



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: JANUARY 16, 2013

Filing Date: October 2, 2012
Case No.: 2012.1265A
Project Address: 812-814 Steiner Street
Landmark District: Alamo Square
Zoning: RH-3 (Residential, House, Three-Family)
40-X Height and Bulk District
Block/Lot: 0798/011
Applicant: Mark Topetcher, Architecture
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San Francisco, CA 94117
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PROPERTY DESCRIPTION

812-814 STEINER STREET, east side between Fulton and Grove Streets. Assessor's Block 0798, Lot 011. The subject lot is 27.5 feet wide and 137.5 feet deep with a historic two-story-over-basement, three-family house located on the western half of the lot. The building is a contributing resource within the Alamo Square Landmark District. The historic Queen Anne-style residence is a contributing resource within the district. It was built by Matthew Kavanagh in 1896. The property is zoned RH-3 (Residential, House, Three-Family) District and is in a 40-X Height and Bulk District.

The Alamo Square Landmark District contains buildings in a variety of architectural styles, approximately half of which are Victorian and one-third of which are Edwardian. The typical building height is two to three stories; however, the district contains a number of apartment buildings reaching up to 6 stories in height that are also included as contributing buildings. The Alamo Square Landmark District designation report describes the area as "unified in its residential character, relatively small scale, construction type, materials (principally wood), intense ornamentation (especially at entry and cornice), and use of basements and retaining walls to adjust for hillside sites." Historically, the Alamo Square neighborhood was first established as an enclave for primarily upper-middle class residents, often business men and their families. As a result, the area contains a higher than average percentage of architect-designed homes. Later, from about 1912 to 1934, new construction in the neighborhood consisted primarily of apartment blocks, usually replacing earlier large dwellings. During the latter half of the period of significance, the district increased in density and attracted a growing number of renters. Physical development of the area essentially ended with the Great Depression.

PROJECT DESCRIPTION

The proposal is to construct a basement-level garage in the sloped front yard area of the subject property and to construct a one-story-over-basement horizontal addition at the rear of the property. The proposed garage will be approximately 934 square feet and the proposed rear addition will be approximately 2,404 square feet. The proposed garage will require modification and replacement of the existing retaining wall, planters, and entry stairs. A terrace will be created at the roof of the garage. The rear addition will be approximately 17.5 feet deep by 15 feet wide at the basement and first floor levels and will not be visible from the street. A roof deck will be created at the roof of the addition at the second floor level. See attached plans for details.

OTHER ACTIONS REQUIRED

None.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project would retain the three-family residential use on the lot while creating a garage to

support the contemporary use of the building and slightly expanding the basement and first floor levels at the rear of the building. The garage will retain the overall character of the terraced front yard and the proportions, details, and materials of the entry stairs. The horizontal addition will be attached at the rear of the building at a secondary façade that is not visible from the public right-of-way. For these reasons, the project will cause minimal or no change to the distinctive materials, features, spaces, and spatial relationships of the property.

- Standard 2.** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

All aspects of the historic character of the existing building would be retained and preserved. No distinctive materials, architectural elements, or spaces that characterize the property would be removed. The project would remove the existing concrete retaining walls and terraces in the front yard which are not character-defining features of the resource. The landscape features show no exceptional craftsmanship or artistic quality. The existing bull-nosed marble treads in the entry stair will either be retained and reused or replaced in-kind to preserve this element of the stair. The portion of the building to be removed or replaced, including foundation walls and portions of the rear wall, are not character-defining features of the resource. The project would not harm the design integrity of the historic building.

- Standard 3.** Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed garage structure will be clearly contemporary in its design and would not create a false sense of historical development in the Alamo Square Landmark District. The structure will not imitate the formed concrete walls common in the historic district and it will use a modern painted metal railing rather than the wrought iron found at some of the historic properties. Also, the proposed garage would use a modern door and would clearly read as a contemporary change to the building.

- Standard 5.** Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No distinctive materials, features, finishes, construction techniques or examples of craftsmanship would be affected by the proposed project. The marble treads at the entry steps appear to be the only distinctive material affected by the project, and these will either be salvaged and reused or replaced in-kind.

- Standard 9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed garage and rear addition will not destroy historic materials, features, or spatial relationships that characterized the property. The garage design will retain the terraced form of the front yard and will retain the marble treads of the entry steps. The rear addition will only affect materials at the utilitarian and secondary rear façade, which is not viewed from the public right-of-way. Also, the proposed garage addition will be designed in a contemporary style that clearly reads as a modern intervention. Overall the garage is compatible with the historic building and the district in terms of its terraced massing, low-scale, minimal size, subordinate proportions in relation to the historic house, and its simply detailed stucco and iron railing materials. The proposed garage is in keeping with other garage installations on the block and within the district. For these reasons, the work will retain the integrity of both the historic house and the district.

Standard 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Both of the proposed additions could be removed in the future without harming the integrity of the historic building since there will be limited physical attachment to the building.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

STAFF ANALYSIS

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is compatible with the character-defining features of the subject building and with the Alamo Square Landmark District for the following reasons:

- The project will retain the residential use of the historic building while creating a garage to support the contemporary use of the building and slightly expanding the basement and first floor levels at the rear of the building.
- No distinctive materials, architectural elements, or spaces that characterize the property would be removed. The project would remove the existing concrete retaining walls and terraces in the front yard which are not character-defining features of the resource. The landscape features show no exceptional craftsmanship or artistic quality. The marble treads at the entry steps appear to be the only distinctive material affected by the project, and these will either be salvaged and reused or replaced in-kind. The portion of the building to be removed or replaced, including foundation walls and portions of the rear wall, are not character-defining features of the resource. The project would not harm the design integrity of the historic building.
- The proposed garage structure will be clearly contemporary in its design and would not create a false sense of historical development in the Alamo Square Landmark District. The structure will not imitate the formed concrete walls common in the historic district and it will use a modern painted metal railing rather than the wrought iron found at some of the historic properties. Also, the proposed garage would use a modern door and would clearly read as a contemporary change

to the building.

- The proposed garage and rear addition will not destroy historic materials, features, or spatial relationships that characterized the property. The garage will retain the overall character of the terraced front yard and the proportions, details, and materials of the entry stairs. The horizontal addition will be attached at the rear of the building at a secondary façade that is not visible from the public right-of-way. Overall the garage is compatible with the historic building and the district in terms of its terraced massing, low-scale, minimal size, subordinate proportions in relation to the historic house, and its simply detailed stucco and iron railing materials.
- The proposed garage is in keeping with other garage installations on the block and within the district.
- Both of the proposed additions could be removed in the future without harming the integrity of the historic building since there will be limited physical attachment to the building.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Structure) because the project includes a minor alteration of an existing structure that meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

ATTACHMENTS

Draft Motion
Parcel Map
1998 Sanborn Map
Aerial Photograph
Project Sponsor Packet including Photographs, Plans, and Renderings

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SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No.

HEARING DATE: JANUARY 16, 2013

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 011 IN ASSESSOR'S BLOCK 0798, WITHIN AN RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on October 2, 2012, Mark Topetcher, (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to construct a basement-level garage in the sloped front yard area of the subject property and to construct a one-story-over-basement horizontal addition at the rear of the property. The proposed garage will be approximately 934 square feet and the proposed rear addition will be approximately 2,404 square feet. The proposed garage will require modification and replacement of the existing retaining wall, planters, and entry stairs. A terrace will be created at the roof of the garage. The rear addition will be approximately 17.5 feet deep by 15 feet wide at the basement and first floor levels and will not be visible from the street. A roof deck will be created at the roof of the addition at the second floor level.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on January 16, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2012.1265A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2012.1265A based on the following and findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report.

- The proposed project meets the requirements of Article 10, Appendix E of the Planning Code.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the rehabilitation of a residential property and will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing unit will be retained.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 011 in Assessor's Block 0798 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 2012.1265A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission **ADOPTED** the foregoing Motion on January 16, 2013.

Jonas P. Ionin
Acting Commission Secretary

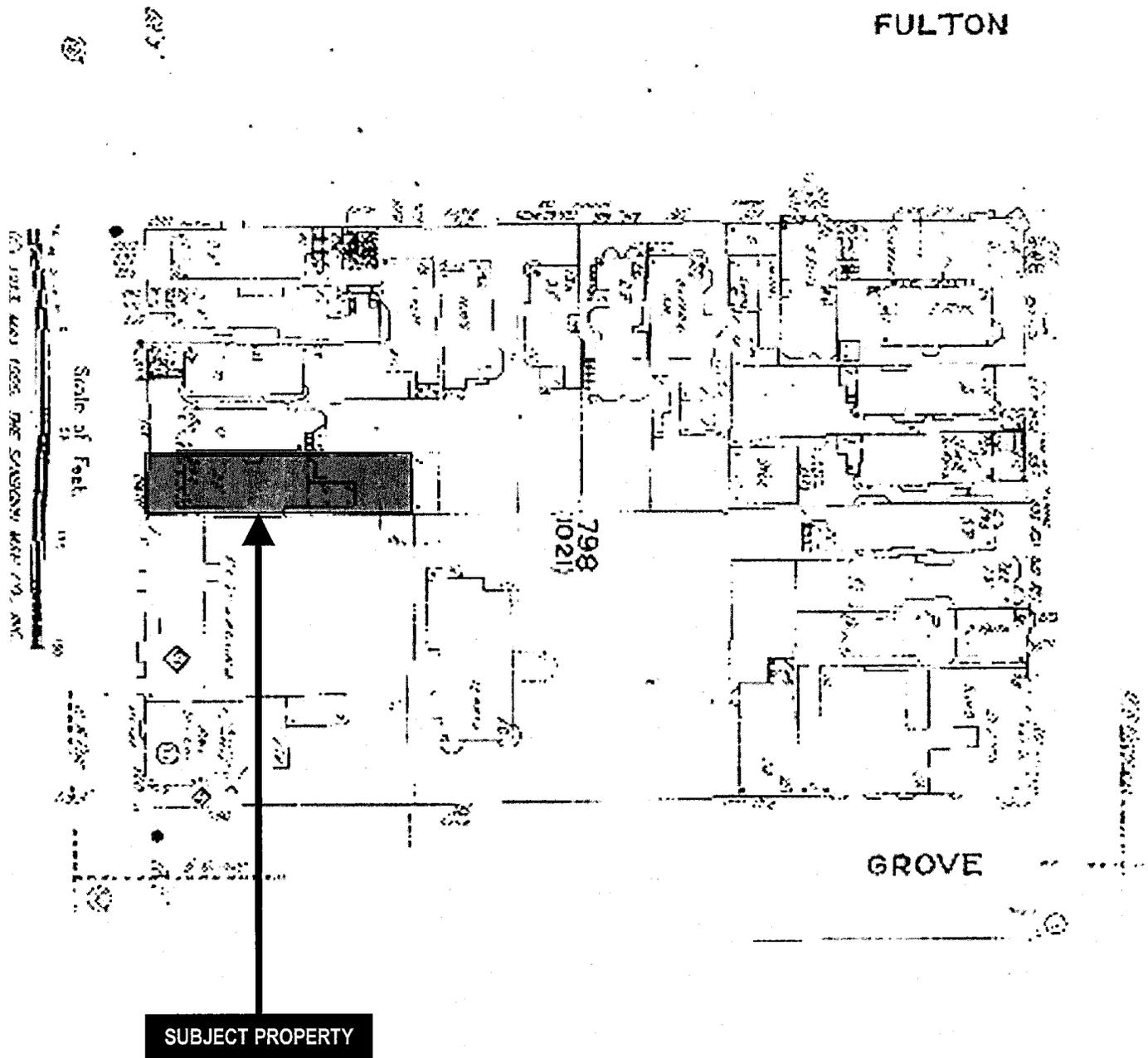
AYES:

NAYS:

ABSENT:

ADOPTED:

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Aerial Photo



SUBJECT PROPERTY



Certificate of Appropriateness
Case Number 2012.1265A
812-814 Steiner Street
Alamo Square Landmark District

Project Description:

This project is located within the Alamo Square Historic District. The existing residential building contains three units, inclusive of the Owners' flat at the first floor.

