



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: JUNE 19, 2014

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: June 12, 2014
Case No.: **2014.0370DD**
Project Address: **1112 LOMBARD STREET**
Permit Application: 2013.07.12.1765
Zoning: RH-3 [Residential House, Three-Family]
40-X Height and Bulk District
Block/Lot: 0069/080
Project Sponsor: Lewis Butler, AIA
Butler Armsden Architect
2849 California Street
San Francisco, CA 94115
Staff Contact: Pilar LaValley – (415) 575-9084
pilar.lavalley@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal is to construct a one-story vertical addition and a small horizontal rear addition, to infill existing second floor rear deck, to excavate a new basement level connecting the existing garages and extending under the existing house, and to undertake an interior remodel of the existing two-story, single-family residence. The project includes extensive remodeling of the interior, replacing an existing door with a new window at front façade, and all new windows/doors on side and rear elevations.

The vertical addition will be approximately 10 feet tall and will be setback approximately 16 feet from the building façade. A portion of the vertical addition (approximately 5 feet in depth) will be built to the west side property line while the remainder of the addition will be setback approximately 7 feet from this property line.

SITE DESCRIPTION AND PRESENT USE

The subject parcel is located on the north side of Lombard Street between Hyde and Larkin Streets. The parcel is an irregular L-shape that is 137.5 feet deep and is arranged with the narrowest portion extending to the street. At the street, the parcel is 40 feet wide. At the rear property line, the parcel is 85.5 feet wide. A concrete stair and walkway leading to the residence is centered between two single bay garages that are built to the street frontage. The subject building is deeply setback from the street (approximately 50.5 feet) and is a two-story, single-family structure.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is located on the north side of Lombard Street, which is fully developed with residential buildings while the south side of the block is occupied by the Alice Marble Park. There is parallel parking along both sides of the street. The subject block is one half block west of the famed "Crookedest" block of Lombard Street. The subject, and surrounding, blocks have a mixed character with

a variety of front yard setbacks, roof types, building heights, and entrance locations. Buildings are typically two- or three-stories over basement, single- and multi-family residences. The building adjacent to the subject property, at 1150 Lombard Street (The Lombardia), is a 42-unit condominium on a through lot fronting on Lombard and Chestnut Streets.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	February 13, 2014 – March 15, 2014	March 10 & 11, 2014	June 19, 2014	100 days

Following expiration of the 311 notice, and after filing of the two Discretionary Review requests, staff received telephone calls from an owner and from a tenant of 1100 Lombard Street indicating that the 311 notice had not been sent to the tenants of this building. After researching these statements, it appeared that 311 notices were not sent to these tenants because 1100 Lombard Street was being remodeled and appeared to be unoccupied at the time the 311 mailing lists were prepared.

Based on guidance of the Assistant Zoning Administrator, and as the property owner and tenants already appeared to be aware of the proposed project, the Department briefly re-opened the notice period from April 29, 2014 through May 8, 2014 for the tenants of 1100 Lombard Street.¹ During this extended notice period, the Department received comments from one tenant of 1100 Lombard Street expressing concerns about the project and the lack of notice (attached), but no additional Discretionary Review applications were submitted.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	June 9, 2014	June 9, 2014	10 days
Mailed Notice	10 days	June 9, 2014	June 9, 2014	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		X	X
Other neighbors on the block or directly across the street		X	X
Other neighbors on surrounding blocks	X		X
Neighborhood groups			X

¹ Three of the five letters sent to tenants of 1100 Lombard Street were returned to sender marked “vacant.”

To date, the Department has received 10 letters in opposition to the project and 9 letters in support of the project.

DR REQUESTOR

Roma & Cyril Peletz
1150 Lombard Street #8
San Francisco, CA 94109

Property owner of unit #8 in 1150 Lombard Street, which is west of subject property. Unit #8 is directly adjacent to the subject building.

William & Joan White and Carol Hecht Katz
1150 Lombard Street #6 and #7
San Francisco, CA 94109

Property owners of units #6 and #7 in 1150 Lombard Street, which is west of the subject property. Units #6 and #7 are adjacent to the northern end of the subject building.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, Roma & Cyril Peletz, dated March 10, 2014.

See attached *Discretionary Review Application*, William & Joan White and Carol Hecht Katz, dated March 10, 2014.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated June 5, 2014.

ENVIRONMENTAL REVIEW

The subject property is not included on any historic resource surveys or listed on any local, state or national registries. The building is considered a potential historic resource for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures due to its age (constructed in 1940). As the proposed vertical addition is substantially setback and minimally visible from the public right-of-way, and other exterior alterations are compatible with the character of the building, the Department utilized the CEQA Categorical Exemption Determination checklist for the project.

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reasons:

- The DR requestors' dwellings are set back a minimum of 12 feet from the proposed addition. A majority of the vertical addition is set back even further from the side property line with the exception being the portion that houses the elevator penthouse. This side setback is a clear acknowledgement of the proximity between the addition and the DR requestors' dwellings. The combination of these setbacks is a large enough space to provide light and air to the DR requestors building.
- The method of construction is not within the purview of Planning Department review. The proposed excavation will be conducted in accordance with Department of Building Inspection requirements to protect public welfare and property or improvements in the vicinity.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed

Attachments:

- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Context Photographs
- Section 311 Notice
- DR Application (Peletz), dated March 10, 2014
- DR Application (Katz and White), dated March 10, 2014
- Public Comment
 - 10 letters in opposition of the project
 - 9 letters in support of the project
- Response to DR Application
 - Response to DR Application, dated June 5, 2014
 - Shadow Study
 - Reduced Plans

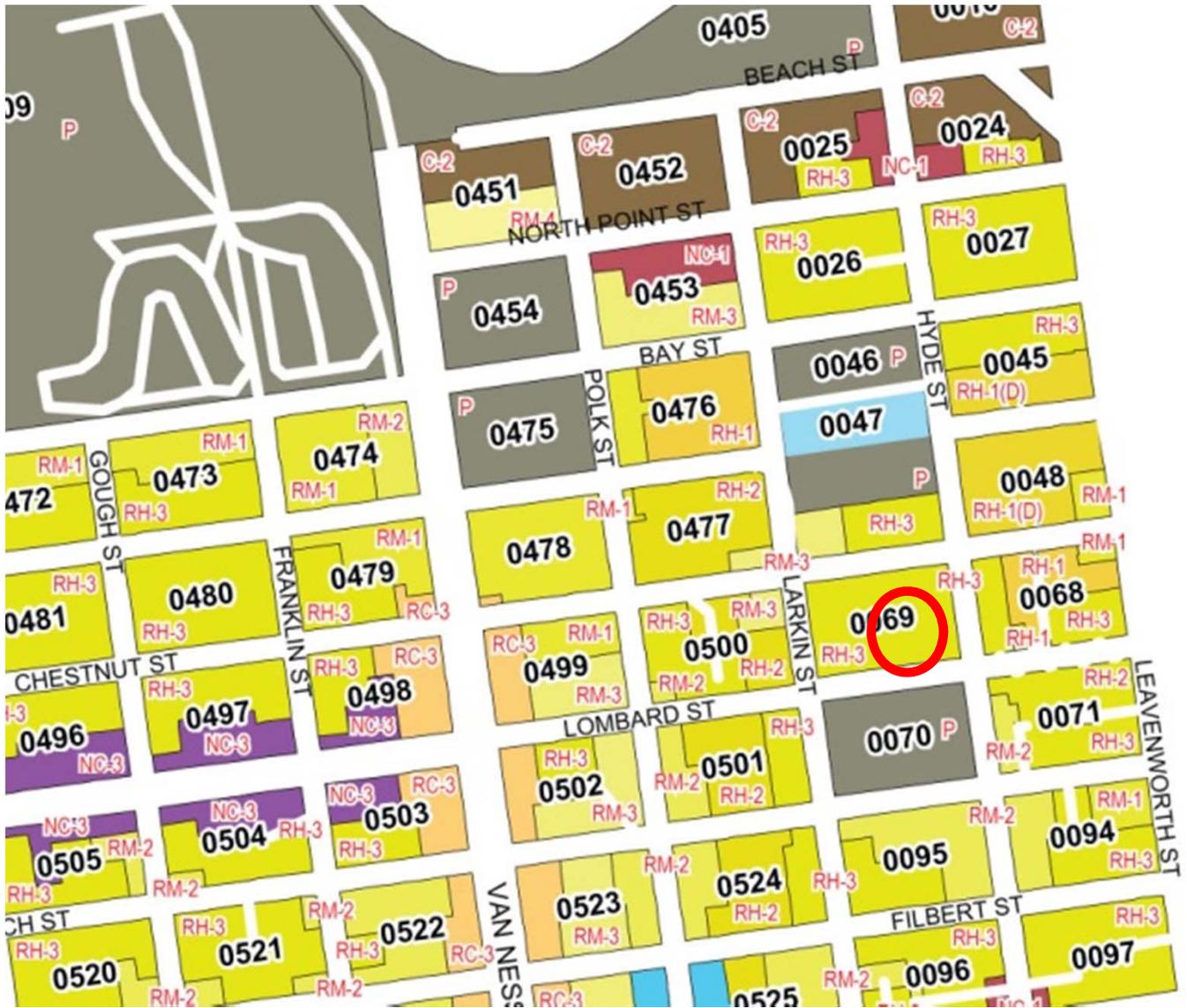
PL: G:\DOCUMENTS\1112 Lombard Street\DR - Abbreviated Analysis.docx

Parcel Map



Discretionary Review Hearing
Case Number 2014.0370DD
1112 Lombard Street

Zoning Map



Discretionary Review Hearing
Case Number 2009.0716D
708 Vermont Street

Aerial Photo



DR REQUESTORS'
PROPERTIES

SUBJECT
PROPERTY



Discretionary Review Hearing
Case Number 2014.0370DD
1112 Lombard Street

Aerial Photo



SUBJECT
PROPERTY

DR REQUESTORS'
PROPERTIES



Aerial Photo



Site Photo



SUBJECT
PROPERTY



Discretionary Review Hearing
Case Number 2014.0370DD
1112 Lombard Street

Site Photo



DR REQUESTORS'
PROPERTIES

SUBJECT
PROPERTY





SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **July 12, 2013**, the Applicant named below filed Building Permit Application No. **2013.07.12.1765** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1112 Lombard Street	Applicant:	Federico Engel
Cross Street(s):	Larkin and Hyde	Address:	Butler Armsden Architects 2849 California Street
Block/Lot No.:	0069/080	City, State:	San Francisco, CA 94115
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 674-5554

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Single-family residence	No Change
Front Setback	50 feet (to front of residence)	No Change
Side Setbacks	1.5 feet at East, 0 feet at West	No Change
Building Depth	54 feet	No Change
Rear Yard	38 feet and 56 feet	No Change
Building Height	32 feet	40 feet
Number of Stories	2	3
Number of Dwelling Units	1	No Change
Number of Parking Spaces	2	3
PROJECT DESCRIPTION		
The proposal is to remodel the existing single-family house including new stairs and new elevator, excavation of a new basement level connecting the existing garages and extending under the existing house, addition of a one-story vertical addition on the western wing of the house, and addition of a small rear addition on the eastern wing of the house. The project includes extensive remodeling of the interior, replacing an existing door with a new window at front façade, and all new windows/doors on side and rear elevations. See attached plans.		

For more information, please contact Planning Department staff:

Planner: Pilar LaValley
 Telephone: (415) 575-9084
 E-mail: pilar.lavalley@sfgov.org

Notice Date: **02/13/2014**

Expiration Date: **03/15/2014**

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

CASE NUMBER:
For Staff Use only

14-03700

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:
ROMA + CYRIL PELETZ

DR APPLICANT'S ADDRESS: **1150 LOMBARD ST., No. 8** ZIP CODE: **94109** TELEPHONE: **(415) 441-8887**

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:
BOB + TINA BARTLETT-HINCHLEY

ADDRESS: **1 LETTERMAN DR., BLDG "C", Suite 300 SF 94129** ZIP CODE: **94129** TELEPHONE: **(415) 279-7810**

CONTACT FOR DR APPLICATION:
Same as Above **ROMA PELETZ**

ADDRESS: **1150 LOMBARD ST. No. 8, SF** ZIP CODE: **94109** TELEPHONE: **(415) 441-8887**

E-MAIL ADDRESS: **romape@icloud.com**

2. Location and Classification

STREET ADDRESS OF PROJECT: **1112 LOMBARD ST. SF** ZIP CODE: **94109**

CROSS STREETS: **Hyde + LARKIN**

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
2069 180	137' ± 6in. 85' ± 6in.	9,230 sq ft	RH-3/40X	40 ft

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other **40 ft @ front**

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: **Residential**

Proposed Use: **Residential**

Building Permit Application No. **2013.07.12.1765**

Date Filed: **March**

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

with architect

Discussed with project architects.

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

The architect has not made any offers of compromise.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Lombardia was reduced to 3.2 ft to fit in with the neighbor's roof and now the planned addition does not meet guidelines to maintain light to Lombardia's west side by proposed of course at 1112 Lombard. The addition of a third floor does not provide adequate strokes and is placed in front of the windows of the main house in the home at 1150 Lombard, No 8.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The property of 1150 Lombard on the west side would be adversely affected. The proposed addition is only set back 1 1/2 feet and covers all the living room windows of #8. The room will be dark, cold and without light or air. The proposed elevator will be in the window when it could be placed elsewhere in the building addition. Our privacy will be compromised.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The third floor addition could easily be placed on the other side of the roof which is empty. The elevator could be placed where the bathroom is now and the bathroom could be placed in several other locations.

Lombardia's scale was designed at 3.2 ft. It was not to dwarf the house at 1112 Lombard. The scale is compatible with the surrounding buildings. We have requested the mid-block open space.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____

Roma Cyril Pelto
CRP

Date: _____

3/10/2014

Print name, and indicate whether owner, or authorized agent:

Owner

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Convenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: Ozzie Taub

Date: 3/10/14



1112 Lombard

00521650 003 N H H H
< SA > 43 ON
NO ST < 44 >

End of Lombard at Hyde

00521650 003 N H H H
< SA > 43 ON
NO ST < 44 >



Stuy poles indicating extensive
area of stuy poles on west side only
blocking light + air coming from the
east side.

from Pelitz living room walls covering all
of deck on one side of roof area of
112 Lombard



rails of Peletz deck - taken from Peletz
living room indicating where walls will hide
light + deprive room of light and air.

Peletz - railing of deck
living room looking at
story poles 1 foot from
edge - skirting out light
& air

between poles will be
proposed walls.



N.N.H.N. 000 05912500
NO. 28 5 40.7

Along poles which will be filled in
with water outside during storm, make
room of Potts name

N.N.H.N. 000 05912500
NO. 28 5 40.7

Proposed winter will protect
along the wall outside members
of Potts during storm



Unightly wall of 1112 Lombard
does not comply with Design Guidelines
for materials

M N H N 000 09712500
NO 25 7 82

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Joan and William White (unit#7) and Carol Hecht Katz (unit #6)			(415) 624-3652 (White)
DR APPLICANT'S ADDRESS: 1150 Lombard Street, San Francisco, CA Units # 7&6	ZIP CODE: 94109	TELEPHONE: (415)929-1187(Katz)	
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Robert Hinckley and Tina Bartlett Hinckley			
ADDRESS: 1112 Lombard Street, San Francisco, CA	ZIP CODE: 94109	TELEPHONE: ()	
CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> Butler Armsden Architects			
ADDRESS: 2849 California Street, San Francisco, CA	ZIP CODE: 94115	TELEPHONE: (415) 674-5554	
E-MAIL ADDRESS: info@butlerarmsden.com			

2. Location and Classification

STREET ADDRESS OF PROJECT: 1112 Lombard Street		ZIP CODE: 94109		
CROSS STREETS: Hyde and Larkin				
ASSESSORS BLOCK/LOT: 0069 /080	LOT DIMENSIONS: irreg.(att.)	LOT AREA (SQ FT): 9230	ZONING DISTRICT: RH-3	HEIGHT/BULK DISTRICT: 40-X

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard

Present or Previous Use: Residential

Proposed Use: Residential

Building Permit Application No. 2013.07.12.1765 Date Filed: 7/12/2013

RECEIVED
MAR 10 2014
CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Following the architects' meeting with the Planning Dept., the third floor addition was moved back +- 5 feet from the street and +- 2 feet from the back. This did not adequately address the White's concerns, which had been discussed with the architects. The architects met with Katz as part of a group meeting but did not come to her house for an on site assessment.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The additional floor and the enclosure of the deck on the second floor, as currently planned, will directly decrease the light in our master bedrooms, living rooms and gardens. In those rooms we have windows only on one side, directly facing the new construction. Shadow line studies have been requested, but not received to date. In addition, the stability and environmental impacts from the proposed significant excavation to build an underground garage are unknown, raising stability, seismic and environmental concerns.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The loss of light into our premises and gardens will cause an unreasonable impact on us and some of our neighbors. The excavation of the garage could adversely impact all 42 units at 1150 Lombard Street, including the stability of foundation walls and garages, as well as causing increased water flow onto our premises from the underground stream and rainwater due to the steep slant of land. Since there are no engineering studies or a Stormwater Control Plan, we are unable to determine how the excavation will be achieved or its impact.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Move the proposed third floor addition towards the east at least 3 feet. (Towards Hyde.)

Alternatively, build the addition on the eastern (lower) building of 1112 Lombard Street

Leave the existing 2nd floor deck in its current location and do not enclose deck.

Reposition the proposed elevator to avoid its being so close to the Lombardia (1150) property line.

Furnish shadow studies and engineering studies.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: William R White
Joan White
Carol N. Katz

Date: March 10, 2014

Print name, and indicate whether owner, or authorized agent:

William White, Joan White, Carol Katz
Owner / Authorized Agent (circle one)

Lombard 1150 unit #7
View from 3rd floor

14-0370D

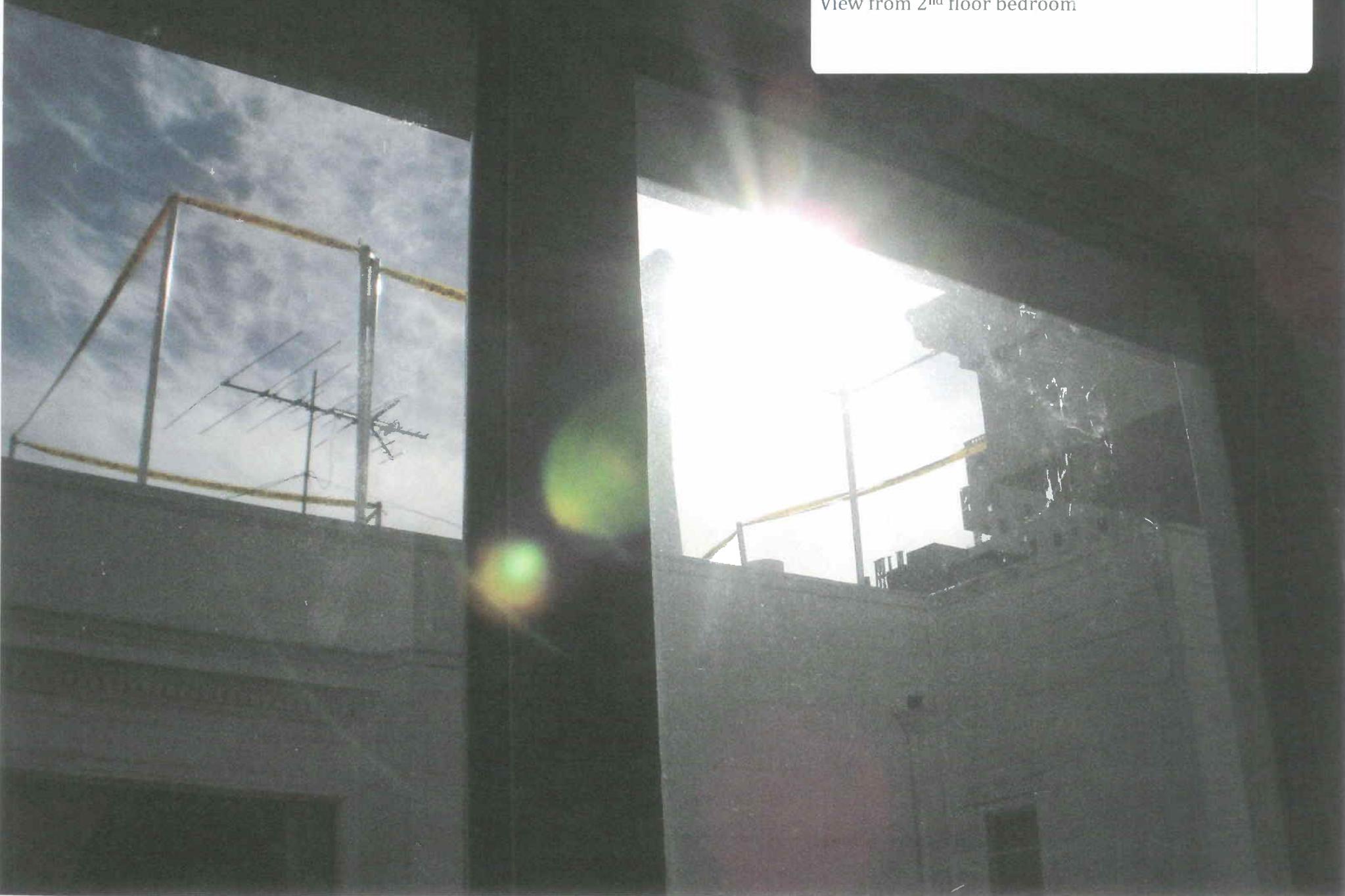


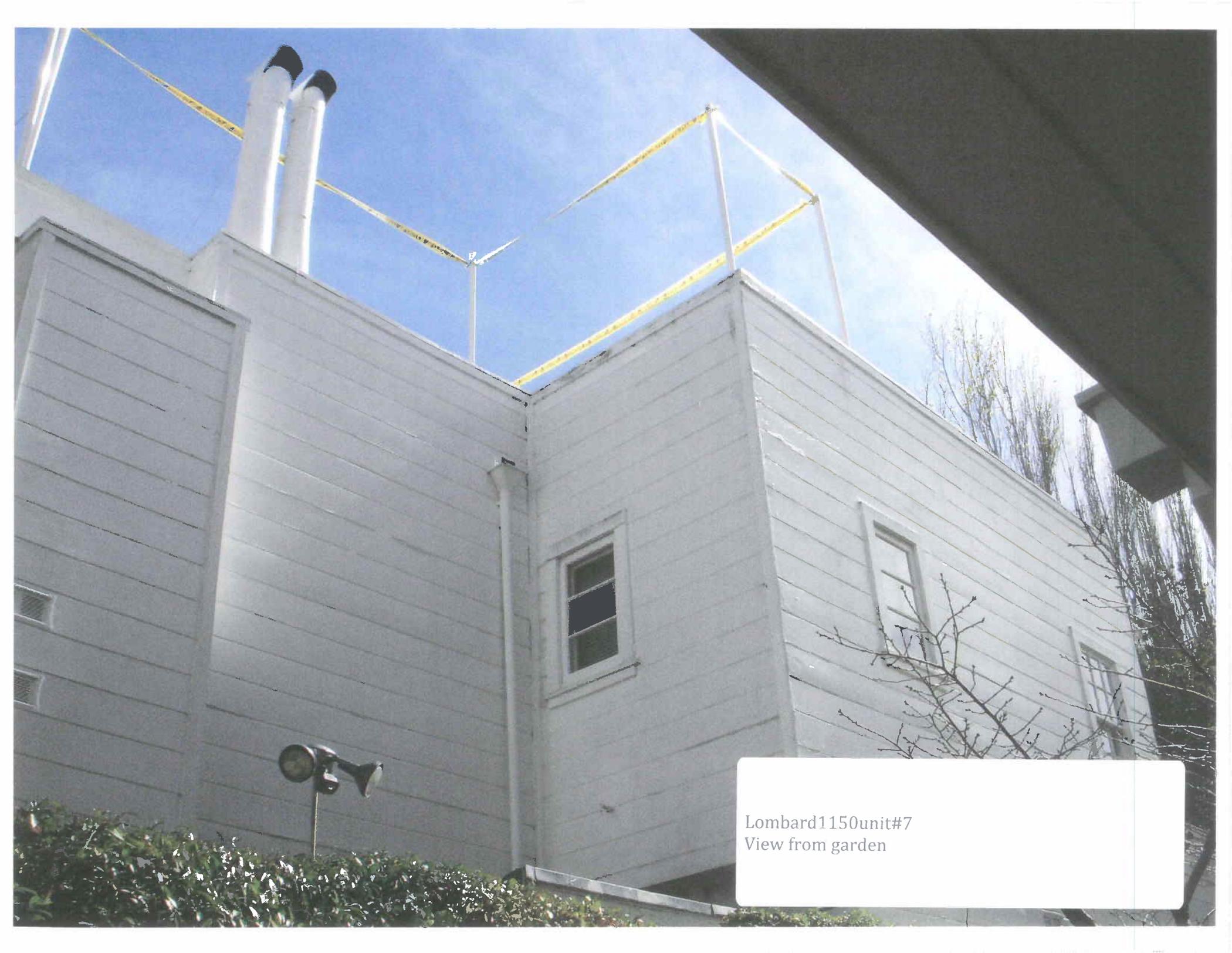


Lombard1150 unit#7
View from 2nd floor bedroom

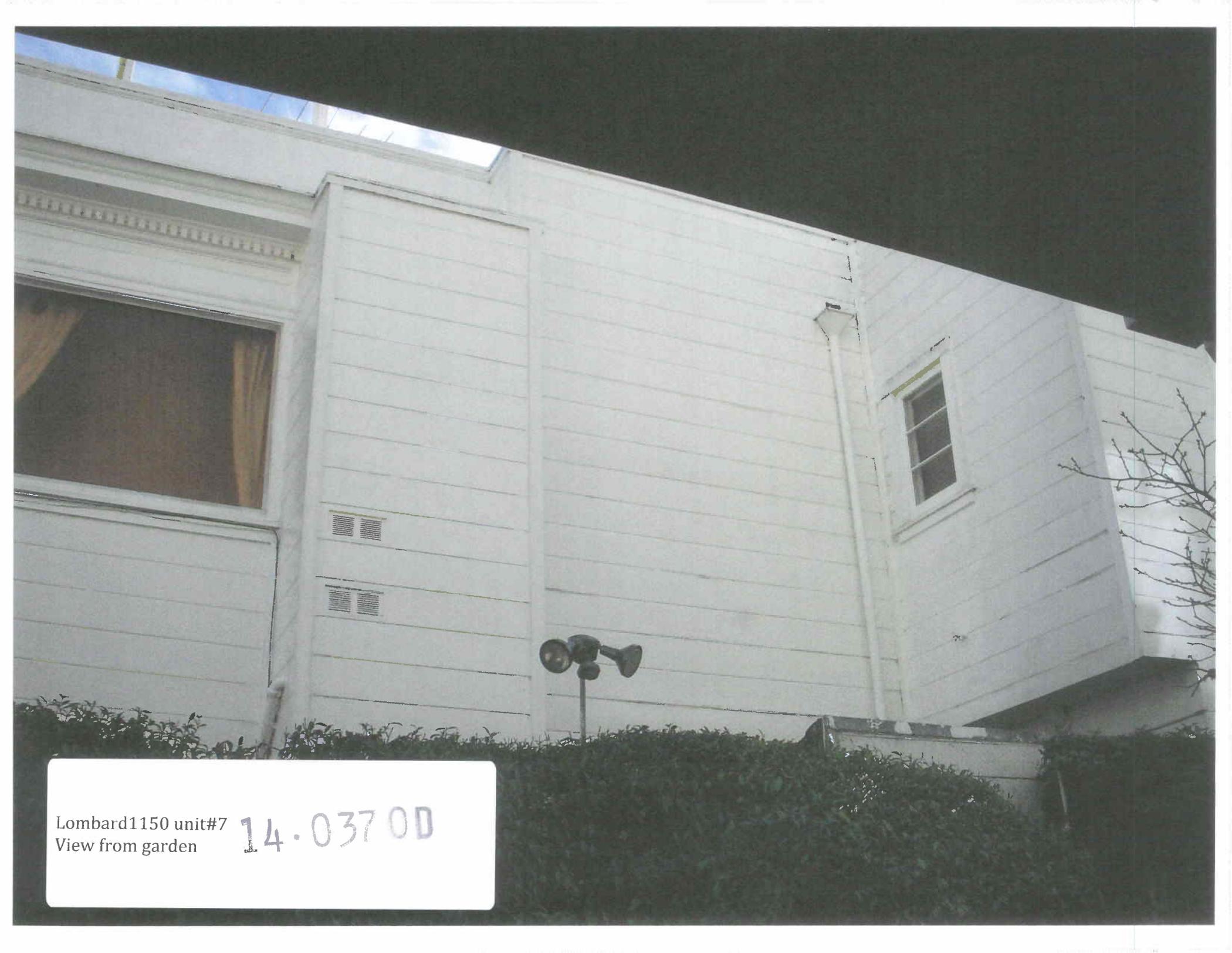
14.037 00

Lombard1150 unit #7 14-03700
View from 2nd floor bedroom





Lombard1150unit#7
View from garden



Lombard1150 unit#7
View from garden

14.037 0D



Lombard1150 unit#7
View of garden

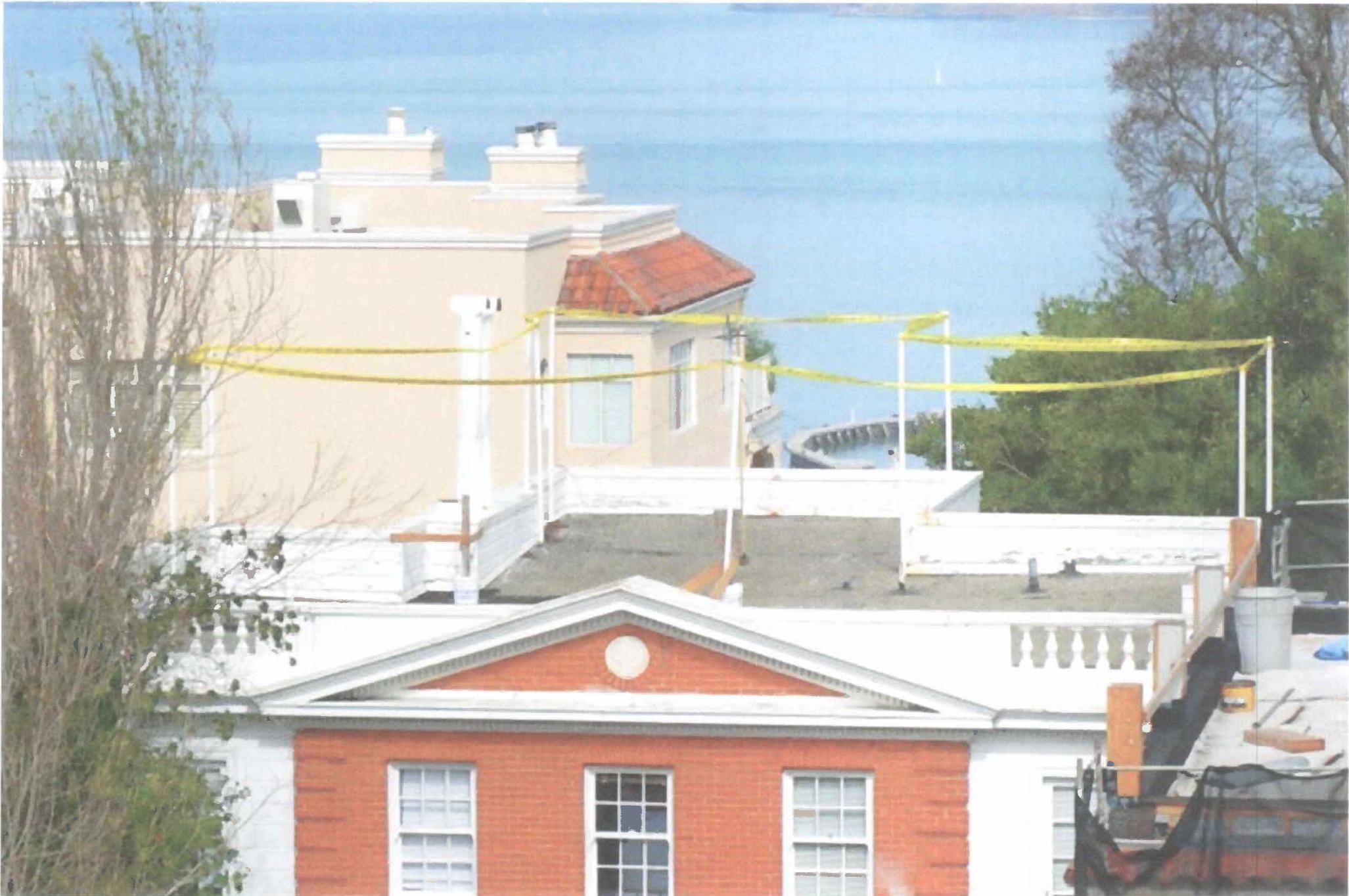
14.037 00

1112 Lowland
area of excavation goes from street to beneath house



14-03700

14-037 00



1112 Lombard with story poles



Lombard1150 unit#6
View from 2nd floor bedroom

11/18/2019 10:50 AM
11/18/2019 10:50 AM

Lombard 1150 unit#6
View from 1st floor

11/18/2019 10:50 AM
11/18/2019 10:50 AM



Lombard 1150 unit#6
View from garden



Lombard 1150 unit#6
View from garden



March 17, 2014

San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

Dear Ms. LaValley::

Re: Permit 2013.07.12.1765

I am a homeowner at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

I understand that the proposed addition of a third floor and the closing in of the second floor north deck could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to date, they have not been supplied.

