



# SAN FRANCISCO PLANNING DEPARTMENT

## Certificate of Appropriateness Case Report

HEARING DATE: AUGUST 7, 2013

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Filing Date:* September 6, 2011  
*Case No.:* 2008.0405A  
*Project Address:* 628-632 Steiner Street  
*Historic Landmark:* Alamo Square Landmark District  
*Zoning:* RH-3 (Residential, House, Three-Family)  
40-X Height and Bulk District  
*Block/Lot:* 0822/024  
*Applicant:* Rachel Abraham-Pollard, SF Garage Company  
1760 Mission Street  
San Francisco, CA 94103  
*Staff Contact:* Shelley Caltagirone - (415) 558-6625  
shelley.caltagirone@sfgov.org  
*Reviewed By:* Tim Frye - (415) 575-6822  
tim.frye@sfgov.org

### PROPERTY DESCRIPTION

**628-632 STEINER STREET**, east side between Hayes and Fell Streets. Assessor's Block 0822, Lot 024. The subject lot is approximately 25 feet wide and 106 feet deep with a three-unit, three-story residence. The subject property contains a contributing building within the Alamo Square Landmark District, designated in 1984. The building was designed by architect Matthew O'Brien in 1902 for John Filmer. The property is zoned RH-3 (Residential, House, Three-Family) District and is in a 40-X Height and Bulk District.

The Alamo Square Landmark District contains buildings in a variety of architectural styles, approximately half of which are Victorian and one-third of which are Edwardian. The typical building height is two to three stories; however, the district contains a number of apartment buildings reaching up to 6 stories in height that are also included as contributing buildings. The Alamo Square Landmark District designation report describes the area as "unified in its residential character, relatively small scale, construction type, materials (principally wood), intense ornamentation (especially at entry and cornice), and use of basements and retaining walls to adjust for hillside sites." Historically, the Alamo Square neighborhood was first established as an enclave for primarily upper-middle class residents, often business men and their families. As a result, the area contains a higher than average percentage of architect-designed homes. Later, from about 1912 to 1934, new construction in the neighborhood consisted primarily of apartment blocks, usually replacing earlier large dwellings.

### PROJECT DESCRIPTION

The proposal includes installing a three-car garage at the basement level of the existing 3-unit building. The creation of the garage opening would require removal of the curved, rusticated concrete bay, currently interrupted by a pedestrian door on the south side. The proposed door would be 8' wide by 6'-

8" tall and would be placed flush with the plane of the facade. The rusticated concrete base would be repaired and replicated to infill the area currently occupied by a pedestrian door.

#### **OTHER ACTIONS REQUIRED**

None.

#### **COMPLIANCE WITH THE PLANNING CODE PROVISIONS**

The proposed project is in compliance with all provisions of the Planning Code.

#### **APPLICABLE PRESERVATION STANDARDS**

##### **ARTICLE 10**

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

##### **ARTICLE 10 – Appendix E – The Alamo Square Historic District**

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Alamo Square Historic District as described in Appendix E of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

##### **THE SECRETARY OF THE INTERIOR'S STANDARDS**

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1.** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

*The project would retain the residential use on the lot while creating a garage to support the contemporary use of the building. The proposed garage door opening would minimally impact the distinctive materials and features of the front façade by retaining/replicating the formed concrete base and modifying only the base of the curved three-story bay.*

**Standard 2.** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*All aspects of the historic character of the existing building would be retained and preserved. No distinctive materials, architectural elements, or spaces that characterize the property would be removed. While the curved projecting bay is a distinctive feature of the historic building and district, modifying the base of the bay would not harm the overall character of the front façade.*

- Standard 3.** Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

*The proposed garage structure would be clearly contemporary in its design and would not create a false sense of historical development in the Alamo Square Landmark District as it would use a modern automated door and would not be ornamented with any false historic elements.*

- Standard 5.** Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

*No distinctive materials, features, finishes, construction techniques or examples of craftsmanship would be affected by the proposed project. The curved wall at the base of the bay to be removed has already been compromised by a door opening and does not display any distinctive features, materials, construction techniques, or examples of craftsmanship. The rusticated form and finish of the wall would be retained and replicated where needed to fill in the existing doorway.*

- Standard 9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed garage would not destroy historic materials, features, or spatial relationships that characterized the property. The proposed garage addition would be designed in a contemporary style that clearly reads as a modern intervention. Overall the garage is compatible with the historic building and the district in terms of its scale, minimal size, subordinate proportions in relation to the historic house, and its simply detailed materials. The proposed garage is in keeping with other garage installations on the block and within the district. For these reasons, the work would retain the integrity of both the historic house and the district.*

- Standard 10.** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed garage could be removed in the future without harming the integrity of the historic building and the curved wall rebuilt to restore the original appearance of the building.*

## **PUBLIC/NEIGHBORHOOD INPUT**

The Department has received no public input on the project at the date of this report.

## **STAFF ANALYSIS**

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the subject building and with the Alamo Square Landmark District. The project would retain the three-family residential use on the lot while creating a garage to support the contemporary use of the building. All aspects of the historic character of the existing building would be retained and preserved and no distinctive materials, architectural elements, or spaces that characterize the property would be removed. The portion of the basement wall to be removed does not have any distinctive features beyond the rusticated concrete form, which would be replicated at the base to match the stair walls. The proposed garage would be clearly contemporary in its design and would not create a false sense of historical development in the district. The garage design is in keeping with the existing garages installed at the various sites within the district where the base of a projecting bay is modified to accommodate a new opening, including the adjacent building to the south. The proposed landscaping at either side of the permeable driveway would also create plantings in the front setback area and soften the transitional space between the street and the building.

## **ENVIRONMENTAL REVIEW STATUS**

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Structure) because the project includes a minor alteration of an existing structure. The project was previously reviewed under Case No. 2008.0405E and a Historic Resource Evaluation Response memo was issued on October 17, 2008 finding that the project would not cause a substantial adverse change in the significance of the resource such that the significance of the resource would be materially impaired.

## **PLANNING DEPARTMENT RECOMMENDATION**

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to substantially meet the Secretary of the Interior Standards for Rehabilitation. Staff recommends the following conditions:

1. That, as part of the Building Permit, the Project Sponsor shall submit additional construction details describing the historic formed concrete wall to be replicated at the basement level of the facade to Department Preservation Staff for review and approval.
2. That, as part of the Building Permit, the Project Sponsor shall provide product specifications for the proposed new garage door for review and approval by Planning Department Preservation Staff. The new door shall be of a design that is compatible with the character of subject building and historic district.

## ATTACHMENTS

Draft Motion

Parcel and 1998 Sanborn Maps

Photographs

Plans

Map of Similar Garage Doors within the Alamo Square Historic District

*SC: G:\DOCUMENTS\Cases\COFA\Case Reports\628 Steiner\_Case Report\_8.7.13.doc*



# SAN FRANCISCO PLANNING DEPARTMENT

## Historic Preservation Commission

### Motion No. ####

HEARING DATE: AUGUST 7, 2013

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Filing Date:* September 6, 2011  
*Case No.:* 2008.0405A  
*Project Address:* 628-632 Steiner Street  
*Historic Landmark:* Alamo Square Landmark District  
*Zoning:* RH-3 (Residential, House, Three-Family)  
40-X Height and Bulk District  
*Block/Lot:* 0822/024  
*Applicant:* Rachel Abraham-Pollard, SF Garage Company  
1760 Mission Street  
San Francisco, CA 94103  
*Staff Contact* Shelley Caltagirone - (415) 558-6625  
shelley.caltagirone@sfgov.org  
*Reviewed By* Tim Frye - (415) 575-6822  
tim.frye@sfgov.org

**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 024 IN ASSESSOR'S BLOCK 0822, WITHIN AN RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### **PREAMBLE**

WHEREAS, on September 6, 2011, SF Garage Company, (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to install a three-car garage at the basement level of the existing 3-unit building. The creation of the garage opening would require removal of the curved, rusticated concrete bay, currently interrupted by a pedestrian door on the south side. The proposed door would be 8' wide by 6'-8" tall and would be placed flush with the plane of the facade. The rusticated concrete base would be repaired and replicated to infill the area currently occupied by a pedestrian door.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on August 7, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2008.0405A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2008.0405A based on the following conditions and findings:

### CONDITIONS OF APPROVAL

1. That, as part of the Building Permit, the Project Sponsor shall submit additional construction details describing the historic formed concrete wall to be replicated at the basement level of the facade to Department Preservation Staff for review and approval.
2. That, as part of the Building Permit, the Project Sponsor shall provide product specifications for the proposed new garage door for review and approval by Planning Department Preservation Staff. The new door shall be of a design that is compatible with the character of subject building and historic district.

### FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report.

- The project would retain the three-family residential use on the lot while creating a garage to support the contemporary use of the building.
- The project would retain all aspects of the historic character of the existing building and no distinctive materials, architectural elements, or spaces that characterize the property would be removed.
- The proposed garage would be clearly contemporary in its design and would not create a false sense of historical development in the district.
- The proposed garage design is in keeping with the existing garages installed at the various

sites within the district where the base of a projecting bay is modified to accommodate a new opening.

- The proposed landscaping at either side of the permeable driveway would create plantings in the front setback area and soften the transitional space between the street and the building.
- The proposed project meets the requirements of Article 10, Appendix E of the Planning Code.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

*Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

*Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*Standard 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

*Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

*Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

*Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

POLICY 2.7

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
  - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project is for the rehabilitation of a residential property and will not have any impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not reduce the affordable housing supply as the existing unit will be retained.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed will not have any impact on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 024 in Assessor's Block 0822 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2008.0405A.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission **ADOPTED** the foregoing Motion on August 7, 2013.

