



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: MAY 16, 2012

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Filing Date: March 27, 2012
Case No.: **2012.0033A**
Project Address: **55 Laguna Street**
Historic Landmarks: Nos. 257, 258, & 259: Richardson Hall, Woods Hall, & Woods Hall Annex
Zoning: RM-3 (Residential, Mixed, Medium Density) Zoning District/
40-X Height and Bulk District;
NC-3 (Moderate-Scale Neighborhood Commercial) Zoning District/
85-X Height and Bulk District
Block/Lot: 0857/ 001 & 001a
0870/ 001, 002, & 003
Applicant: Elisa Skaggs, Page & Turnbull, Inc.
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PROPERTY DESCRIPTION

55 LAGUNA STREET, San Francisco Normal School/San Francisco State Teacher's College, is located on two blocks bound by Laguna, Haight, Buchanan, and Hermann Streets. Assessor's Block 0857, Lots 001 and 001a and Assessor's Block 0870, Lots 001, 002, and 003. The property contains San Francisco Landmark Nos. 257, 258, and 259 - Burke-Richardson Hall (a.k.a. Richardson Hall), Anderson-Woods Hall (a.k.a. Woods Hall), and Anderson-Woods Hall Annex (a.k.a. Woods Hall Annex). The buildings contribute to the National Register-listed San Francisco Normal School/State Teacher's College campus. The site consists of five buildings on two city blocks bounded by Buchanan, Hermann, Haight, and Laguna Streets: Middle Hall (1924), Woods Hall (1926), Woods Hall Annex (1935), Richardson Hall (1930, with the Administration Wing constructed in 1924), and the Dental Building (1970). The campus was originally designed in the Spanish Revival style for the California State Normal School by the Office of the State Architect. The Master Plan for the campus was developed by George B. McDougall and construction spanned 1924-1935. The site is zoned RM-3 (Residential, Mixed, Medium Density District)/ 40-X Height and Bulk District; and NC-3 (Moderate-Scale Neighborhood Commercial District)/ 85-X Height and Bulk District.

BACKGROUND

The 55 Laguna Mixed Use Project was previously reviewed under Case No. 2004.0773E!CMTR and received its entitlements in 2008-09. The property was then sold to the new owners in 2010 and the project sponsor submitted a revised project to the Planning Department for review in 2011.

The project site was first determined to be a historic resource as a National Register eligible historic district in the Historic Resource Evaluation Response dated June 15, 2006. The Department found that the "campus as a whole, and Richardson Hall, Woods Hall, and Woods Hall Annex individually, are significant under Criterion 1 (Events) and Criterion 3 (Architecture) and that the project did not meet the Secretary of the Interior Standards for Rehabilitation, which led to the production of the Environmental Impact Report (EIR). On February 21, 2007, the LPAB held a review and comment concerning the Draft EIR and initiated landmark designation of the 55 Laguna site. The LPAB voted 5-1 (with two members absent) on April 18, 2007 in favor of recommending landmark designation of the campus *as a site with four contributing buildings*. The Planning Commission voted not to recommend the landmark designation of the campus *as a site* on June 7, 2007. In response to the Commission's decision, the LPAB voted unanimously (with two members absent) on June 20, 2007 to appeal the Commission's original recommendation to the Board of Supervisors. Upon appeal of the Commission's decision, Ordinance 216-07 was passed on September 11, 2007 approving the landmark designation of three *individual buildings* located within the campus - Richardson Hall, Woods Hall, and Woods Hall Annex. On October 3, 2007, the LPAB held a Review and Comment concerning the proposed nomination of the site to the National Register of Historic Places and the site was ultimately listed on the National Register on January 7, 2008.

On December 18, 2008, the LPAB held a hearing to review the design compatibility analysis and guidelines prepared as Mitigation Measure HR-3 of the EIR and a request for a Certificate of Appropriateness (CofA). At that hearing the LPAB took two votes on the design guidelines item: the first vote was to approve the historic building guidelines, and the second vote was to say that they were "not in agreement" with the new building guidelines. Therefore, the LPAB "agreed by consensus" on the design guidelines as required by the Mitigation schedule prior to approval of CofA. Although the LPAB voted to approve the CofA at the hearing, the Certificate was motion was not signed into affect by the Planning Director before the dissolution of the LPAB on December 31, 2008 and the action become void. Therefore, the project is before the Historic Preservation Commission to again seek approval of Certificate of Appropriateness for the project involving the three landmark buildings.

PROJECT DESCRIPTION

The proposal is to rehabilitate Richardson Hall for use as senior services, senior housing (40 dwelling units), and retail and/or office space in new excavated space created behind the Hermann/Laguna Street retaining wall; to rehabilitate Woods Hall for use as housing (21 dwelling units); and, to rehabilitate Woods Hall Annex for use as a community center. At the exterior, the work at all three buildings will generally include creating several new wall openings, selective window replacement and/or modification, seismic upgrades, maintenance and repair work, and in-kind roof repair and/or replacement. At the interior, the work at all three buildings will generally include changes in door locations and alteration of non-designated spaces. Please see details described below and shown in the attached drawings.

1. At **Richardson Hall**, the building will be rehabilitated for use as retail, offices, senior services, and housing. The new use will retain the entry portal and sculpture on Hermann Street, the massing of the auditorium and stacks, the faux bell tower, and courtyard entry. The new partition plan will incorporate the existing circulation pattern of the building and the units will be located along the existing double-loaded corridor. The interior work will include protection

and preservation of the Bebe Daum “Angel” mural. Deferred maintenance issues will be addressed, including a seismic upgrade, new roof membrane and repairs to the existing clay tile roof. At the basement level, part of the retaining wall along Hermann and Laguna Streets will be removed to install new window and door openings. Two variants for the configuration of the openings are proposed: Variant A reflects the combination of retail and office space and Variant B reflects the combination of retail and residential space and eliminates need for large openings along the street wall and decreases excavation. The final use has not been determined for these spaces. The new openings will be located between the quoins on the retaining wall. At the first floor, an addition at the northwest corner of the building will be removed. The raised floor, fixed seating, and projection room of the existing auditorium will also be removed.

2. At **Woods Hall**, the building will be rehabilitated for use as housing. The new use will retain the interior entry hall with its original exposed rafters and the building’s internal circulation patterns. As part of the project planning, Page & Turnbull performed an investigation of potential murals near the northwest entrance and found that they appear to have been previously removed or destroyed (report attached). Deferred maintenance issues will be addressed, including repairs to the clay tile roof. At the corner of Buchanan and Haight Streets, the central portion of the existing stucco wall will be demolished.
3. At **Woods Hall Annex**, the building will be rehabilitated for use as a community center. The new use will retain the existing circulation pattern. The interior work will include protection and preservation of the Reuben Kadish’s mural “A Dissertation on Alchemy”. A second stair and exit door will be added on the west side of the building to meet egress requirements. Deferred maintenance issues will be addressed including repairs to the clay tile roof. Existing non-contributing doors will be replaced. The concrete steps at the Haight Street entry will be removed to accommodate a new accessible, level entry. The central portion of the street wall that extends east beyond the building will also be removed.

OTHER ACTIONS REQUIRED

The project requires Conditional Use Authorization by the Planning Commission and Board of Supervisors action for the creation of Waller Park. The new building component of the 55 Laguna Mixed Use project also requires design review and comment by the Historic Preservation Commission prior to the future Conditional Use Authorization hearing, which has not yet been scheduled.

COMPLIANCE WITH THE PLANNING CODE

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

- a. The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.
- b. The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed new housing, retail, office, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships

Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the enlargement of existing window openings or at the low wall located at the Buchanan/Haight Street entry will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Exterior features of Richardson Hall to be preserved are the massing of the auditorium and stacks, the entry portal at the Hermann Street, the bell tower and entry portal at the interior courtyard, the metal railing at Hermann Street, the historic metal windows, and the clay tile roof. The figural sculpture at the Hermann Street entry and the owl perched along the exterior of the auditorium will also be preserved. Interior features to be preserved include the first floor corridors with the barrel and groin-vaulted ceilings and decorative plaster wall treatments and the Jack Moxom mural depicting an angel. Significant architectural features of Woods Hall Annex such as the entry archway on Haight Street, the WPA plaque, the courtyard entry and oriel window above, the Kadish mural, and the monumental stair on the east side of the building will be retained.

Standard 3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed exterior changes will be carefully differentiated from the existing historic features and will be recognized as contemporary alterations.

Standard 5: Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was been previously removed and, therefore, will not be affected by the proposed project.

Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary.

Standard 7: Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Although no chemical or physical treatments are anticipated, if deemed necessary by the consulting preservation architect and the Planning Department, such treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets.

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received comments on the project by Cynthia Servetnick on behalf of Save the Laguna Street Campus regarding the associated CEQA and NEPA reviews. Correspondence can be provided upon request.

ISSUES & OTHER CONSIDERATIONS

None.

STAFF ANALYSIS

Based on the requirements of Article 10, the designating ordinances, and the Secretary of Interior's Standards, staff has determined that the proposed work will have no adverse impact to the landmark buildings. Regarding the specific elements of the proposal, staff finds:

- That the proposed new housing, retail, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships;
- That the proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the creation of window openings or at the low wall located at the Buchanan/Haight Street entry will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Also, all structural, mechanical, electrical, plumbing installations will be designed to occur in areas that are not visible from the street or are on secondary facades so that they do not affect any character-defining features of the buildings;
- That the window survey indicates that the majority of historic windows at the three buildings will be retained (97% at Richardson Hall, 93% at Woods Hall, and 100% at Woods Hall Annex); that no window openings will be altered; and that 28 or 29 window openings to be created at Richardson Hall will maintain the historic rhythm of fenestration;
- That the proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets. The new features will have contemporary designs but will refer to the historic buildings through their materials, finishes, and scale;
- That the proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary;
- That the findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was been previously removed and, therefore, will not be affected by the proposed project;
- That, if deemed necessary by the preservation architect and Planning Department staff, chemical or physical treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator;
- That Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the *55 Laguna Mixed Use Project Environmental Impact Report* pertaining to mural preservation will ensure the protection of these significant features; and,

- That the installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ENVIRONMENTAL REVIEW STATUS

The 55 Laguna Mixed Use Project Environment Impact Report was certified by the Planning Commission on January 17, 2008. An addendum to the EIR incorporating the current project was published on May 8, 2012. As the project impacts to historic resources have not changed, the mitigation measures (Mitigation Monitoring and Reporting Program attached) identified in the EIR and listed below remain in place:

- 1) HR-1 (HABS Level Recordation),
- 2) HR-2 (Interpretative Display),
- 3) HR-3 (Preservation Architect),
- 4) HR-4 (Mural Identification, Testing, and Restoration Procedures), and
- 5) HR-5 (Arborist)

Since the EIR was published, HR-3 (Preservation Architect) has been partially completed. As prescribed by the mitigation measure, a window and door survey was completed in November 2008, a mural investigation was completed in October 2008, and design guidelines were completed in December 2008. As per the mitigation, a preservation architect will continue to work with the project team to assist in ensuring compatibility of the new structures with the historic district individual historic resources, to manage treatment of the retained historic resource buildings, and to act with overall responsibility to implement historic resource mitigations, monitor work performed, and to report to the City through the end of construction.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

Conditions:

- That the design guidelines for historic buildings prepared by Page & Turnbull in accordance with Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the 55 Laguna Mixed Use Project Environmental Impact Report will be complied with in all aspects of design refinement for the three landmark buildings.
- That the configuration, materials, and details of all new windows and doors will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That the sign program will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That all condition assessments regarding the murals, stucco cladding, and clay tile roofs will be submitted to the Department prior to the approval of the Architectural Addendum of the

building permit and that all treatment and protection plans will be incorporated into the permit plans for approval by the Planning Department;

- That the existing and proposed location of the Sacred Palm associated with Woods Hall will be shown on the site plan and that a relocation and protection plan prepared by an arborist will be incorporated into the site permit for approval by the Planning Department; and,
- That all Structural and Mechanical/Electrical/Plumbing Addendum to the building permit will be reviewed by Planning Department staff to ensure that seismic and mechanical interventions do not detract from any character-defining features of the buildings or result in significant removal of historic fabric.

ATTACHMENTS

Draft Motion
Parcel Map
Sanborn Map
Aerial Photograph
Zoning Map
Window Survey
Investigation Report - Historic Murals at Woods Hall Entrance
Page & Turnbull Secretary of the Interior Standards Analysis
Mitigation Monitoring and Reporting Program
Plans and Site Photographs

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: MAY 16, 2012

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 001 AND 001A IN ASSESSOR'S BLOCK 0857 AND LOTS 001-003 IN ASSESSOR'S BLOCK 0870, WITHIN RM-3 (RESIDENTIAL, MIXED, MEDIUM DENSITY) AND NC-3 (MODERATE-SCALE NEIGHBORHOOD COMMERCIAL) ZONING DISTRICTS AND A 40-X AND 85-X HEIGHT AND BULK DISTRICTS.

PREAMBLE

WHEREAS, on March 27, 2012, Elisa Skaggs, Page & Turnbull, Inc., (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to rehabilitate Richardson Hall for use as senior services, senior housing, and retail and/or office space; to rehabilitate Woods Hall for use as housing; and, to rehabilitate Woods Hall Annex for use as a community center.

WHEREAS, the 55 Laguna Mixed Use Project Environment Impact Report was certified by the Planning Commission on January 17, 2008 and an addendum to the EIR incorporating the current project was published on May 8, 2012.

WHEREAS, on May 16, 2012, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.0033A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A and the listed conditions based on the following findings:

CONDITIONS

- That the design guidelines for historic buildings prepared by Page & Turnbull in accordance with Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the *55 Laguna Mixed Use Project Environmental Impact Report* will be complied with in all aspects of design refinement for the three landmark buildings.
- That the configuration, materials, and details of all new windows and doors will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That the sign program will be finalized and approved by Department staff to ensure their compatibility with the historic character of the landmark buildings prior to the approval of the Architectural Addendum of the building permit;
- That all condition assessments regarding the murals, stucco cladding, and clay tile roofs will be submitted to the Department prior to the approval of the Architectural Addendum of the building permit and that all treatment and protection plans will be incorporated into the permit plans for approval by the Planning Department;
- That the existing and proposed location of the Sacred Palm associated with Woods Hall will be shown on the site plan and that a relocation and protection plan prepared by an arborist will be incorporated into the site permit for approval by the Planning Department; and,
- That all Structural and Mechanical/Electrical/Plumbing Addendum to the building permit will be reviewed by Planning Department staff to ensure that seismic and mechanical interventions do not detract from any character-defining features of the buildings or result in significant removal of historic fabric.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report for the following reasons:

- That the proposed new housing, retail, assembly, and public service uses for the buildings may be achieved without causing significant changes to their distinctive materials, features, spaces, and spatial relationships;
- That the proposed work will not cause the removal, alteration, or obstruction of any character-defining features of the site. The portions of wall proposed to be removed for the creation of window openings or at the low wall located at the Buchanan/Haight Street entry will not remove any distinctive materials or significantly alter the historic character of the landmark buildings. Also, all structural, mechanical, electrical, plumbing installations will be designed in a manner which does not affect any character-defining features of the buildings and will occur in areas that are not visible from the street or are on secondary facades;
- That the window survey indicates that the majority of historic windows at the three buildings will be retained (97% at Richardson Hall, 92% at Woods Hall, and 100% at Woods Hall Annex); that no window openings will be altered; and that 28 or 29 window openings to be created at Richardson Hall will maintain the historic rhythm of fenestration;
- That the proposed exterior changes will be carefully differentiated from the existing historic features and will be compatible with the character of the property, including the proposed railings, windows and doors, and storefronts at Hermann and Laguna Streets;
- That the proposal calls for retaining sound historic stucco and roofing tiles and replacing in-kind or with salvaged materials when necessary;
- That the findings of the mosaic investigative report prepared by Page & Turnbull in accordance with the EIR Mitigation Measures has ensured that the historic feature was been previously removed and, therefore, will not be affected by the proposed project;
- That any chemical or physical treatments will be undertaken using the gentlest means possible and under the supervision of a historic architect or conservator;
- That Mitigation Measure HR-3 of the *Mitigation Monitoring and Reporting Program* for the *55 Laguna Mixed Use Project Environmental Impact Report* pertaining to mural preservation will ensure the protection of these significant features; and,
- That the installation of the proposed new elements, such as the proposed railings, windows and doors, and storefronts, will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- The proposed project meets the requirements of Article 10 and the designating ordinances.

- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4.

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8.

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will increase the affordable housing supply with the addition of affordable units at Richardson Hall.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Assessor's Block 0857, Lots 001 and 001a and Assessor's Block 0870, Lots 001, 002, and 003 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2012.0033A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on May 16, 2012.

Linda D. Avery
Commission Secretary

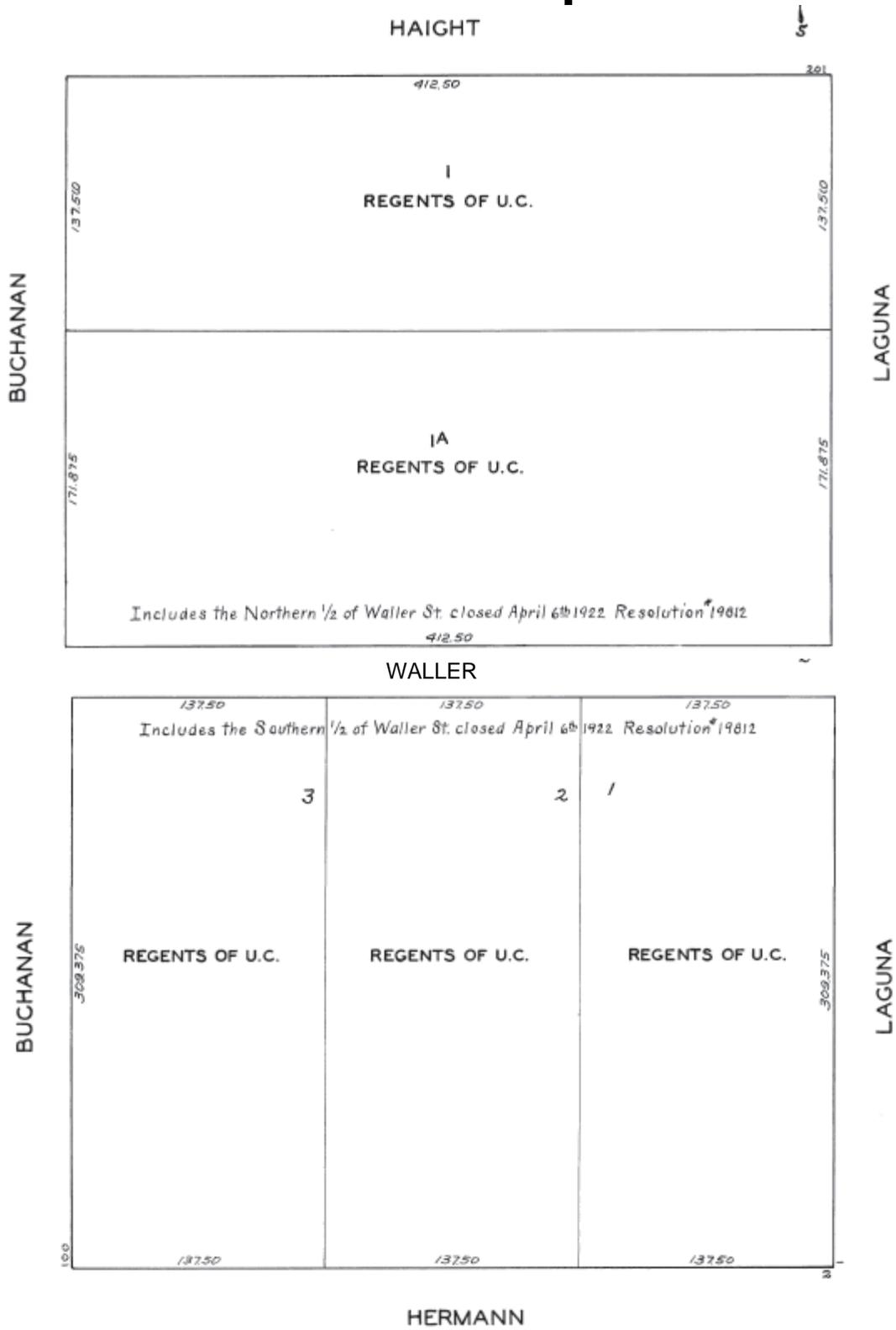
AYES:

NAYS:

ABSENT:

ADOPTED:

Parcel Map



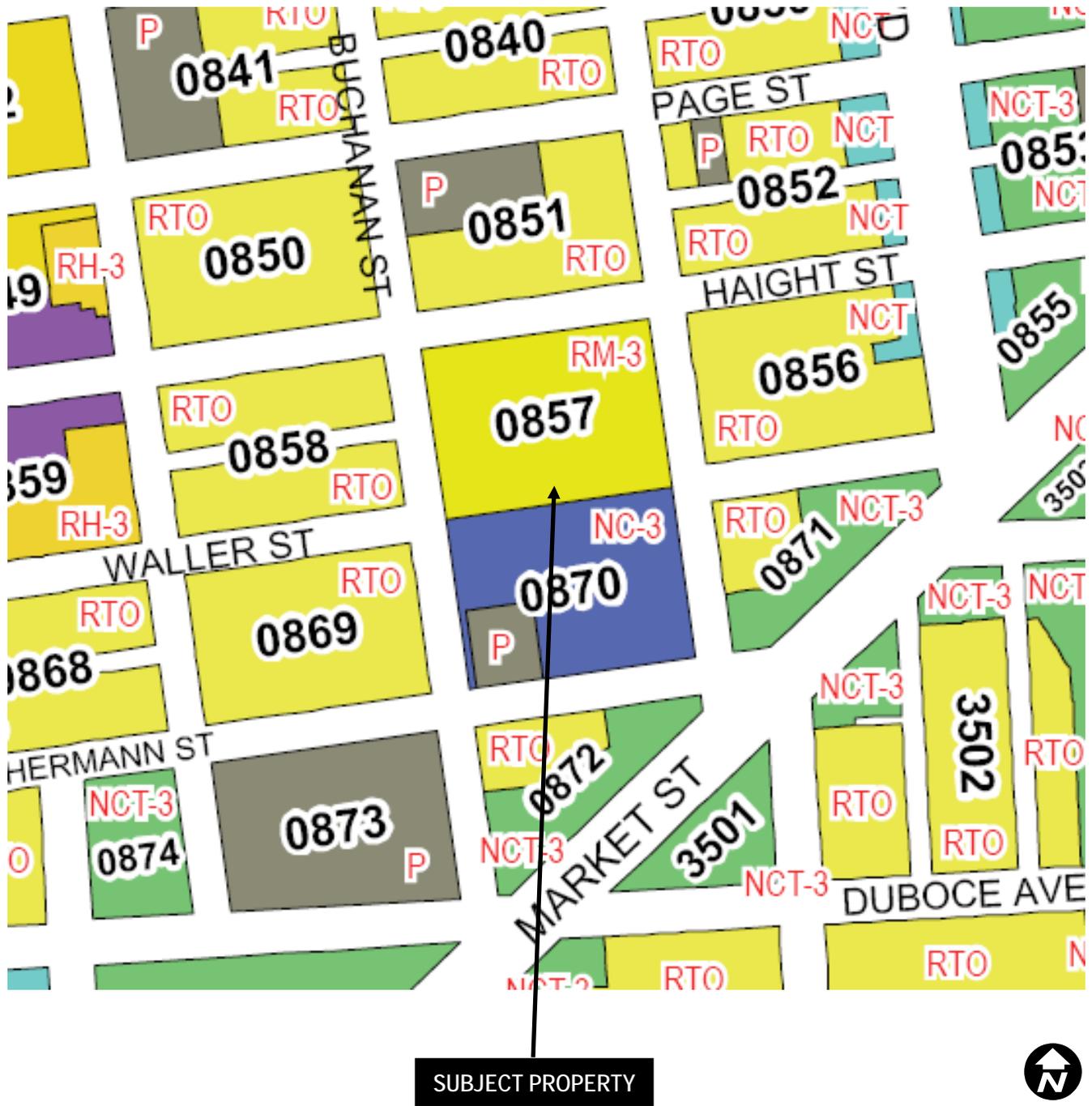
Certificate of Appropriateness Hearing
 Case Number 2012.0033A
 55 Laguna Street

Aerial Photo



Certificate of Appropriateness Hearing
Case Number 2012.0033A
55 Laguna Street

Zoning Map



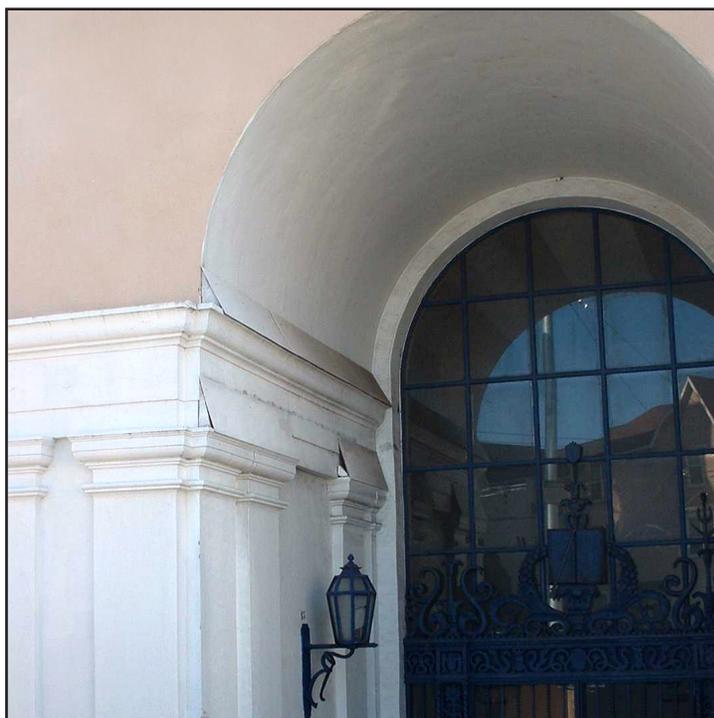
SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2012.0033A
55 Laguna Street

SURVEY OF EXISTING WINDOWS

Richardson Hall - Variant A								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Removed	Openings to be Cut for New Window or Door
South Elevation (Herman Street)	18	17	1	0	0	7	0	7
East Elevation (Laguna Street)	9	8	1	0	0	9	0	17
North Elevation (Parking Lot)	24	24	0	0	0	2	0	1
West Elevation	14	14	0	0	0	4	0	4
Total	65	63	2	0	0	22	0	29
Richardson Hall - Variant B								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Removed	Openings to be Cut for New Window or Door
South Elevation (Herman Street)	18	17	1	0	0	7	0	7
East Elevation (Laguna Street)	9	8	1	0	0	14	0	19
North Elevation (Parking Lot)	24	24	0	0	0	1	0	0
West Elevation	14	14	0	0	0	2	0	2
Total	65	63	2	0	0	24	0	28
Woods Hall								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Repaced	Openings to be Cut for New Windows
Main Entry (corner of Haight & Buchanan streets)	3	3	0	0	0	0	0	0
Courtyard Entry	7	7	0	0	0	0	0	0
North Elevation (North Wing/Haight Street)	13	13	0	0	0	0	0	0
South Elevation (North Wing/Courtyard)	2	2	0	0	0	38	38	0
East Elevation (South Wing/Courtyard)	37	31	6	0	0	0	0	0
West Elevation (South Wing/Buchanan Street)	12	12	0	0	0	0	0	0
South Elevation (South Wing)	6	6	0	0	0	0	0	0
Total	80	74	6	0	0	38	38	0
Woods Hall Annex								
	Historic Windows	Historic Windows to be Retained	Historic Windows to be Removed and Replaced with New Door/Window	Historic Windows to be Altered to Accommodate New Door	Historic Windows to be Infilled	Non-Historic Windows	Non-Historic Windows to be Removed	Openings to be Cut for New Windows
North Elevation (Haight Street)	8	8	0	0	0	0	0	0
South Elevation (Courtyard)	7	7	0	0	0	26	0	0
East Elevation	0	0	0	0	0	0	0	0
Total	15	15	0	0	0	26	0	0



Investigation Report

55 Laguna, Woods Hall
San Francisco, California

November 26, 2008

Prepared for
A.F. Evans Development, Inc
Oakland, California

Prepared by
PAGE & TURNBULL, INC.
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415.362.5154 / www.page-turnbull.com

Introduction

Page & Turnbull was retained by AF Evans Development to provide building investigation services to determine the existence of a WPA-era mosaic known as the “Mosaic of California.” Designed by Maxine Albro and Jack Moxom in the 1930s, it was located over the entrance of Woods Hall on the former campus of the San Francisco State Teachers College at Haight and Buchanan Streets. This report summarizes the findings of the investigation, including background research and analysis of the existing conditions of the mosaic location.

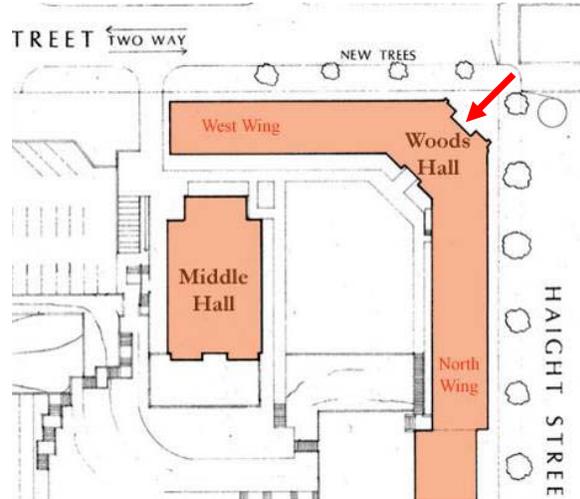


Figure 1 Former location of the “Mosaic of California” at the San Francisco State Teachers College, Woods Hall (red arrow).

Description

Building Description

Woods hall is a Mission Revival-style concrete structure clad in stucco. The L-shaped building is roofed in Spanish terracotta tiles, and the east and west wings of the structure meet at a large entrance pavilion with a central covered archway. The mosaic was formerly located on the upper façade of the entrance pavilion in the lunette area (figure 4).



Figure 2 Woods Hall, circa 1950, showing mosaic in-situ over entrance pavilion

Mosaic Description

The Mosaic of California was designed by Maxine Albro and a staff of assistants for the Works Progress Administration's Federal Artists Project (WPA/FAP). The Federal Artist's project was intended to provide artists employment during the Great Depression. It was executed and installed under the direction of Architect Jack Moxom. The design, on a background of white marble, included figures reading under a tree sprouting vines, which was flanked by animals such as mountain lions and deer. An article entitled "California Mosaics" by Jean Goodwin, discussed the mosaic in the context of others created for the city: "Many Beautiful marble mosaics have been executed in San Francisco, under the supervision of William Gaskin. From a vast store of mosaic marble left over from the 1915 Fair, and with the help of an expert marble mosaicist and of artist designers some significant contributions have been made. Notable among these is the façade of the San Francisco Teachers' College, designed by Maxine Albro. It is a rich pattern interpretive of California life. The design, on a background of creamy white, is reminiscent of the patterned marble pavements of Syria, but is purely western in spirit."¹

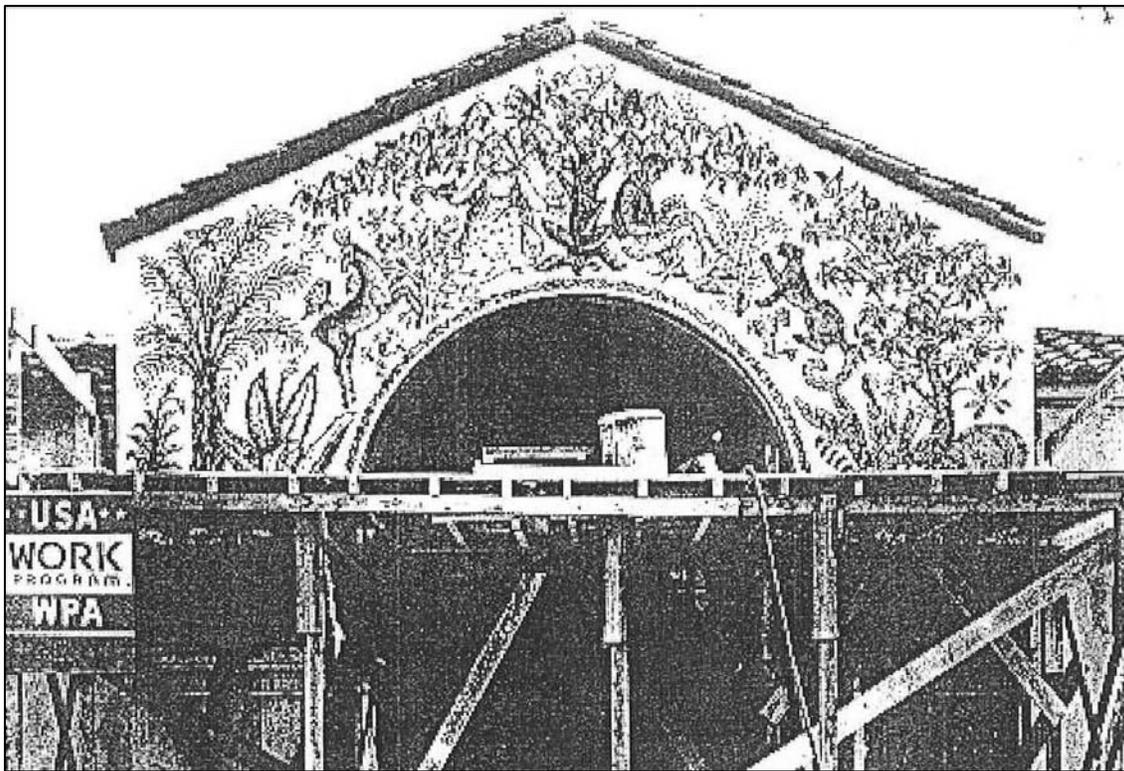


Figure 3 Woods Hall entrance pavilion, Ca. 1935, during installation of the mosaic

¹ National Register of Historic Places. NPS Form 10-900-b, August 2002. San Francisco State Teacher's College Historic District, 55 Laguna Street Campus, Section 8, Statement of Significance, Page 25

Methodology

The mosaic location is currently covered in cement stucco and pink elastomeric paint. The goal of the investigation was to remove these layers to understand if portions of the mosaic exist beneath the modern layers. The area was investigated by cutting six new test pits, and expanding two existing test pits. At each test location, the top layer of stucco was cut away to reveal layers beneath. Any subsequent layers found were cut away to reveal the structure's poured concrete substrate.



Figure 4 Woods Hall entrance pavilion showing sample locations

Observations

- No evidence or remains of marble mosaic was found at any test location.
- Test areas revealed multiple layers of stucco and preparatory mortar. These include:
 1. The reinforced concrete structure of the building (substrate)
 2. A 3/4" cementitious base layer
 3. A 1/4" lime-based setting mortar
 4. A 3/4" Portland cement-based top coat
 5. Two paint layers, a light pink color and a dark cementitious paint.
- The top layer of cement is very hard and separation cracks between it and the layer beneath indicate a later date of application of this layer
- Layer 3 is soft and thin, and is found only on the front façade of the lunette

Discussion

The investigation did not find evidence of remaining mosaic tesserae. The lime-based layer of mortar, layer 3, may have served as a bedding layer. This layer was found in all eight tests, and only seen on the front of the lunette. This suggests that layer 3 was likely the bedding mortar for the marble tesserae. If the mosaic were still extant, it would likely be found between layer 3 and the cement stucco top coat. This evidence suggests that the mosaic was indeed removed, or faced from the surface of the lunette.

In addition to the physical evidence suggesting the removal of the mosaic, there is supporting historical evidence. An oral history interview with WPA artists Maxine Albro and Parker Hall was conducted by Mary McChesney for the Archives of American Art Project in 1964. The interview mentions the possible removal of the mosaic when San Francisco State moved to its Lake Merced Campus in 1952-53. Albro speaks of her work including the design and construction of the San Francisco State Teachers College Mosaic. The following is an excerpt relating to the removal of the mosaic:

MM: Where is this mosaic (mosaic of California)now?