In addition, the extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor under the existing house, consisting of a garage and store space, could potentially affect all of the Lombardia homeowners. I understand that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impact of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages are unknown. Moreover, the impact of the excavation on a known underground stream running along the property line has not been determined.

I therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Yours truly,

Name

Robert L. Christensen

Address

1150 Lombard St. #10

S. F. CA 94109

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

March 27, 2014

San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

Dear Ms. LaValley:

Re: Permit 2013.07.12.1765

I am a homeowner at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

I understand that the proposed addition of a third floor and the closing in of the second floor north deck could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to date, they have not been supplied.

In addition, the extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor under the existing house, consisting of a garage and store space, could potentially affect all of the Lombardia homeowners. I understand that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impact of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages are unknown. Moreover, the impact of the excavation on a known underground stream running along the property line has not been determined.

I therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Yours truly,

Name CHARLES LEE

Address 1150 LOMBARD ST. #24 SAN FRANCISCO, CA 94109

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

March , 2014

San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

Dear Ms. LaValley::

Re: Permit 2013.07.12.1765

I am a homeowner at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

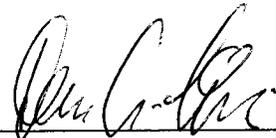
I understand that the proposed addition of a third floor and the closing in of the second floor north deck could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to date, they have not been supplied.

In addition, the extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor under the existing house, consisting of a garage and store space, could potentially affect all of the Lombardia homeowners. I understand that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impact of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages are unknown. Moreover, the impact of the excavation on a known underground stream running along the property line has not been determined.

I therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Yours truly,

Name



Address

1150 Lombard apt. 32
SF. 94109.

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

March , 2014

San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

Dear Ms. LaValley::

Re: Permit 2013.07.12.1765

I am a homeowner at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

I understand that the proposed addition of a third floor and the closing in of the second floor north deck could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to date, they have not been supplied.

In addition, the extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor under the existing house, consisting of a garage and store space, could potentially affect all of the Lombardia homeowners. I understand that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impact of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages are unknown. Moreover, the impact of the excavation on a known underground stream running along the property line has not been determined.

I therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Yours truly,

Name Andy & Carrie McLaughlin

Address 1150 Lombard St., Unit 1

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

From: [Nancy](#)
To: [LaValley, Pilar \(CPC\)](#)
Cc: cwu.planning@gmail.com
Subject: Permit 2013.07.12.1765 (1112 Lombard Street)
Date: Saturday, March 15, 2014 2:30:27 PM

San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

March 16, 2014

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

Re: Permit 2013.07.12.1765

Dear Ms. LaValley:

I am a homeowner at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

I understand that the proposed addition of a third floor and the closing in of the second floor north deck could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to date, they have not been supplied. The story poles have only been partially provided.

I am particularly concerned about the extensive underground excavation to create driveways to the house at 1112 from the home's current garages on Lombard Street and to build a new floor under the existing house, consisting of a garage and store space. These activities could potentially affect all of the Lombardia homeowners. I understand that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impact of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages are unknown. Moreover, the impact of the excavation on a known underground stream running along the property line has not been determined.

I therefore support the requests for a Discretionary review of this permit, including the following proposed remedies: (1) to lessen the impediment of light, the upper structure to be moved back to the east, and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator to be re-positioned to avoid it becoming a disturbance and (3) a full review to be undertaken as to the stability and environmental impacts of the underground excavations.

Sincerely yours,

Nancy B. Ozsogomonyan, Homeowner, 1150 Lombard Street, # 37

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

From: [Annparas](#)
To: [LaValley, Pilar \(CPC\)](#)
Cc: cwu.planning@gmail.com
Subject: permit
Date: Tuesday, March 11, 2014 4:12:00 AM

San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

March 11, 2014

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

Dear Ms. LaValley:

Re: [Permit 2013.07.12.1765](#)

I am a homeowner at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

I understand that the proposed addition of a third floor and the closing in of the second floor north deck could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to date, they have not been supplied.

In addition, the extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor under the existing house, consisting of a garage and store space, could potentially affect all of the Lombardia homeowners. I understand that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impact of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages are unknown. Moreover, the impact of the excavation on a known underground stream running along the property line has not been determined.

I therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Yours truly,

Name Ann Paras

Address 1150 Lombard Street, SF, CA. 94109

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

March 11, 2014

To: San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

From: Denton L. Peoples
1150 Lombard St., Apt. 2 San Francisco, CA 94109
President of the 1150 Lombard Street Homeowner's Association

Dear Ms. LaValley:

Re: Permit 2013.07.12.1765

As authorized by the Board and as a homeowner at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

It is my understanding that the proposed addition of a third floor and the closing in of the deck on the second floor could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to-date, they have not been supplied.

In addition, the extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor, consisting of a garage and storage spaces, under the existing house could potentially affect all of the Lombardia homeowners. It is our understanding that engineering, soil and geotechnical studies have not been conducted to-date. Thus, the impacts of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages, are unknown. Moreover, the impact of the excavation on a known underground stream running along the property lines has not been determined.

We therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Yours truly, *D.L. Peoples, President 1150 Lombard St. H.O.A.*

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

LaValley, Pilar (CPC)

From: Sherret, Alistair <Alistair.Sherret@LeighFisher.Com>
Sent: Friday, May 02, 2014 5:41 PM
To: LaValley, Pilar (CPC)
Cc: Blanz, Garritt (garrittblanz@gmail.com)
Subject: 1112 Lombard

Ms. LaValley:

I received the Notice of Building Permit Application for the proposed project at 1122 Lombard in which you informed me that the notice period is extended to May 8, 2014. I am going to be out of the country for the next two weeks, so will not be able to submit a Discretionary Review application by that date.

I am not familiar with the Discretionary Review process, but if it is possible, please accept this message as (1) an expression of my concern that the proposed project will block light to my apartment and other apartments at 1100 Lombard and (2) a request that any approval of the project be conditioned on appropriate mitigation actions to minimize the blockage of light by reducing the size of the proposed roof addition and keeping trees on the 1112 property trimmed.

Thank you for your consideration.

Alistair Sherret

1.650.579.7722
alistair.sherret@leighfisher.com

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March 14, 2014

Pilar LaValley
San Francisco Planning Department
1650 Mission Street, Suite 40
San Francisco, CA 94103-9425

Dear Ms. LaValley:

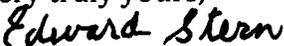
Re: Permit 2013.07.12.1765

I am one of the homeowners at the 1150 Lombard Street condominium complex (the "Lombardia"), which is located next door to 1112 Lombard Street. My unit is on the east side of the complex, the side closest to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners. Those concerns, which essentially fall into two groupings, are set forth below.

1. It is my understanding that the proposed addition of a third floor and the closing in of the second floor north deck could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. It is also my understanding that the homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but that, to date, the studies have not been provided.
2. The extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor under the existing house, consisting of a garage and storage space, could potentially affect all of the Lombardia homeowners. I understand that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impact of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages is unknown. Moreover, the impact of the excavation on a known underground stream running along the property line has not been determined.

I therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Very truly yours,


Edward Stern
1150 Lombard Street #41
San Francisco, CA 94109

cc: Cindy Wu, Commission President

From: [Keyvan Tabari](#)
To: [LaValley, Pilar \(CPC\)](#)
Cc: cwu.planning@gmail.com
Subject: Re: Permit 2013.07.12.1765 for 1112 Lombard Street
Date: Wednesday, March 12, 2014 4:50:55 PM

To: San Francisco Planning Department
1650 Mission Street, suite 400
San Francisco, CA 94103-9425

Attention: Pilar LaValley [email: pilar.lavalley@sfgov.org]

From: Keyvan Tabari

Dear Ms. LaValley:

Re: [Permit 2013.07.12.1765](#)

I am a homeowner and a member of the Board of Directors (of the HOA) at the 1150 Lombard Street condominium complex (the "Lombardia"), which is next to 1112 Lombard Street. I am writing this letter to notify the Planning Department of my concerns about the proposed renovations and excavation described in the above permit for 1112 Lombard Street, and to support the requests for Discretionary Review submitted by other 1150 Lombard Street homeowners.

It is my understanding that the proposed addition of a third floor and the closing in of the deck on the second floor could significantly decrease the light into some of the adjacent Lombardia homes and their gardens. Homeowners who met with the architects asked for shadow line studies to evaluate the impact on light and air, but to date, they have not been supplied.

In addition, the extensive underground excavation to create driveways to the house from the current garages on Lombard Street and to build a new floor, consisting of a garage and storage spaces, under the existing house could potentially affect all of the Lombardia homeowners. It is our understanding that engineering, soil and geotechnical studies have not been conducted to date. Thus, the impacts of the excavation methodology and land disturbance on the stability of our complex, such as foundation walls, structures and underground garages, are unknown. Moreover, the impact of the excavation on a known underground stream running along the property lines has not been determined.

We therefore support the requests for a Discretionary review of this permit, including their proposed remedies that: (1) to lessen the impediment of light, the upper

structure be moved back to the east and the second floor deck be retained (or the additional floor be erected on the eastern, lower part of the 1112 residence), (2) the elevator be re-positioned to avoid it becoming a disturbance and (3) a full review be undertaken as to the stability and environmental impacts of the underground excavations.

Sincerely yours,

cc: Cindy Wu, Commission President (cwu.planning@gmail.com)

Bernie J. Pistillo, Jr.
1060 Francisco Street
San Francisco, CA

M. Pilar LaValley, LEED AP
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103
Telephone: 415-575-9084
Fax: 415-558-6409
Email: pilar.lavalley@sfgov.org

Permit: 2013.07.12.1765 - 1112 Lombard Street

Dear Ms. La Valley,

As a homeowner in Russian Hill, I take a keen interest in any proposed development projects in our neighborhood. As I am sure you are aware, there are many projects currently underway and not all of them might be considered improvements to the neighborhood.

In my opinion, however, there can be no question that the proposed work that would be done on 1112 Lombard Street would be a significant improvement to the subject property, which is an important structure in our neighborhood, and will be noticed and appreciated by the scores of visitors who pass by the frontage of the property on a regular basis. The improvements proposed by the Hinckleys will greatly restore and enhance the beauty of a property that has fallen into a sad state through years of neglect by the previous owners.

On the question of the proposed rooftop expansion, it is plainly evident from the shadow study poles that have been placed atop 1112 Lombard that the proposed addition will not interfere to any noticeable degree with the light or views of any neighbors. The buildings on either side of 1112 Lombard dwarf it in height and scale; it is ludicrous even to entertain objections from neighbors on this basis, especially given that the Hinckleys' plans are in full compliance with all Planning Code rules. Furthermore, there are substantial setbacks between 1112 Lombard and the neighboring buildings, much more than is typical in Russian Hill and many other historic San Francisco neighborhoods.

I respectfully suggest that the City Planning Department should move swiftly to approve the proposed renovation and development project at 1112 Lombard Street. A proposal that will increase the beauty and attractiveness of an important historic property – and neighborhood – should not be delayed or denied because of the groundless concerns (or dare I suggest – more suspect motivations) of a few neighboring property owners. Our city government ensures that owners and purchasers who abide by established rules and regulations can expect to obtain the approval of projects that are within the law and comply with applicable City rules, as the Hinckleys have done.

Thank you for listening to my concerns and I hope that the Planning Department grants its swift approval to the redevelopment project for 1112 Lombard, as I am looking forward to the enhanced beauty it will bring to our neighborhood.

Sincerely,


Bernie J. Pistillo, Jr.

LaValley, Pilar (CPC)

From: Susie Boeing <sfo94115@gmail.com>
Sent: Thursday, May 22, 2014 9:52 AM
To: LaValley, Pilar (CPC)
Subject: The Hinkley's on Russian Hill

Susan Boeing

1275 Greenwich St Apt 202

San Francisco, CA 94109

M. Pilar LaValley, LEED AP

Planning Department, City and County of San Francisco

1650 Mission Street, Suite 400

San Francisco, CA 94103

Telephone: 415-575-9084

Fax: 415-558-6409

Email: pilar.lavalley@sfgov.org

CC: Cindy Wu, President Planning Commission

cwu.planning@gmail.com

RE:1112 Lombard Street

Permit: 2013.07.12.1765

Dear Ms. La Valley,

As a Russian Hill resident I have an interest in the development projects being proposed in my neighborhood. I understand that Robert and Tina Hinckley have applied for a permit to renovate and improve the property they own at 1112 Lombard Street and that a small group of neighbors have objected to their plans. I am writing in support of the Hinckleys and their permit application.

Given the condition that this property has been in, including the substantial deferred maintenance of the house and the condition of the garden, I believe the plans proposed by the Hinckleys will not only improve the property, but will be a substantial benefit to all of us on Russian Hill.

(Possible Points to Include)

I believe a property owner should be able to improve their property if they comply with the rules established in the Planning Code. The Hinckleys have done that.

I understand this project adds only about 600 square feet to the top of the Hinckley's home, and that it is within the height limits for the neighborhood and smaller in height and bulk than those on either side of them.

Property owners on Russian Hill know that we live in an urban environment where buildings are close together. Many Russian Hill residents have three feet or less of separation between windows in their homes and their neighbors'. There is already a substantial setback between the Hinckley's home and the Lombardia next door, so the Hinckley's minimal vertical addition will have very little impact, especially in the context of Russian Hill.

I am aware that the Hinckleys had a shadow study done to understand the impact of their proposed plans on their neighbors. That study shows an increase in shadows of less than 2% per year. It is a very modest project in the context of the neighboring buildings.

The Hinckley proposal works within the established planning code and will enhance the entire neighborhood. I urge your approval of this thoughtful and well-designed project.

Very truly yours,

Susan Boeing

May 24, 2014

Mrs, Gail Glasser
Harvey Glasser MD
1020 Vallejo Street
San Francisco, CA

M. Pilar LaValley, LEED AP
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103
Telephone: 415-575-9084
Fax: 415-558-6409
Email: pilar.lavalley@sfgov.org

CC: Cindy Wu, President Planning Commission
cwu.planning@gmail.com

RE:1112 Lombard Street
Permit: 2013.07.12.1765

Dear Ms. La Valley,

As a Russian Hill homeowner I have an interest in the development projects being proposed in my neighborhood. I understand that Robert and Tina Hinckley have applied for a permit to renovate and improve the property they own at 1112 Lombard Street and that a small group of neighbors have objected to their plans. I am writing in support of the Hinckleys and their permit application.

Given the condition that this property has been in, including the substantial deferred maintenance of the house and the condition of the garden, I believe the plans proposed by the Hinckleys will not only improve the property, but will be a substantial benefit to all of us on Russian Hill. One would think the neighbors would embrace these improvements and welcome a family whose only intent is to create and maintain a permanent home for themselves. The skill and integrity with which the Hinkley's are approaching this project, should reassure the neighbors of their care and understanding of the property.

I firmly believe when a property owner complies with the rules established by the Planning committee, knows and appreciates the property and the neighborhood and the historic significance of Russian Hill, they should not be prevented from improving their property. The Hinkley's have most certainly done this...

I understand this project adds only about 600 square feet to the top of the Hinckley's home, and that it is within the height limits for the neighborhood and smaller in height and bulk than those on either side of them. This is an urban environment with multi-use units in close proximity. With so many areas of SF that are in need of upgrades, I find it very disheartening when people own a property which they personally wish to modify to suite their family needs, and they are met with conflict and disapproval. If the conflicted neighbors have met with the Hinkley's, they must know the integrity and honesty with which they are approaching this project. The house has been neglected long enough. It is time the Hinkley's are allowed to start their vision for a beautiful, comfortable and happy family home.

The Hinckley proposal works within the established planning code and will enhance the entire neighborhood. I urge your approval of this thoughtful and well-designed project.

Very truly yours,

A handwritten signature in cursive script that reads "Gail Glasser". The signature is written in dark ink and has a long, sweeping horizontal line extending to the right.

Gail Glasser

MARY O'CONNOR HAUSER
Seven Russian Hill
San Francisco, CA 94133

M. Pilar LaValley, LEED AP
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103
Email: pilar.lavalley@sfgov.org

CC: Cindy Wu, President Planning Commission
Cwu.planning@gmail.com

RE: 1112 Lombard Street
Permit: 2013.07.12.1765

Dear Ms. LaValley,

I have lived on Russian Hill for 18 years, have been a member of the Neighborhood Association, and have a great interest in the development projects being proposed in my neighborhood. I understand that Robert and Tina Hinckley have applied for a permit to renovate and improve the property they own at 1112 Lombard Street and that a small group of neighbors have objected to their plans. I am writing in support of the Hinckleys and their permit application.

As a frequent visitor to 1150 Lombard, I have watched the property at 1112 Lombard deteriorate due to deferred maintenance of house and garden. I believe that the renovations proposed by the Hinckleys will not only improve the property but be a substantial benefit to the whole area.

I understand that this project only adds about 600 feet to the top of the Hinckley's home and that this is within the height limits for the neighborhood and is less in height and bulk than those on either side of them. With a shadow increase of less than 2% per year, this seems to be a very modest project in the context of the neighboring buildings.

The Hinckley proposal works within the established planning code and will enhance the entire neighborhood. I urge you to approve this thoughtful and well-designed project.

Very truly yours,

Mary Hauser

Dr. Maggie and Less Chafen
2425 Hyde Street,
San Francisco, CA 94109

M. Pilar LaValley, LEED AP
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103
Telephone: 415-575-9084
Fax: 415-558-6409
Email: pilar.lavalley@sfgov.org

CC: Cindy Wu, President Planning Commission
cwu.planning@gmail.com

RE:1112 Lombard Street
Permit: 2013.07.12.1765

Dear Ms. La Valley,

As a Russian Hill homeowner I have an interest in the development projects being proposed in my neighborhood. I understand that Robert and Tina Hinckley have applied for a permit to renovate and improve the property they own at 1112 Lombard Street and that a small group of neighbors have objected to their plans. I am writing in support of the Hinckleys and their permit application.

Given the condition that this property has been in, including the substantial deferred maintenance of the house and the condition of the garden, I believe the plans proposed by the Hinckleys will not only improve the property, but will be a substantial benefit to all of us on Russian Hill.

Property owners on Russian Hill know that we live in an urban environment where buildings are close together. Many Russian Hill residents have three feet or less of separation between windows in their homes and their neighbors'. There is already a substantial setback between the Hinckley's home and the Lombardia next door, so the Hinckley's minimal vertical addition will have very little impact, especially in the context of Russian Hill.

I am aware that the Hinckleys had a shadow study done to understand the impact of their proposed plans on their neighbors. That study shows an increase in shadows of less than 2% per year. It is a very modest project in the context of the neighboring buildings.

The Hinckley proposal works within the established planning code and will enhance the entire neighborhood. I urge your approval of this thoughtful and well-designed project.

Very truly yours,
Dr. and Mrs. Less Chafen

CAROL ANN ROGERS

May 20, 2014

M. Pilar LaValley, LEED AP
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103
Telephone: 415-575-9084
Fax: 415-558-6409
Email: pilar.lavalley@sfgov.org

RE: 1112 Lombard Street
Permit: 2013.07.12.1765

Dear Ms. LaValley,

I am writing to support the project proposed by Tina and Robert Hinckley for 1112 Lombard Street. There are a number of reasons why I believe that this project deserves your approval and will enhance our unique neighborhood. These include:

- The project preserves a large open space at the front of the house and a very large rear yard, reinforcing the garden-like character of our neighborhood. Compared with neighboring properties, it is the smallest house on the largest lot.
- The project does not seek exceptions to the zoning and planning requirements and is sensitive to its context and surrounding buildings.
- The project does not add to the parking shortage on Russian Hill.
- The building is in need of extensive infrastructure and repair, all of which will be addressed by the project to the long-term benefit of the neighborhood.
- The Hinckleys have communicated their plans throughout the process and have worked with the planning department and neighbors to address concerns raised, including doing a shadow study and erecting view poles.

I have been actively involved in land use issues on Russian Hill since moving here in 1971. In the 1980s I chaired Russian Hill Neighbors' successful efforts to establish three National Register historic districts (Vallejo Crest, Paris Block and Macondray Lane) and one individual historic registry (Green Street Firehouse.) Through this work I have learned that properties last if they can remain sound and livable and have owners invested in their long-term preservation, both of which objectives are achieved by approval of the Hinckleys' project.

Thank you for your consideration. Do not hesitate to contact me directly if you have additional questions.

Sincerely,



Carol Ann Rogers

cc: Cindy Wu, President, Planning Commission

1019 VALLEJO STREET
SAN FRANCISCO, CA 94133
415-885-0802 • FAX: 415-776-8554
CAROLANNROGERS@PRODIGY.NET

May 20, 2014

M. Pilar LaValley, LEED AP
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103
Telephone: 415-575-9084
Fax: 415-558-6409
Email: pilar.lavalley@sfgov.org

RE: 1112 Lombard Street
Permit: 2013.07.12.1765

Dear Ms. LaValley,

I am a 43 year resident of Russian Hill. Six generations of my family have lived, and continue to live, in this special neighborhood. I write in support of the application to renovate and improve the property at 1112 Lombard Street, a single family residence owned by Tina and Robert Hinckley. During the four decades in which I have been involved in the preservation of Russian Hill's unique character, including serving as President of Russian Hill Neighbors in the 1980s, I have seen how fortunate our neighborhood has been to attract owners willing to rehabilitate properties that, if left much longer in their deteriorating conditions, would be lost.

The block on which 1112 Lombard is situated was the site of a controversial effort by outside developers in the 1970s to tear down existing buildings and replace them with high rises. The neighborhood campaign to prevent this resulted in important height restrictions for the northeastern quadrant of the City and an increased awareness of the value of preserving the fabric of San Francisco's unique neighborhoods like Russian Hill.

The Hinckley design is sensitive to its surrounding environment and in keeping with the size and character of surrounding buildings. The proposed improvements do not ask for exceptions to zoning or other planning requirements. The Hinckleys have worked with planning staff to accommodate various suggestions that have arisen, and have been open and transparent in their communications with neighbors. The work they propose will enhance an important streetscape that borders the Hyde Street cable car line and the city's famous "crooked street."

Should you have any questions about my support of this project, please do not hesitate to contact me.

Sincerely,



J. Nielsen Rogers
1019 Vallejo Street
San Francisco, CA 94133
415-885-0802

May 27, 2014

Cindy Wu, President
Planning Commission
C/o Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1112 Lombard Street

Dear Ms. Wu:

We are aware that the owners of 1112 Lombard Street have applied for a permit to build an addition to their house. We understand that one or more neighbors are objecting to this project.

We do NOT object to this proposed project and rather, we support it. This house is an important part of our neighborhood and has long been neglected. The new owners will be welcome good neighbors.

We understand that the project has gone through all the required hoops with the Planning Department, is within the height limits and is diminutive compared to the large buildings on either side.

As is often the case, people who object to a project are likely to be more vocal than those who are in favor or do not oppose. The loudest voices in the room are not the only ones who should be considered.

Yours truly,

Paul Sterner

Heather Sterner

π

Paul and Heather Sterner
2250 Hyde Street
San Francisco, CA 94109

✓ Cc: Pilar LaValley, Planning Dept.

Billie Kay & Thomas Horst
2164 Hyde Street, #201
San Francisco, CA 94109

May 24, 2014

M. Pilar LaValley, LEED AP
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103
Telephone: 415-575-9084
Fax: 415-558-6409
Email: pilar.lavalley@sfgov.org

CC: Cindy Wu, President Planning Commission
cwu.planning@gmail.com

RE:1112 Lombard Street
Permit: 2013.07.12.1765

Dear Ms. La Valley,

As Russian Hill homeowners we have an interest in the development projects being proposed in our neighborhood. We understand that Robert and Tina Hinckley have applied for a permit to renovate and improve the property they own at 1112 Lombard Street and that a small group of neighbors have objected to their plans. We are writing in support of the Hinckleys and their permit application.

We understand that this project adds only about 600 square feet to the top of the Hinckley's home, and that it is within the height limits for the neighborhood and smaller in height and bulk than those on either side of them. There is already a substantial setback between the Hinckley's home and the Lombardia next door, so the Hinckley's vertical addition will have very little impact, especially in the context of Russian Hill. We also understand that the Hinckleys had a shadow study done to understand the impact of their proposed plans on their neighbors. That study showed an increase in shadows of less than 2% per year. This is a very modest project in the context of the neighboring buildings.

More generally, we believe a property owner should be able to improve their property if they comply with both the letter and the spirit of the rules established in the Planning Code. Given the condition that this property has been in, including the substantial deferred maintenance of the house and the condition of the garden, we believe the plans proposed by the Hinckleys will not

only improve the property, but will be a substantial benefit to all of us on Russian Hill. We urge your approval of this thoughtful and well-designed project.

Sincerely,

Billie Kay Horst

Billie Kay Horst

Thomas Horst

Thomas Horst

220 Montgomery St
Suite 2100
San Francisco
California 94104
Ph: (415) 362-3599
Fx: (415) 362-2006
mosconelaw.com

June 5, 2014

Via Hand Delivery

Hon. Cindy Wu
President
Planning Commission
City and County of San Francisco
1650 Mission Street, Suite 400
San Francisco, California 94103

Re: 1112 Lombard Discretionary Review Response

Dear President Wu and Members of the Commission:

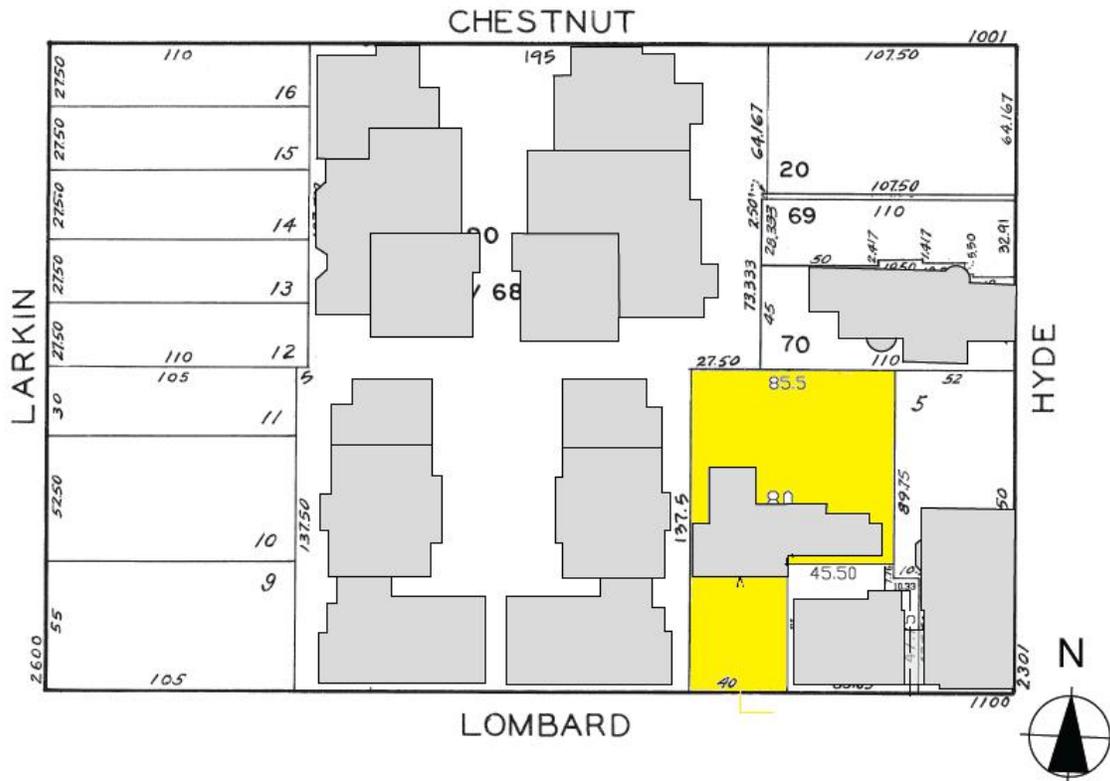
My clients, Robert and Tina Hinckley, have proposed modest additions to their house at 1112 Lombard Street between Hyde and Larkin Streets. Even though the Hinckleys' house is, and after renovations will remain, dwarfed by the height and bulk of neighboring buildings, their project has generated requests for discretionary review from owners of multi-million dollar condominiums next door. The requests have no merit and stem from one neighbor who has stated the all-too-familiar position of "I will fight *any* project next door to me." The project does not present any exceptional or extraordinary circumstances that would justify taking discretionary review.

The Project

1112 Lombard is a single family home located on Russian Hill, on the block just west of the "Crookedest Street." The house is old, outdated and "needs work."

To the east, 1112 Lombard's neighbor is a four-story, five-unit apartment building at 1100 Lombard, which has been undergoing major renovations for years. To the west, 1112 Lombard's neighbor is the Lombardia, a 42-unit luxury condominium complex that occupies four separate buildings. The buildings adjacent to 1112 Lombard are four stories (three stories over garage).

1112 Lombard's lot is unusual. As depicted on the following page, the lot (highlighted in yellow) is 40-feet wide at the Lombard Street frontage, but increases to 85'5" feet in width at the rear (north) of the property. In addition, the residence is set back substantially from Lombard Street, unlike the buildings to the east and west.



The Hinckleys propose to remodel the existing single-family house, by reconfiguring stairs, adding a new elevator, excavating a new basement level connecting the existing garages and extending under the existing house, adding a one-story vertical addition on the western wing of the house, and adding a small rear addition on the eastern wing of the house. The Hinckleys are hoping to create an attractive, ADA-accessible home, where they can spend the rest of their lives together.

The photographs on the following page show 1112 Lombard from the north and south sidewalks on Lombard Street. As you can see, the front part of the property consists of two garages and a substantial entry, with stairs and landscaping. To the passerby, this view of the property will remain virtually unchanged. In both of the photographs, storey poles are present, connected by yellow tape, depicting the vertical addition that is the primary subject of the DR applications. This 660-square-foot addition will add only 6' 10" of height to the house.

In the top photograph, one practically needs a magnifying glass to see the yellow tape – it is only visible through breaks in the existing parapet at the top right corner of the house. That is because the Hinckleys have set the addition back from the front of the house, both to maintain the existing look from the street, and to reduce impacts on neighbors. In the bottom photograph, you can see the poles and tape extending slightly higher than the existing façade.