Jonas P. Ionin  
Acting Commission Secretary

AYES:

NAYS:

ABSENT:

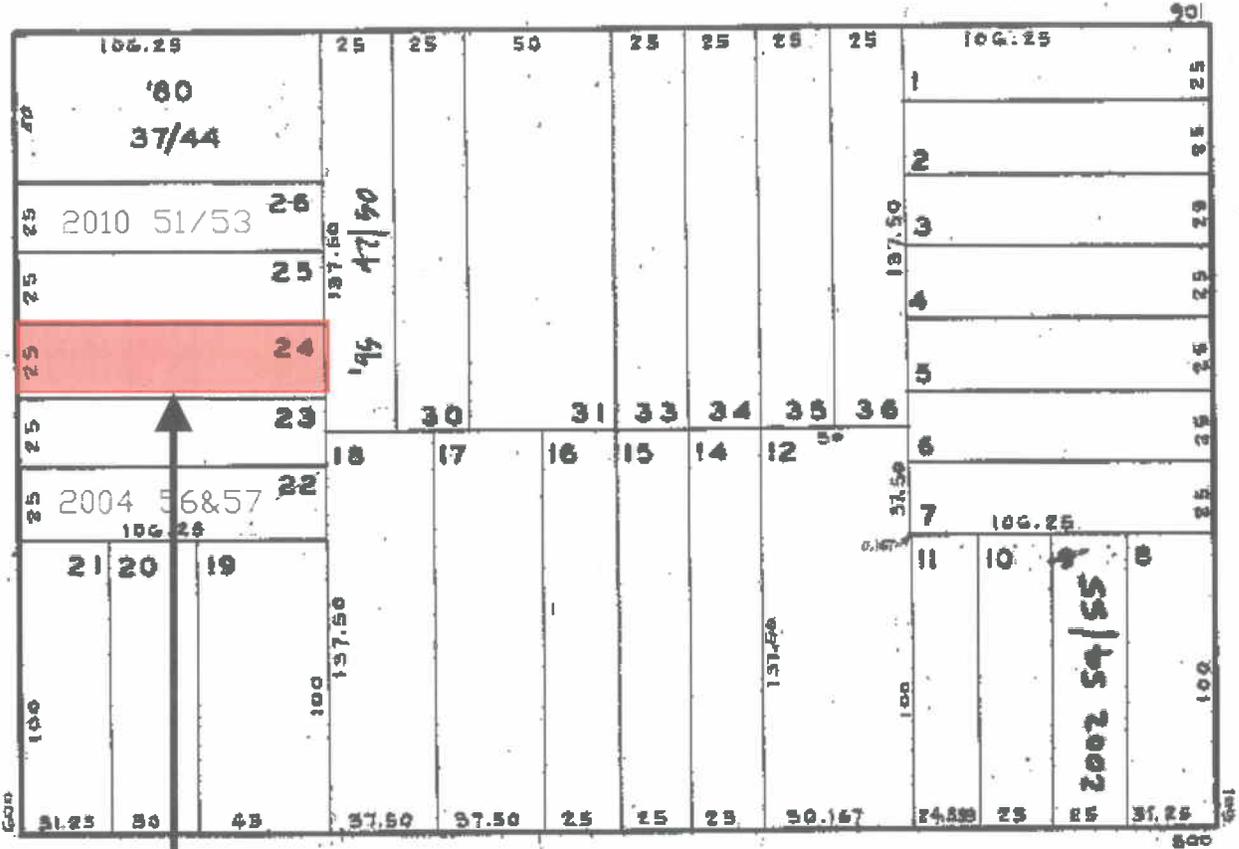
ADOPTED:

# Parcel Map

HAYES

STEINER

FILLMORE



SUBJECT PROPERTY

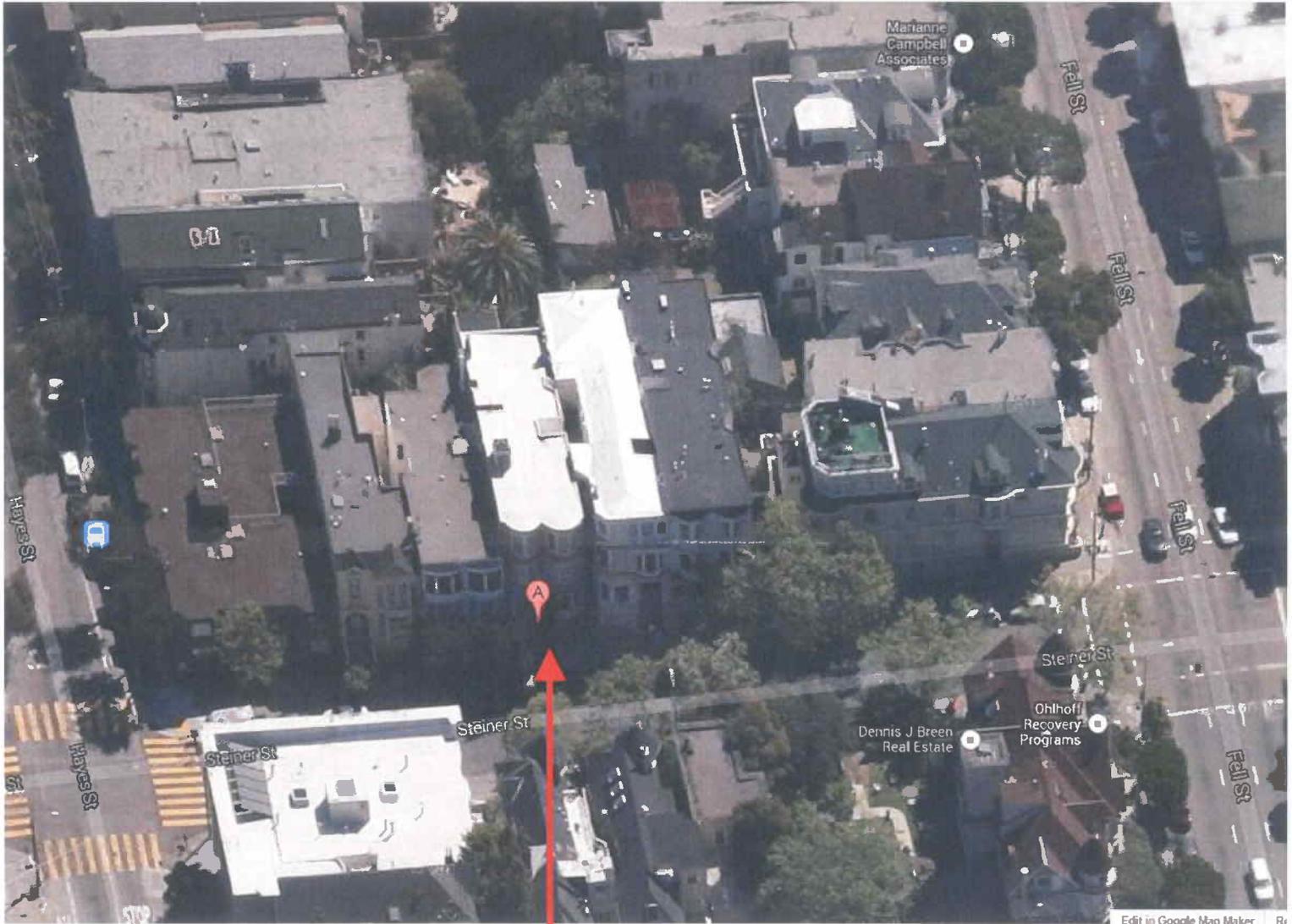
FELL



Certificate of Appropriateness  
 Case Number 2008.0405A  
 628-632 Steiner Street  
 Alamo Square Landmark District