MA: We don't exactly know where this mosaic is now. We'd like to know.... we heard that the mosaic was going to be taken to the other college, the new one, up town a little ways, out of San Francisco. I think it is called the San Francisco Center.



Figure 5 Test Area 5 from the corner of the arch. layers include: 1-reinforced concrete; 2-base coat; 3-lime setting bed; 4-cement stucco; 5-paint



Figure 6 Test area 3, center of right side. Top layer of cement is visible, arrow indicates cut into concrete substrate

MM: This was then at the old San Francisco State College which was on Market and --

MA: It was Haight and Buchanan. The address of the one now, I'm not quite sure, but it is quite a little ways out from the heart of the city. It is a very nice place. The buildings are lovely. Well, we went out there to try to find it but we couldn't and we talked with some supervisor of buildings and he said he didn't know where it was. That it might be packed away somewhere but that he hadn't heard where it was and that he would try to find out if that was so. However, we never heard from him. So, the chances are that perhaps in getting it off, they may have destroyed it. We don't know. That would probably be it. It would be difficult to get off in the first place unless they were exceedingly careful or an expert would try to do it. We had the regular concrete backing and we had our sections of mosaics and there is one picture there showing how we put the mosaic on the different parts.²

Although the accuracy of the oral history statements cannot be confirmed, Page & Turnbull's investigation suggests that the mosaic was in fact moved or destroyed.

Conclusion

Despite the findings of this investigation suggesting that the mosaic was removed, the entrance pavilion area of the building should be regarded cautiously during potential renovations. As a significant and character defining feature, the entrance pavilion to Woods Hall should not be substantially altered. In addition to retaining the historically significant space, cautious treatment will also ensure that any remnants of the mosaic not found in this investigation will be protected for the future.

² Oral history interview with Maxine Albro and Parker Hall, 1964 July 27, Archives of American Art, Smithsonian Institution. From <http://www.aaa.si.edu/collections/oralhistories/transcripts/albro64.htm> Retrieved September 17th, 2008

ADDITIONAL IMAGES



Key to photos shown in report



Sample 3: Cutting into concrete substrate



Sample 3 detail: separation of old bedding mortar and added cement stucco



Sample 4: Cement stucco cut away to reveal white bedding mortar



Sample 6: Core - drilled sample area showing stucco layers and concrete substrate. Dark spots are concrete aggregate



Sample 7: Concrete below layer of bedding mortar and cement stucco

Certificate of Appropriateness for Richardson Hall
Analysis of the Secretary of the Interior's Standards for Rehabilitation

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships:

Richardson Hall will be rehabilitated for use as senior housing, retail, and services (Variant A) or housing and services (Variant B). The adaptive use of Richardson Hall is one that is compatible with the building's historic use as a classroom space and one that requires minimal change to the exterior and interior as well as the building's character-defining features. The interior spatial relationships will be generally maintained as the residential units will be organized along the existing double-loaded classroom corridors. The auditorium space, not noted as a significant space in the Landmark Ordinance, will be altered. The two-story space will be closed-in and used for residential units at both the first floor and second floor. Distinctive features such as the stacks, the entries on the street and courtyard, the mural, and the terra cotta tile roof will be preserved. Variant A includes retail and service at the ground level and will require full-height openings at the wall along Laguna Street and Hermann Street. The proposed openings will balance the need for transparency required to create marketable retail and service spaces while retaining as much of the wall as possible. Variant B includes fewer full height openings than Variant A since it does not offer space for retail and will only require full height openings at service areas. Additional openings within the street wall will be created for residences at the ground level and will be smaller in scale. New openings will be differentiated from the historic openings through simpler articulation; however, they will be compatible in scale, material, and color.

The new use for Richardson Hall is one that requires minimal change; therefore, the alterations are in compliance with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided:

The aim of the project is to adapt the building for a new use while preserving the historic character of the building. The proposed alterations to Richardson Hall will not affect the historic character of the east wing, the massing of the auditorium, and the south wing. Alterations to these areas are limited to the reconfiguration of interior spaces and the insertion of a small number of new windows within the existing architectural vocabulary of the building. These are located on the south and east side of the auditorium, the west façade of the south wing, and the north façade of the east wing. The project at large will result, however, in the demolition of the Administration Wing, which was not designated in the Landmark Ordinance. Other changes necessary for the adaptive reuse of Richardson Hall for housing and retail will be executed so that the historic character of the property is retained. The character of Richardson Hall as a

Spanish Colonial Revival style building will be retained. Alterations to Richardson Hall are generally in compliance with Standard 2.

- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken:**

Richardson Hall will be recognized as a physical record of its time, place, and use. There are no proposed changes that will create a false sense of historical development. New additions, such as new windows in new openings will be added so that they are compatible in scale, proportion and material but distinguished from historic features so as not to create a false sense of history. Alterations to Richardson Hall will be in compliance with Standard 3.

- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved:**

Although the interior of Richardson Hall has had several alterations, the exterior has remained intact with no major alterations. There are no known changes to the property that have achieved significance in their own right. The interior plan layout has remained intact; however, finishes and materials have been changed considerably. These interior changes to the finishes are not historically significant because most have occurred outside of the period of significance. Richardson Hall does not have changes that have acquired historical significance in their own right; therefore, the project will be in compliance with Standard 4.

- 5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved:**

The Administration Wing of Richardson Hall will be removed; however, this wing was not included in the Landmark Ordinance as an element that should be preserved. Distinctive materials, features, finishes, and construction techniques will be retained and preserved as part of the proposed project. Changes to the building are limited to new openings which will be installed in non-ornamental areas. All work will be conducted under the supervision of a materials or historic preservation specialist to ensure that the character defining features of the building are not disturbed or damaged during rehabilitation. Specific elements, such as the sculpture above the Hermann street entry, the metal railing on the south side of the west wing, the mural by Jack Moxom, and the barrel and groin-vaulted ceilings and decorative plaster will be preserved and highlighted as part of the rehabilitation plan. The proposed project will comply with Standard 4.

- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence:**

Except for the roof, the building appears to be in fair to good condition. Where it is determined that repairs are required, Standard 6 will be followed. If the feature in question has severe deterioration, it will be replaced and the new feature will match the old in design, color, texture and materials, where possible, so the project will be in compliance with Standard 6. As part of the roof repair, existing terra cotta roof tiles will be removed, salvaged and reinstalled. Terra cotta roof tiles from demolished Administration Wing will be salvaged for reuse in the repair of the Richardson Hall roof. New roof tiles will be blended in with existing to create seamless installation. The project will meet Standard 6.

- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used:**

If chemical or physical treatments are necessary, the project team will use the gentlest treatment available. Treatments that cause damage to historic materials will not be used. The building's historic materials will be preserved and reused where possible. Where the proposed project requires the disturbance of the building's historic exterior stucco, work will be conducted in consultation with a historic architect or conservator to ensure proper treatment techniques. The project will comply with Standard 7.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken:**

There are no known archeological resources associated with Richardson Hall. The proposed project does require some site re-grading, however. Archeological testing, monitoring and recovery of any archeological resources will be undertaken so that the project will comply with Standard 8.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment:**

Exterior alterations to Richardson Hall include the demolition of the Administration Wing, a feature not designated in the Landmark Ordinance. Alterations to the rest of the building are limited to several new windows and new storefronts along Hermann and Laguna Street. The new windows and storefronts will be located so that they do not destroy features that are ornamental or exemplify fine craftsmanship. All new windows will be compatible in scale and materials, but detailed so as to be differentiated from the historic fabric of the building in order to comply with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired:

The proposed project does not include an addition. Alterations are limited to the addition of new windows and storefronts which will be located in non-ornamental areas. The proposed openings are reversible and if they were to be removed in the future, the essential form and integrity of the building would not be impaired. The project is in compliance with Standard 10.

Certificate of Appropriateness for Woods Hall
Analysis of the Secretary of the Interior's Standards for Rehabilitation

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships:

The proposed project will convert Woods Hall from an educational facility to residential apartment units, including four studios and 17 one-bedroom units. Proposed exterior alterations include a new opening at the low concrete wall at the corner of Buchanan and Haight Streets and the alteration of some windows on the courtyard facades. The new opening at the low wall will retain the two terra cotta urns at either end and enough of the wall at either end to maintain a solid character. The existing courtyard facades include windows with high sills. The windows with high sills will be replaced with new windows that match the existing in material and style and the height of other existing windows with lower sills. The altered windows will be located within the width of the original window openings so as to maintain the historic fenestration pattern along the courtyard facades.

The reuse of the building will require reconfiguration of the partition walls separating the existing interior classroom spaces; however, the building's interior circulation pattern will be retained. The new apartment units will be organized along the existing single-loaded corridor, as the existing classrooms are. The main entry at the corner of Haight and Buchanan Street and the main entry hall will be retained and preserved.

The appearance of the exterior facades, interior circulation pattern, corner entry, terra cotta tile roof materials and structure will be retained. Changes will be limited to reconfiguration of elements within the existing footprint. New openings will not be added to the exterior walls of the building. The change in use of Woods Hall will retain the distinctive materials, features, spaces and spatial relationships of the building by accommodating the new building program within the existing footprint. The new use for Woods Hall is one that requires minimal change; therefore, the alterations are in compliance with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided:

The proposed alterations to Woods Hall will not alter the historic character of the property. The project aims to preserve the historic character of the building by limiting alterations to the exterior and retaining the interior architectural organization of the building. Alterations to the exterior facades are limited to the replacement of several historic windows on the courtyard facades with new windows that have lower sills; however the width, style and configuration of the new windows will match original windows that have low sills. A new opening will be cut in the center of the existing low wall at the corner of Buchanan and Haight Streets to accommodate direct entry from this corner. All alterations will be carried out so as to require minimal removal of distinctive materials and alteration of features, spaces, and spatial relationships that characterize the property. Features such as the interior entry hall and single-loaded corridor will be retained and highlighted in the new design to showcase the historic landmark building. The Sacred Palm noted in the landmark ordinance and located on the southeastern side of Woods Hall will be relocated and retained on

site. The character of Woods Hall as a Spanish Colonial Revival style building will be retained. Alterations to Woods Hall are in compliance with Standard 2.

- 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken:**

Woods Hall will be recognized as a physical record of its time, place, and use. There are no proposed changes that will create a false sense of historical development. The project is proposing the replacement of non-historic windows on the courtyard side of the wing facing Haight Street. These windows will be replaced with new aluminum windows that are similar to the original configuration and style of the original windows, thus increasing the compatibility of these windows. Six windows along the courtyard side of the wing along Buchanan Street will be altered to lower the six. The replacement windows will match the original windows in material, configuration and operation. No new window openings are proposed and the existing fenestration pattern will be retained. Alterations to Woods Hall will be in compliance with Standard 3.

- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved:**

Although the interior of Woods Hall has had several alterations, the exterior has remained intact with no major alterations. There are no known changes to the property that have achieved significance in their own right. The interior plan layout has remained intact; however, finishes and materials have been changed considerably. These interior changes to the finishes are not historically significant because most have occurred outside of the period of significance (1921 – 1957). Woods Hall does not have changes that have acquired historical significance in their own right; therefore, the project will be in compliance with Standard 4.

- 5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved:**

The proposed project will not result in the removal of large portions of distinctive materials, features, finishes, construction techniques, or examples of fine craftsmanship. Changes to the exterior of the building are limited to the replacement of six original windows in order to lower the sill height and the replacement of non-historic windows with new windows that are more compatible with the original. All work will be conducted under the supervision of a materials or historic preservation specialist, which will ensure that the character-defining features of the building are not disturbed or damaged during rehabilitation. The low wall at the corner of Haight and Buchanan streets will be altered through the addition of an opening to all direct access to the building entrance. Enough mass at either side of the wall will be retained to retain the solid character of the wall and the urns at either side will also be retained. Significant interior elements, such as the original exposed rafters in the interior entry hall, will be preserved and highlighted as part of the rehabilitation plan. The project will meet Standard 5.

- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence:**

Woods Hall is in good-to-fair condition, and where repairs are needed, Rehabilitation Standard 6 will be followed. Anticipated repairs include the terra cotta roof and the windows. The exterior stucco has graffiti that will be removed. In some cases, it may be necessary to replace original exterior materials and features rather than repair them. Roof repair will include the removal and reinstallation of the existing terra cotta tiles and salvage and reuse of terra cotta tiles from demolished buildings. When necessary, new terra cotta roof tiles will be blended in with the existing to create a seamless installation. The design of new features will be compatible with historic features where possible. The project will meet Standard 6.

- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used:**

If chemical or physical treatments are necessary, the project sponsor will use the gentlest treatment available. Treatments that cause damage to historic materials will not be used. The building's historic materials will be preserved and reused where possible. Where the proposed project requires the disturbance of the building's historic exterior stucco, work will be conducted in consultation with a historic architect or conservator to ensure proper treatment techniques. The project will comply with Standard 7.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken:**

There are no known archeological resources associated with Woods Hall. The proposed project does require some site re-grading, however. Archeological testing, monitoring and recovery of any archeological resources will be undertaken so that the project will comply with Standard 8.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment:**

The proposed project does not include any new additions. Exterior alterations are limited to the replacement of existing windows along the courtyard facades (as noted above) to accommodate lower sills and to replace existing non-compatible windows with more compatible new windows. The proposed project also includes a new opening at the low wall at the corner of Haight and Buchanan Streets. A portion of the existing low wall and the existing urns will be retained on either side of the opening so that the wall will continue to convey its solid character. Additionally, the landmark designation noted the Sacred Palm as a significant landscape feature of the site. The palm will be relocated and retained on site. The project is in substantial compliance with Standard 9.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired:

The proposed project does not include new additions. The new opening proposed for the low wall at the corner of Haight and Buchanan is one that is could be built back since the portion of the wall proposed to be removed does not represent a distinctive construction technique or example of fine craftsmanship. The project is in compliance with Standard 10.

Certificate of Appropriateness for Woods Hall Annex
Analysis of the Secretary of the Interior's Standards for Rehabilitation

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships:

The proposed project will convert Woods Hall Annex from an educational facility to a community center. The community center will include a multi-purpose space, a lounge/kitchen, a computer room, and a game room. Proposed exterior alterations include a new level landing at the Haight Street entry.

The reuse of the building will require reconfiguration of the partition walls separating the existing interior classroom spaces; however, the building's interior circulation pattern will be largely retained. The new community center amenities will be organized along the existing single-loaded corridor, as the existing classrooms are.

The appearance of the exterior facades will be retained, including the terra cotta tile at the roof, the fenestration pattern, and the oriel window. Changes will be limited to reconfiguration of elements within the existing footprint. New openings will not be added to the exterior walls of the building. The change in use of Woods Hall Annex will retain the distinctive materials, features, spaces and spatial relationships of the building by accommodating the new building program within the existing footprint. The new use for Woods Hall Annex is one that requires minimal change; therefore, the alterations are in compliance with Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided:

The proposed alterations to Woods Hall Annex will not alter the historic character of the property. The project aims to preserve the historic character of the building by limiting alterations to the exterior and retaining the interior architectural organization of the building. Alterations to the exterior facades are limited to the addition of a new level landing at the Haight Street entry in order to provide an accessible entrance. The addition of the new landing will not involve the removal of historic fabric. Features such as the Kadish mural, the oriel window, the decorative entrance at Haight Street will be retained. The character of Woods Hall Annex as a Spanish Colonial Revival style building will be retained. Alterations to Woods Hall Annex are in compliance with Standard 2.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken:

Woods Hall Annex will be recognized as a physical record of its time, place, and use. There are no proposed changes that will create a false sense of historical development. Exterior alterations are limited to the addition of a new level entry at the Haight Street entrance and the repair of the exterior envelope of the

building, including the stucco and the terra cotta tile roof. No new window openings are proposed and the existing fenestration pattern will be retained. Alterations to Woods Hall Annex will be in compliance with Standard 3.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved:

Although the interior of Woods Hall Annex has had several alterations, the exterior has remained largely intact with no major alterations. There are no known changes to the property that have achieved significance in their own right. The interior plan layout has also remained intact; however, finishes and materials have been changed considerably. These interior changes to the finishes are not historically significant because most have occurred outside of the period of significance (1921 – 1957). Woods Hall Annex does not have changes that have acquired historical significance in their own right; therefore, the project will be in compliance with Standard 4.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved:

The proposed project will preserve the building's distinctive features and examples of fine craftsmanship, including the oriel window, ornamentation at the Haight Street entry, and the grand stair. One of the building's most distinctive features includes the Kadish mural which will be restored. All work will be conducted under the supervision of a materials or historic preservation specialist, which will ensure that the character-defining features of the building are not disturbed or damaged during rehabilitation. The project will meet Standard 5.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence:

Woods Hall Annex is in good-to-fair condition, and where repairs are needed, Rehabilitation Standard 6 will be followed. Anticipated repairs include the terra cotta roof, the windows, and the Kadish mural. The exterior stucco has graffiti that will be removed. In some cases, it may be necessary to replace original exterior materials and features rather than repair them. Roof repair will include the removal and reinstallation of the existing terra cotta tiles and salvage and reuse of terra cotta tiles from demolished buildings. When necessary, new terra cotta roof tiles will be blended in with the existing to create a seamless installation. The design of new features will be compatible with historic features where possible. The project will meet Standard 6.

- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used:**

If chemical or physical treatments are necessary, the project sponsor will use the gentlest treatment available. Treatments that cause damage to historic materials will not be used. The building's historic materials will be preserved and reused where possible. Where the proposed project requires the disturbance of the building's historic exterior stucco, work will be conducted in consultation with a historic architect or conservator to ensure proper treatment techniques. The project will comply with Standard 7.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken:**

There are no known archeological resources associated with Woods Hall Annex. The proposed project does require some site re-grading, however. Archeological testing, monitoring and recovery of any archeological resources will be undertaken so that the project will comply with Standard 8.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment:**

The proposed project does not include any new additions. Exterior alterations are limited to the addition of an accessible entrance at the Haight Street entrance. The proposed project will not destroy the building's historic materials, features and spatial relationships that characterize the building. The project is in substantial compliance with Standard 9.

- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired:**

The proposed project does not include new additions. The addition of the new level landing at the Haight Street entrance will be undertaken so that if removed in the future the essential form and integrity of the historic property will not be impaired. The project is in compliance with Standard 10.

MONITORING AND REPORTING PROGRAM					
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
HISTORIC RESOURCES (continued)					
Mitigation Measure HR-1 HABS Level Recordation (cont.)					
and the site of San Francisco State University. Much of the historical and descriptive data used in preparation of the Page & Turnbull report can be reused for this task. WPA-era associations including information about the WPA-era murals can be collected at this juncture.					
Documentation of the former UC Extension site shall be submitted to the following repositories:	Project Sponsor		The qualified historic preservation consultant shall distribute the photographs and documentation for archival records and reference		Considered complete upon agency receipt and distribution
<ul style="list-style-type: none"> • Documentation report and one set of photographs and negatives shall be submitted to the History Room of the San Francisco Public Library. • Documentation report should be submitted to the Northwest Information Center of the California Historical Resources Information Resources System. • Documentation report, one set of photographs, original drawings, and rehabilitation drawings should be sent to the Environmental Design Archives in the College of Environmental Design, University of California, Berkeley. • Documentation report and xerographic copies of the photographs should be submitted to the San Francisco Planning Department for review prior to issuance of any permit that may be required by the City and County of San Francisco for demolition of Middle Hall or the Administration Wing of Richardson Hall. • Documentation report and xerographic copies of the photographs should be submitted to the San Francisco Landmarks Preservation Advisory Board. • If requested by the NPS, the documentation report and photographs shall be submitted to the Library of Congress. 					
Mitigation Measure HR-2 Interpretive Display (FEIR p. IV-2)					
An additional form of mitigation shall include the installation of permanent interpretative display at the former UC Laguna Extension campus to describe to the general public the long and significant history of the site as an early California normal school and as the original site of San Francisco State University, as well as its WPA-era associations including information about the existing WPA-era mural(s) in Woods Hall Annex. As part of the interpretation program, the murals should remain in publicly accessible areas, or made publicly available by arrangement for curated tours where the murals would be located in private common areas. The sponsor shall retain the historic names of site buildings, and should consider naming new private streets for aspects of the	Project Sponsor	Prior to project completion	The project sponsor's historic preservation consultant shall prepare a scope of work for an interpretive display's content and design	Planning Department's Preservation Technical Specialist, at minimum, shall review scope of work, and reply with any comment or guidance.	Project sponsor's preservation architect to report on progress bi-monthly to the City

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
HISTORIC RESOURCES (continued)					
<i>Mitigation Measure HR-2 Interpretive Display (cont.)</i>					
<p>site's evolution, including its historic geography, or cultural landscape. Components of this mitigation program could include a permanent kiosk within or near the proposed Waller Park that would contain historic photographs and plans, and descriptive text. Historic photos, plans, and text developed from the HABS-level recordation could be used for this interpretive display.</p>			<p>Per guidance, final display content and design is developed</p> <p>Any revisions are completed, and final interpretive display is developed</p> <p>Interpretive display is installed</p>	<p>ERO, Planning Department's Preservation Technical Specialist, and LPAB for review and comment on the consultant's proposed interpretive display design</p>	<p>Installation plans are reviewed and approved by Department of Building Inspection</p> <p>Considered complete upon installation at the project site</p>
<i>Mitigation Measure HR-3 Preservation Architect (FEIR p. IV-3)</i>					
<p>As part of project design development, the sponsor shall retain a qualified preservation architect to 1) assist with ensuring the compatibility of the new structures with the NR historic district and the retained individual historic resource buildings in terms of their location, scale, massing, fenestration pattern, details, and materials, so as not to detract from the character of the NR historic district or the setting of the retained individual historic resource buildings, 2) conduct historic window and door survey of the site prior to approval of construction drawings, 3) manage treatment of the retained historic resource buildings, including accessibility and structural upgrade design, 4) plan and oversee mural preservation, and 5) act with overall responsibility to implement historic resource mitigations, monitor work performed, and to report bi-monthly to the City, as Lead Agency, and State Office of Historic Preservation and National Park Service (NPS), as requested, and pursuant to Section 106, as necessary, during the period from project approval to end of construction.</p>	<p>Project sponsor</p>	<p>Prior to proceeding with Certificate of Appropriateness; Prior to Approval on any Demolition Permits; Prior to design development for new construction</p>	<p>Retain a preservation architect meeting NPS professional qualifications standards</p>	<p>Coordinate project design team response to LPAB memo dated 12/10/07 concerning the appropriateness of the proposed site infill, reports to Planning Department's Preservation Technical Specialist</p>	<p>Project sponsor's preservation architect to report on implementation bi-monthly to the City, and State Office of Historic Preservation and NPS as requested, during the period from project approval to end of construction</p>
	<p>Preservation architect</p>	<p>Prior to development of design guidelines</p>	<p>Design guidelines to be scoped with Planning Department's Preservation Coordinator and Technical Specialist</p>	<p>Sponsor</p>	

MONITORING AND REPORTING PROGRAM					
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
	Sponsor and design team	Prior to design development for new construction and/or pursuit of Certificate of Appropriateness	Develop design guidelines for infill appropriate to the site, per scope approved by City	Preservation architect	Prior to proceeding with Certificate of Appropriateness
	Preservation architect		Project sponsor's preservation architect to assist design team with infill design strategies per Sec. Interior's Stds, to ensure design compatibility with historic resources, responding to scope developed with City	Preservation Technical Specialist and LPAB to review and comment on draft guidelines LPAB to agree by consensus on developed guidelines	Design Guidelines completed Prior to consideration of Certificate of Appropriateness
	Preservation architect	During design development	Historic window and door survey of the site	Preservation Technical Specialist and LPAB to review and comment on survey results, evaluate architects' design, concur with appropriateness of new construction	City evaluates reuse and rehabilitation of historic doors and windows as part of review of project design Complete w/ Preservation concurrence on new design Reporting throughout construction
		Prior to approval of construction drawings; Prior to Approval of any Demolition permits	Project design review		

MONITORING AND REPORTING PROGRAM					
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
HISTORIC RESOURCES (continued)					
<i>Mitigation Measure HR-4. Mural Identification, Testing, and Preservation Procedures (FEIR p. IV-3)</i>					
<p>Prior to any renovation efforts, the project sponsor, through their Preservation Architect shall design a plan to address protection of significant interior finishes, including murals, during construction. A conditions assessment and protection plan shall be prepared by a qualified architectural finishes conservator and submitted with the project proposal to ensure the safety of the contributing elements of the historic resource during the construction phase. Prior to any renovation efforts, the Preservation Architect shall prepare a plan to identify, retain, and preserve all WPA-era murals and/or mosaics at the project site, including Reuben Kadish’s mural “A Dissertation on Alchemy” located in Woods Hall Annex, the “Angel” mural in Richardson Hall (by artist Bebe Daum), and others which may potentially exist beneath paint and/or plaster, such as a possible interior mural by John Emmett Gerrity or an exterior mosaic by Maxine Albro (both near the northwest entrance to Woods Hall.) Prior to any renovation efforts, the architectural finishes conservator retained for the project shall, as part of the plan, test and remove wall coatings to investigate the location and condition of any covered WPA-era murals and/or mosaics. If any such resources are located, including contributing decorative and sculptural elements, they shall also remain in place and be restored, through the auspices of sponsor partnership with the University of California, private and public art endowments, as the San Francisco Environmental Review Officer determines reasonably equitable and feasible.</p>	Project sponsor	<p>Prior to Approval on any Demolition Permits</p> <p>Prior to any renovation efforts in Woods Hall, Woods Hall Annex, or Richardson Hall</p>	<p>Project sponsor’s preservation architect to prepare a mural/mosaic identification, testing, and preservation plan</p> <p>Any revisions are completed, and final plan is begun in phases as required.</p> <p>Protection of murals and contributing interior features during construction</p>	<p>Planning Department’s Preservation Technical Specialist and LPAB to review and comment on the mural/mosaic plan</p>	<p>Plan submittal prior to final entitlements</p> <p>Project sponsor’s preservation architect to report on restoration progress bi-monthly to the City</p> <p>Considered complete when all extant WPA-era murals and/or mosaics have been identified and restored.</p>
<i>Mitigation Measure HR-5. Arborist (FEIR p. IV-5)</i>					
<p>The project sponsor shall retain a qualified arborist to ensure the successful relocation of a Canary Palm called the “Sacred Palm.” Prior to approval of construction documents, a horticultural report shall be prepared with information to guide the retention and design requirements for the continuing health of the Canary Palm, including its successful storage, replanting, and spatial requirements for growth and feeding.</p>	Project sponsor	<p>Prior to approval of construction documents</p>	<p>Project sponsor’s arborist to prepare a horticultural report to guide successful relocation and health of the “Sacred Palm”</p> <p>Any revisions are completed</p>	<p>Arborist to provide Environmental Review Officer (ERO) with report for review and comment</p>	<p>Project sponsor’s preservation architect to report on progress bi-monthly to the City</p> <p>City evaluates tree accommodation in sponsor’s design submittals</p>

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
HISTORIC RESOURCES (continued)					
<i>Mitigation Measure HR-5. Arborist (cont.)</i>					
					Considered complete when "Sacred Palm" has been successfully relocated and determined to be healthy by arborist
MITIGATION MEASURES FROM INITIAL STUDY					
<i>Mitigation Measure 1-Construction Air Quality (FEIR p. IV-3a)</i>					
<p>To reduce particulate emissions, the project sponsor shall require the contractor(s) to spray the project site with water during demolition, excavation and construction activities; sprinkle unpaved exterior construction areas with water or apply non-toxic soil binders at least twice per day, or as necessary; cover stockpiles of soil, sand, and other material; hydroseed or apply non-toxic soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more); cover trucks hauling debris, soil, sand or other such material; install sandbags or other erosion control measures to prevent silt runoff to public roadways; replant vegetation in disturbed areas as quickly as possible; and sweep surrounding streets during demolition excavation and construction at least once per day. Ordinance 175-91, passed by the Board of Supervisors on May 6, 1991, requires that non-potable water be used for dust control activities. Therefore, the project sponsor would require that the contractor(s) obtain reclaimed water from the Clean Water Program for this purpose. All paved access roads, parking area, and any paved areas used for staging shall be swept daily.</p> <p>The project sponsor shall require the project contractor(s) to maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants, by such means as prohibiting idling motors when equipment is not in use or when trucks are waiting in queues, and implementing specific maintenance programs to reduce emissions for equipment that would be in frequent use for much of the construction period.</p>	Project sponsor's construction contractor	During demolition and construction	Require that contractor control dust at the project site	Contractor to provide Environmental Review Officer (ERO) with monitoring report following soil-disturbing construction period and final monitoring report at conclusion of project construction	Considered complete upon receipt of final monitoring report at completion of construction

MONITORING AND REPORTING PROGRAM					
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
<i>Mitigation Measure 2-Avian Surveys (FEIR p. IV-3a)</i>					
<p>The project sponsor shall complete all demolition activities, including ground clearing, grading, and removal of trees or shrubs, during the non-breeding season (August 1 through January 31). If this is determined to be infeasible, a qualified wildlife biologist shall conduct preconstruction/demolition surveys of all potential special-status bird nesting habitat in the vicinity of the buildings to be demolished no more than two weeks in advance of any demolition activities that would commence during the breeding season (February 1 through July 31). Depending on the survey findings, the following actions shall be taken to avoid potential adverse effects on nesting raptors and other nesting birds:</p> <ol style="list-style-type: none"> 1. If active nests of special-status birds are found during the surveys, a no-disturbance buffer zone shall be created around active nests until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them shall be determined through coordination with the California Department of Fish and Game (CDFG), taking into account factors such as the following: <ol style="list-style-type: none"> a. Noise and human disturbance levels at the project site and the nesting site at the time of the survey and the noise and disturbance expected during the construction activity; b. Distance and the amount of vegetation or other screening between the project site and the nest; c. Sensitivity of individual nesting species and behaviors of the nesting birds. 2. If preconstruction/demolition surveys indicate that no nests of special-status birds are present or that nests are inactive or potential habitat is unoccupied, no further mitigation is required. 3. Preconstruction/demolition surveys are not required during the non-breeding season (August 1 through January 31) for demolition activities including ground clearing, grading, and removal of trees or shrubs. 4. Furthermore, demolition and/or construction activities commencing during the non-breeding season and continuing into the breeding season do not require surveys (as it is assumed that any breeding birds taking up nests would be acclimated to project-related activities already under way). However, if trees and shrubs are to be removed during the breeding season, the trees and shrubs shall be surveyed for nests prior to their removal, according to the survey and protective action guidelines 1a through 1c, above. 	Project sponsor	August 1 through January 31	If demolition occurs outside of this period, require that sponsor hire a qualified wildlife biologist to complete avian surveys	Sponsor to provide Environmental Review Officer (ERO) with avian survey prior to demolition	Considered complete upon receipt of avian survey report

MONITORING AND REPORTING PROGRAM					
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
<i>Mitigation Measure 2-Avian Surveys (cont.)</i>					
5. Nests initiated during demolition or construction activities are presumed to be unaffected by the activity, and a buffer is not necessary.					
6. Destruction of active nests of special-status birds and overt interference with nesting activities of special-status birds shall be prohibited.					
7. Trees and shrubs that have been determined to be unoccupied by nesting special-status birds may be removed as long as they are located outside of any buffer zones established for active areas.					
<i>Mitigation Measure 3 – Hazards (FEIR p. IV-4)</i>					
The project sponsor shall prepare and implement a Soil Management Plan (SMP) and a Health and Safety Plan (HSP), both of which are described below.	Project sponsor	Prior to issuance of grading or demolition permit and prior to soil-disturbing activity.	Project sponsor to retain a qualified and registered environmental assessor to conduct a SMP and HSP, and submit the report(s) to Department of Public Health (DPH), with copy to Department of Building Inspection (DBI) and Planning Department’s ERO.	DPH to review SMP and HSP and advise DBI and ERO if additional testing is required.	Considered complete when all hazardous materials have been removed from existing buildings, and soil handling activities have been completed, and upon receipt by the San Francisco Planning Department and DPH of a report stating that the mitigation measures described in the reports have been implemented.
1. Potential hazards to construction workers and the general public during demolition and construction shall be mitigated by the preparation and implementation of a site-specific soil management plan. Specific information to be provided in the plan would include soil-handling procedures that segregate Class I from Class II or III fill material and isolate fill material from the underlying native soil. The plan would also include procedures for on-site observation and stockpiling of excavated soils during construction, soil sampling for focused waste classification purposes, and legal disposal at an appropriate disposal facility. In the event that the soil were characterized as a hazardous waste according to State or Federal criteria, the soil shall be disposed of at a Class I disposal facility. Soil classified as a non-hazardous waste could be disposed of at a Class II or III disposal facility in accordance with applicable waste disposal regulations.					
2. Potential hazards to construction workers and the general public during demolition and construction shall be mitigated by the preparation and implementation of a site-specific health and safety plan. The health and safety plan shall meet the requirements of federal, state and local environmental and worker safety laws. Specific information to be provided in the plan includes identification of contaminants, potential hazards, material handling procedures, dust suppression methods, personal protection clothing and devices, controlled access to the site, health and safety training requirements, monitoring equipment to be used during construction to verify health and safety of the workers and the public, measures to protect public health and safety, and emergency response procedures.					

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
Mitigation Measure 4 – Archaeology (FEIR p. IV-5)					
<p>Based on a reasonable presumption that archeological resources may be present within the project site, the following measures shall be undertaken to avoid any potentially significant adverse effect from the proposed project on buried or submerged historical resources. The project sponsor shall retain the services of a qualified archeological consultant having expertise in California prehistoric and urban historical archeology. The archeological consultant shall undertake an archeological testing program as specified herein. In addition, the consultant shall be available to conduct an archeological monitoring and/or data recovery program if required pursuant to this measure. The archeological consultant's work shall be conducted in accordance with, a) the project archaeological research design and treatment plan (Archeo-Tec, Final Archaeological Research Design and Treatment Plan for the Laguna Hill Project, San Francisco, California, July 2005 at the direction of the Environmental Review Officer (ERO), and b) in instances of any inconsistency between the requirements of the project archaeological research design and treatment plan and of this archaeological mitigation measure, the requirement of the latter shall prevail. All plans and reports prepared by the consultant as specified herein shall be submitted first and directly to the ERO for review and comment, and shall be considered draft reports subject to revision until final approval by the ERO. Archeological monitoring and/or data recovery programs required by this measure could suspend construction of the project for up to a maximum of four weeks. At the direction of the ERO, the suspension of construction can be extended beyond four weeks only if such a suspension is the only feasible means to reduce to a less than significant level potential effects on a significant archeological resource as defined in CEQA Guidelines Sections 15064.5 (a) and (c).</p>	Project Sponsor/Archeological consultant, at the direction of the ERO	Prior to any soil-disturbing activities.	See individual components below.	See individual components below.	See individual components below.
<p>Archeological Testing Program</p> <p>The archeological consultant shall prepare and submit to the ERO for review and approval an archeological testing plan (ATP). The archeological testing program shall be conducted in accordance with the approved ATP. The ATP shall identify the property types of the expected archeological resource(s) that potentially could be adversely affected by the proposed project, the testing method to be used, and the locations recommended for testing. The purpose of the archeological testing program will be to determine to the extent possible the presence or absence of archeological resources and to identify and to evaluate</p>	Project sponsor and archeological consultant.	Prior to any soil-disturbing activities.	Archaeologist to conduct testing program and submit report to ERO.	ERO to review report and determine presence or absence of significant archaeological resource(s).	Prior to any soil-disturbing activities. Considered complete upon ERO determination

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
<i>Mitigation Measure 4 – Archaeology(cont.)</i>					
whether any archeological resource encountered on the site constitutes an historical resource under CEQA.					whether project must be re-designed so as to avoid adverse effect or whether a data recovery program shall be initiated.
At the completion of the archeological testing program, the archeological consultant shall submit a written report of the findings to the ERO. If based on the archeological testing program the archeological consultant finds that significant archeological resources may be present, the ERO in consultation with the archeological consultant shall determine if additional measures are warranted. Additional measures that may be undertaken include additional archeological testing, archeological monitoring, and/or an archeological data recovery program. If the ERO determines that a significant archeological resource is present and that the resource could be adversely affected by the proposed project, at the discretion of the project sponsor either:					
a. The proposed project shall be re-designed so as to avoid any adverse effect on the significant archeological resource; or					
b. A data recovery program shall be implemented, unless the ERO determines that the archaeological resources is of greater interpretive than research significance and that interpretive use of the resource is feasible.					
Archeological Monitoring Program					
If the ERO in consultation with the archeological consultant determines that an archeological monitoring program shall be implemented the archeological monitoring program shall minimally include the following provisions:	ERO and archeological consultant.	Prior to any soil-disturbing activities.	Determination as to whether archaeological monitoring program is required.	ERO, project sponsor, and archaeological consultant	Prior to any soil-disturbing activities.
• The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the AMP reasonably prior to any project-related soils disturbing activities commencing. The ERO in consultation with the archeological consultant shall determine what project activities shall be archeologically monitored. In most cases, any soils- disturbing activities,					Considered complete upon determination of scope of monitoring program.