The scope of work under this permit is for the construction of a new basement garage for three cars with a front horizontal basement addition, reconfiguration of the exterior entry stair and front garden terrace. The existing rear yard access will be maintained through the new garage area and exit to the sidewalk adjacent to the new garage door. All existing architectural detail will be maintained at the front, including lower bay brackets, front porch entry area, and porch stairs. The entry stairs from the sidewalk to the front terrace level will be rebuilt with similar materials, inclusive of marble treads.

Expansion of the Owners' unit living area for 812 Steiner into the basement, and a rear horizontal addition at the first floor is also proposed. The basement expansion will contain an internal stair connection, family room, one bedroom & two baths. The one story rear horizontal addition will expand the existing kitchen area of 812 Steiner.

Project Context:

The existing house fronts onto the east side of Alamo Square Park and sits one block north of the famous Painted Ladies. It also sits adjacent to a proposed development that currently calls for the construction of three new single family residences that will infill the vacant lots between 812 Steiner and 940 Grove Street. The subject property is the only structure on Steiner Street facing the park that currently does not have a garage. The proposed garage addition will emulate the current pattern of front garages that extend to the sidewalk below the original upper residential structures. The top of the garage will be similarly treated as a front entry terrace and garden, with the existing entry stairs recreated to lead to the front portico. The massing of the garage volume will meet the sidewalk with two raised planters that will flank the painted wood panel garage door. The northernmost planter will contain a service door on its south face that will meet egress requirements, and be similar in height to the existing retaining wall in its place. The required guardrails along the entry terrace's frontage will be simple painted half-inch metal pickets that alternate four inches in height below a top horizontal rail.

The Owners and project team respectfully submit the project to the Historic Preservation Commission for consideration of a Certificate for Appropriateness.

RENOVATIONS TO 812 STEINER STREET



View from Alamo Square Park

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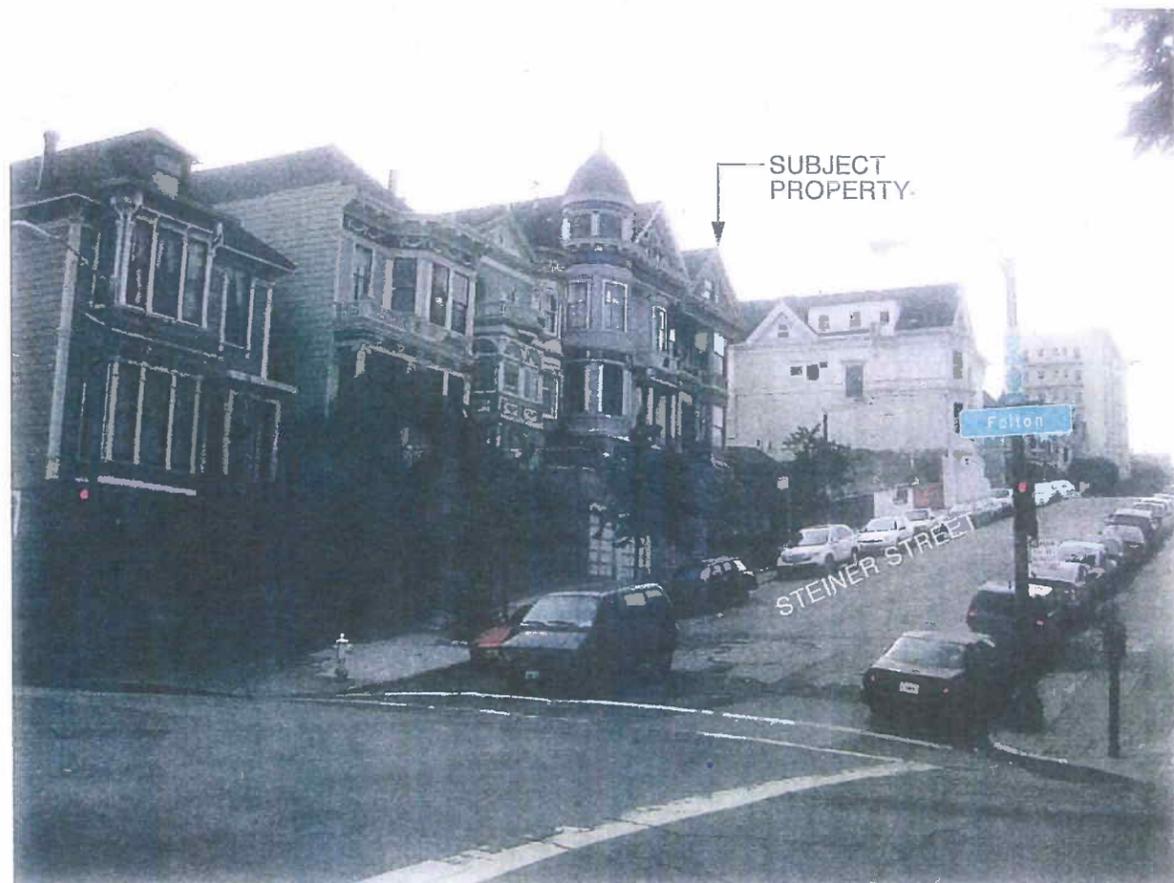
SITE CONTEXT:



LOOKING SOUTH (STEINER STREET)



LOOKING SOUTH (FULTON STREET)



LOOKING SOUTH EAST (STEINER STREET)



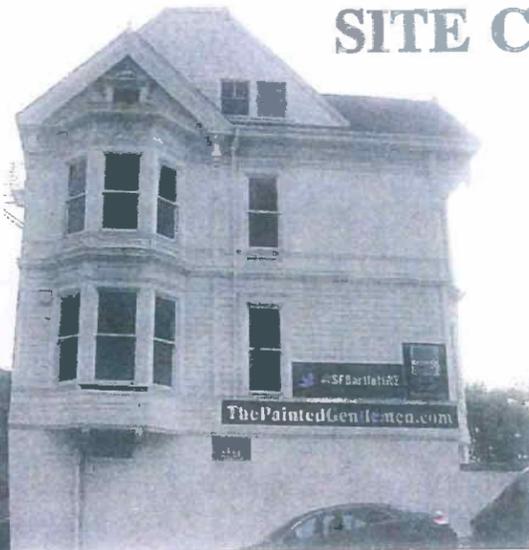
LOOKING SOUTH (STEINER STREET)

SITE CONTEXT:

FULTON ST.

SUBJECT PROPERTY

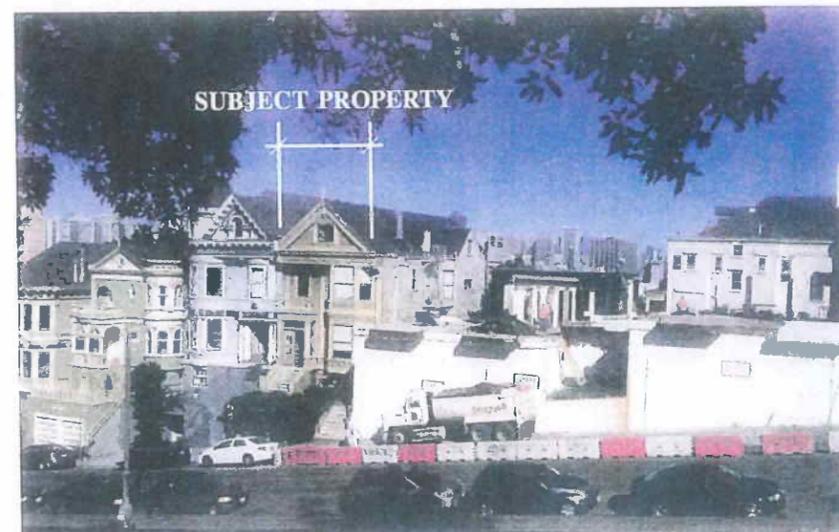
GROVE STREET



LOOKING EAST



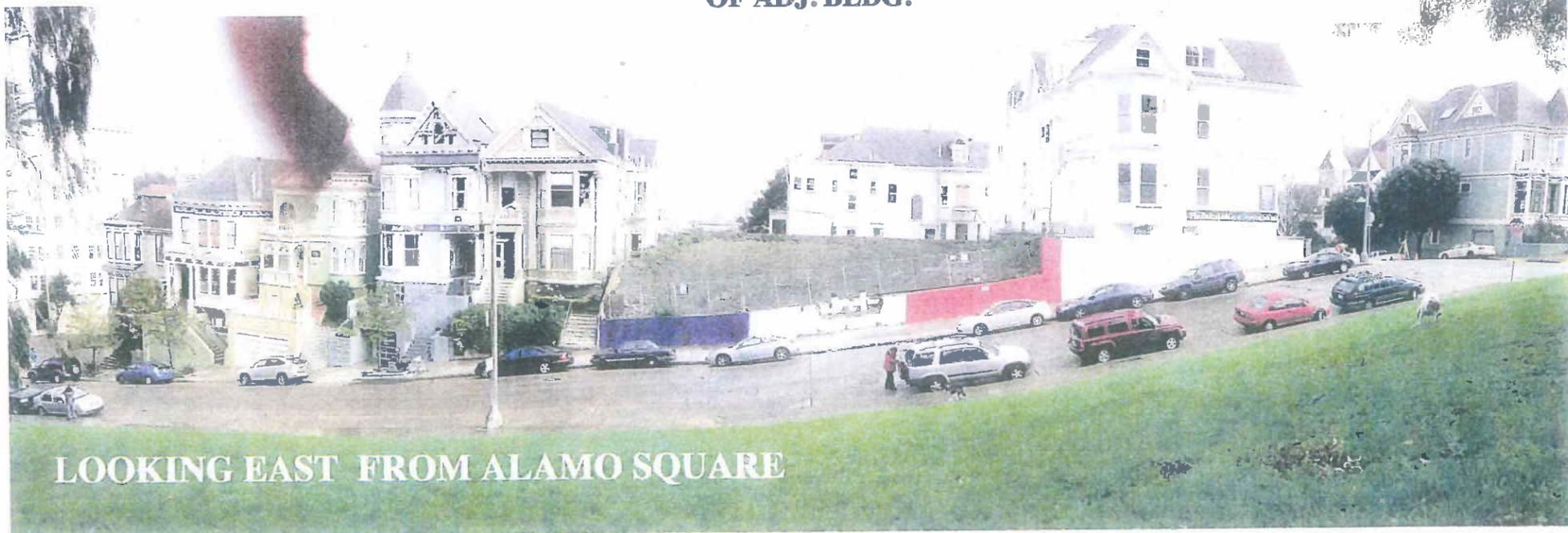
LOOKING WEST (ALAMO SQ. PARK)



LOOKING EAST FROM PARK / DURING DEMOLITION OF ADJ. BLDG.