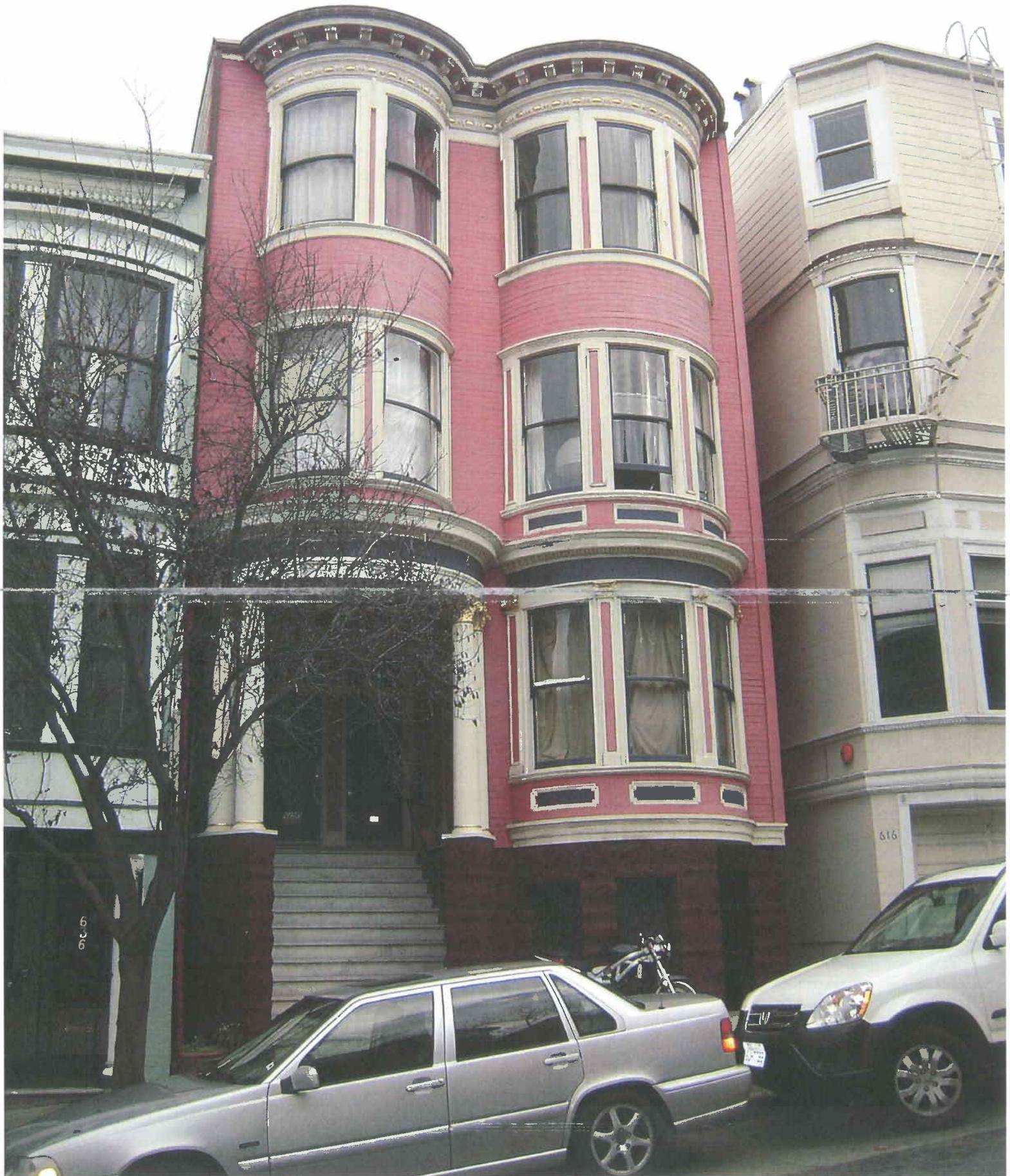


# Aerial Photo



**SUBJECT PROPERTY**

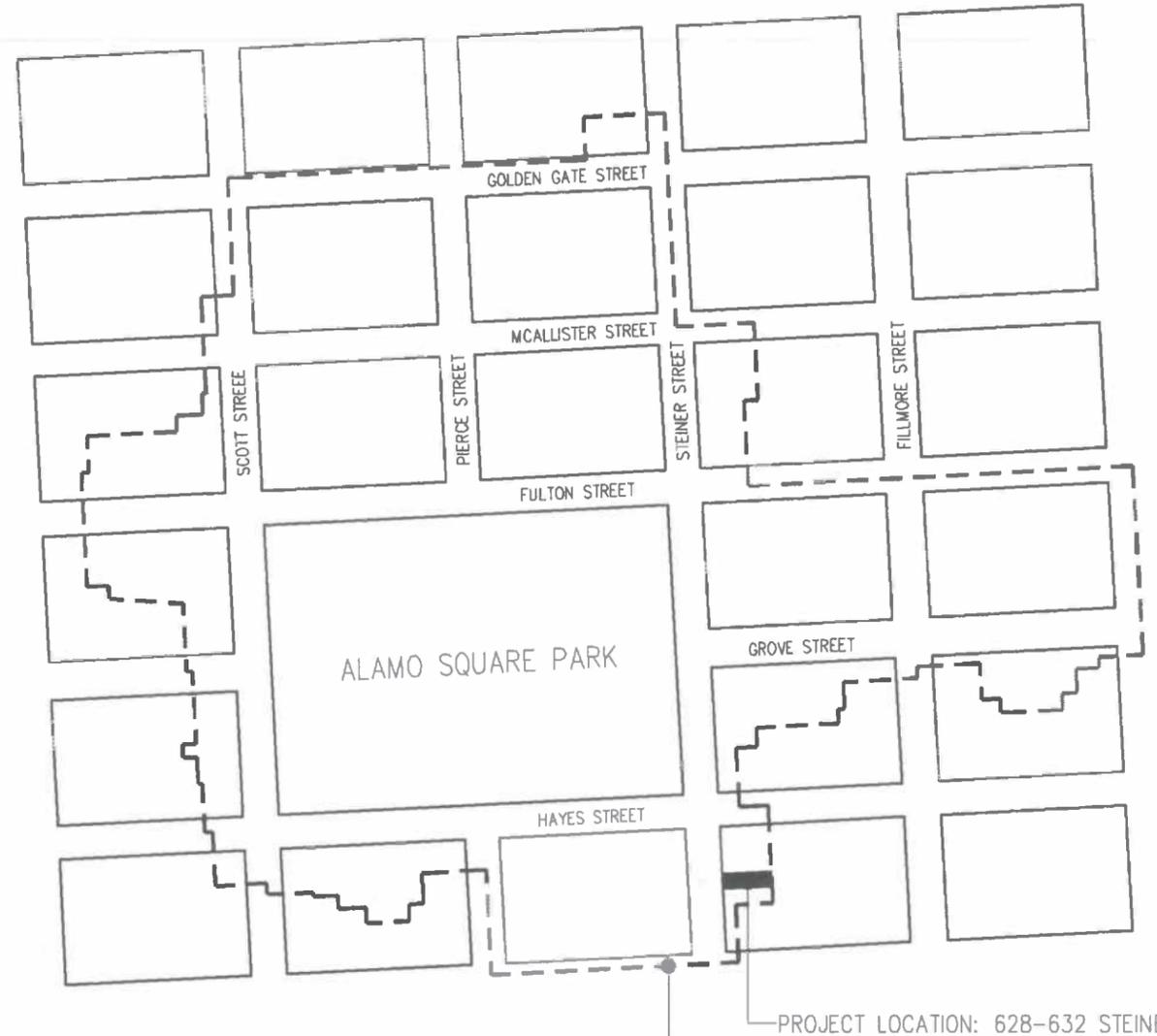






616

## PROJECT SITE



PROJECT LOCATION: 628-632 STEINER

EXTENT OF ALAMO SQUARE HISTORIC DISTRICT

## PROJECT LOCATION



## PROJECT INFORMATION

ADDRESS: 628-632 STEINER STREET  
SAN FRANCISCO, CA 94117  
OWNER: ALAIN CALEFAS  
415.437.2525

BLOCK NO: 822  
LOT NO: 024

ZONING: RH-3

OCCUPANCY: R-1

LOT AREA: 106'-0" X 25'-0" = 2,650 SF

BUILDING AREA:  
628 STEINER (FIRST LEVEL) : 1,673.7 SF  
630 STEINER (SECOND LEVEL): 1,745.5 SF  
632 STEINER (THIRD LEVEL): 1,823.8 SF  
TOTAL BUILDING AREA 5,243.0 SF

SCOPE OF WORK:  
MODIFY EXISTING RADIUS BAY WHICH CURRENTLY EXTENDS TO THE SIDE WALK (AND WHICH HAS BEEN PREVIOUSLY MODIFIED AT SOME TIME IN THE PAST) TO ALLOW ACCESS TO A NEW PARKING GARAGE FOR TENANT USE WHICH WILL REPLACE THE EXISTING STORAGE USES IN THE EXISTING BUILDING.

## DRAWING INDEX

- A0 COVER SHEET/PROJECT INFORMATION
- A1 SITE PLAN
- A2 CONTEXT PHOTOS
- A3 CONTEXT PHOTOS
- A4 CONTEXT PHOTOS
- A5 EXISTING BASEMENT PLAN
- A6 EXISTING STREET ELEVATION/SECTION
- A7 PROPOSED BASEMENT PLAN
- A8 PROPOSED STREET ELEVATION/SECTION

**RECEIVED**

APR 03 2008

**CITY & COUNTY OF S.F.**  
PLANNING DEPARTMENT  
M.E.A.

Jean Orino, Architect  
2422 5th Street  
Berkeley, CA 94710  
P. 415-606-4868  
F. 415-358-8660

**REMODEL**  
**628 STEINER STREET**  
**BLOCK NO. 822/LOT NO. 024**

PROJECT INFORMATION

N.T.S.