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule

MITIGATION MEASURES FROM INITIAL STUDY (continued)

Mitigation Measure 4 – Archaeology (cont.)

such as demolition, foundation removal, excavation, grading, utilities installation, foundation work, driving of piles (foundation, shoring, etc.), site remediation, etc., shall require archeological monitoring because of the risk these activities pose to potential archeological resources and to their depositional context;

- The archeological consultant shall advise all project contractors to be on the alert for evidence of the presence of the expected resource(s), of how to identify the evidence of the expected resource(s), and of the appropriate protocol in the event of apparent discovery of an archeological resource;
- The archeological monitor(s) shall be present on the project site according to a schedule agreed upon by the archeological consultant and the ERO until the ERO has, in consultation with project archeological consultant, determined that project construction activities could have no effects on significant archeological deposits;
- The archeological monitor shall record and be authorized to collect soil samples and artifactual/ecofactual material as warranted for analysis;
- If an intact archeological deposit is encountered, all soils-disturbing activities in the vicinity of the deposit shall cease. The archeological monitor shall be empowered to temporarily redirect demolition/excavation/pile driving/construction activities and equipment until the deposit is evaluated. If in the case of pile driving activity (foundation, shoring, etc.), the archeological monitor has cause to believe that the pile driving activity may affect an archeological resource, the pile driving activity shall be terminated until an appropriate evaluation of the resource has been made in consultation with the ERO. The archeological consultant shall immediately notify the ERO of the encountered archeological deposit. The archeological consultant shall make a reasonable effort to assess the identity, integrity, and significance of the encountered archeological deposit, and present the findings of this assessment to the ERO.

Whether or not significant archeological resources are encountered, the archeological consultant shall submit a written report of the findings of the monitoring program to the ERO.

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
Mitigation Measure 4 – Archaeology (cont.)					
Archeological Data Recovery Program					
<p>The archeological data recovery program shall be conducted in accord with an archeological data recovery plan (ADRP). The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the ADRP prior to preparation of a draft ADRP. The archeological consultant shall submit a draft ADRP to the ERO.</p> <p>The scope of the ADRP shall include the following elements:</p> <ul style="list-style-type: none"> The ADRP shall identify how the proposed data recovery program will preserve the significant information the archeological resource is expected to contain. That is, the ADRP will identify what scientific/historical research questions are applicable to the expected resource, what data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. Data recovery, in general, should be limited to the portions of the historical property that could be adversely affected by the proposed project. Destructive data recovery methods shall not be applied to portions of the archeological resources if nondestructive methods are practical. <p>The scope of the ADRP shall include the following elements:</p> <ul style="list-style-type: none"> <i>Field Methods and Procedures.</i> Descriptions of proposed field strategies, procedures, and operations. <i>Cataloguing and Laboratory Analysis.</i> Description of selected cataloguing system and artifact analysis procedures. <i>Discard and Deaccession Policy.</i> Description of and rationale for field and post-field discard and deaccession policies. <i>Interpretive Program.</i> Consideration of an on-site/off-site public interpretive program during the course of the archeological data recovery program. <i>Security Measures.</i> Recommended security measures to protect the archeological resource from vandalism, looting, and non-intentionally damaging activities. <i>Final Report.</i> Description of proposed report format and distribution of results. 	<p>Project sponsor and archaeological consultant, in consultation with ERO.</p>	<p>Upon discovery of significant archaeological resources.</p>	<p>Appropriate treatment of significant archaeological resources discovered, consistent with Archaeological Data Recovery Plan for Westbrook Plaza Project.</p>	<p>Data recovery program to be described in Final Archaeological Resources Report (see below).</p>	<p>Considered complete upon ERO approval of Draft FARR (see below).</p>

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
MITIGATION MEASURES FROM INITIAL STUDY (continued)					
Mitigation Measure 4 – Archaeology (cont.)					
<ul style="list-style-type: none"> <i>Curation.</i> Description of the procedures and recommendations for the curation of any recovered data having potential research value, identification of appropriate curation facilities, and a summary of the accession policies of the curation facilities. 					
Human Remains and Associated or Unassociated Funerary Objects					
The treatment of human remains and of associated or unassociated funerary objects discovered during any soils disturbing activity shall comply with applicable State and Federal laws. This shall include immediate notification of the Coroner of the City and County of San Francisco and in the event of the Coroner's determination that the human remains are Native American remains, notification of the California State Native American Heritage Commission (NAHC) who shall appoint a Most Likely Descendant (MLD) (Pub. Res. Code Sec. 5097.98). The archeological consultant, project sponsor, and MLD shall make all reasonable efforts to develop an agreement for the treatment of, with appropriate dignity, human remains and associated or unassociated funerary objects (CEQA Guidelines. Sec. 15064.5(d)). The agreement should take into consideration the appropriate excavation, removal, recordation, analysis, custodianship, curation, and final disposition of the human remains and associated or unassociated funerary objects.	Project sponsor and archaeological consultant.	During archaeological field program.	Appropriate treatment of human remains.	Archaeological monitor to notify coroner and, if appropriate, NAHC, and shall provide written report of such notification to ERO.	Considered complete upon receipt by ERO of any notification, if applicable.
Final Archeological Resources Report					
The archeological consultant shall submit a Draft Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological testing/monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.	Project sponsor and archaeological consultant.	Following completion of any archeological field program.	Submittal of Draft FARR.	ERO to review Draft FARR.	Considered complete upon ERO approval of Draft FARR.
Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Major Environmental Analysis division of the Planning Department shall receive three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest in or the high interpretive value of the resource, the ERO may require a different final report content, format, and distribution than that presented above.	Project sponsor	Upon ERO approval of Draft FARR.	Distribution of FARR	Project sponsor to provide ERO with copies of transmittals of FARR distribution.	Considered complete upon receipt by ERO of evidence of distribution.

55 LAGUNA STREET
Woods Hall
Woods Hall Annex
Richardson Hall

San Francisco, CA

CERTIFICATE OF APPROPRIATENESS
APPENDIX

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City of San Francisco





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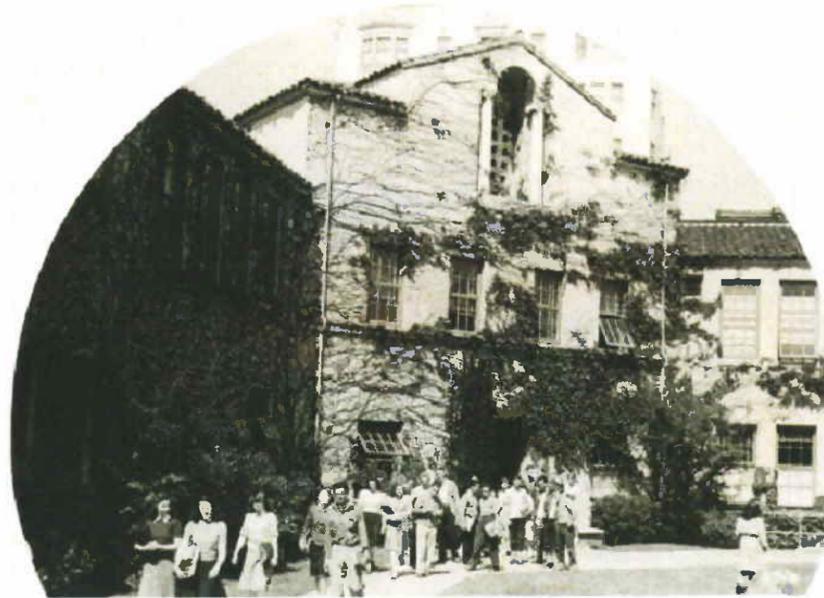
HISTORIC IMAGES

Woods Hall, Woods Hall Annex, and Richardson Hall were built as part of the San Francisco State Teachers' College 1921 building campaign to rebuild its campus at Waller and Buchanan streets. The school was to include state-of-the-art facilities, accommodating the following programs: elementary certification, kindergarten certification, junior high school certification, music, art, physical education, speech perfection, public health and hygiene, visual education, Americanization, home training, sciences, systematized reading, and dramatics.

In 1926, plans were underway to construct the Science Building (now Woods Hall), a two-story, L-shaped plan, reinforced concrete building wrapping around the corner of Haight and Buchanan Streets. The building was designed by State Architect George B. McDougall and his staff at the Department of Public Works to match the dominant Spanish-Colonial Revival style of the first two campus buildings, Middle Hall and the Administration Building. The building was completed in 1927.

Richardson Hall was built for teachers-in-training to practice classroom instruction. This new classroom building at the corner of Laguna and Hermann Streets was a two-story reinforced concrete building with an L-shaped plan and was completed in 1930. Designed by W.B. Daniels of the State of California - Department of Public Works, Division of Architecture, building was designed to blend in with the Spanish-Colonial campus. However, unlike the earlier buildings, the Training School had a distinctly Art Deco flare.

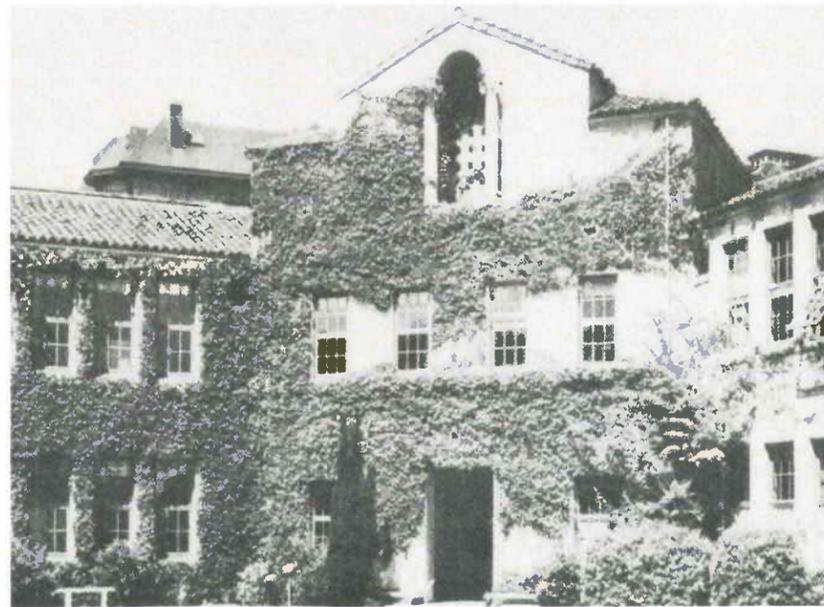
With assistance from the Works Progress Administration, Woods Hall Annex was built in 1935 on the east wall of the existing Science Hall. The Annex is a two-story reinforced concrete building with a gabled terracotta tile roof and a cement plaster finish. The interior consisted of two chemistry laboratories, two physics laboratories, a dark room, additional office space, and storage space. In 1936, Reuben Kadish was commissioned to design a mural, "A Dissertation on Alchemy," for the main staircase of the Annex.



View of Woods Hall courtyard entry, 1941 (San Francisco Public Library)



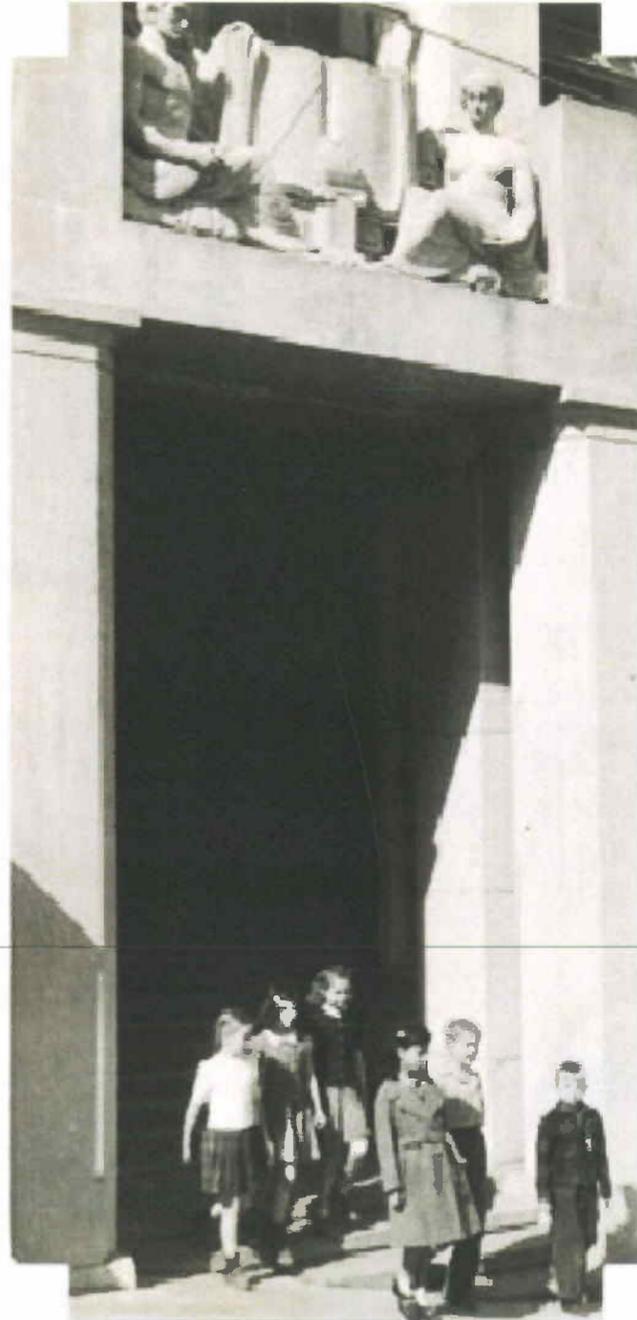
View of south facades of Woods Hall and Woods Hall Annex, with Sacred Palm in foreground, 1935 (SFPL)



View of Woods Hall courtyard entry, 1963 (The Biography of San Francisco State University, Arthur Chandler)



Students sitting under the Sacred Palm on campus with Woods Hall Annex in background, 1941 (San Francisco Public Library)



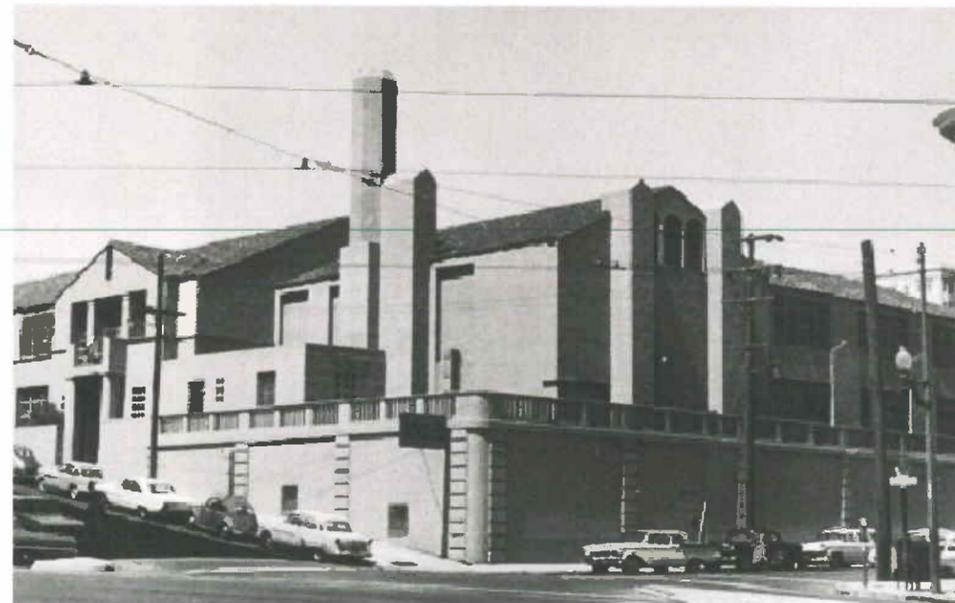
Hermann Street entry, 1941 (SFPL)



Corner view at Hermann and Laguna streets, 1957 (SFPL)



View along Laguna Street, 1964 (SFPL)



Corner view at Hermann and Laguna streets, 1964 (SFPL)

EXISTING CONDITIONS IMAGES

VICINITY

Richardson Hall, Woods Hall, and Woods Hall Annex are located on the UC Berkeley Laguna Extension campus in Hayes Valley. The campus is bound by Haight Street on the north, Laguna Street on the east, Hermann Street on the south, and Buchanan Street on the east. Originally platted as part of the Western Addition, Hayes Valley was part of the 160-acre tract of land originally owned by Colonel Thomas Hayes and is named for him.

Hayes Valley developed into a Victorian-era streetcar suburb, complete with rows of single-family dwellings, multi-family flats, churches and a commercial district with the residential portion developing between the late Victorian period and the 1930s. Because it was developed in a relatively short period of time, dwellings in Hayes Valley did not display a large variety of styles.

The area immediately adjacent to the campus consists primarily of multi-family and single family housing. Most buildings in the immediate vicinity range from three to seven stories in height. Several Victorian houses are located along the streets that bound the campus, including the Nightingale House on Buchanan Street and across from Woods Hall. Architectural styles along the streets that border the campus include Classical Revival, Renaissance Revival, Art Deco, Edwardian, Queen Anne, Italianate, Eastlake as well as modern.



① View from Buchanan and Haight streets, looking northeast



② View from Laguna and Haight streets, looking southeast



⑥ View from Buchanan and Hermann streets, looking southeast



⑦ View toward Buchanan and Waller streets, looking southwest

EXISTING CONDITIONS
IMAGES



3 View toward Waller and Laguna streets, looking northeast



4 View from Laguna and Hermann streets, looking northeast.



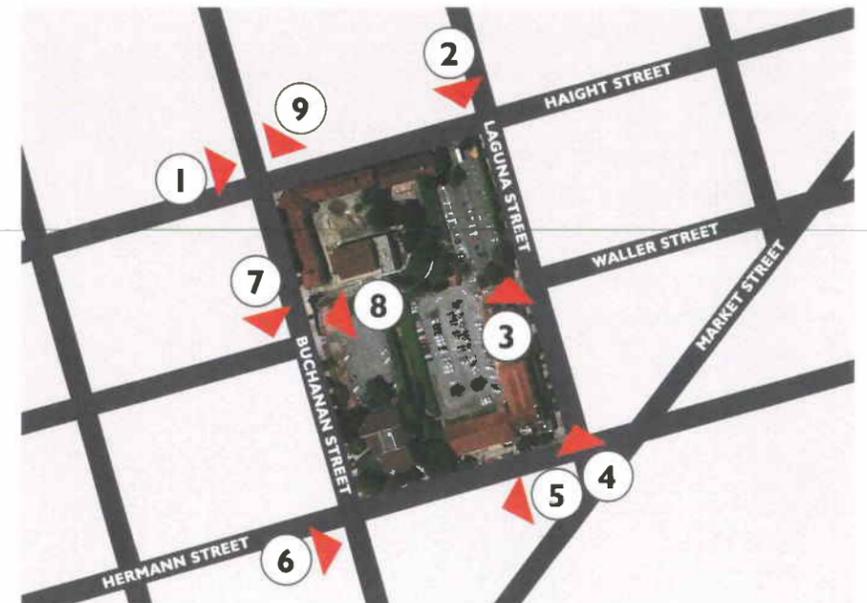
5 View from Laguna and Hermann streets, looking southwest



8 View along Buchanan Street, looking west



9 View from Buchanan and Haight streets, looking southwest.



Key Map

EXISTING CONDITIONS IMAGES

WOODS HALL

Located on the southeastern corner of Buchanan and Haight Streets, Woods Hall (built in 1926) is a two-story-over-basement reinforced-concrete building anchoring the northwestern corner of the campus. Woods Hall is composed of three main components: the west wing, the north wing and the main entrance pavilion. Woods Hall is designed in the Spanish Colonial Revival style with restrained Art Deco accents. The concrete walls are covered in stucco and the combination hip-and-gable roof is clad in red terracotta roof tiles. Fenestration is relatively sparse and the windows feature deep reveals due to the thickness of the concrete walls. The cast concrete ornament is restrained yet monumental with elements belying evidence of both Spanish Colonial and Art Deco influences.

The landmark designation notes the following features that should be preserved:

- All elements on exterior facades from the period of significance, 1924 – 1957;
- Entry at corner of Haight and Buchanan, including the urns, grill, doors, light fixtures, and pilasters;
- Entry hall interior shape, including the exposed roof rafters and purlins;
- Entry from interior courtyard, including the archways, ionic columns above doors, and grillwork;
- Historic exterior windows including the material, configuration, operation, and details;
- Terra cotta tile roof;
- Sacred Palm.



Main entrance at the corner of Buchanan and Haight streets



Courtyard entry



Facade along Haight Street



Courtyard facade showing terra cotta roof and wood windows



Decorative iron gate at Buchanan and Haight Street entrance



Buchanan and Haight Street entrance



Pilasters and light fixture at Buchanan and Haight Street entrance



Entry Hall



Ionic columns and arch above courtyard entry

EXISTING CONDITIONS IMAGES

WOODS HALL ANNEX

Built in 1935 as an addition to Woods Hall, Woods Hall Annex contains the same Spanish-Colonial Revival/Art Deco vocabulary as the earlier buildings on the campus. The Annex has plaster-covered concrete exterior walls and a side-facing gable roof clad in terracotta tiles. Similar to older buildings on the campus, the walls that face the street (north and east) are sparsely fenestrated, whereas the south wall facing the courtyard is amply fenestrated with full-height windows, which allow light into the classrooms.

The landmark designation notes the following features should be preserved:

- All elements on exterior facades from the period of significance, 1924-1957;
- Entry archway, including the columns, capitals and WPA plaque;
- Large oriel window on the south façade;
- Historic light fixtures on the exterior facades;
- Historic exterior windows, including the material, configuration, operation, and details;
- Terra cotta tile roof;
- Interior grand stair;
- Mural, “A Dissertation on Alchemy” by Reuben Kadish.



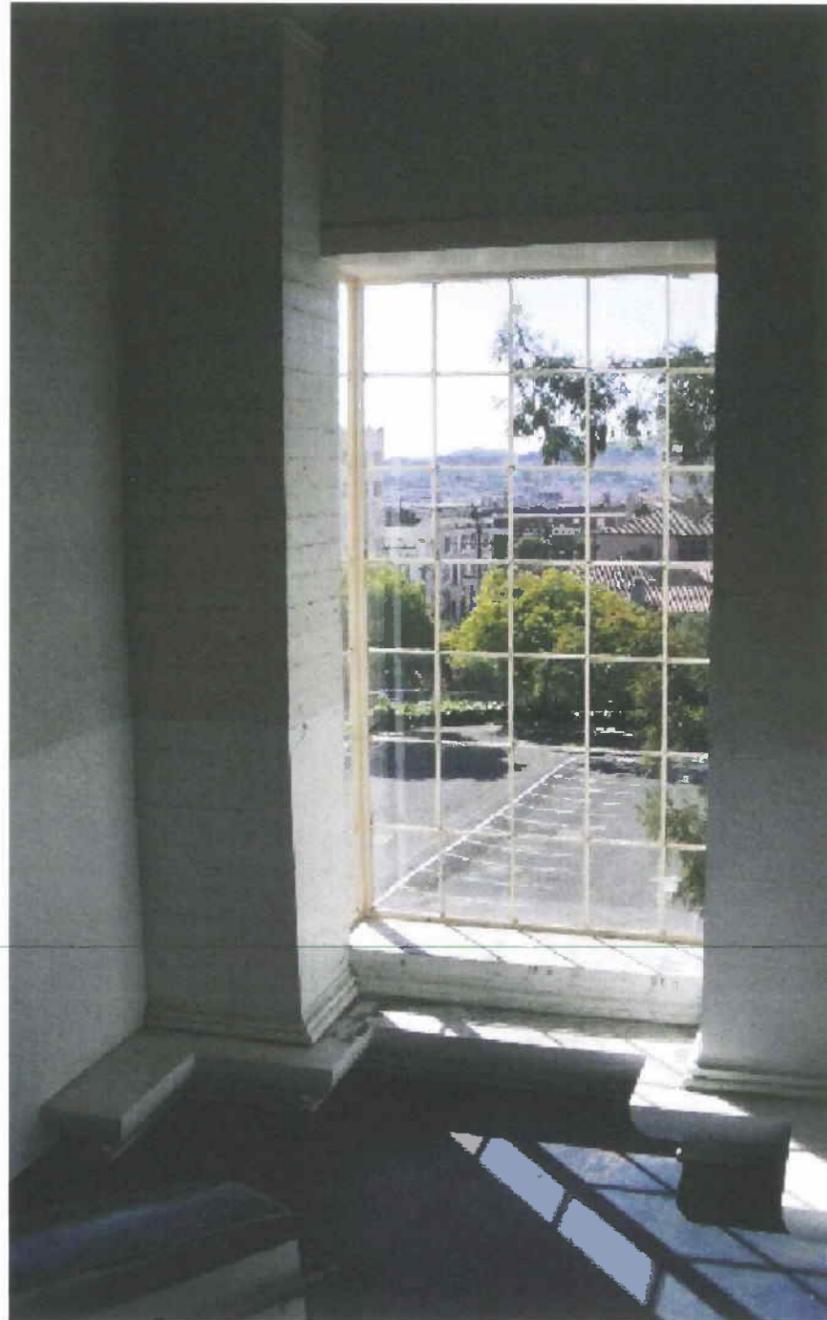
Main entrance along Buchanan Street



Courtyard facade



Oriel window



Landing at grand stair with oriel window



Grand stair and mural at stair



Facade along Buchanan Street



Column detail at Buchanan Street entry



Courtyard entry



WPA Plaque

EXISTING CONDITIONS IMAGES

RICHARDSON HALL

Wrapping around the northwest corner of Laguna and Hermann streets, Richardson Hall (built 1924-1930) is the primary focal point of the UCB Laguna Extension campus from Market Street. Richardson Hall is seen as two separate wings: the Administration Wing and the Training School Wing. The Training School Wing is designed in a combination of Spanish-Colonial Revival and Art Deco styles and is the portion of the building that has been designated a San Francisco landmark. Richardson Hall was constructed of poured-in-place reinforced concrete finished in buff-colored stucco and cast concrete detailing. The combination hip and gable roofs are clad in “Spanish” terracotta roof tiles.

The primary entrance to the building is on the south façade, along Hermann Street. The entrance is flanked by a pair of chamfered columns and surmounted by a portico capped by a pair of sculpted figures. The figures support a book and lantern, symbolizing learning. The auditorium creates a strong presence from the corner of Hermann and Laguna streets. Although functional in use, utility stacks rise above the auditorium and serve as abstract sculptural elements, in keeping with the restrained Art Deco aesthetic of the building.

The landmark designation notes the following features should be preserved:

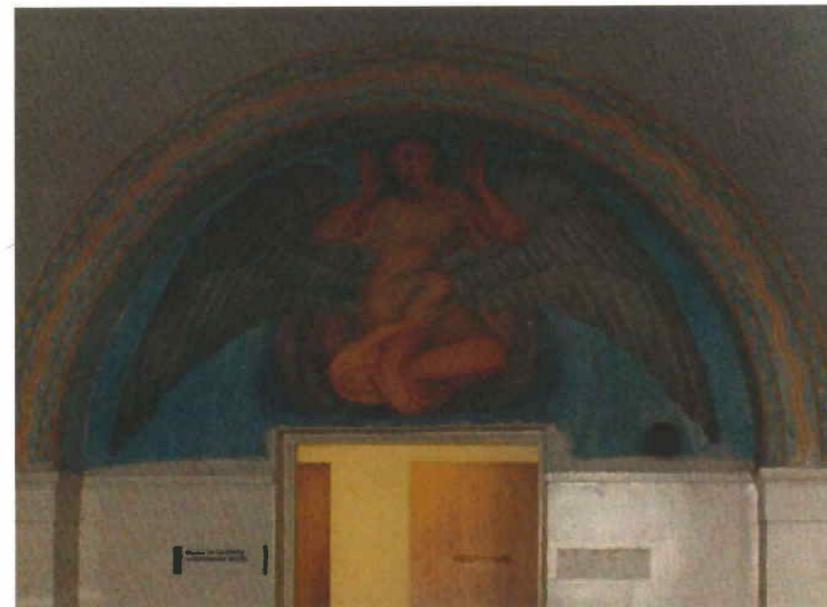
- All elements on exterior facades from the period of significance (1924-1957);
- Retaining walls adjacent to Richardson Hall;
- Massing of the auditorium stacks;
- The owl on the auditorium wall;
- Entry portal on Hermann Street, including the sculpture above entry;
- The metal railing on the south side of the west wing;
- Faux bell tower and entry portal at the interior courtyard;
- Exterior windows;
- Terra cotta tile roof;
- Double-loaded corridors;
- Angel mural by Jack Moxom and the wall where it is located;
- Groin and barrel vault ceilings.



Main entrance at Hermann Street



Courtyard entry



Angel mural by Jack Moxom



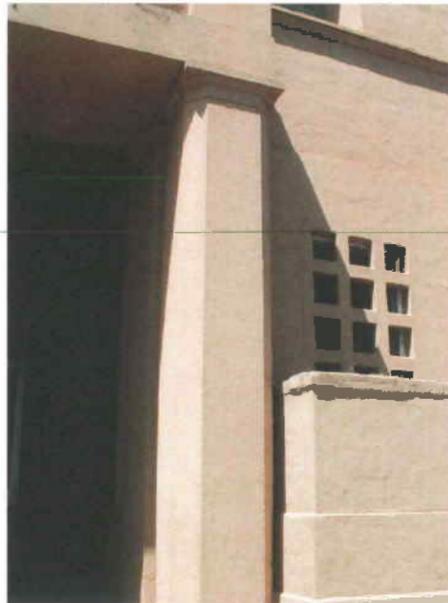
Auditorium at Hermann and Laguna streets



Typical windows



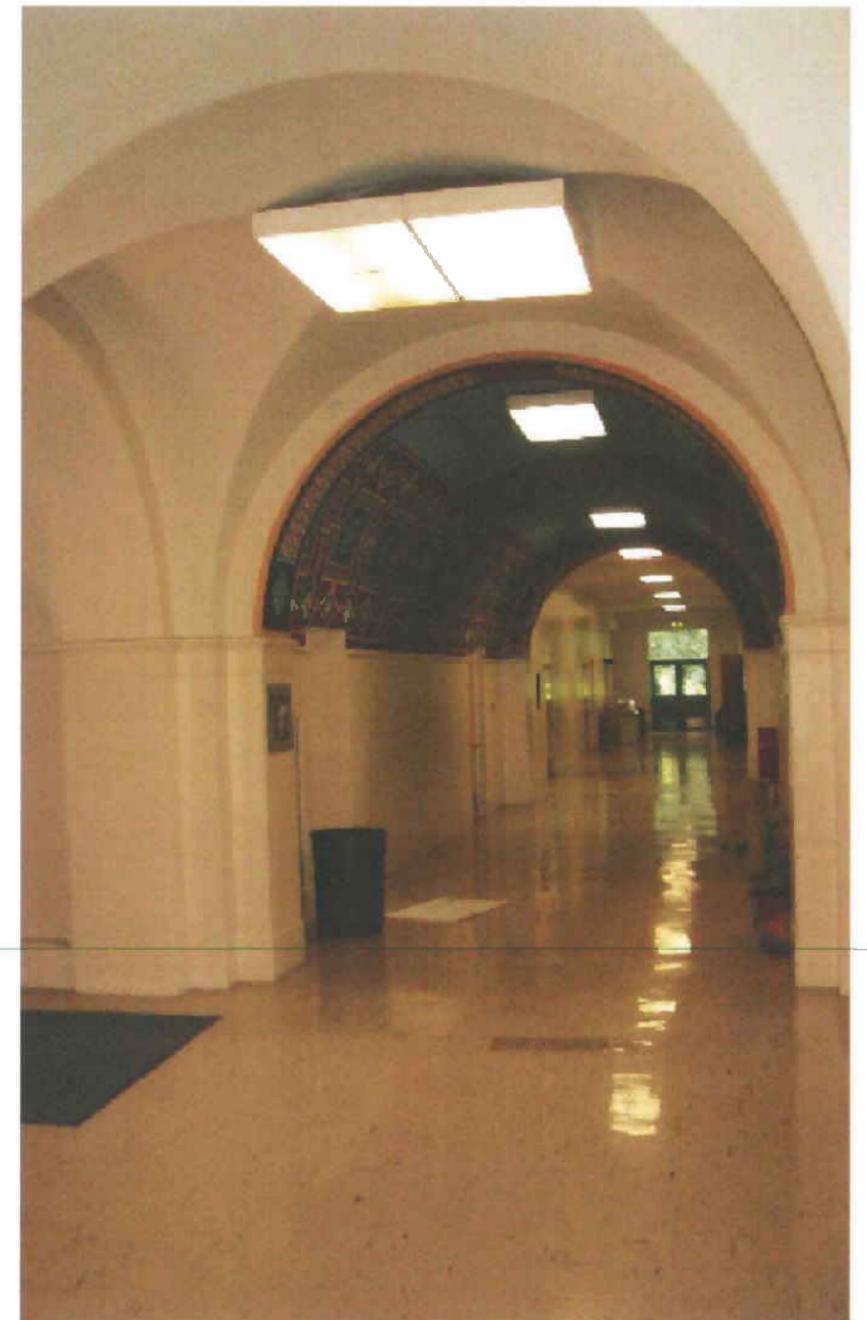
Sculpture above Hermann Street entry



Detail of main entry at Hermann Street (left); owl sculpture (right)