View from north sidewalk

Storey poles barely visible



View from south sidewalk

Storey poles visible



The vertical addition is also depicted by the storey poles and yellow tape in the photograph on the following page. This photograph was taken from Alice Marble Park on the hillside across Lombard Street.



The addition will add about 660 square feet to the top of the building, creating an office and sun room. It is within the neighborhood's height limit, and it is consistent with the heights of neighboring buildings. And, as described below in more detail, it will not unreasonably impact any of the neighboring buildings.

Neighborhood Outreach and Cooperation

The DR requesters acknowledge that the Hinckleys' architect met with them, but contradict each other in terms of the Hinckleys' willingness to modify the project. Ms. Peletz (who has stated she would fight *any* change to 1112 Lombard) incorrectly states, "The architects have not made any offers of compromise." The application by the Whites and Ms. Katz correctly states that after initial neighbor meetings in July 2013 and in consultation with the Planning Department, the Hinckleys modified their project. Those modifications include moving the vertical addition to the north and centering it.

The Hinckleys' architects met with neighbors twice in July 2013, and again in February 2014. Moreover, the Hinckleys reached an agreement with the property owner at 1100 Lombard whereby the Hinckleys agreed not to oppose his substantial renovation project and he agreed not to oppose the Hinckleys' project.

In addition, the neighbors asked that the Hinckleys erect storey poles and produce a shadow study. The Hinckleys did both.

Impact on Light

The primary issue raised in the two DR applications involved impact on light to their residences. Those concerns are not warranted because the impact on light is minimal at best.

Below are drawings showing the existing relationship among 1112 Lombard and the adjacent buildings, and the proposed change to that relationship:



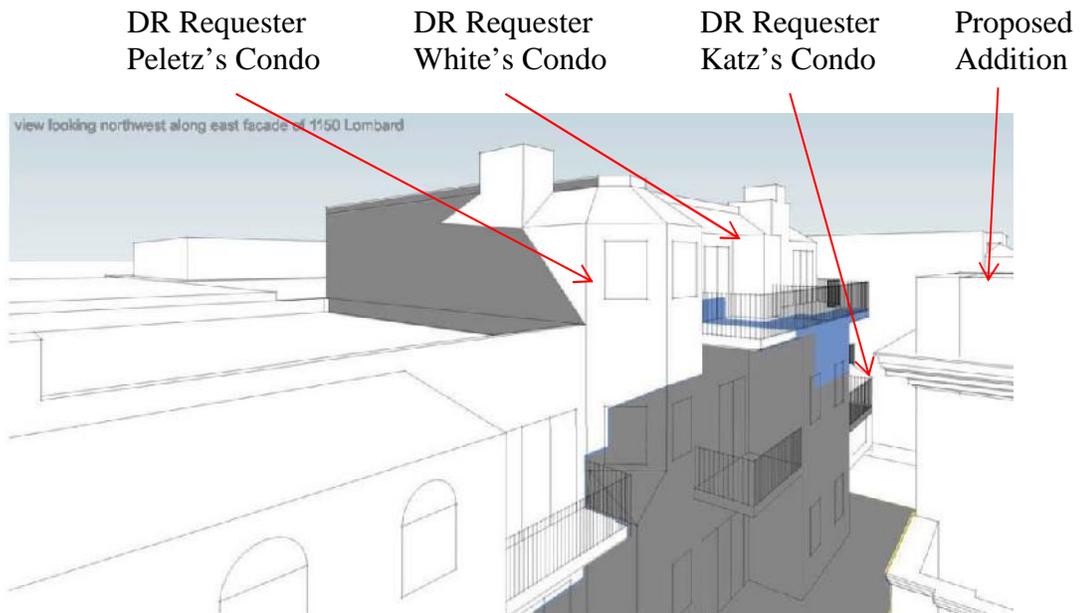


Given this separation and the modest increase of eight feet in height, the change in the relationship between 1112 and 1150 Lombard is quite minimal.

The Hinckleys' shadow study provided dramatic evidence of just how minimal the impact on light will be from the proposed addition. The professional study (attached as Exhibit A) concluded that the shadow on 1150 Lombard will increase **by only 1.6%**

annually. Moreover, that impact is spread out among the DR requesters' units: at some times of day one unit may have no impact while another unit may have some impact.

For example, in the slide from the shadow study below, one can see that added shadowing (shown in blue, while existing shadow is in gray) at 8:30 a.m. on June 21, impacts only small portions of a few windows on DR requester White. Moreover, it shows that the windows from which most of the DR requesters' photos are taken are *already* shadowed by 1112 Lombard.



Six months later, at 8:30 a.m. on December 21, there is no increase in shadow because shadow already envelopes 1150 Lombard:



The following slides depict shadow impact two hours later, at 10:30 a.m. on June 21 and December 21 (note that there is no shadow impact after noon at any time of the year):

10:30 a.m. on June 21



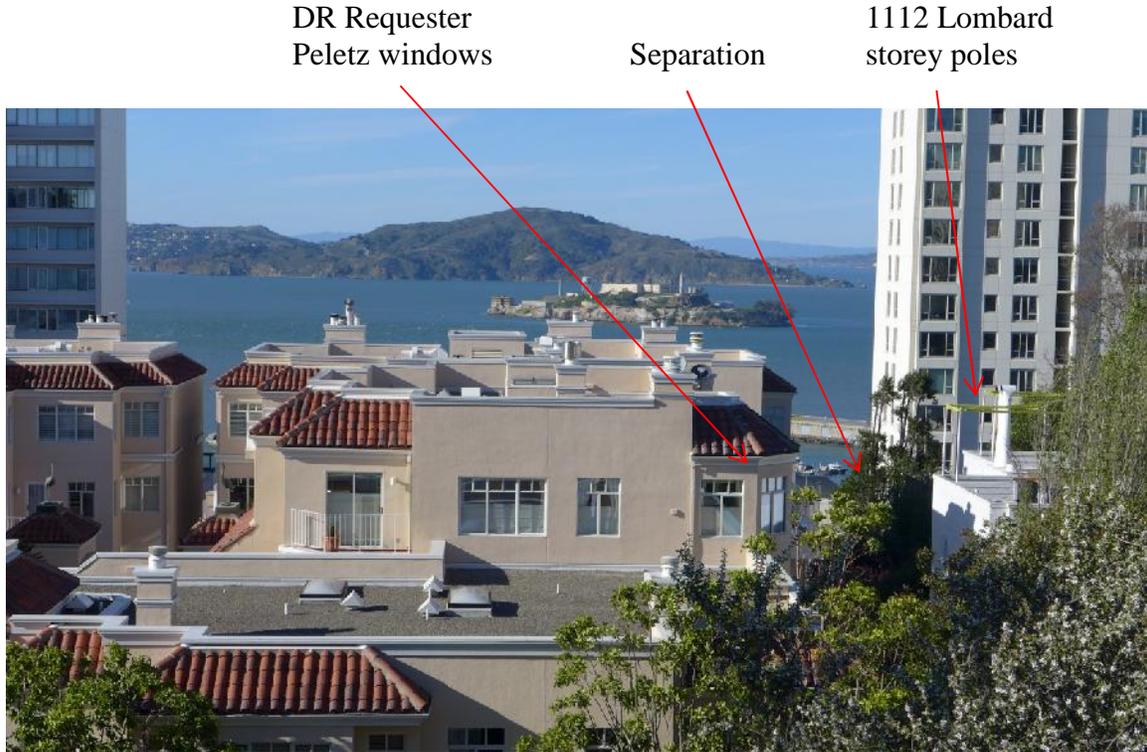
10:30 a.m. on December 21



Again, the new shadowing is minimal in June and it impacts different windows from the early morning impact. And in December, no new shadowing occurs.

The photograph on the following page also helps understand just how minimal the impact of the proposed addition is on 1150 Lombard. This main building in this photograph is

1150 Lombard. The proposed addition is shown by storey poles and yellow tape on 1112 Lombard on the right hand side of the photograph.



You can see the separation between the two buildings. You can also see the sources of light to the subject properties from skylights and other windows. In particular, you can see that DR requester Peletz, whose condominium is directly facing the viewer, has several unaffected bay windows providing light to the room directly across from the proposed addition.

Regarding light to the DR requesters' condominiums, it is also worth noting the several skylights in the units (visible in the photograph above) and the fact that the units are oriented to the west, not the east. As the photograph on the following page shows, the entrances to the units are on the west, where the condominiums have walls of windows that enjoy substantial afternoon light.



In sum, the impact on the DR requesters' condominiums ranges from slight to non-existent. Certainly the impact does not constitute an "exceptional or extraordinary circumstance" to justify taking discretionary review over the Hinckleys' project.

Excavation Concerns

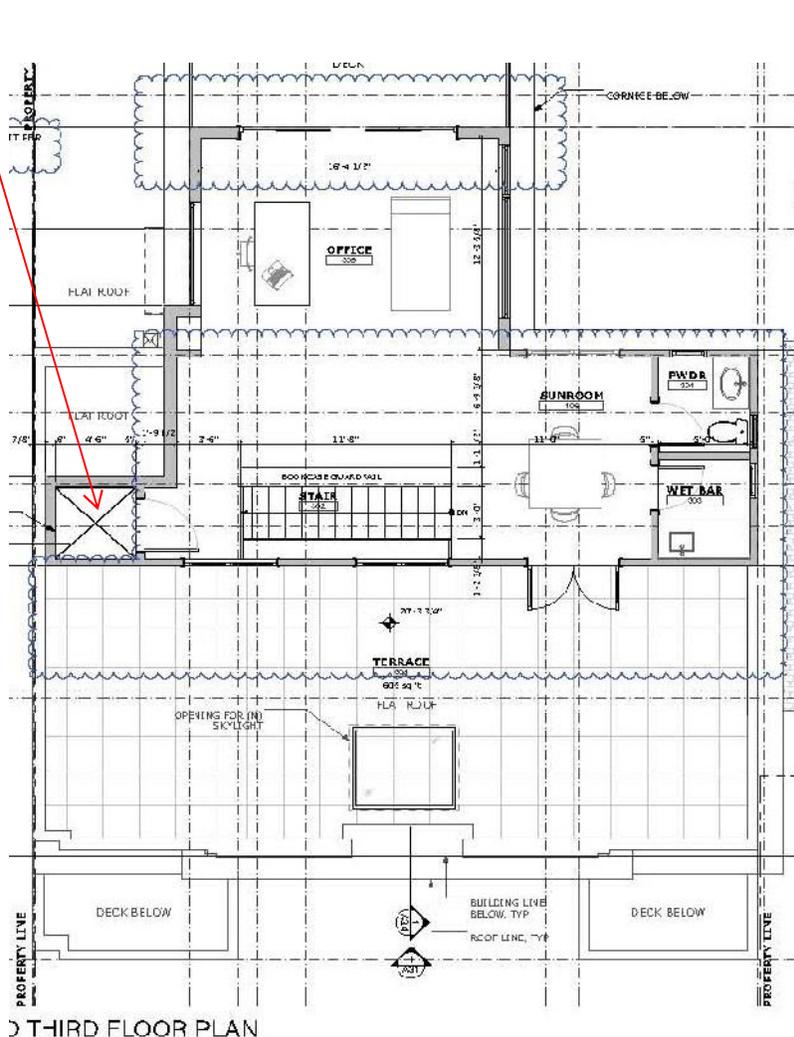
The DR requesters express a number of concerns about the impact of the excavation associated with the proposed project. As the Commission knows, those concerns are not relevant to the Discretionary Review process. Of course, the Hinckleys will use licensed engineers and contractors experienced with projects like these, and will work with the Building Department and the neighbors to insure that the excavation causes no damages to neighboring properties.

Letters Supporting DR Requesters

The DR requesters have submitted eight form letters, and one slight variation on the form letter, from other residents of the Lombardia complex. None of the letter writers is personally affected by the Hinckleys' proposed project. The letters all raise three issues. First, they express concern that the project "could significantly decrease the light into some of the adjacent Lombardia homes and their gardens." That concern is dispelled above.

Second, they complain that the Hinckleys have not provided neighbors with a shadow study. While preparing an expensive shadow study is not required, the Hinckleys did so, and provided it to neighbors on April 23, 2014.

Third, they ask that “the elevator be re-positioned to avoid it becoming a disturbance.”
The elevator is located in the only logical place on the small, third-floor addition:



Moving the elevator to another location would not work because of several constraints: the small 660-square-foot size of the third floor, the minimal circulation areas given the size and shape of the addition and the presence of a stairway, the 16’9” setback at the front of the building requested by the Planning Department, and the need to maintain the symmetry of the addition from the street, also as requested by the Planning Department.

Finally, while it is not clear what the form letters mean about a “disturbance,” if they are concerned about noise from elevator operation, any such noise would be minimal (if not non-existent) and extremely rare given that this is a single family residence. If they are concerned about construction noise associated with installing the elevator, that noise will not be significantly different regardless of where the elevator is located, and the Hinckleys will, of course, comply with City regulations governed noise and hours of construction.

Hon. Cindy Wu
June 5, 2014
Page 13

For all these reasons, the Hinckleys respectfully request that the Commission decline to take discretionary review over their project.

Sincerely,

/s/

G. Scott Emblidge

cc: M. Pilar LaValley, LEED AP

1112 Lombard Shadow Analysis Findings

April 21th, 2014

The proposed vertical addition at 1112 Lombard Street changes the exterior envelope of the existing building which results in the addition of new shadows being cast onto the portion of the eastern façade of 1150 Lombard Street immediately adjacent 1112 Lombard Street. New shadows are present during morning hours only throughout the year. As 1112 Lombard is to the east of 1150 Lombard, all shadows after midday fall *away* from 1150 Lombard due to the western position of the sun and therefore contribute no new shading.

The analysis conducted is based upon the established methodologies for shadow analysis as encoded under Section 295 of the San Francisco Planning Code, though it should be noted that the protections afforded parks under that section do not apply to new shading cast upon properties under private ownership. This study has been conducted voluntarily by the project sponsor.

PreVition Design developed and used a 3D computer model of the existing residence, proposed renovation, and 1150 Lombard Street as well as the surrounding properties to simulate the shading environment. The model calculated the existing total amount of shading the selected eastern façade of 1150 Lombard vs. what would be present upon completion of the project as proposed from one hour after sunrise to one hour before sunset.

The analysis found that the reviewed portion eastern facing façade of 1150 Lombard is currently shaded **69.8%** of the year, that total cumulative amount of shading will increase due to the project, and that the proposed addition would represent an increase of **1.6%*** over current levels of annual shading on this facade.

*This increase in shading is taken as a percentage of total theoretical available sunlight (TAAS) on the affected areas, and is the method of calculation used by the City of San Francisco to evaluate changes in total shading.

Shadow diagrams were also generated to graphically show the shadows cast by the existing built conditions as compared the conditions after the project. Diagrams were generated during the morning hours only (no new afternoon shading would occur) starting approximately one hour after sunrise until every half hour until 12 noon. Diagrams were generated every 4 weeks between the summer and winter solstices, with new shading indicated in blue as well as areas of new sunlight (where the existing solid parapet wall was replaced by an open rail, for instance) are indicated in yellow. The path of the sun between the summer and winter solstices (June 21 & December 21) is mirrored for the other half of the year, so where it applies the “mirror date” which would have similar shading conditions is indicated on the diagrams.

It should be noted that certain features that do result in shading were not considered as part of this report, such as trees/vegetation or wood fences which are considered by the city to be “impermanent” features and therefore are not typically included in shading analyses. While unquantified, the shadows cast by these features do contribute shade and may reduce the impact new shadows contributed by the proposed renovation.

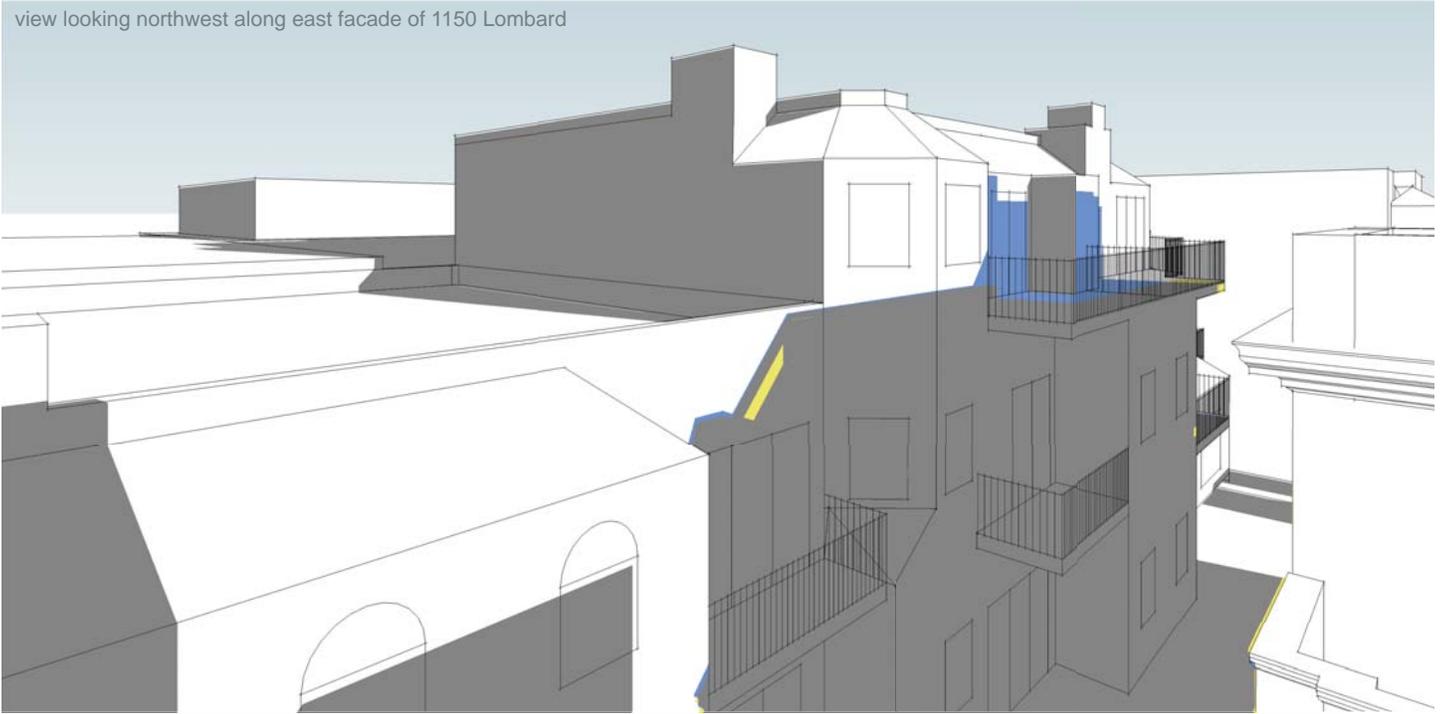
I hope this analysis helps clarify the impact of the proposed renovation with respect to shading, please don't hesitate to contact me with any questions or if clarifications are needed.



Adam Phillips, Principal
PreVition Design

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard

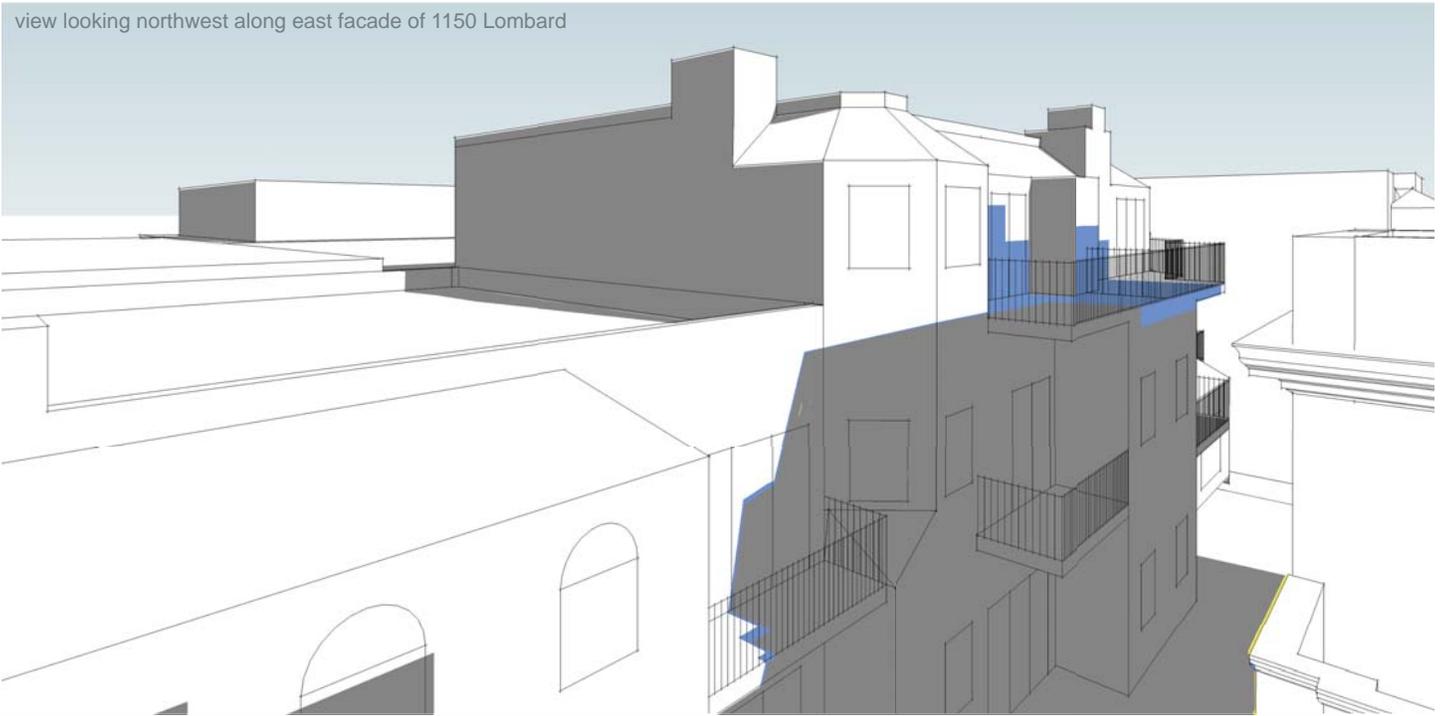


7:00 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

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view looking southwest along east facade of 1150 Lombard

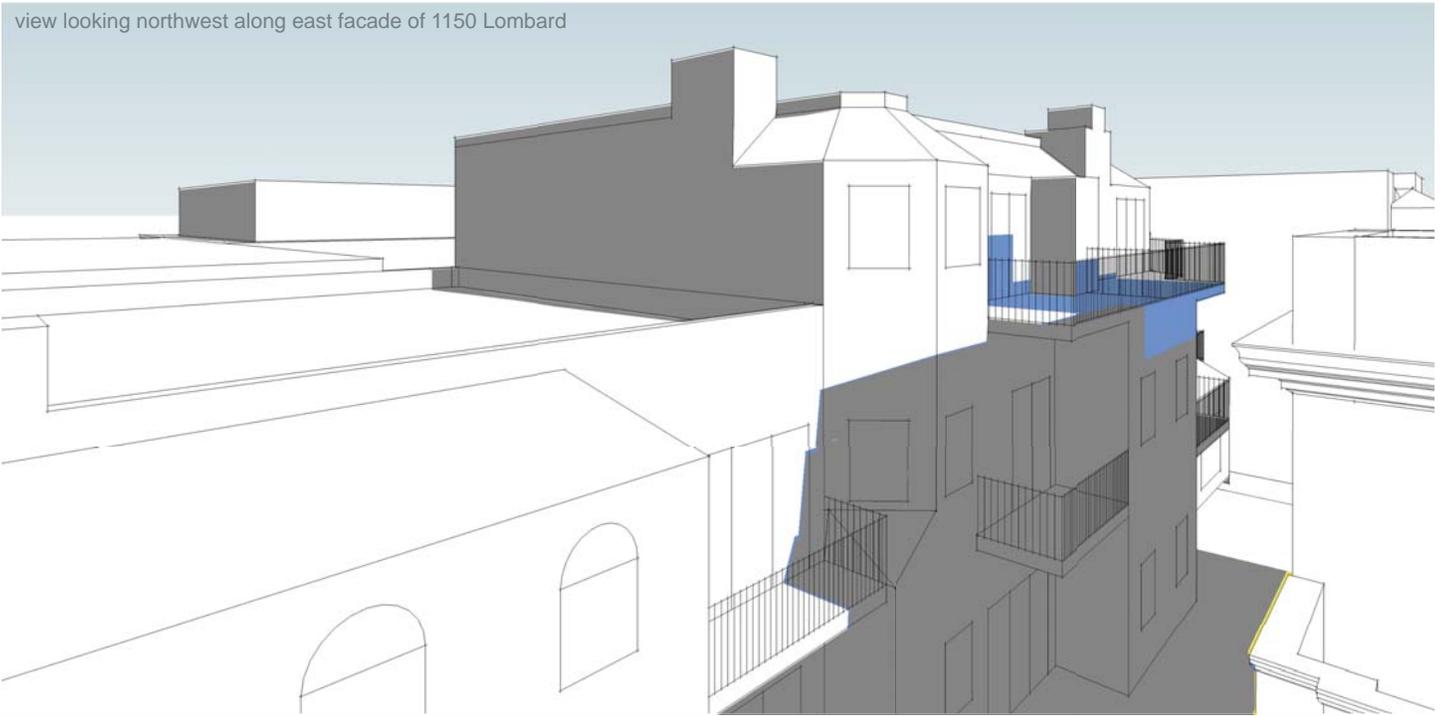


7:30 AM
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view looking southwest along east facade of 1150 Lombard

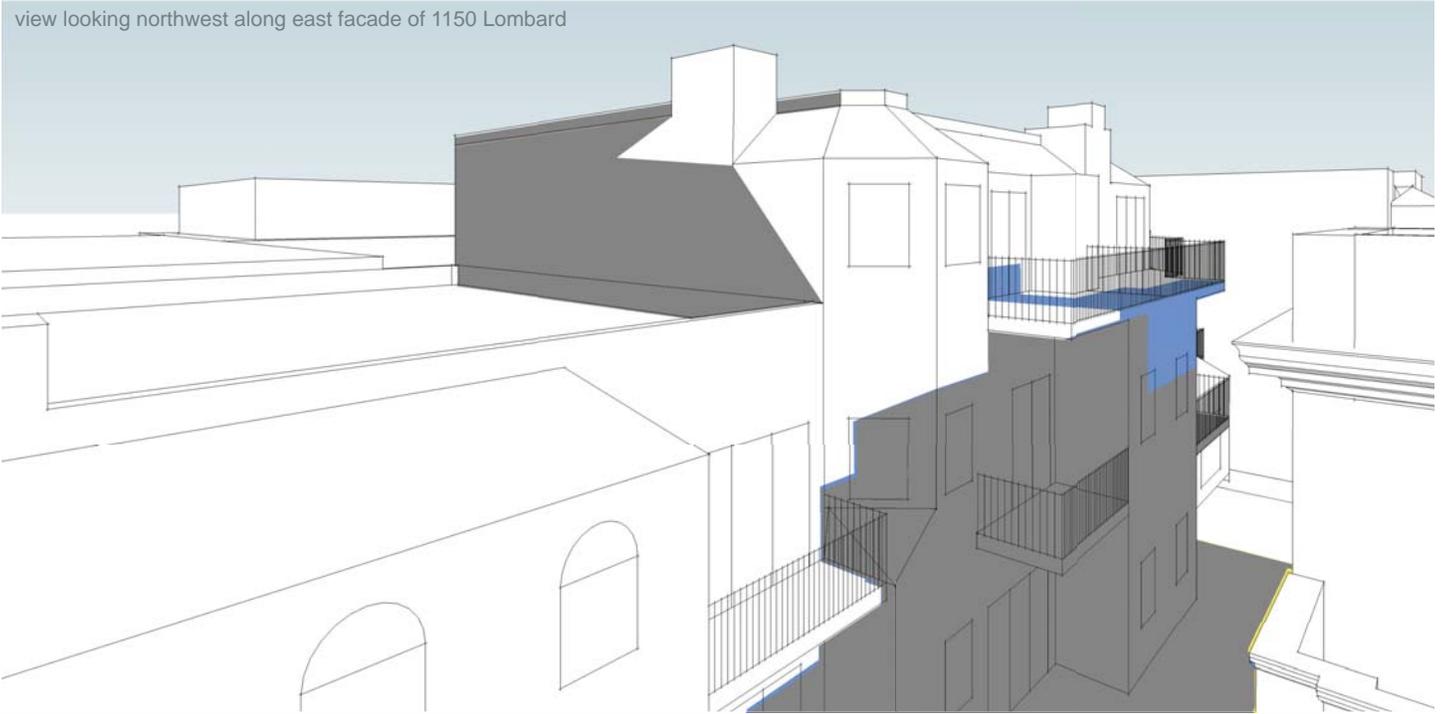


8:00 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



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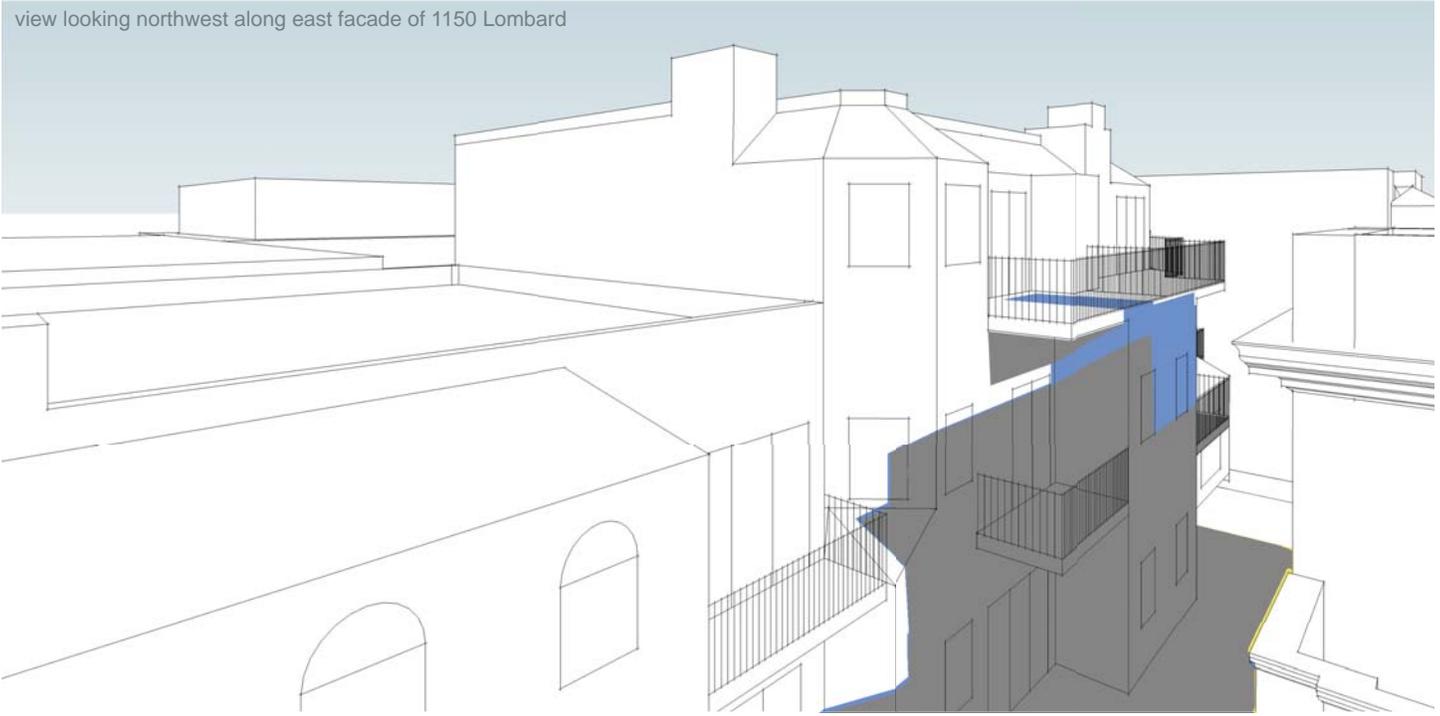


