



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report Consent Calendar

HEARING DATE: JANUARY 16, 2013

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Planning
Information:
415.558.6377

Filing Date: October 9, 2012
Case No.: **2012.1056A**
Project Address: **126 – 27th Avenue**
Landmark No.: No. 196 – Alfred G. Hanson Residence
Zoning: RH-1 (Residential, House, Single-Family)
40-X Height and Bulk District
Block/Lot: 1332 / 049
Applicant: Stephen Antonaros, Architect
2261 Market Street, #324
San Francisco, CA 94114
Staff Contact Shelley Caltagirone - (415) 558-6625
shelley.caltagirone@sfgov.org
Reviewed By Tim Frye – (415) 575-6822
tim.frye@sfgov.org

PROPERTY DESCRIPTION

126 – 27th AVENUE, east side between El Camino Del Mar and Lake Street. Assessor's Block 1332, Lots 049 and 050. The wood-framed, shingle-style, two-story, single-family residence was built in 1907 by John Charles Flugger. The building's most striking features are the building's complex roof form and dramatically flared eaves. The subject property contains two lots, both 25' wide by 100' deep. From the street, the building appears as a single-family detached house with a large side yard on its south side. A small garage structure constructed in 1917 is located at the rear, south east corner of the lot. The subject property is located in a RH-1 (Residential, House, Single-Family) Zoning District and a 40-X Height and Bulk District.

PROJECT DESCRIPTION

The proposal is to modify a previous approval to convert the existing garage structure at the rear of the lot into a residential unit and to enlarge it from 266 sq. ft to 395 sq ft (Case No. 2009.0827A). The current proposal will fully demolish the non-contributing structure and replace it with a 502 sq. ft. residential structure. The new structure will be located in the same southeast corner of the lot and will be of similar height, form, and character as the existing garage.

OTHER ACTIONS REQUIRED

The proposed project requires a rear yard Variance. This item will be heard and decided on by the Zoning Administrator at a public hearing.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project requires a rear yard Variance; therefore it does not comply with Planning Code Section 134. The proposed project complies in all other aspects of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic property is retaining its residential character and use. The garage structure is not mentioned in the landmark designation report, has no pre-existing historic rating and was not found to be character-defining feature of the property or eligible for the California Register. The proposed structure is de minimis in size and will not adversely impact the building's setting as it will not be visible from the street and will not impact the building's appearance as a single-family detached structure.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The existing garage is not indentified in the Landmark Designation and was found to not be a character-defining feature to the existing historic building. The detailing on the proposed structure is differentiated enough from the historic building as to not create a false sense of history; however it is compatible with regard to materials detailing and massing. The proposed building would be clad in wood horizontal siding as opposed to shingles and would have simple wood trim where the main house is more ornate.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Were the proposed residential structure to be removed in the future, the essential form and integrity of the historic property would not be impaired.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

ISSUES & OTHER CONSIDERATIONS

STAFF ANALYSIS

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work will not adversely affect the subject landmark site for the following reasons:

- Staff finds that the historic character and use of the property will be retained and preserved.
- Staff finds that the garage structure was not mentioned in the landmark designation report, has no pre-existing historic rating, and was not found to be character-defining feature of the property nor eligible for the California Register.
- Staff finds that the proposed structure is de minimis in size and will not adversely impact the building's setting as it will not be visible from the street and will not impact the building's appearance as a single-family detached structure. Further, the building will still retain a generous rear and side yard.
- Staff finds that the proposed project would not impact any of the character-defining features of the Landmark building and the proposal is reversible.
- Staff finds that the detailing on the proposed structure is differentiated from the historic building; however it is compatible with regard to materials, detailing and massing. The proposed building is clad in wood horizontal siding as opposed to shingles and would have simple wood trim where the main house is more ornate.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Demolition of Existing Structure) and 15303 (Class Three – New Construction) because the project includes demolition of an existing accessory structure and construction of a new single-family residential structure that both meet the Secretary of the Interior's Standards.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

ATTACHMENTS

Draft Motion
Parcel Map
Sanborn Map
Aerial Photograph
Site Photograph
Current Plans
Previous Plans

SC: G:\DOCUMENTS\Cases\COFA\Case Reports\126 - 27th Ave_CoA_Case Report_1.16.13.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion No.

HEARING DATE: JANUARY 16, 2013

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Case No.: **2012.1056A**
Project Address: **126 – 27th Avenue**
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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOTS 049-050 IN ASSESSOR'S BLOCK 1332, WITHIN AN RH-1 (RESIDENTIAL, HOUSE, ONE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on October 9, 2012, Stephen Antonaros (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to modify a previous approval to convert the existing garage structure at the rear of the lot into a residential unit and to enlarge it from 266 square feet to 395 square feet (Case No. 2009.0827A). The current proposal will fully demolish the non-contributing structure and replace it with a 502 sq. ft. residential structure. The new structure will be located in the same southeast corner of the lot and will be of similar height, form, and character as the existing garage.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on January 16, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.1056A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated received July 5, 2012 and labeled Exhibit A on file in the docket for Case No. 2012.1056A based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report dated July 19, 1989.

- The historic character and use of the property will be retained and preserved.
- The garage structure is not mentioned in the landmark designation report, has no pre-existing historic rating and was not found to be character-defining feature of the property or eligible for the California Register.
- The proposed structure is de minimis in size and will not adversely impact the building's setting as it will not be visible from the street and will not impact the Landmark building's appearance as a single-family detached structure. Further, the building will still retain a generous rear and side yard.
- The proposed project would not impact any of the character-defining features of the Landmark building and the proposal is reversible.
- The detailing on the proposed structure is differentiated enough from the historic building as to not cause a false sense of history; however it is compatible with regard to materials, detailing and massing.
- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the 126 – 27th Avenue for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the alteration of a residential property and will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. Parking will be provided on site for the new unit.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lots 049 and 050 in Assessor's Block 1332 for proposed work in conformance with the renderings and architectural sketches dated July 5, 2012 and labeled Exhibit A on file in the docket for Case No. 2012.1056A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on January 16, 2013.

Jonas P. Ionin
Acting Commission Secretary

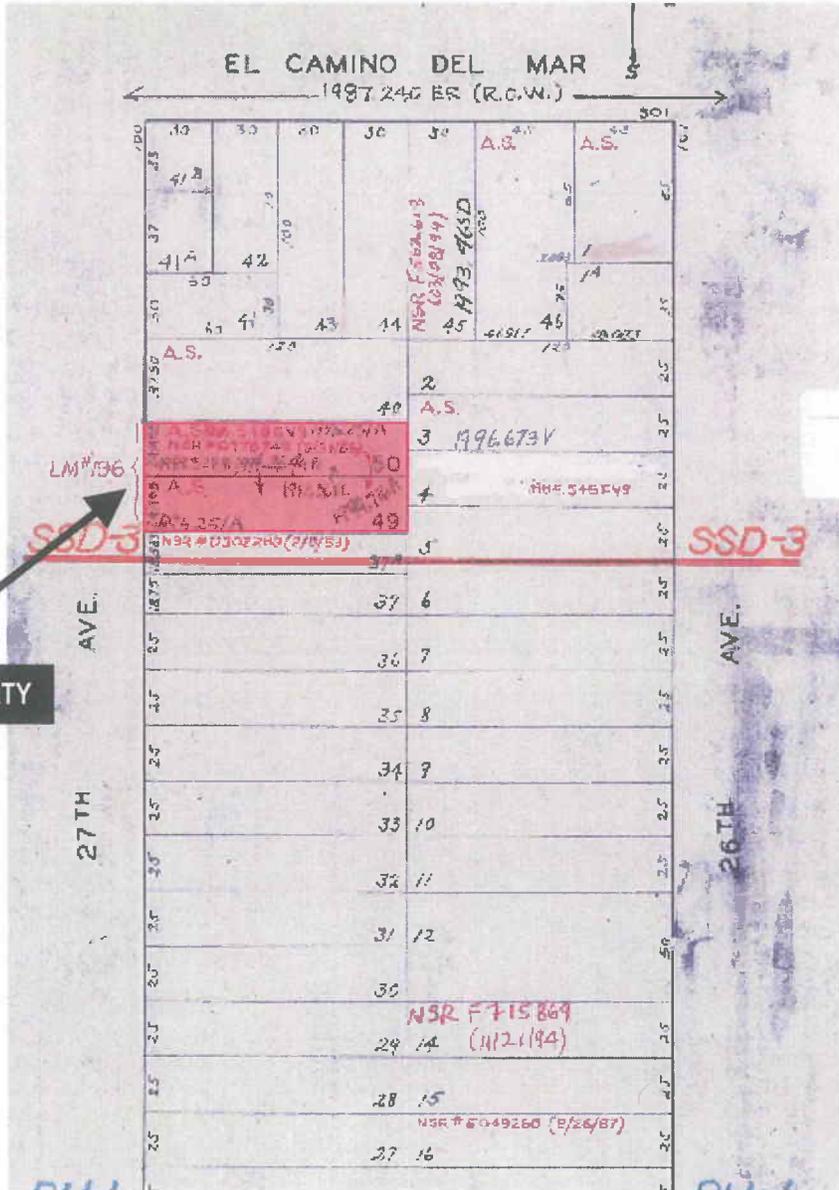
AYES:

NAYS:

ABSENT:

ADOPTED:

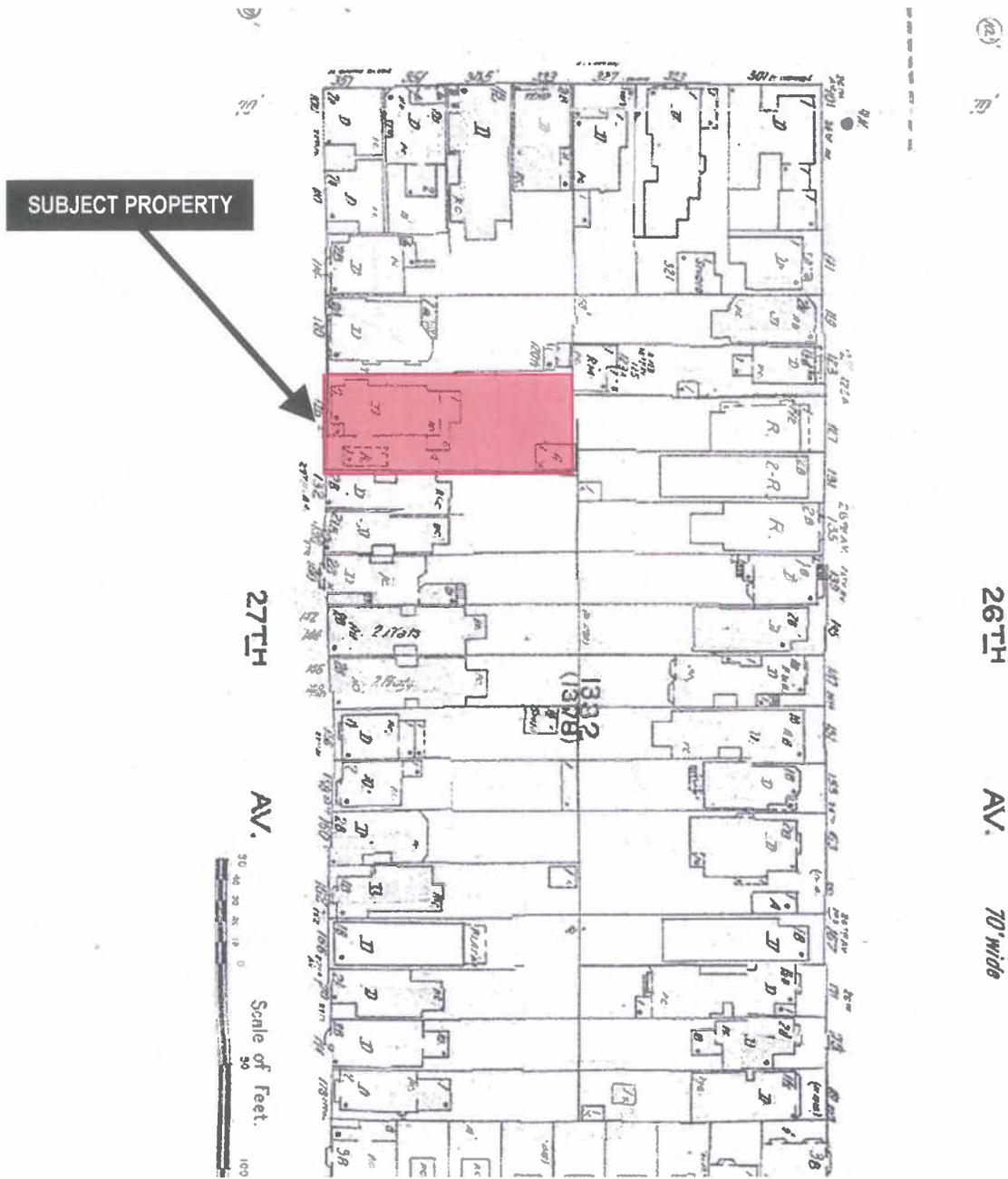
Parcel Map



Certificate of Appropriateness
Case Number 2012.1056A
126 - 27th Avenue
City Landmark #196



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Aerial Photo

GARAGE STRUCTURE



SUBJECT PROPERTY

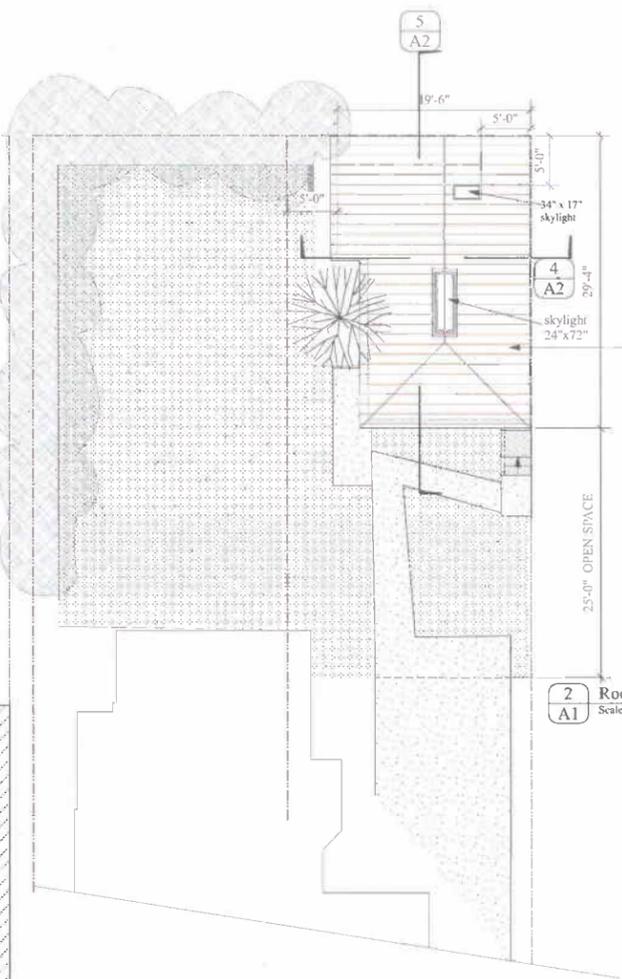
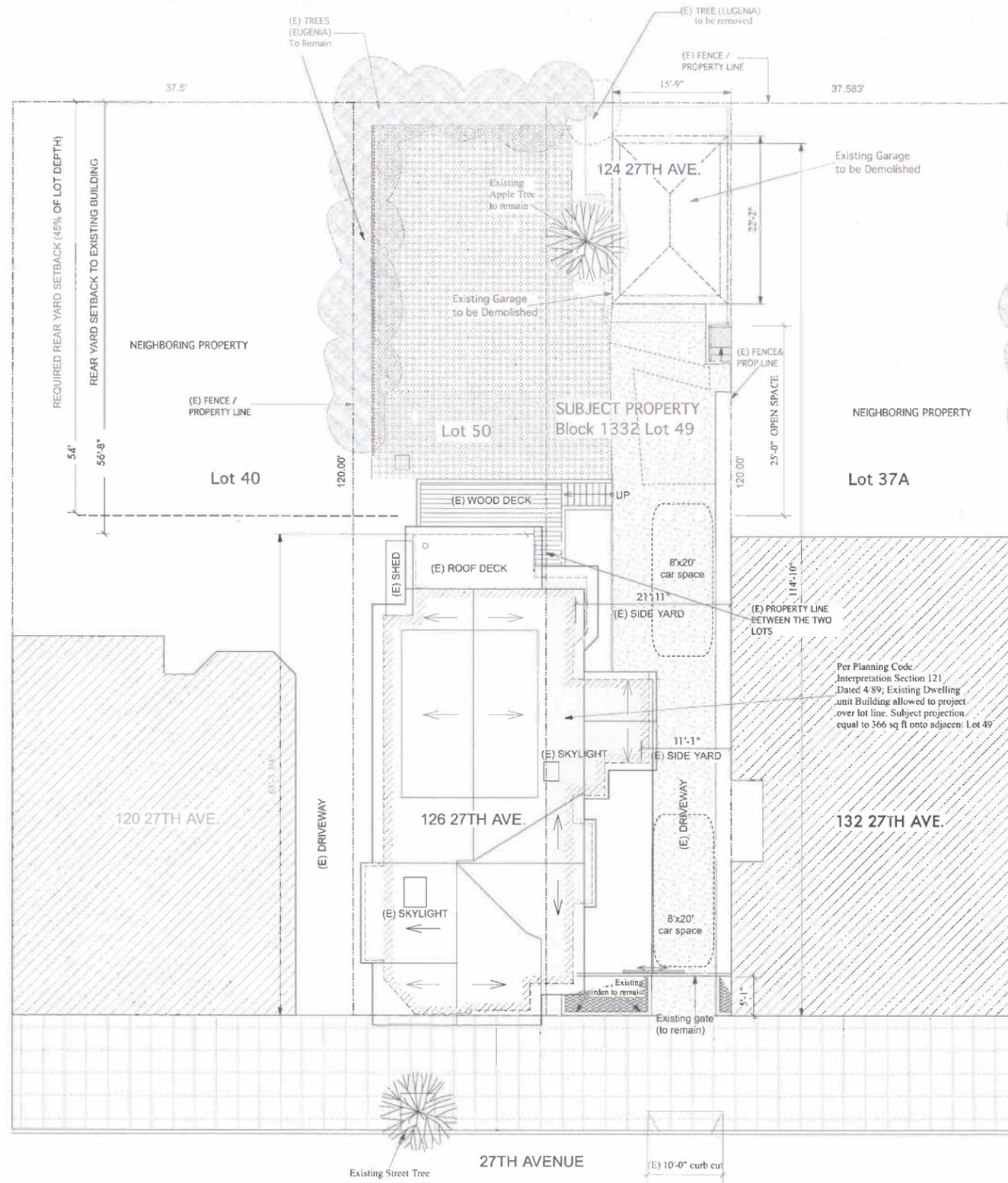


