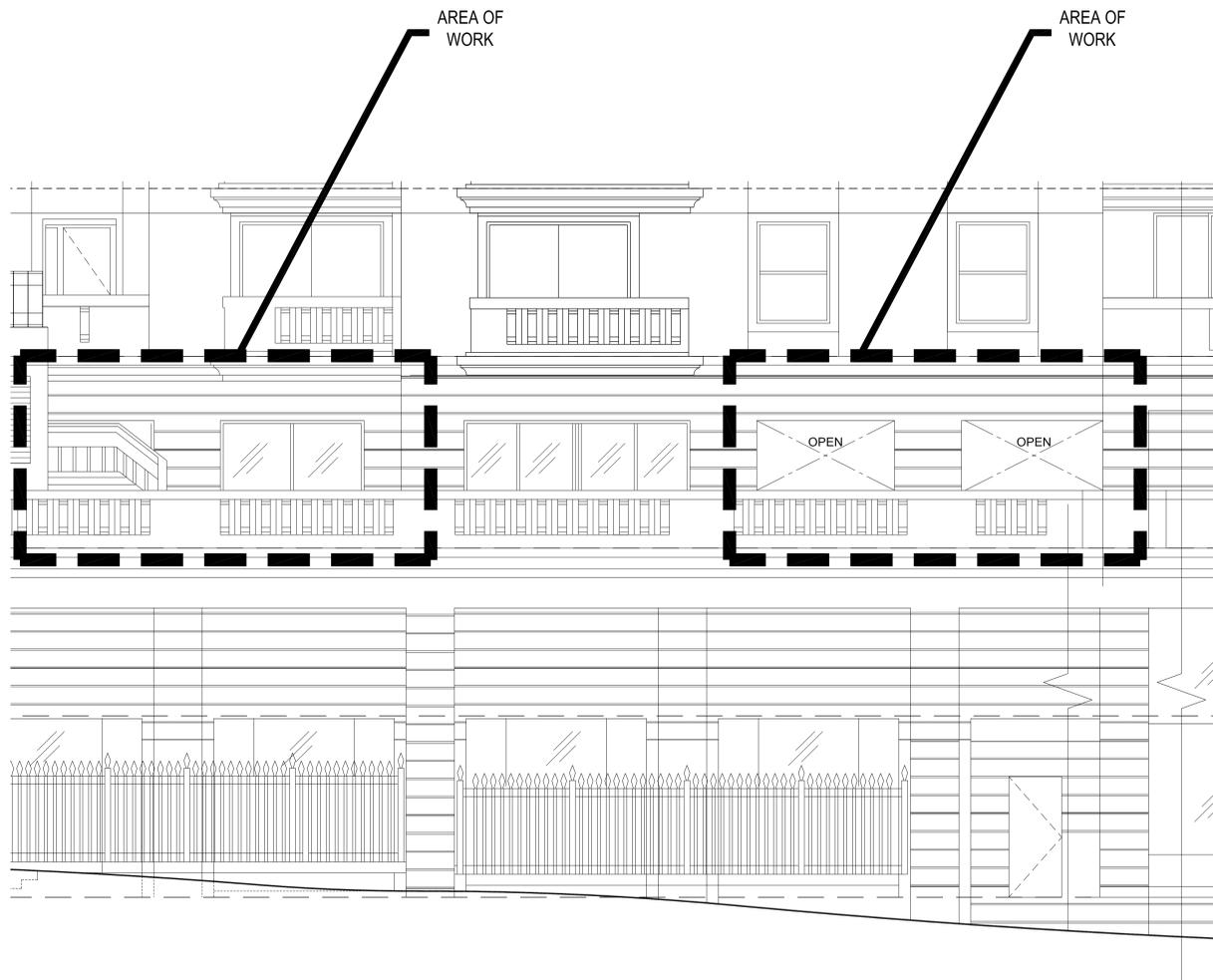
| 3   | 10/29/2014 | ISSUED FOR SF PLANNING DEPT. |
|-----|------------|------------------------------|
| 3   | 10/17/2014 | ISSUED FOR SF PLANNING DEPT. |
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SEAL