8:30 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
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-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



9:00 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard

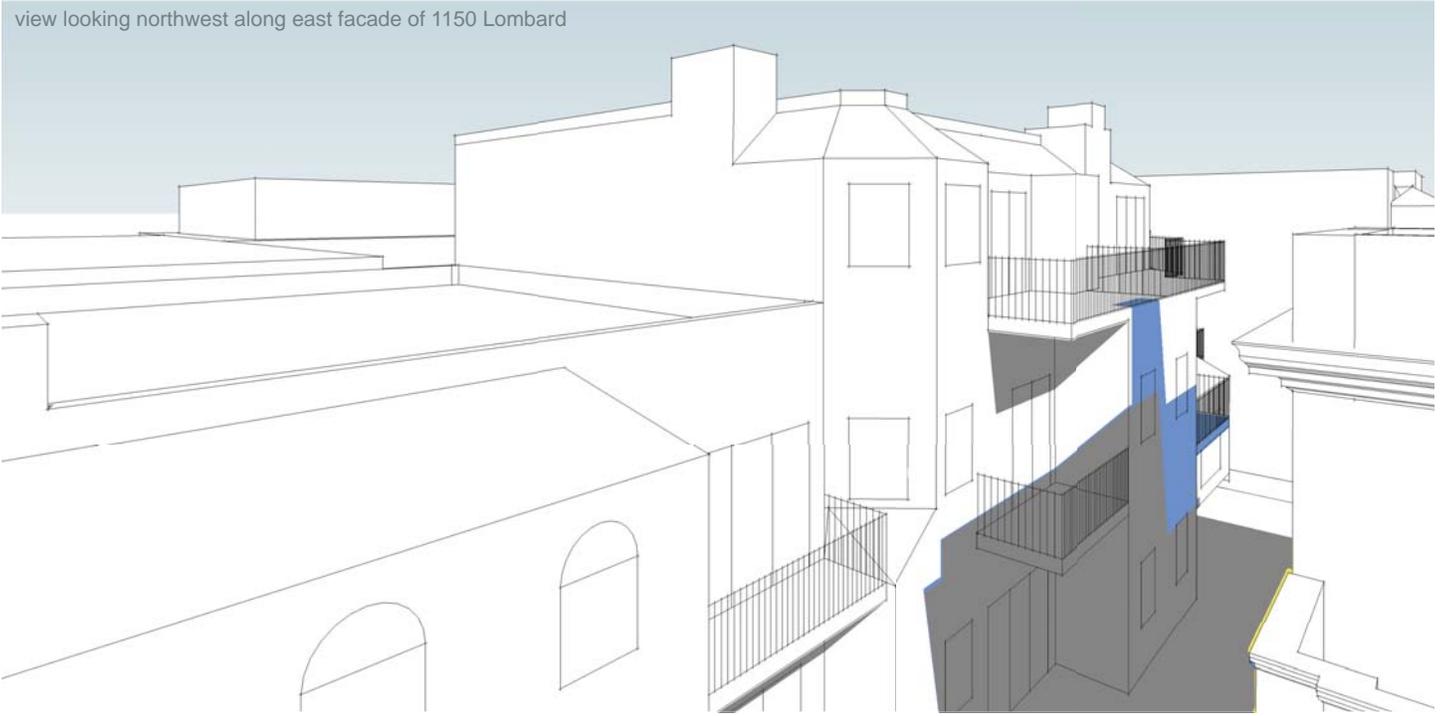


9:30 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

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view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



10:00 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



10:30 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



11:00 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



11:30 AM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
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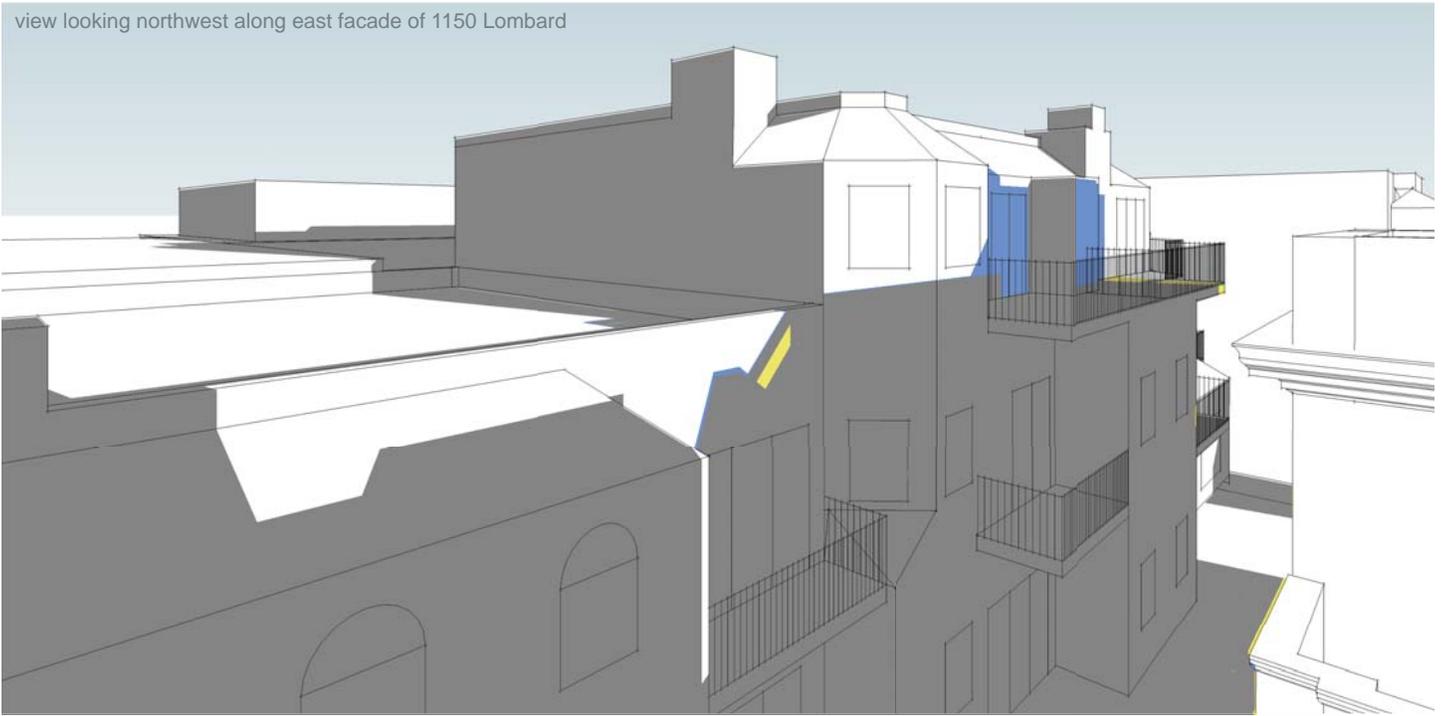


12:00 PM
JUNE 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



7:00 AM
JULY 19 (MAY 24 SIMILAR)

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

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view looking southwest along east facade of 1150 Lombard

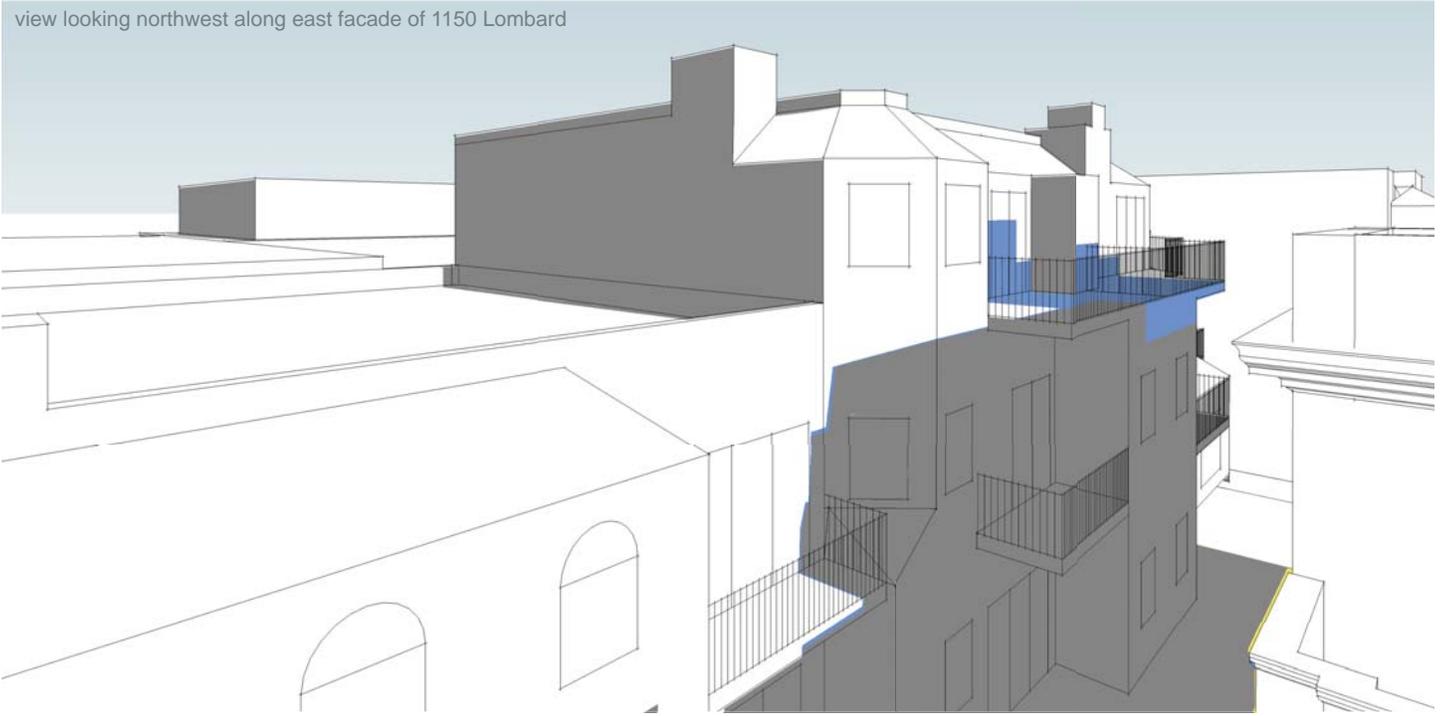


7:30 AM
JULY 19 (MAY 24 SIMILAR)

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

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view looking southwest along east facade of 1150 Lombard

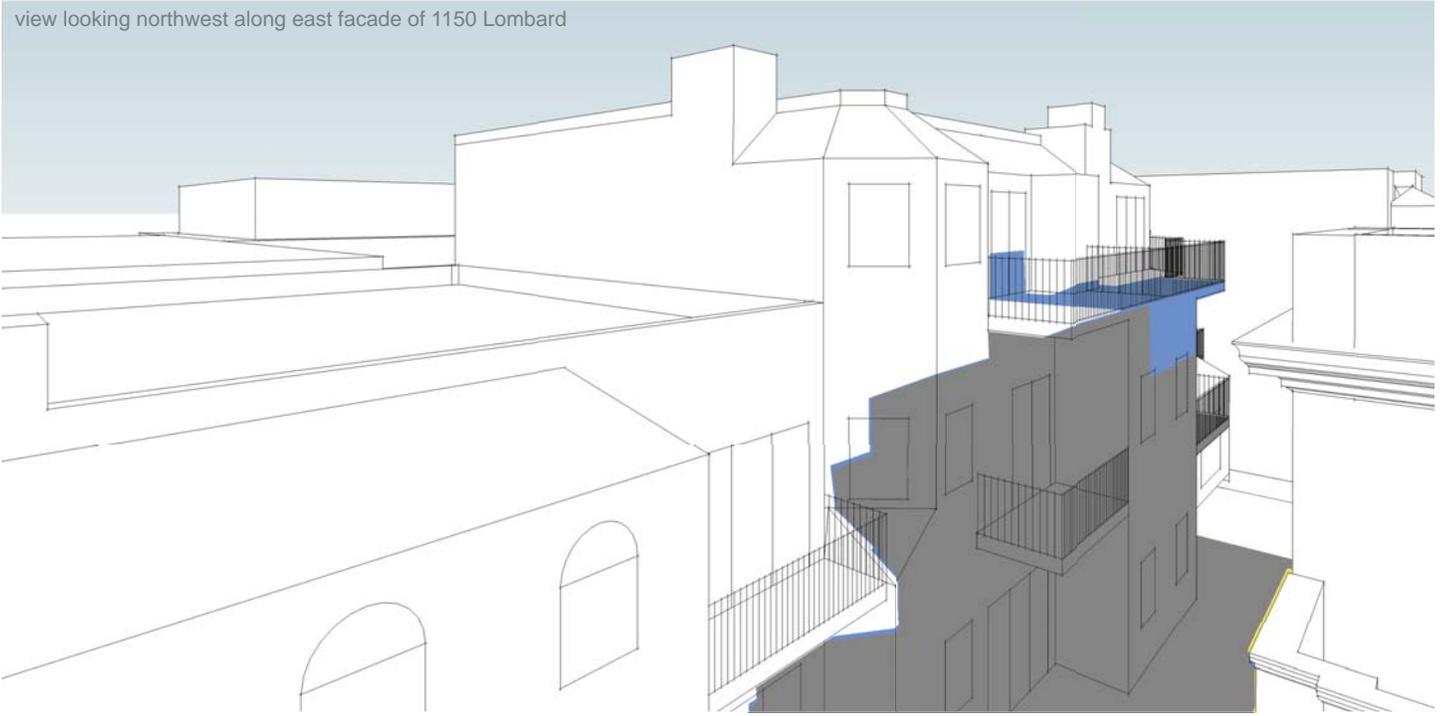


8:00 AM
JULY 19 (MAY 24 SIMILAR)

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard

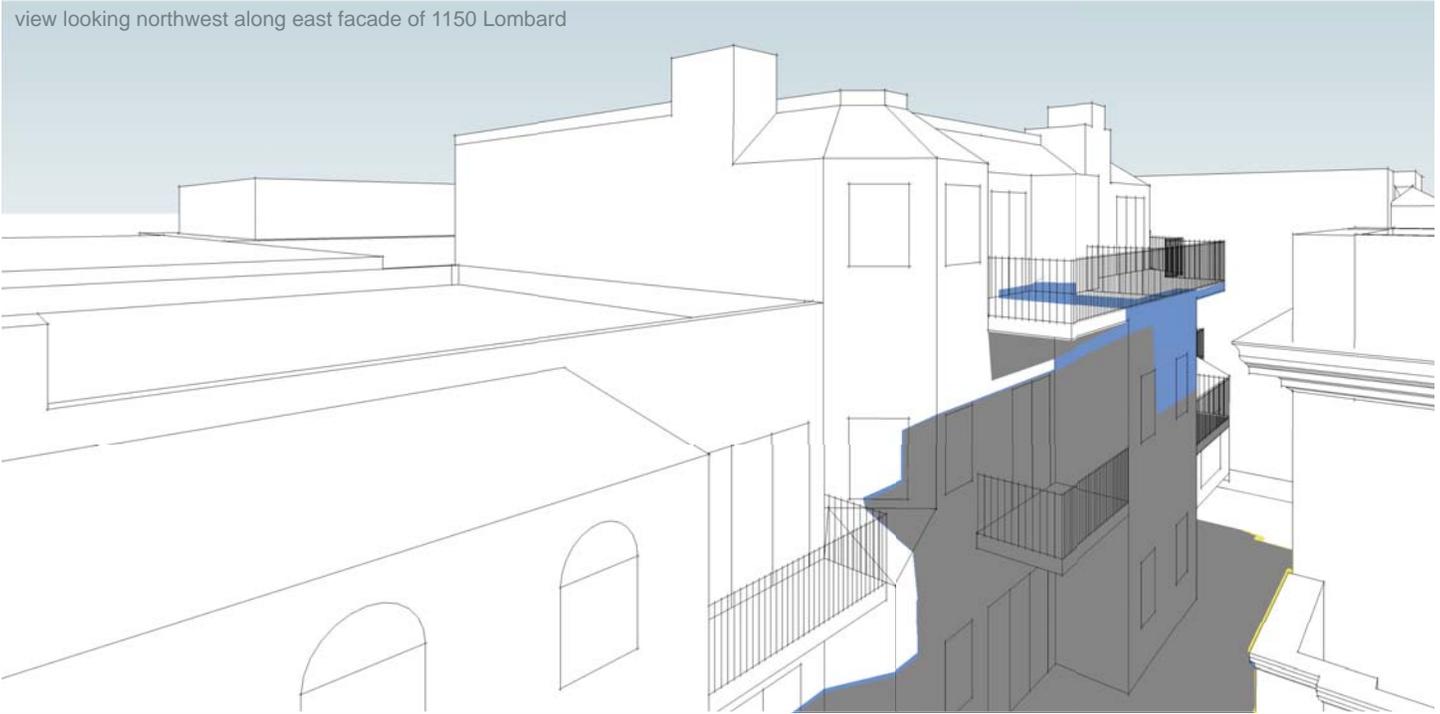


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view looking northwest along east facade of 1150 Lombard



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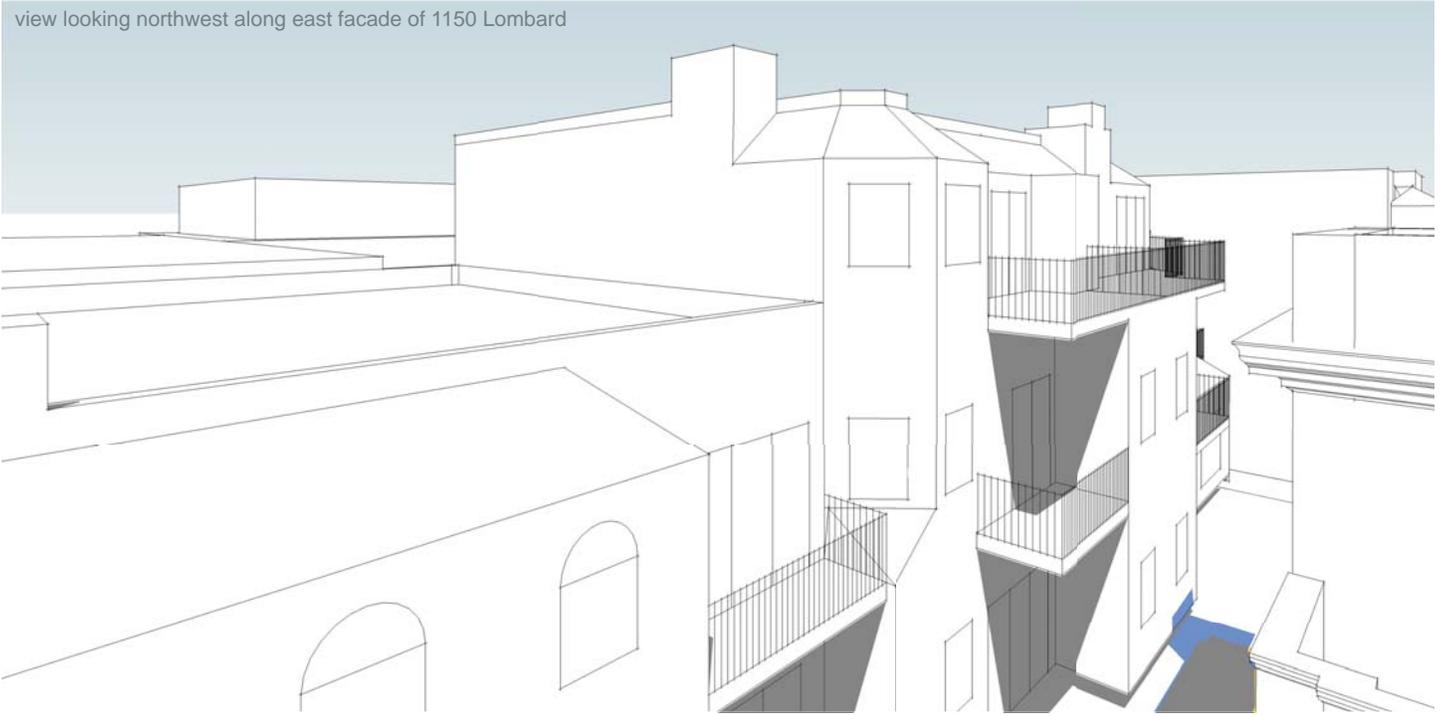


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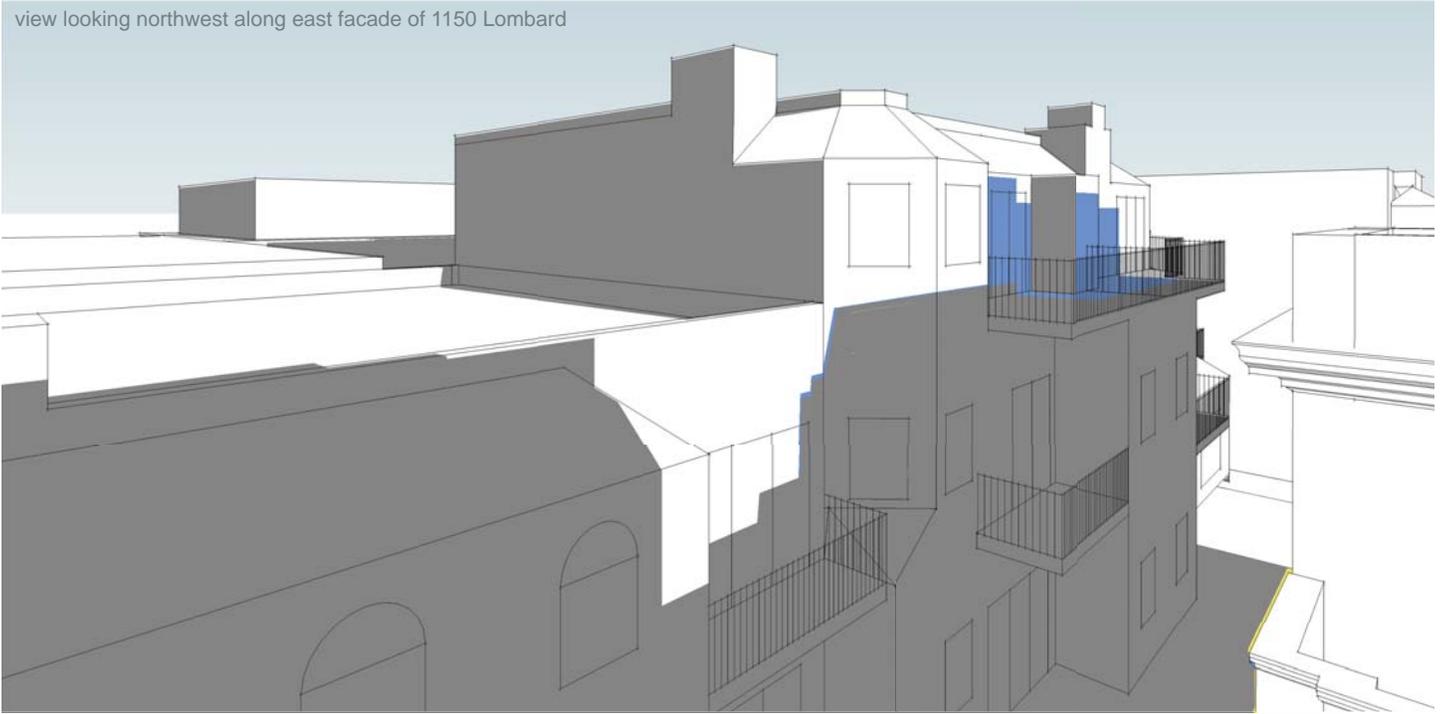


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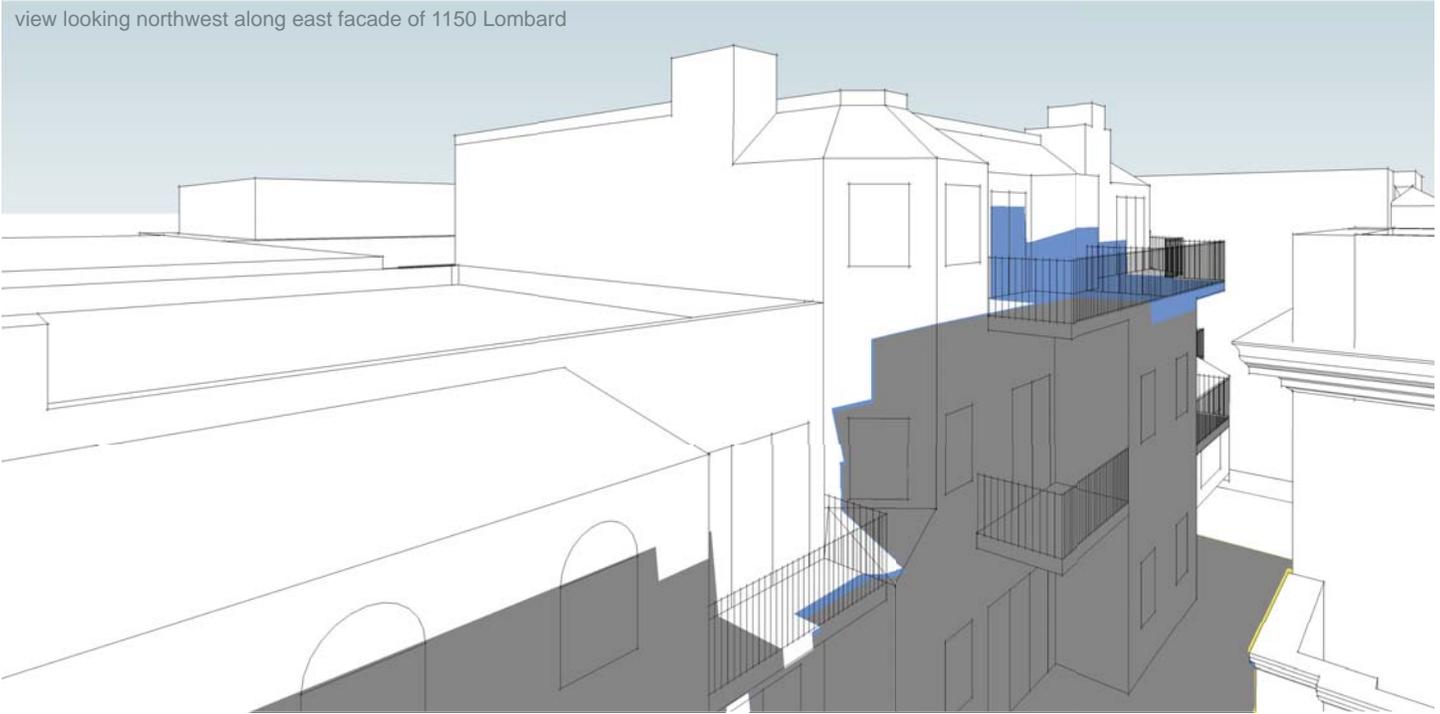


7:30 AM
AUGUST 9 (MAY 3 SIMILAR)

-  NEW SUNLIGHT DUE TO RENOVATION
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-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard

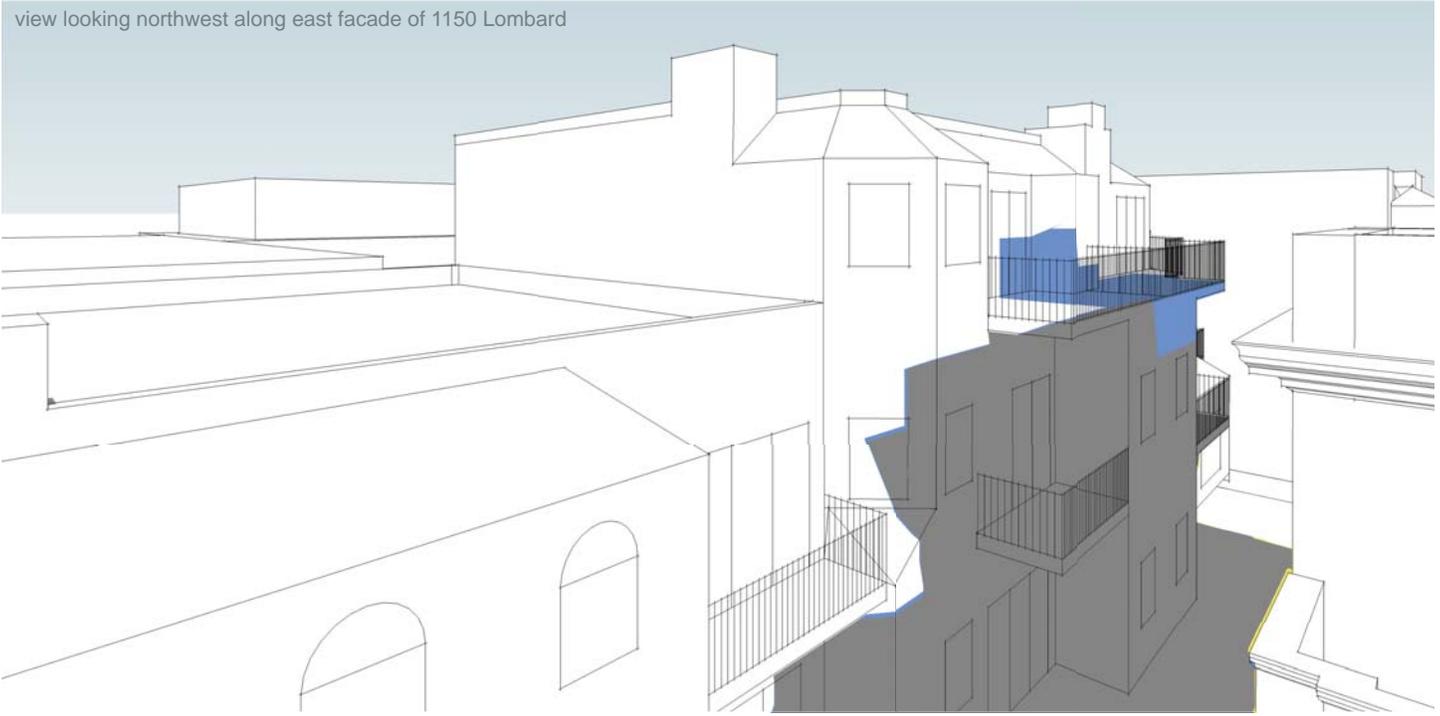


8:00 AM
AUGUST 9 (MAY 3 SIMILAR)

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CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