Certificate of Appropriateness
Case Number 2012.1056A
126 - 27th Avenue
City Landmark #196

Site Photo



Certificate of Appropriateness
Case Number 2012.1056A
126 – 27th Avenue
City Landmark #196



APPLICABLE CODES:
 2010 California Building Code,
 2010 Mechanical Code,
 2010 Plumbing Code, and
 2010 San Francisco Building Code

CONSTRUCTION TYPE: Type 5-B
 One Story

OCCUPANCY CLASSIFICATION: R-3

INDEX OF DRAWINGS

| | |
|------|-------------------------------------------|
| A1 | Site Plan / Plot Plan |
| A2 | Building Floor Plans, Section, Elevations |
| GP-1 | Greenpoint Schedules and Building Notes |
| GP-2 | Greenpoint Schedules |

SCOPE OF WORK

1. Demolition of existing 267 sq ft one-car garage structure at rear of lot and construction of new 502 sq ft studio/dwelling



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 San Francisco, California 94114
 santonaros@stglobal.net (415) 864 2261
 www.antonaros.com

for
 Frank DeRosa &
 Janice Roudeshush
 (415) 387-8122

New Single Family Dwelling at rear of Lot 49, Block 1332
124 & 126 27th Avenue
 San Francisco, California Block 1332 Lots 049 + 050



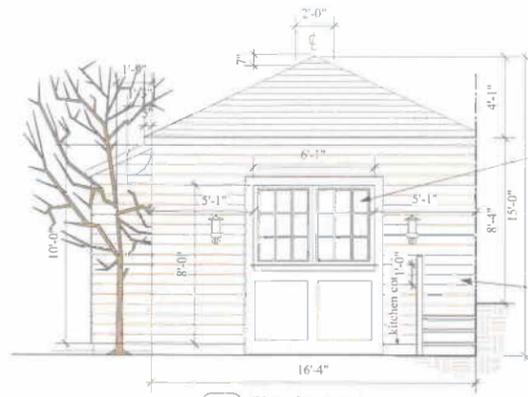
1 SITE PLAN - Proposed
 A1 Scale: 1/8" = 1'-0"

| | |
|-------|-----------|
| Date | 07/05/12 |
| Scale | Varies |
| Drawn | SA |
| Job | |
| Sheet | A1 |
| Of | Sheet |

| REVISIONS | BY |
|--------------|----|
| Aug 13, 2012 | |
| Oct 09, 2012 | |
| Dec 20, 2012 | |



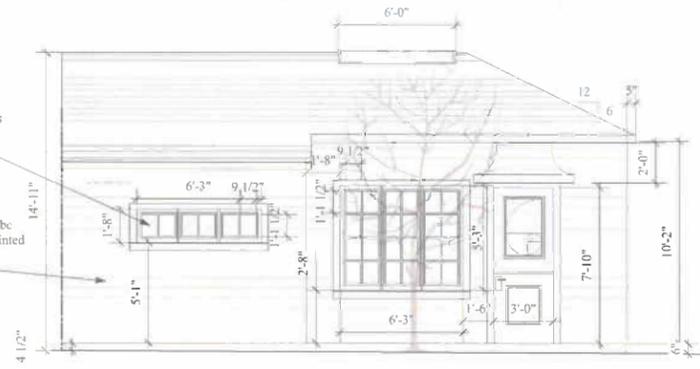
1 Elevation (east)
A2 Scale: 1/4" = 1'-0"



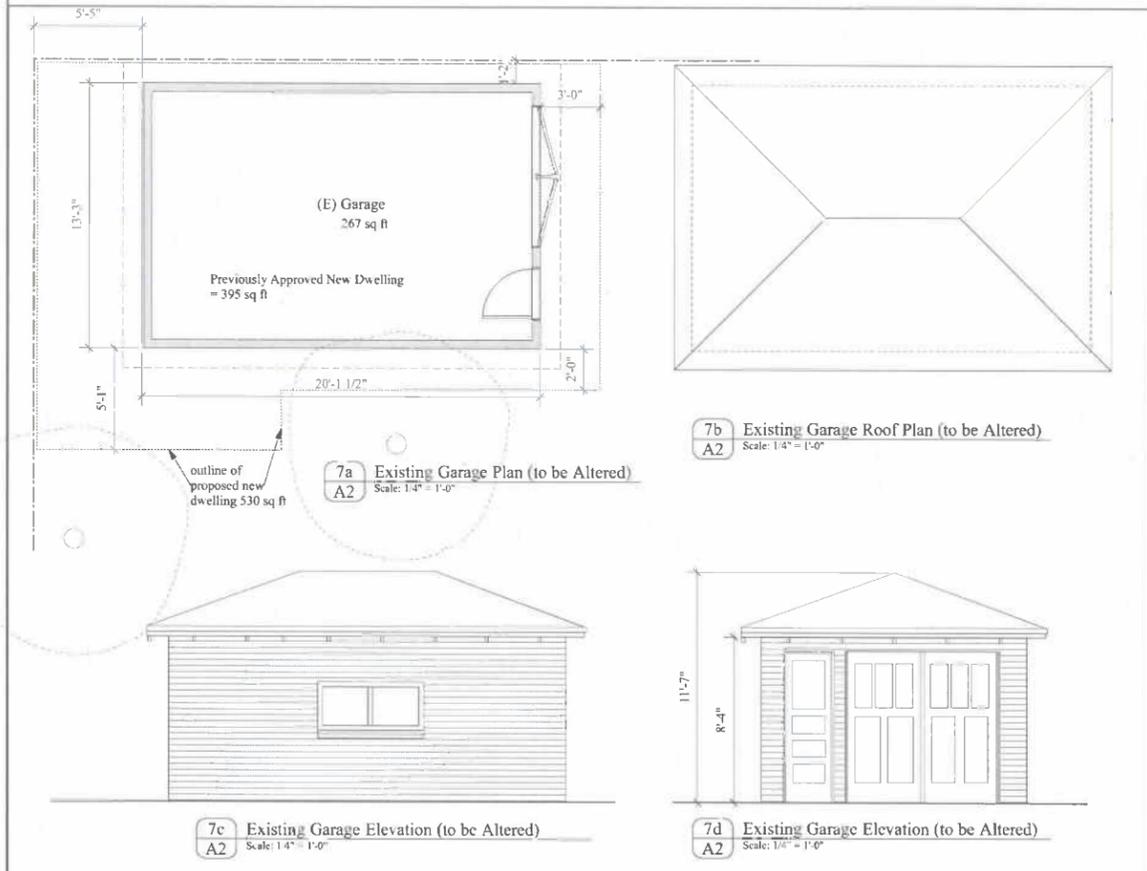
1 Elevation (west)
A2 Scale: 1/4" = 1'-0"

Note:
All wood windows and trim painted to match existing

Note:
Exterior siding to be cedar shingles, painted to match existing



2 Elevation (north)
A2 Scale: 1/4" = 1'-0"

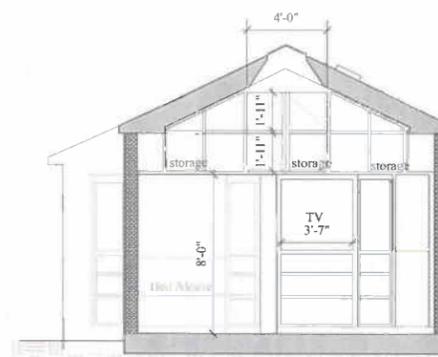


7b Existing Garage Roof Plan (to be Altered)
A2 Scale: 1/4" = 1'-0"