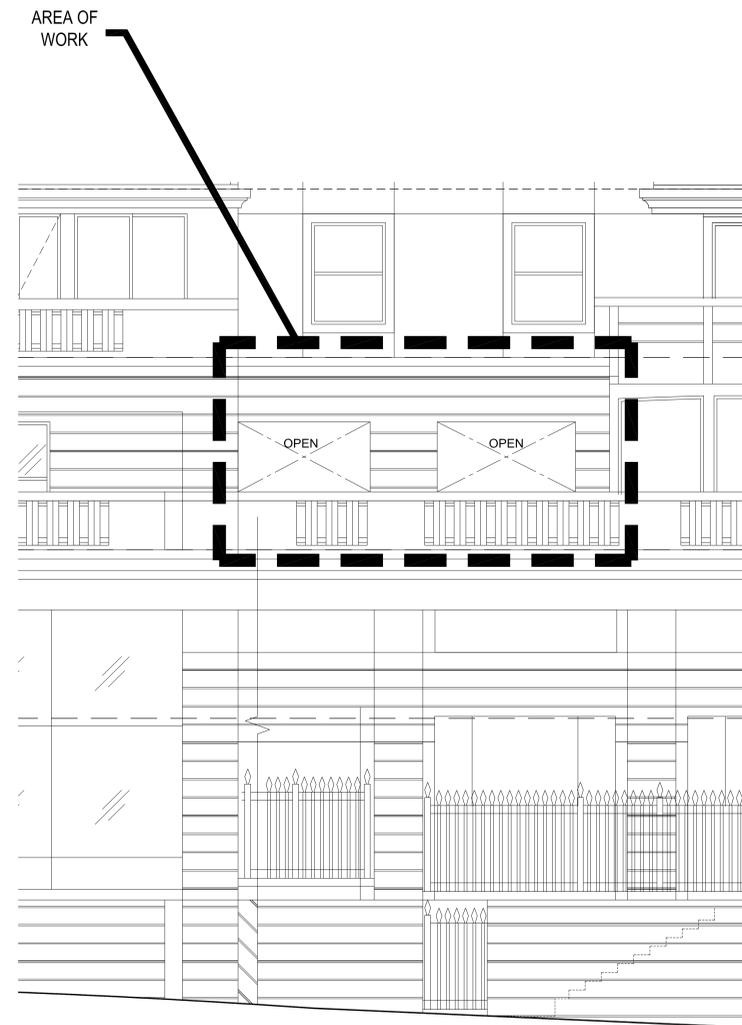
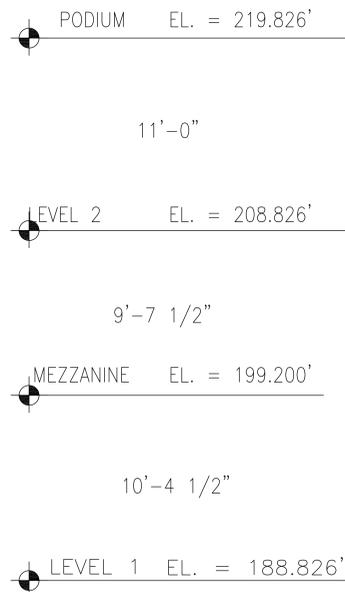


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Owner:  
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1661 PINE STREET  
SAN FRANCISCO, CA



**2** EXTG ELEVATION - LEVEL 2 (AUSTIN STREET)  
SCALE: 1/4" = 1'-0"



**1** EXTG ELEVATION - LEVEL 2 (AUSTIN STREET)  
SCALE: 1/4" = 1'-0"

T/CURB @ PINE ST.