Decorative gate along Hermann Street



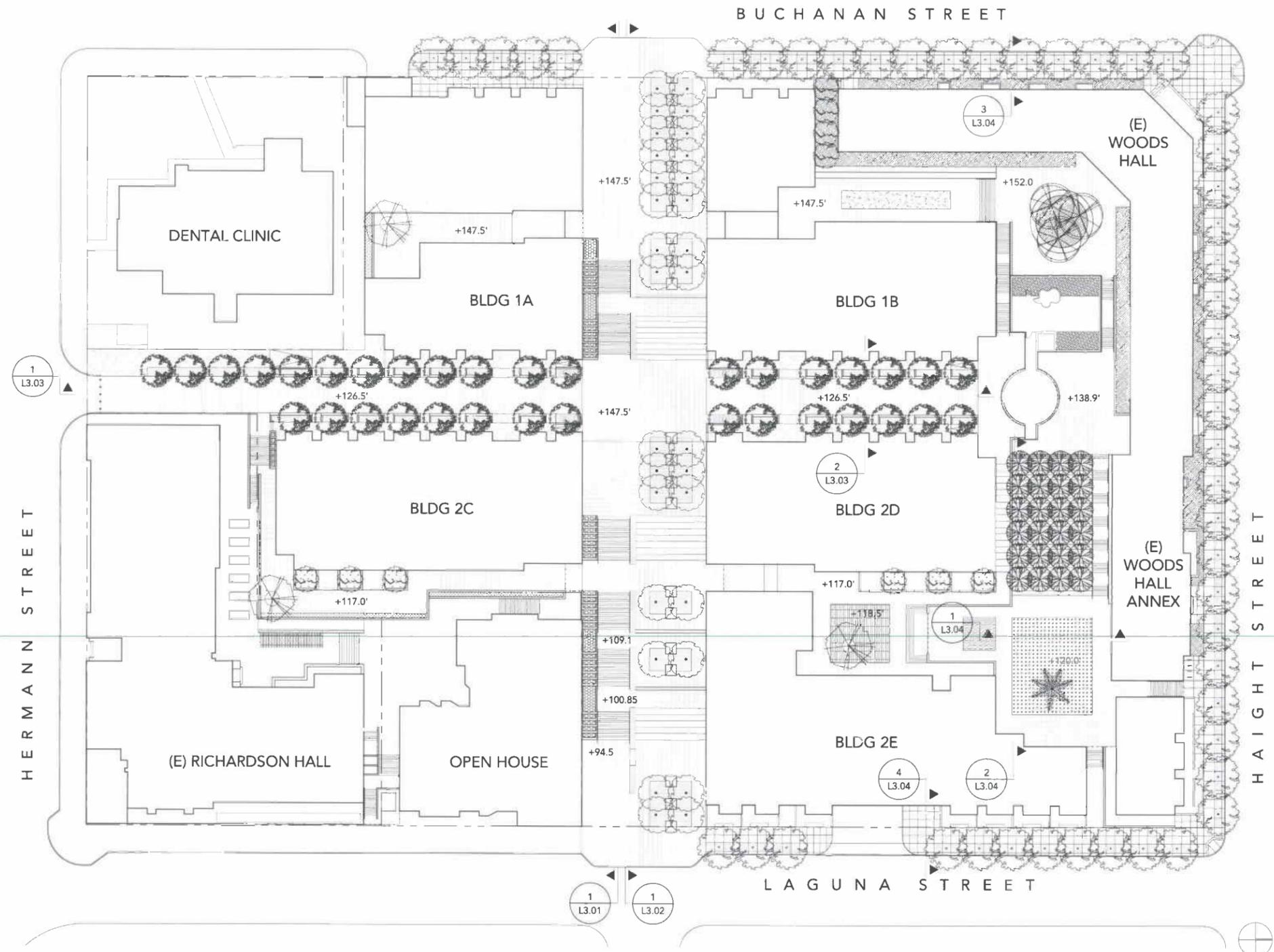
Groin and barrel vault, double-loaded corridor beyond

EXISTING AND PROPOSED DRAWINGS

AERIAL OF SITE, 2011 (GOOGLE EARTH)



PROPOSED SITE PLAN

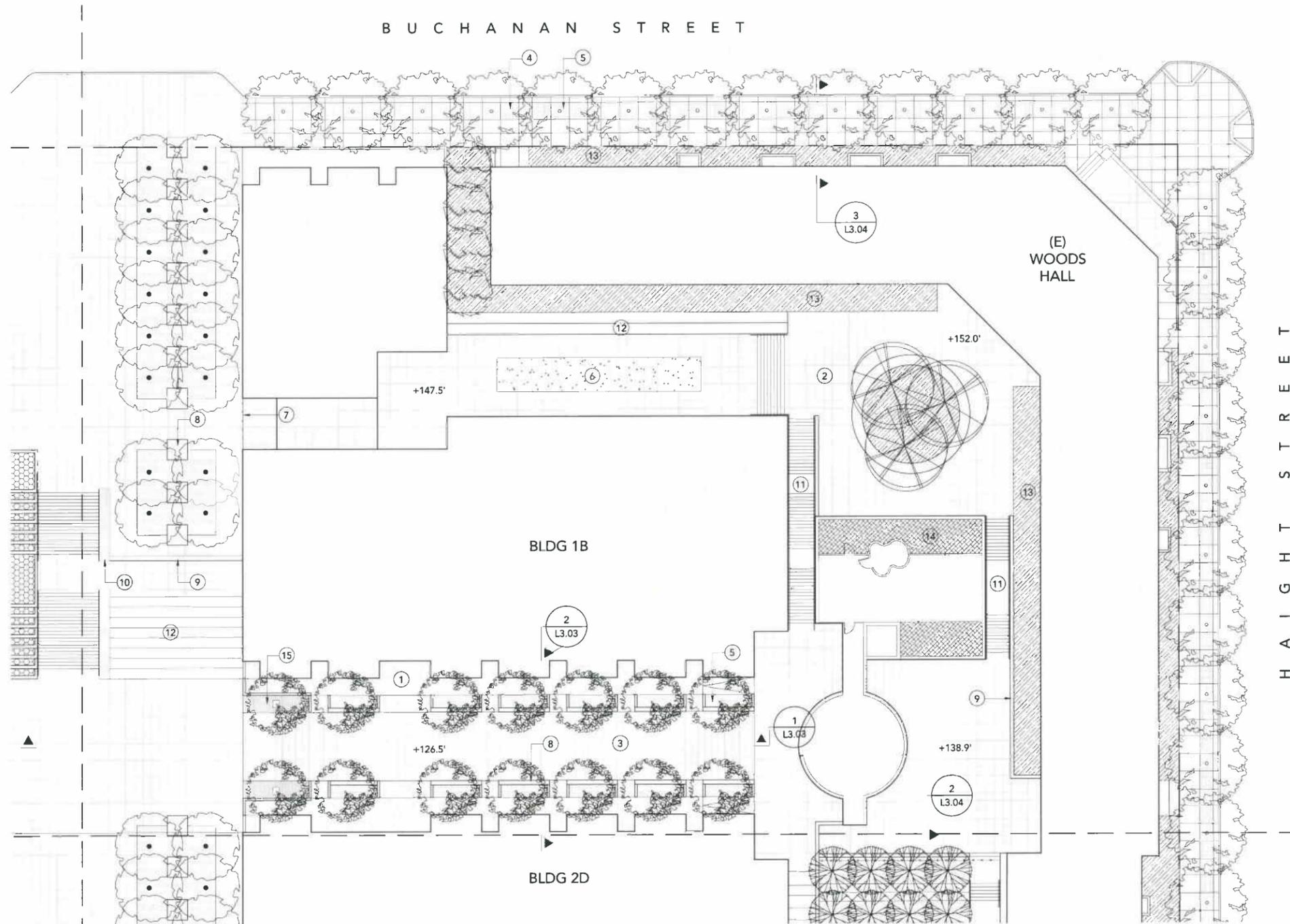


LEGEND	
[Pattern]	CONCRETE PAVING, INTEGRAL COLOR - INTEGRAL COLOR W/ SANDBLAST FINISH AND SAWCUT JOINTS
[Pattern]	UNIT PAVERS TYPE 1
[Pattern]	UNIT PAVERS TYPE 2
[Pattern]	UNIT PAVERS TYPE 3
[Pattern]	CRUSHED GRANITE
[Pattern]	OYSTER SHELL BOCCIE COURT
[Pattern]	SECURITY FENCE/GATE
[Pattern]	CONCRETE SEAT WALL - INTEGRAL COLOR WITH SANDBLAST FINISH
[Pattern]	CONCRETE PLANTER WALL - INTEGRAL COLOR WITH SANDBLAST FINISH
[Pattern]	FEATURE WALL - STONE CLAD OR CAST IN PLACE CONCRETE W/ INTEGRAL COLOR AND SANDBLAST FINISH
[Pattern]	CONCRETE STAIRS - INTEGRAL COLOR WITH SANDBLAST FINISH
[Pattern]	CONCRETE STADIUM SEATS - INTEGRAL COLOR WITH SANDBLAST FINISH
[Pattern]	WOOD SEATING PLATFORM
[Pattern]	GROUNDCOVER PLANTING AREA
[Pattern]	TURF
[Pattern]	HEDGE PLANTING AREA
[Pattern]	GARDEN PLOTS
[Pattern]	PATIO GARDEN
[Pattern]	BIOSWALE PLANTING
[Pattern]	SUNKEN GARDEN
[Symbol]	TREE PLANTING
[Symbol]	TREE GRATE
[Symbol]	BIKE RACK
[Symbol]	REMOVEABLE BOLLARDS

EXISTING AND PROPOSED DRAWINGS SITE

EXISTING AND PROPOSED DRAWINGS

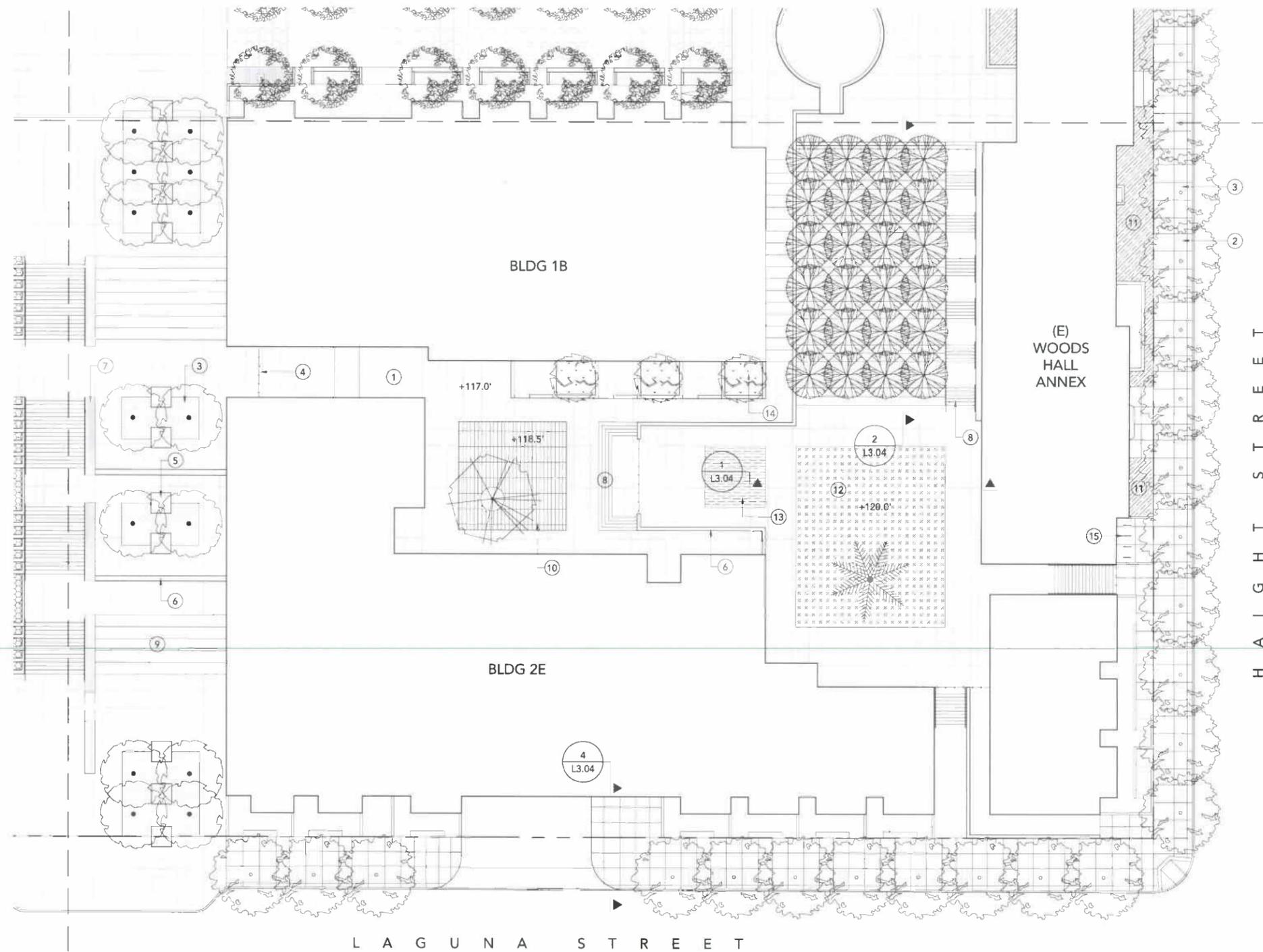
PROPOSED LANDSCAPE PLAN AT WOODS HALL



LEGEND

- ① CONCRETE PAVING, INTEGRAL COLOR
- INTEGRAL COLOR W/ SANDBLAST FINISH
AND SAWCUT JOINTS
- ② UNIT PAVERS TYPE 1
- ③ UNIT PAVERS TYPE 2
- ④ UNIT PAVERS TYPE 3
- ⑤ CRUSHED GRANITE
- ⑥ OYSTER SHELL BOCCIE COURT
- ⑦ SECURITY FENCE/GATE
- ⑧ CONCRETE SEAT WALL
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑨ CONCRETE RETAINING WALL
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑩ FEATURE WALL
- STONE CLAD OR CAST IN PLACE CONCRETE
W/ INTEGRAL COLOR AND SANDBLAST FINISH
- ⑪ CONCRETE STAIRS
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑫ CONCRETE STADIUM SEATS
- INTEGRAL COLOR WITH SANDBLAST FINISH
- ⑬ GROUNDCOVER PLANTING AREA
- ⑭ SUNKEN GARDEN
- ⑮ TREE PLANTING
- ⑯ TREE GRATE

PROPOSED LANDSCAPE PLAN AT WOODS HALL ANNEX



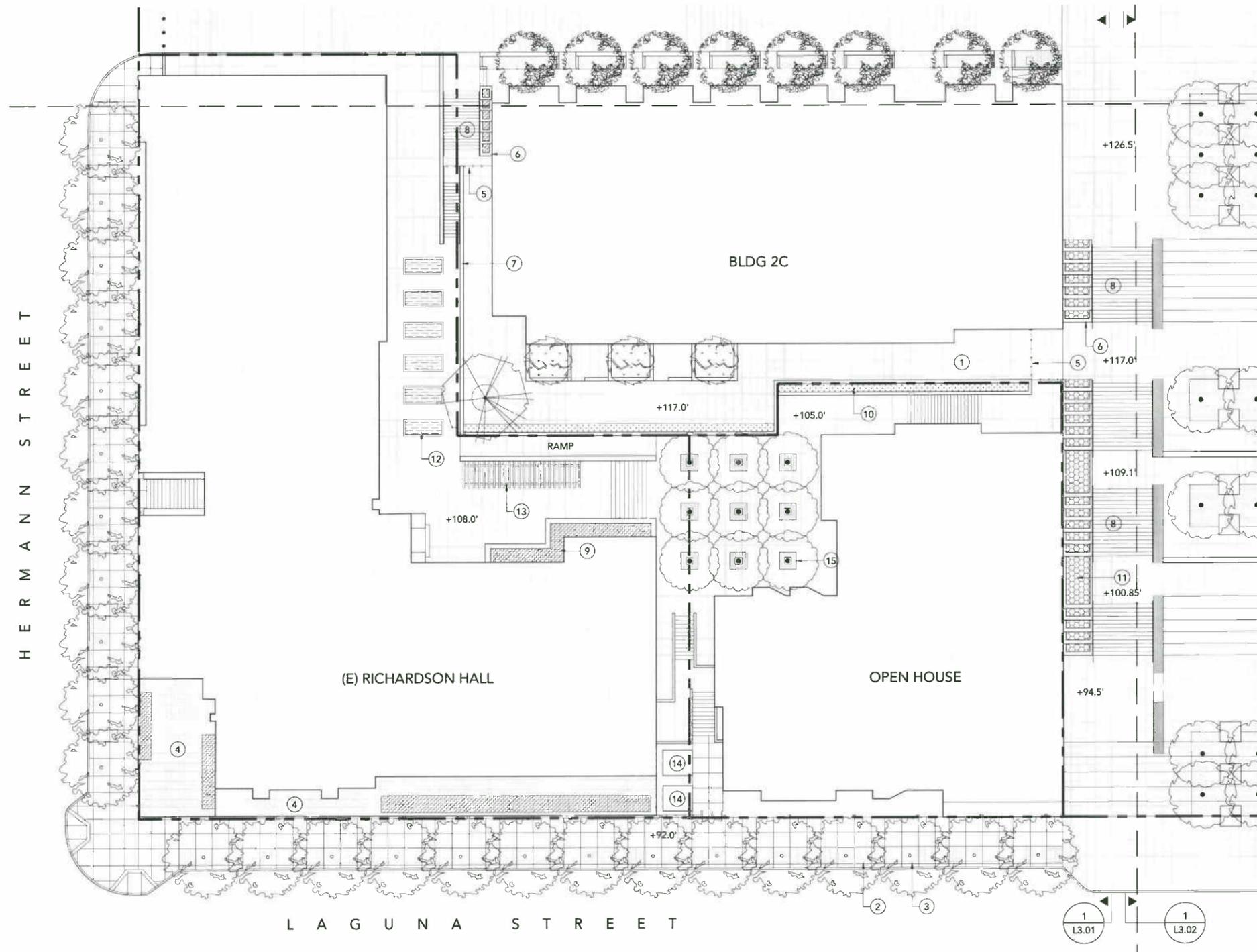
LEGEND

	1 UNIT PAVERS TYPE 1
	2 UNIT PAVERS TYPE 3
	3 CRUSHED GRANITE
	4 SECURITY FENCE/GATE
	5 CONCRETE SEAT WALL - INTEGRAL COLOR WITH SANDBLAST FINISH
	6 CONCRETE RETAINING WALL - INTEGRAL COLOR WITH SANDBLAST FINISH
	7 FEATURE WALL - STONE CLAD OR CAST IN PLACE CONCRETE W/ INTEGRAL COLOR AND SANDBLAST FINISH
	8 CONCRETE STAIRS - INTEGRAL COLOR WITH SANDBLAST FINISH
	9 CONCRETE STADIUM SEATS - INTEGRAL COLOR WITH SANDBLAST FINISH
	10 WOOD SEATING PLATFORM
	11 GROUNDCOVER PLANTING AREA
	12 TURF
	13 GARDEN PLOTS
	14 PATIO GARDEN
	TREE PLANTING
	15 BIKE RACK

EXISTING AND PROPOSED DRAWINGS: SITE

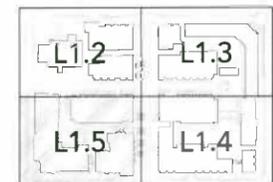
EXISTING AND PROPOSED DRAWINGS

PROPOSED LANDSCAPE PLAN AT RICHARDSON HALL



LEGEND

-  ① UNIT PAVERS TYPE 1
-  ② UNIT PAVERS TYPE 3
-  ③ CRUSHED GRANITE
-  ④ SECOND FLOOR ROOF GARDEN
-  ⑤ SECURITY FENCE/GATE
-  ⑥ CONCRETE PLANTER WALL
- INTEGRAL COLOR WITH SANDBLAST FINISH
-  ⑦ CONCRETE RETAINING WALL
- INTEGRAL COLOR WITH SANDBLAST FINISH
-  ⑧ CONCRETE STAIRS
- INTEGRAL COLOR WITH SANDBLAST FINISH
-  ⑨ RAISED PERENNIAL GARDENS
-  ⑩ HEDGE PLANTING AREA
-  ⑪ BIOSWALE PLANTING
-  ⑫ GARDEN PLOTS
-  ⑬ TRELLIS
-  ⑭ TRANSFORMER
-  TREE PLANTING
-  ⑮ TREE GRATE



EXISTING AND PROPOSED DRAWINGS

WOODS HALL



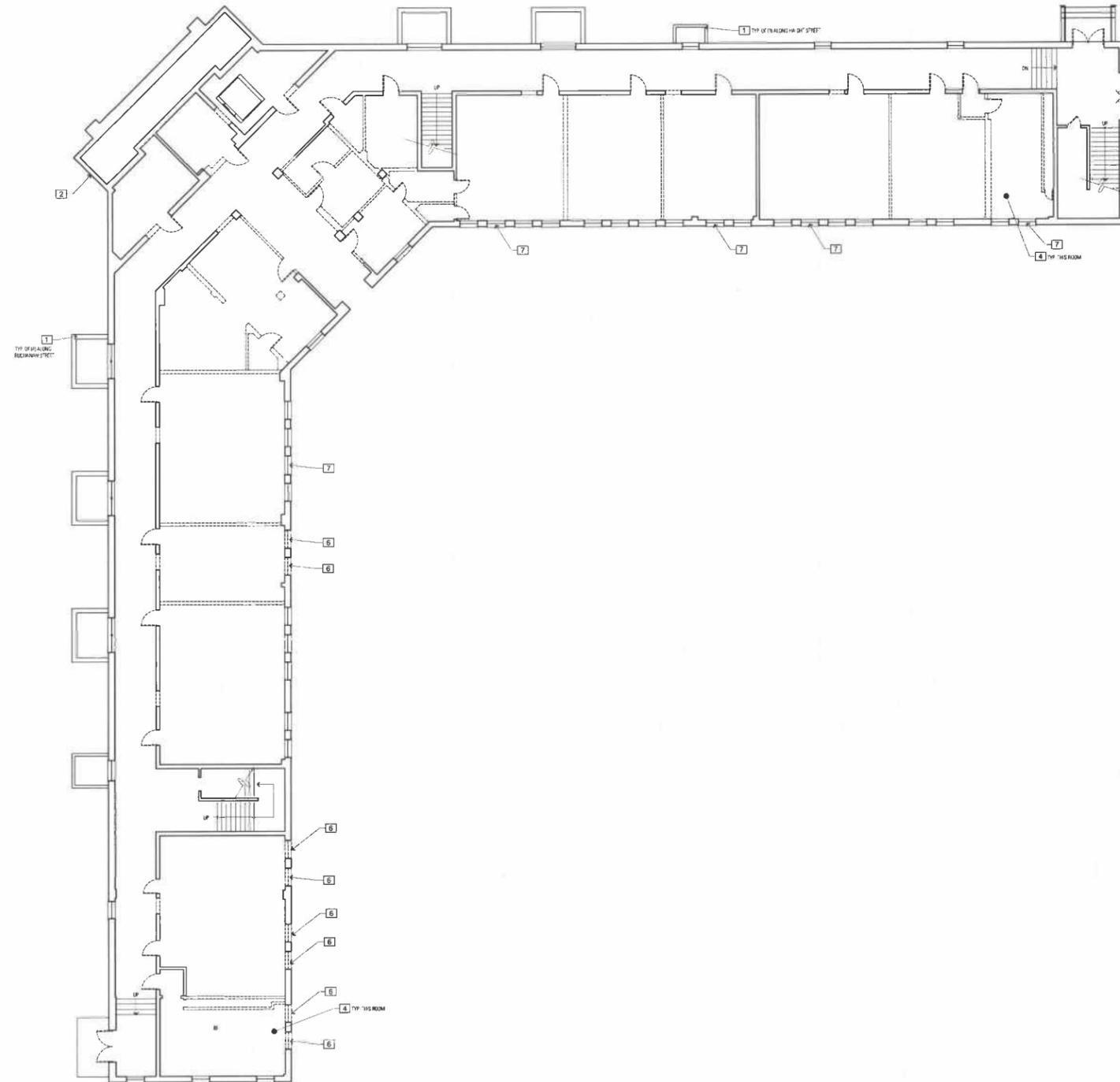
PROPOSED SCOPE OF WORK

Woods Hall will be rehabilitated and used for housing. The proposed design includes four studios and 17 one-bedroom units. The new use will retain the significant interior entry pavilion, the building's primary interior architectural feature, including its original exposed rafters. The proposed design will continue to use the existing internal circulation pattern consisting of a single-loaded corridor. The proposed units will be located where the existing classrooms were located, thus minimizing change to the plan of Woods Hall. Entry to the units will be through the existing single-loaded corridor. Existing, non-historic doors will be replaced with new doors. Vertical circulation will include the existing stairs and a new elevator that will be added to address accessibility issues. The courtyard facades include several windows with a high sill, these windows will be replaced with new windows to match original window types that have a lower sill. The courtyard façade facing south currently has non-original aluminum windows. These windows will be replaced with new energy-efficient metal windows that match the original in operation and lite configuration. Deferred maintenance issues will be addressed, including repairs to the existing terra cotta tile roof and existing windows to remain. The building will receive a seismic upgrade. The facades facing Haight and Buchanan Streets will be retained intact, including the wood windows, stucco, decorative iron entry gate, and light wells. The concrete low wall at the corner of Haight and Buchanan Streets will be altered with a new opening to increase the visibility of the entry as well as address security concerns in that area. The existing urns on the low wall will be retained. As part of the project, the Sacred Palm noted in the landmark ordinance will be relocated and retained on site.

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL

WOODS HALL

EXISTING FIRST LEVEL PLAN



DEMO PLAN GENERAL NOTES

- A REMOVE (E) CARPET, TYP., U.O.N.
- B REMOVE (E) VCT FLOORING & ADHESIVE ENTIRELY, TYP.
- C REMOVE (E) A.C.T. & ADHESIVE ENTIRELY, TYP., PROTECT (E) PLASTER CLGS. FROM DAMAGE. A.C.T. AND/OR ADHESIVE MAY CONTAIN HAZARDOUS MATERIALS, ABATEMENT BY OTHERS.
- D REMOVE (E) WNDW. COVERINGS, TYP., U.O.N.
- E REMOVE (E) ELECT. PANELS & JUNCTION BOXES AT INT. & EXT., TYP.
- F REMOVE (E) ELECT. DEVICES, RACEWAY, CONDUIT, AND WIRING, TYP.
- G REMOVE (E) DATA, T.V., AND TELE. DEVICES & WIRING, TYP.
- H REMOVE (E) SECURITY, FIRE & SMOKE ALARMS & DEVICES.
- I REMOVE (E) LIGHTING FIXTURES, TYP., U.O.N.
- J REMOVE (E) GAS PIPING, TYP.
- K REMOVE (E) MECH. EQUIPT., TYP.
- L DEMOLITION OF (E) WALLS & PARTITIONS SHOWN, INCLUDES WALL FRMG., WALL FINISH, DRs., WNDWS., HDW., FRAMES, TRIM, FASTENERS, PLBG., & ELECT. ASSOCIATED W/ WALL OR PARTITION, U.O.N.
- M ALL (E) MATERIALS AND INT. FINISHES TO REMAIN, PROTECT FROM DAMAGE DURING CONSTRUCTION. PROVIDE FLR. PROTECTION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE OCCURRING DURING CONSTRUCTION AND REPAIR/REPLACEMENT COSTS.
- N DRY ROT/TERMITE DAMAGED WD. SHALL BE REMOVED AS PART OF THE DEMOLITION WORK SHOWN ON SHTS. 100.2.1, 100.2.2, 110.2.1, AND 110.2.2.
- O REMOVE ALL (E) DRY ROT/ TERMITE DAMAGED STR. AND FIN. WD. MATERIAL UNCOVERED DURING CONSTRUCTION AND NOT OTHERWISE SHOWN TO BE REMOVED AS PART OF DEMOLITION WORK. SPRAY ALL AFFECTED WD. TO REMAIN AND ADJACENT SOIL, WITH APPROPRIATE CHEMICAL TREATMENT.

SHEET NOTES

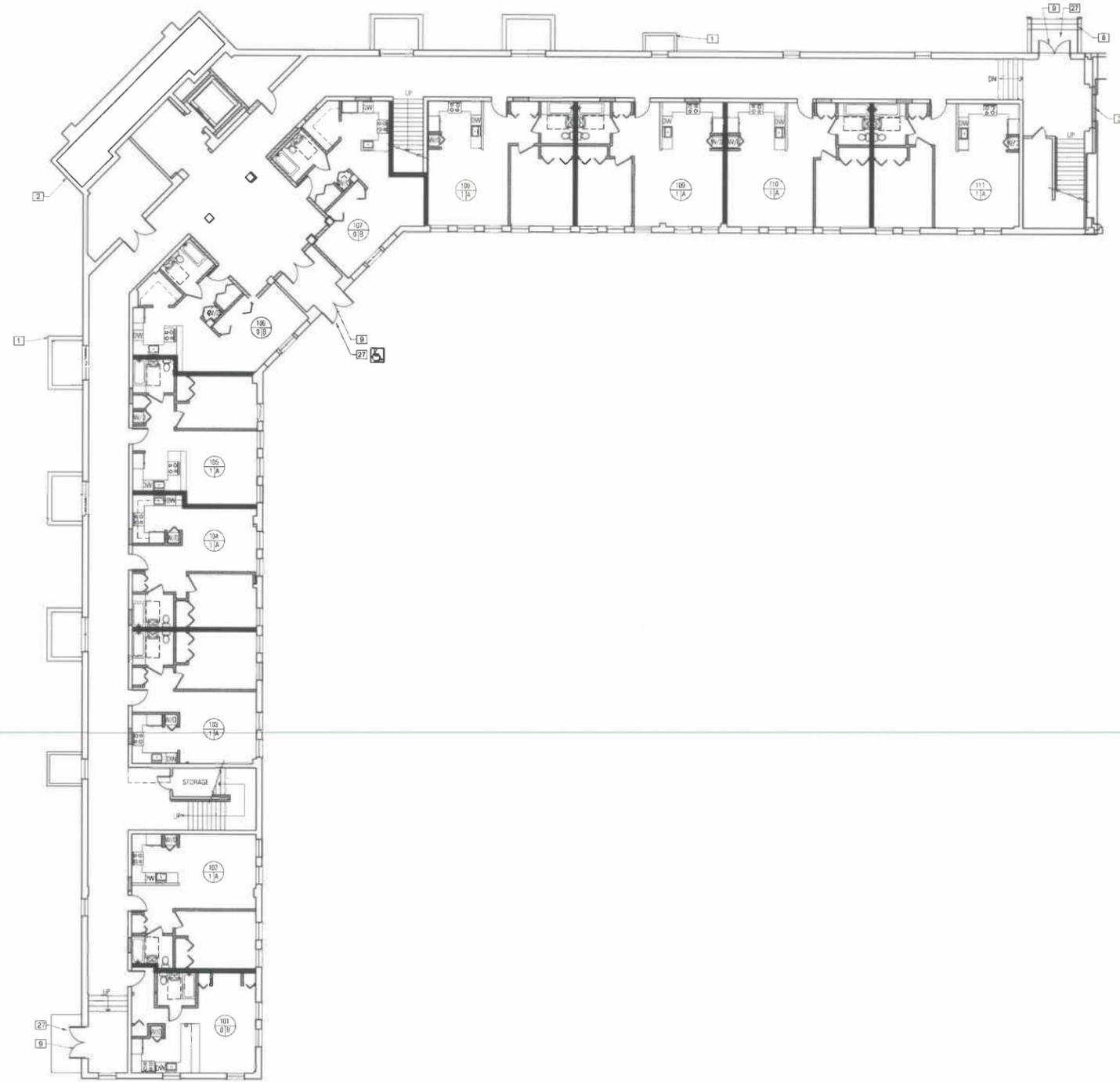
- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 PARTIAL DEMOLITION OF (E) WALL. SEE LANDSCAPE DRAWINGS
- 4 REMOVE (E) PLBG. FIXTURES, CAP PLUMBING LINES AND ABANDON IN PLACE, TYP., U.O.N.
- 5 REMOVE (E) FURRING AND CASEWORK, TYP. THIS WALL
- 6 (E) HISTORIC WINDOW TO BE REMOVED TO ACCOMMODATE (N) WINDOW
- 7 (E) NON-HISTORIC WINDOW OR DOOR TO BE REMOVED TO ACCOMMODATE (N) DOOR OR WINDOW
- 8 HISTORIC URNS TO REMAIN, PROTECT DURING DEMOLITION
- 9 HISTORIC LIGHT FIXTURES TO REMAIN, PROTECT DURING DEMOLITION
- 10 HISTORIC METAL GRILL TO REMAIN, PROTECT DURING DEMOLITION
- 11 PROTECT (E) HISTORIC KADISH MURAL DURING DEMOLITION
- 12 HISTORIC STAIR TO REMAIN, PROTECT DURING DEMOLITION

LEGEND

- (E) WALL
- - - (E) WALL TO BE DEMOLISHED

WOODS HALL

PROPOSED FIRST LEVEL PLAN



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (N) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (N) PARTITIONS AND AT ALL (E) PARTITIONS (AND PORTIONS THERE OF) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION ##.
- C. ALL DOORS ARE (N) UNLESS OTHERWISE NOTED.

LEGEND

- (E) WALL
- (N) UNIT DEMISING WALL
- (N) WALL
- (E) COLUMN
- UNIT #
- UNIT TYPE (A=1 BEDROOM, B=STUDIO)
- # OF BEDROOMS
- ACCESSIBLE ENTRY

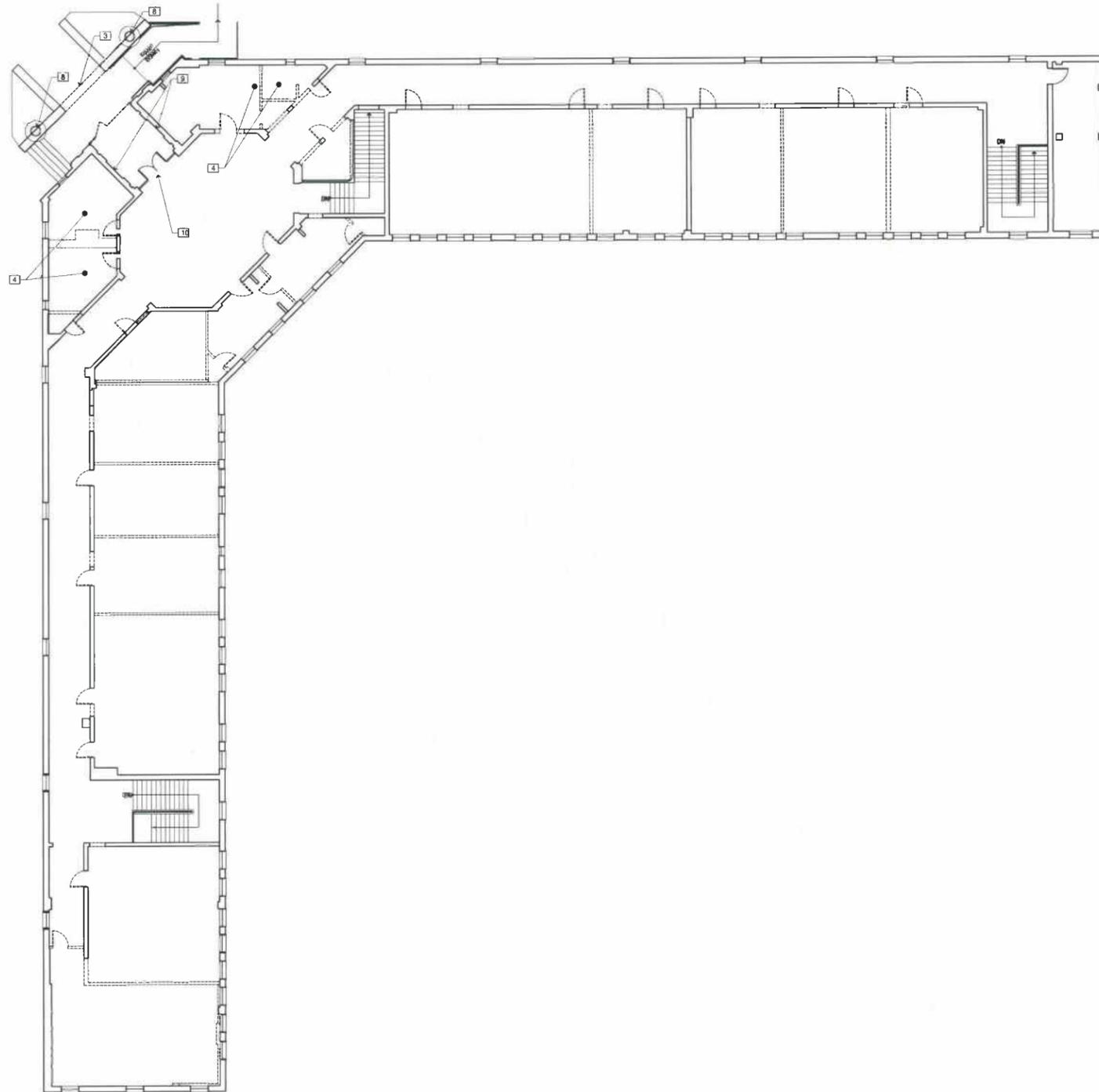
SHEET NOTES

- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 (N) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4 (N) PRIVATE PATIO. SEE LANDSCAPE DRAWINGS
- 5 NOT USED
- 6 (N) STEPS @ CORNER ENTRY. SEE LANDSCAPE & CIVIL DWGS
- 7 (E) WALL & HISTORIC URNS
- 8 (N) HANDRAIL
- 9 (E) ENTRY
- 10 (N) BALCONY W/ METAL RAIL
- 11 (E) CRAWLSPACE
- 12 (E) EXHAUST CHIMNEYS & RETAINING WALL
- 13 (N) RAMP. SEE LANDSCAPE & CIVIL DRAWINGS
- 14 (E) RAMP
- 15 (E) FOUNTAIN
- 16 (N) HOLD-OPEN DOORS
- 17 (N) METAL RAIL
- 18 (E) WINDOW
- 19 (N) ELEVATOR
- 20 (N) EXIT
- 21 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 22 REFURBISH (E) HISTORIC GRILL
- 23 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 24 (E) HISTORIC STAIR
- 25 (E) HISTORIC MURAL BY REUBEN KADISH
- 26 (E) HISTORIC BAY WINDOW
- 27 LEVEL LANDING @ ENTRY

EXISTING AND PROPOSED DRAWINGS: WOODS HALL

WOODS HALL

EXISTING SECOND LEVEL PLAN



DEMO PLAN GENERAL NOTES

- A REMOVE (E) CARPET, TYP., U.O.N.
- B REMOVE (E) VCT FLOORING & ADHESIVE ENTIRELY, TYP.
- C REMOVE (E) A.C.T. & ADHESIVE ENTIRELY, TYP., PROTECT (E) PLASTER CLGS. FROM DAMAGE. A.C.T. AND/OR ADHESIVE MAY CONTAIN HAZARDOUS MATERIALS, ABATEMENT BY OTHERS.
- D REMOVE (E) WNDW. COVERINGS, TYP., U.O.N.
- E REMOVE (E) ELECT. PANELS & JUNCTION BOXES AT INT. & EXT., TYP.
- F REMOVE (E) ELECT. DEVICES, RACEWAY, CONDUIT, AND WIRING, TYP.
- G REMOVE (E) DATA, T.V., AND TELE. DEVICES & WIRING, TYP.
- H REMOVE (E) SECURITY, FIRE & SMOKE ALARMS & DEVICES.
- I REMOVE (E) LIGHTING FIXTURES, TYP., U.O.N.
- J REMOVE (E) GAS PIPING, TYP.
- K REMOVE (E) MECH. EQUIPT., TYP.
- L DEMOLITION OF (E) WALLS & PARTITIONS SHOWN, INCLUDES WALL FRMG., WALL FINISH, DRG., WNDWS., HDW., FRAMES, TRIM, FASTENERS, PLBG., & ELECT. ASSOCIATED W/ WALL OR PARTITION, U.O.N.
- M ALL (E) MATERIALS AND INT. FINISHES TO REMAIN, PROTECT FROM DAMAGE DURING CONSTRUCTION. PROVIDE FLR. PROTECTION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE OCCURRING DURING CONSTRUCTION AND REPAIR/REPLACEMENT COSTS.
- N DRY ROT/TERMITE DAMAGED WD. SHALL BE REMOVED AS PART OF THE DEMOLITION WORK SHOWN ON SHTS. 10D.2.1, 10D.2.2, 11D.2.1, AND 11D.2.2.
- O REMOVE ALL (E) DRY ROT/ TERMITE DAMAGED STR. AND FIN. WD. MATERIAL UNCOVERED DURING CONSTRUCTION AND NOT OTHERWISE SHOWN TO BE REMOVED AS PART OF DEMOLITION WORK. SPRAY ALL AFFECTED WD. TO REMAIN AND ADJACENT SOIL, WITH APPROPRIATE CHEMICAL TREATMENT.