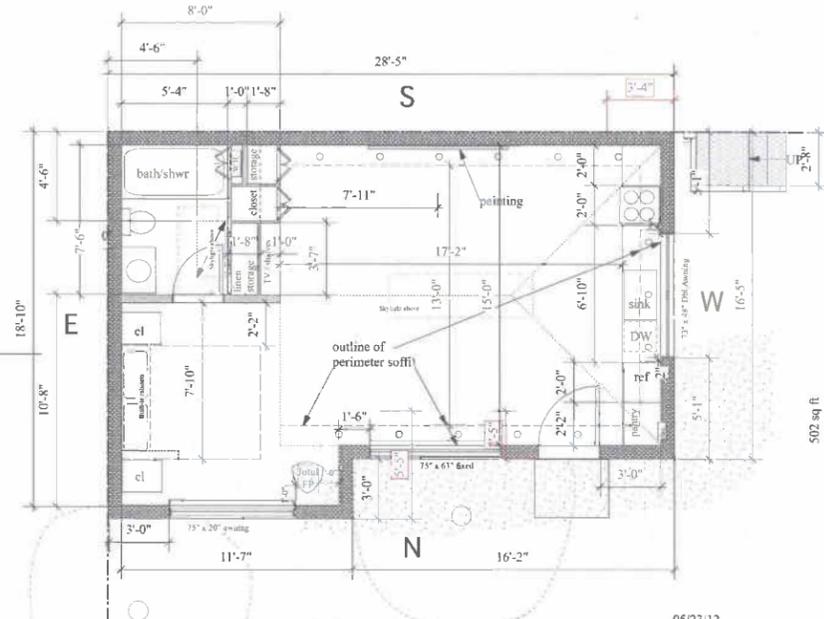
7a Existing Garage Plan (to be Altered)
A2 Scale: 1/4" = 1'-0"

7c Existing Garage Elevation (to be Altered)
A2 Scale: 1/4" = 1'-0"

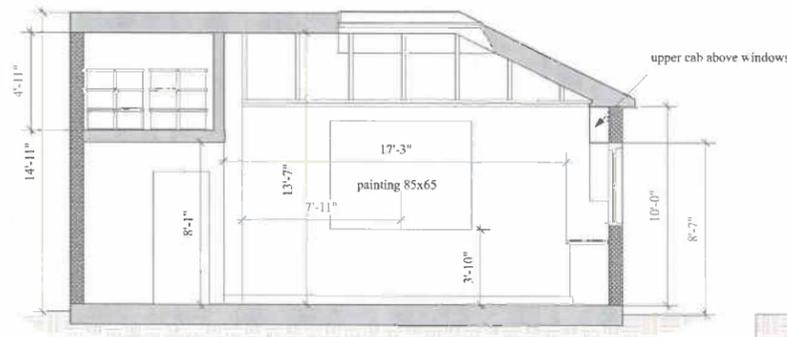
7d Existing Garage Elevation (to be Altered)
A2 Scale: 1/4" = 1'-0"



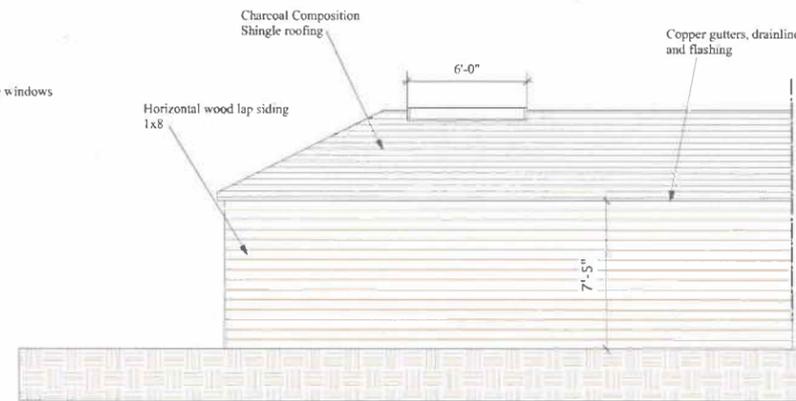
4 Section (looking east)
A2 Scale: 1/4" = 1'-0"



6 Ground Floor Plan (proposed)
A2 Scale: 1/4" = 1'-0"



5 Building Section- Looking South
A2 Scale: 1/4" = 1'-0"



3 Elevation (south)
A2 Scale: 1/4" = 1'-0"

| REVISIONS | BY |
|--------------|----|
| Aug 13, 2012 | |
| Oct 09, 2012 | |
| Dec 20, 2012 | |



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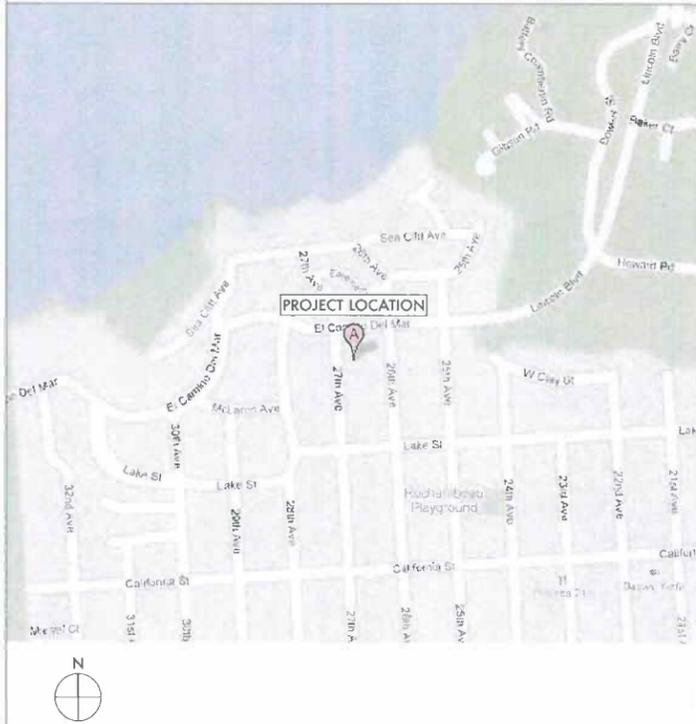
for
Frank DeRosa &
Janice Roubesh
(415) 387-8122

New Single Family Dwelling at rear of Lot 49, Block 1332
124 & 126 27th Avenue

San Francisco, California Block 1332 Lots 049 + 050
(415) 387-8122

Date 07/05/12
Scale varies
Drawn SA
Job
Sheet
A2
Of Sheet

ROUDEBUSH-DEROSA RESIDENCE



1 VICINITY MAP SCALE: 1"=500'

- A0.0.....COVER SHEET
- A0.1.....SITE POTOS
- A1.0.....EXISTING SITE PLAN
- A1.1.....PROPOSED SITE PLAN
- A2.0.....EXISTING GARAGE PLAN AND ELEVATIONS
- A2.1.....PROPOSED DWELLING UNIT PLAN AND ELEVATIONS

OWNER:
ROUDEBUSH-DEROSA
126 27TH AVE.
SAN FRANCISCO, CA 94121

ARCHITECT:
PAUL MOLINA
231 GREENWICH ST SUITE B
SAN FRANCISCO, CA 94133
PH: 415.576.1010
FX: 415.576.1011

GENERAL CONTRACTOR:
T.B.D.

STRUCTURAL ENGINEER:
T.B.D.

| PROJECT DESCRIPTION | | | |
|-------------------------------------------------------------------------------------------------------------------------|----------------------------------------|--------------------------------------|-----------------------|
| THIS PROJECT CONSISTS OF AN ALTERATION AND CONVERSION OF AN EXISTING REAR GARAGE TO A DISABLED ADAPTABLE DWELLING UNIT. | | | |
| PLANNING DATA: | | | |
| PROJECT ADDRESS | 126 27TH AVE., SAN FRANCISCO, CA 94121 | | |
| BLOCK AND LOT | BLOCK 1332, LOT 049 O50 | | |
| ZONING DISTRICT | RH-1 | | |
| HEIGHT & BULK DISTRICT | 40-X | | |
| PLANNING DISTRICT | 5 | | |
| QUADRANT | NORTHWEST | | |
| LOT AREA | 2,995 SQUARE FEET | | |
| | EXISTING | PROPOSED | REQ./ALLOWABLE |
| FRONT SET BACK | 0'-0" | NO CHANGE | N/A |
| REAR SET BACK | 56'-8" | NO CHANGE | N/A |
| SIDE YARD SET BACK | NORTH 0'-0", SOUTH 11'-1" | NO CHANGE | N/A |
| BUILDING HEIGHT | 38'-1" | NO CHANGE | 40'-0" |
| BUILDING DATA: | | | |
| | EXISTING | PROPOSED | REQ./ALLOWABLE |
| CONSTRUCTION TYPE | TYPE V | TYPE V | N/A |
| STORIES OF OCCUPANCY | 3 | 3 | N/A |
| BASEMENTS | 0 | NO CHANGE | N/A |
| BUILDING USE | SINGLE UNIT DWELLING | NO CHANGE | N/A |
| OCCUPANCY GROUP | R-3 | R-3 | N/A |
| NO. OF DWELLING UNITS | 1 | 1 | |
| OFF-STREET PKG. SPACES | 1 | 0 | |
| GARAGE DATA: | | | |
| | EXISTING | PROPOSED | CHANGE |
| FIRST FLOOR | 266 SQUARE FEET | 453 SQUARE FEET | 187 SQUARE FEET |
| CONSTRUCTION TYPE | TYPE V | TYPE V | N/A |
| STORIES OF OCCUPANCY | 0 | 1 | N/A |
| BASEMENTS | 0 | NO CHANGE | N/A |
| BUILDING USE | GARAGE | 1 DWELLING UNIT | |
| OCCUPANCY GROUP | R-3 | R-3 | N/A |
| NO. OF DWELLING UNITS | 0 | 1 | |
| OFF-STREET PKG. SPACES | 1 | 2 TANDUM PARKING IN LOT 50 DRIVE WAY | |
| BUILDING HEIGHT | 11'-6 1/2" | 15'-2" | |

| | |
|--|--------------------|
| | ELEVATION |
| | SECTION CUT |
| | DATUM CONTROL LINE |
| | REVISION MARKER |
| | WINDOW |
| | DOOR |
| | FINISH |
| | APPLIANCE |
| | FURNITURE |
| | (N) CONSTRUCTION |
| | (E) CONSTRUCTION |
| | DEMOLITION |

CODES AND CONFLICTS: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS OF THE 2007 CALIFORNIA CODE OF REGULATIONS (TITLE 24), AND ALL OTHER APPLICABLE CODES, ORDINANCES, STATUTES AND SUPPLEMENTAL REQUIREMENTS HAVING JURISDICTION. CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DIMENSIONS: IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON THE DRAWINGS AND DATA SHOWN ON THE SPECIFICATION, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE HE SHALL REPORT TO ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK EFFECTED UNTIL CLARIFICATION HAS BEEN MADE. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISH FACE OF CONSTRUCTION, EG. EXTERIOR FACE OF GYPSUM BOARD (JON). VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (AFF). DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED (+/-).

