



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: JUNE 5, 2013

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Filing Date: January 23, 2013
Case No.: **2013.0080A**
Project Address: **218 Union Street**
Historic Landmark: Telegraph Hill Landmark District
Zoning: RH-3 (Residential, House, Three-Family)
40-X Height and Bulk District
Block/Lot: 0106 / 038
Applicant: John & Teresa Votruba
218 Union Street
San Francisco, CA 94133
Staff Contact Lily Yegazu - (415) 575-9076
lily.yegazu@sfgov.org
Reviewed By Tim Frye - (415) 575-6822
tim.frye@sfgov.org

PROPERTY DESCRIPTION

218 UNION STREET, north side near the intersection of Union and Montgomery Streets. Assessor's Block 0106, Lot 038. The 7-unit multi-family residence was built in 1962 by architect Harold K Major. The building has an exterior finish of horizontal boards and is a split level structure with the western half of the building at higher than the eastern half. The structure is a non-contributing/non-compatible structure within the Telegraph Hill Landmark District and is located in a RH-3 (Residential, House, Three-Family) Zoning District and a 40-X Height and Bulk District.

PROJECT DESCRIPTION

The proposed project involves providing bracing of three, 12' high existing chimney flues located adjacent to the northwest corner of the taller portion of the subject building. The proposed bracing will be comprised of two steel columns and laterally tied by a steel beam, 8' high above the roof line. In addition, the proposed bracing is tied back to a 48" high masonry fire wall proposed adjacent to the existing flues and spanning 21' towards the rear of the building. This firewall is also proposed to be tied back to the existing 42' high firewall that is located at the rear half of the roof. A new 42' high safety rail is also proposed along the south (front) and east side of the roof. The safety rail will be setback 4' from the building edge and will match the existing railings on the building balconies in material and finish.

OTHER ACTIONS REQUIRED

Review and issuance of building permit for proposed work.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark or a structure located in a Landmark district for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the character of the historic district as described in the designating ordinance; and in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

Article 10 – Appendix G – Telegraph Hill Historic District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Telegraph Hill Historic District as described in Appendix G of Article 10 of the Planning Code. Per Appendix G of Article 10, the character of the Historic District shall mean the exterior architectural features of the Telegraph Hill Historic District.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The project proposes to maintain the building in its historic use as a residence with no changes to the defining characteristics of the landmark district where the non-contributing/non-conforming building is located.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The existing structure is a non-conforming/non-contributing building within the landmark district. The proposed changes will be minimally visible from the public right-of-way, in that the new 42" high safety railing will be

setback 4' from the edges of the building. The new 4' high firewall will also be setback from the front building façade 4' and will align with the west property line, adjacent to the existing building to the west. Furthermore, the chimney flue bracing will be limited in height to 8' to minimize any perceived massing and limit its view from the public right of way. As such, the existing character of the building and landmark district will be retained and preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The new fire wall, safety rails and chimney bracing will not destroy historic materials and features of the building. The safety rails and fire wall will match those found on the building. As such, the proposal incorporates a design, scale, and materials that are compatible with the building and landmark district. The proposed work would not impact spatial relationships that characterize the property as there does not appear to be any consistent pattern of building setbacks or depth at the rear yard for the subject building or surrounding properties.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Should any of the proposed work be removed in the future, the essential form and integrity of the building and landmark district would be unimpaired.

PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has received a telephone call from representative of the Telegraph Hill Dwellers Association inquiring about the scope of work and the reasons for the request. In addition, the owners of the property to the west of the subject site have contacted Staff to review the plans and have expressed concerns regarding the location of the proposed fire wall that would partially block the existing property line windows.

ISSUES & OTHER CONSIDERATIONS

In 2010, the Historic Preservation Commission approved a Certificate of Appropriateness for the adjacent property to the west (280 Union Street). The scope of work was to legalize existing property line windows on the third floor of the east elevation, at the property line shared with the subject property. As part of the subsequent approval by the Department of Building Inspection, a Declaration of Use Limitation was recorded on the 280 Union Street property, putting the property owners on notice that the property line windows are not protected.

STAFF ANALYSIS

The Project Sponsor has indicated in their application packet that the proposed scope of work is in response to Notice of Violations issued by the City requiring chimney bracing to address safety issues. A

Notice of Violation was issued to the subject property owners requiring them to address a safety hazard by properly securing the chimney flues.