PROJECT TITLE:  
EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS

ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA

PROJECT NO.: 54020.00

DRAWING TITLE:

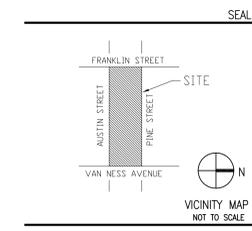
**EXTG ELEVATION**

CENTRAL TOWER, SOUTH

SCALE: AS SHOWN

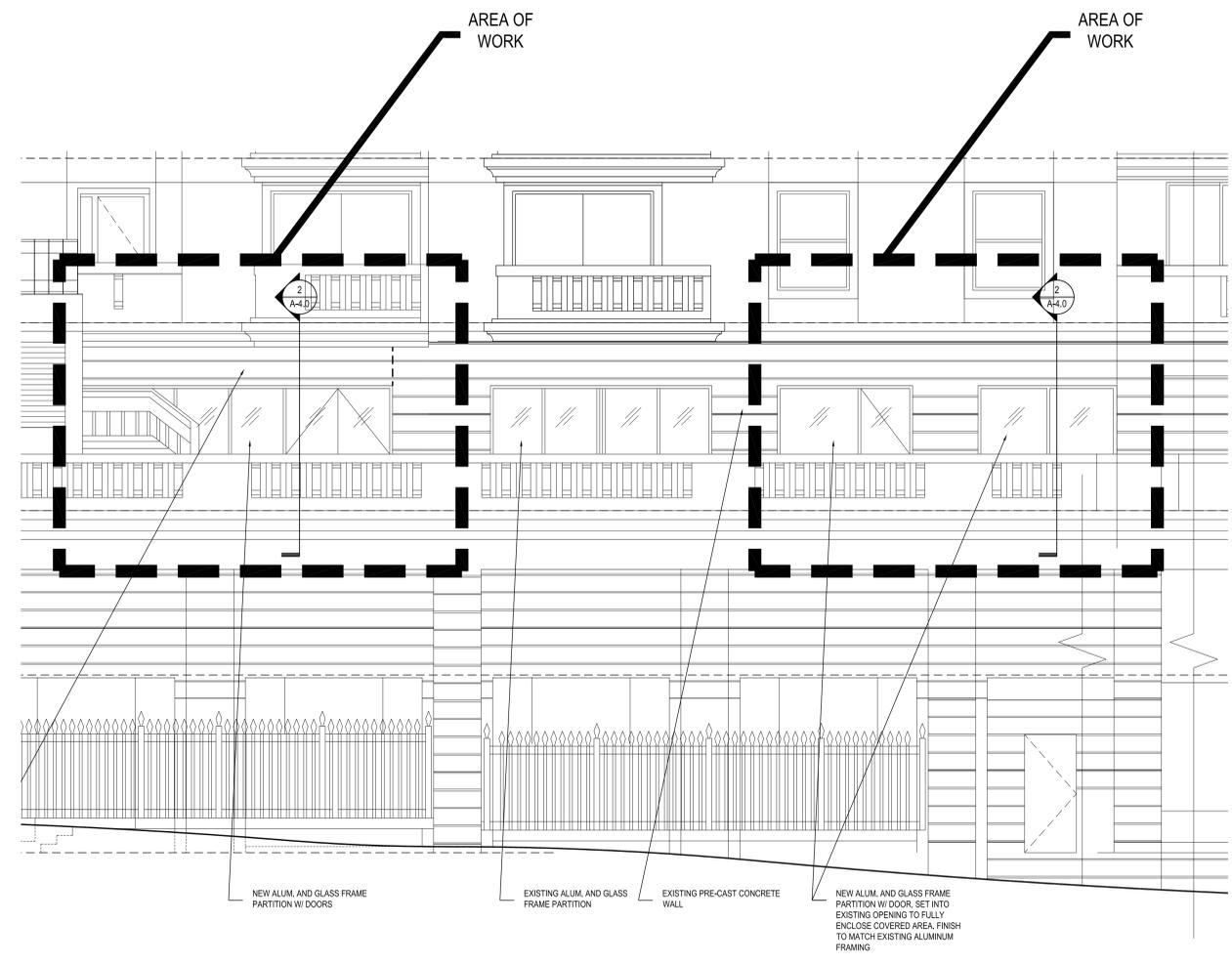
**E-3.2**

|     |            |                              |