CHANGES: ALL CHANGES, DESIGN, CONSTRUCTION, ETC. MUST BE APPROVED BY THE OWNER.

ARCHITECT'S RESPONSIBILITY: THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY IN, ON, OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS OR PERFORMANCE OF WORK.

DEFINITION: "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS. "ARCHITECT" SHALL MEAN THE ARCHITECT OF RECORD OR HIS AGENT. "FURNISH" SHALL MEAN SUPPLY ONLY; FOR OTHERS TO INSTALL. "INSTALL" SHALL MEAN SUPPLIED BY OTHERS TO BE INSTALLED BY CONTRACTOR. "PROVIDE" SHALL MEAN FURNISH AND INSTALL, COMPLETE AND IN PLACE. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. "TYPICAL" SHALL MEAN IDENTICAL FOR CONDITIONS NOTED.

SCOPE: TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES REQUIRED TO PERFORM ALL WORK NECESSARILY INDICATED REASONABLY INFERRED, OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB USING NEW MATERIALS UN IN ACCORDANCE WITH THE BEST ACCEPTED STANDARDS OF CRAFTSMANSHIP.

WORK QUALITY: FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, AND LEVEL WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS. MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED SHALL PERFORM SHOP AND FIELDWORK. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST-ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED AND IN ACCORDANCE WITH THE DRAWINGS, REVIEWED SHOP DRAWINGS, AND SPECIFICATIONS. SUBMIT REQUIRED SHOP DRAWINGS AND SUBMITTALS FOR ALL TRADES AS SOON AS POSSIBLE TO THE ARCHITECT BEFORE ORDERING ANY MATERIALS OR FABRICATIONS OR PROCEEDING WITH THE WORK.

SITE CLEAN UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE JOB IN BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.

SCHEDULE: WITHIN (5) DAYS FROM THE CONTRACT DATE, PREPARE AND SUBMIT AN ESTIMATED CONSTRUCTION SCHEDULE FOR WORK, WITH SCHEDULES OF RELATED ACTIVITIES WHICH MAY AFFECT THE PROGRESS OF THE WORK. MECHANICAL, ELECTRICAL, & PLUMBING DESIGN-BUILD DRAWINGS AND/OR SHOP DRAWINGS, LAYOUTS AND COMPOSITE COORDINATION DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AS SOON AS POSSIBLE AFTER AWARD OF THE CONTRACT FOR CONSTRUCTION, ALLOWING A MINIMUM OF (5) WORKING DAYS FOR REVIEW. NO FABRICATION OR CONSTRUCTION SHALL PROCEED UNTIL THE REVIEW / APPROVAL OF THESE DRAWINGS. GENERAL CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR REVIEW, COORDINATION AND RESUBMITTAL, IF NECESSARY OF THE DESIGN-BUILD SUBCONTRACTORS' DOCUMENTS TO ENSURE SATISFACTORY DESIGN AND ENGINEERING COORDINATION. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY TO ALLOW THE ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTE.

INSURANCE: THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENCES, FEES, PERMITS, AND TAXES, AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE OWNER AND THE DESIGNER HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES FOR PERSONAL BODILY INJURY OR DEATH, OR PROPERTY DAMAGE, DURING THE COURSE OF THIS CONTRACT.

HEATING SYSTEM: HEATING SYSTEM TO BE DESIGN BUILD BY GENERAL CONTRACTOR.

MECHANICAL COORDINATION: GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, AND PLUMBING (TO INCLUDE ALL PIPING, DUCT WORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES, FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE IN NOT FORESEEING MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE. ELEMENTS TO BE EXPOSED TO VIEW SHALL BE DETERMINED BY OR REVIEWED WITH THE ARCHITECT PRIOR TO THE CONSTRUCTION OR FABRICATION PROCEEDING.

APPROVALS: ALL PLUMBING FIXTURES, FINISHES, HARDWARE AND MISCELLANEOUS ITEMS SHALL BE SELECTED AND/OR APPROVED BY THE OWNER AND ARCHITECT.

SAMPLES: THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORK QUALITY WHICH ARE NOT CONSIDERED TO BE REPAIRED OR REPLACED, AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER. FIELD SAMPLES AND MOCK-UPS SHALL BE PREPARED AT THE SITE BY THE CONTRACTOR AS SPECIFIED IN THE VARIOUS SECTIONS OF THESE SPECIFICATIONS. EFFECTED FINISH WORK SHALL NOT BE STARTED UNTIL THE ARCHITECT HAS ACCEPTED AS SATISFACTORY THE FIELD SAMPLES AND/OR MOCK-UPS IN WRITING.

SUBSTITUTIONS: IN THE EVENT THAT THE CONTRACTOR DESIRES TO USE ANY OTHER BRAND OR MANUFACTURER OF EQUAL QUALITY, APPEARANCE, AND UTILITY TO THE PRODUCT SPECIFIED, HE SHALL REQUEST SUBSTITUTION TO THE ARCHITECT. THE ARCHITECT WILL ACCEPT AS SATISFACTORY OR REJECT THE REQUEST FOR SUBSTITUTION, AND HIS DECISION SHALL BE FINAL. UNLESS SUBSTITUTIONS ARE REQUIRED AS PROVIDED HEREIN, DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED.

NEIGHBORS: THE OWNERS AND THE IMMEDIATE NEIGHBORS, OR NEIGHBORS TO BE EFFECTED, SHOULD BE MADE AWARE 48 HOURS IN ADVANCE OF CONSTRUCTION ACTIVITIES THAT ARE POTENTIALLY DISRUPTIVE. UTILITY OUTAGE WILL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE EFFECTED OCCUPANCY UNON. THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, ODOR, NOISE, NUISANCE, AND THE LIKE TO THE PREMISE AND OCCUPANCY. USE OF THE NEIGHBOR'S PROPERTY IS EXPRESSLY FORBIDDEN. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SUCH PROPERTY IN THE EVENT DAMAGE IS DONE.

EXISTING HARDWARE: THE CONTRACTOR IS TO SAVE ALL EXISTING HINGES AND DOORKNOBS REMOVED FROM DEMOLISHED DOORS AND PROVIDE THESE TO THE OWNER.