LOOKING EAST

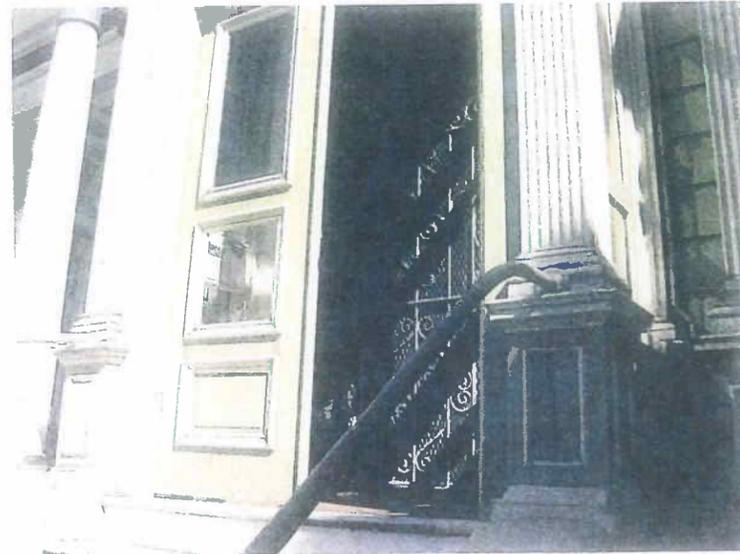


LOOKING EAST FROM ALAMO SQUARE

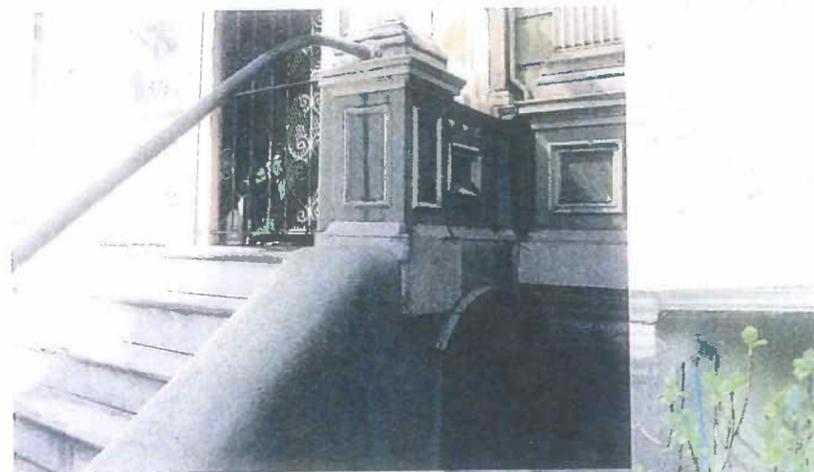
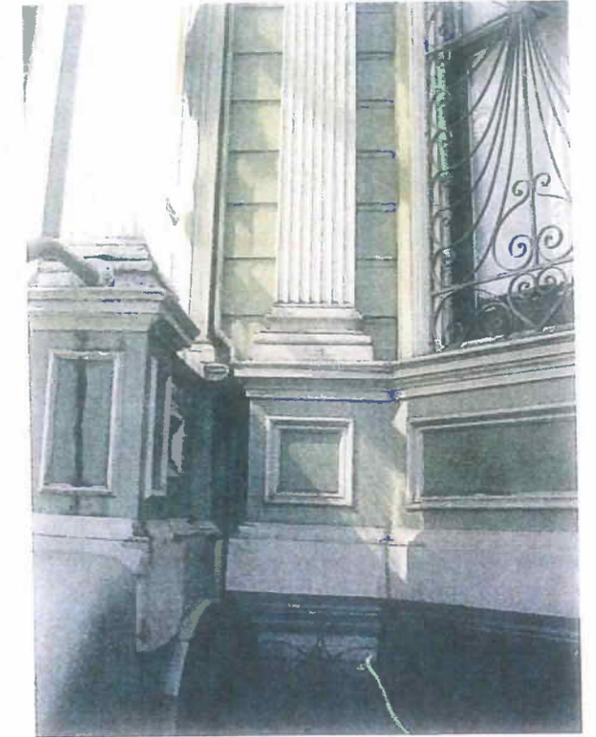
EXISTING FRONT DETAIL:



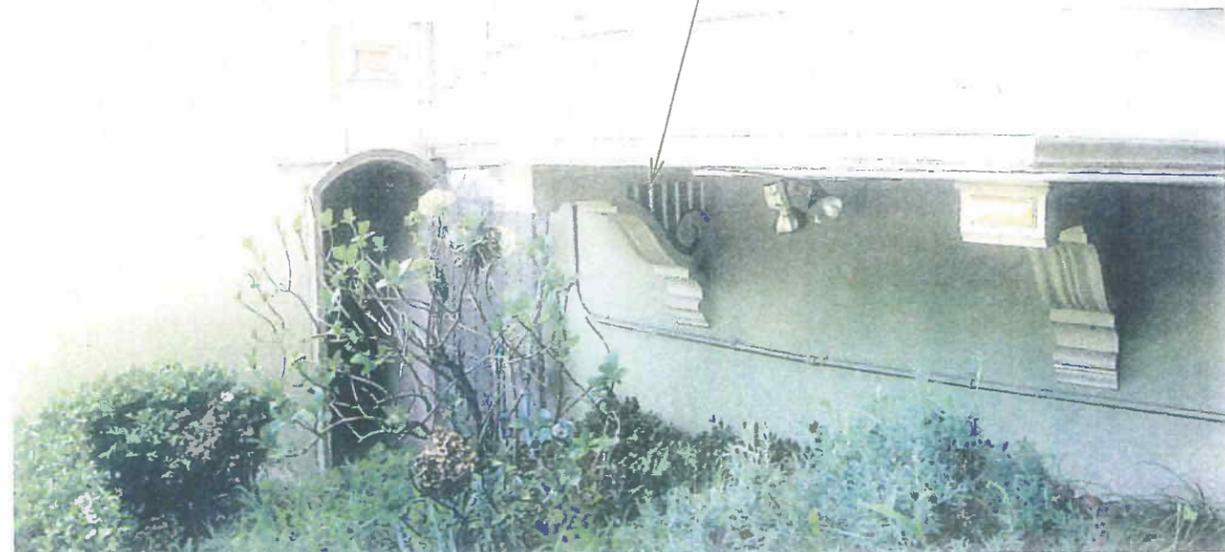
EXISTING MARBLE ENTRY STAIRWAY



FRONT ENTRY



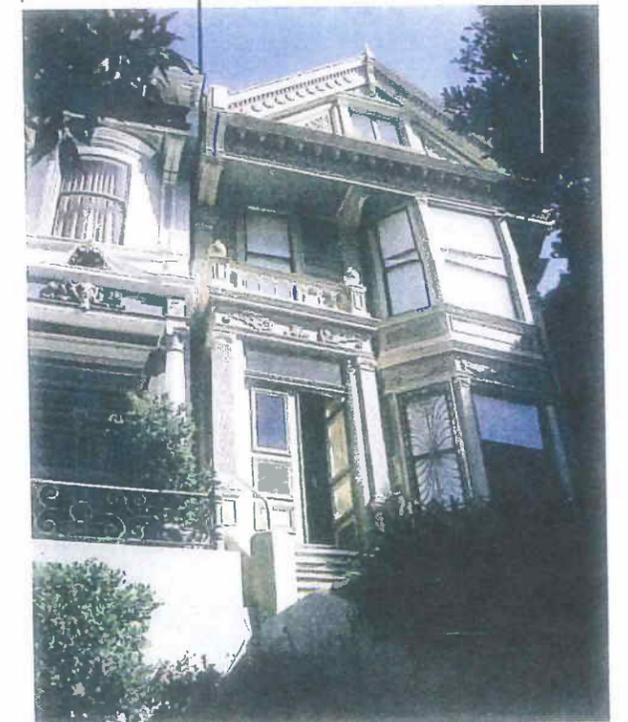
EXISTING BAY DETAILING TO REMAIN / NO CHANGE



EXISTING FRONT BAY DETAIL



ADJ. PROP. SUBJECT PROP.