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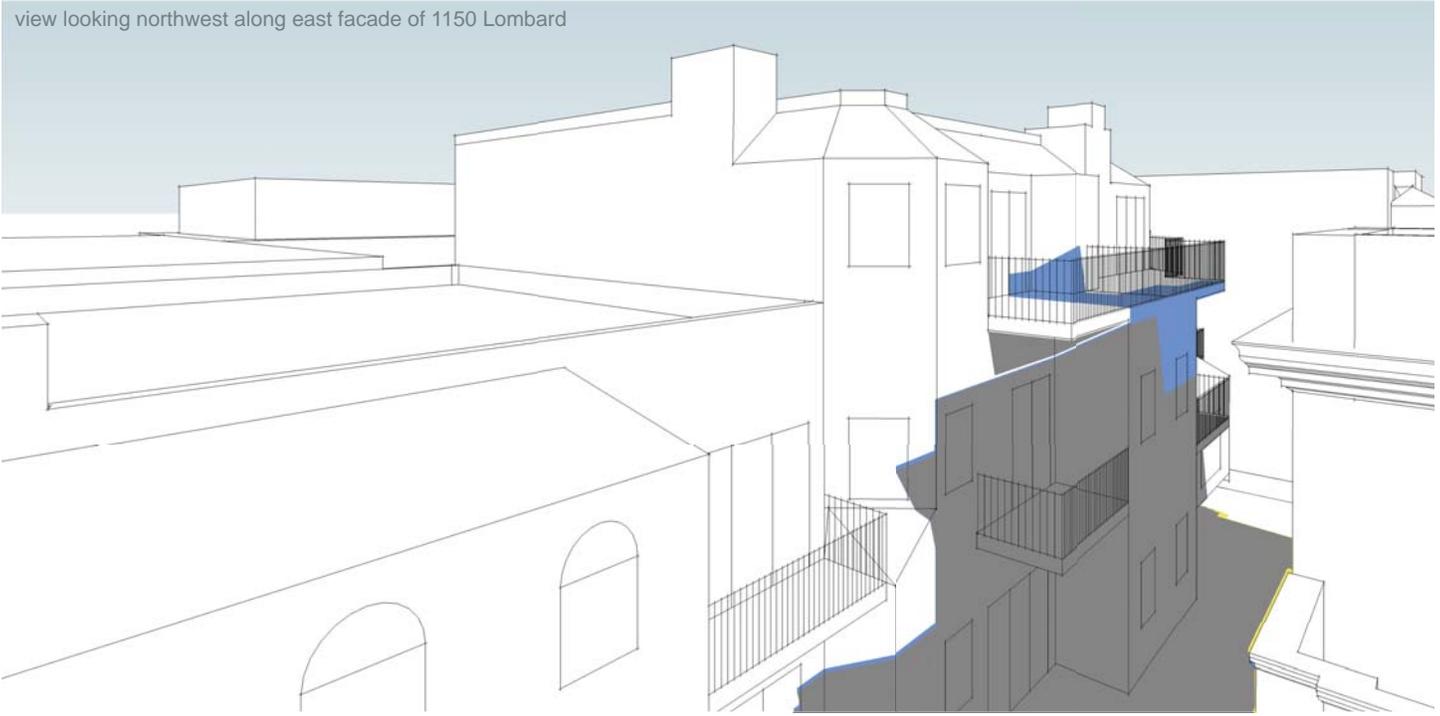


8:30 AM
AUGUST 9 (MAY 3 SIMILAR)

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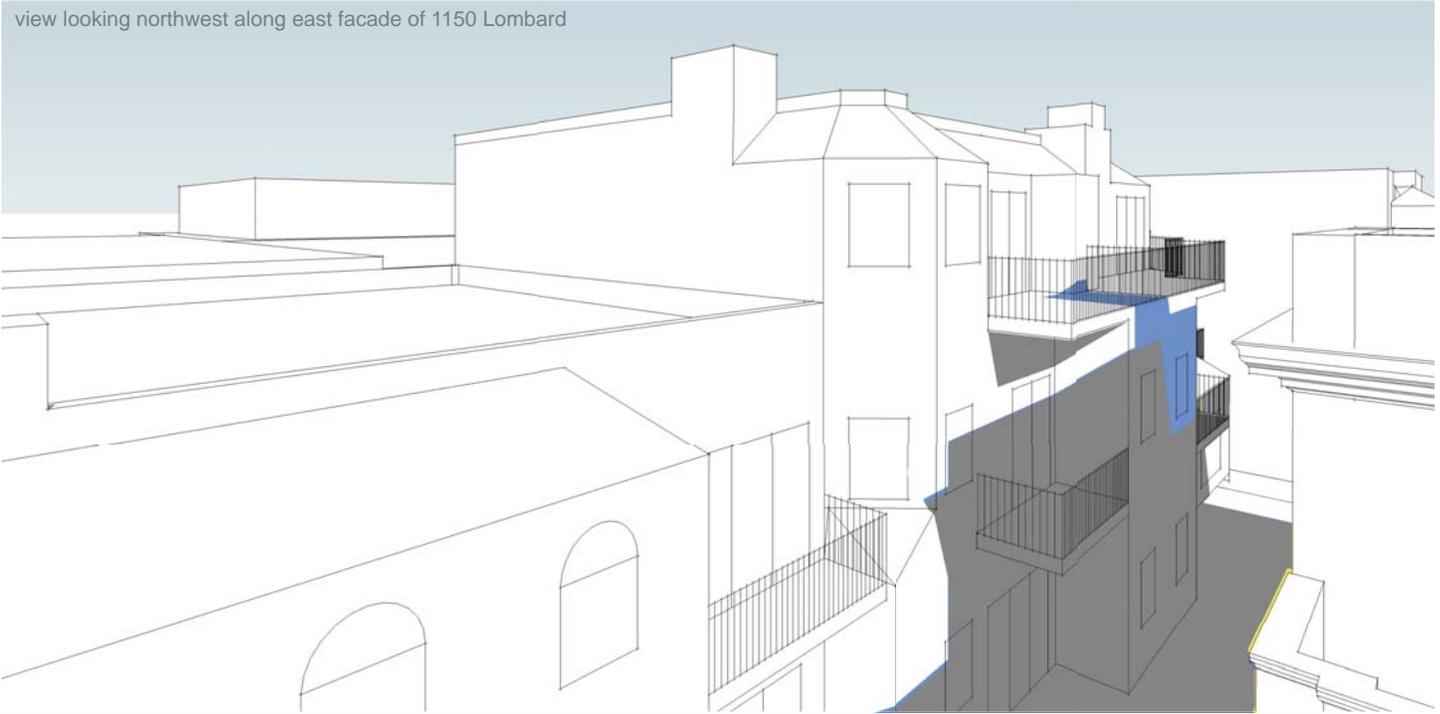


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8:00 AM
SEPTEMBER 6 (APRIL 5 SIMILAR)

-  NEW SUNLIGHT DUE TO RENOVATION
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CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

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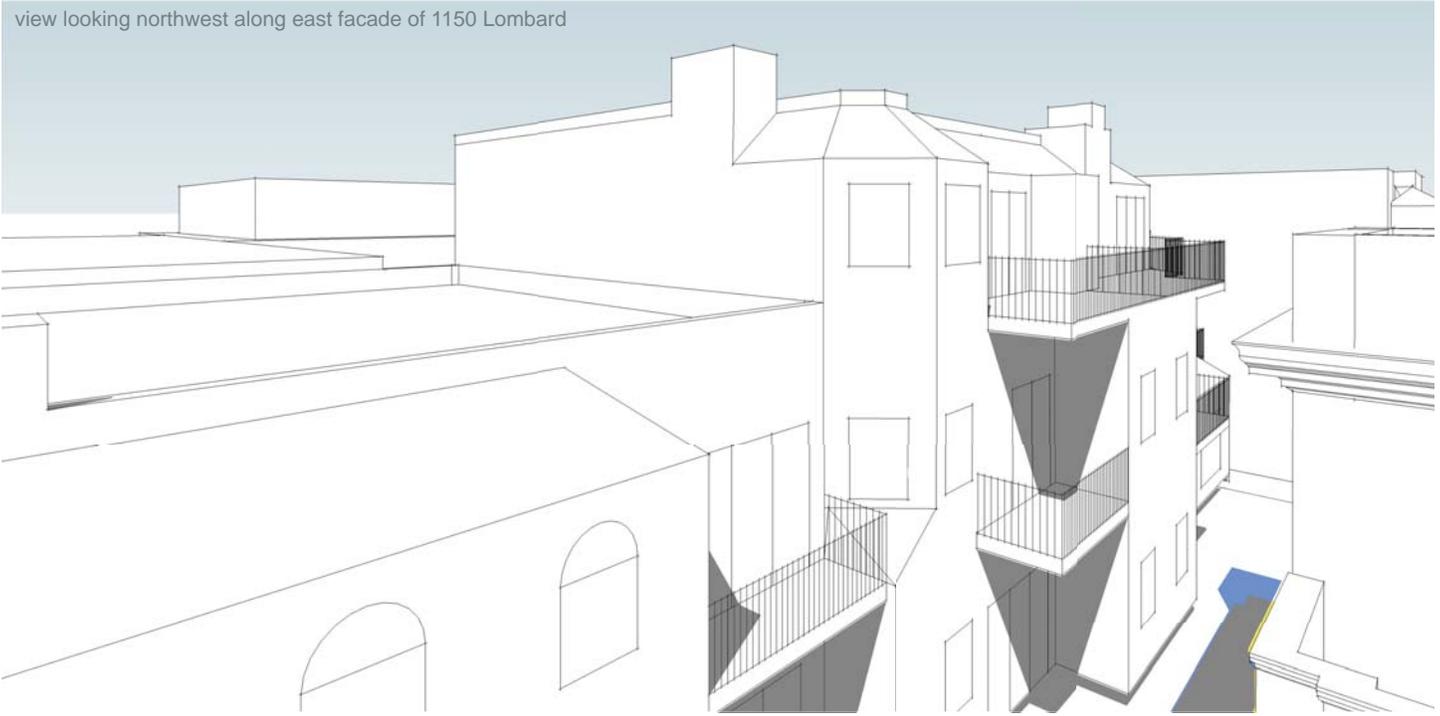


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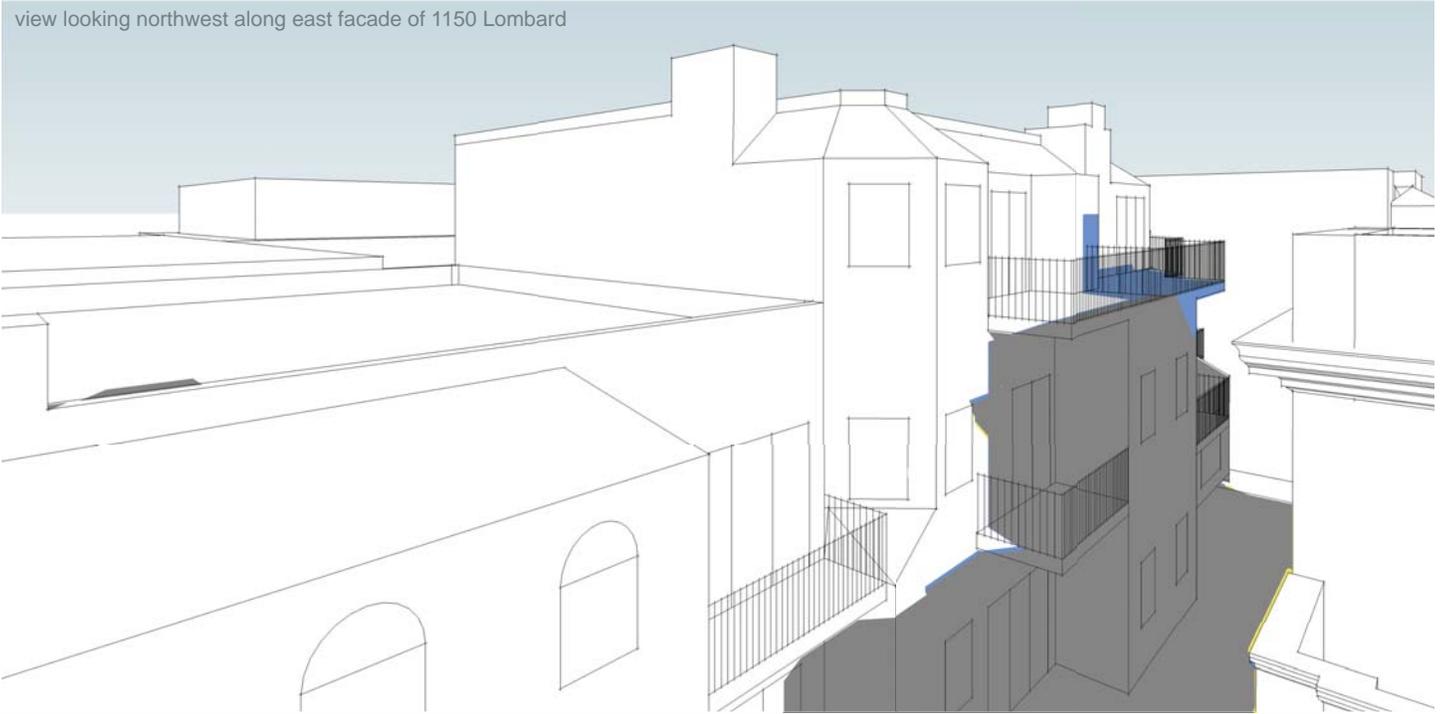


8:30 AM
OCTOBER 4 (MAR 8 SIMILAR)

-  NEW SUNLIGHT DUE TO RENOVATION
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CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

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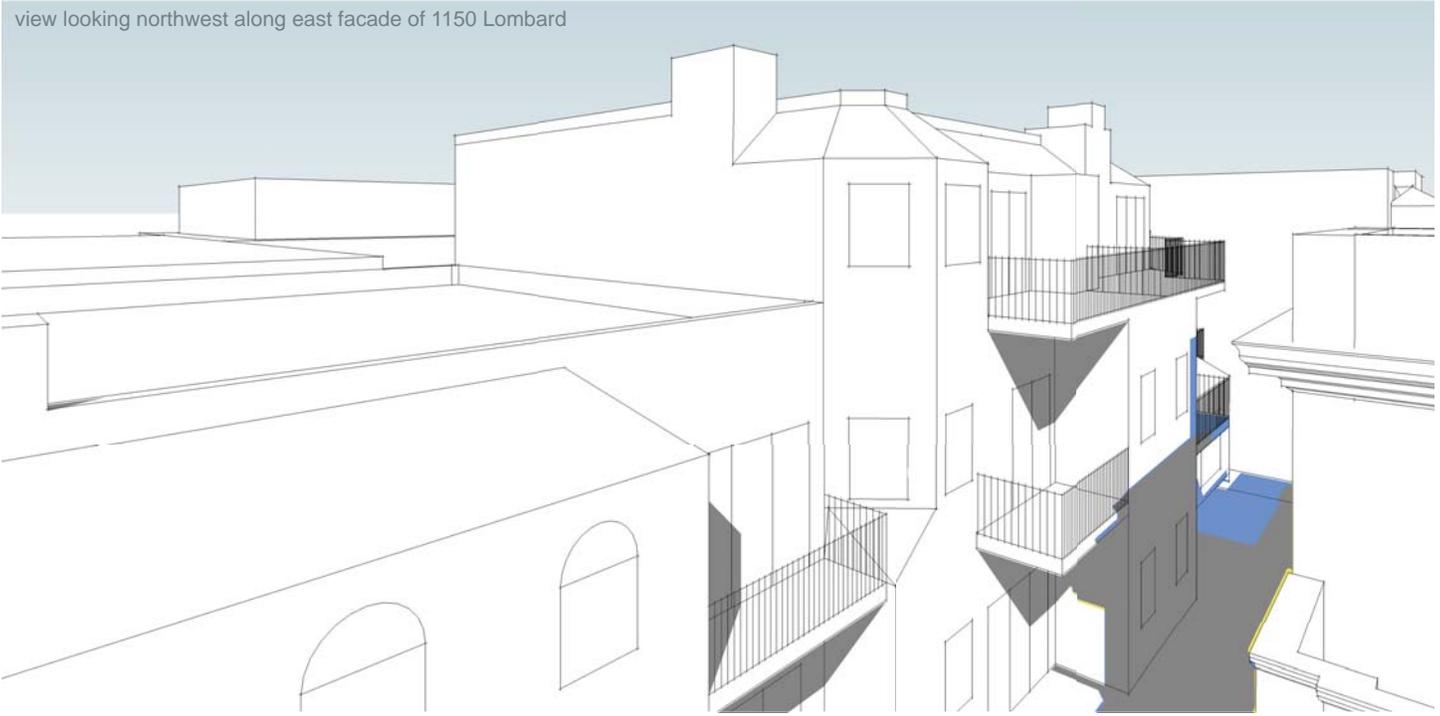


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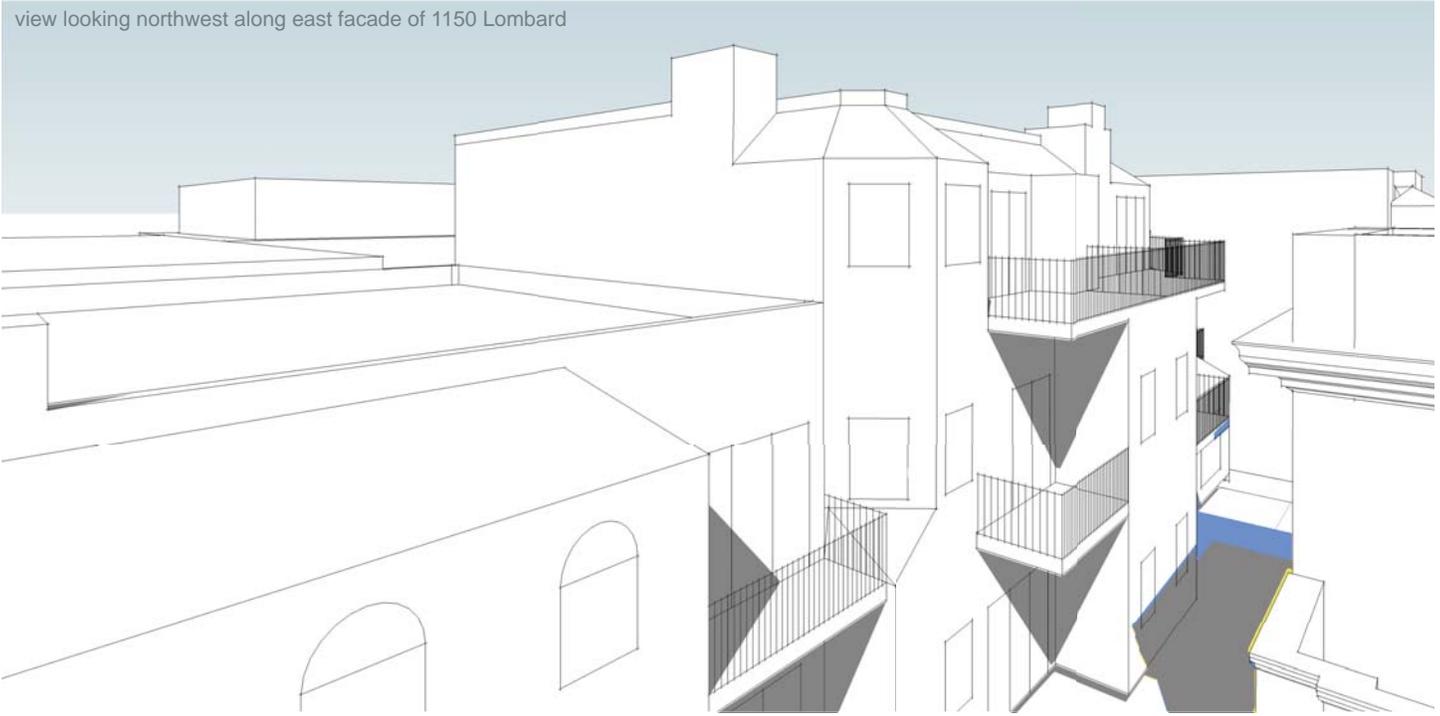


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NOVEMBER 1 (FEB 8 SIMILAR)

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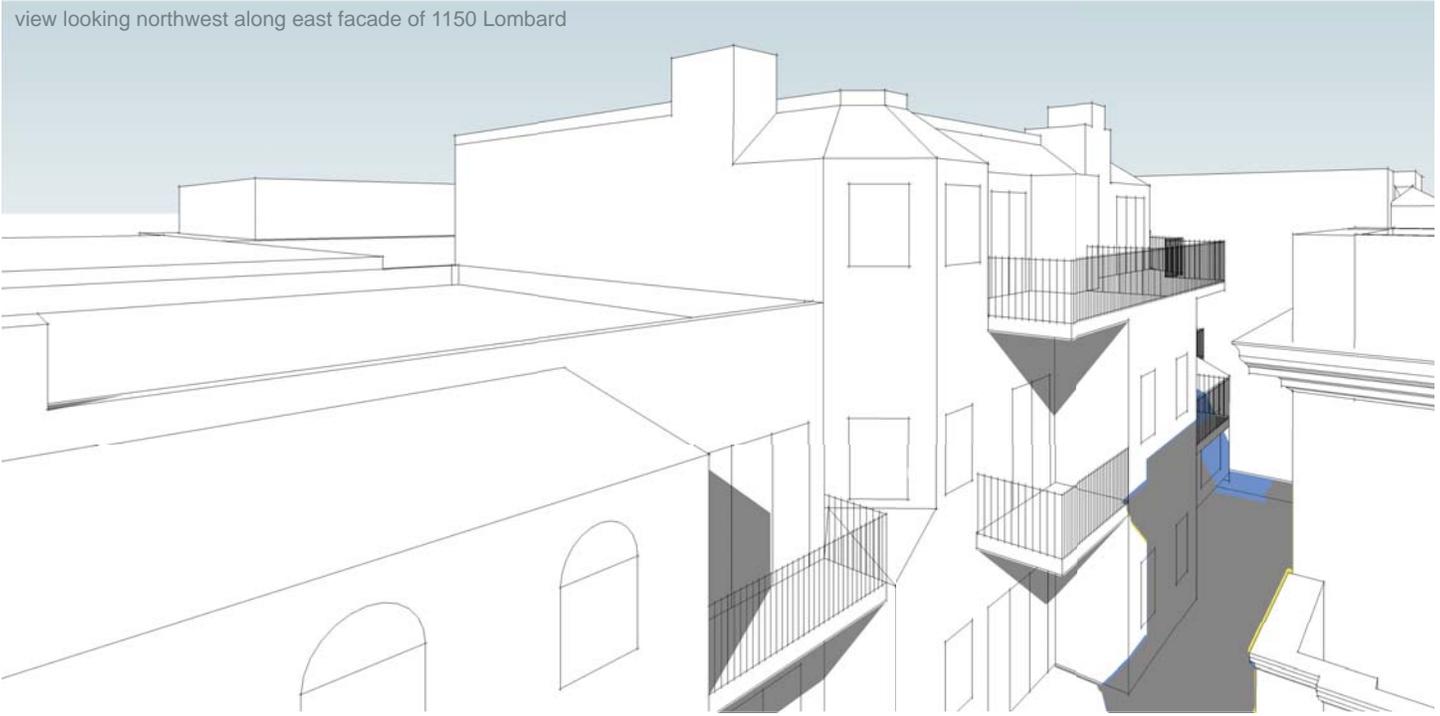


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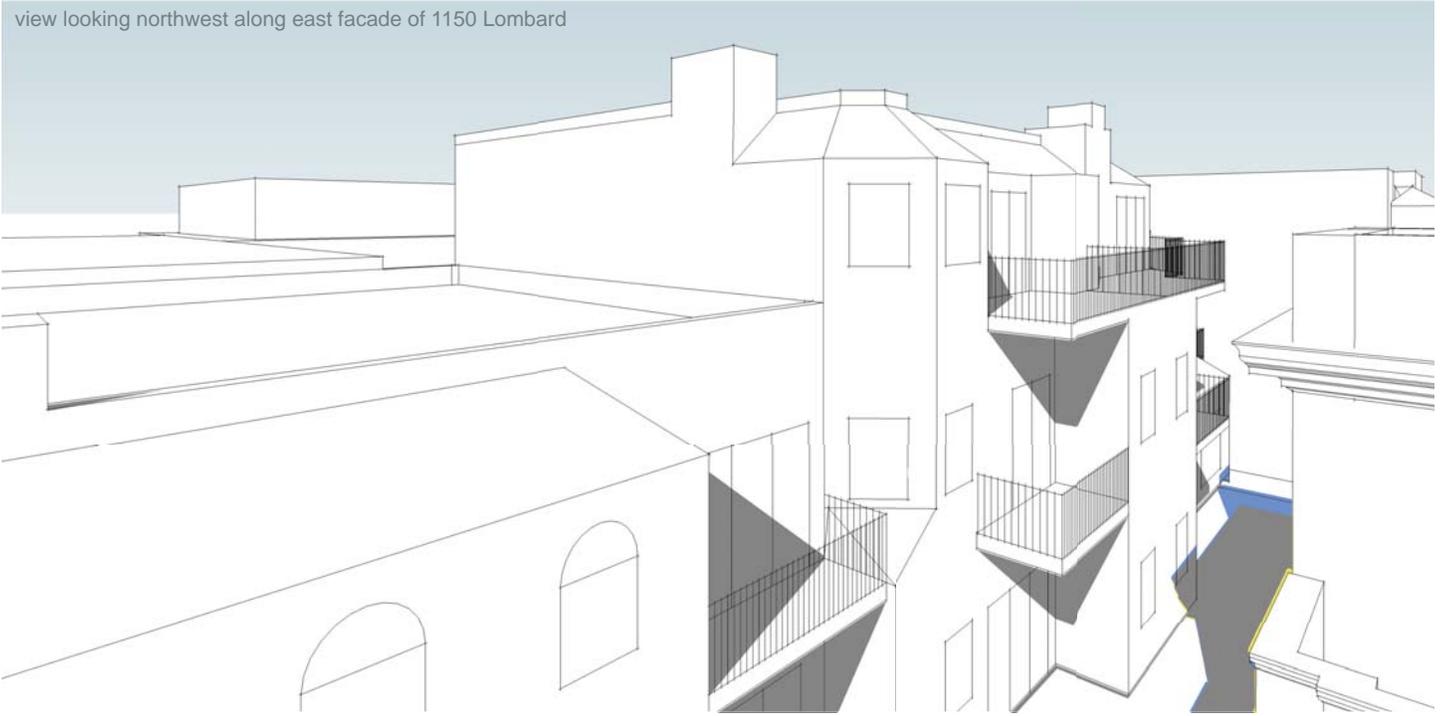


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8:30 AM
NOVEMBER 29 (JAN 11 SIMILAR)

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CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



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9:00 AM
NOVEMBER 29 (JAN 11 SIMILAR)

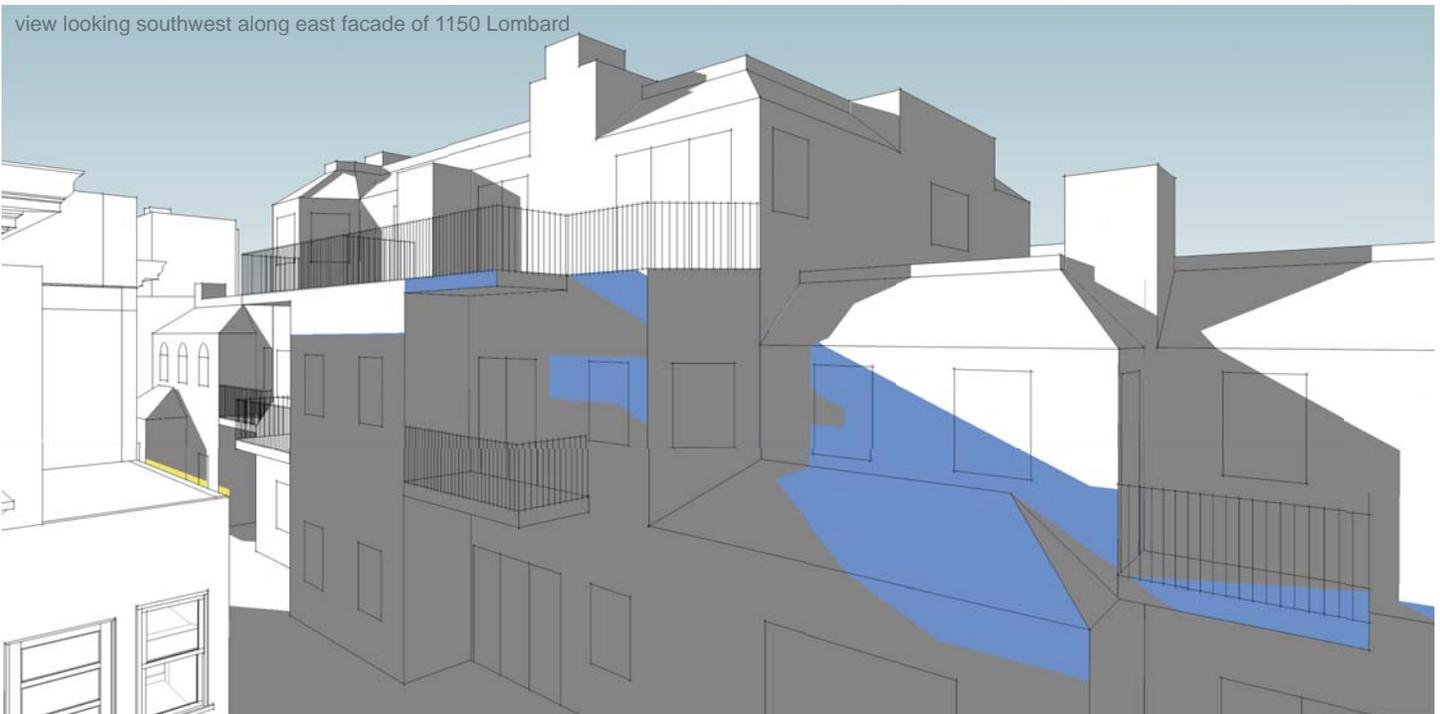
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10:30 AM
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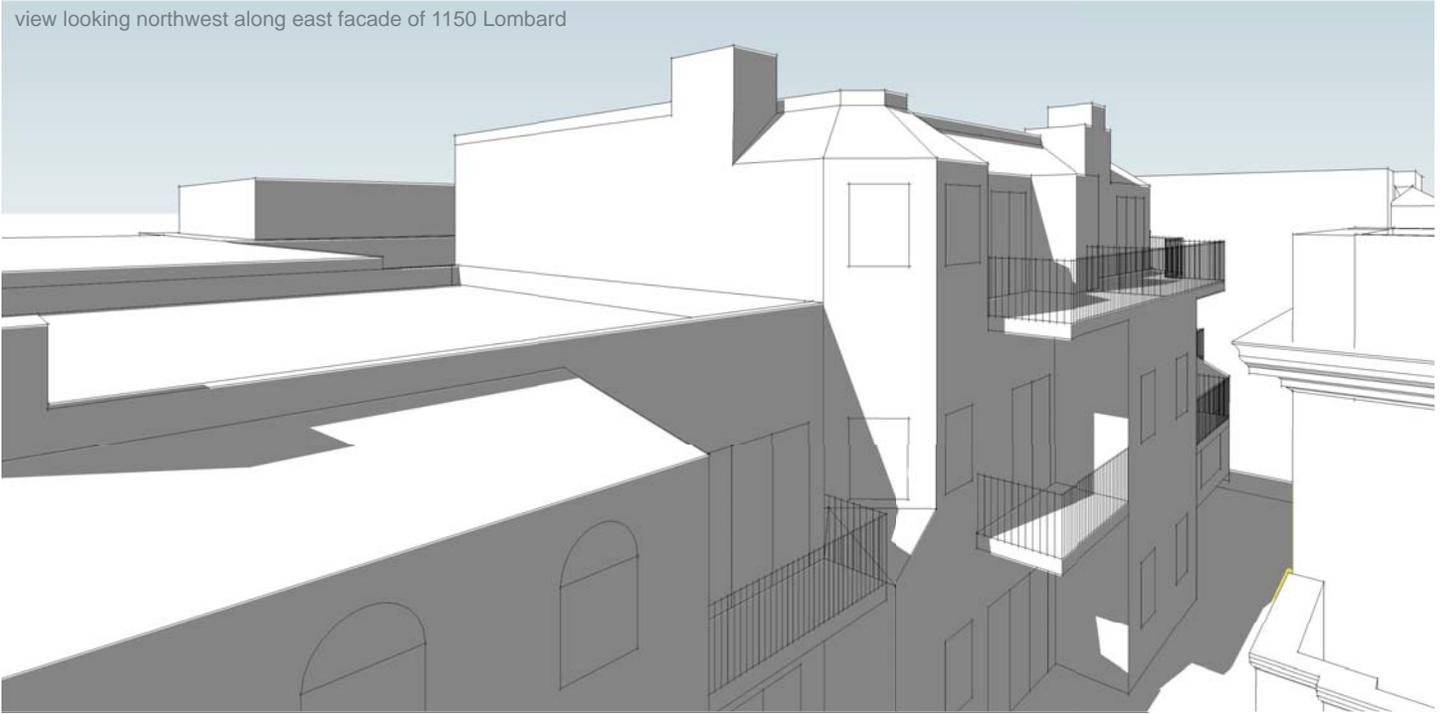