ROUDEBUSH-DEROSA RESIDENCE

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11.30.10 C of A, REVISION 1

06.30.10 C of A

03.27.10 SFPD HRE REVIEW

03.03.10 DESIGN DEVELOPMENT

COVER SHEET

SCALE AS SHOWN

11.30.10

A0.0

2 DRAWING INDEX

3 PROJECT DIRECTORY

4 PROJECT DATA

5 KEY SYMBOLS

7 GENERAL NOTES

NOTE: FOR PHOTOS' STATIONARY LOCATIONS SEE SHEET A1.0



2 SITE PHOTO



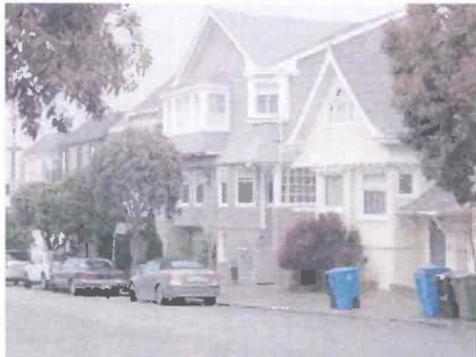
3 SITE PHOTO



4 SITE PHOTO



5 SITE PHOTO



6 SITE PHOTO



7 SITE PHOTO

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(E) SITE PHOTOS

SCALE AS SHOWN

11.30.10

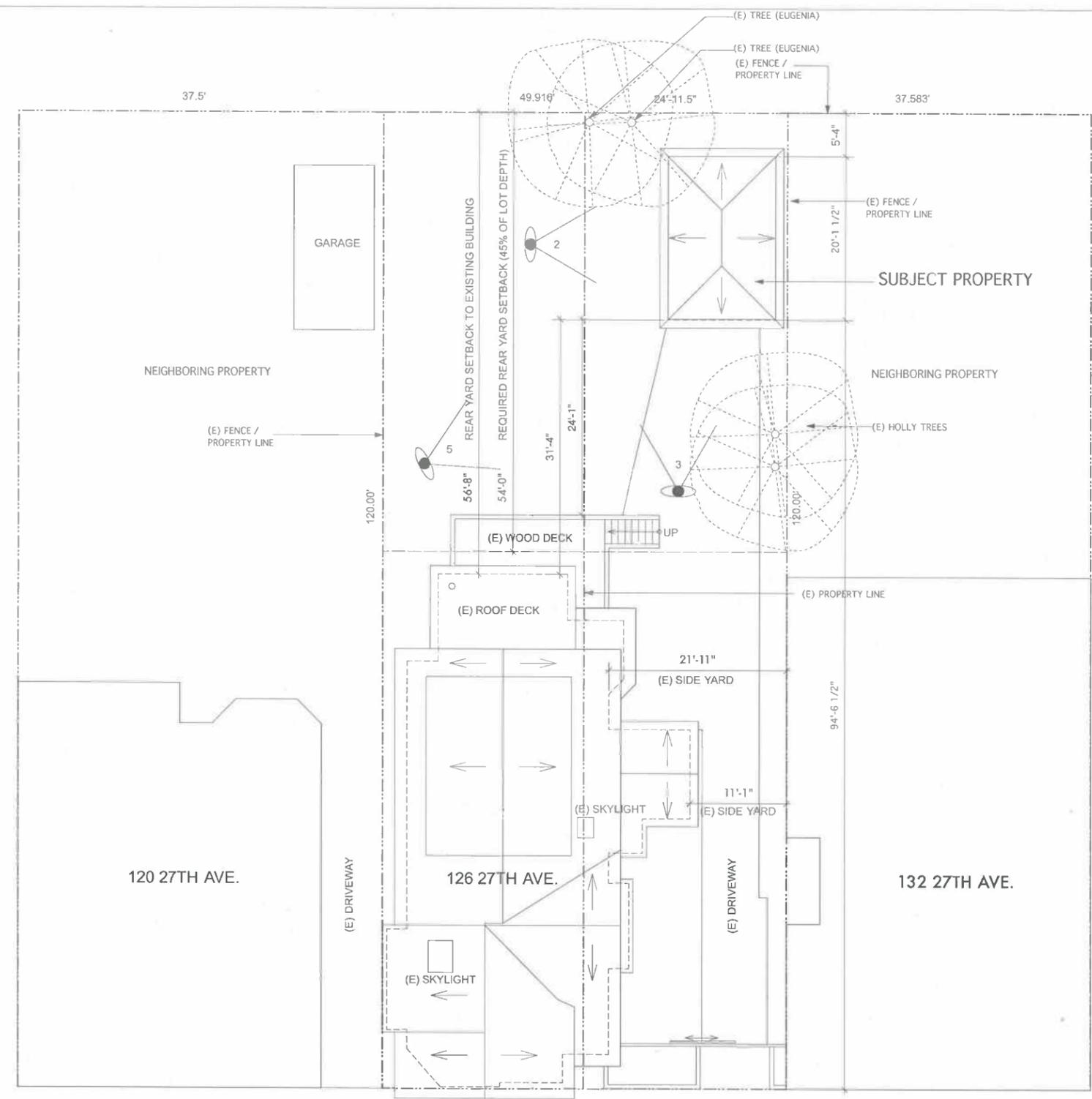
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NOTE: FOR EXISTING SITE IMAGES SEE SHEET A0.1

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| 03.03.10 | | DESIGN DEVELOPMENT |



(E) SITE PLAN

SCALE AS SHOWN

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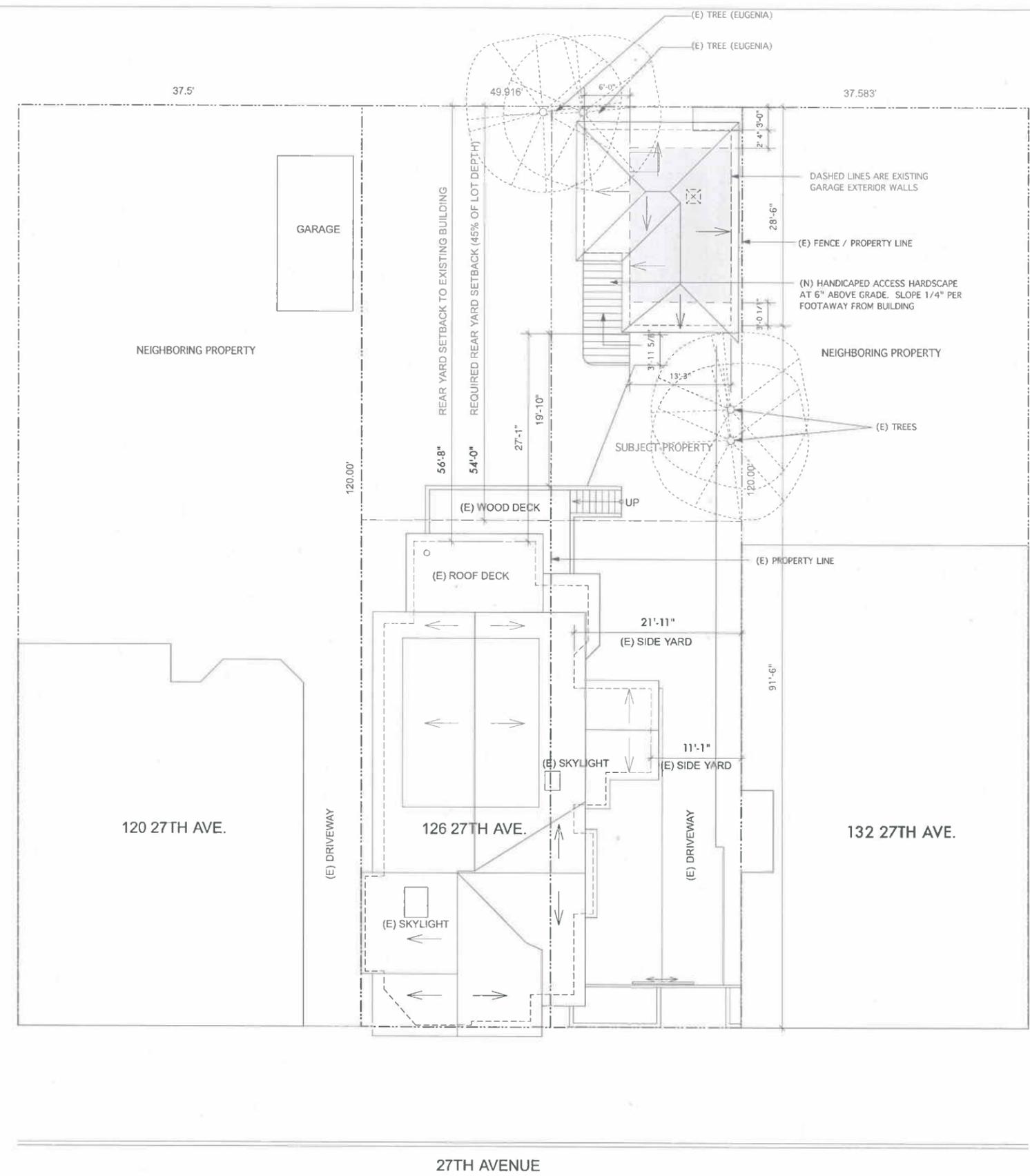