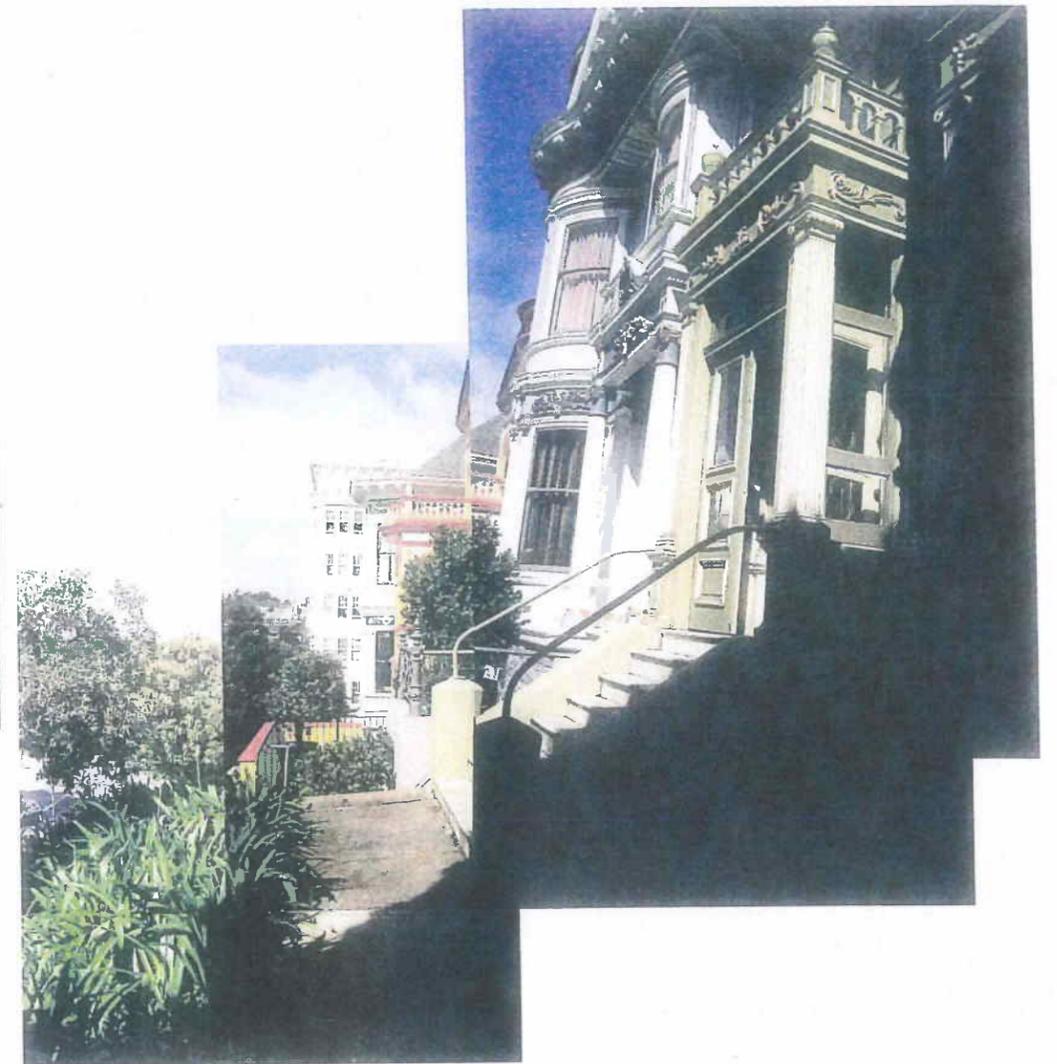
LOOKING EAST FRONT ENTRY WAY



FRONT ENTRY WAY / LOOKING SOUTH



FRONT ENTRY WAY / LOOKING NORTH



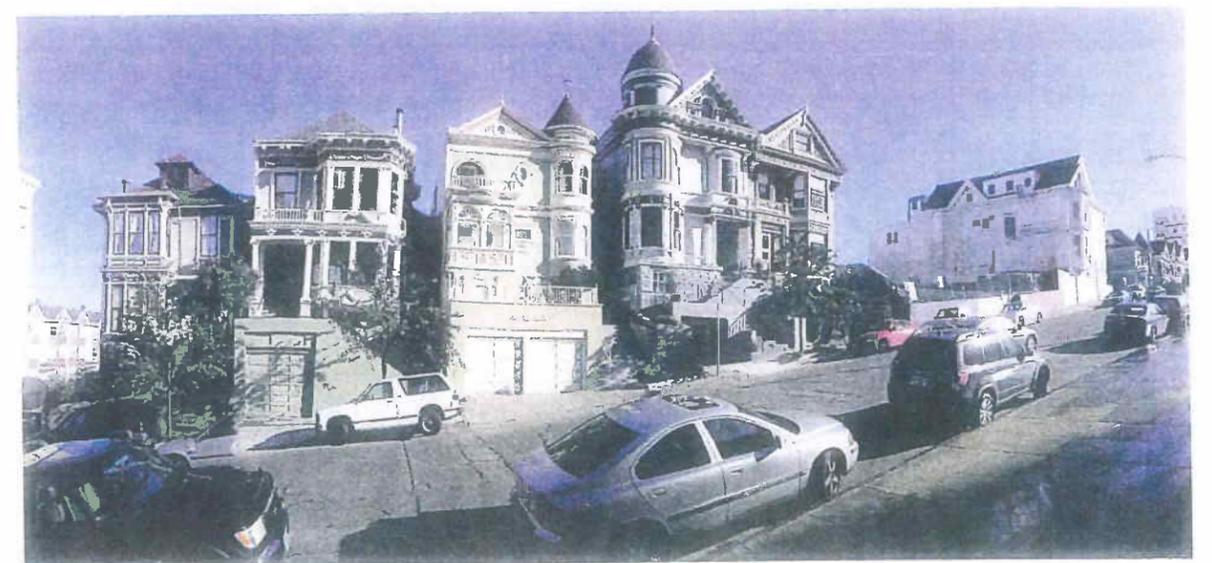
FRONT ENTRY WAY / LOOKING NORTH



FRONT ENTRY WAY / LOOKING SOUTH



STEINER STREET/UPHILL



LOOKING EAST FROM STEINER STREET



SUBJECT PROPERTY

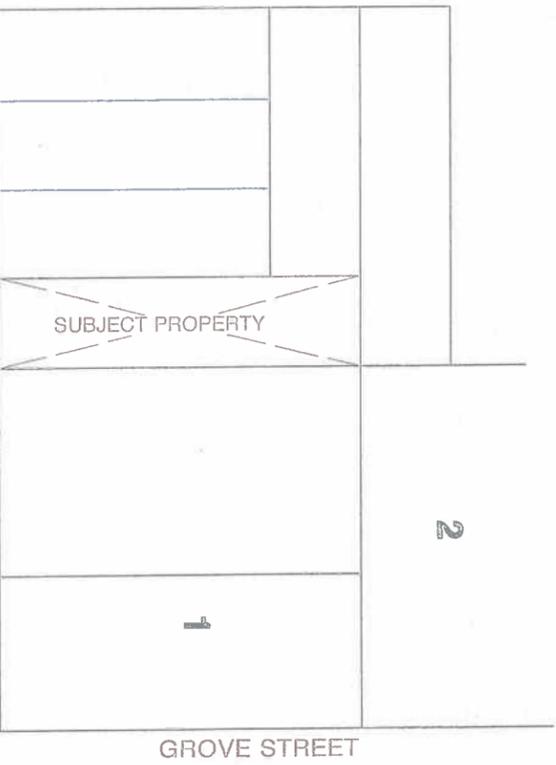
ADJ. PROPERTY



REAR YARD:

LOOKING WEST

REAR YARD LOOKING EAST



STEINER STREET

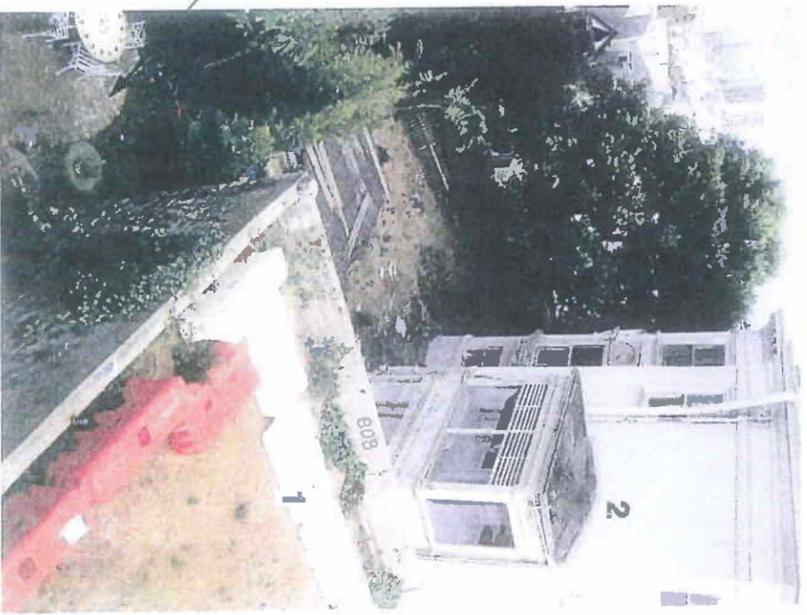
SUBJECT PROPERTY

2

1

GROVE STREET

REAR YARD OF SUBJECT PROPERTY

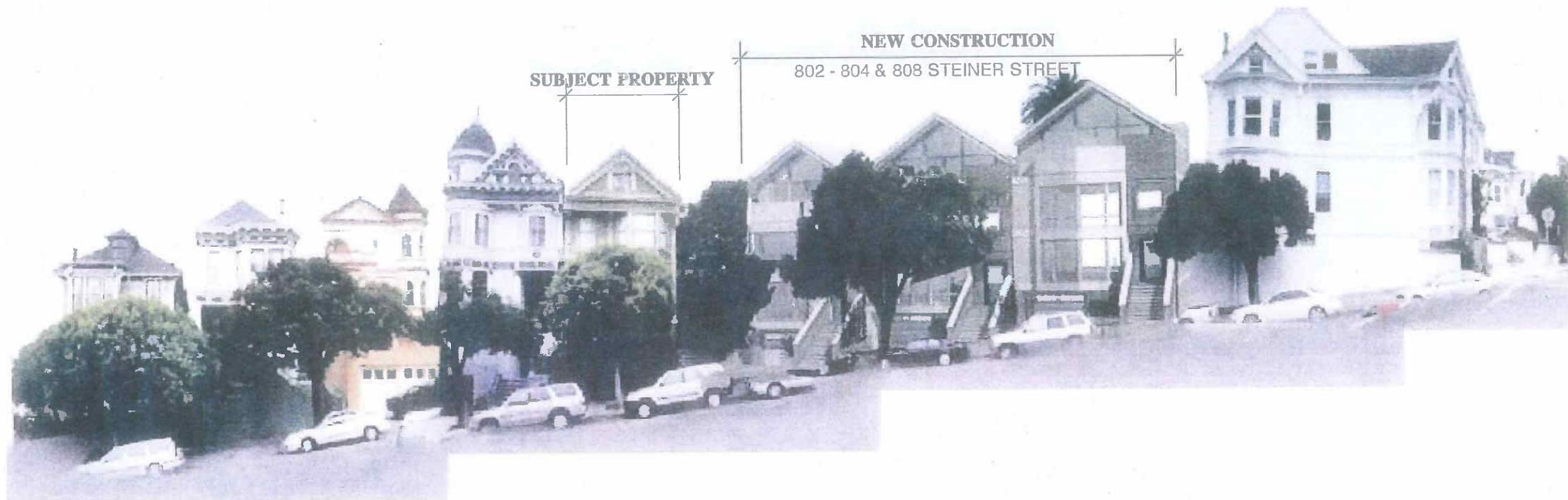


ADJ. BLDG. LOOKING SOUTH

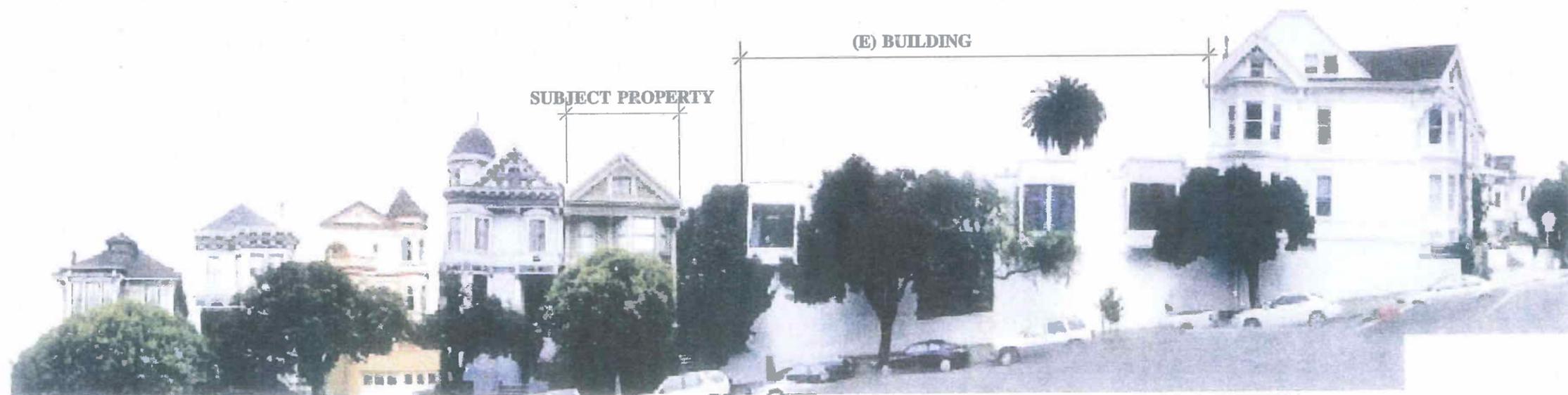


LOOKING WEST (SUBJECT PROPERTY)