5 MARCH 2008

**A0**

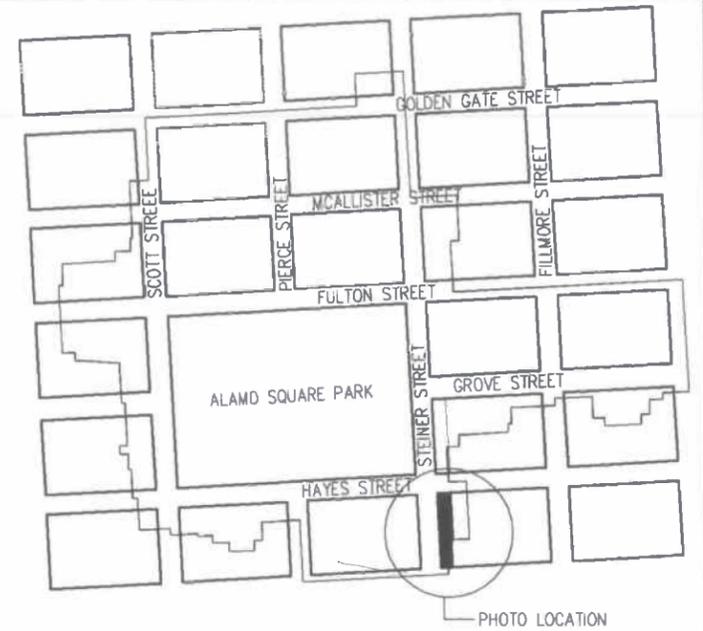


640-642 STEINER STREET  
 636-638 STEINER STREET  
 618-626 STEINER STREET  
 606-616 STEINER STREET

**STEINER STREET EAST ELEVATION**



**SUBJECT PROPERTY:  
 628,620,632 STEINER STREET**



Jean Orino  
 2422 5th Street  
 Berkeley, CA 94710  
 P. 415-606-4868  
 F. 415-358-8660

**REMODEL**  
**628 STEINER STREET**  
**BLOCK NO. 822/LOT NO. 024**

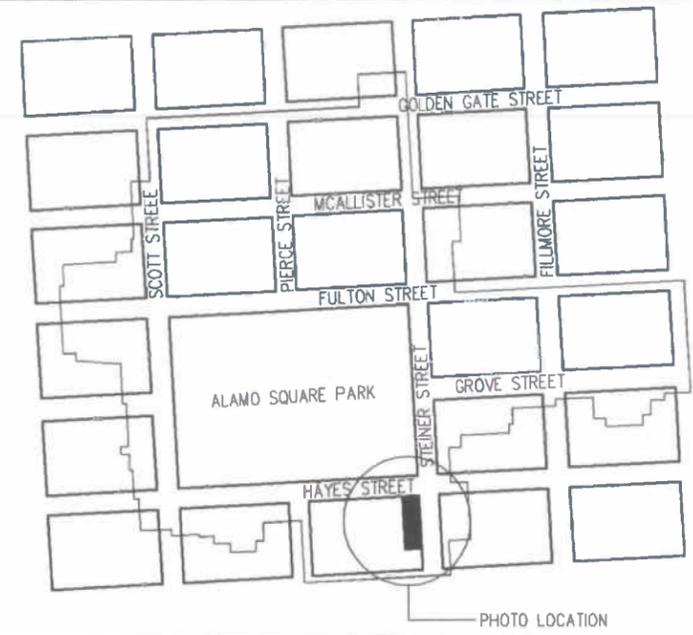
**CONTEXT PHOTOS**

5 MARCH 2008 N.T.S.

**A2**



**STEINER STREET WEST ELEVATION**



Jean Orino  
 2422 5th Street  
 Berkeley, CA 94710  
 P. 415-606-4868  
 F. 415-358-8660

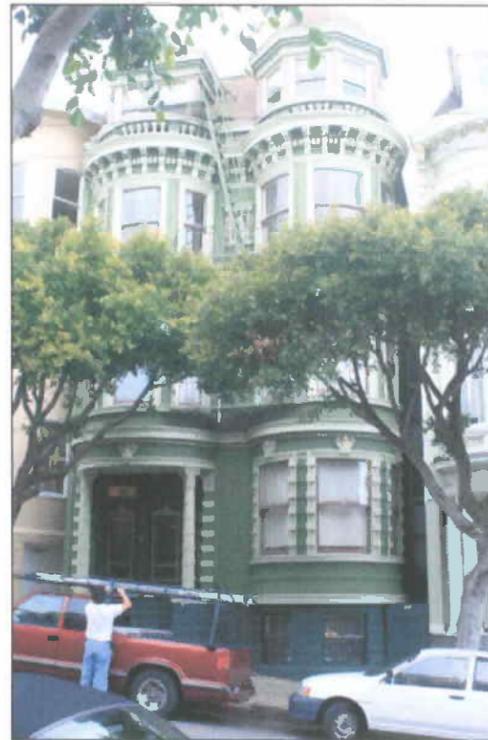
**REMODEL**  
**628 STEINER STREET**  
**BLOCK NO. 822/LOT NO. 024**

**CONTEXT PHOTOS**

5 MARCH 2008

N.T.S.

**A3**



1340 -1344 McCALLISTER



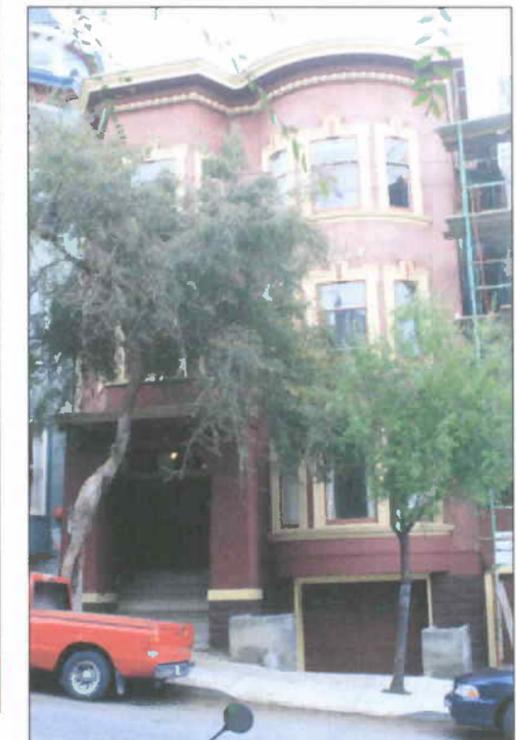
1334 -1338 McCALLISTER



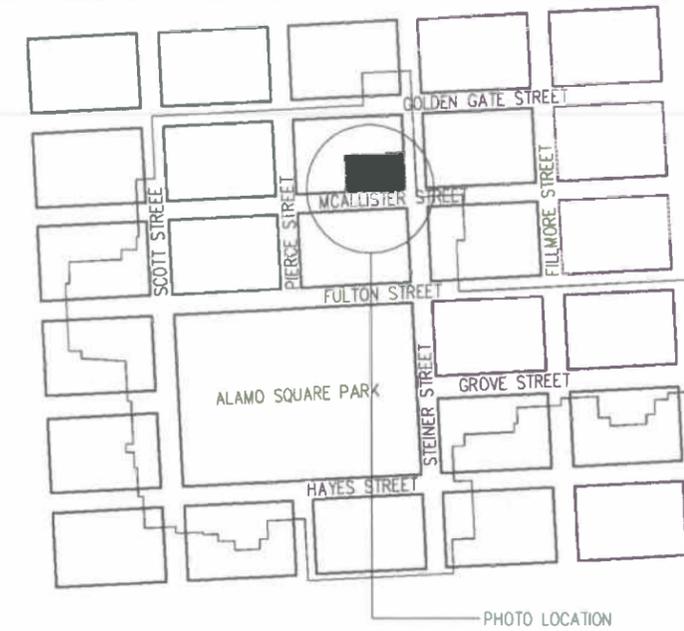
1328 -1332 McCALLISTER



1322 -1326 McCALLISTER



1320 -1318 McCALLISTER



**SIMILAR CONTEXT WITH IN THE ALAMO SQUARE HISTORIC DISTRICT**

NOTE: MODIFICATION PROPOSED IS VERY SIMILAR MODIFICATION WORK DONE AT 1334-1338 McCALLISTER STREET

Jean Orino  
2422 5th Street  
Berkeley, CA 94710  
P. 415-606-4868  
F. 415-358-8660

**REMODEL**  
628 STEINER STREET  
BLOCK NO. 822/LOT NO. 024

CONTEXT PHOTOS

5 MARCH 2008

N.T.S.

**A4**



1325 MCCALLISTER



1338 MCCALLISTER

CASE NO. 20010105A  
APPROVED 12/12/01  
VARIANCE NO 200101005



1306 MCCALLISTER

C OF A APPROVED 3/13/07  
NO. A20060002A



931 STEINER

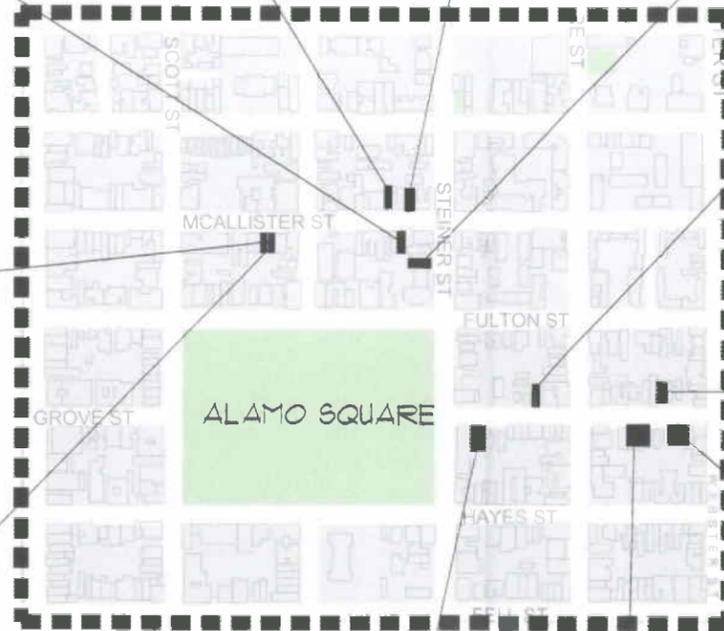


926 GROVE

C OF A 20060463A  
APPROVED 4/4/06  
PERMIT 200701091347  
8 CAR GARAGE



1429 MCCALLISTER



ALAMO SQUARE  
HISTORICAL DISTRICT MAP



814 GROVE



805 GROVE

807 GROVE



1425 MCCALLISTER



981 GROVE



815 GROVE



817 GROVE

MERCURY ENGINEERING  
1041A Polger St., Berkeley CA 94710  
510.549.0440 fax: 510.704.1975



BLOCK 0822 LOT 024  
628-630 STEINER STREET  
SAN FRANCISCO, CA

Date: FEB 2012  
Dwg Size: 24x36  
Scale: A.N.