|-----|------------|------------------------------|
| 3   | 10/29/2014 | ISSUED FOR SF PLANNING DEPT. |
| 3   | 10/17/2014 | ISSUED FOR SF PLANNING DEPT. |
| 2   | 10/06/2014 | ISSUED FOR SF PLANNING DEPT. |
| 1   | 06/09/2014 | ISSUED FOR SF PLANNING DEPT. |
| NO. | DATE       | REVISION                     |

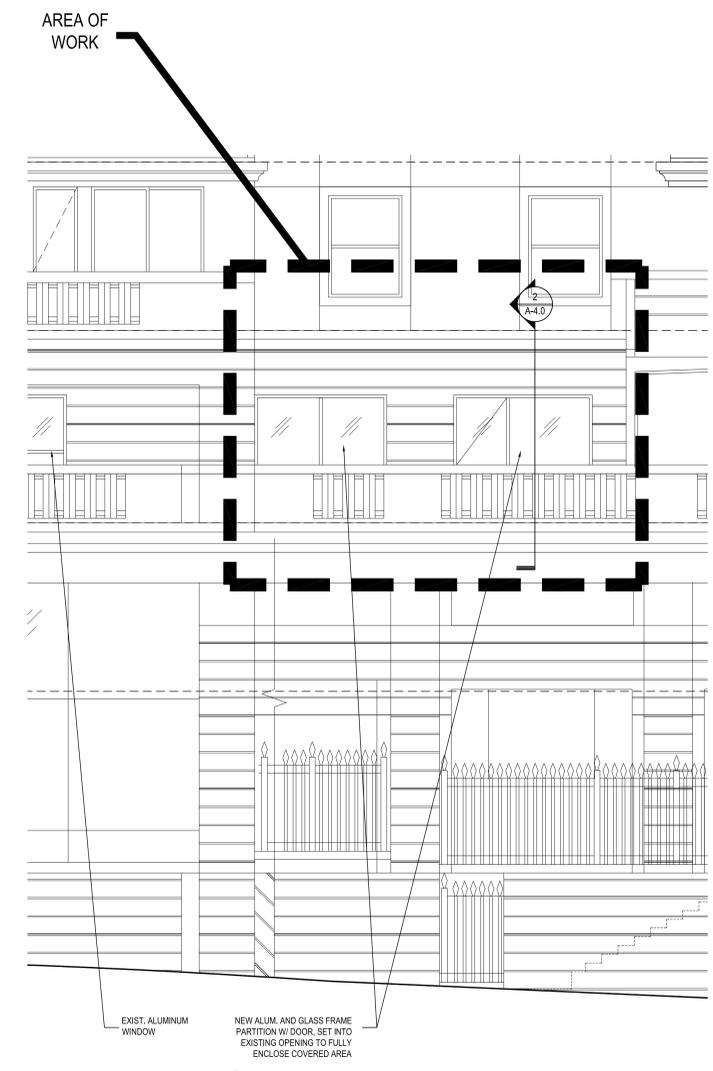
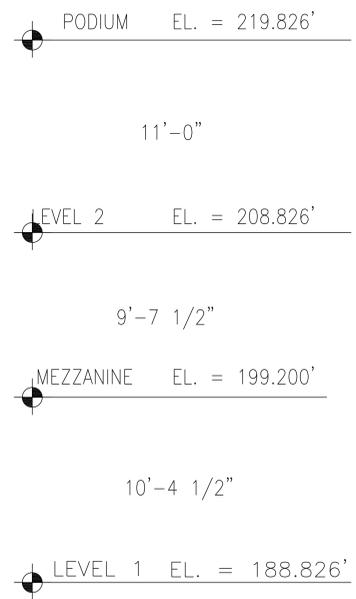