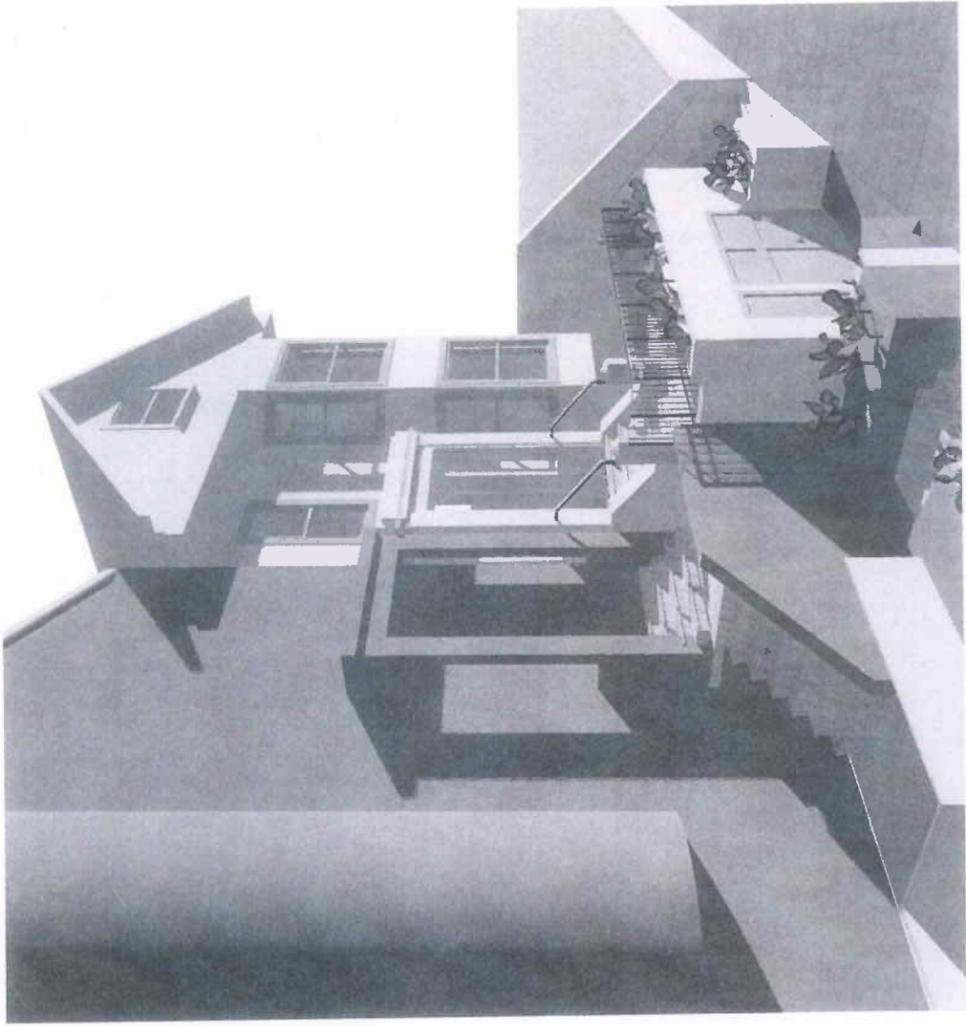
ADJACENT DEVELOPMENT / REFERENCE:



LOOKING EAST PICTURES AND DRAWINGS BY: LOUIS H. FELTHOUSE ARCHITECT INC.



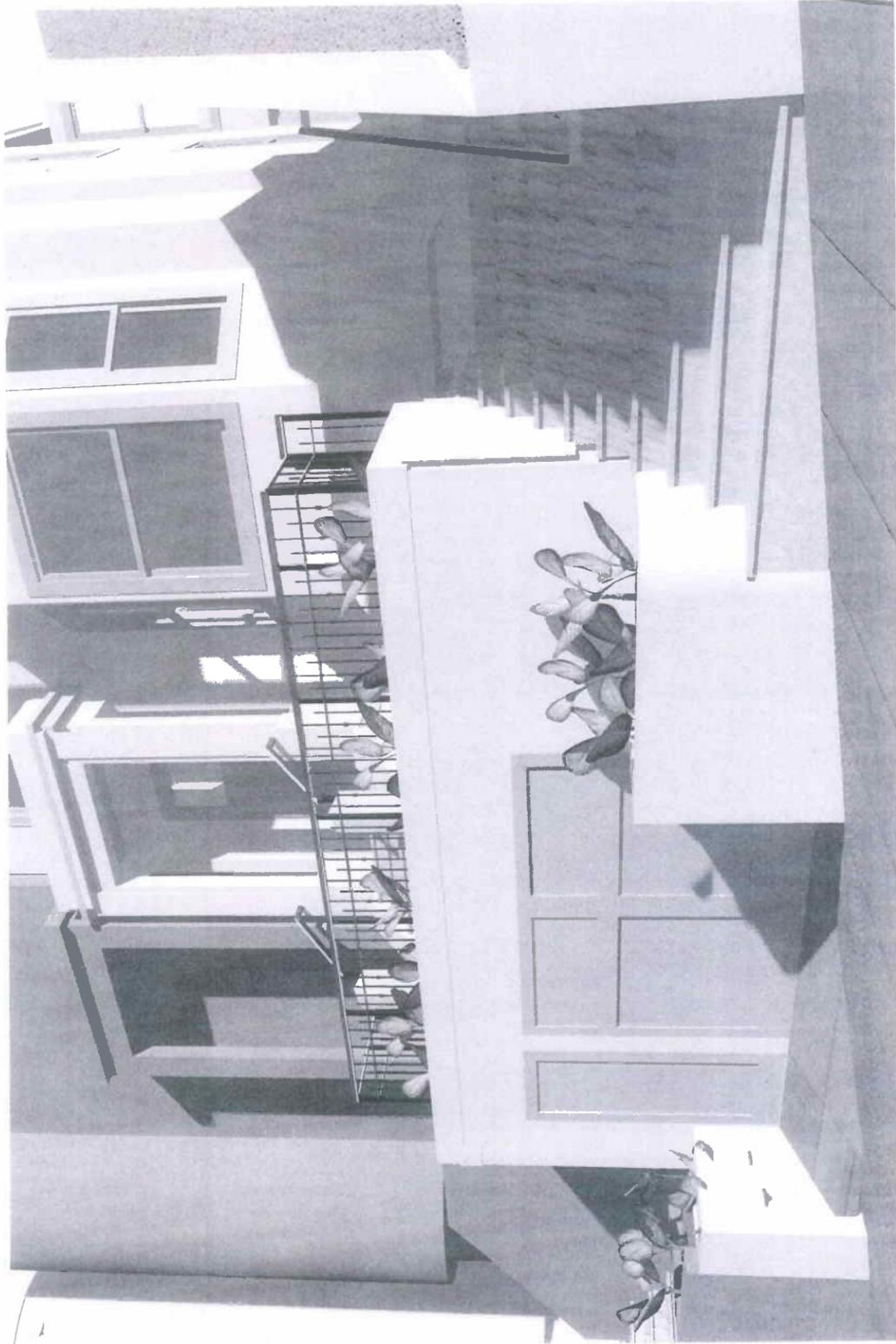
LOOKING EAST



FRONT UPPER PERSPECTIVE



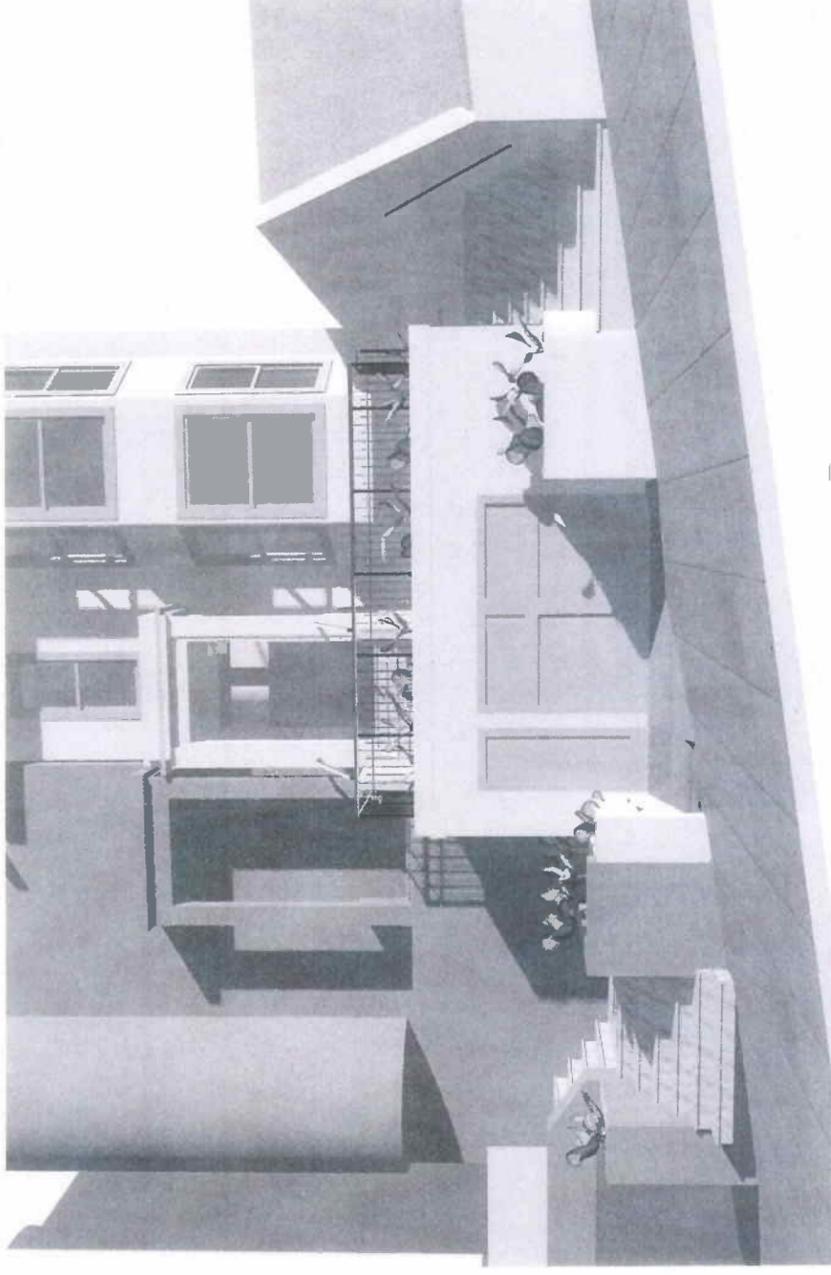
FRONT TERRACE PERSPECTIVE



FRONT STAIR PERSPECTIVE FROM SIDEWALK



FRONT UPHILL PERSPECTIVE FROM STREET



FRONT PERSPECTIVE FROM STREET

GENERAL NOTES:

- 1. CODE COMPLIANCE:** All work is to be performed in accordance with all governing Codes, Ordinances and Regulations. The designs herein are based on the 2010 C.B.C., 2010 S.F.B.C., 2010 S.F.M.C., 2010 S.F.E.C., 2010 S.F.P.C., 2010 S.F.P.C., 2010 C. Energy C.
- 2. JOB COORDINATION & SAFETY:** Contractor shall be responsible for the development, coordination and execution of construction methods and procedures. The Contractor shall also be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with his work.
- 3. JOB CLEANLINESS:** Contractor shall on a daily basis leave the construction site "broom clean" at the end of the work day. At substantial completion, the Contractor shall turn to the Owner a spotlessly clean house, including clean mirrors, glass, light bulbs, walls, floors, cabinetry inside and out, bathroom fixtures, tiles and appliances.
- 4. CONSTRUCTION QUALITY:** No guarantee of quality of construction is implied or intended by the architectural documents, and the Contractor shall assume full responsibility for any or all construction deficiencies.
- 5. CONTRACT DOCUMENT REVIEW:** Contractor shall review all Contract Documents. If fifteen days elapse from the time the Contractor receives the plans and signs to perform the work, and the Owners have not been notified of any errors, omissions or objections, the Owners will consider the documents approved by the Contractor for the performance of his/her work.
- 6. DISCREPANCIES:** In case of any discrepancy notify the Owners before proceeding. Contractor shall be responsible for correction of work at his/her own expense for work installed in conflict with the Contract Documents.
- 7. DIMENSIONS:** All dimensions shown on plans are to face of stud, unless otherwise noted. All dimensions shown on interior elevations are finish dimensions. No dimensions shall be taken by measuring from the drawings. Details take precedence over general sections or plans. Written dimensions take precedence over scale. All dimensions shall be verified in the field for coordination with existing and new conditions.
- 8. SUBSTITUTIONS:** The Contractor will be held to furnish under his Proposal all work described herein. All materials and articles of any kind necessary for this work are subject to the approval of the Owners.
- 9. MANUFACTURED ITEMS:** Transport, handle, store, protect and install manufactured items in strict accordance with manufacturer's recommendations. Should conflict exist between construction documents and manufacturer's instructions, consult with Designer.
- 10. ASBESTOS:** Asbestos removal is not intended to be covered by this contract. If Asbestos is suspected, a testing agency must be hired to verify, and special procedures must be used for removal and disposal. Friable asbestos is the dangerous type and was used extensively for pipe insulation, fireproofing and certain building materials up to 1970.
- 11. CUTTING AND PATCHING:** Cut and fit components as required; patch disturbed areas to match adjacent materials and finishes.
- 12. ATTIC VENTILATION:** Ventilating area shall not be less than 1/150th of the net area of the space ventilated. If at least 50% of required ventilation is provided in the upper portion of the space, then ventilating area may be 1/300th of the attic space per section 3205(c).
- 13. BLOCKING:** Provide solid blocking as necessary for all wall mounted shelves, fixtures and fittings. See interior elevations, where applicable.
- 14. WATER TIGHTNESS:** Contractor shall verify that all work on the exterior of the project is watertight. All joints and surfaces exposed to the elements shall be tested for water tightness prior to substantial completion.
- 15. WATERPROOF MEMBRANE:** Install a waterproof membrane under the Master Shower floor @ the Master Bath. Wrap the membrane up a minimum of 8" on all surrounding surfaces.
- 16. GLAZING:** Tempered glazing is required as per UBC 2406. Glazing to be tempered includes but is not limited to: glazing that is less than 18" above finish floor; within 24" radius of doors; Glass door and panels of shower and bathtub enclosures and adjacent glazed openings within 60" above a standing surface and drain inlet shall be fully tempered, laminated safety glass as per UBC 2406.3 & 4; skylights; etc...
- 17. DRY WALL:** All drywall to be 5/8" thick. Install metal corner beads at all outside corners. Fasten drywall to framing with drywall screws. All drywall is to be sanded three times to produce a smooth finish for all walls and ceilings. All drywall shall be finished so that it is smooth, with no bumps or craters. All joints to be taped and sanded so that there is no distinguishable transition. Contractor shall deliver all new or repaired walls perfectly even. The owners' and designer's criteria will be the sole measure for approval of the finished work.
- 18. HANDRAILS AND GUARDRAILS:** All handrails at stairs are 34" above tread nosing. All guardrails are 42" minimum to finish floor, U.O.N. See interior elevations or details, as applicable, for guardrail design.
- 19. SHOWER AND TUB W/ SHOWER:** Provide ceramic tile or stone finish at all shower and tub w/ shower areas to a minimum height of 70" above the drain inlet over a moisture resistant underlayment (typical). Verify with interior elevations, if applicable. All showers & shower/tub combinations to have pressure balance mixing valves as per UPC section 410.7
- 20. PLUMBING:** All work is design/build by the Plumbing contractor and is to meet required codes and Title 24 requirements. Low flow plumbing fixtures & fittings will be used in all bathrooms, etc... Toilets to have a max. allowable flush of 1.6 gal. When there are fixtures @ three levels, cast iron or other approved non-plastic materials for drain, waste, & vents is to be used.
- 21. TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS**

KITCHEN:

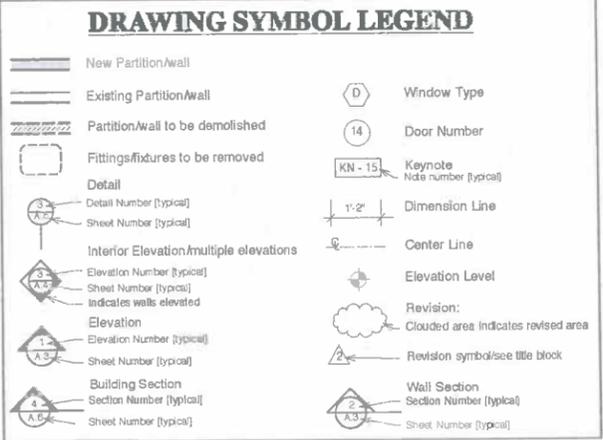
 - At least 50% of installed luminaire wattage must be of high efficacy (HE) lighting and must be switched separate from non-HE lighting.

BATHROOMS, LAUNDRY, GARAGE & UTILITY ROOMS:

 - All HE lighting, unless lighting is controlled by certified occupant sensor(s)
 - must be manual-on motion sensor
 - must not have "always-on" option

OTHER ROOMS (BEDROOMS, HALLS, DINING ROOM, etc... and CLOSETS bigger than 70 sq. ft.):

 - All HE lighting unless lighting is controlled by:
 - dimmer switch OR
 - certified occupant sensor(s)
 - must be manual-on motion sensor
 - must not have "always-on" option



SHEET INDEX:

A1.0	SITE PLAN, PROJECT INFO. & LEGENDS
A2.0	EXIST. & DEMO. BASEMENT PLAN PROPOSED BASEMENT PLAN
A2.1	EXIST. & DEMO FIRST FLOOR PLAN
A2.2	EXIST. SECOND FLOOR PLAN WITH NEW ROOF DECK EXIST. THIRD FLOOR PLAN
A3.0	PROPOSED BLDG. SECTION & ARCH. DETAILS
A3.1	PROPOSED BLDG. SECTION
A4.0	EXISTING & PROPOSED WEST ELEVATIONS EXISTING & PROPOSED EAST ELEVATIONS
A4.1	EXISTING & PROPOSED NORTH ELEVATIONS
A4.2	EXISTING & PROPOSED SOUTH ELEVATIONS

PROJECT DESCRIPTION

SCOPE OF WORK UNDER THIS PERMIT IS FOR THE CONSTRUCTION OF A NEW BASEMENT GARAGE FOR TWO CARS WITH FRONT HORIZONTAL BASEMENT ADDITION, EXPANSION OF THE LIVING AREA FOR 812 STEINER INTO THE BASEMENT. THE BASEMENT EXPANSION WILL CONTAIN INTERNAL STAIR CONNECTION, FAMILY ROOM, TWO BEDROOMS & TWO BATHS. A ONE STORY OVER BASEMENT HORIZONTAL ADDITION IS ALSO PLANNED AT THE REAR OF THE BUILDING & WILL EXPAND THE EXISTING KITCHEN AREA OF 812 STEINER.

PROJECT DATA

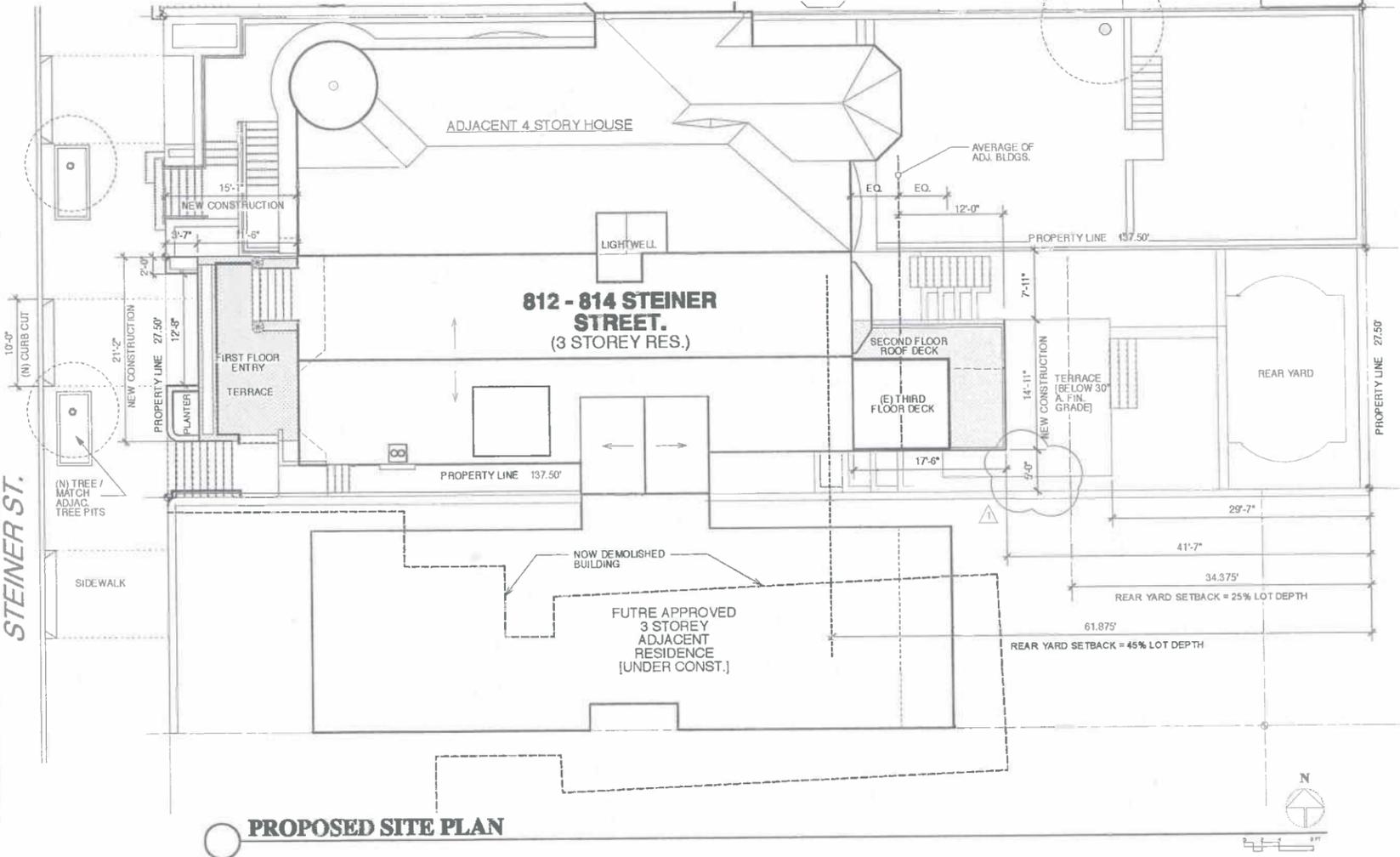
ZONING: RH-3
EXISTING OCCUPANCY: R-3
PROPOSED OCCUPANCY: R-3
CONSTRUCTION: TYPE V-B

AREA CALCULATIONS

EXISTING FLOOR AREA:		
BASEMENT:	1,351 sq.ft.	[UNOCCUPIED AREA]
1ST. FLOOR:	1,315	[HABITABLE AREA]
TOTAL EXISTING FLOOR AREA:	2,666 sq.ft.	
PROPOSED FLOOR AREA:		
GARAGE/ BASEMENT:	934 sq.ft.	[UNOCCUPIED AREA]
BASEMENT: (FAMILY RM, BEDRM, BATHRM):	765 sq.ft.	[HABITABLE AREA]
1ST FLOOR:	1,494 sq.ft.	[HABITABLE AREA]
TOTAL PROPOSED FLOOR AREA 812 Steiner:	3,193 sq.ft.	
NET CHANGE IN HABITABLE AREA:		
1ST FLOOR & BASEMENT TOTAL:	2,259 sq.ft.	
TOTAL ADDED CONDITIONED AREA:	1,006 sq.ft.	
TOTAL INCREASE IN BLDG. FOOTPRINT	672 sq.ft.	

SFUSD FEE AREA CALCULATION

PROPOSED BASEMENT:	438 sq.ft.
PROPOSED FIRST FLOOR:	156 sq.ft.
TOTAL ADDED FLOOR AREA PER SFUSD REQ :	594 sq.ft.