BAY WINDOWS  
WITH FLAT GARAGE  
ENTRANCE DOORS  
AT ALAMO SQUARE  
HISTORICAL DISTRICT

SHEET

A-2

OF 5 SHEET

**GENERAL NOTES:**

**1. GENERAL CONDITIONS:**

- A. Details and dimensions of construction shall be verified at the site by the Contractor, and discrepancies between the plan and existing conditions shall be promptly reported to the Structural Engineer.
- B. Do not Scale These Drawings.
- C. All works shall comply with the requirements of CBC 2010, IBC 2009 & San Francisco Building Code 2010.
- D. Mercury Engineering Group assumes no responsibility for the supervision of construction or proper execution of the work shown on these drawings. Safety methods and techniques are the sole responsibility of the Contractor.
- E. Project has been designed in accordance with the 2010 California Building Code, CEC, CMC and CPC, and 2010 California Energy Code. Comply with City of San Francisco.
- F. Emergency Egress Windows: The sill height of at least one window in each bedroom will not exceed 44" above fin. flr, and it will have an escape opening w/a minimum net clear opening of 5.7square feet (except at the grade -floor where it can be 5 square feet); minimum net clear opening height of 24" and a minimum net clear opening width of 20", all as per CBC 1026.2, 1026.2.1 & 1026.3 Typical.
- G. All drywall to be 5/8" type "X" thick. Install corner beads at all outside corners. Fasten drywall to framing with drywall screws. Provide a smooth finish at all walls. UON. All joints to be taped and sanded so that there is no distinguishable transition. Contractor shall deliver all new walls perfectly even. The owner's and architect's criteria will be the sole measure for approval of the finished work.
- H. 1 Hour Construction: Provide 5/8" type "X" G.W.B. at walls and ceilings between residence and garage, mechanical room and residence.
- I. Provide Solid blocking as necessary for all wall mounted shelves fixtures and fittings. See interior elevation, where applicable.
- J. Tempered glazing is required as per UBC 2406.3. Glazing to be tempered includes but is not limited to: glazing that is less than 18" above finish floor; within 24" radius of doors; Glass door and panels of shower and bathtub enclosures and adjacent glazed openings within 60" above a standing surface and drain inlet shall be fully tempered.
- K. Batt Insulation to have R value as per title 24 Report from CF-IR, typical.
- L. All plumbing is design/build by the Plumbing contractor and is to meet required codes and T-24 requirements. Low flow plumbing fixtures & fittings will be used in all bathrooms, etc. Toilets to have a max. allowable flush of 120 gal. When there are fixtures @ three levels, cast iron or other approved non-plastic materials for drain, waste, & vents is to be used.
- M. Shower & shower/tub combinations to have pressure balance mixing valves or thermostatic valves as per UPC section 420.0
- N. Provide ceramic tile or stone finish at all shower and tub w/ shower area to a minimum height of 70" above the drain inlet over a moisture resistant underlayment, typical. Verify with interior elevation, if applicable.
- O. No dishwashing machine shall be directly connected to a drainage system of food disposer with out the use of an approved air gap fitting on the discharge side of the dishwashing machine. CPC/UPC Section 807.4.
- P. All Building water supply systems in which quick acting valves are installed shall be provided with devices to absorb the hammer caused by high pressures resulting from the quick closing of these valves. Water hammers shall be installed as close as possible to these valves CPC/UPC Section 609.10.
- Q. Hose bibs to have non-removable back-flow prevention devices on all exterior locations.
- R. Mechanical work is to meet required codes and Title 24 requirements. High & Low combustion air opening @ FAU(s) & water heater(s) CPC. Mechanical ventilation for bath rooms, etc... Provide mechanical ventilation system capable of providing five air changes per hour as required per UPC.
- S. Water heater pressure relief valve shall terminate outside building or to approved drain. Provide 2 seismic straps (1/6 gage metal) one located 1/3 from the top and one located 1/3 from the bottom of the water heater.
- T. Dryer exhaust to have smooth metal duct extending to outside w/backdraft damper as per CMC. Provide overflow.
- U. All stairways to be min. 36" in width with a maximum rise of 7.75" and a minimum run of 10". Stairways with 4 or more risers to have a continuous handrail at one side extending from bottom riser to top riser, per CBC 1009. Handrails to have 1 1/2" to 2" grippable cross section, no sharp corner, height of 34"-38" above nosing and will return to walls or terminate at newel post, per CBC 1012.

**2. CARPENTRY:**

- A. Beams, joists and purlins shall only be cut as shown on drawings. Holes and cutouts shall not be larger than 1/3 of the depth of member from top nor be located farther than 3 times depth of member from supports.
  - B. Timber fasteners and hangers shall be as manufactured by Simpson Company or equal.
  - C. All nails shall be common nails.
  - D. Framing lumber shall be Douglas Fir (Unless otherwise noted)
- | USE    | GRADE        |
|--------|--------------|
| Sill   | #2 or better |
| Plates | #2 or better |
| Joists | #1           |
| Foote  | #1           |
| Studs  | #2           |

**PROPERTY DATA:**

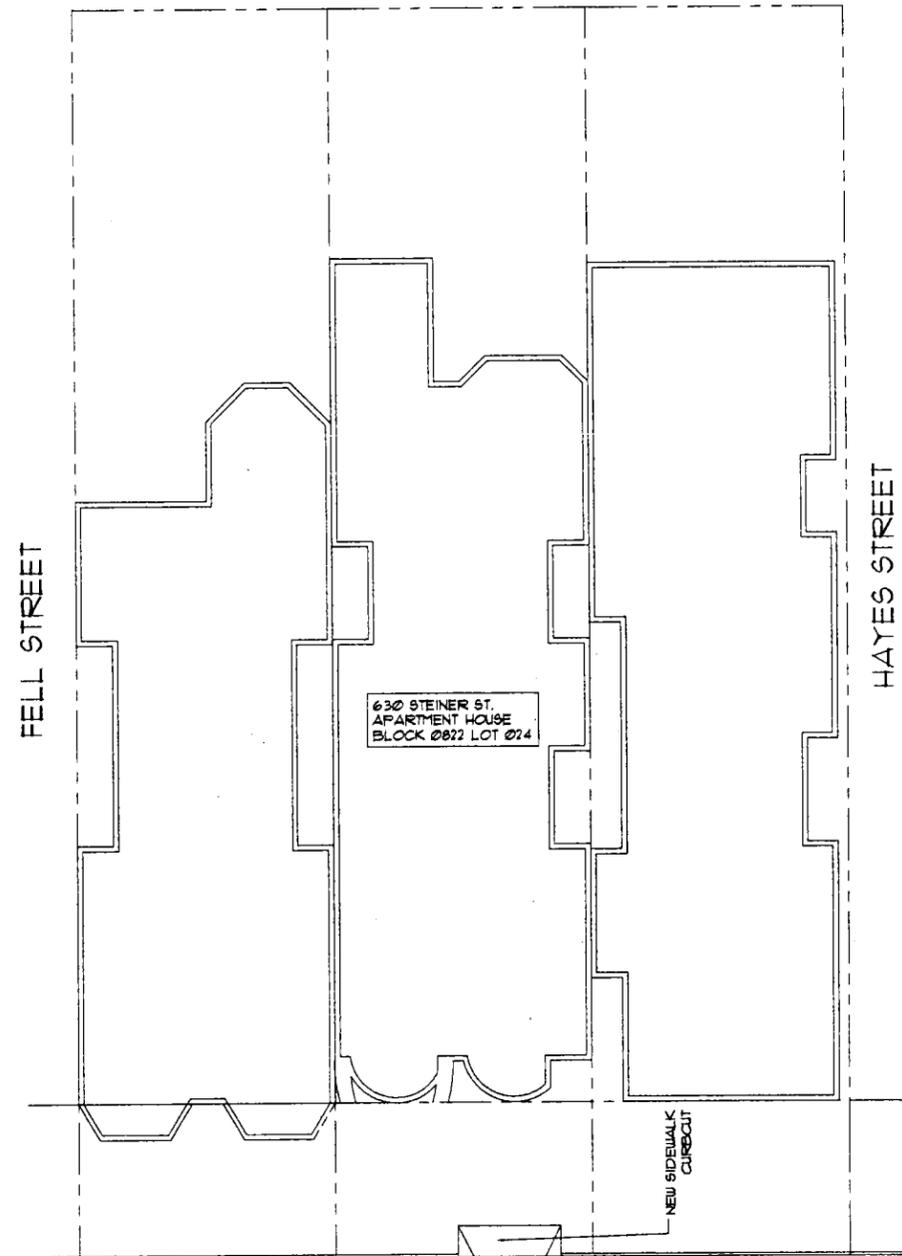
ADDRESS : 628-630 STEINER STREET  
 BLOCK/LOT : 0822/024  
 TYPE OF CONSTR : V-B  
 NO OF STORIES OF OCCUPANCY : 3  
 PRESENT USE : THREE FAMILY DWELLING  
 OCCUP. CLASS : R-2  
 NO OF DWELLING UNIT : 3

**SCOPE OF WORK:**

CONVERT (E) STORAGE TO NEW GARAGE AREA  
 PROVIDE SIDEWALK IN FRONT OF THE BUILDING

**DRAWING INDEX:**

- A1: GENERAL NOTES & PLOT PLAN
- A2: (E) & (N) ELEVATION FRONT VIEW
- A3: (E) & (N) GARAGE PLAN
- A4: (E) & (N) SECTION ELEVATION
- A5: (E) & (N) CURBCUT AT STEINER STREET



STEINER STREET

**PLOT PLAN**  
 SCALE 1/8" = 1'-0"

FELL STREET  
 HAYES STREET

MERCURY ENGINEERING  
 1001A Polaris St., Berkeley CA 94710  
 510.549.0440 fax: 510.704.1975



BLOCK 0822 LOT 024  
 628-630 STEINER STREET  
 SAN FRANCISCO, CA

Date: JULY 2013

Dwg Size: 24x36

Scale: A.N.