**PERKINS EASTMAN**  
 23 GEARY STREET, SUITE 500  
 SAN FRANCISCO, CA 94102  
 T 415.774.2900  
 F 415.774.2233

Owner:  
 EPISCOPAL SENIOR COMMUNITIES  
 1661 PINE STREET  
 SAN FRANCISCO, CA



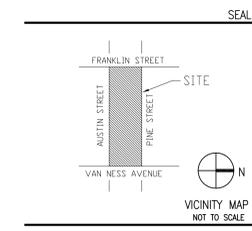
**2 ELEVATION - LEVEL 2 (AUSTIN STREET)**  
 SCALE: 1/4" = 1'-0"



**1 ELEVATION - LEVEL 2 (AUSTIN STREET)**  
 SCALE: 1/4" = 1'-0"

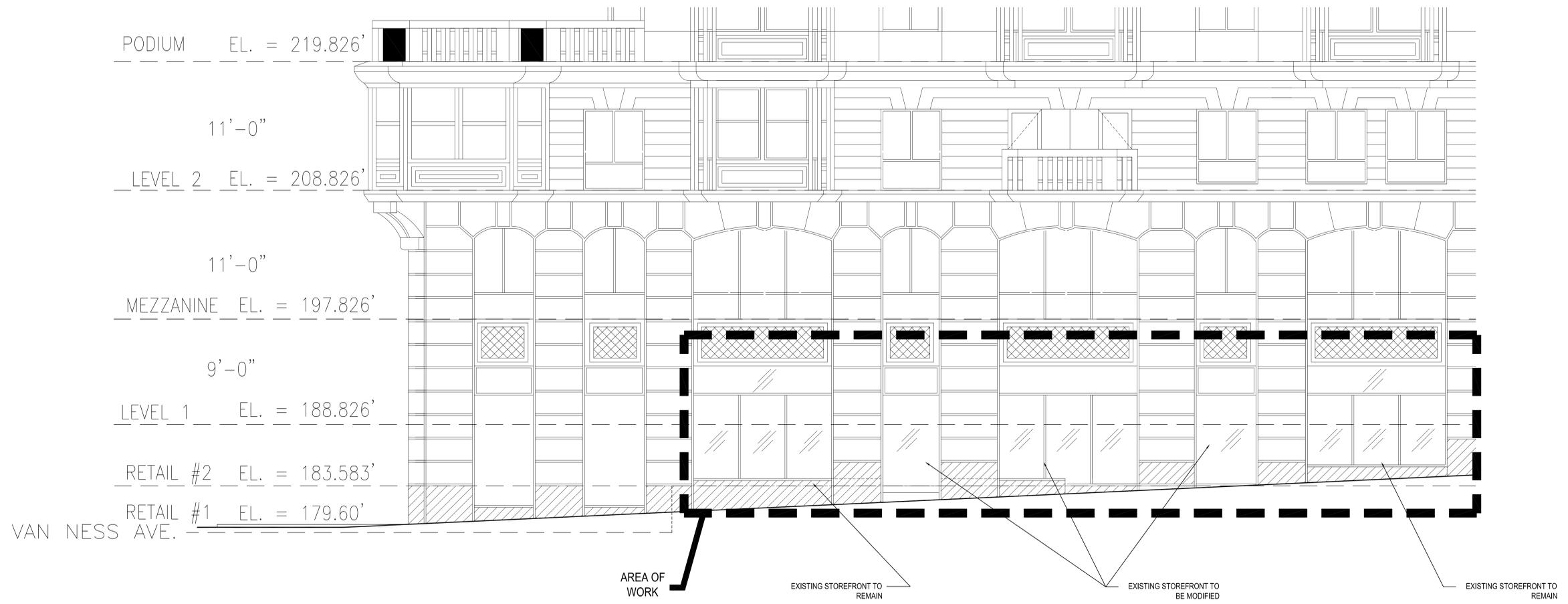
PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
 SAN FRANCISCO TOWERS**  
 ZONING DISTRICT: RC-4/NC-3  
 1661 Pine Street  
 San Francisco, CA  
 PROJECT NO.: 54020.00  
 DRAWING TITLE:  
**PROPOSED  
 ELEVATION  
 CENTRAL TOWER, SOUTH**  
 SCALE: AS SHOWN  
**A-3.2**

| 3   | 10/29/2014 | ISSUED FOR SF PLANNING DEPT. |
|-----|------------|------------------------------|
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1661 PINE STREET  
SAN FRANCISCO, CA