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-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



8:30 AM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



9:00 AM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



9:30 AM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard

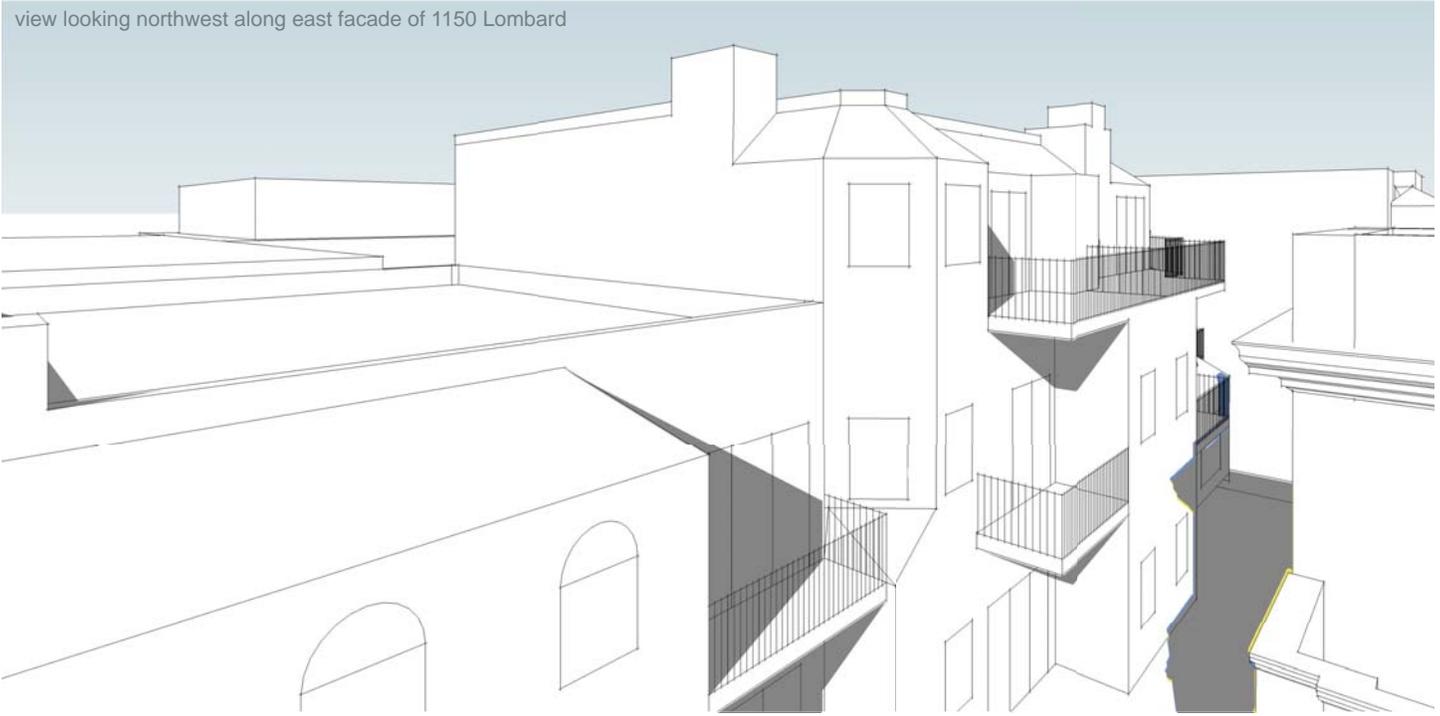


10:00 AM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



10:30 AM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



11:00 AM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard

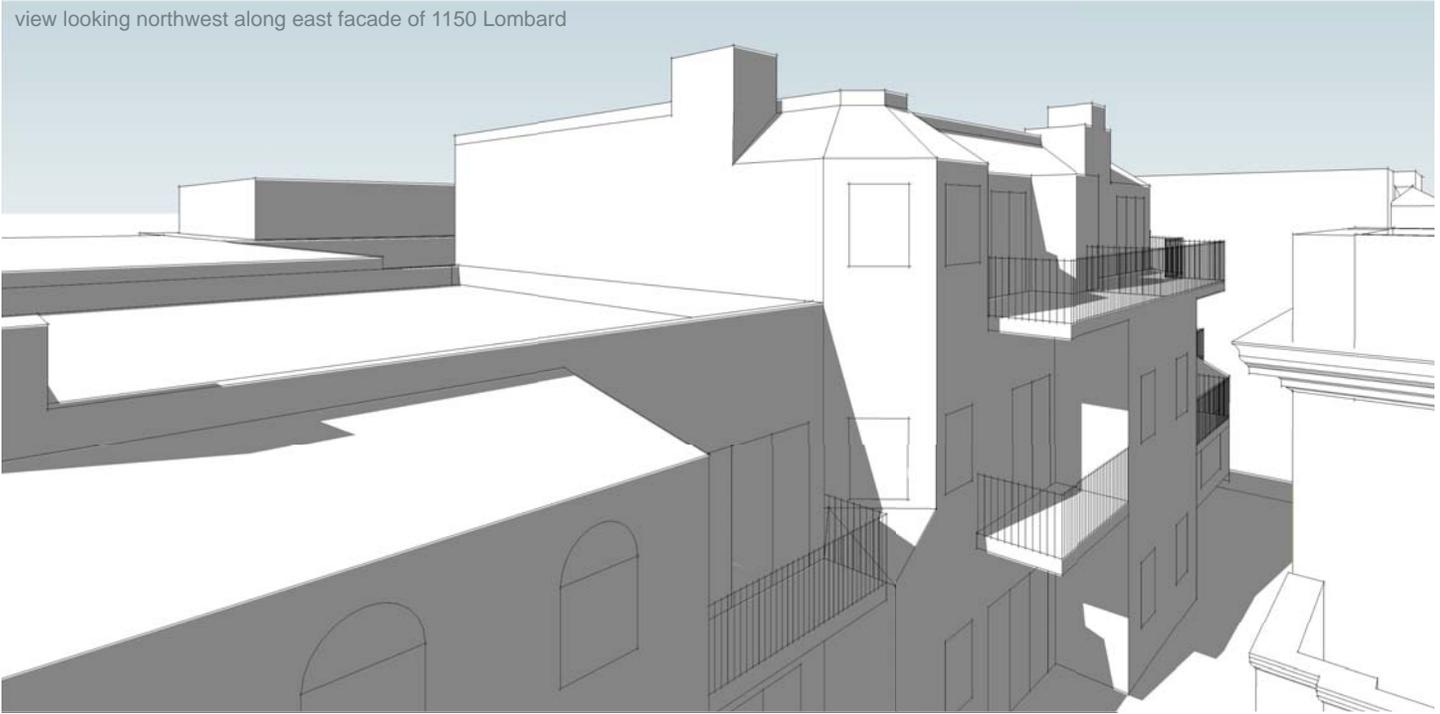


11:30 AM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

CHANGES IN SHADING CONDITIONS ON THE EAST FACADE OF 1150 LOMBARD DUE TO PROPOSED ADDITION AT 1112 LOMBARD STREET

view looking northwest along east facade of 1150 Lombard



view looking southwest along east facade of 1150 Lombard



12:00 PM
DECEMBER 21

-  NEW SUNLIGHT DUE TO RENOVATION
-  NEW SHADOWS DUE TO RENOVATION
-  EXISTING SHADOWS (NO CHANGE)

ABBREVIATIONS

& /	AND ANGLE	F.D. F.F. & E.	FLOOR DRAIN FURNITURE, FIXTURES & EQUIP.	P.G. PL.	PAINT GRADE PLATE
@	CENTERLINE	F.F.	FINISH FLOOR	PLAM. PLYWD.	PLASTIC LAMINATE PLYWOOD
Ø	DIAMETER	FIN.	FINISH	PR.	PAIR
#	NUMBER	FLR.	FLOOR	PROP.LN.	PROPERTY LINE
(D)	DEMOLISH	FLVDR.	FLOOR VENT	R.T.	ROUGH OPENING
(E)	EXISTING	FT.	FOOT OR FEET	R.	RISER
(N)	NEW	FTG.	FOOTING	RAD.	RADIUS
(R)	REMOVE	FURR.	FURRING	R.D.	ROOF DRAIN
A.B.	ANCHOR BOLT	GALV.	GALVANIZED	R.D.WD.	REDWOOD
ABV.	ABOVE	GA.	GAGE	REF.	REFERENCE
ADJ.	ADJACENT	G.F.I.C.	GROUND FAULT INTERCEPTOR CIRCUIT	REFR.	REFRIGERATOR
A.F.F.	ABOVE FINISHED FLOOR	GL.	GLASS	REINF.	REINFORCED
AGGR.	AGGREGATE	GR.	GRADE	RESIL.	RESILIENT
ALN.	ALIGN	GRND.	GROUND	R.L.	RAIN LEADER
ALUM.	ALUMINUM	GSM.	GALVANIZED SHEET METAL	RM.	ROOM
APPROX.	APPROXIMATE	GYP.	GYPSUM	R.O.	ROUGH OPENING
ARCH.	ARCHITECTURAL	H.B.	HOSE BIB	S.	SOUTH
AV.	AUDIO VISUAL	H.C.	HOLLOW CORE	S.C.	SOLID CORE
BD.	BOARD	H.D.WD.	HARDWOOD	SCHED.	SCHEDULE
BLDG.	BUILDING	HR.	HOUR	SD	SMOKE DETECTOR
BLK.	BLOCK	INSUL.	INSULATION	SECT.	SECTION
BLKG.	BLOCKING	INT.	INTERIOR	SHR.	SHOWER
BM.	BEAM	LAM.	LAMINATE	SHT.	SHEET
B.O.	BOTTOM OF	LAV.	LAVATORY	SIM.	SIMILAR
B.U.R.	BUILT UP ROOFING	L.O.	LINE OF	SL.	SLOPE
B/W	BETWEEN	LT.	LIGHT	S.L.D.	SEE LANDSCAPE DRAWINGS
CAB.	CABINET	MAX.	MAXIMUM	SPEC.	SPECIFICATION
CEM.	CEMENT	MED. CAB.	MEDICINE CABINET	SQ.	SQUARE
CER.	CERAMIC	MECH.	MECHANICAL	S.S.D.	SEE STRUCTURAL DRAWINGS
CLS.	CEILING	MEMB.	MEMBRANE	STL.	STEEL
CLKG.	CAULKING	MTL.	METAL	STOR.	STORAGE
CLR.	CLEAR	MTD.	MOUNTED	STRUC.	STRUCTURAL
C.M.U.	CONC. MASONRY UNIT	MFR.	MANUFACTURER	SYM.	SYMMETRICAL
C.O.	CENTER OF	MIN.	MINIMUM	T.	TREAD
COL.	COLUMN	MIR.	MIRROR	T.B.	TOWEL BAR
CONC.	CONCRETE	MISC.	MISCELLANEOUS	TEL.	TELEPHONE
CONT.	CONTINUOUS	N.	NORTH	T.&G.	TONGUE AND GROVE
DBL.	DOUBLE	N.I.C.	NOT IN CONTRACT	THK.	THICK
DTL.	DETAIL	NO.	NUMBER	TMPR.	TEMPERED
DIA.	DIAMETER	NOM.	NOMINAL	T.O.P.	TOP OF
DIM.	DIMENSION	N.T.S.	NOT TO SCALE	T.O.P.W.	TOP OF PAVEMENT
DN	DOWN	O/	OVER	T.S.	TUBULAR STEEL
DR.	DOOR	O.A.	OVERALL	T.V.	TELEVISION
DS.	DOWNSPOUT	OBS.	OBSOLETE	WT.	TYPICAL
DWG.	DRAWING	O.C.	ON CENTER	W.	WEST
DWR.	DRAWER	O.D.	OUTSIDE DIAMETER	WD.	WOOD
E.	EAST	OPNG.	OPENING	W/O	WITHOUT
EA.	EACH	OPP.	OPPOSITE	W.P.	WATERPROOFING
ELEC.	ELECTRICAL			WT.	WEIGHT
ELEV.	ELEVATION				
ENCL.	ENCLOSURE				
EQ.	EQUAL				
EQUIP.	EQUIPMENT				
EXT.	EXTERIOR				

SYMBOLS

	DRAWING/DETAIL REFERENCE TAG DRAWING OR DETAIL SHEET WHERE DRAWING/DETAIL OCCURS
	SECTION REFERENCE TAG BUILDING SECTION SHEET WHERE SECTION OCCURS
	INTERIOR ELEVATION REFERENCE TAG INTERIOR ELEVATION SHEET WHERE INTERIOR ELEVATION OCCURS
	ALIGN
	HIDDEN LINE
	STUD WALL (UNLESS NOTED OTHERWISE)
	CONCRETE STRUCTURE, S.S.D.
	INSULATION IN SECTION (BATT)
	INSULATION IN SECTION (RIGID)
	LATH AND PLASTER IN SECTION
	GYPSUM BOARD IN SECTION
	PLYWOOD IN SECTION
	FINISH WOOD IN SECTION
	GLASS IN SECTION
	DOOR TAG
	WINDOW TAG
	PLUMBING FIXTURE TAG PLUMBING FITTING TAG
	APPLIANCE TAG
	EQUIPMENT TAG
	REVISION TAG
	MATCHLINE
	WORKPOINT OR DATUM
	WALL TYPE TAG
	THRESHOLD

GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.
- ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.
- THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
- WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.
- ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

NOTE: DESIGN BASED ON THE CBC 2010 & SAN FRANCISCO BUILDING CODE 2010 AMENDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS.

PROJECT TEAM

ARCHITECT:
BUTLER ARMSDEN ARCHITECTS
2849 CALIFORNIA STREET
SAN FRANCISCO, CA 94115
T. 415. 674. 5554
F. 415. 674. 5558

SURVEYOR:
FORESIGHT LAND SURVEYINGS
2410 CALIFORNIA STREET, SUITE #2
SAN FRANCISCO, CA 94115
415-735-6180

VICINITY MAP



BUTLER ARMSDEN ARCHITECTS

2849 CALIFORNIA STREET
SAN FRANCISCO, CA 94115
BUTLERARMSDEN.COM

E INFO@BUTLERARMSDEN.COM
T 415-674-5554
F 415-674-5558

PROJECT DATA

BLOCK:	0069	ZONED:	RH-3
LOT:	80	HEIGHT LIMIT:	40X
LOT SIZE:	9,230	OCCUPANCY:	R-3
UNCONDITIONED SPACE			
	existing	proposed	
BASEMENT	556 sqPt.	1207 sqPt.	
FIRST FLOOR	-	-	
SECOND FLOOR	-	-	
THIRD FLOOR	-	-	
TOTAL:	556	1207	
CONDITIONED SPACE			
	existing	proposed	
BASEMENT	-	723 sqPt.	
FIRST FLOOR	2412 sqPt.	2479 sqPt.	
SECOND FLOOR	1396 sqPt.	1354 sqPt.	
THIRD FLOOR	-	664 sqPt.	
TOTAL:	3808	5220	
CONSTRUCTION CLASSIFICATION			
	existing	proposed	
CONSTRUCTION CLASSIFICATION	V - B	V - B	
FIRE SPRINKLER			
	N / A	13D (UNDER SEPARATE PERMIT)	

CODES

2010 CA BLDG. CODE
2010 S.F. BLDG. CODE & AMENDMENTS
2010 CA ENERGY CODE
2010 S.F. ELECTRICAL CODE
2010 S.F. MECHANICAL CODE
2010 S.F. PLUMBING CODE
2010 S.F. FIRE CODE

SCOPE OF WORK

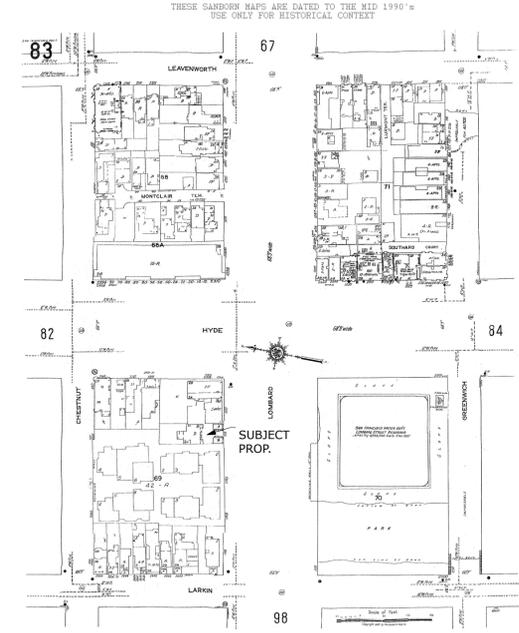
Remodel of existing two story house including new stairs and elevator. Excavation of new basement level connecting the two existing single car garages and extending under the existing house. Vertical addition of third floor office and roof terrace.

SHEET INDEX

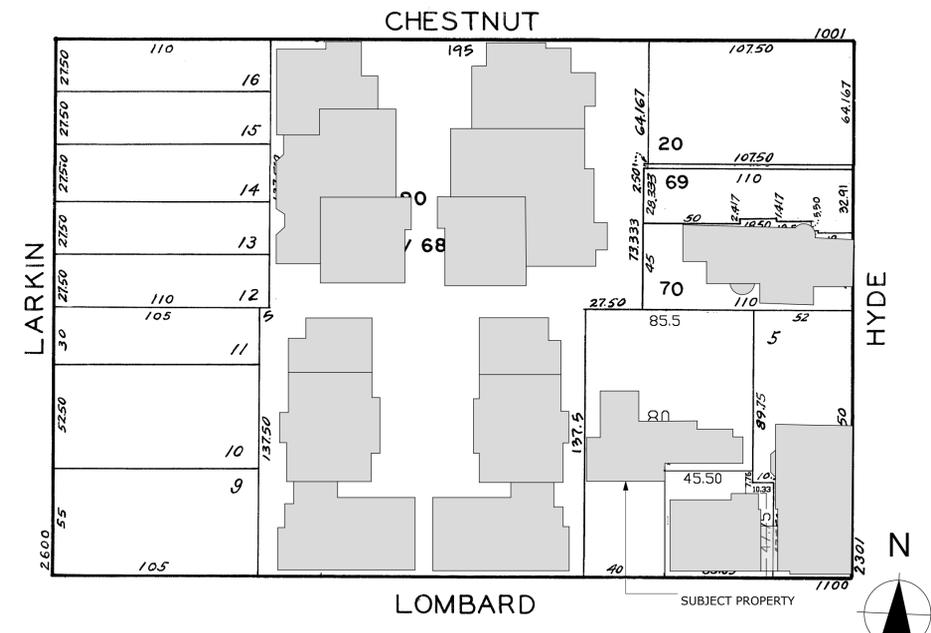
	PLANNING SUBMITTAL 7/9/13	NOPDR#1 11/30/13	DR 6/5/14
ARCHITECTURAL:			
A0.0 TITLE SHEET	☒	☒	☒
A0.1 PHOTOS	☒	☒	☒
S SITE SURVEY	☒	☒	☒
A0.2 EXISTING SITE PLAN	☒	☒	☒
A0.3 PROPOSED SITE PLAN	☒	☒	☒
A0.4 DEMO CALCULATIONS	☒	☒	☒
A1.1 DEMOLITION PLAN - BASEMENT / GARAGE FLOOR	☒	☒	☒
A1.2 DEMOLITION PLAN - FIRST FLOOR	☒	☒	☒
A1.3 DEMOLITION PLAN - SECOND FLOOR	☒	☒	☒
A1.4 DEMOLITION PLAN - ROOF	☒	☒	☒
A1.5 EXISTING EXTERIOR ELEVATIONS - SOUTH	☒	☒	☒
A1.6 EXISTING EXTERIOR ELEVATIONS - NORTH	☒	☒	☒
A1.7 EXISTING EXTERIOR ELEVATIONS - EAST, WEST	☒	☒	☒
A2.1 PROPOSED PLAN - BASEMENT / GARAGE FLOOR	☒	☒	☒
A2.2 PROPOSED PLAN - FIRST FLOOR	☒	☒	☒
A2.3 PROPOSED PLAN - SECOND FLOOR	☒	☒	☒
A2.4 PROPOSED PLAN - THIRD FLOOR	☒	☒	☒
A2.5 PROPOSED PLAN - ROOF	☒	☒	☒
A3.1 EXTERIOR ELEVATIONS - SOUTH	☒	☒	☒
A3.2 EXTERIOR ELEVATIONS - NORTH	☒	☒	☒
A3.3 EXTERIOR ELEVATIONS - EAST, WEST	☒	☒	☒
A3.4 NORTH-SOUTH SECTION	☒	☒	☒
A3.5 EAST-WEST SECTION	☒	☒	☒

PLANNING SET

REVISIONS:	BY:
▲ NOPDR#1 11/30/13	
▲ DR 6/5/14	
JOB#:	1303
DATE:	7/9/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED



2 SANBORN MAP
NOT TO SCALE



1 BLOCK MAP
NOT TO SCALE

TITLE SHEET

1112 LOMBARD STREET
1112 LOMBARD STREET, SAN FRANCISCO, CA 94109



4 1100 LOMBARD STREET



5 1112 LOMBARD STREET



6 CONTEXT: 1112 LOMBARD STREET



3 1150 LOMBARD STREET



2 LOMBARD STREET - FACING NORTH



1 LOMBARD STREET - FACING SOUTH

PLANNING SET

REVISIONS:	BY:

JOB#:	1303
DATE:	7/8/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED



PROPOSED
5 VIEW FROM PARK 10FT ABOVE STREET LEVEL
NOT TO SCALE



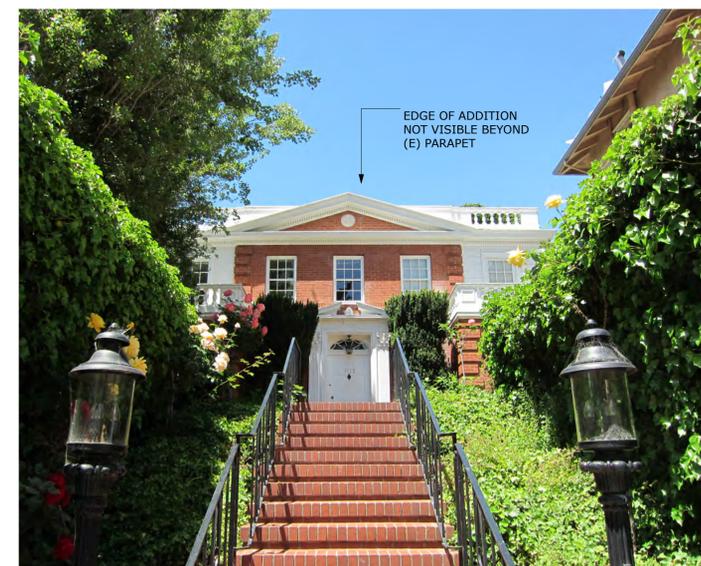
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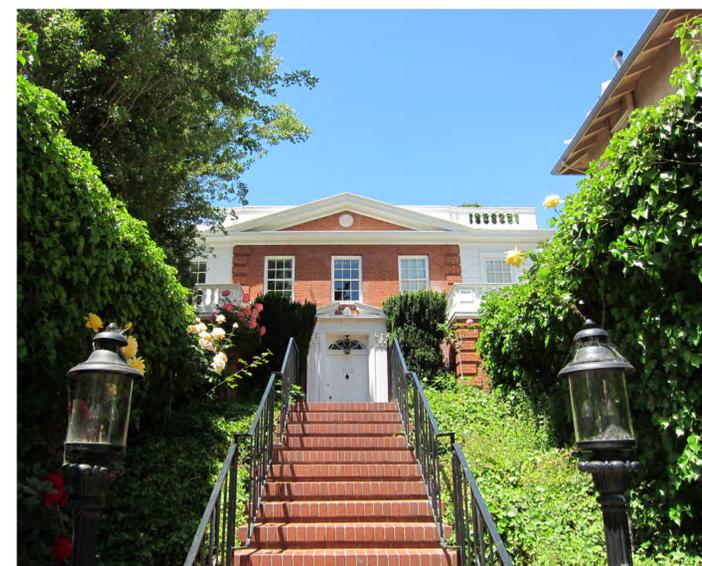
PROPOSED
4 VIEW FROM SIDEWALK ACROSS THE STREET
NOT TO SCALE



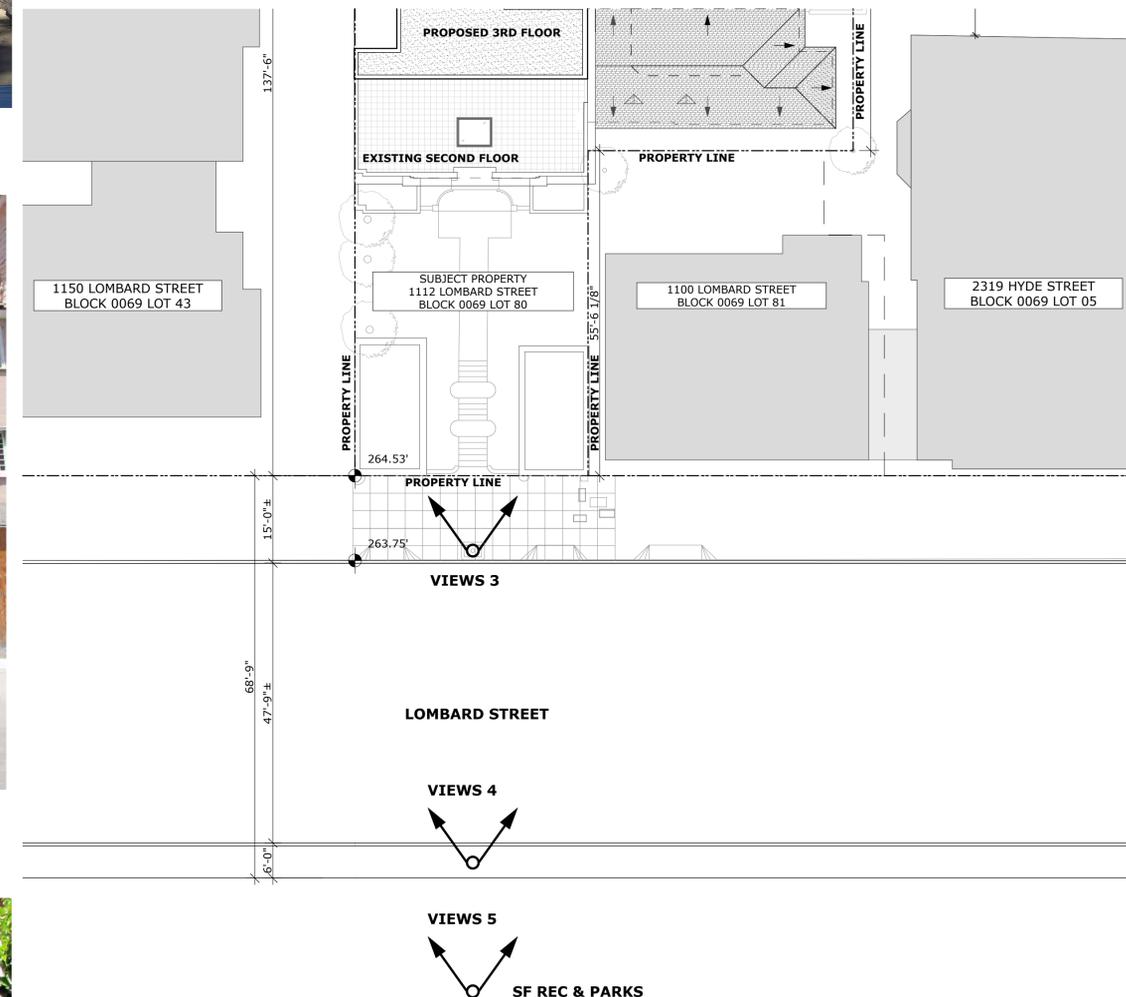
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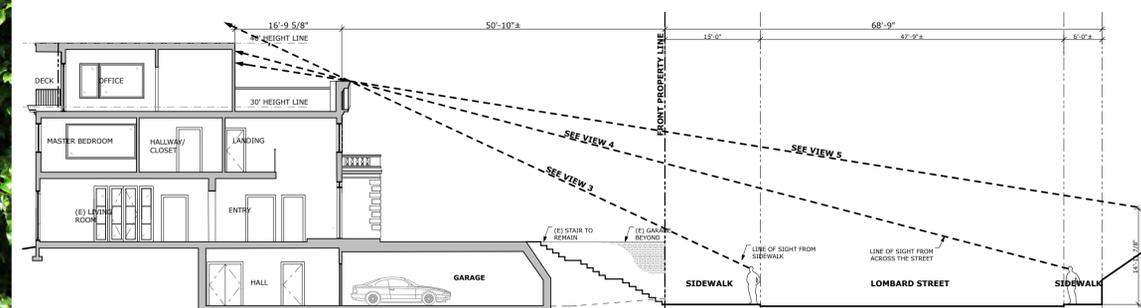
PROPOSED
3 VIEW FROM SIDEWALK
NOT TO SCALE



EXISTING



2 PHOTO LEGEND- SITE PLAN
NOT TO SCALE



1 PHOTO LEGEND- SECTION
NOT TO SCALE

PLANNING SET

REVISIONS:	BY:
▲ NOPDR#1 11/22/13	

JOB#:	1303
DATE:	7/8/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED

RENDERINGS

GENERAL DEMOLITION NOTES

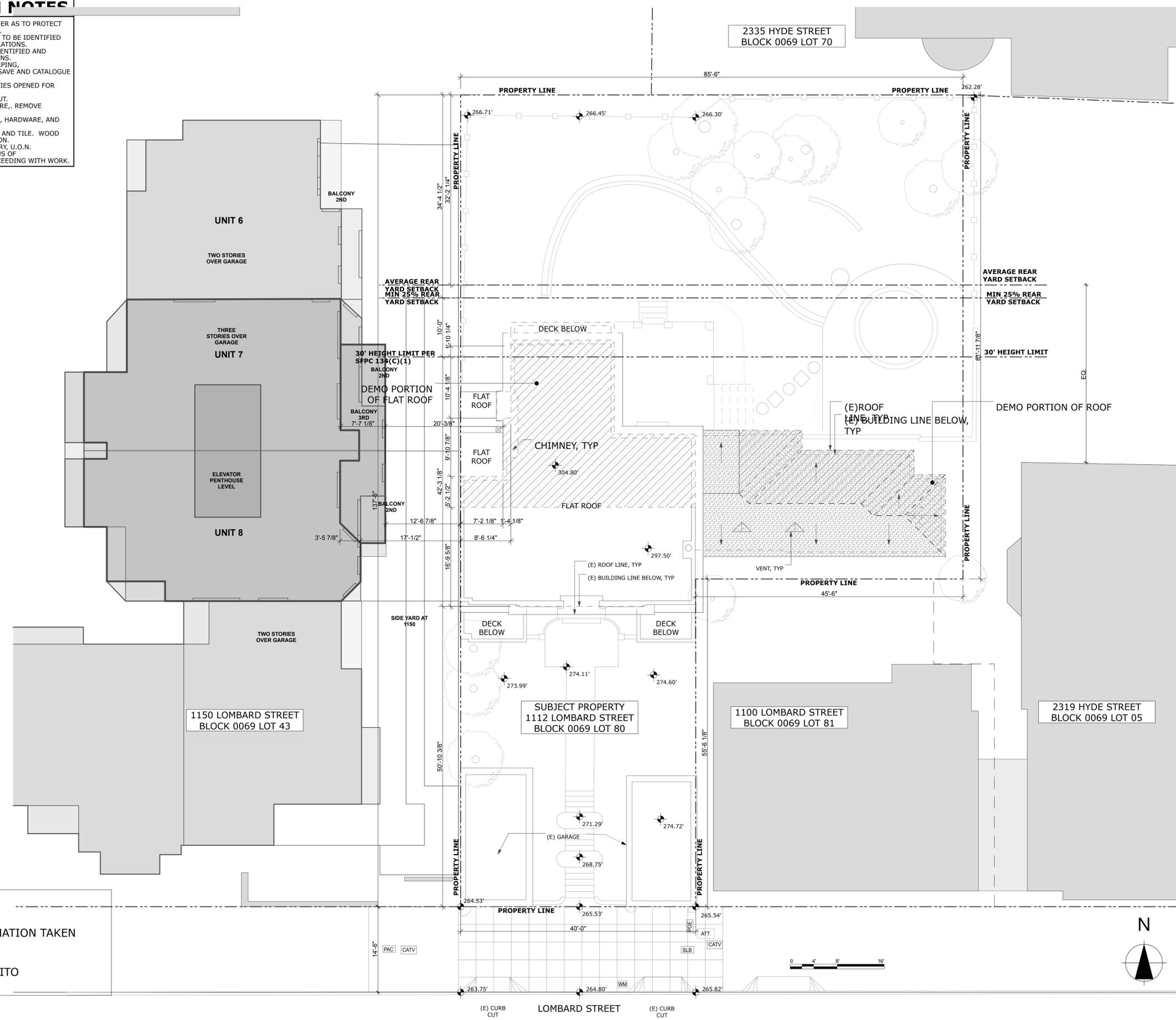
1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE., REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