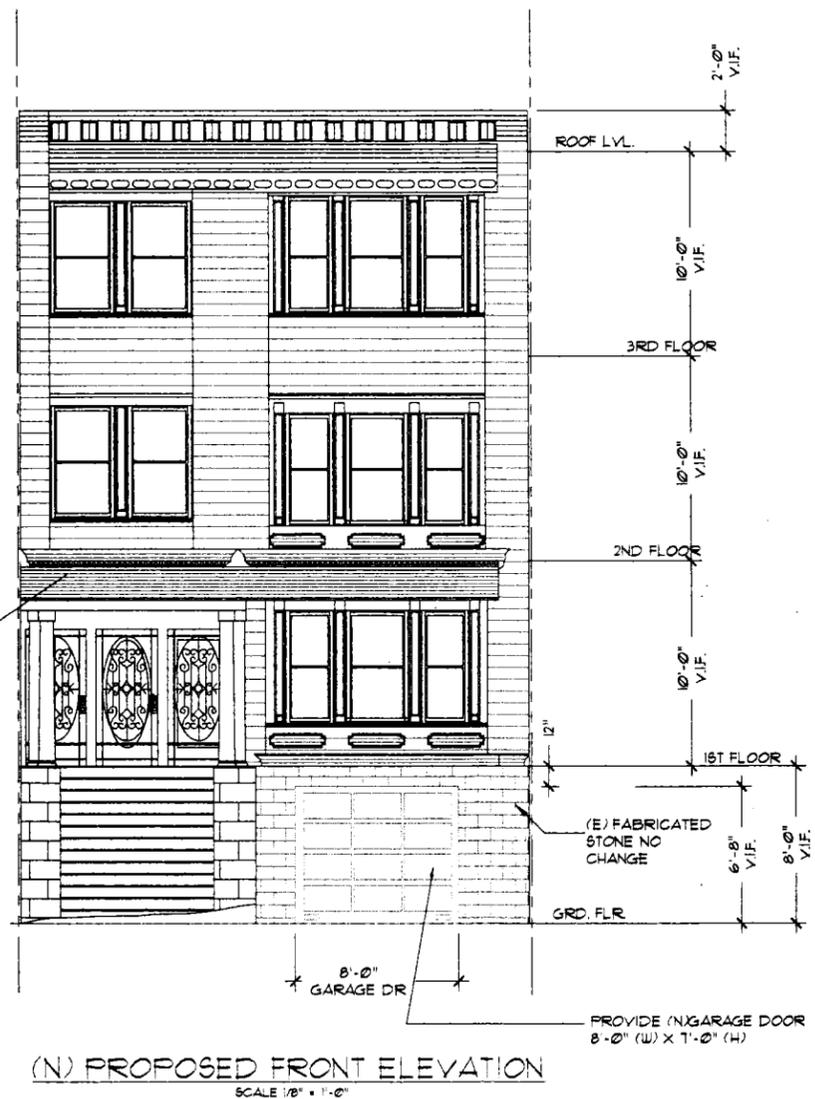
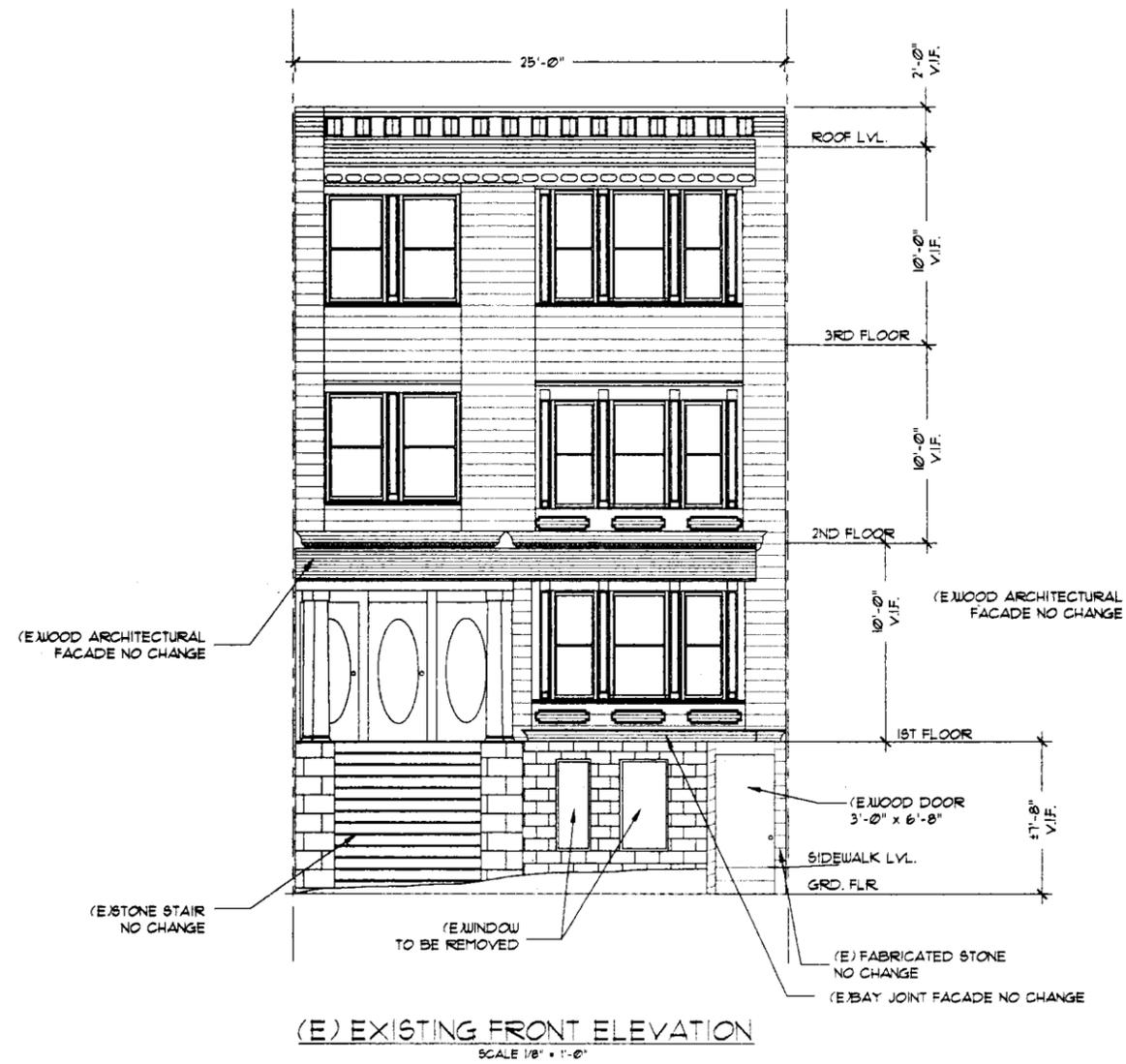
GENERAL NOTES

SHEET

A-1

OF 1 SHEET





MERCURY ENGINEERING  
1011A Folger St., Berkeley CA, 94710  
510.549.0440 fax: 510.704.1975



BLOCK 0822 LOT 024  
628-630 STEINER STREET  
SAN FRANCISCO, CA

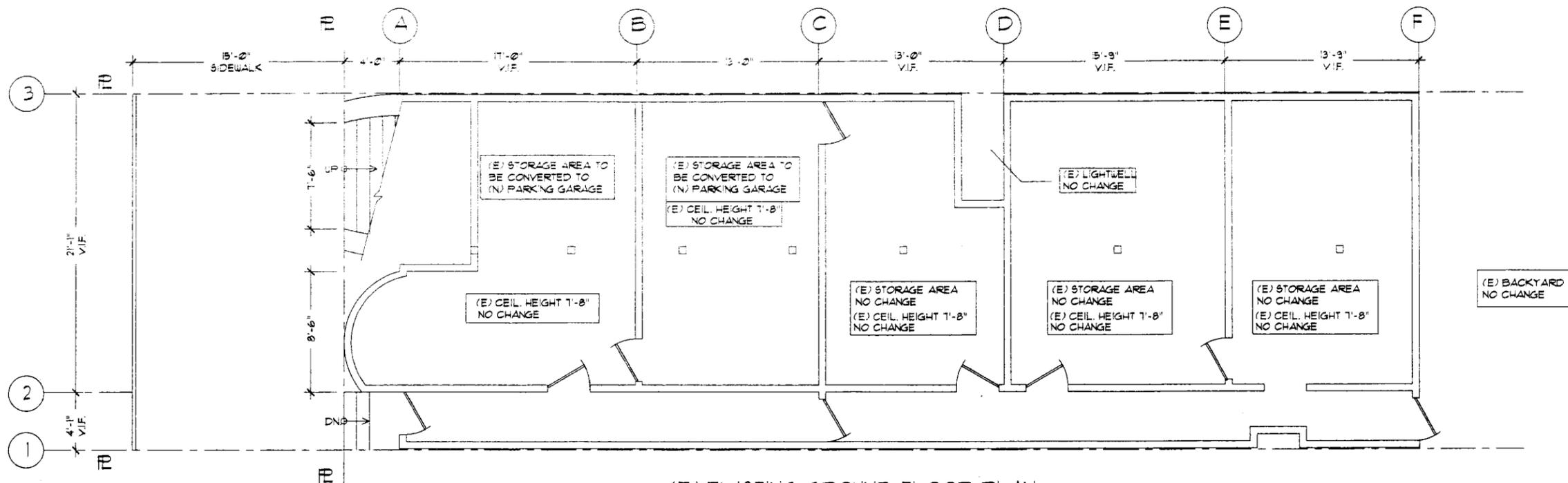
Date: JULY 2013  
Dwg Size: 24x36  
Scale: A.N.