SHEET NOTES

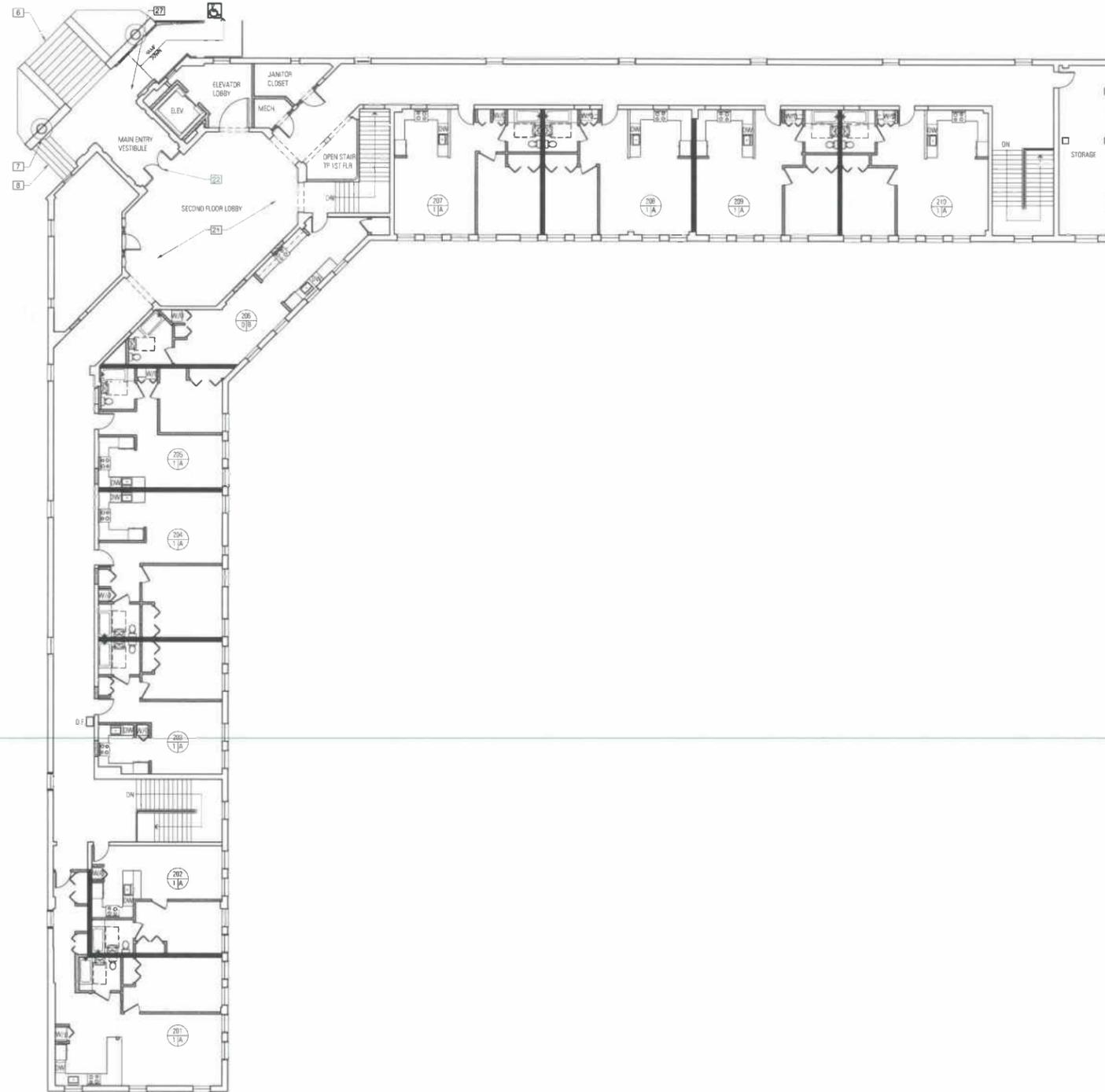
- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 PARTIAL DEMOLITION OF (E) WALL. SEE LANDSCAPE DRAWINGS
- 4 REMOVE (E) PLBG. FIXTURES, CAP PLUMBING LINES AND ABANDON IN PLACE, TYP., U.O.N.
- 5 REMOVE (E) FURRING AND CASEWORK, TYP. THIS WALL
- 6 (E) HISTORIC WINDOW TO BE REMOVED TO ACCOMMODATE (N) WINDOW
- 7 (E) NON-HISTORIC WINDOW OR DOOR TO BE REMOVED TO ACCOMMODATE (N) DOOR OR WINDOW
- 8 HISTORIC URNS TO REMAIN, PROTECT DURING DEMOLITION
- 9 HISTORIC LIGHT FIXTURES TO REMAIN, PROTECT DURING DEMOLITION
- 10 HISTORIC METAL GRILL TO REMAIN, PROTECT DURING DEMOLITION
- 11 PROTECT (E) HISTORIC KADISH MURAL DURING DEMOLITION
- 12 HISTORIC STAIR TO REMAIN, PROTECT DURING DEMOLITION

LEGEND

- (E) WALL
- - - (E) WALL TO BE DEMOLISHED

WOODS HALL

PROPOSED SECOND LEVEL PLAN



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (N) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (N) PARTITIONS AND AT ALL (E) PARTITIONS (AND PORTIONS THERE OF) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION ##.
- C. ALL DOORS ARE (N) UNLESS OTHERWISE NOTED.

LEGEND

- (E) WALL
- (N) UNIT DEMISING WALL
- (N) WALL
- (E) COLUMN
- UNIT #
- UNIT TYPE (A=1 BEDROOM, B=STUDIO)
- # OF BEDROOMS
- (B) ACCESSIBLE ENTRY

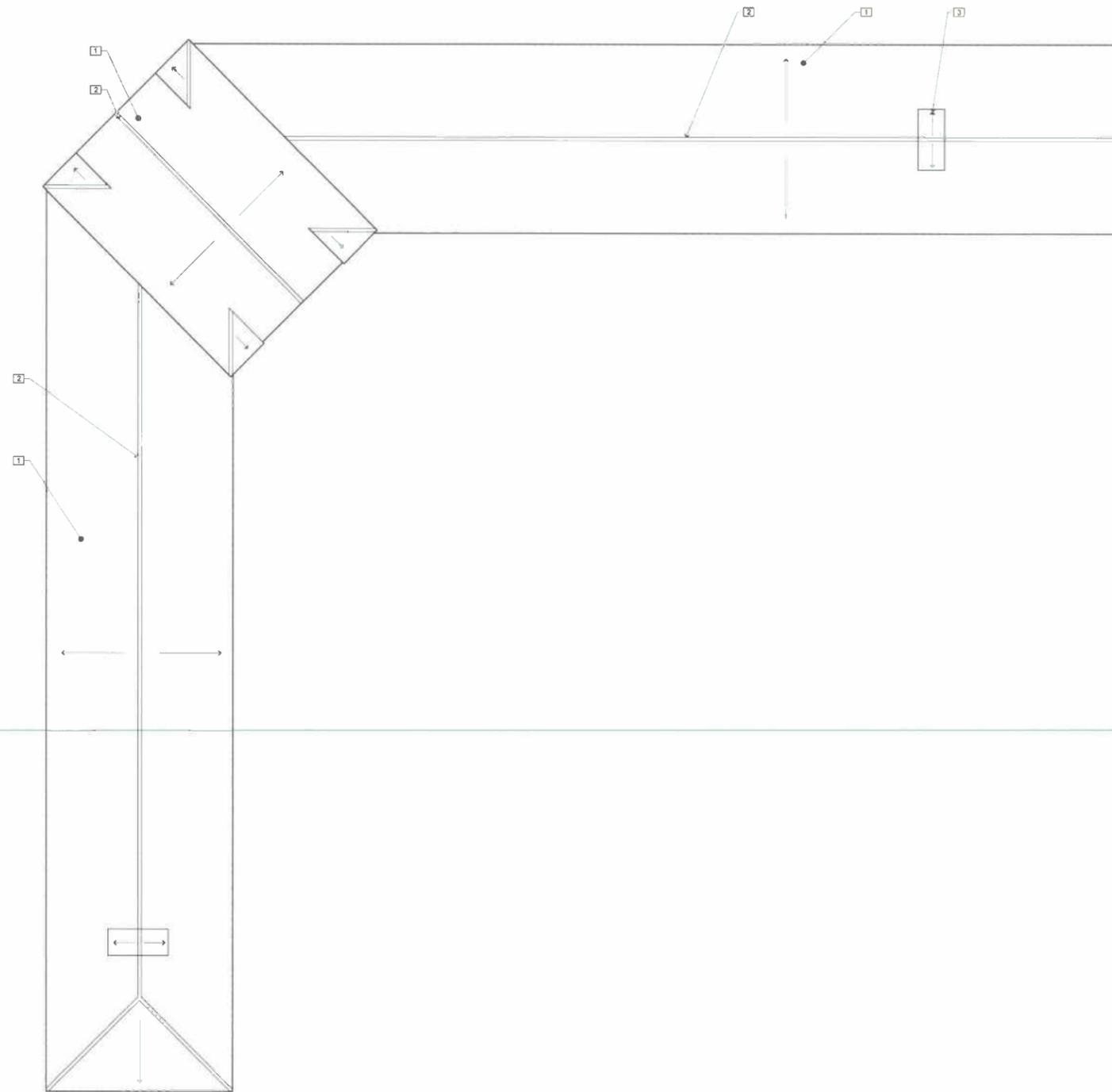
SHEET NOTES

- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 (N) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4 (N) PRIVATE PATIO, SEE LANDSCAPE DRAWINGS
- 5 NOT USED
- 6 (N) STEPS @ CORNER ENTRY. SEE LANDSCAPE & CIVIL DWGS
- 7 (E) WALL & HISTORIC URNS
- 8 (N) HANDRAIL
- 9 (E) ENTRY
- 10 (N) BALCONY W/ METAL RAIL
- 11 (E) CRAWL SPACE
- 12 (E) EXHAUST CHIMNEYS & RETAINING WALL
- 13 (N) RAMP, SEE LANDSCAPE & CIVIL DRAWINGS
- 14 (E) RAMP
- 15 (E) FOUNTAIN
- 16 (N) HOLD-OPEN DOORS
- 17 (N) METAL RAIL
- 18 (E) WINDOW
- 19 (N) ELEVATOR
- 20 (N) EXIT
- 21 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 22 REFURBISH (E) HISTORIC GRILL
- 23 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 24 (E) HISTORIC STAIR
- 25 (E) HISTORIC MURAL BY REUBEN KADISH
- 26 (E) HISTORIC BAY WINDOW
- 27 LEVEL LANDING @ ENTRY

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL

WOODS HALL

EXISTING AND PROPOSED ROOF PLAN



ROOF PLAN GENERAL NOTES

- A INSPECT (E) FLASHING AT BASE OF ALL ROOFTOP PROTRUSION. REPAIR AS REQUIRED.
- B REMOVE (E) CLAY TILE & SALVAGE FOR REUSE. INSPECT (E) PLYWOOD SUBSTRATE FOR CODE COMPLIANCE. INSTALL (N) MEMBRANE. REINSTALL (E) CLAY TILE AS PER SPEC. ## REPLACE BROKEN TILE WITH (N) TO MATCH (E).

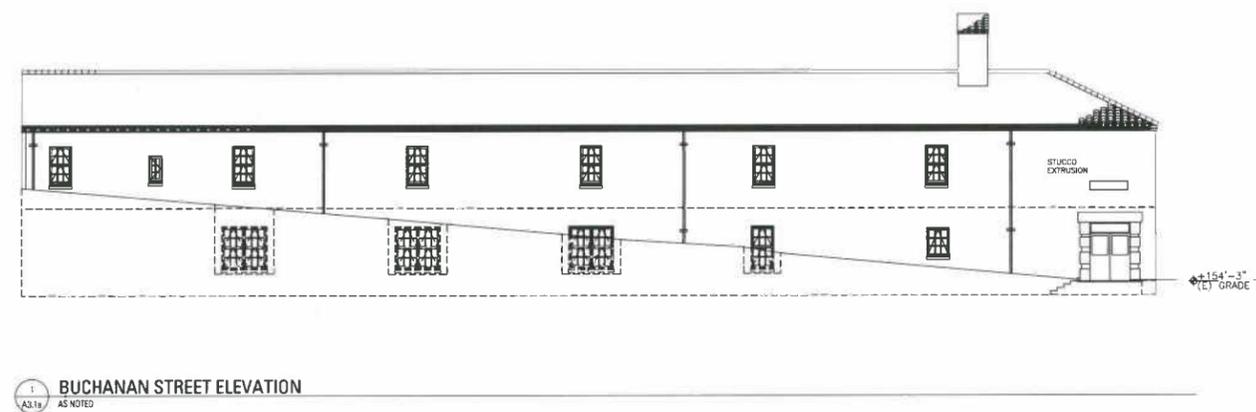
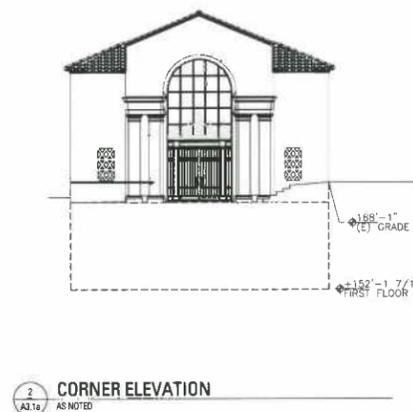
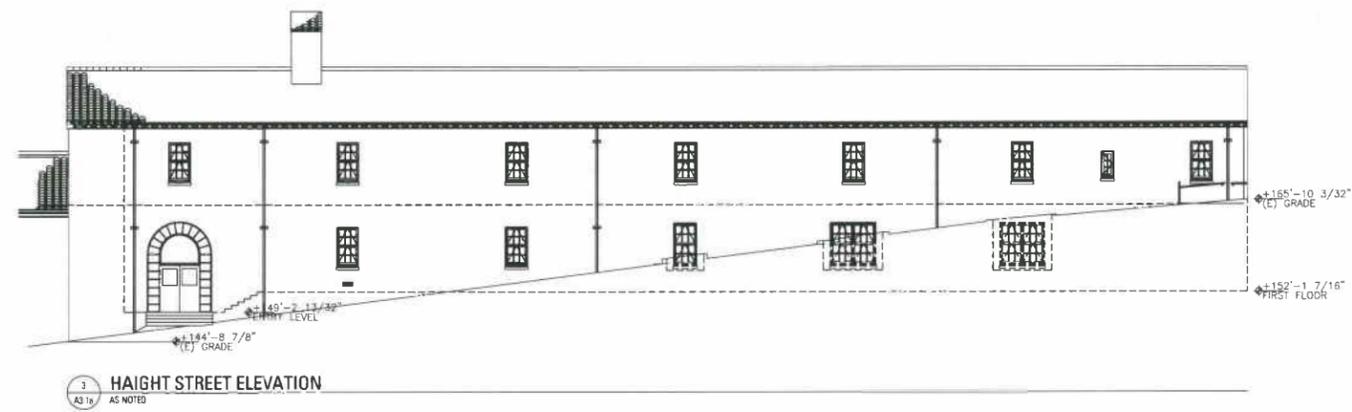
SHEET NOTES

- 1 (E) CLAY TILE ROOF
- 2 (E) ROOF RIDGE
- 3 (E) CHIMNEY EXHAUST
- 4 WINDOW BELOW
- 5 (E) MECHANICAL EXHAUST & RETAINING WALL BELOW

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL

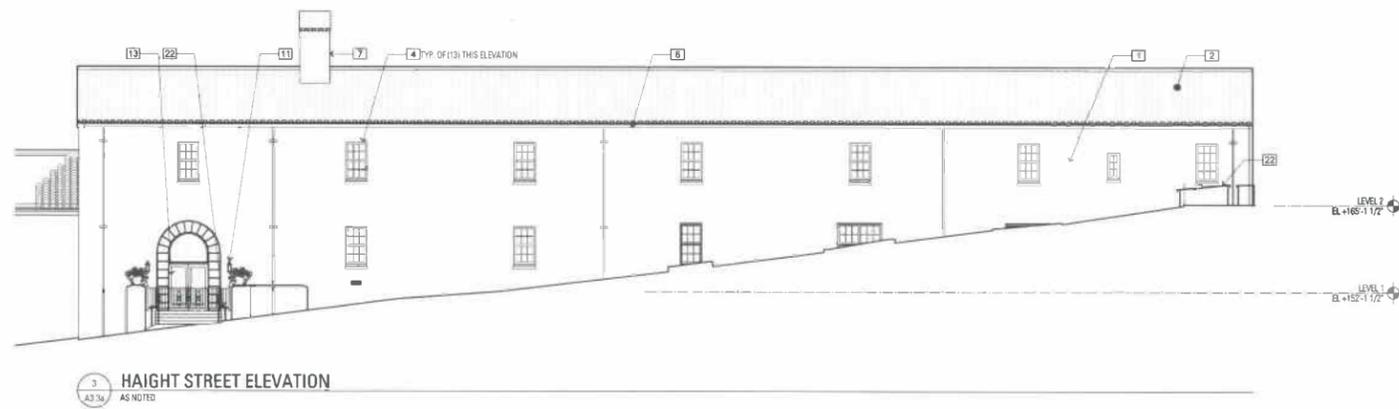
WOODS HALL

EXISTING HAIGHT STREET AND BUCHANAN STREET ELEVATIONS

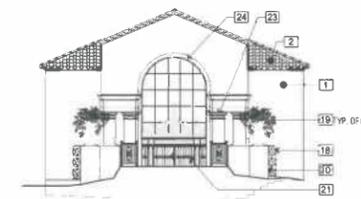


WOODS HALL

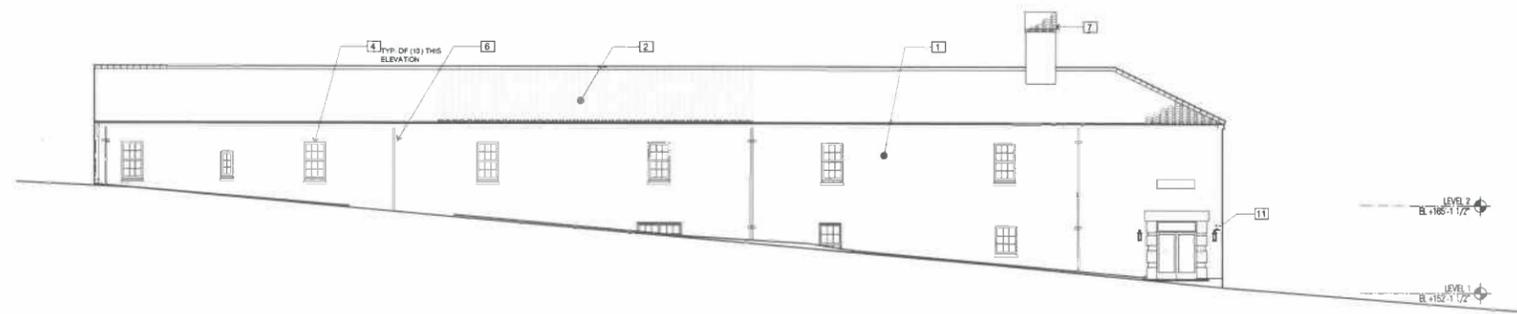
PROPOSED HAIGHT STREET AND BUCHANAN STREET ELEVATIONS



3 HAIGHT STREET ELEVATION
A3.3a AS NOTED



2 CORNER ELEVATION
A3.3a AS NOTED



1 BUCHANAN STREET ELEVATION
A3.3a AS NOTED

EXTERIOR ELEVATIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING SEE SPEC SECTION ##
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION ##
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

SHEET NOTES

- 1 (E) CEMENT PLASTER
- 2 (E) CLAY TILE ROOF. SEE 11A 2 3
- 3 (E) NON-HISTORIC ALUM. WINDOW.
- 4 (E) HISTORIC WOOD WINDOW
- 5 (N) ALUM. WINDOW.
- 6 (E) GUTTERS & DOWNSPOUT
- 7 (E) CHIMNEY EXHAUST
- 8 (E) MECHANICAL EXHAUST & RETAINING WALL
- 9 (N) RAMP. SEE LANDSCAPE & CIVIL DWGS.
- 10 (N) DECORATIVE RAIL
- 11 (N) EXTERIOR WALL MTD. LIGHT
- 12 (N) DECORATIVE METAL GATE, SEE LANDSCAPE DRAWINGS
- 13 (E) ENTRY TO REMAIN.
- 14 (N) ENCLOSED PATIO W/ METAL GATE
- 15 (N) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (E) LOUVER. SEE WINDOW SCHEDULE
- 17 (N) DOOR
- 18 (E) GRILL
- 19 (E) HISTORIC URN, PROTECT DURING DEMOLITION & CONSTRUCTION
- 20 (E) LOW WALL W/ NEW OPENING
- 21 REFURBISH (E) DECORATIVE METAL GRILL
- 22 (N) HANDRAIL
- 23 (E) HISTORIC PILASTERS
- 24 (E) HISTORIC ARCHWAY
- 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 26 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 27 (E) HISTORIC ARCHED NICHE & IONIC COLUMNS
- 28 (E) HISTORIC BAY WINDOW TO REMAIN
- 29 (E) WPA PLAQUE
- 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
- 31 (E) BAY WINDOW TO REMAIN
- 32 (N) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS.

EXISTING AND PROPOSED DRAWINGS: WOODS HALL

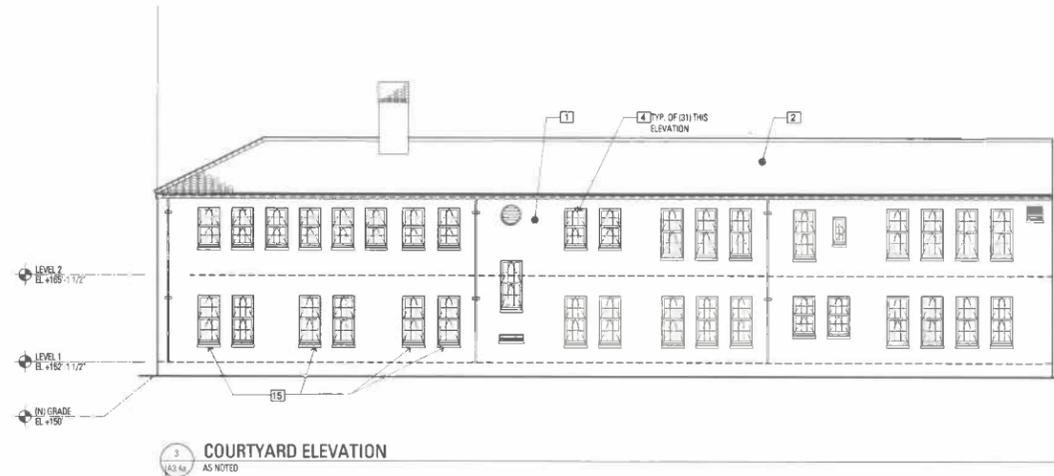
WOODS HALL

EXISTING COURTYARD ELEVATIONS

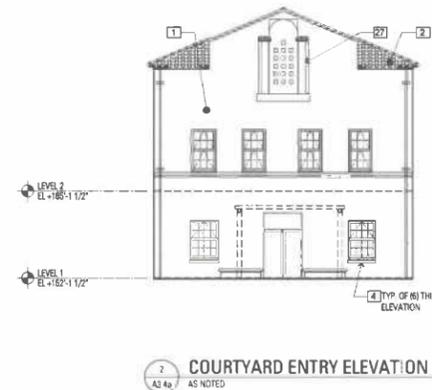


WOODS HALL

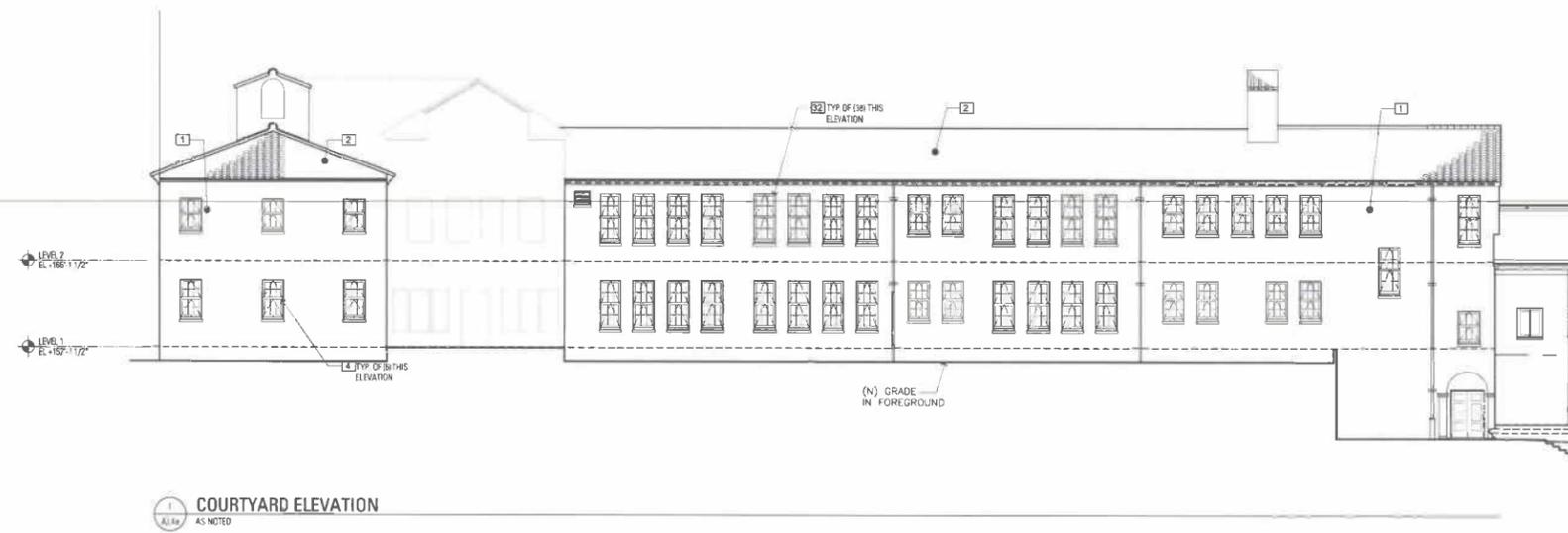
PROPOSED COURTYARD ELEVATIONS



3 COURTYARD ELEVATION
AS NOTED



2 COURTYARD ENTRY ELEVATION
AS NOTED



1 COURTYARD ELEVATION
AS NOTED

EXTERIOR ELEVATIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING. SEE SPEC. SECTION ##
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION ##
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

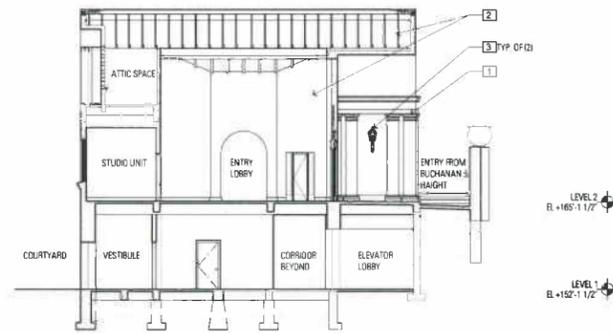
SHEET NOTES

- 1 (E) CEMENT PLASTER
- 2 (E) CLAY TILE ROOF. SEE 11A.2.3
- 3 (E) NON-HISTORIC ALUM. WINDOW
- 4 (E) HISTORIC WOOD WINDOW
- 5 (N) ALUM. WINDOW
- 6 (E) GUTTERS & DOWNSPOUT
- 7 (E) CHIMNEY EXHAUST
- 8 (E) MECHANICAL EXHAUST & RETAINING WALL
- 9 (N) RAMP. SEE LANDSCAPE & CIVIL DWGS.
- 10 (N) DECORATIVE RAIL
- 11 (N) EXTERIOR WALL MTD. LIGHT
- 12 (N) DECORATIVE METAL GATE. SEE LANDSCAPE DRAWINGS
- 13 (E) ENTRY TO REMAIN
- 14 (N) ENCLOSED PATIO W/ METAL GATE
- 15 (N) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (E) LOUVER. SEE WINDOW SCHEDULE
- 17 (N) DOOR
- 18 (E) GRILL
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- 26 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 27 (E) HISTORIC ARCHED NICHE & IONIC COLUMNS
- 28 (E) HISTORIC BAY WINDOW TO REMAIN
- 29 (E) WPA PLAQUE
- 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
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- 32 (N) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS.

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL

WOODS HALL

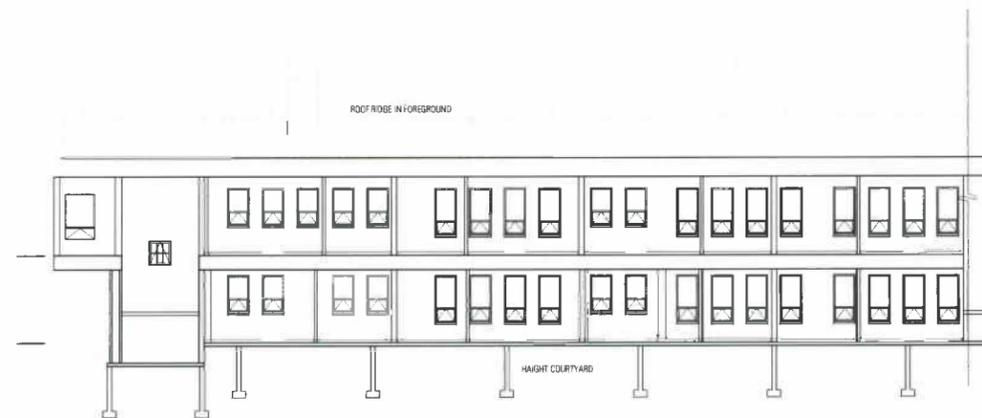
PROPOSED SECTIONS



3 SECTION THROUGH LOBBY
AS NOTED



2 SECTION THROUGH BUCHANAN STREET CORRIDOR
AS NOTED



1 SECTION THROUGH HAIGHT STREET CORRIDOR
AS NOTED

SECTIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.

SHEET NOTES

- 1 (E) HISTORIC PILASTERS
- 2 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 3 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 4 (E) HISTORIC STAIR
- 5 (E) HISTORIC BAY WINDOW

WOODS HALL ANNEX



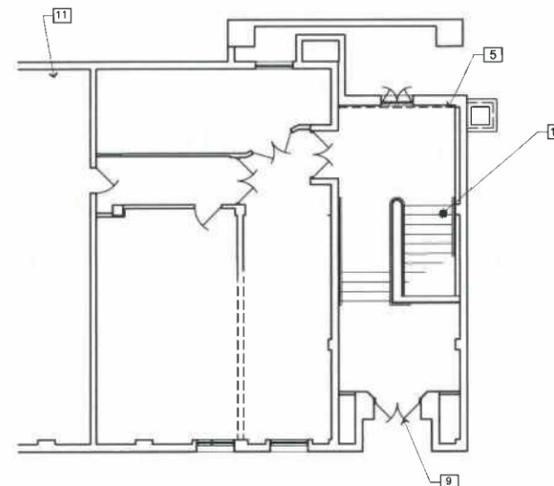
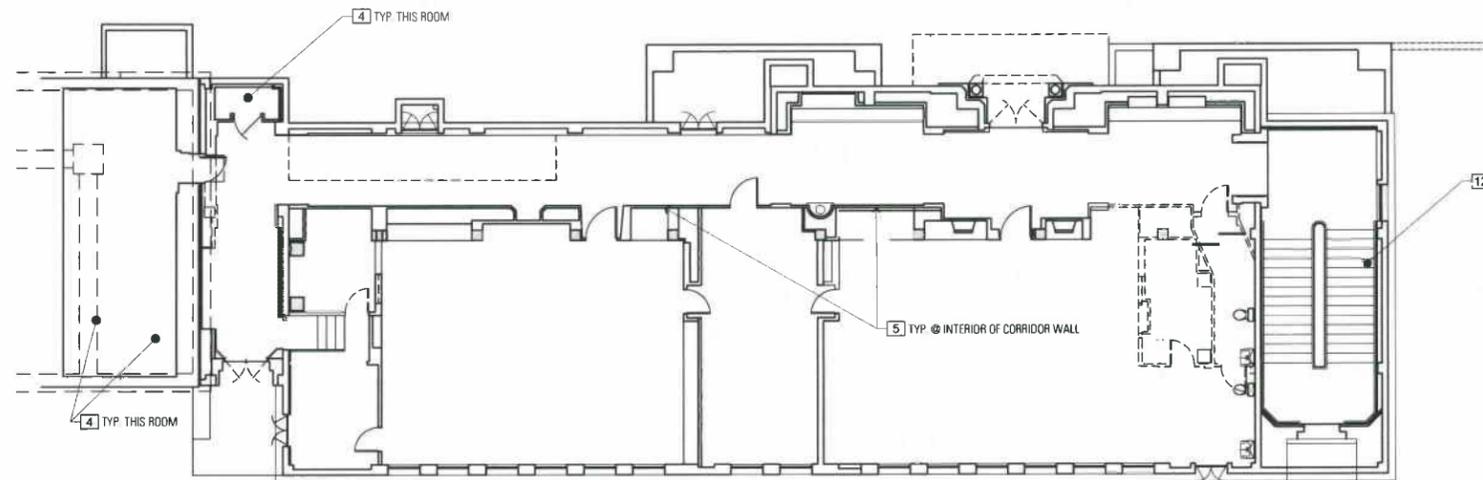
PROPOSED SCOPE OF WORK

Woods Hall Annex will be rehabilitated and used for a community center. The proposed design includes a multi-purpose space, a lounge/kitchen, game room and a computer room. The new use will retain the building's significant features including the existing circulation pattern, the grand stair on the east side of the building, the Kadish mural at the grand stair, and the oriel window on the south side of the building. The public community amenities will be located where the existing classrooms are located, thus minimizing change to the plan of Woods Hall Annex. Entry to the community center spaces will be through the existing single-loaded corridor. Existing, non-historic doors will be replaced with new doors. Vertical circulation will include the existing stairs, a new stair on the west side of the building, and a new elevator that will be added to address accessibility issues. Changes proposed to the exterior of the building include a new landing at the Haight Street entry to provide an accessible entry to the building. A minor change is also proposed along the south elevation where new proposed community garden grades will expose a portion of the building currently below existing grade. An underpinning structural system will allow the new wall to be planar with existing wall above. No new openings are proposed where the grade change occurs. Deferred maintenance issues will be addressed, including repairs to the existing terra cotta tile roof and existing windows to remain. The building will receive a seismic upgrade.