WALL LEGEND

-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL
-  NEW WALL

2849 CALIFORNIA STREET
SAN FRANCISCO, CA 94115
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T 415-674-5554
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1112 LOMBARD STREET
1112 LOMBARD STREET, SAN FRANCISCO, CA 94109



GENERAL NOTE:
SITE PLAN INFORMATION TAKEN FROM SURVEY- 2-22-2013
GREGORY T. IPPOLITO
NO. 8649

PLANNING SET

REVISIONS:	BY:
 NOPDR#1 11/22/13	
 DR 6/5/14	

JOB#:	1303
DATE:	7/9/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED

1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

EXISTING SITE PLAN

DEMO CALCULATIONS

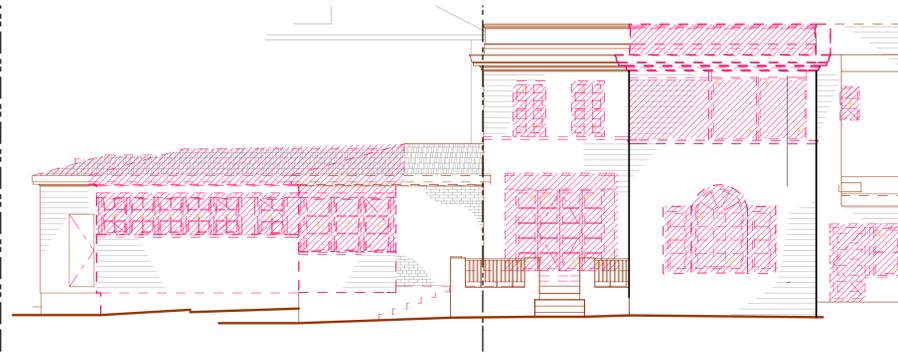
DEMOLISHED EXTERNAL WALL AREA FACING STREET (REF. 1/A1.6)	+/- 183.9 SQ. FT.	= 12.0%
EXTERNAL WALL AREA FACING STREET (REF. 1/A1.6)	+/- 1,537.1 SQ. FT.	
<hr/>		
DEMOLISHED EXTERIOR WALLS	159.8 LN. FT.	= 25.1%
TOTAL EXTERIOR WALLS	637.1 LN. FT.	
<hr/>		
DEMOLISHED/CHANGE OF FUNCTION EXTERIOR WALLS	116.4 LN. FT.	= 18.3%
TOTAL EXTERIOR WALLS	637.1 LN. FT.	
<hr/>		
DEMOLISHED INTERIOR WALLS	310.8 LN. FT.	= 68.6%
TOTAL INTERIOR WALLS	453.1 LN. FT.	
<hr/>		
DEMOLISHED FLOOR PLATES	1,365.3 SQ. FT.	= 32.4%
TOTAL FLOOR PLATES	4,214 SQ. FT.	
<hr/>		
	<75% MAXIMUM PER SFPC 1005(F)4	

WALL LEGEND

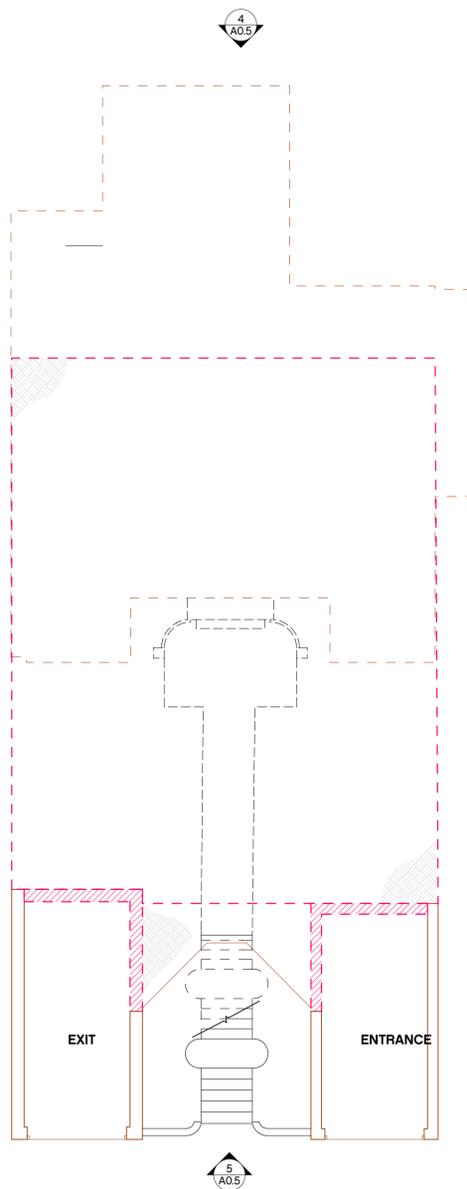
-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL
-  NEW WALL
-  FLOOR PLATE AREA TO BE REMOVED



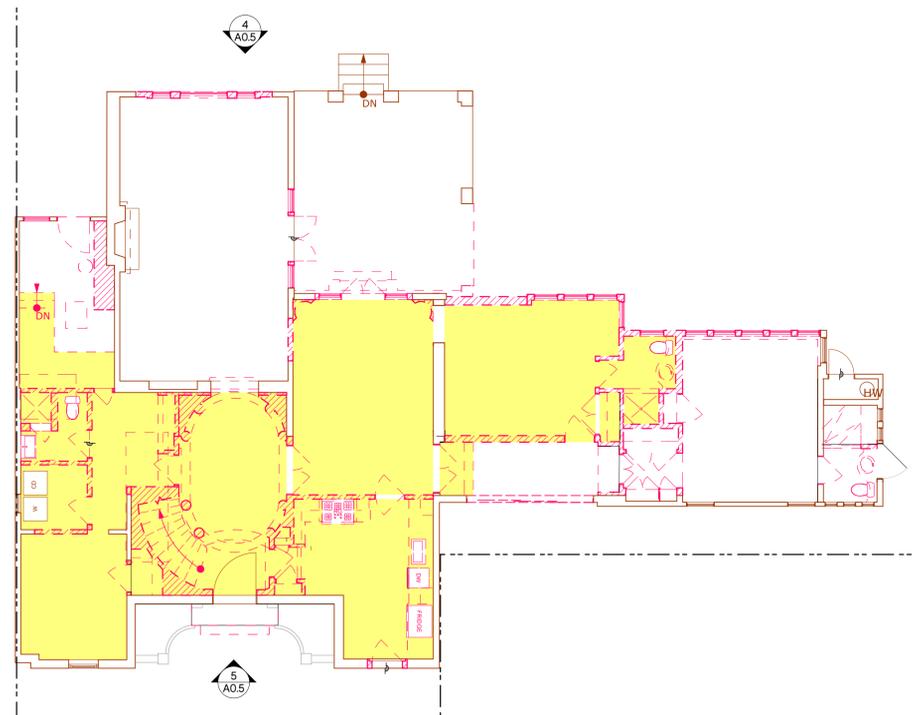
5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



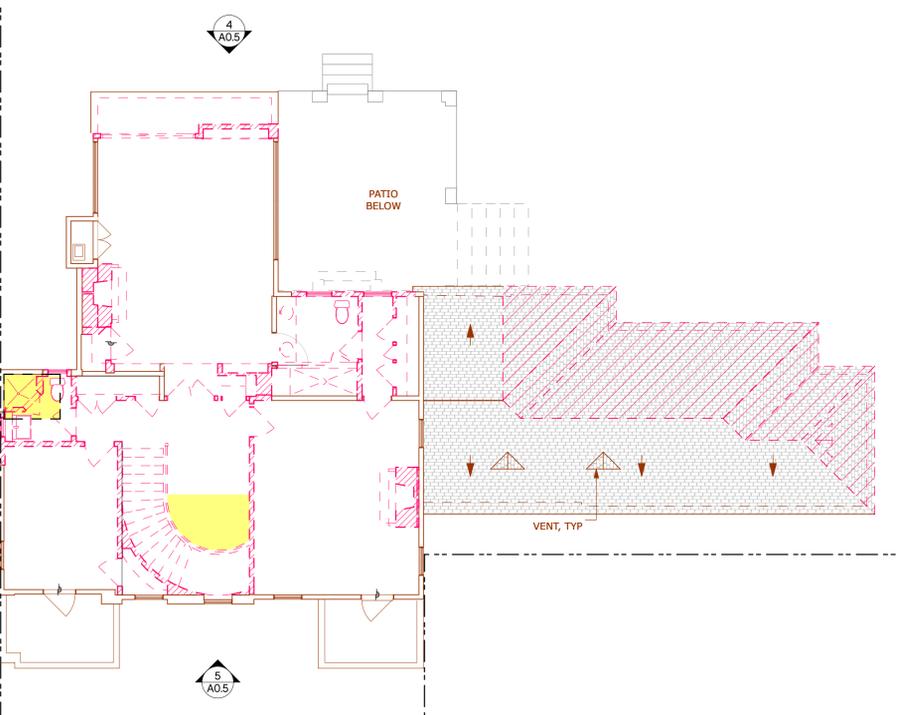
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BASEMENT
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR
SCALE: 1/8" = 1'-0"



1 SECOND FLOOR
SCALE: 1/8" = 1'-0"

BASEMENT

EXTERIOR WALLS FUNCTIONING AS EXTERNAL WALLS PER SFPC 1005(F)2	
TO REMAIN	94.0 LN. FT.
TO BE DEMOLISHED	43.7 LN. FT.
EXTERIOR WALLS FUNCTIONING AS EXTERNAL WALLS PER SFPC 1005(F)3	
TO REMAIN	94.0 LN. FT.
TO BE DEMOLISHED	43.7 LN. FT.
INTERIOR WALLS FUNCTIONING AS BUILDING'S INTERNAL STRUCTURAL FRAMEWORK WALLS PER SFPC 1005(F)3	
TO REMAIN	0 LN. FT.
TO BE DEMOLISHED	0 LN. FT.
FLOOR PLATES FLOOR PLATES PER SFPC 1005(F)4	
TOTAL FOR FLOOR	414 SQ. FT.
TO BE DEMOLISHED	0 SQ. FT.

FIRST FLOOR

EXTERIOR WALLS FUNCTIONING AS EXTERNAL WALLS PER SFPC 1005(F)2	
TO REMAIN	227.8 LN. FT.
TO BE DEMOLISHED	97.9 LN. FT.
EXTERIOR WALLS FUNCTIONING AS EXTERNAL WALLS PER SFPC 1005(F)3	
TO REMAIN	227.8 LN. FT.
TO BE DEMOLISHED	97.9 LN. FT.
INTERIOR WALLS FUNCTIONING AS BUILDING'S INTERNAL STRUCTURAL FRAMEWORK WALLS PER SFPC 1005(F)3	
TO REMAIN	94.7 LN. FT.
TO BE DEMOLISHED	199.7 LN. FT.
FLOOR PLATES FLOOR PLATES PER SFPC 1005(F)4	
TOTAL FOR FLOOR	2,412 SQ. FT.
TO BE DEMOLISHED	1,308 SQ. FT.

SECOND FLOOR

EXTERIOR WALLS FUNCTIONING AS EXTERNAL WALLS PER SFPC 1005(F)2	
TO REMAIN	135.7 LN. FT.
TO BE DEMOLISHED	38.0 LN. FT.
EXTERIOR WALLS FUNCTIONING AS EXTERNAL WALLS PER SFPC 1005(F)3	
TO REMAIN	135.7 LN. FT.
TO BE DEMOLISHED	38.0 LN. FT.
INTERIOR WALLS FUNCTIONING AS BUILDING'S INTERNAL STRUCTURAL FRAMEWORK WALLS PER SFPC 1005(F)3	
TO REMAIN	46.6 LN. FT.
TO BE DEMOLISHED	111.1 LN. FT.
FLOOR PLATES FLOOR PLATES PER SFPC 1005(F)4	
TOTAL FOR FLOOR	1,388 SQ. FT.
TO BE DEMOLISHED	57.3 SQ. FT.

PLANNING SET

REVISIONS:	BY:

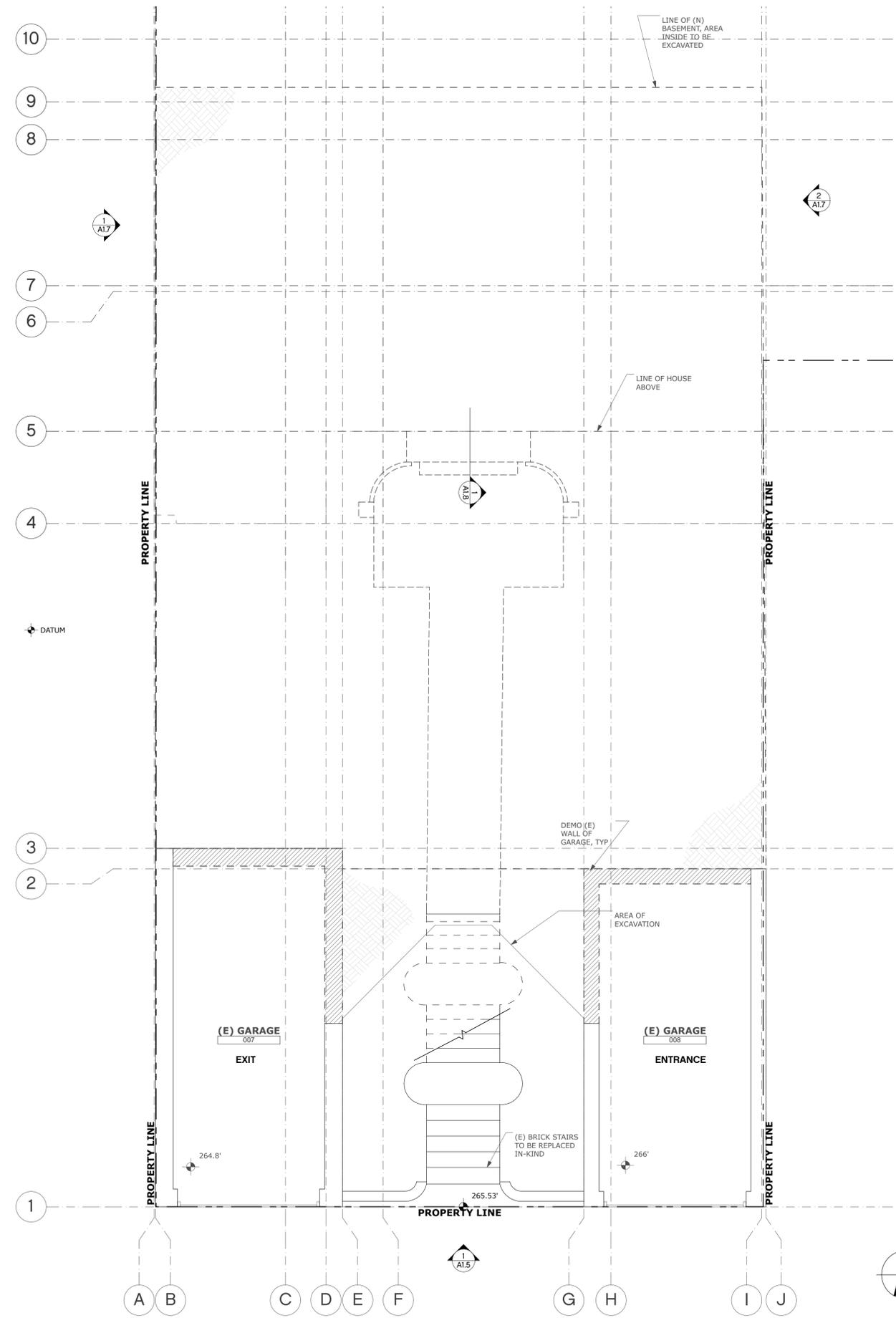
JOB#:	1303
DATE:	7/9/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE., REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



PLANNING SET

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BASEMENT DEMO PLAN

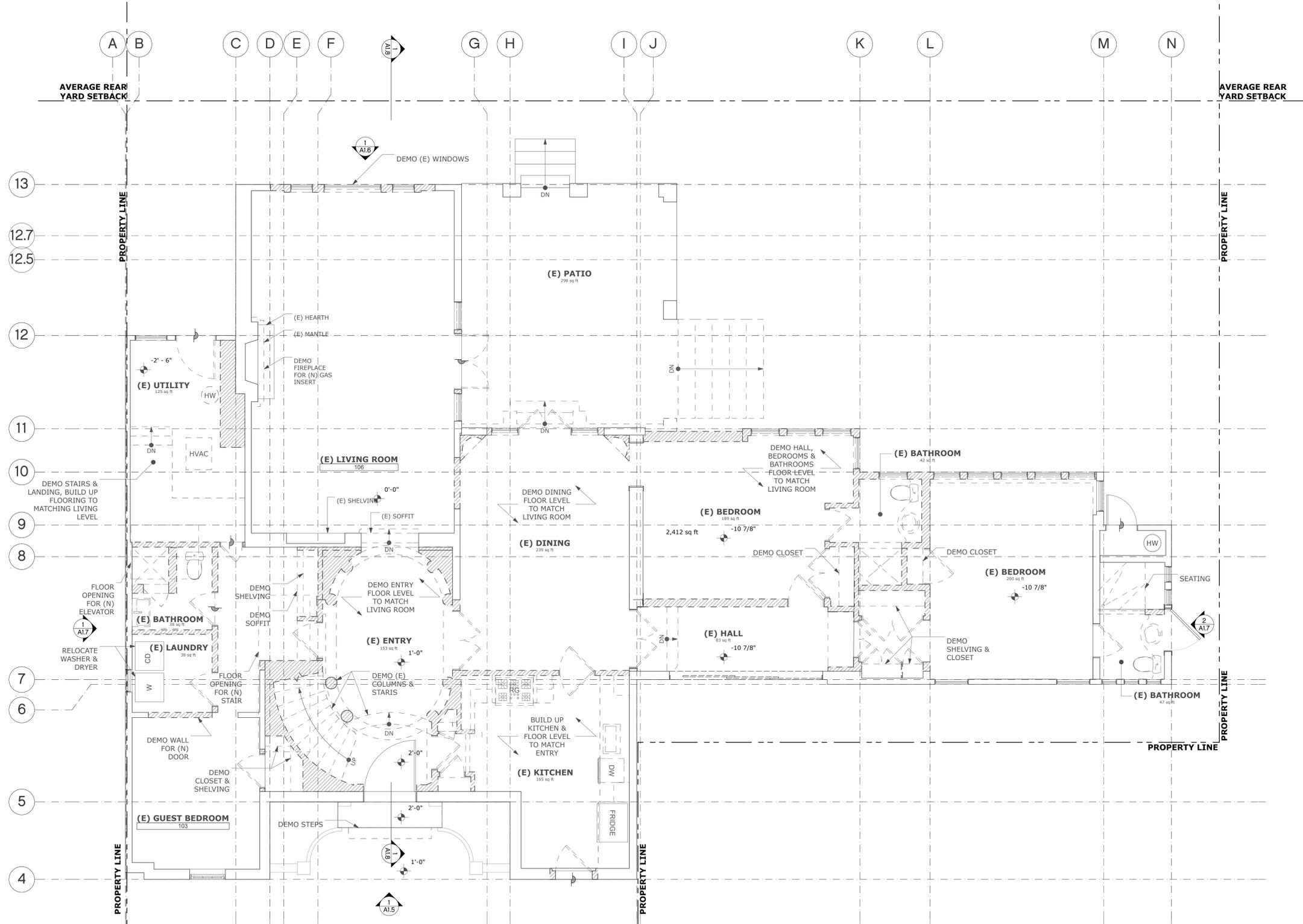
1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
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7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE., REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

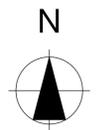


1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLANNING SET

REVISIONS:	BY:

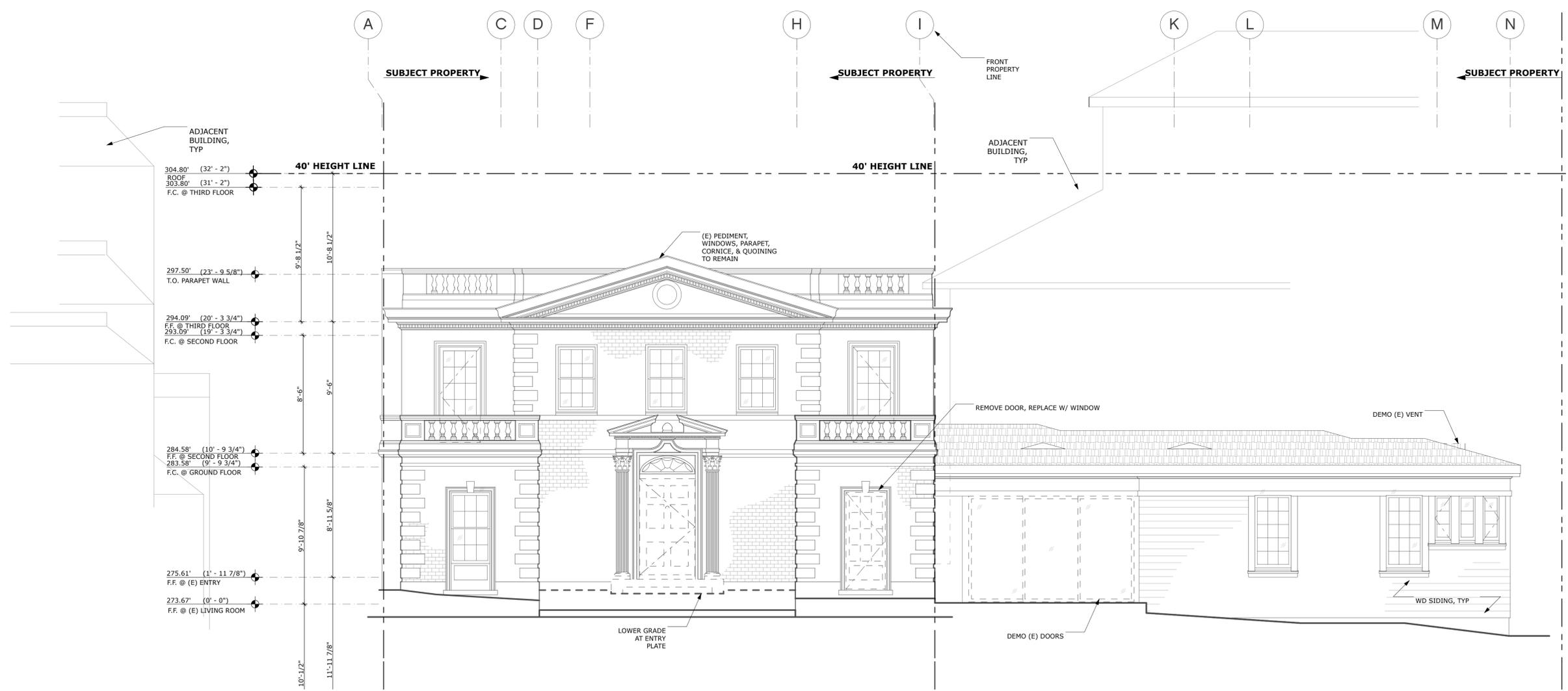
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SCALE:	AS NOTED



FIRST FLOOR DEMO PLAN



2 EXISTING SOUTH ELEVATION WITH CONTEXT
SCALE: 1/8" = 1'-0"



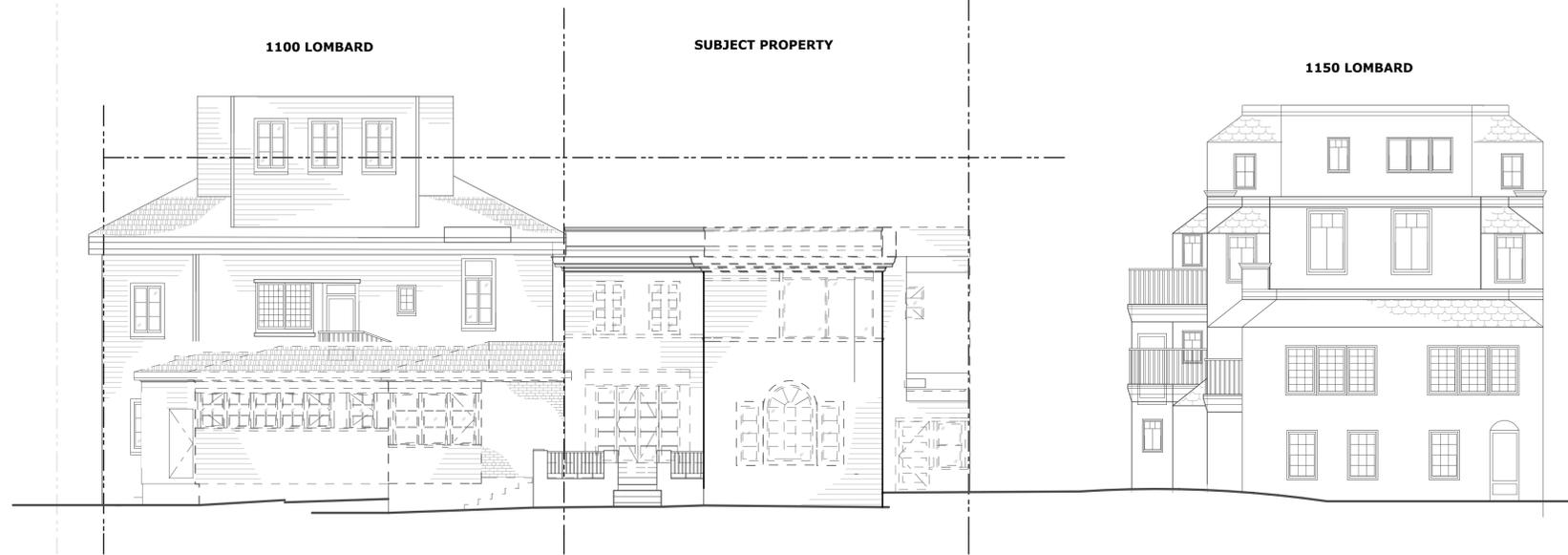
1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PLANNING SET

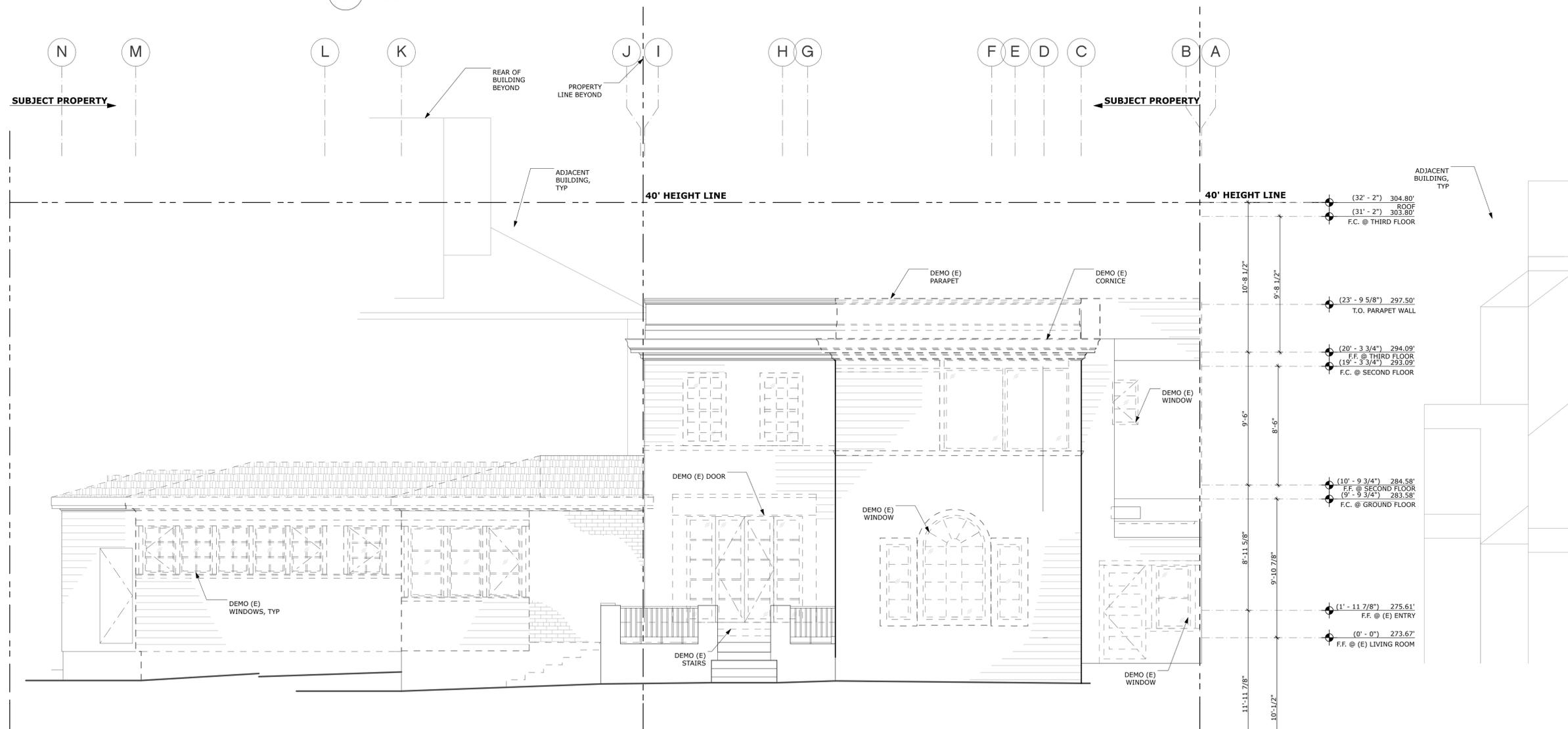
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DATE:	7/8/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED

EXISTING ELEVATIONS



2 EXISTING NORTH ELEVATION WITH CONTEXT
SCALE: 1/8" = 1'-0"



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PLANNING SET

REVISIONS: BY:

REVISIONS:	BY:

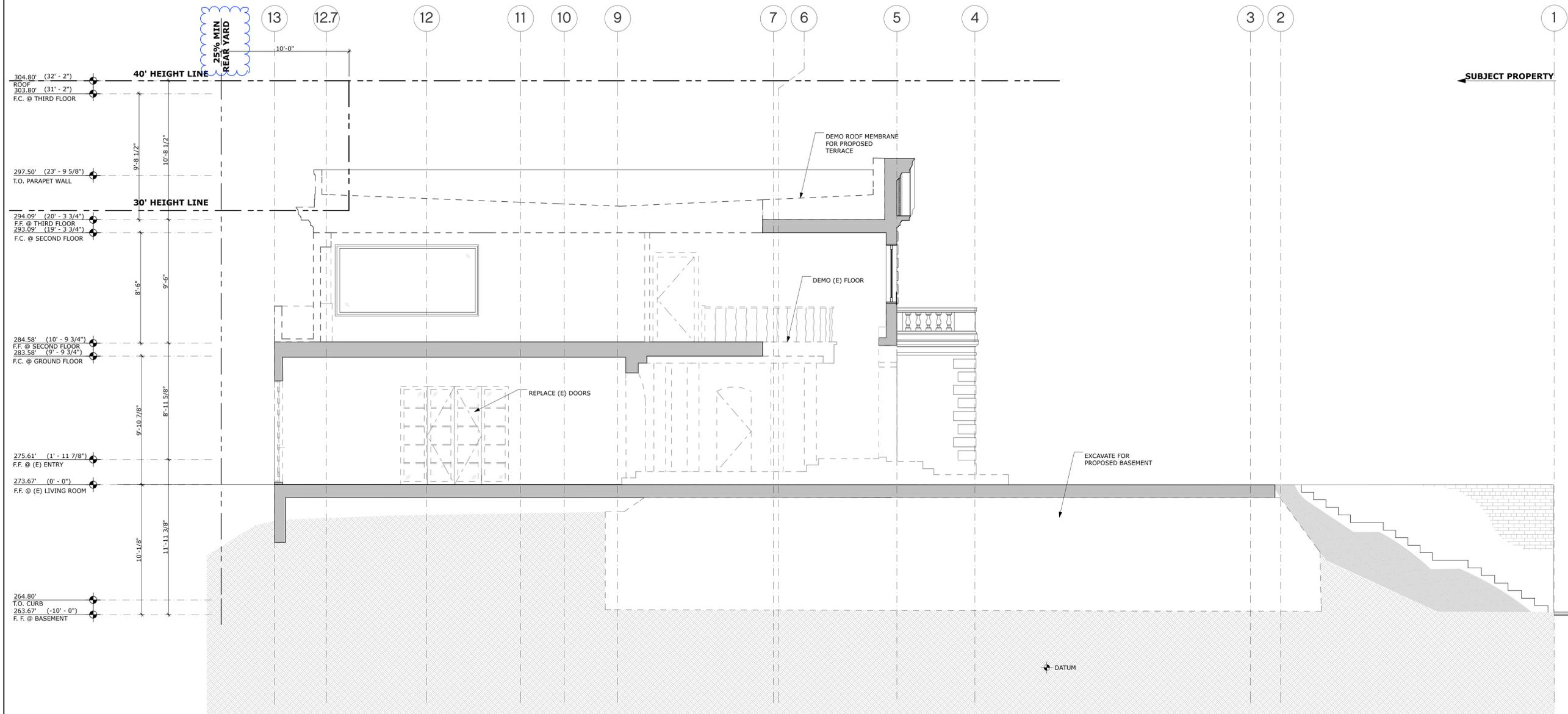
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DATE:	7/8/2013
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CHECKED:	FE
SCALE:	AS NOTED

EXISTING
ELEVATIONS

1112 LOMBARD STREET
1112 LOMBARD STREET, SAN FRANCISCO, CA 94109

WALL LEGEND

-  EXISTING WALL TO BE REMOVED
-  EXISTING WALL
-  NEW WALL



PLANNING SET

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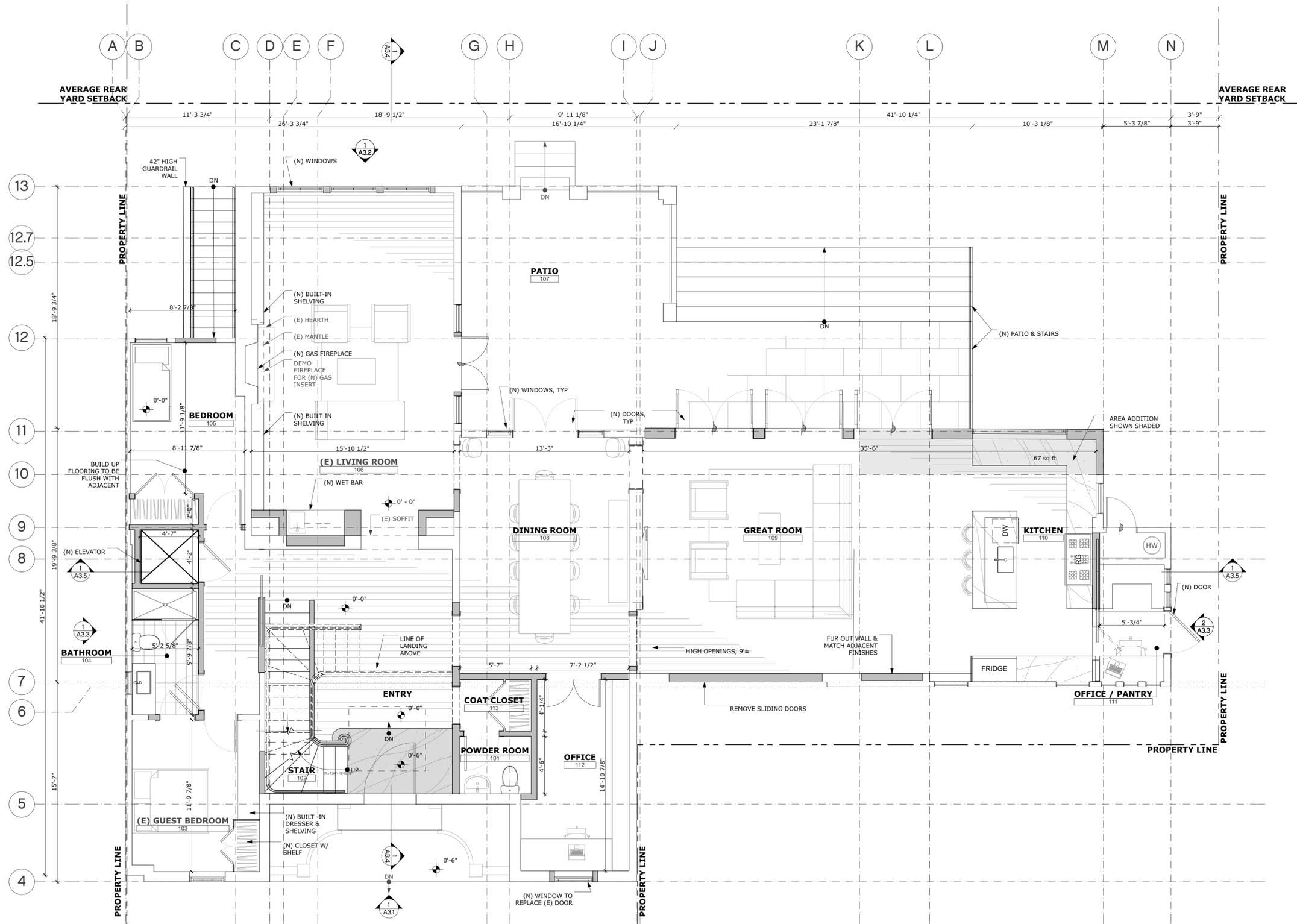
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DATE:	7/8/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED

EXISTING
NORTH-SOUTH
SECTION

1 EXISTING NORTH-SOUTH SECTION
SCALE: 1/4" = 1'-0"

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



PLANNING SET

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SCALE:	AS NOTED



**FIRST FLOOR
PROPOSED PLAN**

1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

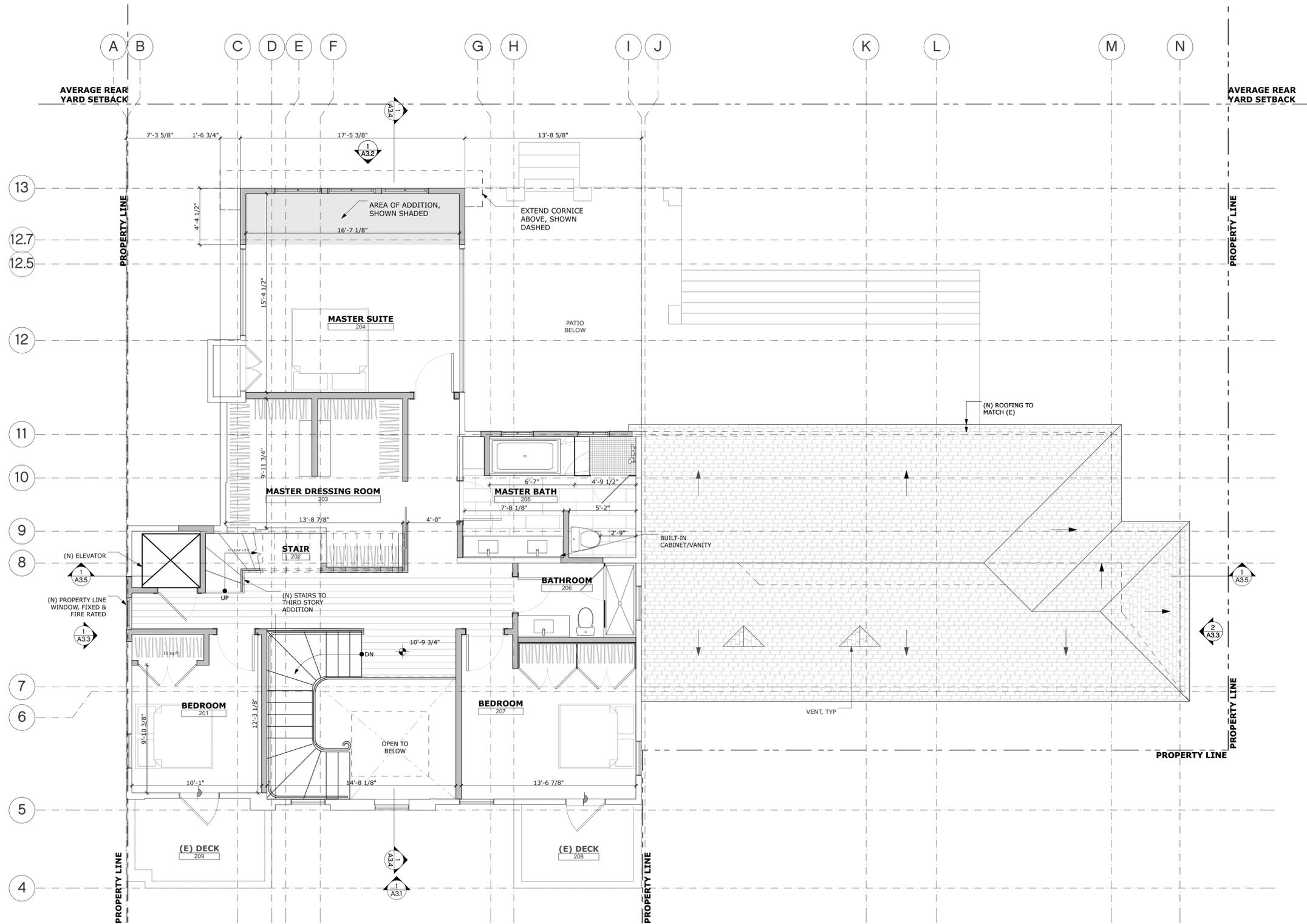
WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



2849 CALIFORNIA STREET
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 BUTLERARMSDEN.COM
 E INFO@BUTLERARMSDEN.COM
 T 415-674-5554
 F 415-674-5558

1112 LOMBARD STREET
 1112 LOMBARD STREET, SAN FRANCISCO, CA 94109



1 PROPOSED SECOND FLOOR
 SCALE: 1/4" = 1'-0"

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CHECKED:	FE
SCALE:	AS NOTED



**SECOND FLOOR
 PROPOSED PLAN**

A2.3

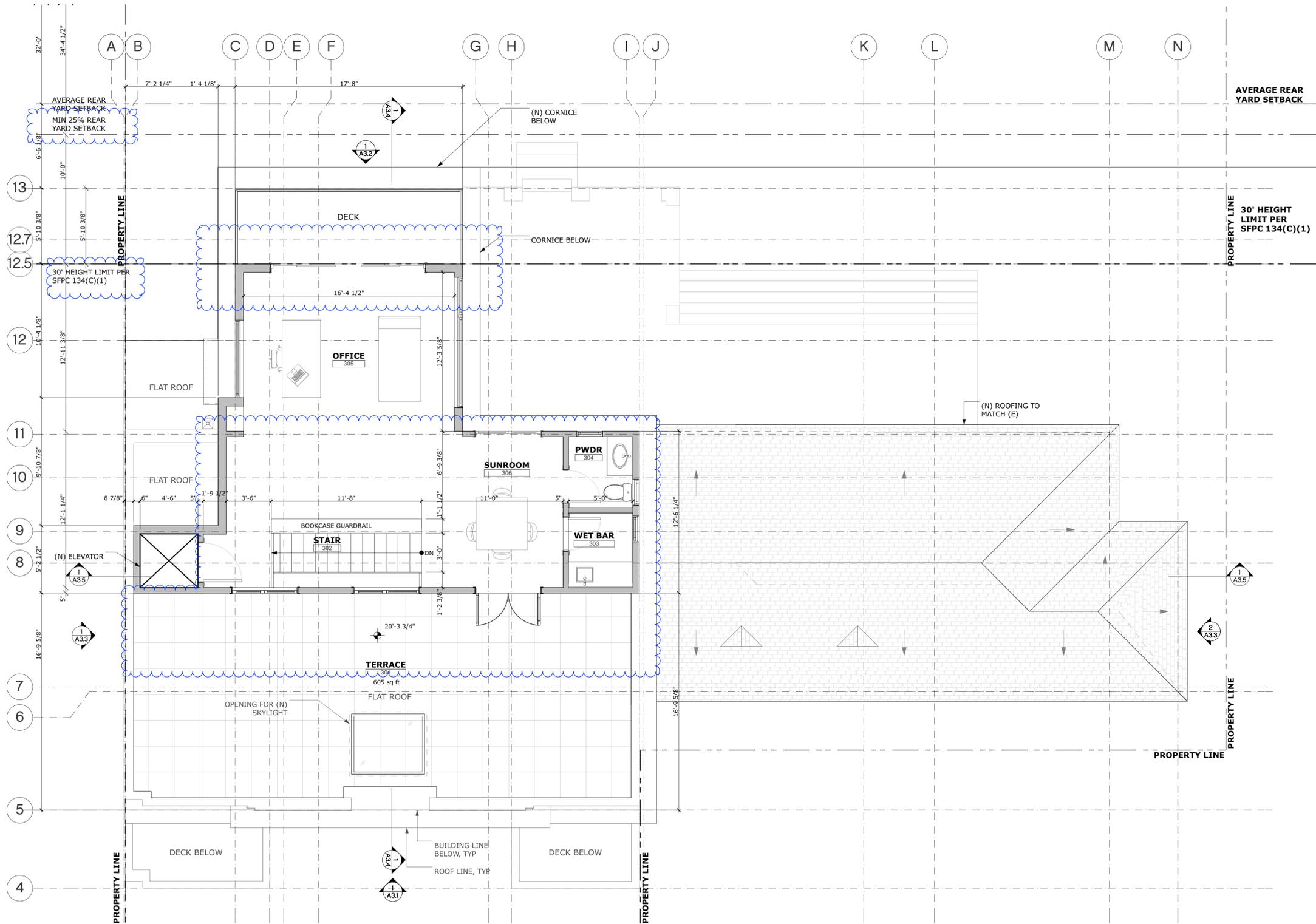
WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



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SCALE:	AS NOTED

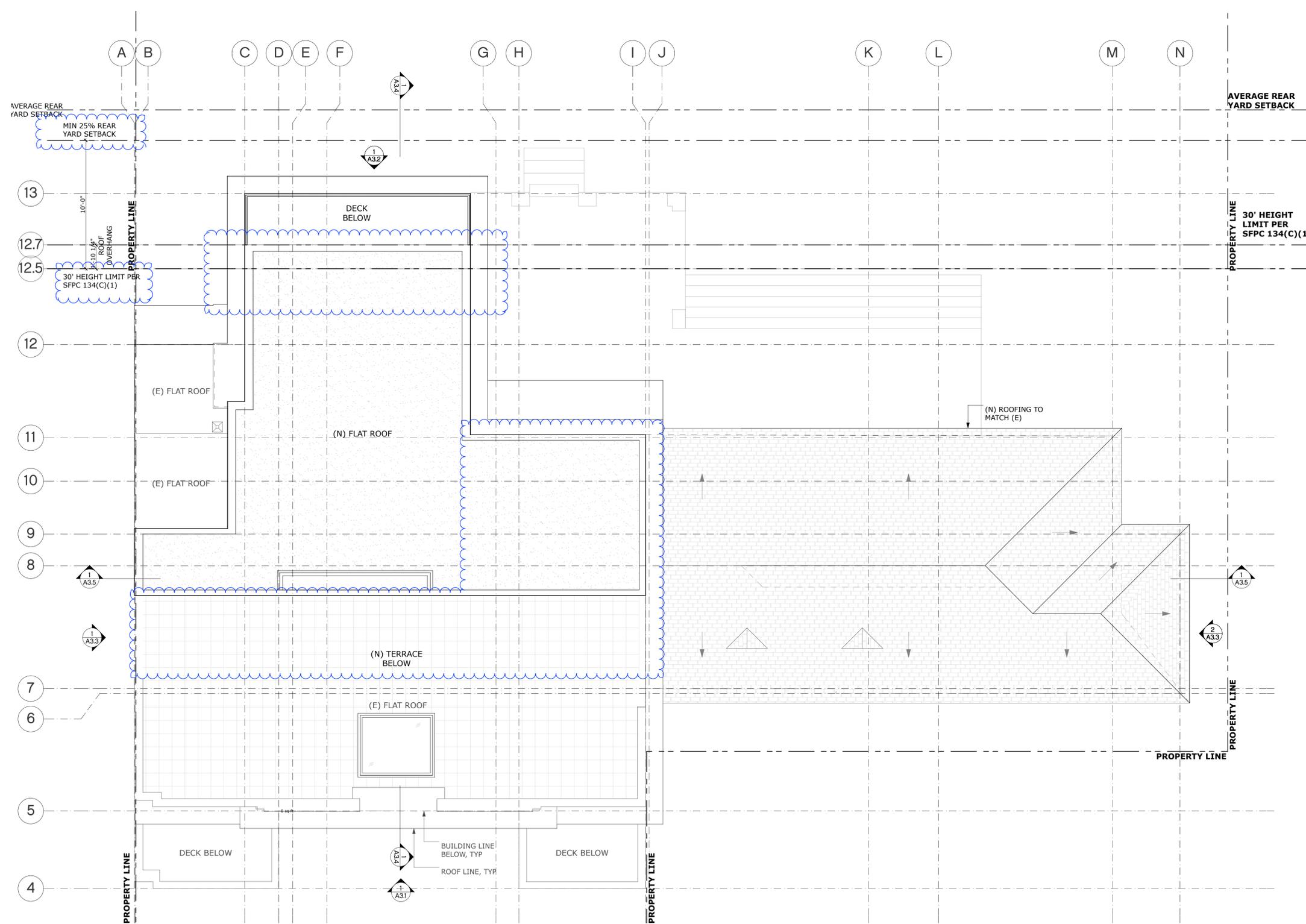
1 PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

N

THIRD FLOOR PROPOSED PLAN

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

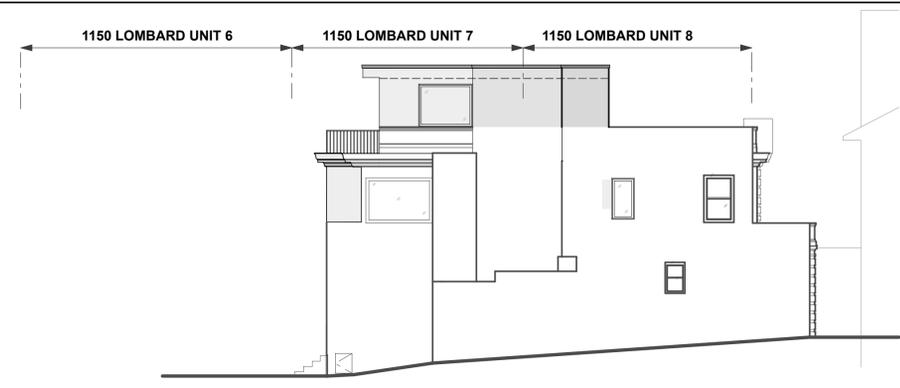
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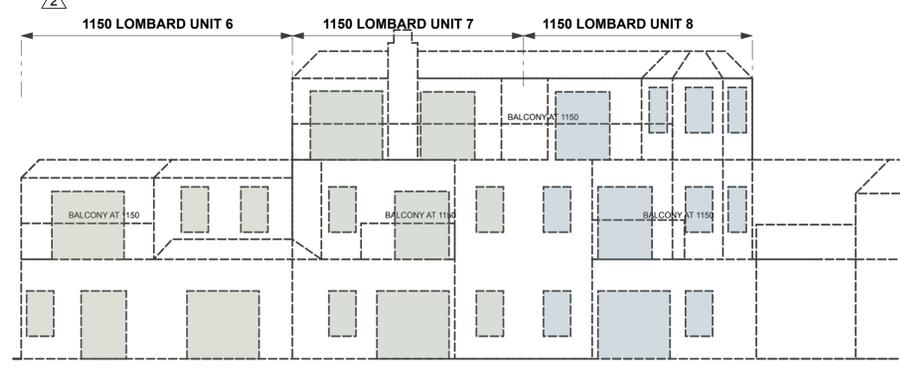
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SCALE:	AS NOTED



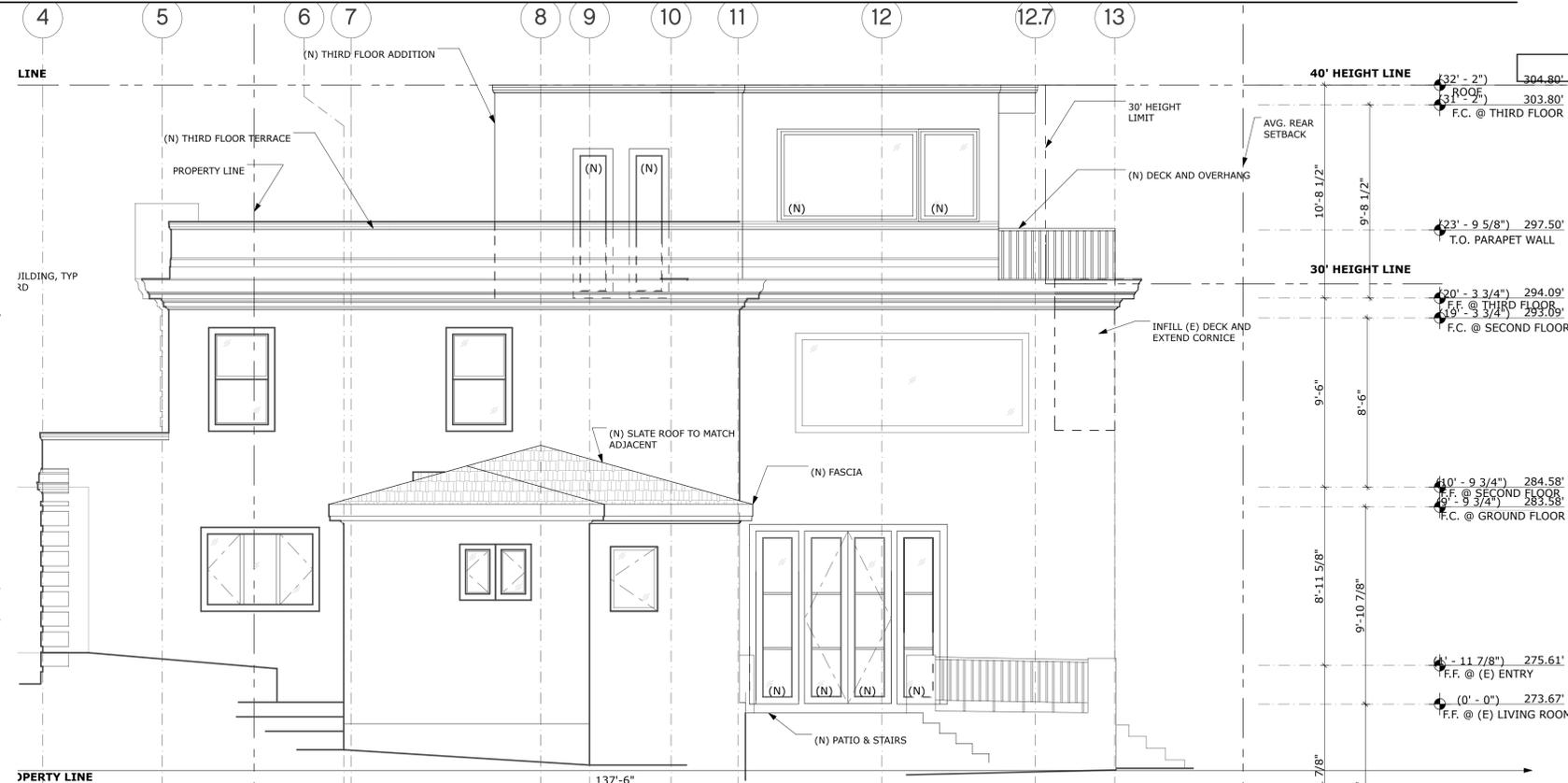
ROOF PROPOSED PLAN



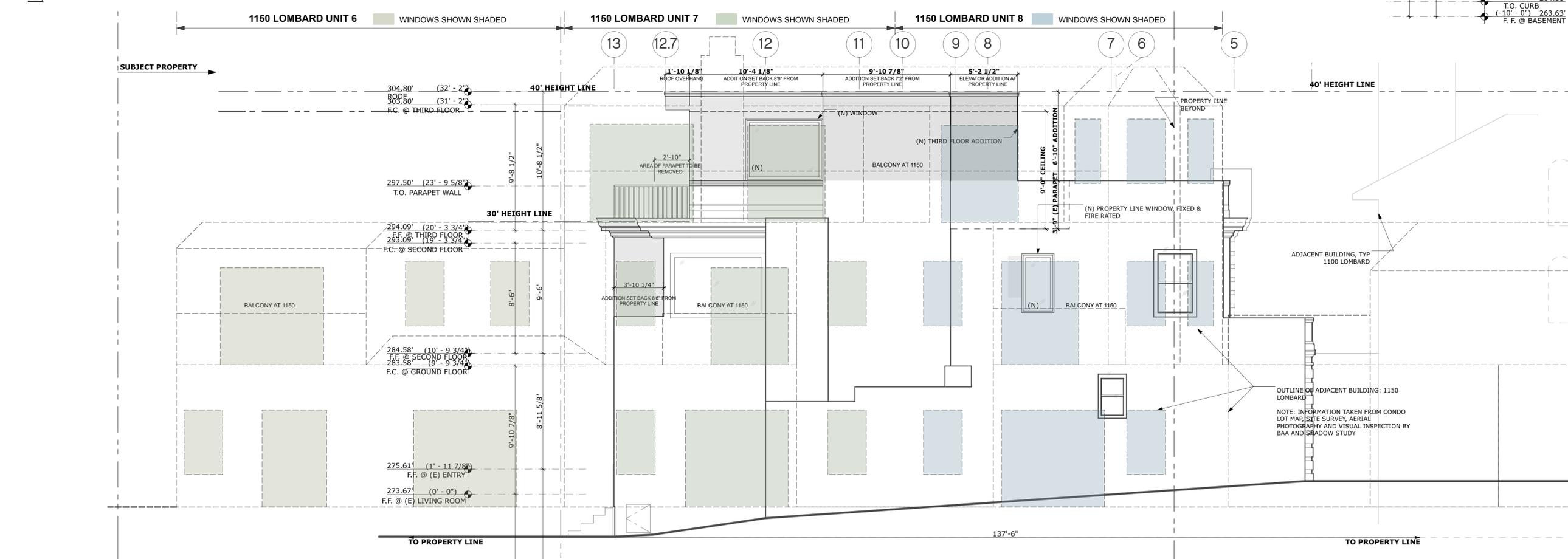
4 WEST ELEVATION WITHOUT OVERLAY FOR REFERENCE
NOT TO SCALE



3 1150 EAST ELEVATION FOR REFERENCE
NOT TO SCALE



2 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

PLANNING SET

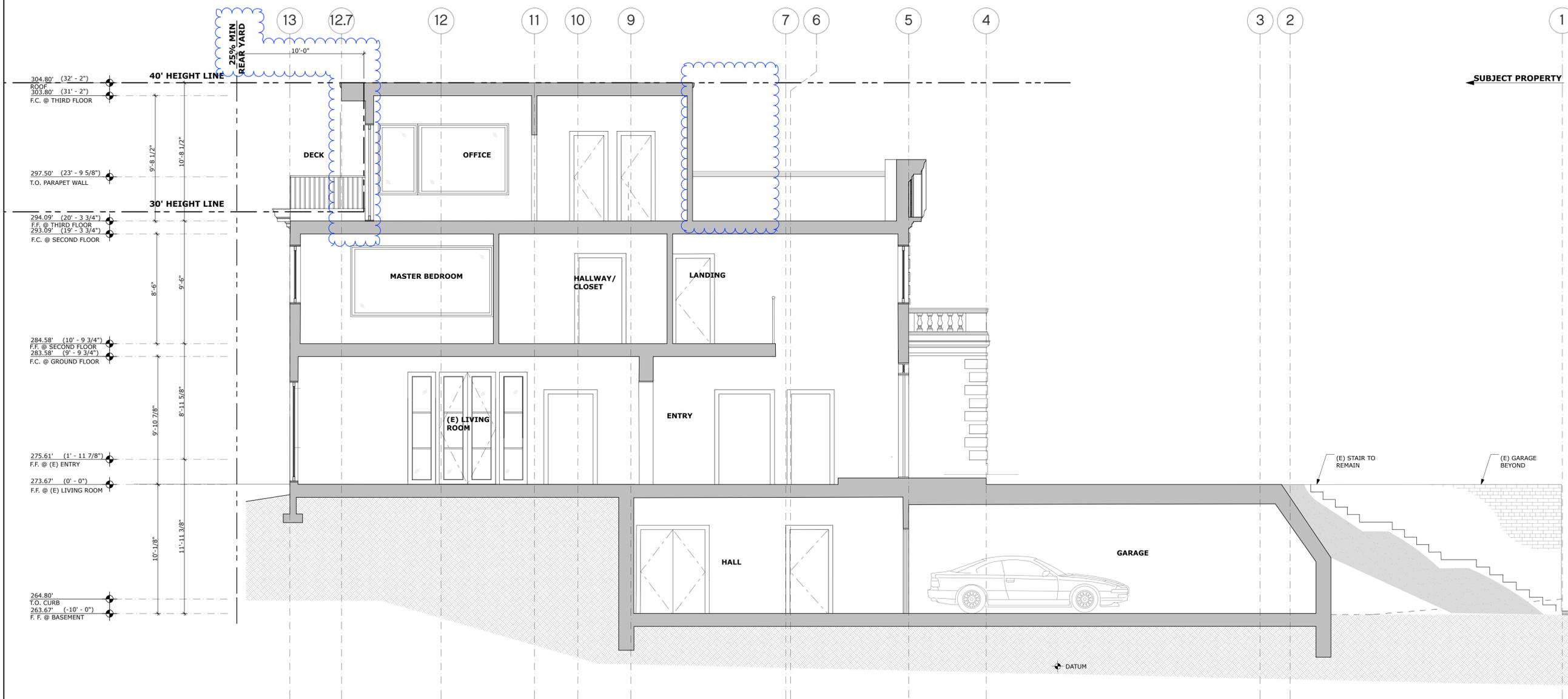
REVISIONS:	BY:
1	NOPDR#1 11/22/13
2	DR 6/5/14

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DATE:	7/8/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED

EXTERIOR ELEVATIONS

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



PLANNING SET

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DATE:	7/8/2013
DRAWN:	EF
CHECKED:	FE
SCALE:	AS NOTED

NORTH-SOUTH SECTION

1 NORTH-SOUTH SECTION
SCALE: 1/4" = 1'-0"