ELEVATION VIEW

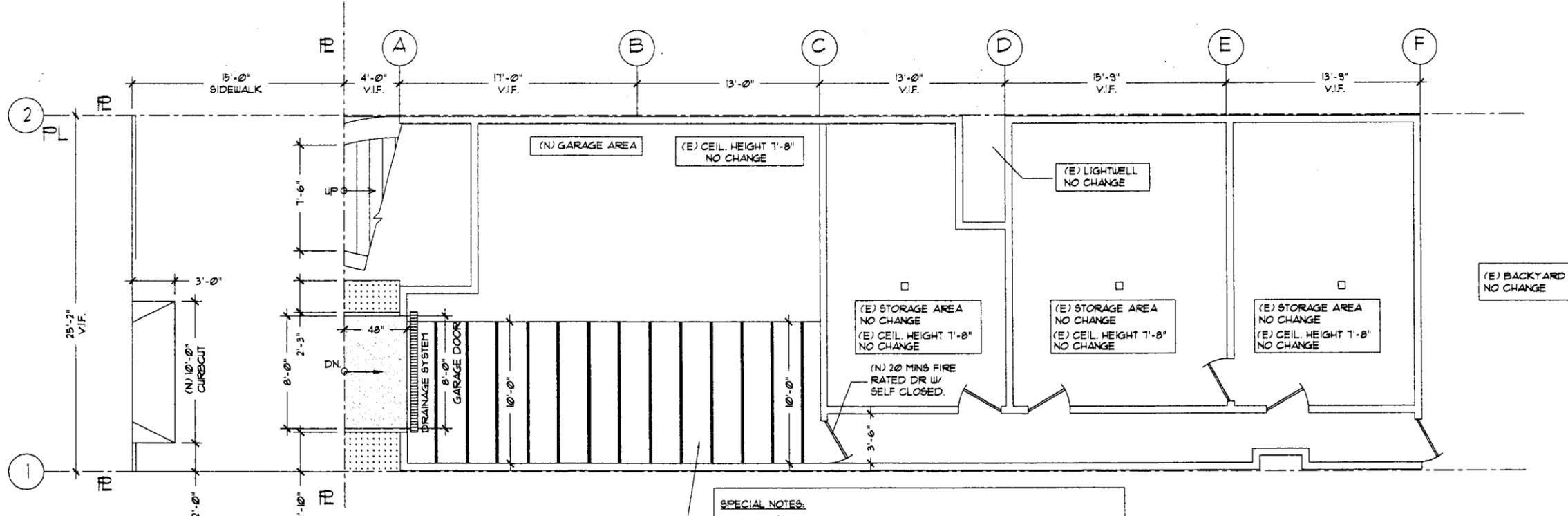
SHEET

A-2

OF SHEET



(E) EXISTING GROUND FLOOR PLAN  
SCALE 1/8" = 1'-0"



TOTAL SURFACE AREA = 25'-0" x 4'-0" = 100SF x 50% = 50SF  
 PERMEABLE SURFACE = 30.8 SF  
 PLANTED AREA = 20 SF  
 TOTAL 50 SF PERMEABLE INCLUDING PLANTED.

PERMEABLE SURFACE (POROUS ASPHALT)  
 LANDSCAPING AREA

**SPECIAL NOTES:**

1. THE PATH OF EXIT TRAVEL THROUGH THE GARAGE SHALL BE MARKED BY AT LEAST 2 INCHES WIDE STRIPES PLACED PARALLEL AT 24 INCHES ON CENTER IN CLEARLY CONTRASTING COLORS.
2. THE MARKED PATH SHALL BE AT LEAST 10 FEET WIDE. THIS PATH TRAVEL FOR EXIT ONLY NO PARKING.
3. DISPLAYED SIGN: EXIT PATH. DO NOT OBSTRUCT.
4. THE PATH OF EXIT TRAVEL SHALL BE ILLUMINATED WITH SFBC 10032.9.

**GENERAL NOTES:**

1. PROVIDE 400 SQ. IN VENTILATION W/MIN. • GARAGE DOOR
2. (E) SPRINKLER SHOULD BE UPGRADED WITH ORDINARY-TEMPERATURE, QUICK-RESPONSE FIRE SPRINKLERS.



MERCURY ENGINEERING  
 1041A Folger St., Berkeley CA 94710  
 510.549.0440 fax: 510.704.1975

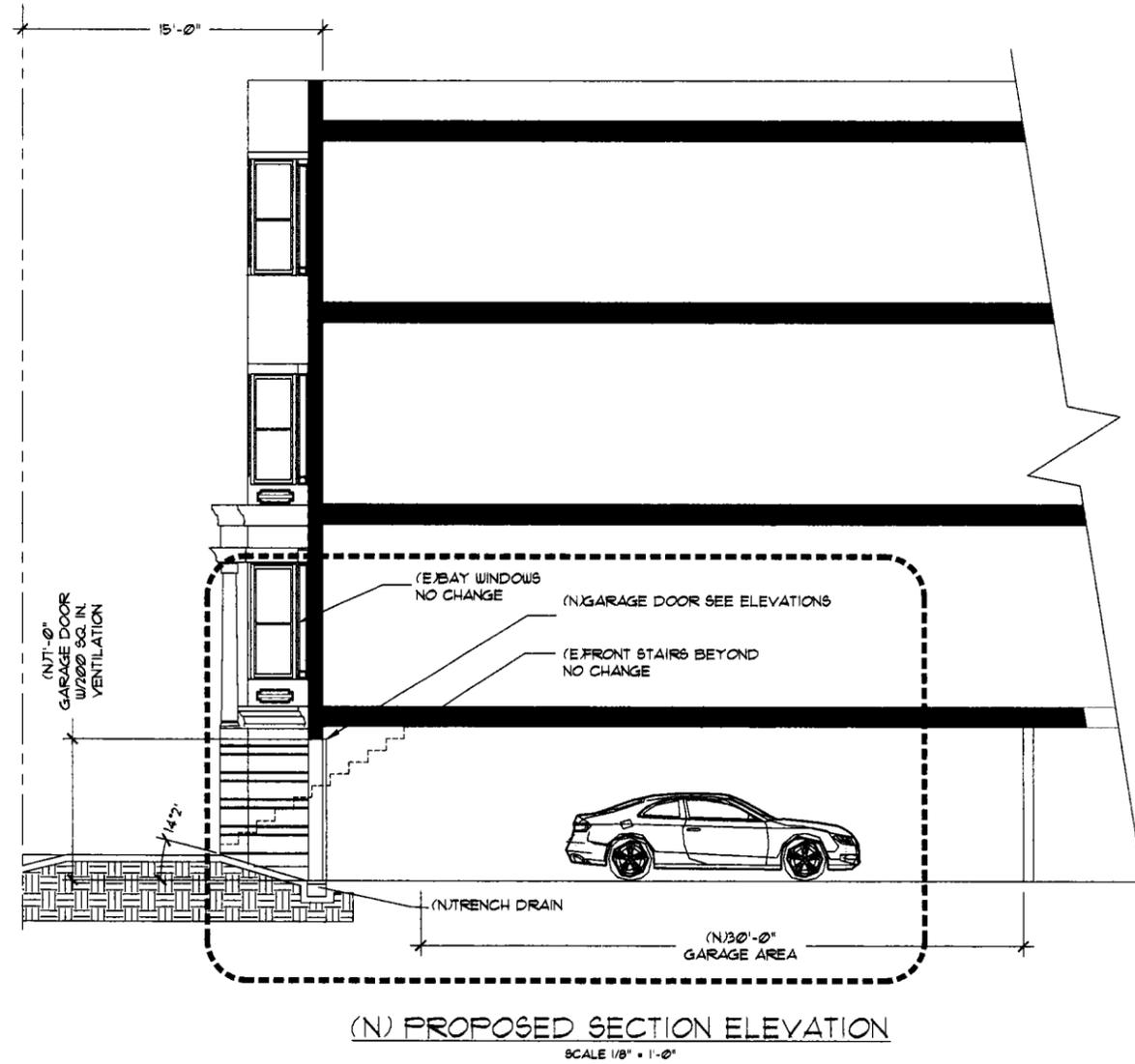
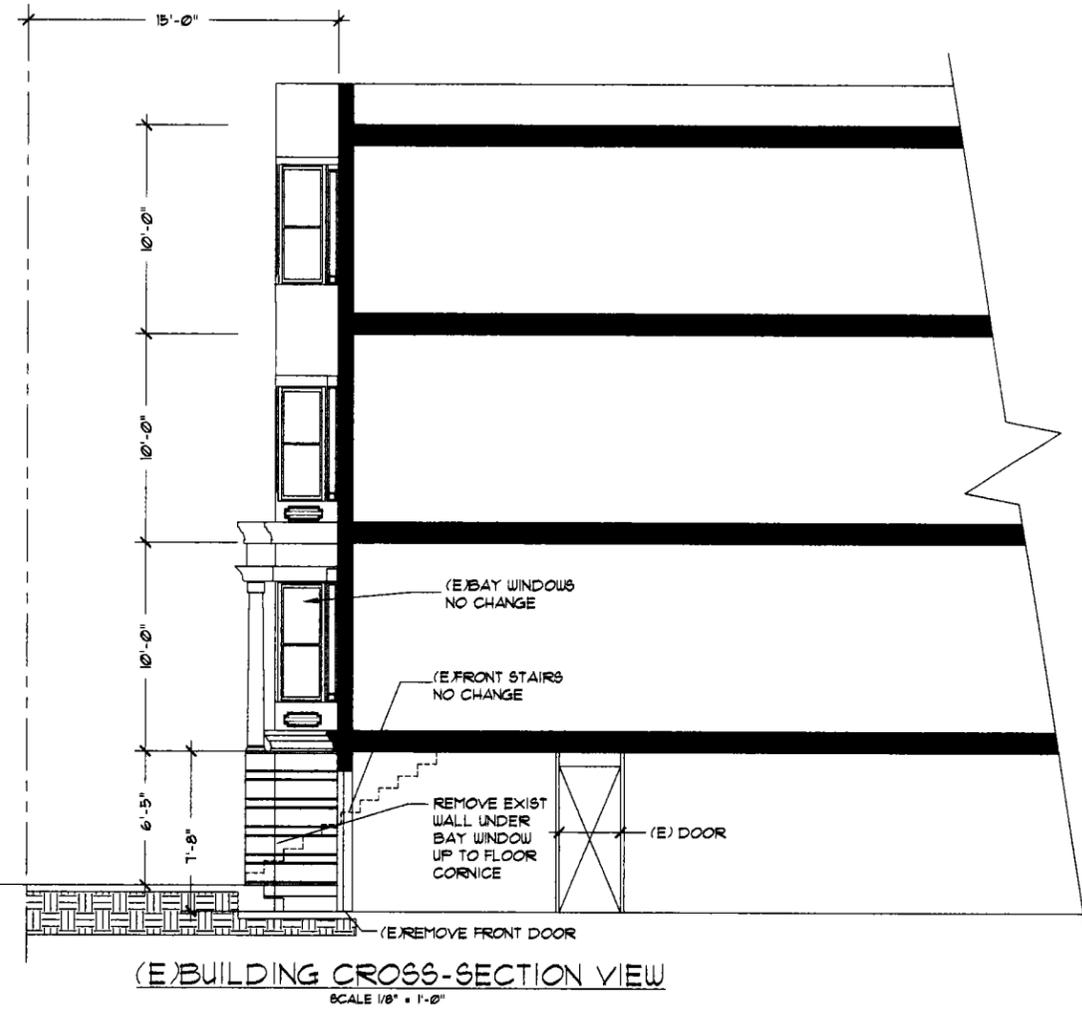