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL ANNEX

WOODS HALL ANNEX

EXISTING FIRST AND BASEMENT LEVEL PLANS



DEMO PLAN GENERAL NOTES

- A REMOVE (E) CARPET, TYP., U.O.N.
- B REMOVE (E) VCT FLOORING & ADHESIVE ENTIRELY, TYP.
- C REMOVE (E) A.C.T. & ADHESIVE ENTIRELY, TYP., PROTECT (E) PLASTER CLGS. FROM DAMAGE. A.C.T. AND/OR ADHESIVE MAY CONTAIN HAZARDOUS MATERIALS, ABATEMENT BY OTHERS.
- D REMOVE (E) WNDW COVERINGS, TYP., U.O.N.
- E REMOVE (E) ELECT. PANELS & JUNCTION BOXES AT INT. & EXT., TYP.
- F REMOVE (E) ELECT. DEVICES, RACEWAY, CONDUIT, AND WIRING, TYP.
- G REMOVE (E) DATA, T.V., AND TELE. DEVICES & WIRING, TYP.
- H REMOVE (E) SECURITY, FIRE & SMOKE ALARMS & DEVICES.
- I REMOVE (E) LIGHTING FIXTURES, TYP., U.O.N.
- J REMOVE (E) GAS PIPING, TYP.
- K REMOVE (E) MECH. EQUIPT., TYP.
- L DEMOLITION OF (E) WALLS & PARTITIONS SHOWN, INCLUDES WALL FRMG., WALL FINISH, DRS., WNDWS., HDW., FRAMES, TRIM, FASTENERS, PLBG., & ELECT. ASSOCIATED W/ WALL OR PARTITION, U.O.N.
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SHEET NOTES

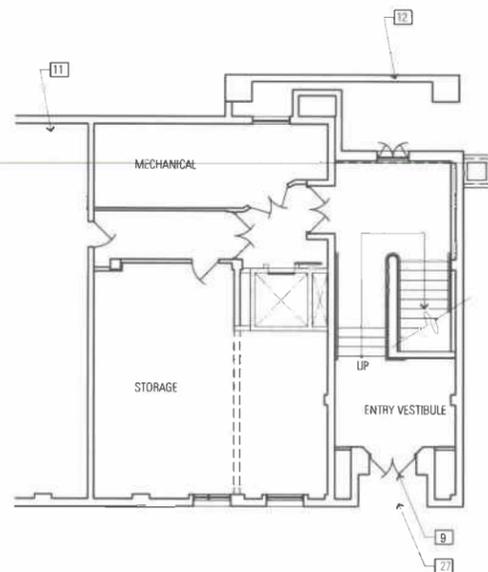
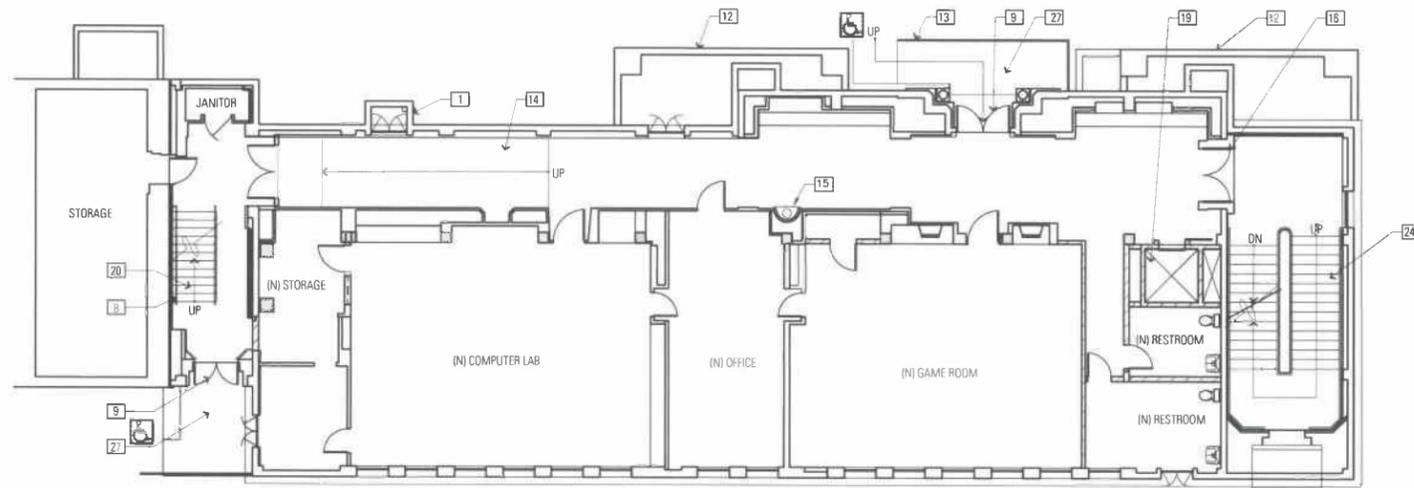
- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 PARTIAL DEMOLITION OF (E) WALL. SEE LANDSCAPE DRAWINGS
- 4 REMOVE (E) PLBG. FIXTURES, CAP PLUMBING LINES AND ABANDON IN PLACE, TYP., U.O.N.
- 5 REMOVE (E) FURRING AND CASEWORK, TYP. THIS WALL
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- 7 (E) NON HISTORIC WINDOW OR DOOR TO BE REMOVED TO ACCOMMODATE (N) DOOR OR WINDOW
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- 9 HISTORIC LIGHT FIXTURES TO REMAIN, PROTECT DURING DEMOLITION
- 10 HISTORIC METAL GRILL TO REMAIN, PROTECT DURING DEMOLITION
- 11 PROTECT (E) HISTORIC KADISH MURAL DURING DEMOLITION
- 12 HISTORIC STAIR TO REMAIN, PROTECT DURING DEMOLITION

LEGEND

- (E) WALL
- (E) WALL TO BE DEMOLISHED

WOODS HALL ANNEX

PROPOSED FIRST AND BASEMENT LEVEL PLANS



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (N) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (N) PARTITIONS AND AT ALL (E) PARTITIONS (AND PORTIONS THERE OF) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION ##.
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SHEET NOTES

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- 3 (N) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4 (N) PRIVATE PATIO, SEE LANDSCAPE DRAWINGS
- 5 NOT USED
- 6 (N) STEPS @ CORNER ENTRY. SEE LANDSCAPE & CIVIL DWGS
- 7 (E) WALL & HISTORIC URNS
- 8 (N) HANDRAIL
- 9 (E) ENTRY
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- 16 (N) HOLD-OPEN DOORS
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- 24 (E) HISTORIC STAIR
- 25 (E) HISTORIC MURAL BY REUBEN KADISH
- 26 (E) HISTORIC BAY WINDOW
- 27 LEVEL LANDING @ ENTRY

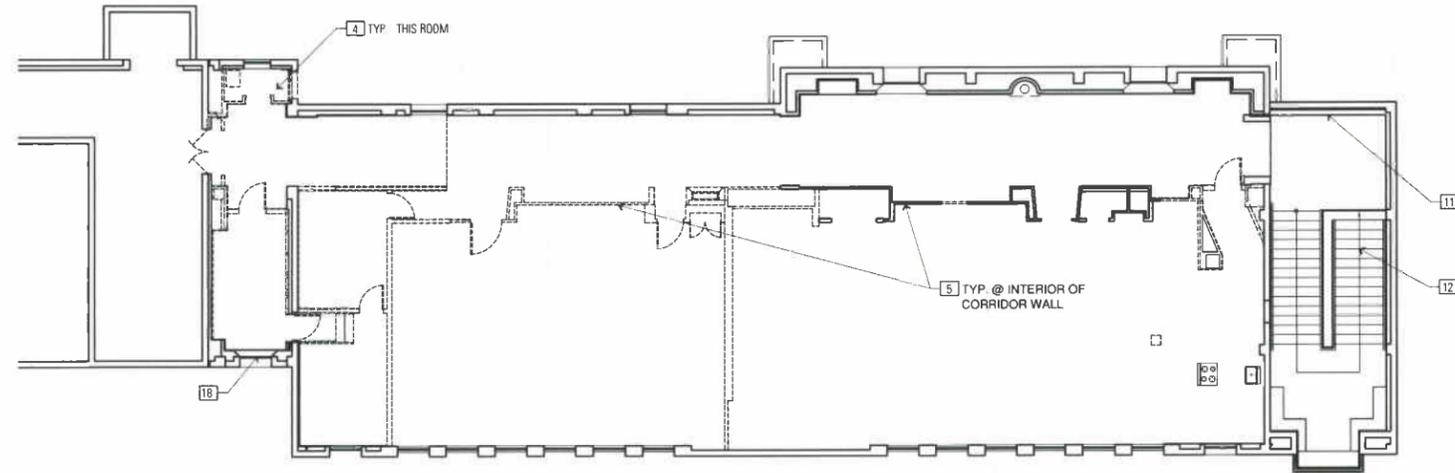
LEGEND

- (E) WALL
- (N) UNIT DEMISING WALL
- (N) WALL
- (E) COLUMN
- UNIT #
- UNIT TYPE (A=1 BEDROOM, B=STUDIO)
- # OF BEDROOMS
- 15 ACCESSIBLE ENTRY

EXISTING AND PROPOSED DRAWINGS: WOODS HALL ANNEX

WOODS HALL ANNEX

EXISTING SECOND LEVEL PLAN



DEMO PLAN GENERAL NOTES

- A REMOVE (E) CARPET, TYP., U.O.N.
- B REMOVE (E) VCT FLOORING & ADHESIVE ENTIRELY, TYP.
- C REMOVE (E) A.C.T. & ADHESIVE ENTIRELY, TYP., PROTECT (E) PLASTER CLGS. FROM DAMAGE. A.C.T. AND/OR ADHESIVE MAY CONTAIN HAZARDOUS MATERIALS. ABATEMENT BY OTHERS.
- D REMOVE (E) WNDW. COVERINGS, TYP., U.O.N.
- E REMOVE (E) ELECT. PANELS & JUNCTION BOXES AT INT. & EXT., TYP.
- F REMOVE (E) ELECT. DEVICES, RACEWAY, CONDUIT, AND WIRING, TYP.
- G REMOVE (E) DATA, T.V., AND TELE. DEVICES & WIRING, TYP.
- H REMOVE (E) SECURITY, FIRE & SMOKE ALARMS & DEVICES.
- I REMOVE (E) LIGHTING FIXTURES, TYP., U.O.N.
- J REMOVE (E) GAS PIPING, TYP.
- K REMOVE (E) MECH. EQUIPT., TYP.
- L DEMOLITION OF (E) WALLS & PARTITIONS SHOWN, INCLUDES WALL FRMG., WALL FINISH, DRS., WNDWS., HDW., FRAMES, TRIM, FASTENERS, PLBG., & ELECT. ASSOCIATED W/ WALL OR PARTITION, U.O.N.
- M ALL (E) MATERIALS AND INT. FINISHES TO REMAIN, PROTECT FROM DAMAGE DURING CONSTRUCTION. PROVIDE FLR. PROTECTION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE OCCURRING DURING CONSTRUCTION AND REPAIR/REPLACEMENT COSTS.
- N DRY ROT/TERMITE DAMAGED WD. SHALL BE REMOVED AS PART OF THE DEMOLITION WORK SHOWN ON SHTS. 10D.2.1, 10D.2.2, 11D.2.1, AND 11D.2.2.
- O REMOVE ALL (E) DRY ROT/ TERMITE DAMAGED STR. AND FIN. WD. MATERIAL UNCOVERED DURING CONSTRUCTION AND NOT OTHERWISE SHOWN TO BE REMOVED AS PART OF DEMOLITION WORK. SPRAY ALL AFFECTED WD. TO REMAIN AND ADJACENT SOIL, WITH APPROPRIATE CHEMICAL TREATMENT.

SHEET NOTES

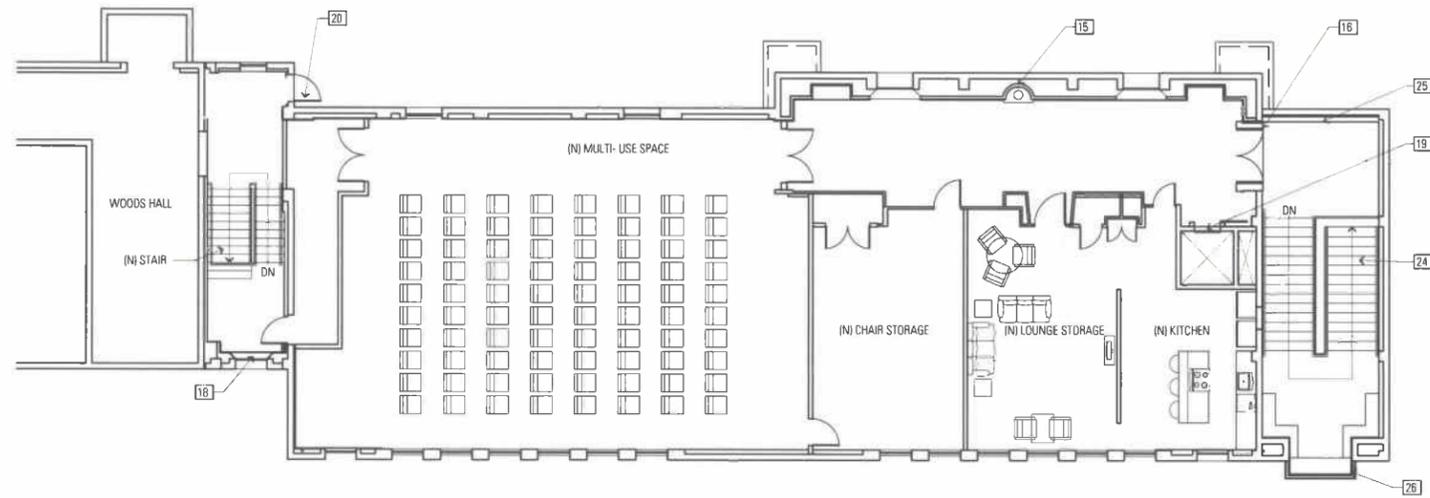
- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 PARTIAL DEMOLITION OF (E) WALL. SEE LANDSCAPE DRAWINGS
- 4 REMOVE (E) PLBG. FIXTURES, CAP PLUMBING LINES AND ABANDON IN PLACE, TYP., U.O.N.
- 5 REMOVE (E) FURRING AND CASEWORK, TYP. THIS WALL
- 6 (E) HISTORIC WINDOW TO BE REMOVED TO ACCOMMODATE (N) WINDOW
- 7 (E) NON-HISTORIC WINDOW OR DOOR TO BE REMOVED TO ACCOMMODATE (N) DOOR OR WINDOW
- 8 HISTORIC URNS TO REMAIN, PROTECT DURING DEMOLITION
- 9 HISTORIC LIGHT FIXTURES TO REMAIN, PROTECT DURING DEMOLITION
- 10 HISTORIC METAL GRILL TO REMAIN, PROTECT DURING DEMOLITION
- 11 PROTECT (E) HISTORIC KADISH MURAL DURING DEMOLITION
- 12 HISTORIC STAIR TO REMAIN, PROTECT DURING DEMOLITION

LEGEND

- (E) WALL
- - - (E) WALL TO BE DEMOLISHED

WOODS HALL ANNEX

PROPOSED SECOND LEVEL PLAN



FLOOR PLAN GENERAL NOTES

- A. NOTES INDICATE (N) WORK UNLESS OTHERWISE NOTED.
- B. INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL (N) PARTITIONS AND AT ALL (E) PARTITIONS (AND PORTIONS THERE OF) THAT ARE OPENED DURING CONSTRUCTION. SEE SPECIFICATION SECTION ##.
- C. ALL DOORS ARE (N) UNLESS OTHERWISE NOTED.

SHEET NOTES

- 1 (E) LIGHT WELL
- 2 (E) FOUNDATION
- 3 (N) SEPARATION WALL BETWEEN ANNEX AND WOODS HALL
- 4 (N) PRIVATE PATIO. SEE LANDSCAPE DRAWINGS
- 5 NOT USED
- 6 (N) STEPS @ CORNER ENTRY. SEE LANDSCAPE & CIVIL DWGS
- 7 (E) WALL & HISTORIC URNS
- 8 (N) HANDRAIL
- 9 (E) ENTRY
- 10 (N) BALCONY W/ METAL RAIL
- 11 (E) CRAWLSPACE
- 12 (E) EXHAUST CHIMNEYS & RETAINING WALL
- 13 (N) RAMP. SEE LANDSCAPE & CIVIL DRAWINGS
- 14 (E) RAMP
- 15 (E) FOUNTAIN
- 16 (N) HOLD-OPEN DOORS
- 17 (N) METAL RAIL
- 18 (E) WINDOW
- 19 (N) ELEVATOR
- 20 (N) EXIT
- 21 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 22 REFURBISH (E) HISTORIC GRILL
- 23 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 24 (E) HISTORIC STAIR
- 25 (E) HISTORIC MURAL BY REUBEN KADISH
- 26 (E) HISTORIC BAY WINDOW
- 27 LEVEL LANDING @ ENTRY

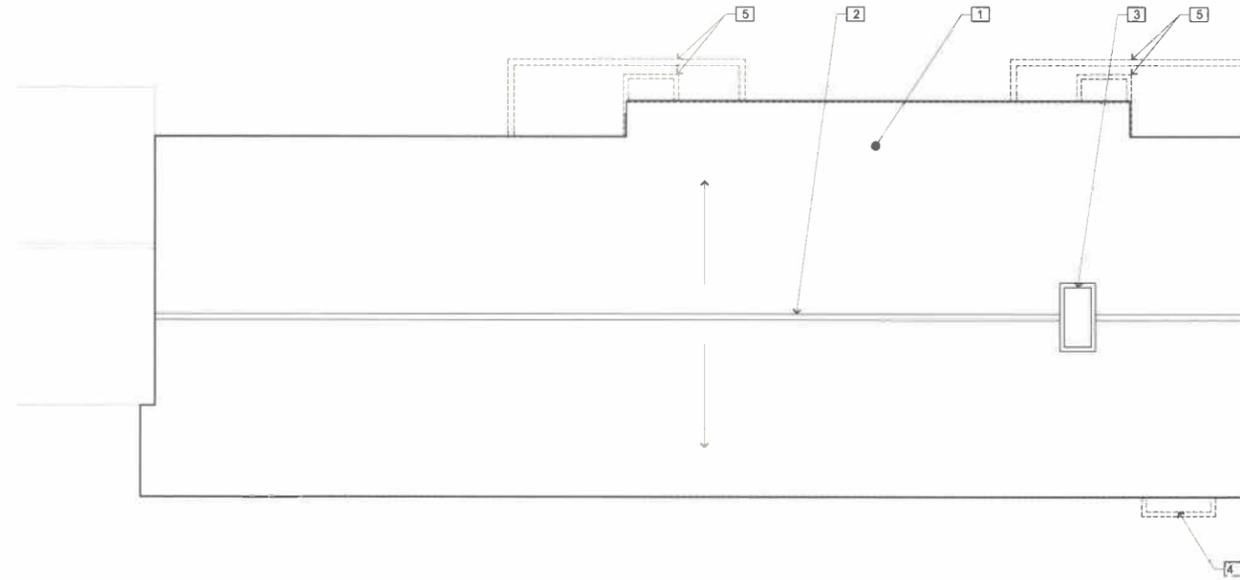
LEGEND

- (E) WALL
- (N) UNIT DEMISING WALL
- (N) WALL
- (E) COLUMN
- UNIT #
- UNIT TYPE (A=1 BEDROOM, S= STUDIO)
- # OF BEDROOMS
- ACCESSIBLE ENTRY

EXISTING AND PROPOSED DRAWINGS: WOODS HALL ANNEX

WOODS HALL ANNEX

EXISTING AND PROPOSED ROOF PLAN



ROOF PLAN GENERAL NOTES

- A INSPECT (E) FLASHING AT BASE OF ALL ROOFTOP PROTRUSION. REPAIR AS REQUIRED.
- B REMOVE (E) CLAY TILE & SALVAGE FOR REUSE. INSPECT (E) PLYWOOD SUBSTRATE FOR CODE COMPLIANCE. INSTALL (N) MEMBRANE. REINSTALL (E) CLAY TILE AS PER SPEC. #. REPLACE BROKEN TILE WITH (N) TO MATCH (E).

SHEET NOTES

- 1 (E) CLAY TILE ROOF
- 2 (E) ROOF RIDGE
- 3 (E) CHIMNEY EXHAUST
- 4 WINDOW BELOW
- 5 (E) MECHANICAL EXHAUST & RETAINING WALL BELOW

EXISTING AND
PROPOSED DRAWINGS:
WOODS HALL ANNEX

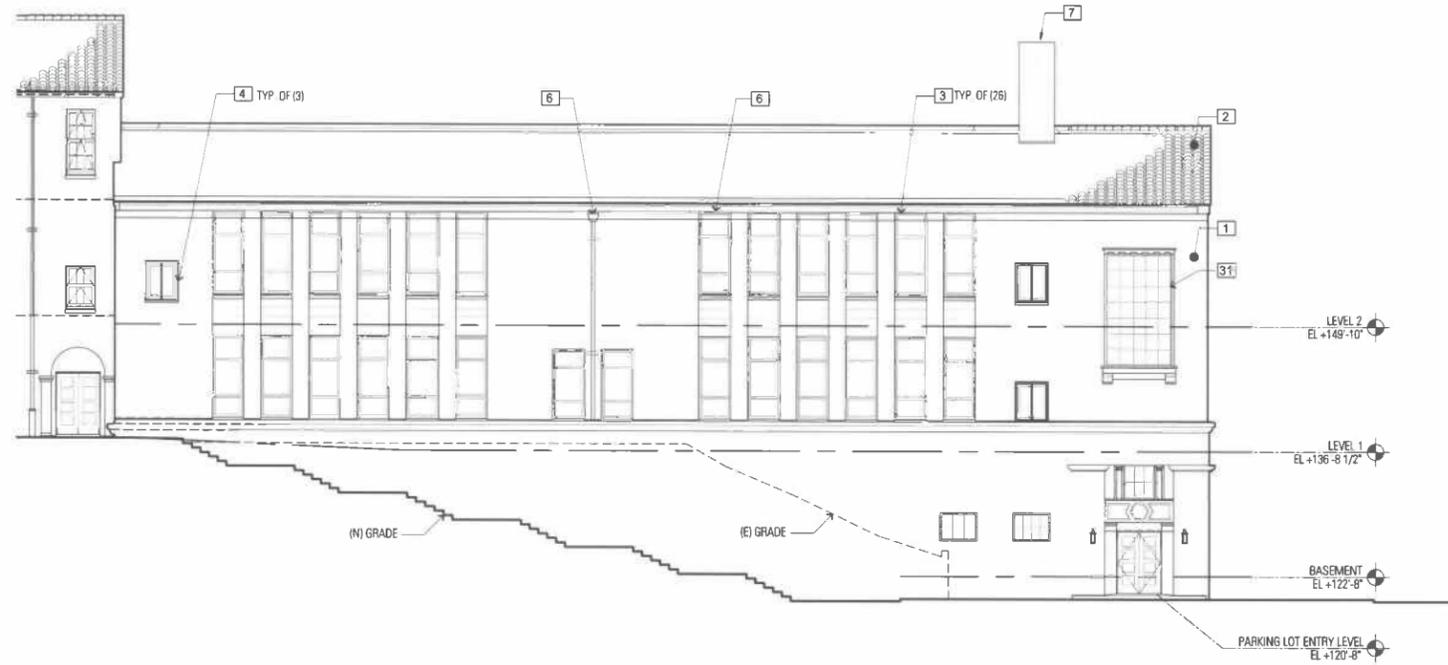
WOODS HALL ANNEX

EXISTING COURTYARD ELEVATION



WOODS HALL ANNEX

PROPOSED COURTYARD ELEVATION



EXTERIOR ELEVATIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING. SEE SPEC. SECTION ##.
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION ##.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

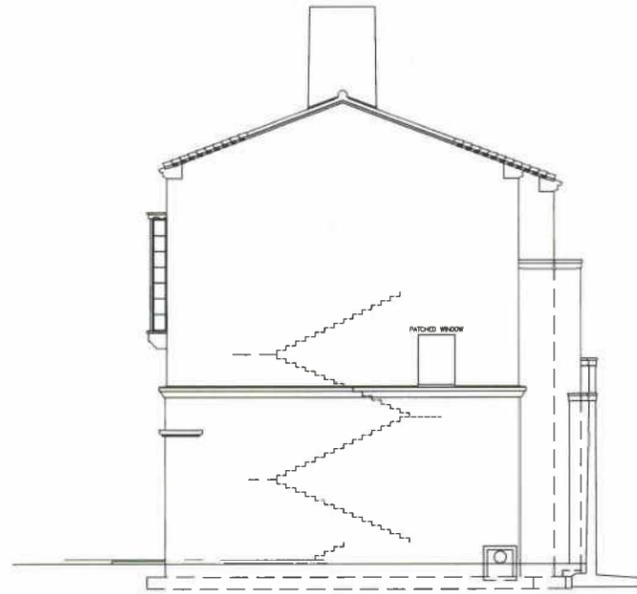
SHEET NOTES

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 (E) CEMENT PLASTER 2 (E) CLAY TILE ROOF. SEE 11A.2.3 3 (E) NON-HISTORIC ALUM. WINDOW. 4 (E) HISTORIC WOOD WINDOW. 5 (N) ALUM. WINDOW. 6 (E) GUTTERS & DOWNSPOUT 7 (E) CHIMNEY EXHAUST 8 (E) MECHANICAL EXHAUST & RETAINING WALL 9 (N) RAMP. SEE LANDSCAPE & CIVIL DWGS. 10 (N) DECORATIVE RAIL 11 (N) EXTERIOR WALL MTD. LIGHT 12 (N) DECORATIVE METAL GATE, SEE LANDSCAPE DRAWINGS 13 (E) ENTRY TO REMAIN. 14 (N) ENCLOSED PATIO W/ METAL GATE 15 (N) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS 16 (E) LOUVER, SEE WINDOW SCHEDULE 17 (N) DOOR 18 (E) GRILL 19 (E) HISTORIC URN, PROTECT DURING DEMOLITION & CONSTRUCTION | <ul style="list-style-type: none"> 20 (E) LOW WALL W/ NEW OPENING 21 REFURBISH (E) DECORATIVE METAL GRILL 22 (N) HANDRAIL 23 (E) HISTORIC PILASTERS 24 (E) HISTORIC ARCHWAY 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS 26 REFURBISH (E) HISTORIC LIGHT FIXTURES 27 (E) HISTORIC ARCHED NICHE & IONIC COLUMNS 28 (E) HISTORIC BAY WINDOW TO REMAIN 29 (E) WPA PLAQUE 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN 31 (E) BAY WINDOW TO REMAIN 32 (N) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS |
|---|--|

EXISTING AND PROPOSED DRAWINGS: WOODS HALL ANNEX

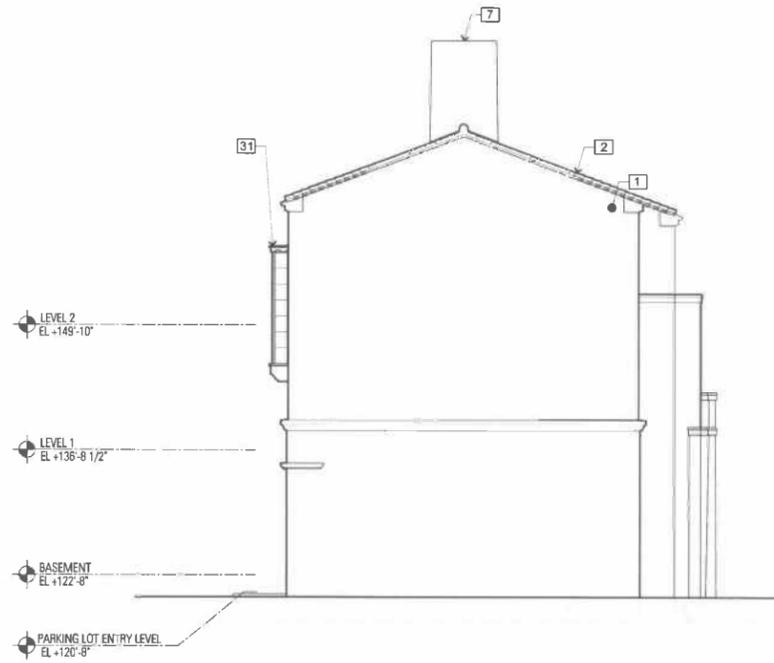
WOODS HALL ANNEX

EXISTING EAST ELEVATION



WOODS HALL ANNEX

PROPOSED EAST ELEVATION



EXTERIOR ELEVATIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING. SEE SPEC. SECTION ##.
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION ##.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

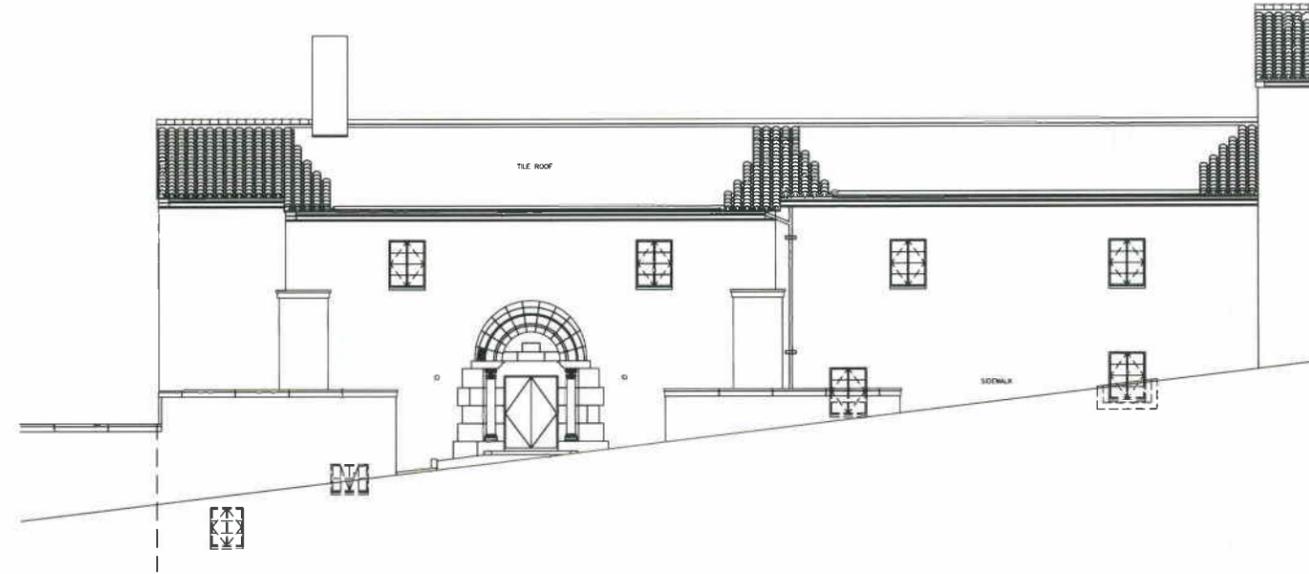
SHEET NOTES

- | | |
|---|---|
| <ul style="list-style-type: none"> 1 (E) CEMENT PLASTER 2 (E) CLAY TILE ROOF. SEE 11A.2.3 3 (E) NON-HISTORIC ALUM. WINDOW. 4 (E) HISTORIC WOOD WINDOW. 5 (N) ALUM. WINDOW. 6 (E) GUTTERS & DOWNSPOUT 7 (E) CHIMNEY EXHAUST 8 (E) MECHANICAL EXHAUST & RETAINING WALL 9 (N) RAMP. SEE LANDSCAPE & CIVIL DWGS. 10 (N) DECORATIVE RAIL 11 (N) EXTERIOR WALL MTD. LIGHT 12 (N) DECORATIVE METAL GATE. SEE LANDSCAPE DRAWINGS 13 (E) ENTRY TO REMAIN. 14 (N) ENCLOSED PATIO W/ METAL GATE 15 (N) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS 16 (E) LOUVER. SEE WINDOW SCHEDULE 17 (N) DOOR 18 (E) GRILL 19 (E) HISTORIC URN, PROTECT DURING DEMOLITION & CONSTRUCTION | <ul style="list-style-type: none"> 20 (E) LOW WALL W/ NEW OPENING 21 REFURBISH (E) DECORATIVE METAL GRILL 22 (N) HANDRAIL 23 (E) HISTORIC PILASTERS 24 (E) HISTORIC ARCHWAY 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS 26 REFURBISH (E) HISTORIC LIGHT FIXTURES 27 (E) HISTORIC ARCHED NICHE & IONIC COLUMNS 28 (E) HISTORIC BAY WINDOW TO REMAIN 29 (E) WPA PLAQUE 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN 31 (E) BAY WINDOW TO REMAIN 32 (N) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS. |
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EXISTING AND PROPOSED DRAWINGS: WOODS HALL ANNEX

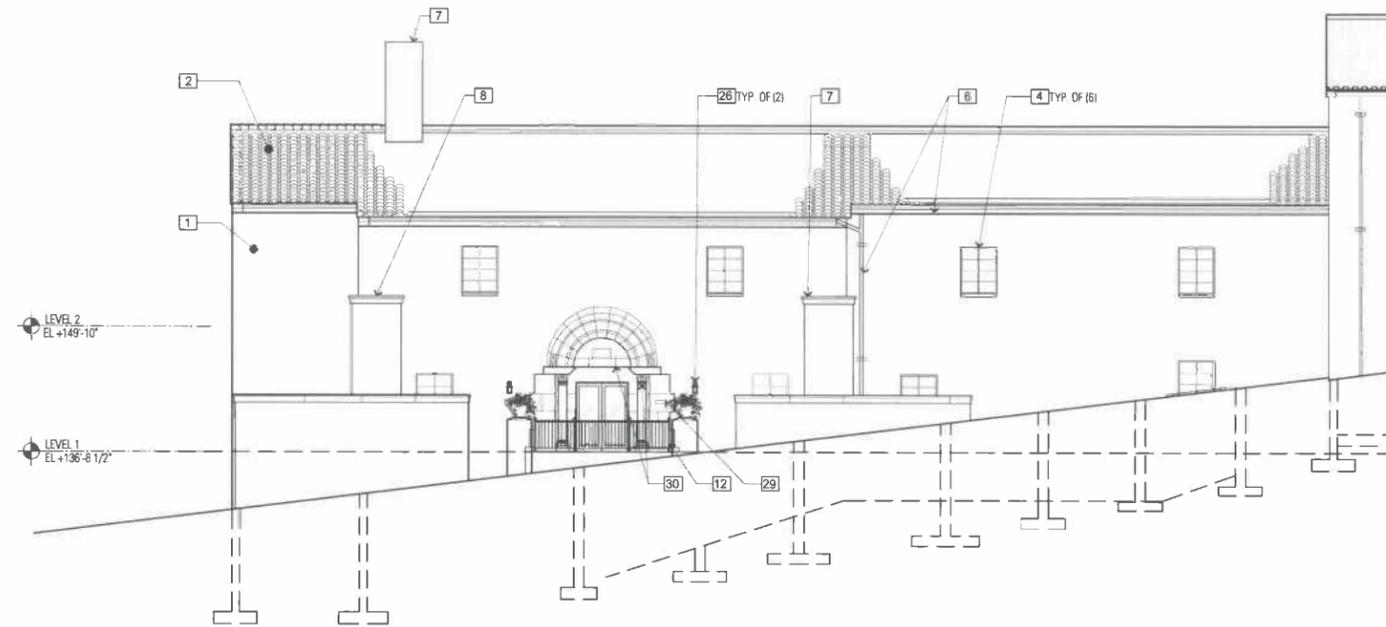
WOODS HALL ANNEX

EXISTING HAIGHT STREET ELEVATION



WOODS HALL ANNEX

PROPOSED HAIGHT STREET ELEVATION



EXTERIOR ELEVATIONS
GENERAL NOTES

- A (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED
- B REPAIR (E) CEMENT PLASTER CRACKS, SPALLS, HOLES FROM REMOVED MECHANICAL & ELECTRICAL DEVICES, AND ALL OTHER CEMENT PLASTER REQUIRING PATCHING. SEE SPEC. SECTION ##.
- C REPAIR (E) WINDOWS AS INDICATED IN WINDOW SCHEDULE AND WINDOW REPAIR SPECIFICATION.
- D REFURBISH EXISTING GUTTERS AS INDICATED IN SPECIFICATION ##.
- E SEE CIVIL AND LANDSCAPE DRAWINGS FOR SITE GRADING.