**1 EXTG ELEVATION - RETAIL LEVEL #2 (PINE STREET)**  
SCALE: 1/4" = 1'-0"

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00  
DRAWING TITLE:

**EXTG ELEVATION  
RETAIL LEVEL #2  
EAST TOWER, NORTH**

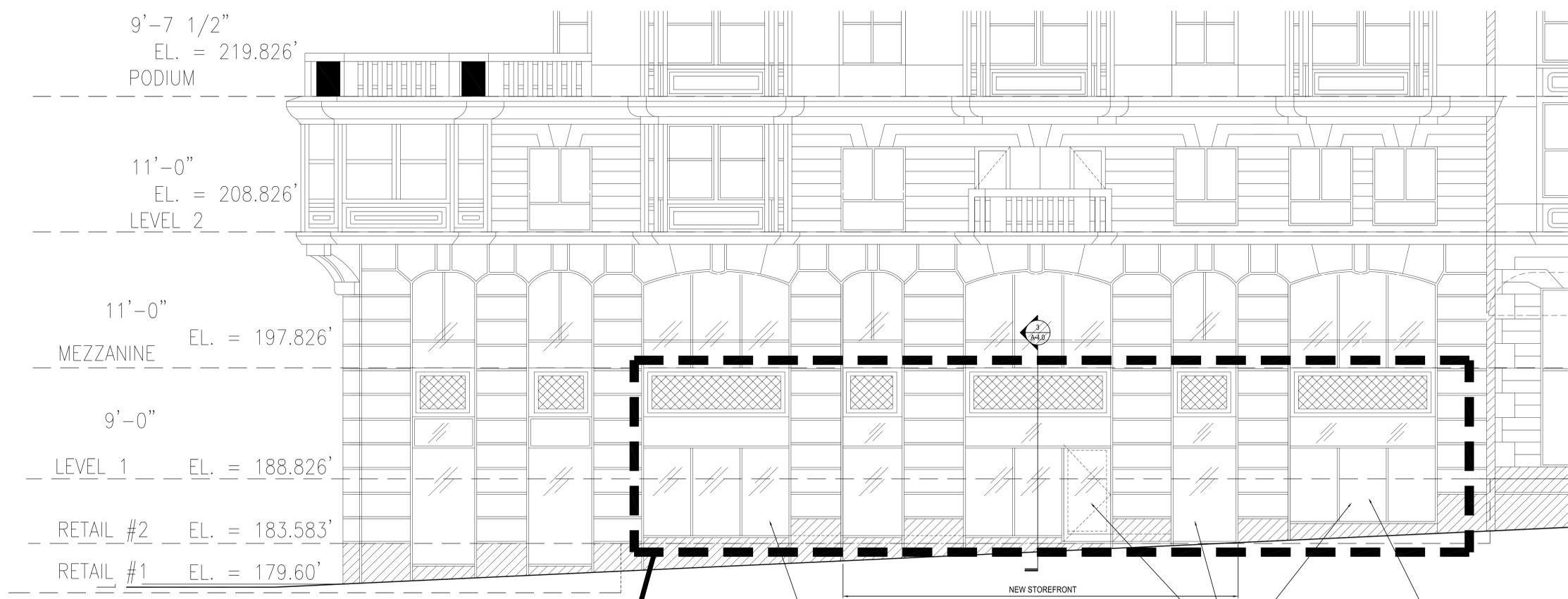
SCALE: AS SHOWN  
**E-3.3**

|     |            |                              |
|-----|------------|------------------------------|
| 3   | 10/29/2014 | ISSUED FOR SF PLANNING DEPT. |
| 3   | 10/17/2014 | ISSUED FOR SF PLANNING DEPT. |
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SEAL