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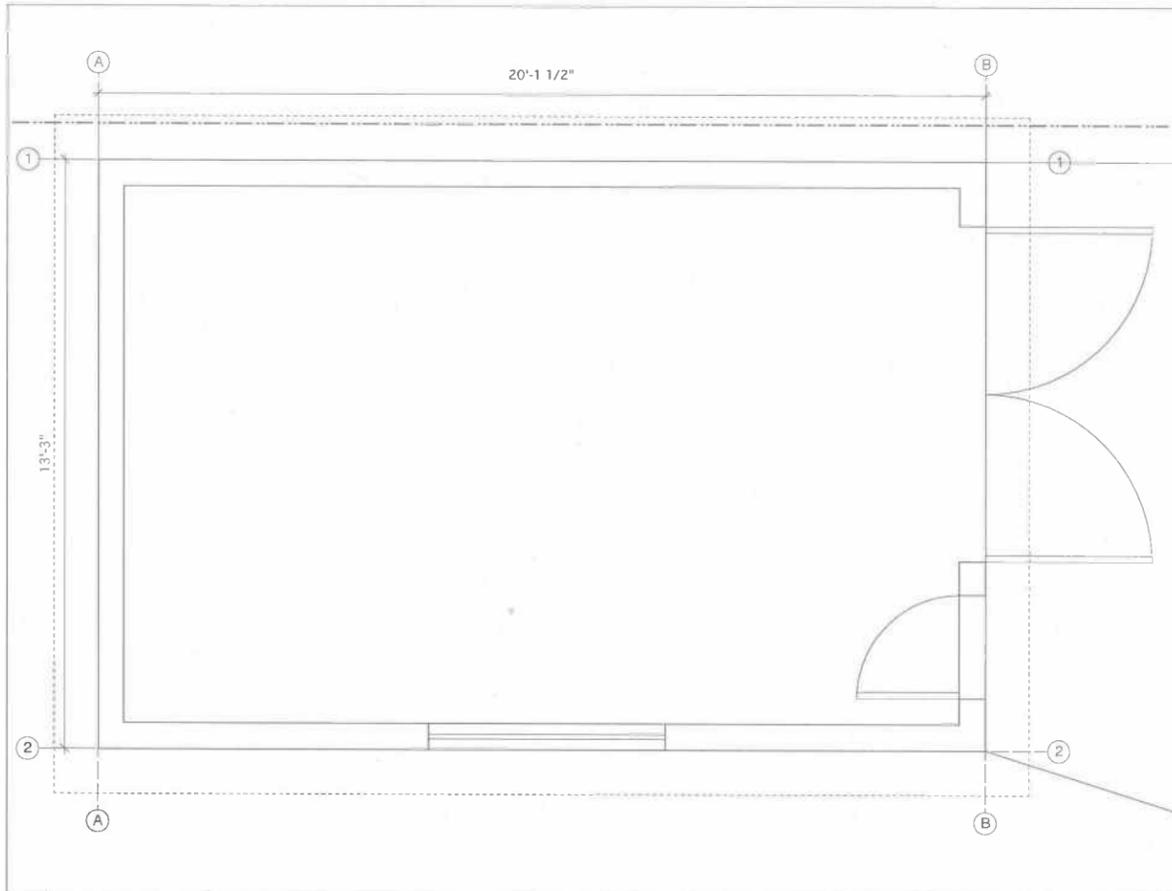


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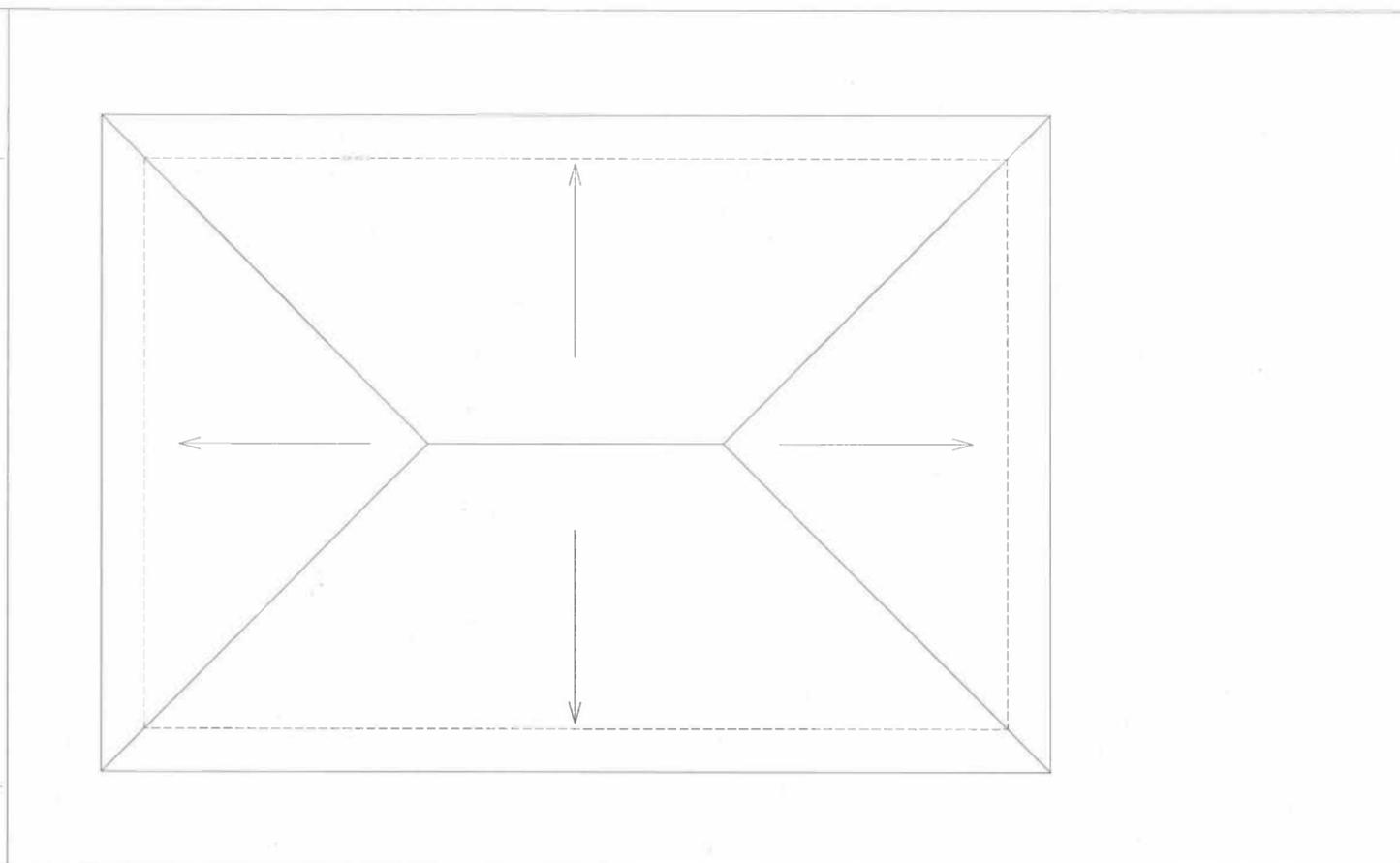


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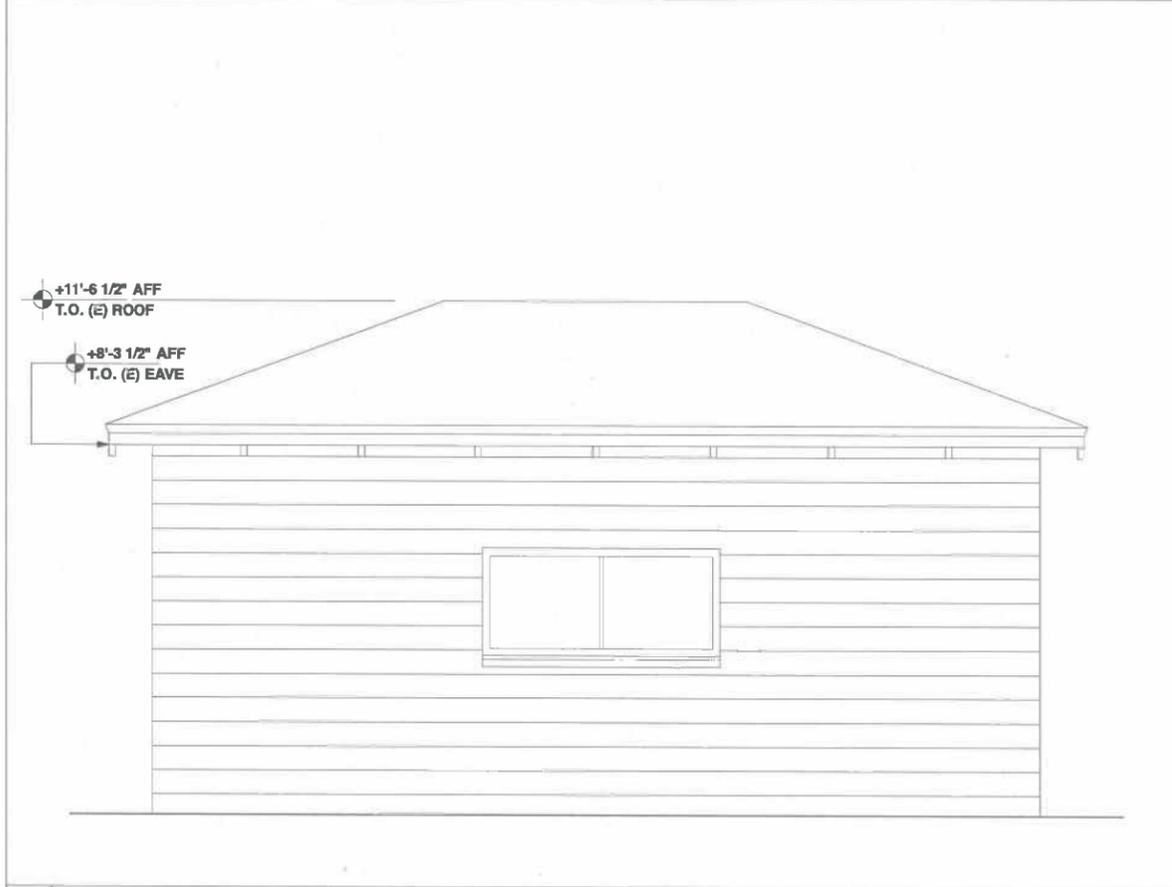
A1.1