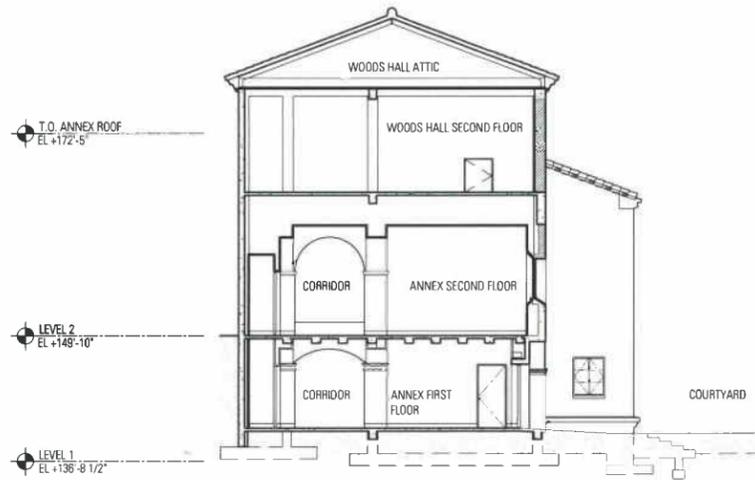
SHEET NOTES

- 1 (E) CEMENT PLASTER
- 2 (E) CLAY TILE ROOF. SEE 11A.2.3
- 3 (E) NON-HISTORIC ALUM. WINDOW.
- 4 (E) HISTORIC WOOD WINDOW.
- 5 (N) ALUM. WINDOW.
- 6 (E) GUTTERS & DOWNSPOUT
- 7 (E) CHIMNEY EXHAUST
- 8 (E) MECHANICAL EXHAUST & RETAINING WALL
- 9 (N) RAMP. SEE LANDSCAPE & CIVIL DWGS.
- 10 (N) DECORATIVE RAIL
- 11 (N) EXTERIOR WALL MTD. LIGHT
- 12 (N) DECORATIVE METAL GATE. SEE LANDSCAPE DRAWINGS
- 13 (E) ENTRY TO REMAIN.
- 14 (N) ENCLOSED PATIO W/ METAL GATE
- 15 (N) WOOD WINDOW WITH LOWERED SILL, SIMILAR TO ADJACENT, ORIGINAL WINDOWS
- 16 (E) LOUVER, SEE WINDOW SCHEDULE
- 17 (N) DOOR
- 18 (E) GRILL
- 19 (E) HISTORIC URN, PROTECT DURING DEMOLITION & CONSTRUCTION
- 20 (E) LOW WALL W/ NEW OPENING
- 21 REFURBISH (E) DECORATIVE METAL GRILL
- 22 (N) HANDRAIL
- 23 (E) HISTORIC PILASTERS
- 24 (E) HISTORIC ARCHWAY
- 25 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 26 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 27 (E) HISTORIC ARCHED NICHE & IONIC COLUMNS
- 28 (E) HISTORIC BAY WINDOW TO REMAIN
- 29 (E) WPA PLAQUE
- 30 (E) ARCHED ENTRY W/ COLUMNS & CAPITALS TO REMAIN
- 31 (E) BAY WINDOW TO REMAIN
- 32 (N) ALUMINUM WINDOWS IN (E) OPENINGS, WITH SIMILAR OPERATION AS CURRENT WINDOWS.

EXISTING AND PROPOSED DRAWINGS: WOODS HALL ANNEX

WOODS HALL ANNEX

PROPOSED SECTIONS



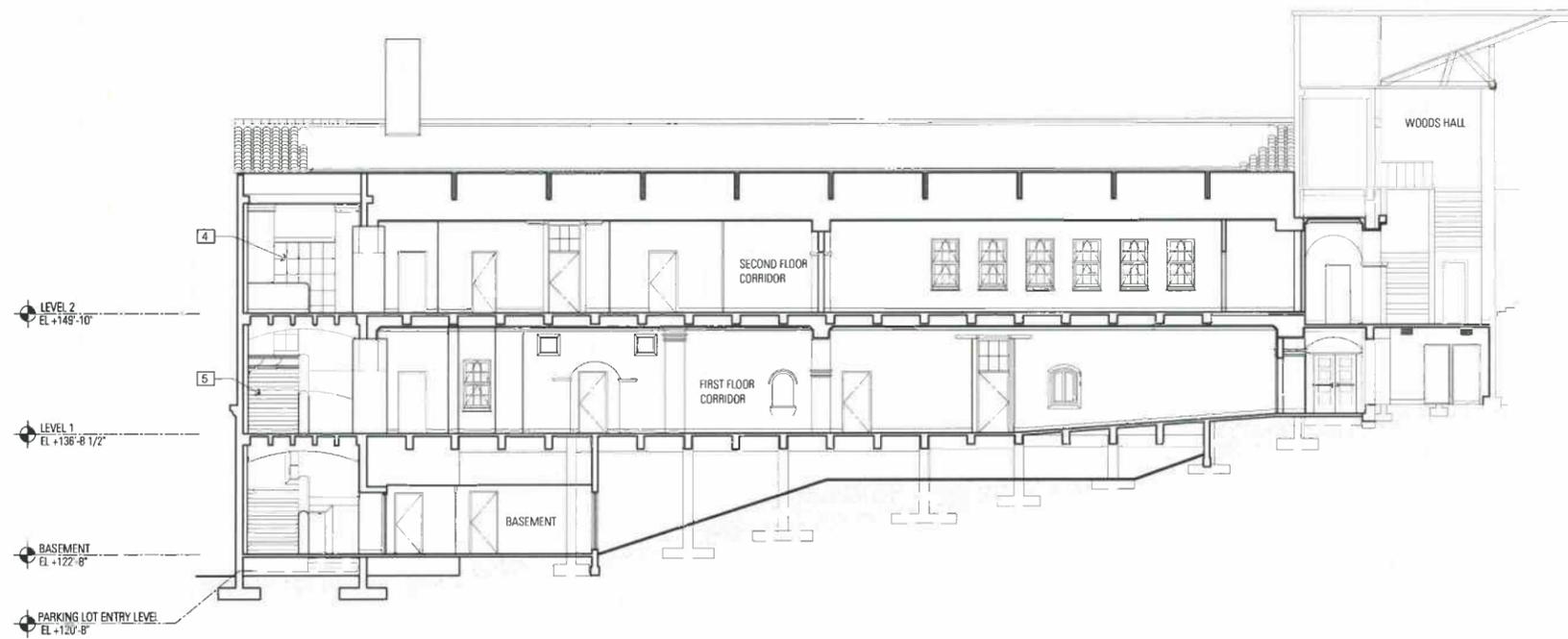
2
A3.3b
TRANSVERSE SECTION
AS NOTED

SECTIONS
GENERAL NOTES

A. (E) FINISHES TO REMAIN UNLESS OTHERWISE NOTED.

SHEET NOTES

- 1 (E) HISTORIC PILASTERS
- 2 (E) HISTORIC LOBBY TO BE RETAINED, INCLUDING PLAN CONFIGURATION, AND EXPOSED RAFTERS AND PURLINS
- 3 REFURBISH (E) HISTORIC LIGHT FIXTURES
- 4 (E) HISTORIC STAIR
- 5 (E) HISTORIC BAY WINDOW



1
A3.3b
LONGITUDINAL SECTION
AS NOTED

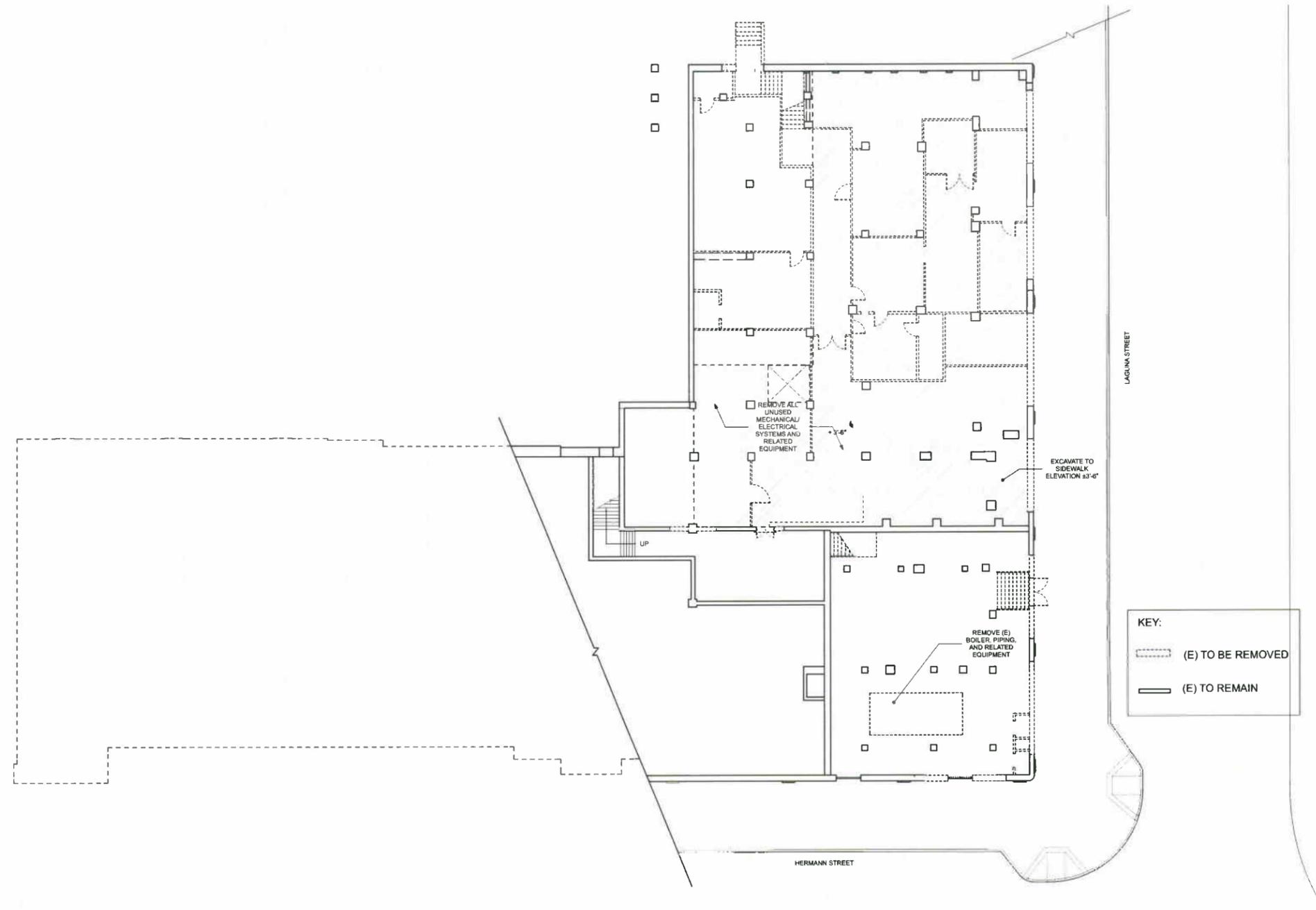


PROPOSED SCOPE OF WORK

Richardson Hall will be rehabilitated to be used for senior services and senior housing, including studios and one and two bedroom units. The project includes two variants. Variant A includes 2,410 sf of retail, Variant B does not include retail. The new use will be designed so as to retain significant architectural features such as the entry portal and sculpture on Hermann Street, the massing of the auditorium and stacks, the faux bell tower, courtyard entry, and angel mural in the interior of the building. The new partition plan will incorporate the existing circulation pattern of the building: the units will be located along the existing double-loaded corridor. Both Variants A and B include openings in the wall along Hermann and Laguna streets for services and residential units. Variant A also includes new openings for retail. All new openings will be located between the false quoins on the walls and balance the need for transparency required to create marketable retail and service spaces while retaining as much of the wall as possible. Deferred maintenance issues will be addressed, including a seismic upgrade, new roof membrane and repairs to the existing terra cotta tile roof. As part of the larger development plan at 55 Laguna, the Administration Wing will be demolished.

RICHARDSON HALL

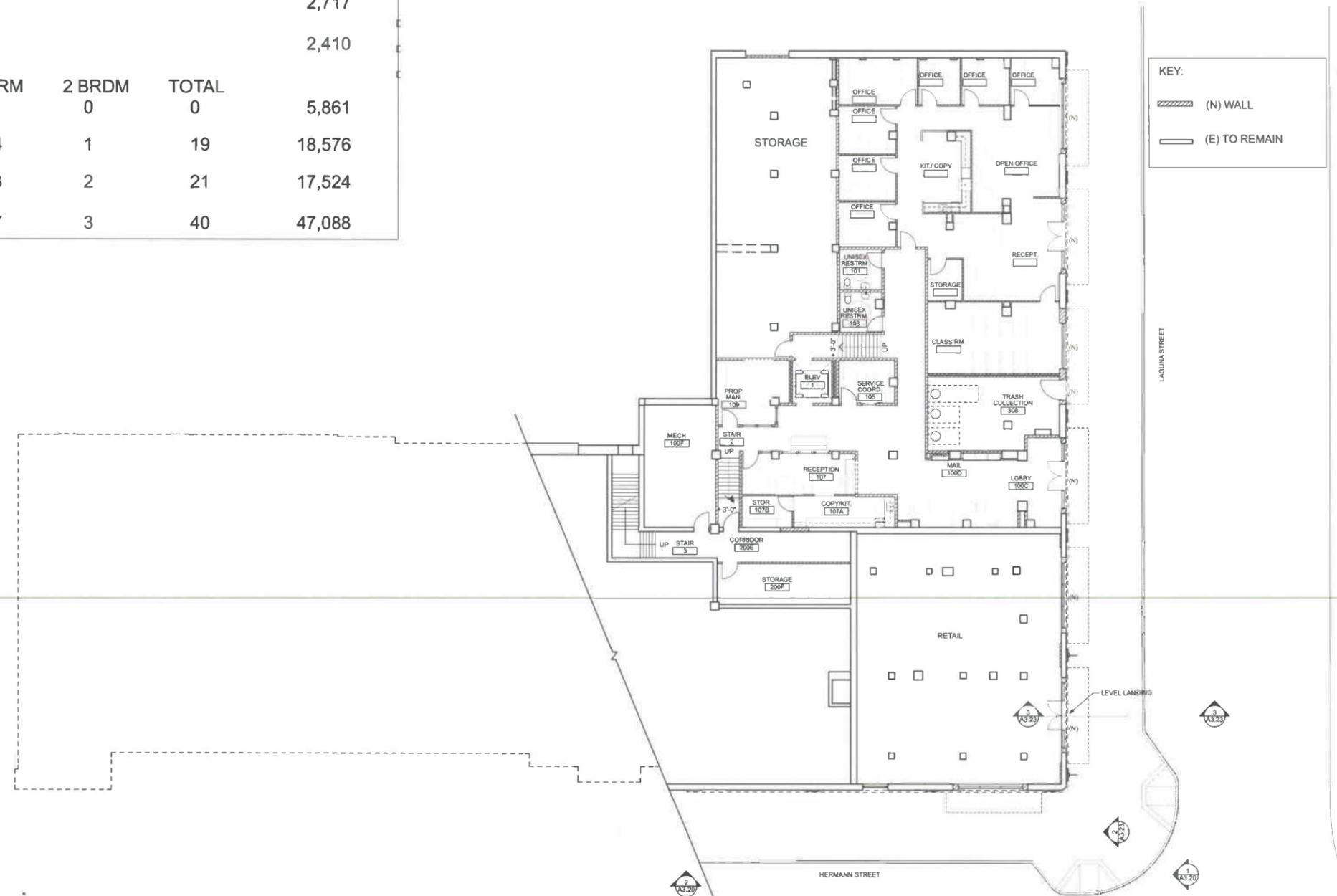
EXISTING BASEMENT PLAN



RICHARDSON HALL: VARIANT A

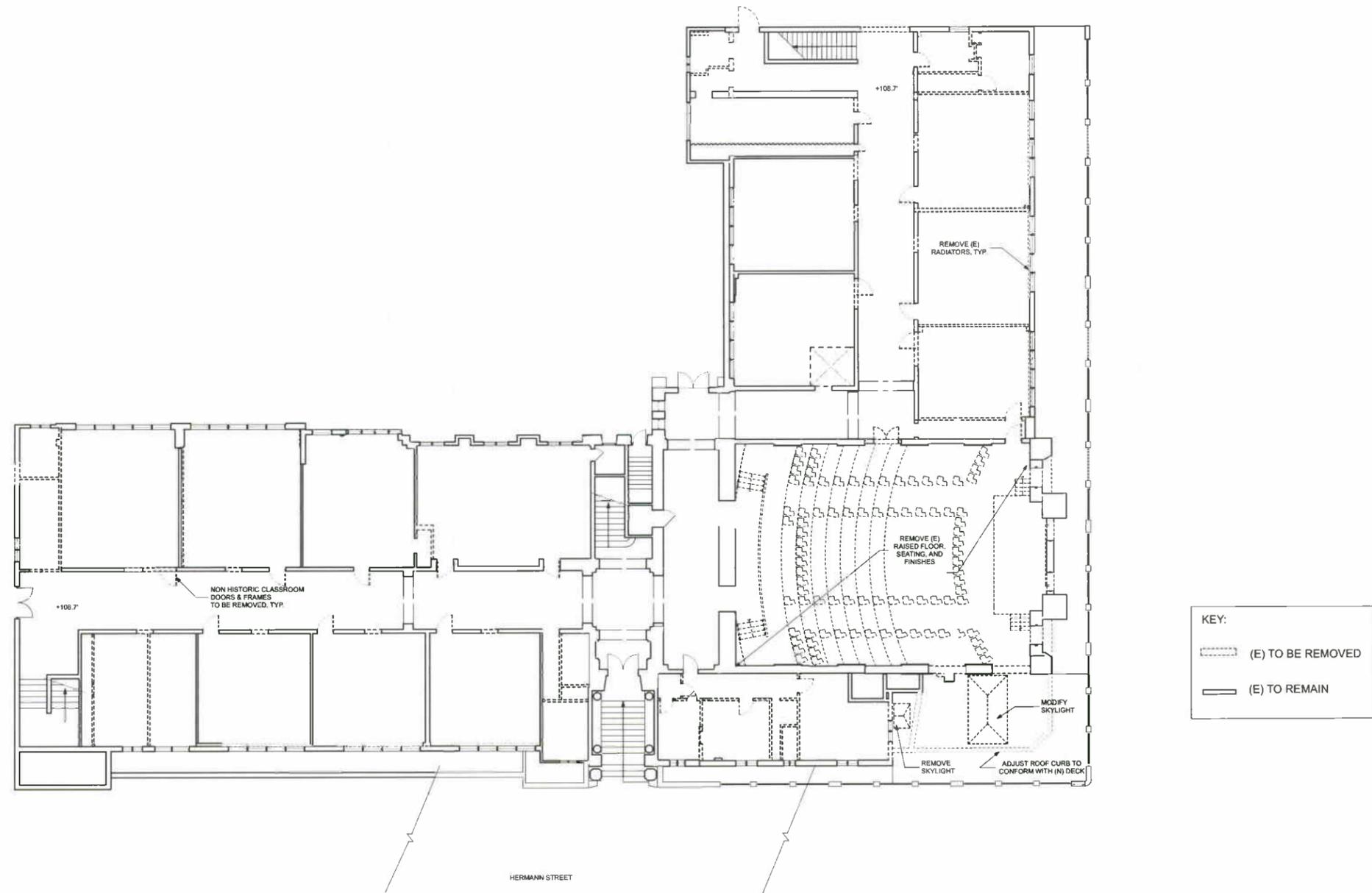
PROPOSED BASEMENT PLAN

STATISTICS					GROSS AREA
OPEN HOUSE OFFICES					
RETAIL					2,410
	STUDIOS	1 BDRM	2 BRDM	TOTAL	
1ST FLOOR:	0	0	0	0	5,861
2ND FLOOR:	4	14	1	19	18,576
3RD FLOOR:	6	13	2	21	17,524
TOTAL:	10	27	3	40	47,088



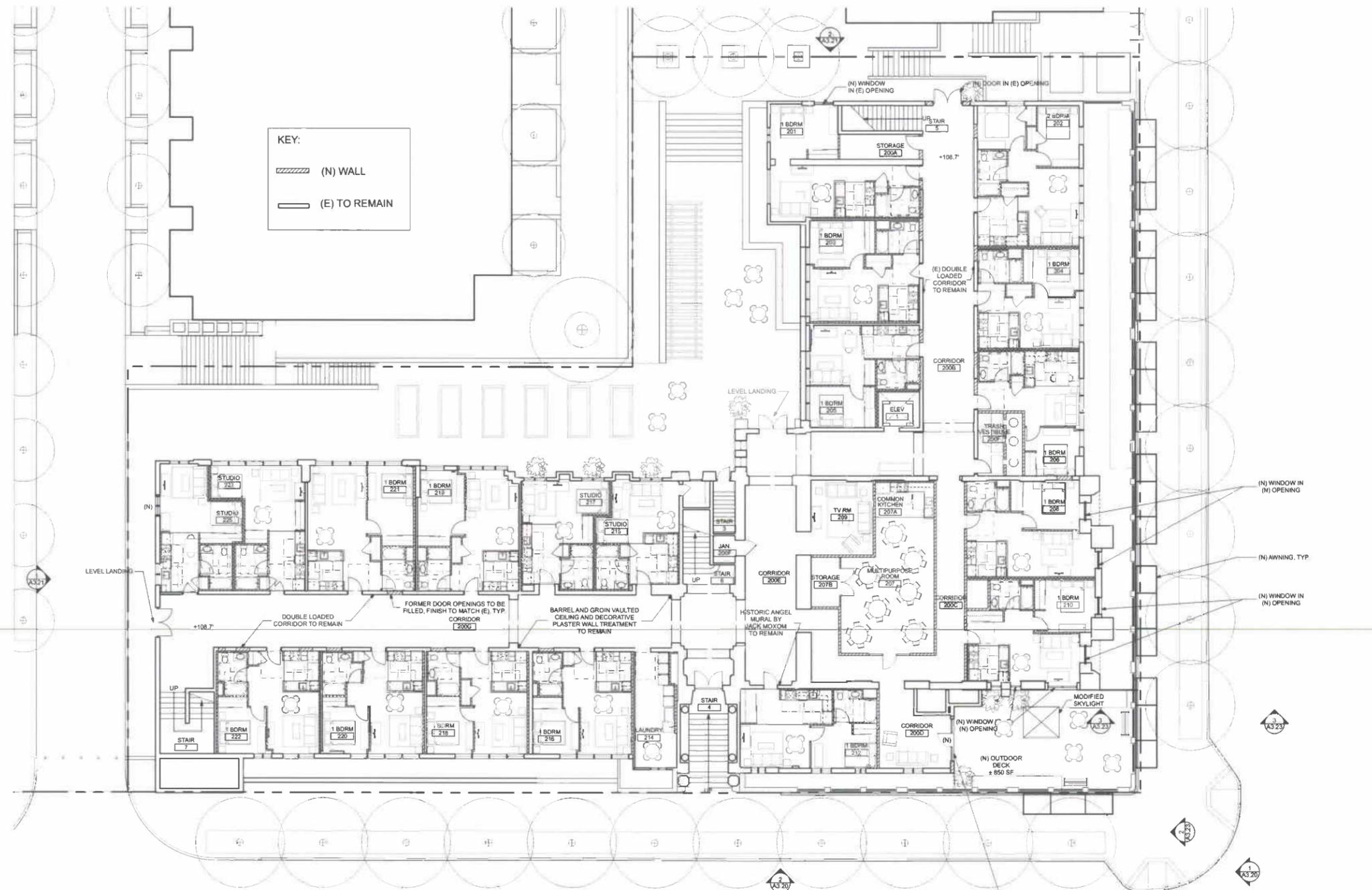
RICHARDSON HALL

EXISTING SECOND LEVEL PLAN



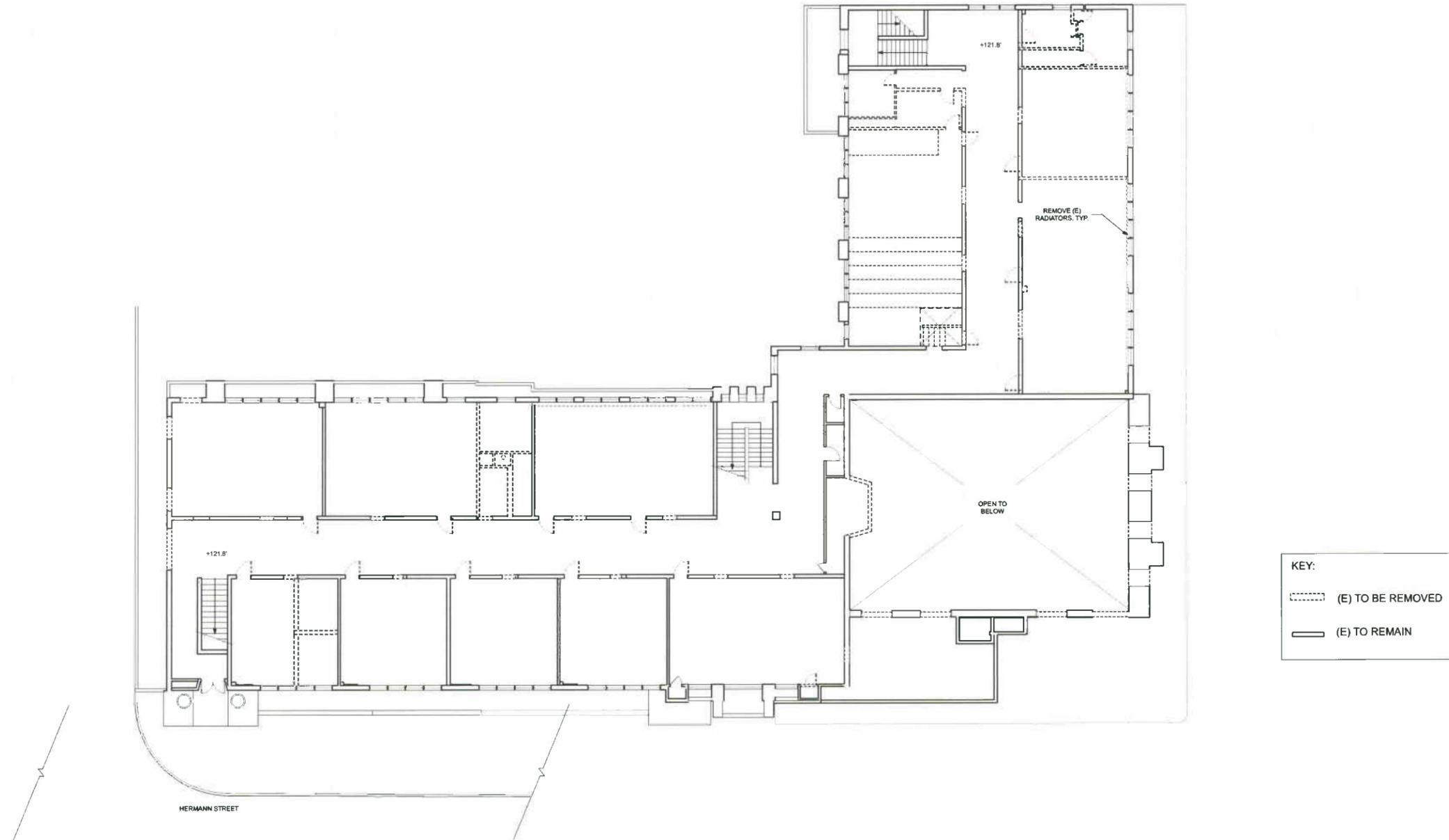
RICHARDSON HALL: VARIANT A

PROPOSED SECOND LEVEL PLAN



RICHARDSON HALL

EXISTING THIRD LEVEL PLAN



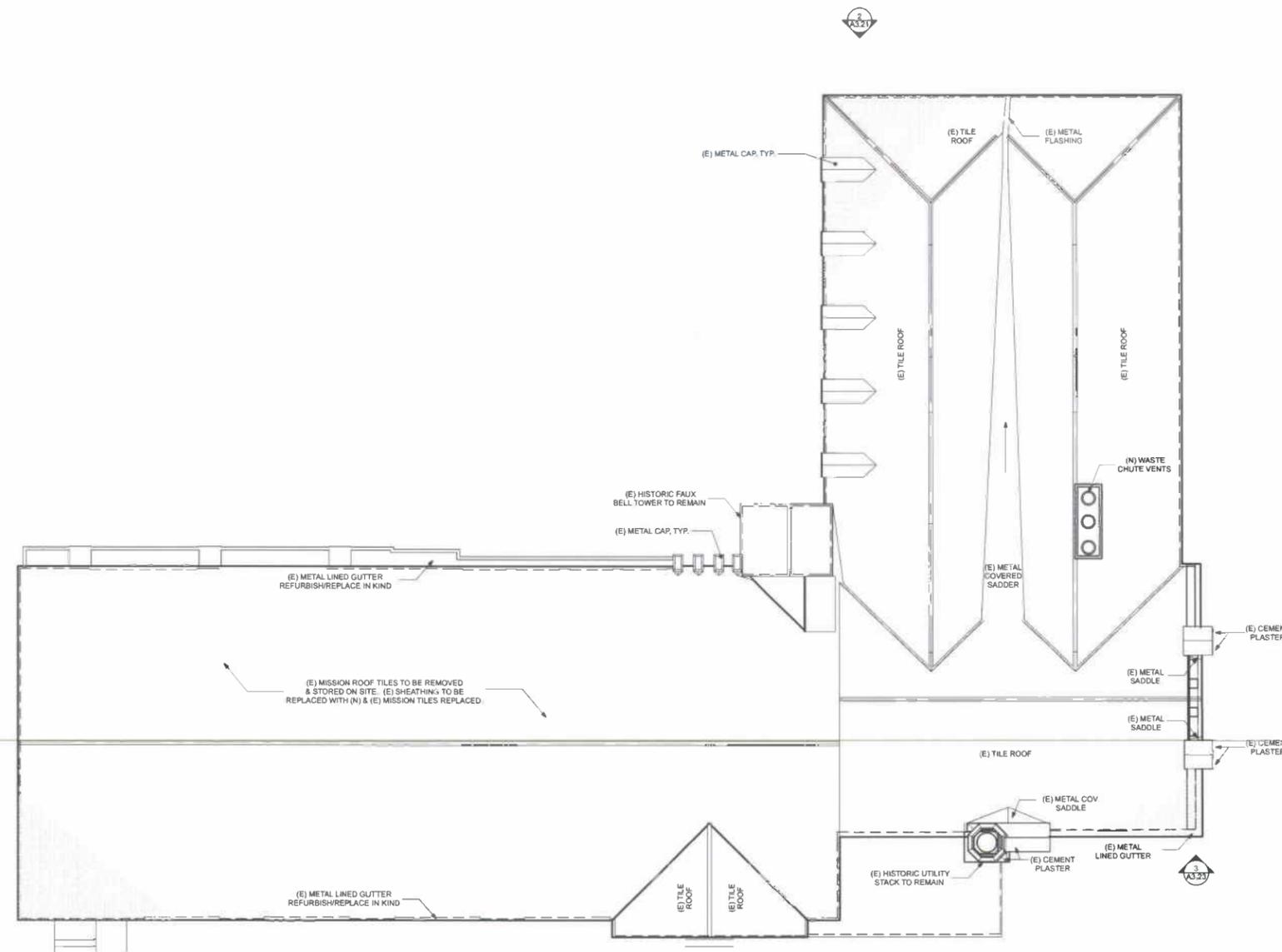
RICHARDSON HALL: VARIANT A

PROPOSED THIRD LEVEL PLAN



RICHARDSON HALL: VARIANT A

EXISTING AND PROPOSED ROOF PLAN



RICHARDSON HALL

EXISTING LAGUNA STREET ELEVATION



RICHARDSON HALL

EXISTING HERMANN STREET ELEVATION



RICHARDSON HALL: VARIANT A

PROPOSED HERMANN STREET ELEVATION



MATERIAL LIST

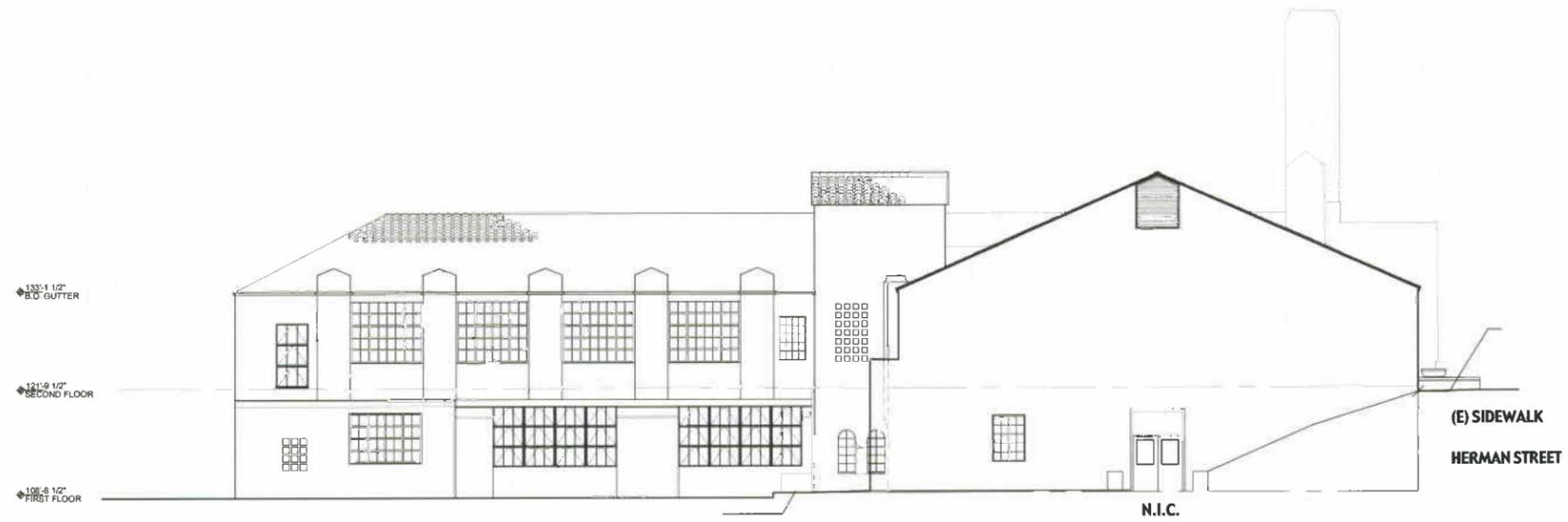
- 1 (E) CEMENT PLASTER
- 2 (E) HISTORIC METAL WINDOWS TO REMAIN
- 3a (N) ALUMINUM WINDOW IN HISTORIC OPENING
- 3b (N) ALUMINUM WINDOW IN (E) OPENING
- 3c (N) ALUMINUM WINDOW IN (N) OPENING
- 4 (N) ALUMINUM STOREFRONT SYSTEM
- 5 (E) HISTORIC METAL GUARDRAIL TO REMAIN
- 6 (N) METAL GUARDRAIL
- 7 (N) METAL CANOPY
- 8 (E) MISSION TILE ROOF
- 9 (N) EXTERIOR DOOR
- 10 (N) WALL TO MATCH (E)
- 11 (N) SPANDREL PANEL
- 12 (E) METAL CAP
- 13 (E) LOUVERED VENT



EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL

EXISTING WEST ELEVATION



RICHARDSON HALL: VARIANT A

PROPOSED WEST ELEVATION



MATERIAL LIST

- 1 (E) CEMENT PLASTER
- 2 (E) HISTORIC METAL WINDOWS TO REMAIN
- 3a (N) ALUMINUM WINDOW IN HISTORIC OPENING
- 3b (N) ALUMINUM WINDOW IN (E) OPENING
- 3c (N) ALUMINUM WINDOW IN (N) OPENING
- 4 (N) ALUMINUM STOREFRONT SYSTEM
- 5 (E) HISTORIC METAL GUARDRAIL TO REMAIN
- 6 (N) METAL GUARDRAIL
- 7 (N) METAL CANOPY
- 8 (E) MISSION TILE ROOF
- 9 (N) EXTERIOR DOOR
- 10 (N) WALL TO MATCH (E)
- 11 (N) SPANDREL PANEL
- 12 (E) METAL CAP
- 13 (E) LOUVERED VENT

EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL

EXISTING NORTH ELEVATION



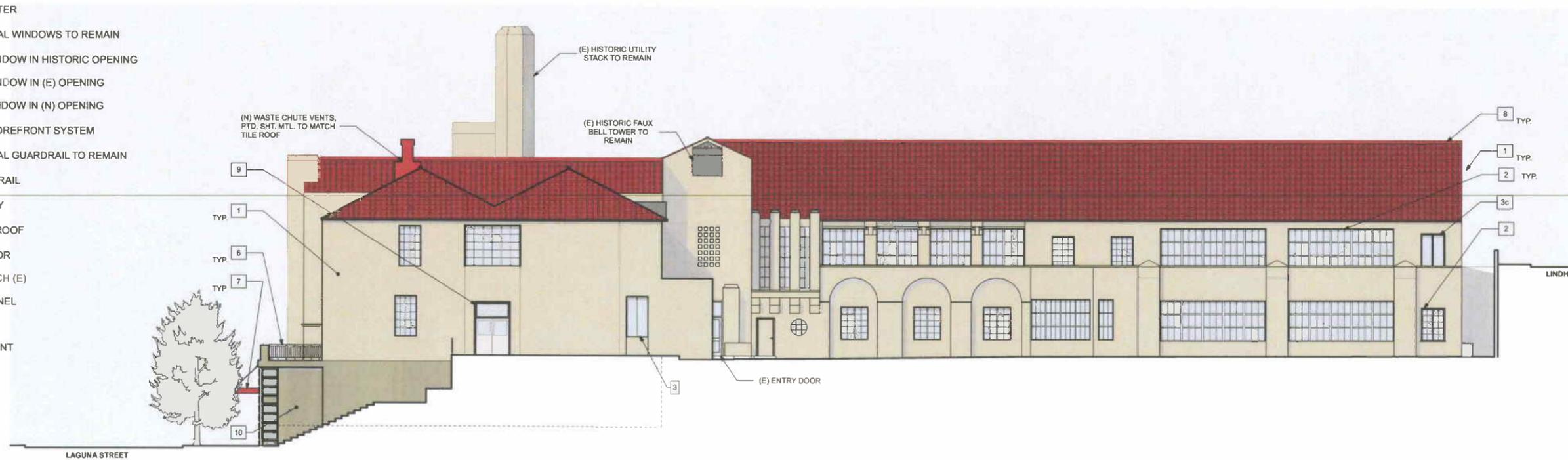
RICHARDSON HALL: VARIANT A

PROPOSED NORTH ELEVATION



MATERIAL LIST

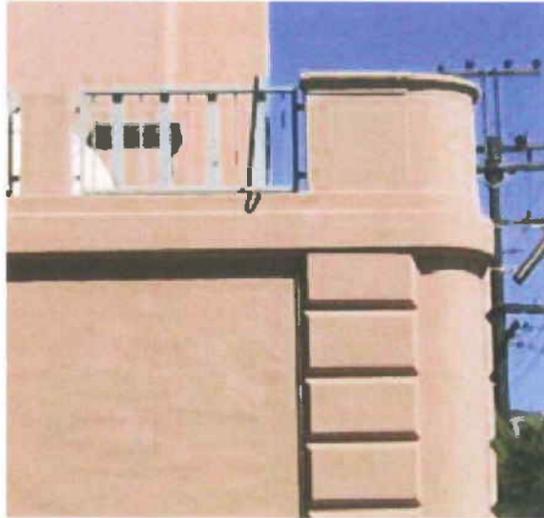
- 1 (E) CEMENT PLASTER
- 2 (E) HISTORIC METAL WINDOWS TO REMAIN
- 3a (N) ALUMINUM WINDOW IN HISTORIC OPENING
- 3b (N) ALUMINUM WINDOW IN (E) OPENING
- 3c (N) ALUMINUM WINDOW IN (N) OPENING
- 4 (N) ALUMINUM STOREFRONT SYSTEM
- 5 (E) HISTORIC METAL GUARDRAIL TO REMAIN
- 6 (N) METAL GUARDRAIL
- 7 (N) METAL CANOPY
- 8 (E) MISSION TILE ROOF
- 9 (N) EXTERIOR DOOR
- 10 (N) WALL TO MATCH (E)
- 11 (N) SPANDREL PANEL
- 12 (E) METAL CAP
- 13 (E) LOUVERED VENT



RICHARDSON HALL

PERSPECTIVE RENDERING





(E) Cement Plaster Example



(E) Tile Roof Example



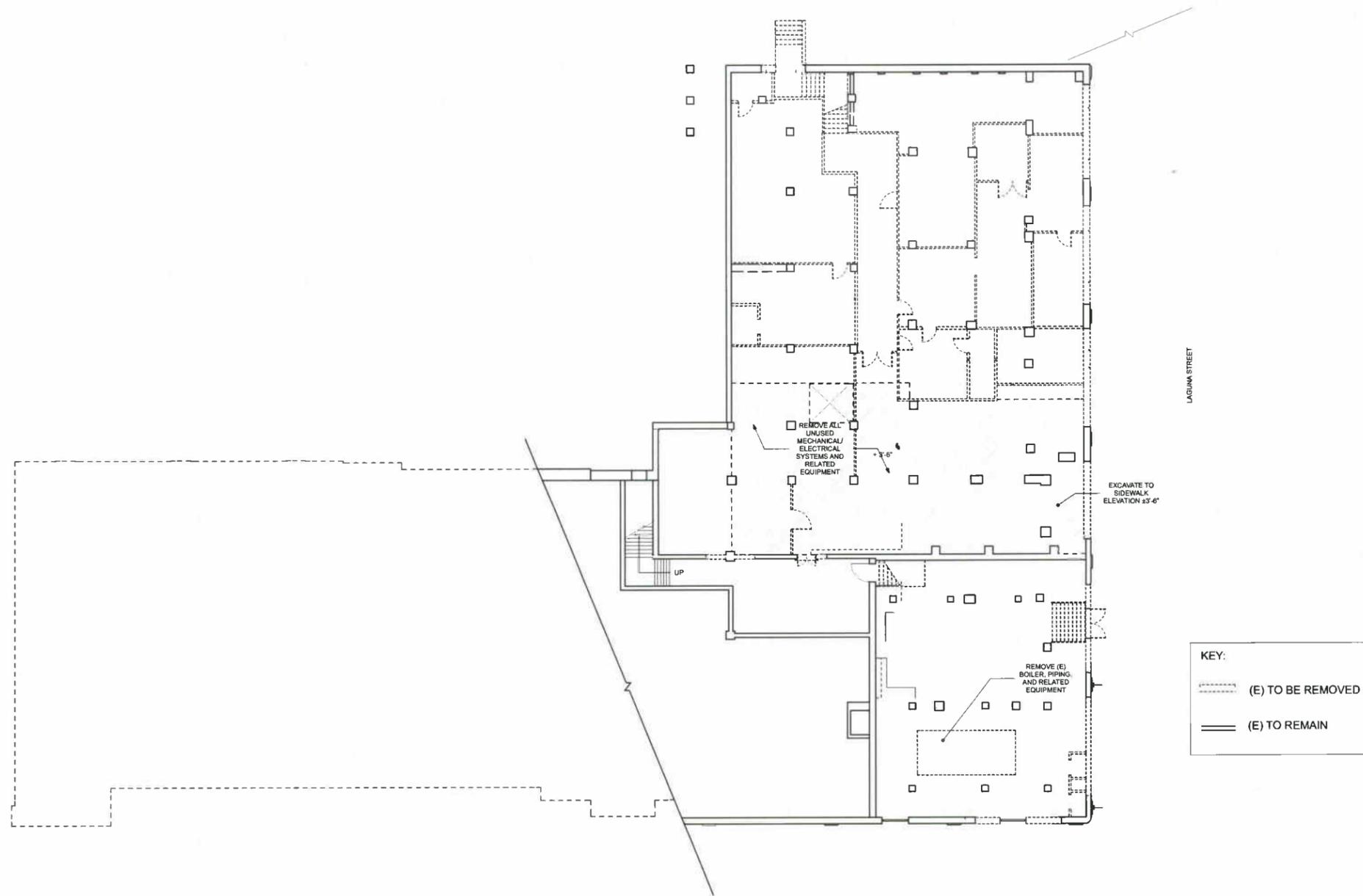
(E) Metal Window Example



(N) Storefront Example
PTD, color to match windows

RICHARDSON HALL

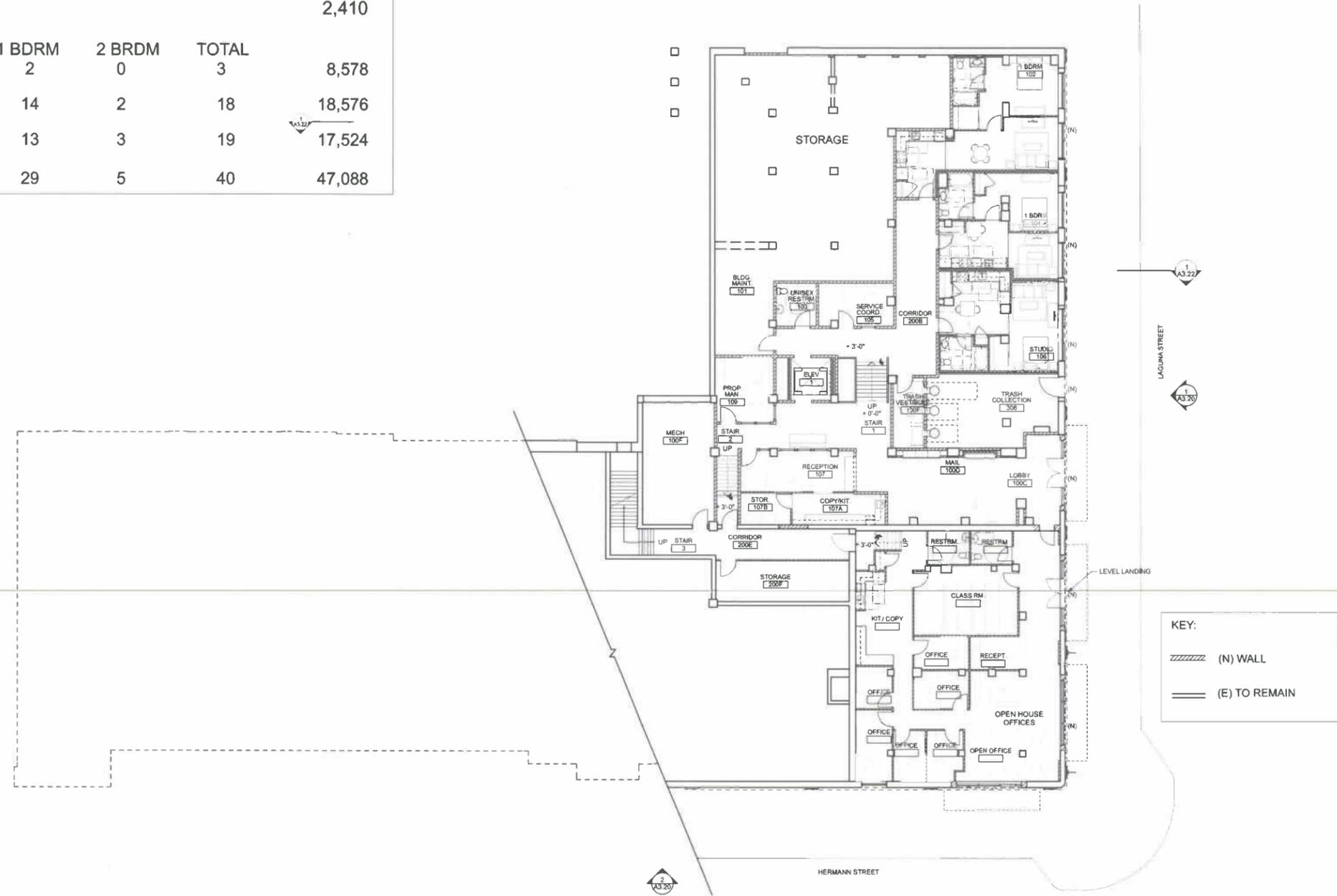
EXISTING BASEMENT PLAN



RICHARDSON HALL: VARIANT B

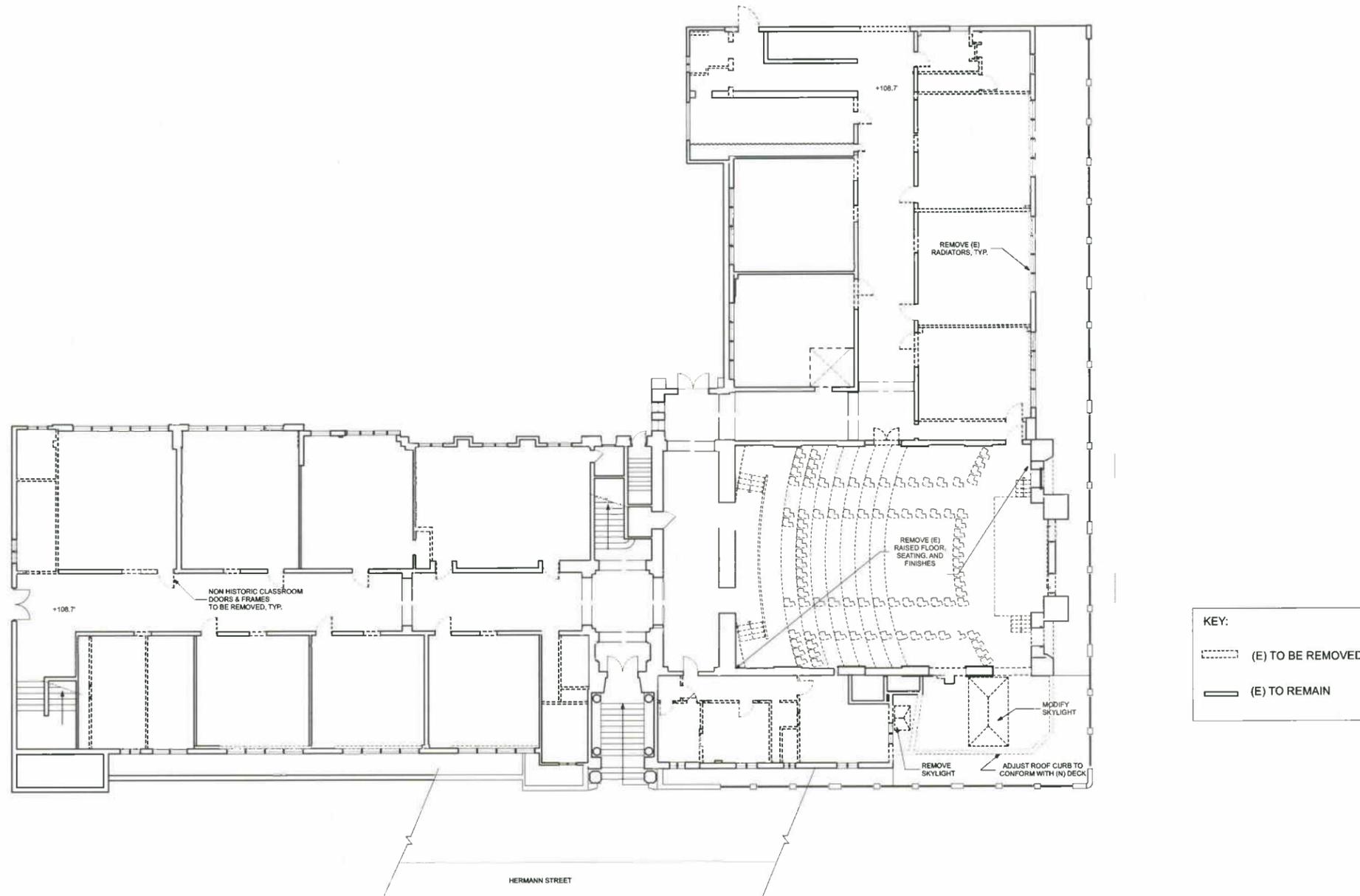
PROPOSED BASEMENT PLAN

STATISTICS					GROSS AREA 2,410
OPEN HOUSE OFFICE					
	STUDIOS	1 BDRM	2 BRDM	TOTAL	
1ST FLOOR:	1	2	0	3	8,578
2ND FLOOR:	2	14	2	18	18,576
3RD FLOOR:	3	13	3	19	17,524
TOTAL:	6	29	5	40	47,088



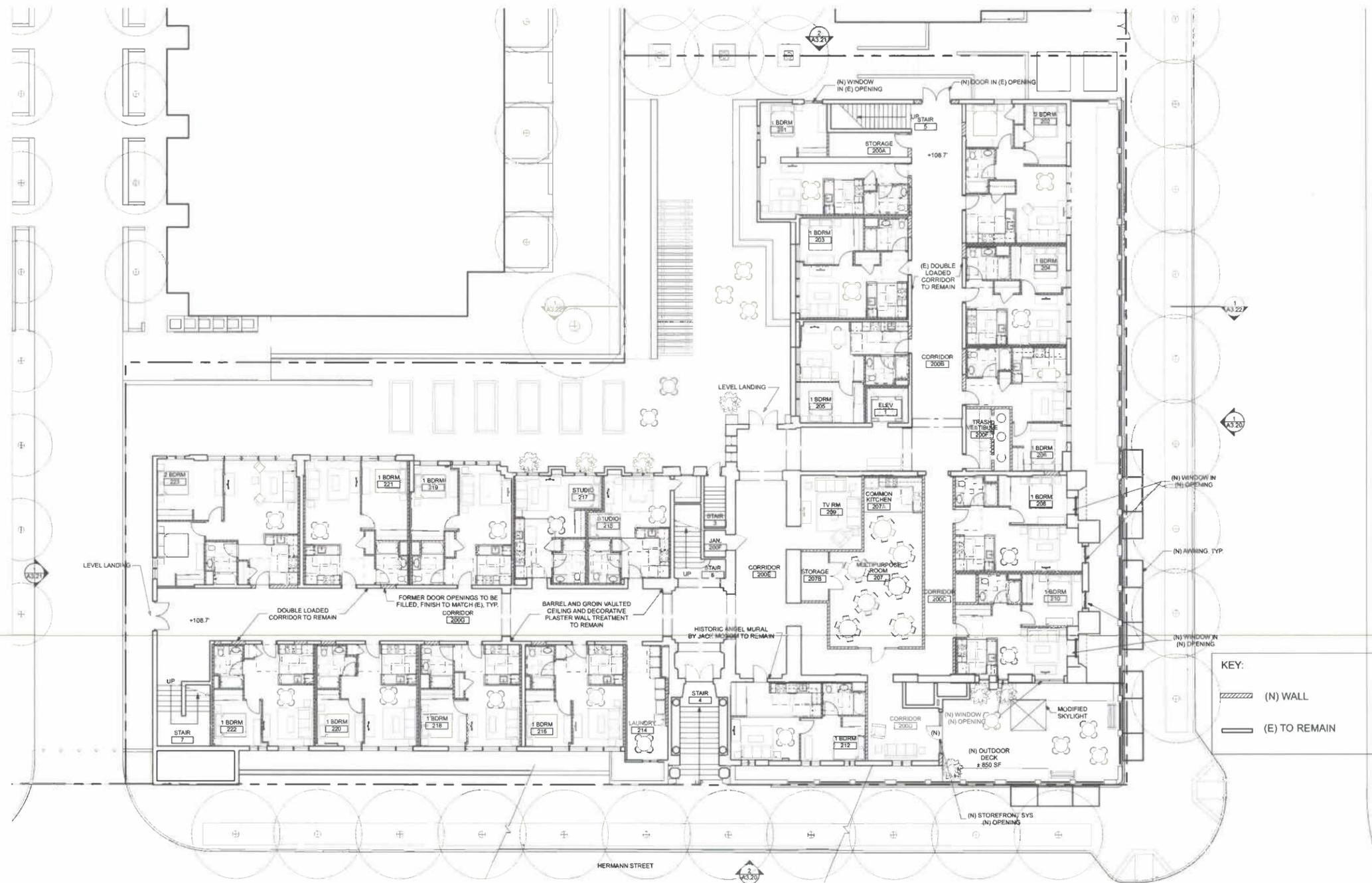
RICHARDSON HALL

EXISTING SECOND LEVEL PLAN



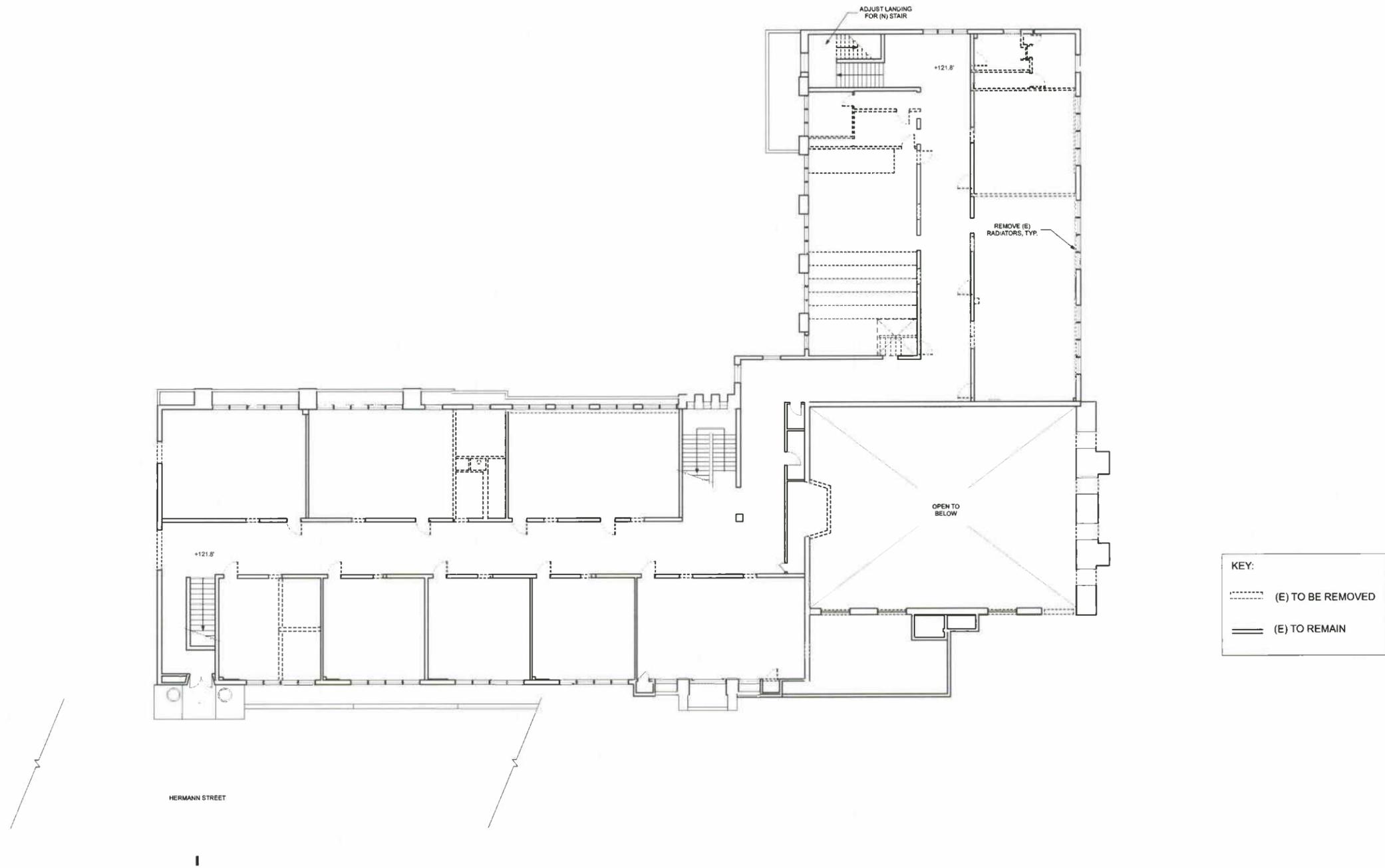
RICHARDSON HALL: VARIANT B

PROPOSED SECOND LEVEL PLAN



RICHARDSON HALL

EXISTING THIRD LEVEL PLAN



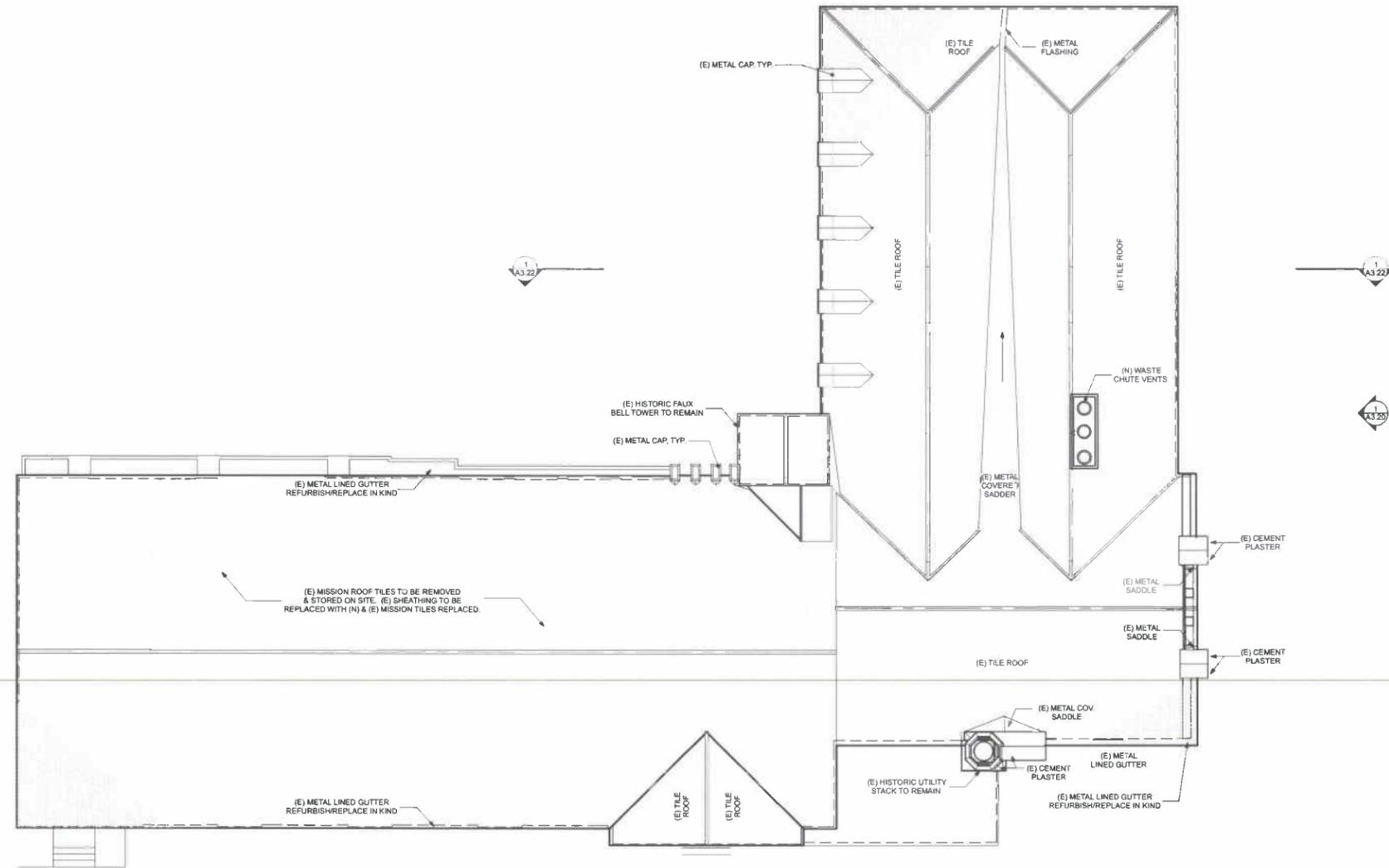
RICHARDSON HALL: VARIANT B

PROPOSED THIRD LEVEL PLAN



RICHARDSON HALL: VARIANT B

EXISTING AND PROPOSED ROOF PLAN



RICHARDSON HALL

EXISTING LAGUNA STREET ELEVATION



RICHARDSON HALL: VARIANT B

PROPOSED LAGUNA STREET ELEVATION



EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL

EXISTING HERMANN STREET ELEVATION



RICHARDSON HALL: VARIANT B

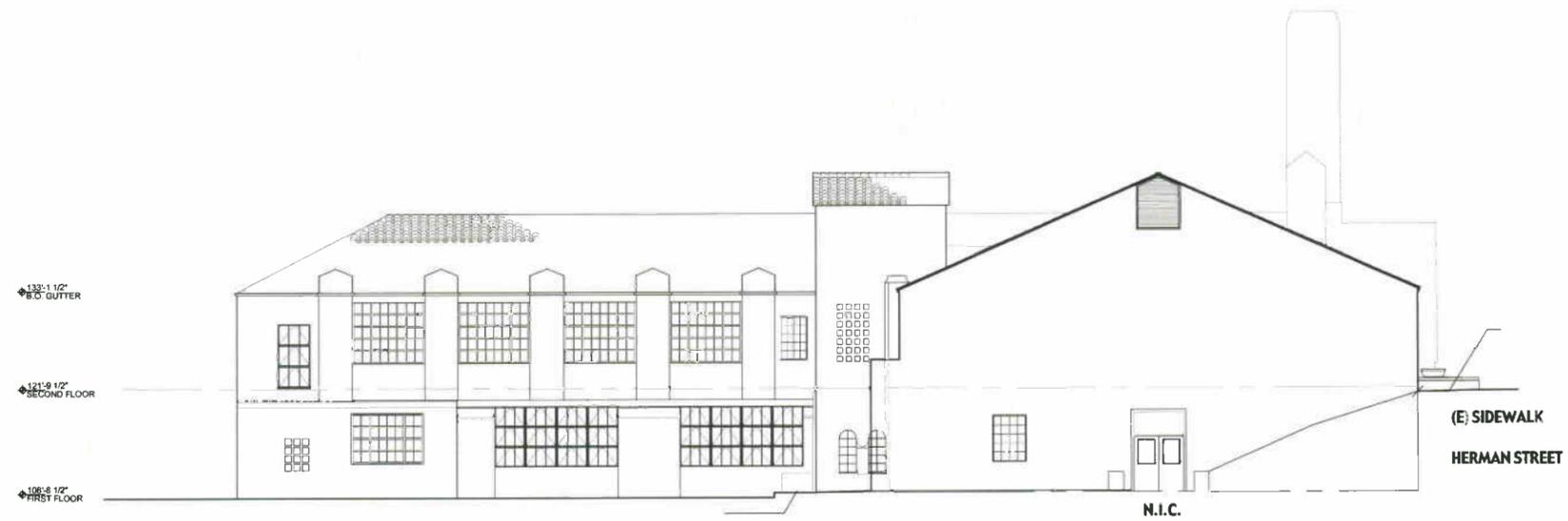
PROPOSED HERMANN STREET ELEVATION



EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL

EXISTING WEST ELEVATION



RICHARDSON HALL: VARIANT B

PROPOSED WEST ELEVATION



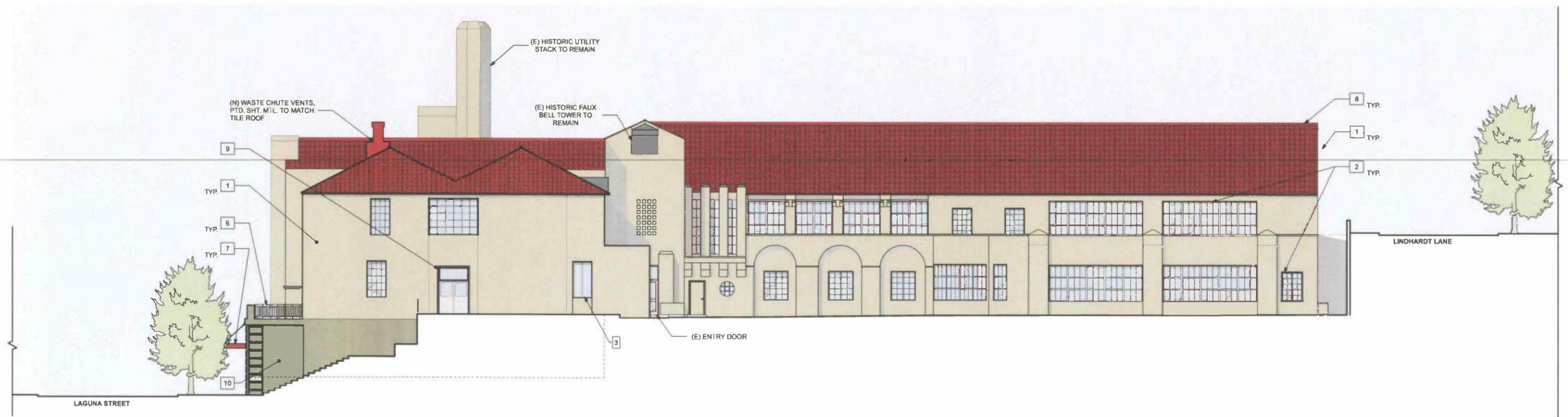
RICHARDSON HALL

EXISTING NORTH ELEVATION



RICHARDSON HALL: VARIANT B

PROPOSED NORTH ELEVATION



EXISTING AND
PROPOSED DRAWINGS:
RICHARDSON HALL

RICHARDSON HALL

PERSPECTIVE RENDERING