SITE PERMIT

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FAX 415 359 8988
toparchitecture.com

PRINTING RECORD

DATE	ACTION
MAY 2, 2012	PROGRESS PRINT
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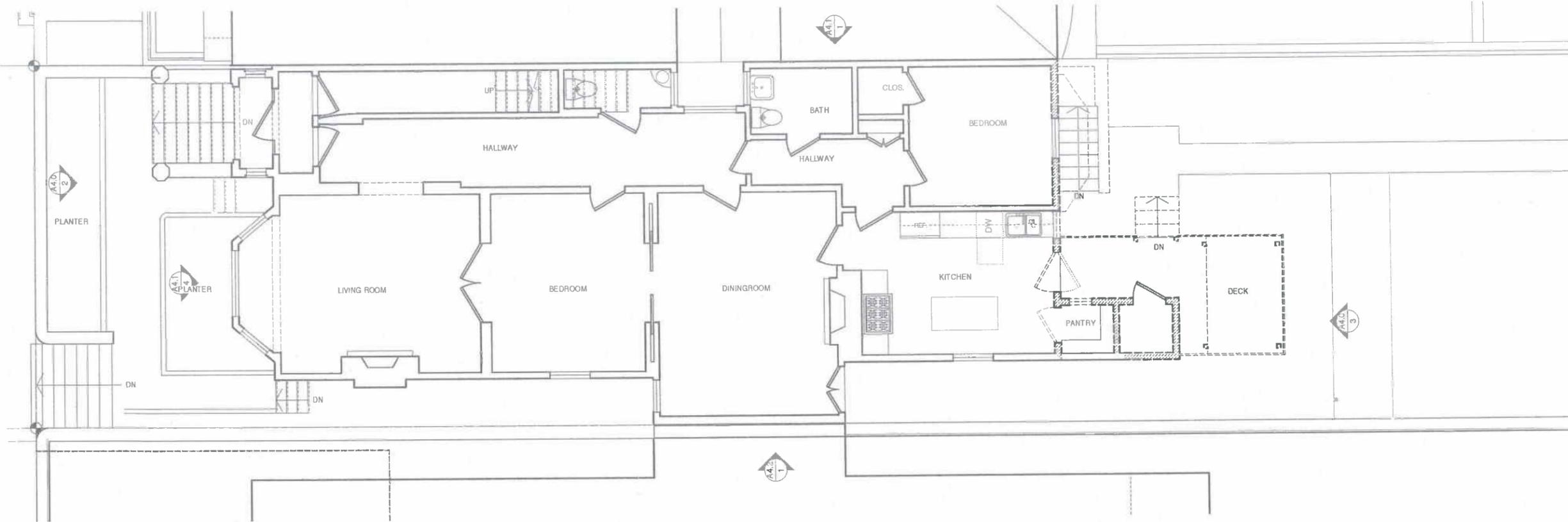
CHOI RESIDENCE
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SAN FRANCISCO, CA. 94117
BLOCK # 0798 LOT # 011

SHEET TITLE
SITE PLAN,
PROJECT INFO & LEGENDS

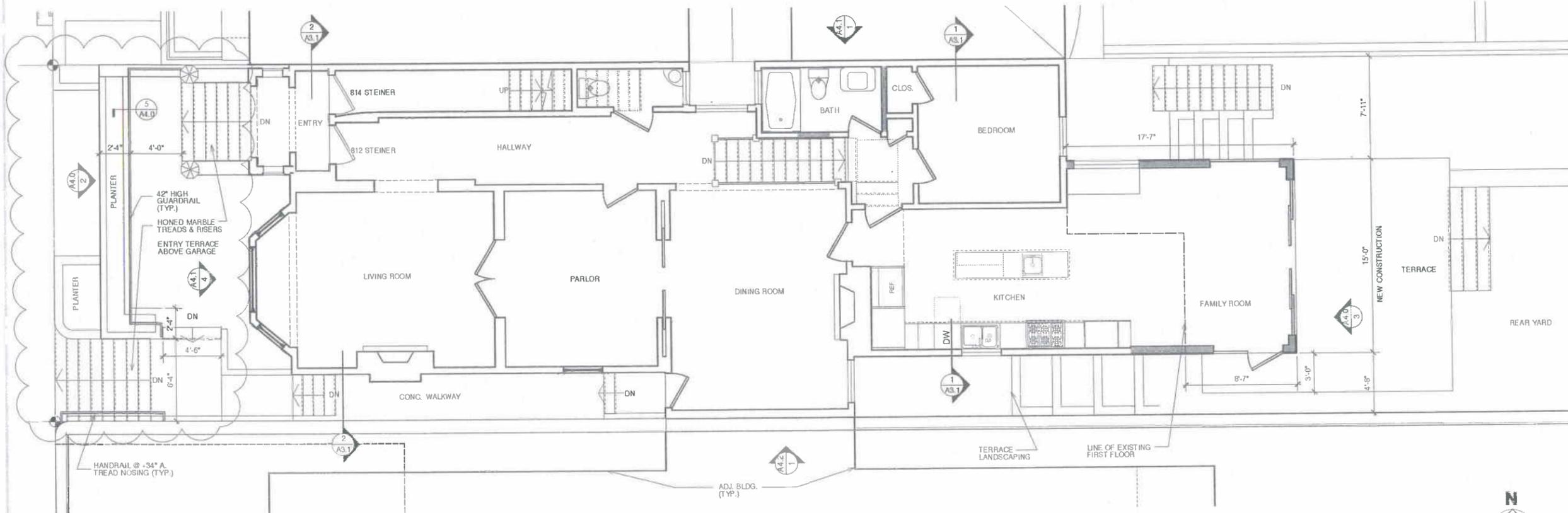
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JOB NO.: 2009.11

DATE: 10/22/12
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/22/12

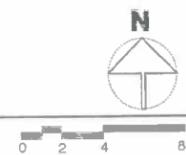
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EXISTING FIRST FLOOR



PROPOSED FIRST FLOOR



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SHEET TITLE
(E) & DEMO 1ST. FLOOR PLN.
PROPOSED 1ST. FLOOR PLN.

SCALE: 1/4"=1'-0"
JOB NO. 2009.11

M&M A TOPETCHER ARCHITECT CA LLC # B 2009, EXP. 5/31

SHEET

A 2.1

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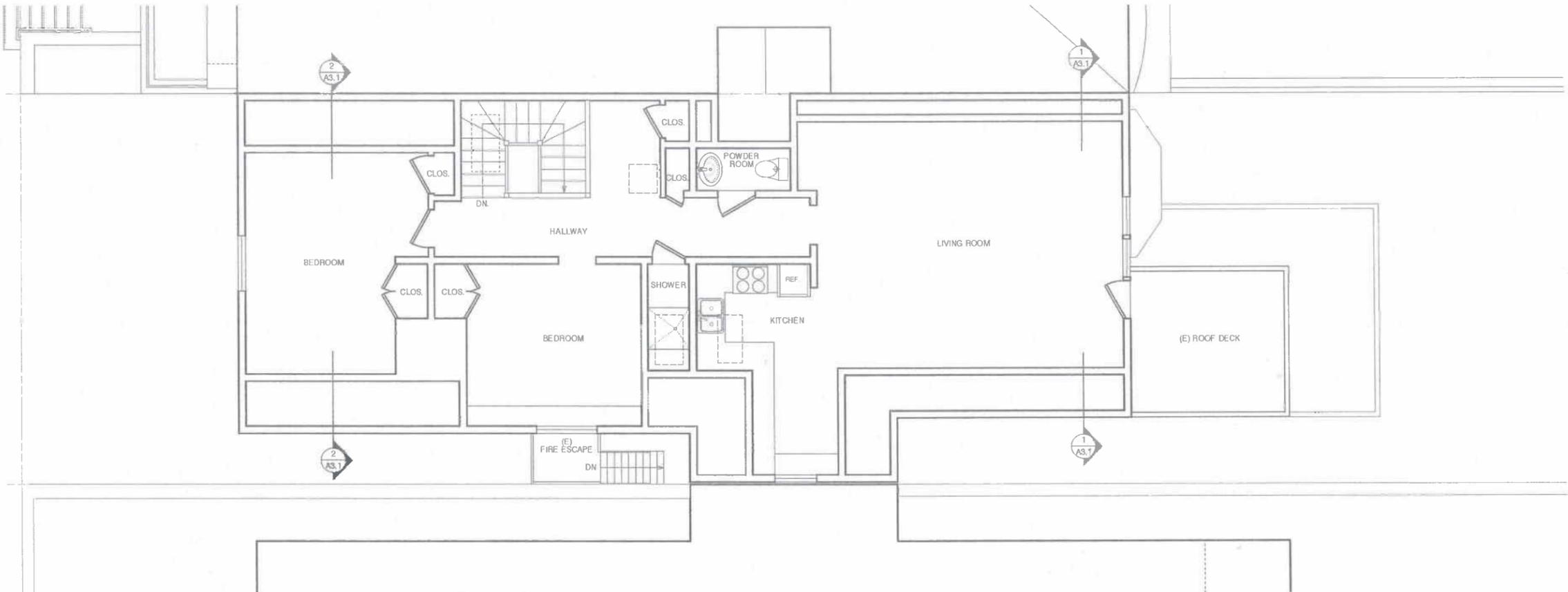
SHEET TITLE
(E) 2ND. FLOOR PLAN W/ NEW ROOF DECK
(E) THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"
JOB NO. 2009.11



WWW.TOPETCHER.ARCHITECT.COM #200911_001

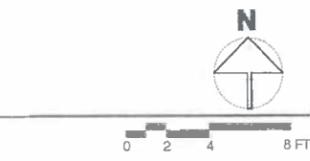
SHEET
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EXISTING THIRD FLOOR (NO WORK)



EXISTING SECOND FLOOR WITH NEW ROOF DECK



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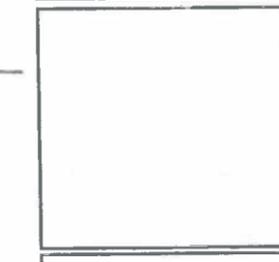
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SHEET TITLE
PROPOSED BLDG. SECTION