VICINITY MAP  
NOT TO SCALE

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AREA OF WORK

EXISTING STOREFRONT TO REMAIN

NEW STOREFRONT

RESTORE STOREFRONT TO ITS ORIGINAL LOCATION; ALIGN NEW STOREFRONT WITH EXISTING EXTERIOR WALL STOREFRONT

EXISTING STOREFRONT TO REMAIN

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES  
SAN FRANCISCO TOWERS**

ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA

PROJECT NO.: 54020.00

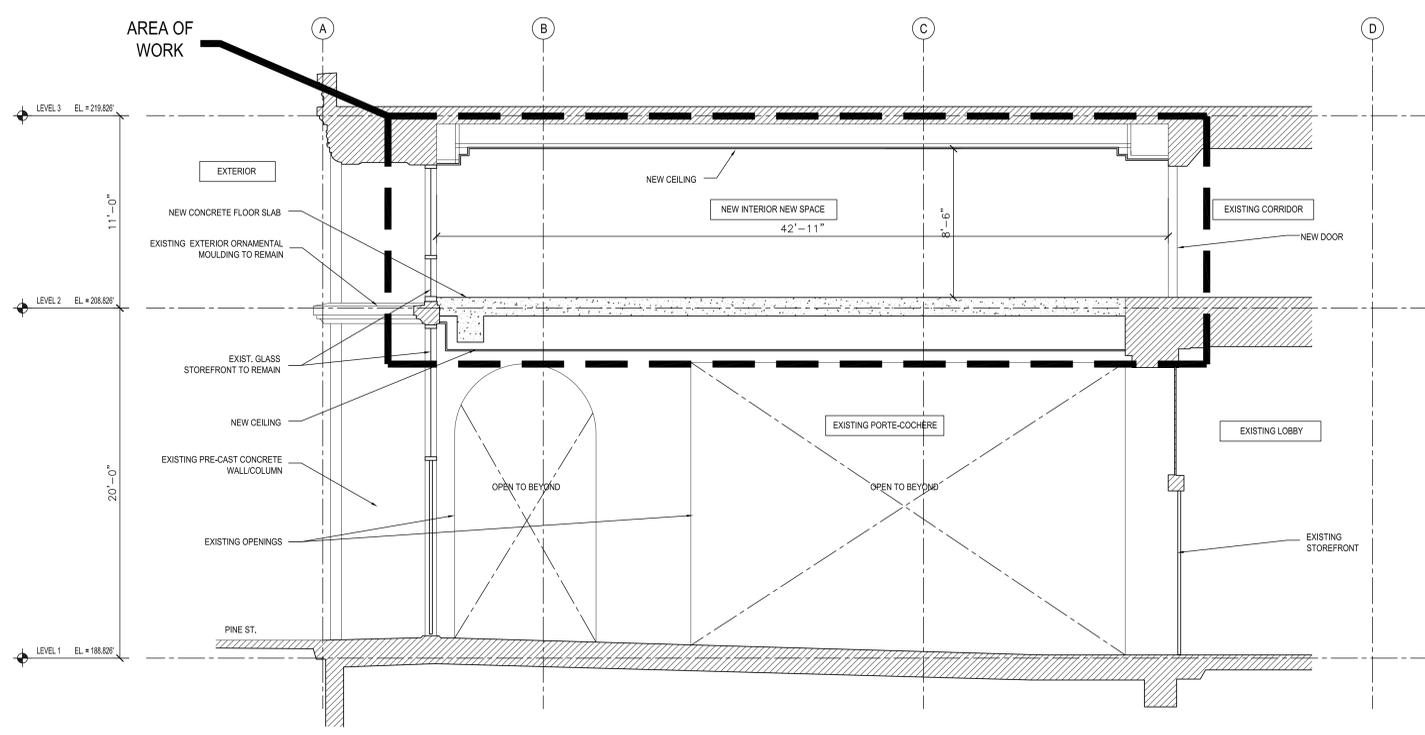
DRAWING TITLE:  
**PROPOSED ELEVATION  
RETAIL LEVEL #2  
EAST TOWER, NORTH**

SCALE: AS SHOWN

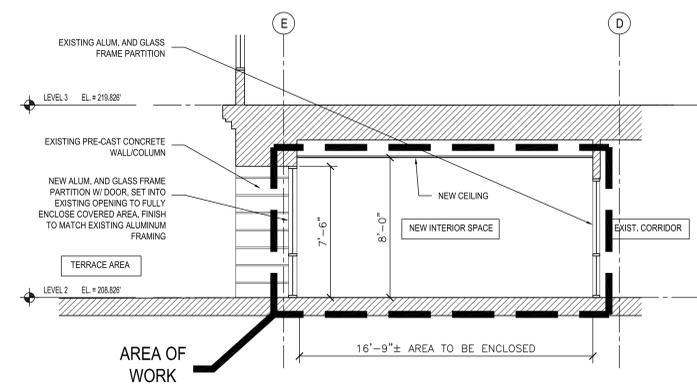
**1** ELEVATION - RETAIL #2 LEVEL (PINE STREET)  
SCALE: 1/4" = 1'-0"

**A-3.3**

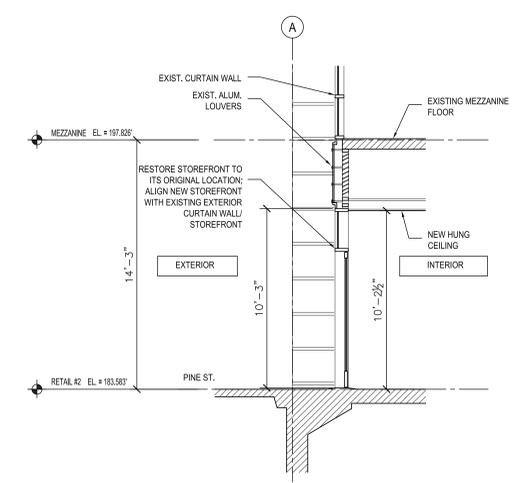
| 3   | 10/29/2014 | ISSUED FOR SF PLANNING DEPT. |
|-----|------------|------------------------------|
| 3   | 10/17/2014 | ISSUED FOR SF PLANNING DEPT. |