BLOCK 0822 LOT 024  
 628-630 STEINER STREET  
 SAN FRANCISCO, CA

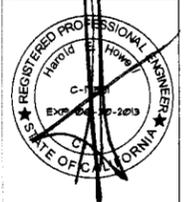
Date: JULY 2013  
 Dwg Size: 24x36  
 Scale: A.N.

(E) & (N)  
 GARAGE PLAN

SHEET  
 A-3  
 OF SHEET



MERCURY ENGINEERING  
 1041A Folger St., Berkeley CA 94710  
 510.549.0440 fax: 510.704.1975

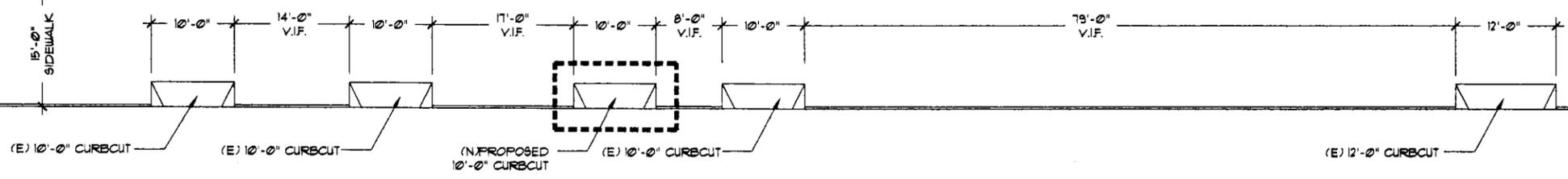
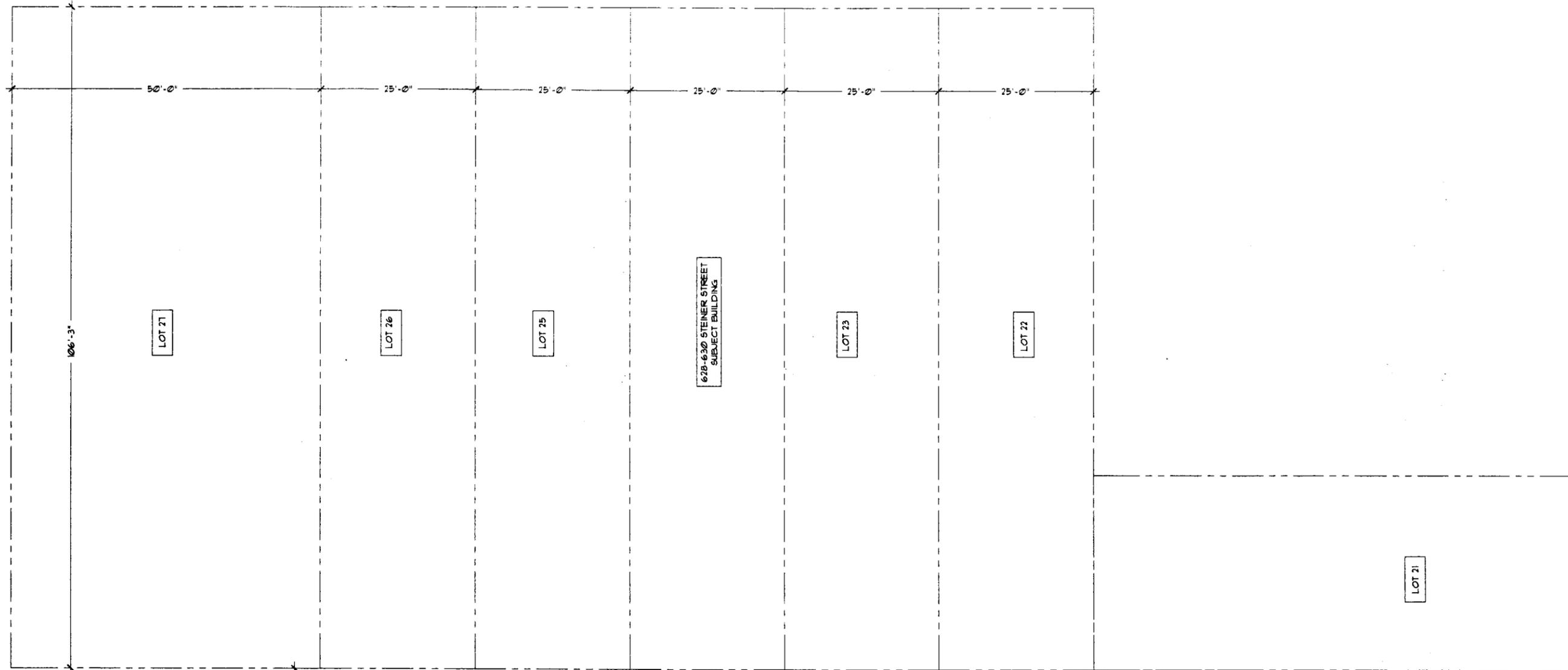


BLOCK 0822 LOT 024  
 628-630 STEINER STREET  
 SAN FRANCISCO, CA

Date: FEB 2012  
 Dwg Size: 24x36  
 Scale: A.N.

(E) & (N)  
 SECTION ELEVATIONS -  
 SCHEME A

SHEET  
**A-4**  
 OF 3 SHEET



STEINER ST

PROPOSED SIDEWALK CURBCUT PLOT PLAN  
SCALE 1/8" = 1'-0"

MERCURY ENGINEERING  
1041A Folger St., Berkeley CA 94710  
510.549.0440 Fax: 510.704.1975



BLOCK 0822 LOT 024  
628-630 STEINER STREET  
SAN FRANCISCO, CA

Date: FEB 2012  
Dwg Size: 24x36  
Scale: A.N.

CURBCUT SIDEWALK  
PLOT PLAN

SHEET  
A-5  
OF SHEET