SCALE: 1/4"=1'-0"
JOB NO. 2009.11

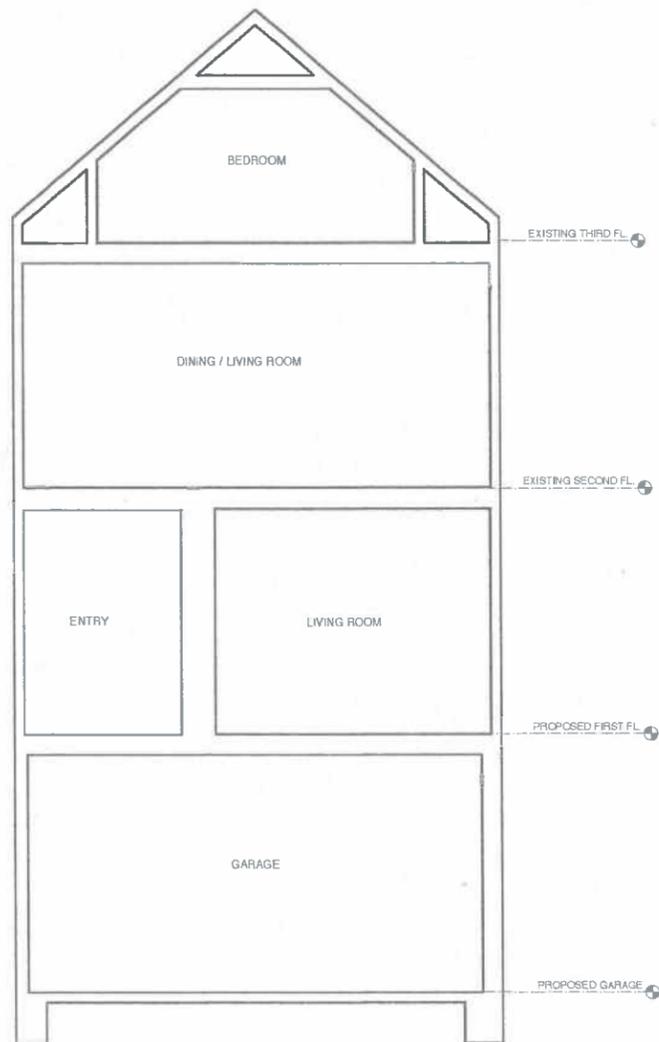


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DRAWN BY: J. BROWN, DGP 513

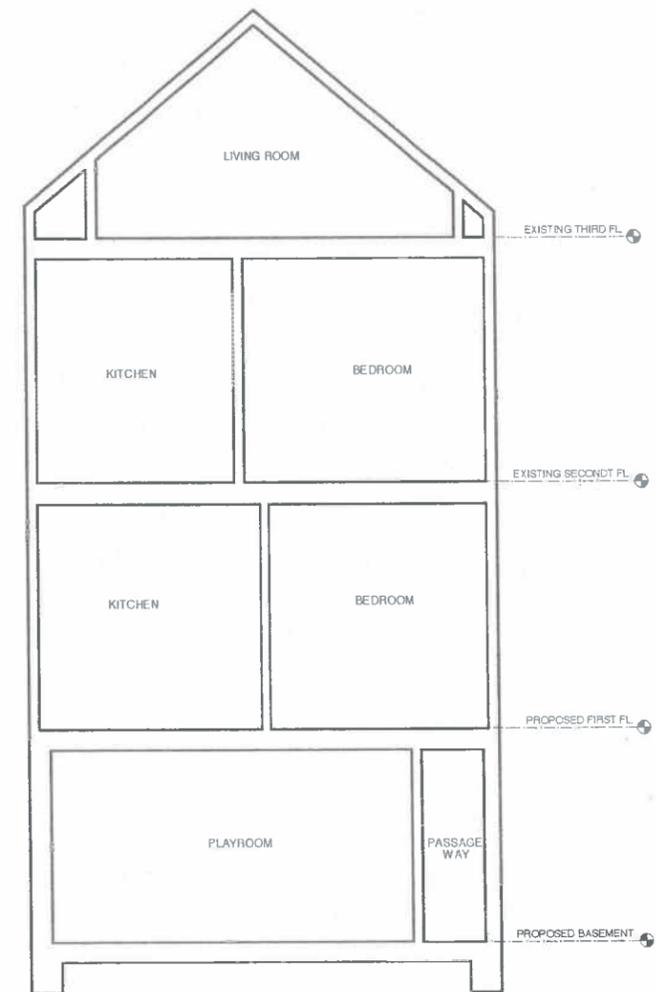
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PROPOSED BUILDING SECTION



2 PROPOSED BUILDING SECTION



1 PROPOSED BUILDING SECTION

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SHEET TITLE
PROPOSED BLDG. SECTION

SCALE: 1/4"=1'-0"
JOB NO. 2009.11

MARK J. TOPETCHER, ARCHITECT OR UC # 83886, EXP. 5/13

SHEET
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3.1



1 EXISTING WEST ELEVATION



2 PROPOSED WEST ELEVATION



4 EXISTING EAST ELEVATION



3 PROPOSED EAST (REAR) ELEVATION

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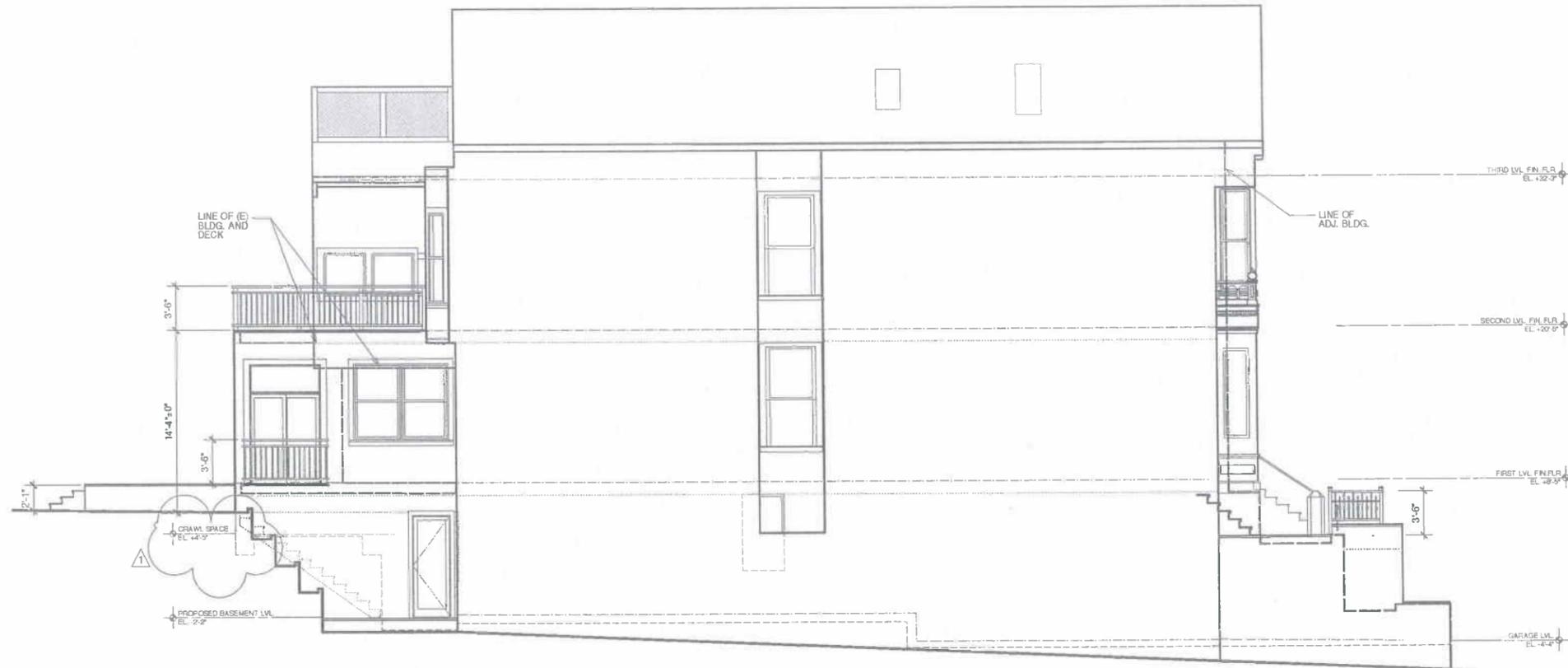
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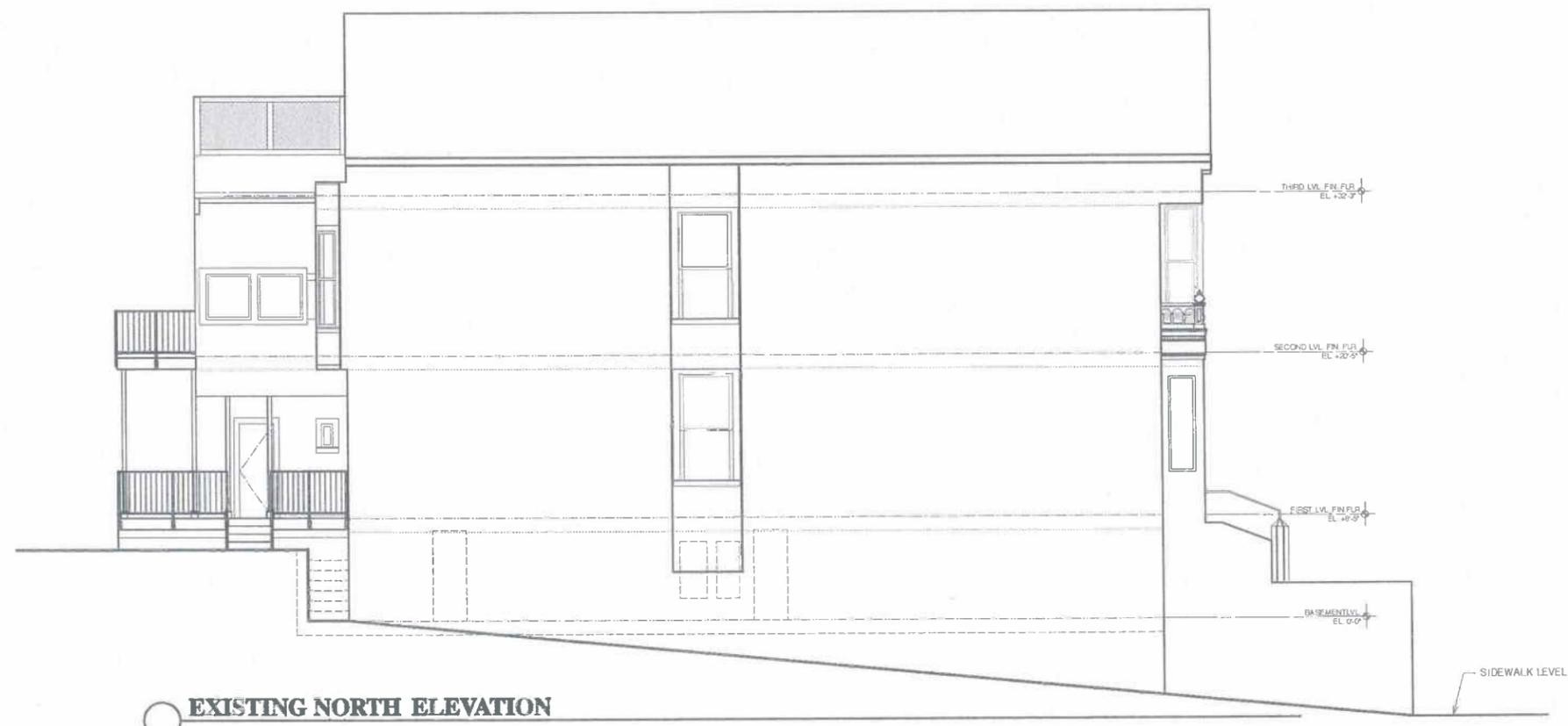
SHEET TITLE
EXISTING WEST & EAST
ELEVATIONS
PROPOSED WEST & EAST
ELEVATIONS

SCALE: 3/16" = 1'-0"
JOB NO. 2009.11

MARK J. TOPETCHER, ARCHITECT, D. U. C. # 60966, EXP. 2/13
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4.0



PROPOSED NORTH ELEVATION



EXISTING NORTH ELEVATION

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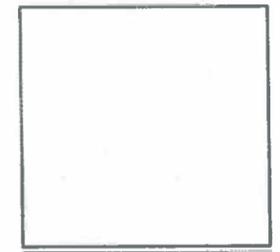
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BLOCK # 0798 LOT # 011

SHEET TITLE
EXISTING NORTH
ELEVATION
PROPOSED NORTH
ELEVATION

SCALE: 3/16" = 1'-0"
JOB NO. 2009.11



MARY J. TOPETCHER, ARCHITECT OR LIC. J. BISHOP, CIV. ENGR.

SHEET

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4.1



1 PROPOSED SOUTH ELEVATION



2 EXISTING SOUTH ELEVATION

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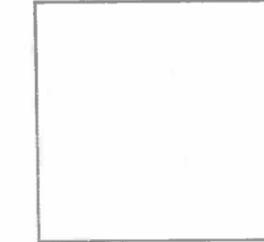
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SAN FRANCISCO, CA. 94117

BLOCK # 0798 LOT # 011

SHEET TITLE

EXISTING SOUTH ELEVATION
PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"	JOB NO. 2009.11
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MR. J. TOPETCHER, ARCHITECT, CA. LIC. # C 20988, EXP. 5/13

SHEET

A
4.2