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| NO. | DATE       | REVISION                     |



**1 SECTION - LEVEL 2 ABOVE PORTE-COCHERE**  
SCALE: 1/4" = 1'-0"

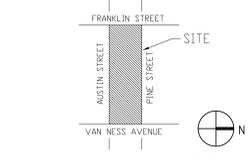


**2 SECTION - LEVEL 2 TERRACE**  
SCALE: 1/4" = 1'-0"



**3 SECTION - RETAIL STOREFRONT**  
SCALE: 1/4" = 1'-0"

SEAL



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F 415 774-2233

Owner:  
EPISCOPAL SENIOR COMMUNITIES  
1661 PINE STREET  
SAN FRANCISCO, CA

PROJECT TITLE:  
**EPISCOPAL SENIOR COMMUNITIES SAN FRANCISCO TOWERS**  
ZONING DISTRICT: RC-4/NC-3  
1661 Pine Street  
San Francisco, CA  
PROJECT NO.: 54020.00  
DRAWING TITLE:  
**SECTIONS**

SCALE: AS SHOWN

**A-4.0**

# Photos – Van Ness Avenue Retail Frontage



# Photos – Corner of Van Ness Avenue and Pine Street



San Francisco Towers



# Photos – Pine Street Retail Frontage



# Photos – Pine Street Porte-cochere



San Francisco Towers



# Photos – Level 2 Terrace