The proposed bracing of the chimney will include two vertical steel posts that will be laterally tied by steel beams, approximately 8' above the roof floor. A new top plate will further tie the bracing to the new 4' tall fire wall proposed along the west property line. The 42' guard rails are currently proposed to prepare the roof area for the future installation of solar panels and garden. The plans have been revised since the original submittal to reduce visibility from the public right-of-way by reducing the height of the bracing and setting back the guardrails 4' from the building edge. The guardrails will match the railing found on the balconies of the subject building and will have an open design to further minimize its visibility and be compatible with the existing building. Staff has added a condition that the chimney bracing be of dark metal with powder coated finish in keeping with the dark color pallet of the existing building painted finishes within the district. In addition, the 4' high firewall shall be painted to match the finish of the adjacent building to the west to blend in with the existing side wall and further minimize its visibility from the public right-of-way.

It should be noted that the rear elevation on Sheet A2, west elevation on Sheet A3 and A4 of the plans submitted indicate the new guardrails extending to the edges of the building. However, the site plan (Sheet A0), plot plan (Sheet A1), and roof plans (Sheet A5 and S2) accurately show the guardrails setback 4' from the edges of the building. A condition of approval has been added that revised plans clearly showing the 4' setback from the front and east edge of the building on all plans and elevations shall be submitted prior to issuance of a building permit.

Based on the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*, staff has determined that the proposed work, as conditioned, will not substantially alter the non-contributing/non-compatible building nor adversely affect the historic district. Specifically, the addition of the new guardrail, firewall and bracing of the existing chimney flues on the existing non-contributing structure will not materially change the appearance of the non-contributing and non-compatible building that has existing in the landmark district since 1963. In addition, as conditioned the proposed work will not detract from and will not cause any significant alteration to the historic district. The guardrail will be setback 4' from the front and side face of the building. In addition, the new chimney bracing will be limited to two vertical poles and a horizontal band at 8' in height above the roofline to minimize the massing of the proposed bracing. Furthermore, the 4' high firewall will be minimally visible from the public right-of-way as it will be setback 4' from the face of the building and extend towards the back of the building. Overall, staff finds that the proposed work will be in conformance with the Secretary's Standards and with the requirements of Article 10, Appendix G – Telegraph Hill Landmark District, in that the 4' setback of the new 42" guardrail from the front (south) and east face of the building and as conditioned, the finish paint color of the 4' high firewall matching the adjacent building as well as the painted finish of the steel bracing will ensure to minimize their visibility from the public right-of-way and ensure compatibility with the landmark district.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation.

1. The project shall be returned to the HPC for review and approval if there is any expansion to the scope of work due to other Code requirements, such as an enclosed second means of egress or the addition of visible safety railings.
2. The new steel post and beam bracing shall be finished in dark metal with powder coated finish.
3. The proposed 4' firewall along the west property line shall be painted to match the color of the adjacent property to the west.
4. The Project Sponsor shall submit revised plans clearly illustrating the proposed railing set back a minimum of 4' from the south and east face of the building on all plans and elevations prior to the issuance of a building permit.
5. The Project Sponsor shall submit attachment details for the 42" guardrail prior to the issuance of a building permit.

ATTACHMENTS

- A. Draft Motion
- B. Parcel Map
- C. Sanborn Map
- D. Aerial Photo
- E. Zoning Map
- F. Site Photos
- G. Submittal Packet by Project Sponsors

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**Historic Preservation Commission
Motion No. XXXX
Certificate of Appropriateness**

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 038 IN ASSESSOR'S BLOCK 0106, WITHIN AN RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on January 23, 2013, John and Teresa Votruba ("Applicant") filed an application with the San Francisco Planning Department ("Department") for a Certificate of Appropriateness for (1) the installation of a new 42" guard rail setback 4' from the front (south) and east face of the building; (2) new steel post and beam bracing for the existing three chimney flues; and (3) for the construction of a 4' high firewall adjacent the west property line. The subject building is located on Lot 038 in Assessor's Block 0106, within the Telegraph Hill Landmark District.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on June 5, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2013.0080A ("Project") for its appropriateness.

WHEREAS, in reviewing the application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, and has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby **APPROVES WITH CONDITIONS** the Certificate of Appropriateness, in conformance with the architectural plans dated February 27, 2013 and labeled Exhibit A on file in the docket for Case No. 2013.0080A based on the following findings:

CONDITIONS OF APPROVAL

1. The project shall be returned to the HPC for review and approval if there is any expansion to the scope of work due to other Code requirements, such as an enclosed second means of egress or the addition of visible safety railings.
2. The new steel post and beam bracing shall be finished in dark metal with powder coated finish.
3. The proposed 4' firewall along the west property line shall be painted to match the color of the adjacent property to the west.
4. The Project Sponsor shall submit revised plans clearly illustrating the proposed railing set back a minimum of 4' from the south and east face of the building on all plans and elevations prior to the issuance of a building permit.
5. The Project Sponsor shall submit attachment details for the 42" guardrail prior to the issuance of a building permit.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Commission has determined that the proposed work is compatible with the exterior character of Telegraph Hill Historic District as described in the designation report dated August 21, 1986.