1 EXISTING PLAN



2 EXISTING ROOF PLAN



3 EXISTING NORTH ELEVATION



4 EXISTING WEST ELEVATION

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| | |
|--|--------------------|
| | ELEVATION |
| | SECTION CUT |
| | DATUM CONTROL LINE |
| | REVISION MARKER |
| | WINDOW |
| | DOOR |
| | FINISH |
| | APPLIANCE |
| | PLUMBING FIXTURE |
| | (N) CONSTRUCTION |
| | (E) CONSTRUCTION |
| | DEMOLITION |

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| 03.27.10 | SFPD | HRE REVIEW |
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EXISTING GARAGE
1/4"=1'-0"
11.30.10

A2.0

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| 0 A0.0.0 | ELEVATION |
| A0.0 | SECTION CUT |
| +0'-0" AFF | DATUM CONTROL LINE |
| 1 | REVISION MARKER |
| 00 | WINDOW |
| 00 | DOOR |
| 00 | FINISH |
| 00 | APPLIANCE |
| 00 | PLUMBING FIXTURE |
| █ | (N) CONSTRUCTION |
| □ | (E) CONSTRUCTION |
| --- | DEMOLITION |

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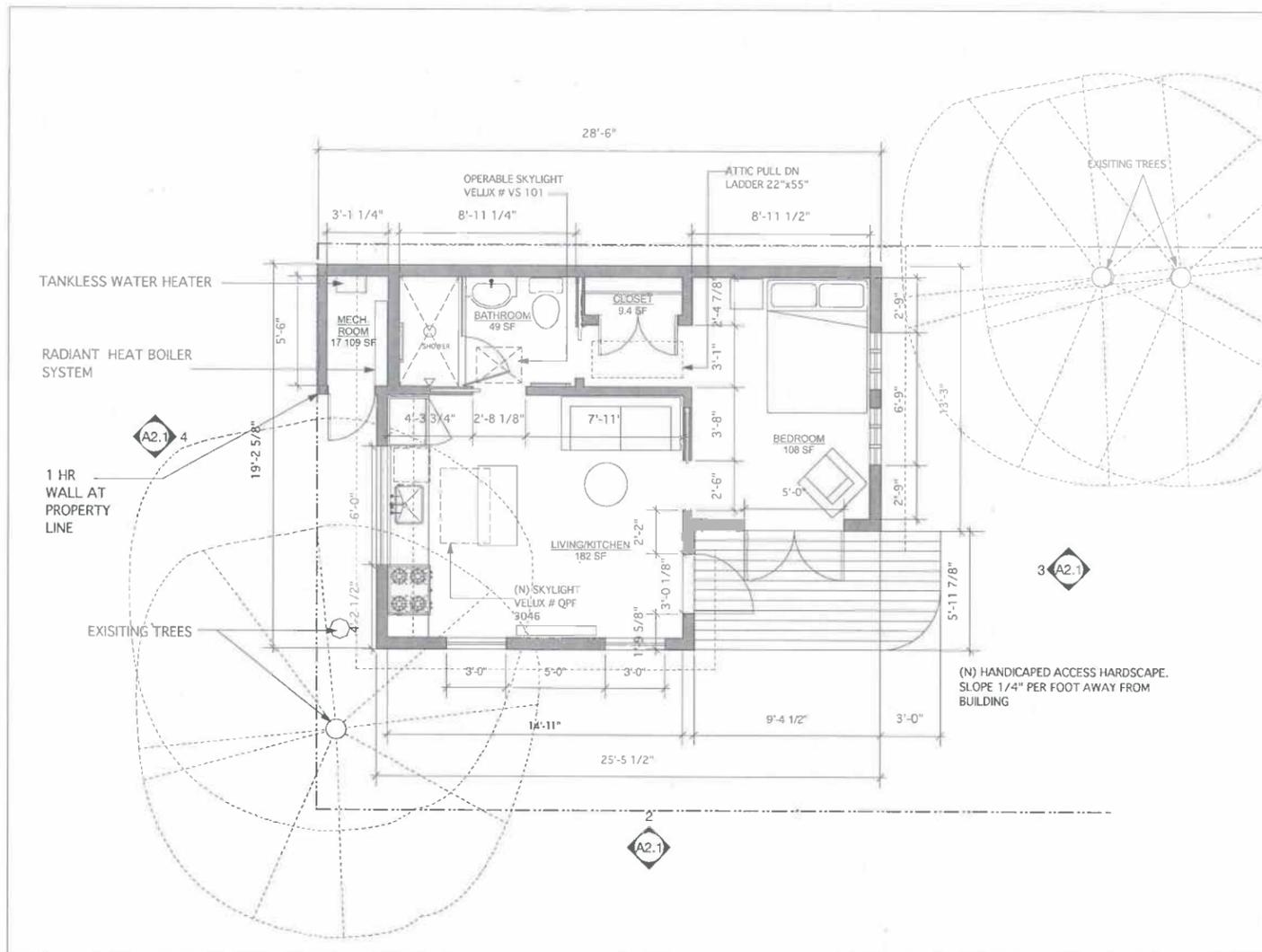


PROPOSED GARAGE

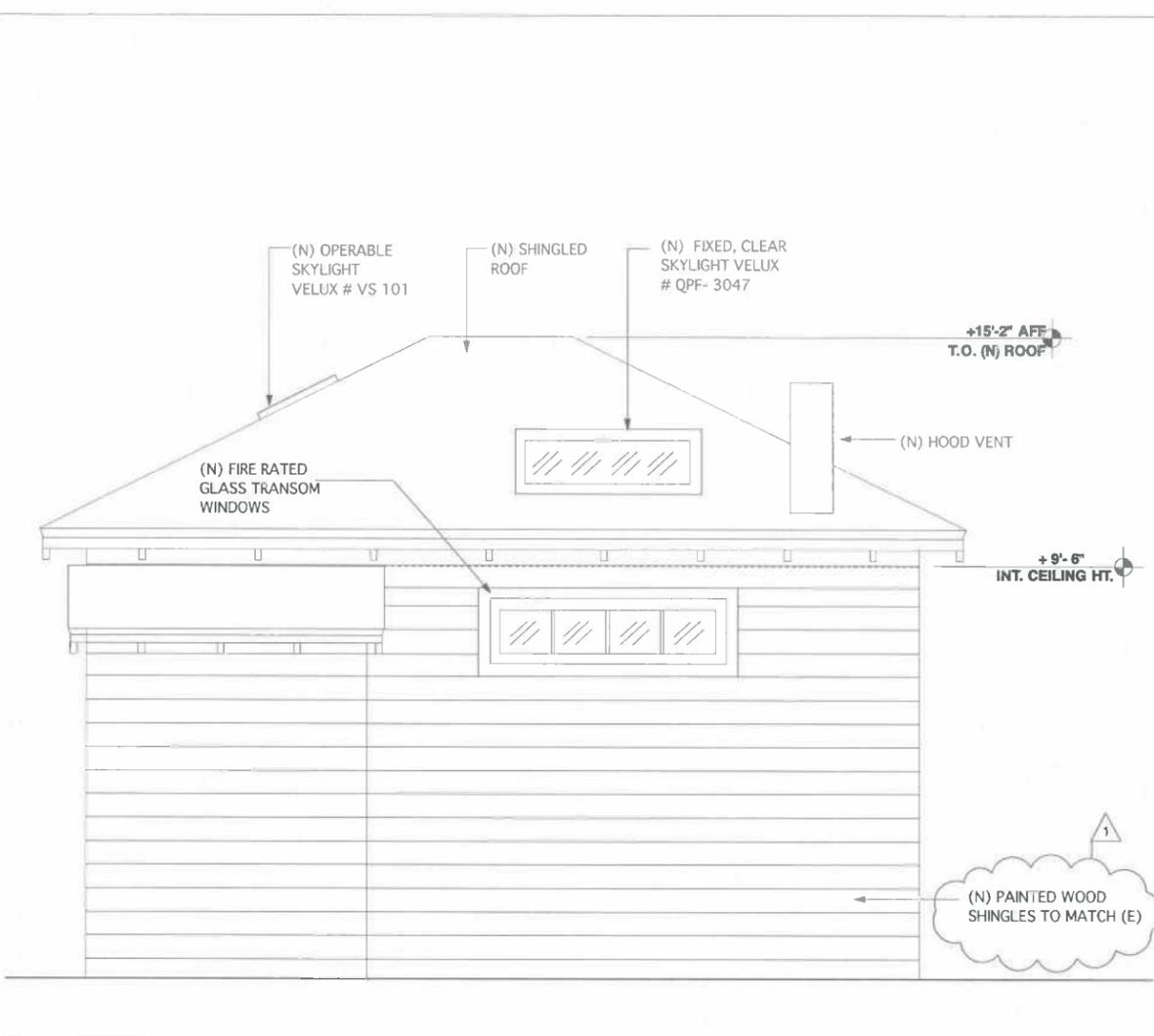
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1 PROPOSED PLAN 1/8" = 1' - 0"



4 PROPOSED EAST ELEVATION 1/4" = 1' - 0"



2 PROPOSED NORTH ELEVATION 1/4" = 1' - 0"



3 PROPOSED WEST ELEVATION 1/4" = 1' - 0"