- That the proposal respects the character-defining features of the Telegraph Hill Historic District;

- That the proposed work will not result in the removal of any historic fabric;
- That the essential form and integrity of the historic district would be unimpaired if the proposed improvements were removed at a future date; and
- That the proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1: property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials and features that characterize the building. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness, and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the Telegraph Hill Historic District.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:
The proposed project will not have an impact on neighborhood serving retail uses.
 - B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:
The proposed project will strengthen neighborhood character by respecting the character-defining features of the historic district in conformance with the Secretary of the Interior's Standards
 - C) The City's supply of affordable housing will be preserved and enhanced:
The project will not affect the City's affordable housing supply.
 - D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:
The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.
 - E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:
The proposed project will not have a direct impact on the displacement of industrial and service sectors.
 - F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

All construction will be executed in compliance with all applicable construction and safety measures.

G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 038 in Assessor's Block 0106 for proposed work in conformance with the project information dated February 27, 2013, labeled Exhibit A on file in the docket for Case No. 2013.0080A.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Permit to Alter shall be final unless appealed within thirty (30) days after the date of this Motion No. 0195. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135). For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on June 5, 2013.

Jonas P. Ionin
Acting Commission Secretary

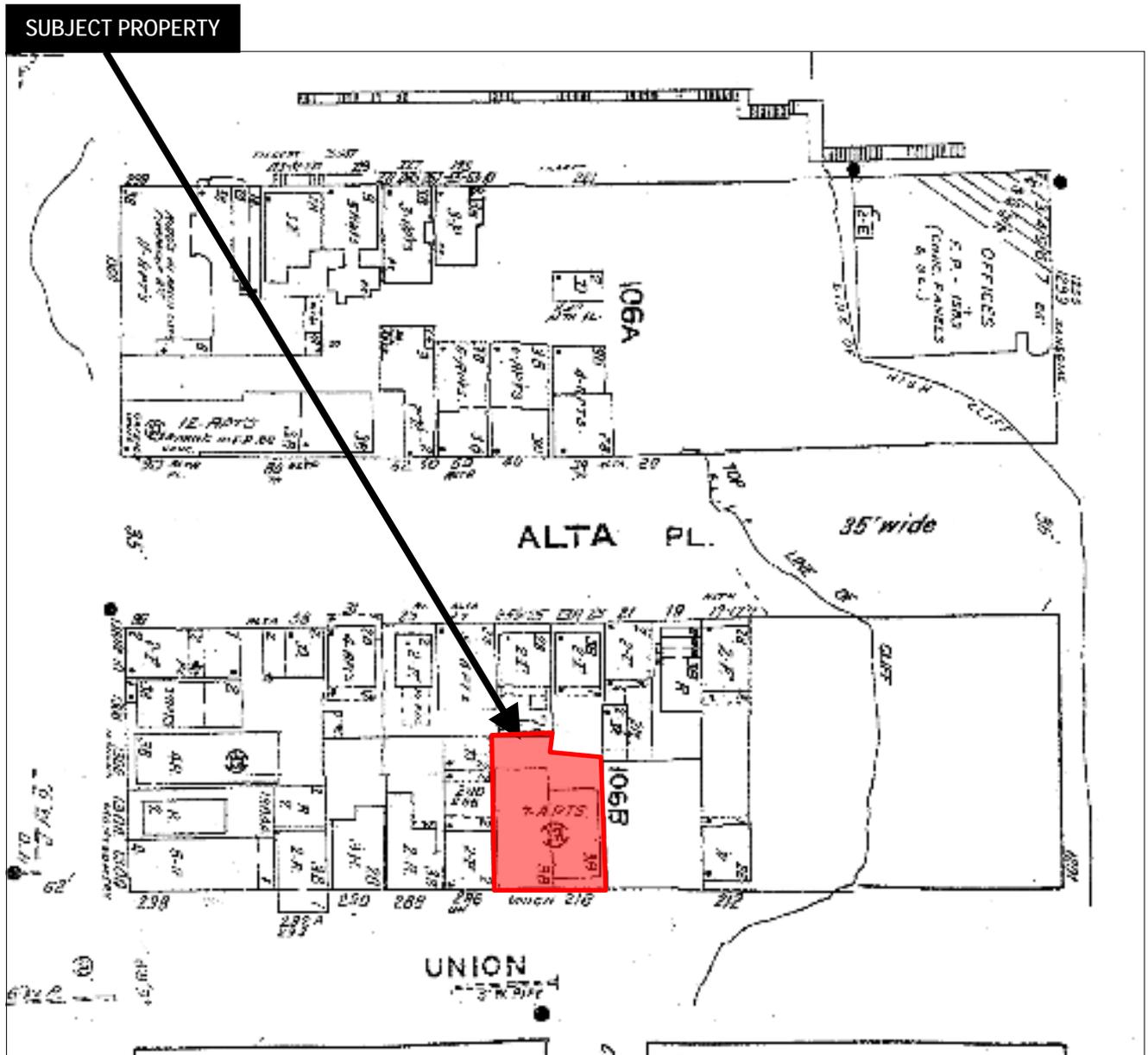
AYES:

NAYS:

ABSENT:

ADOPTED: June 5, 2013

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing
Case Number 2013.0080A
218 Union Street

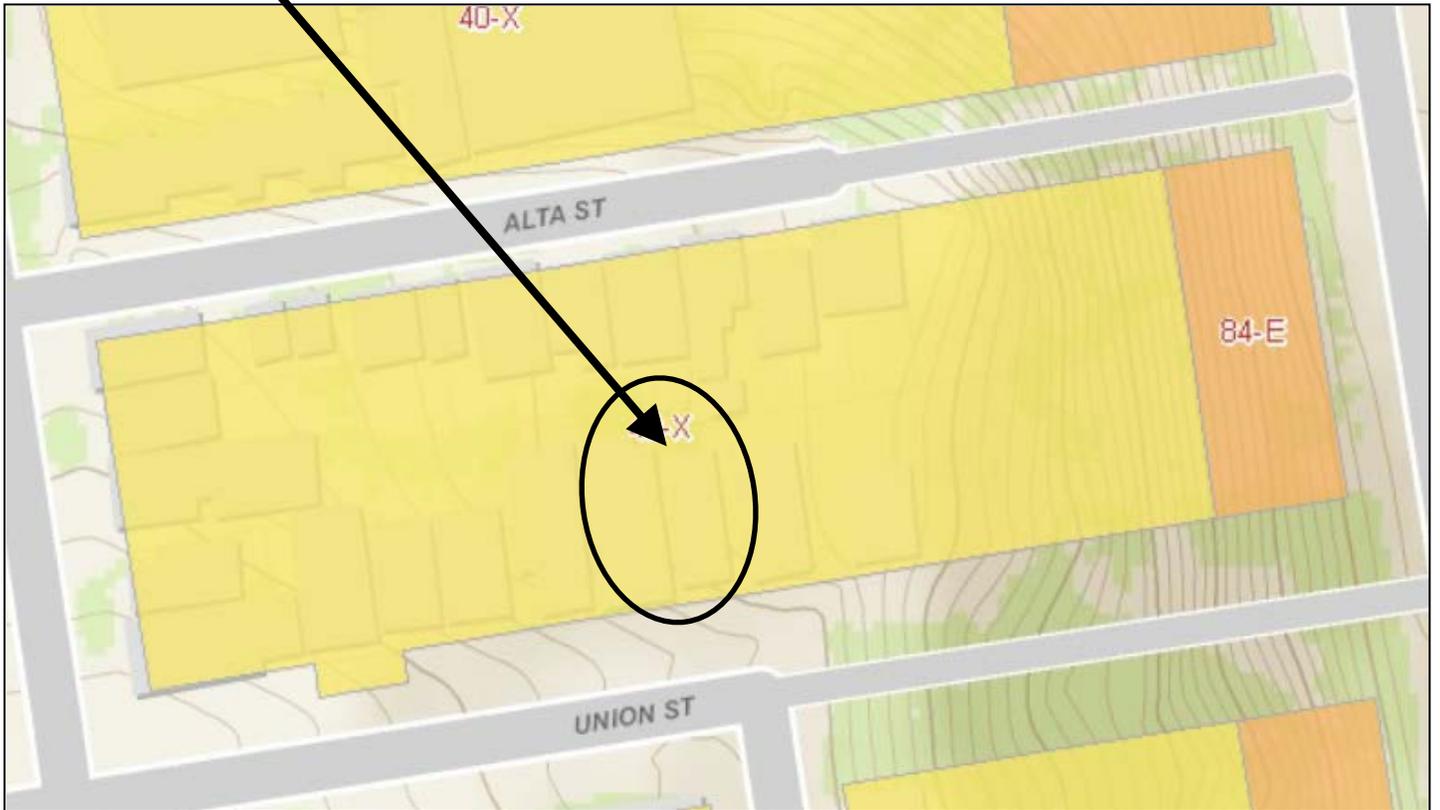
Aerial Photo

SUBJECT PROPERTY



Zoning Map

SUBJECT PROPERTY



Site Photos



Certificate of Appropriateness Hearing
Case Number 2013.0080A
218 Union Street

Site Photos

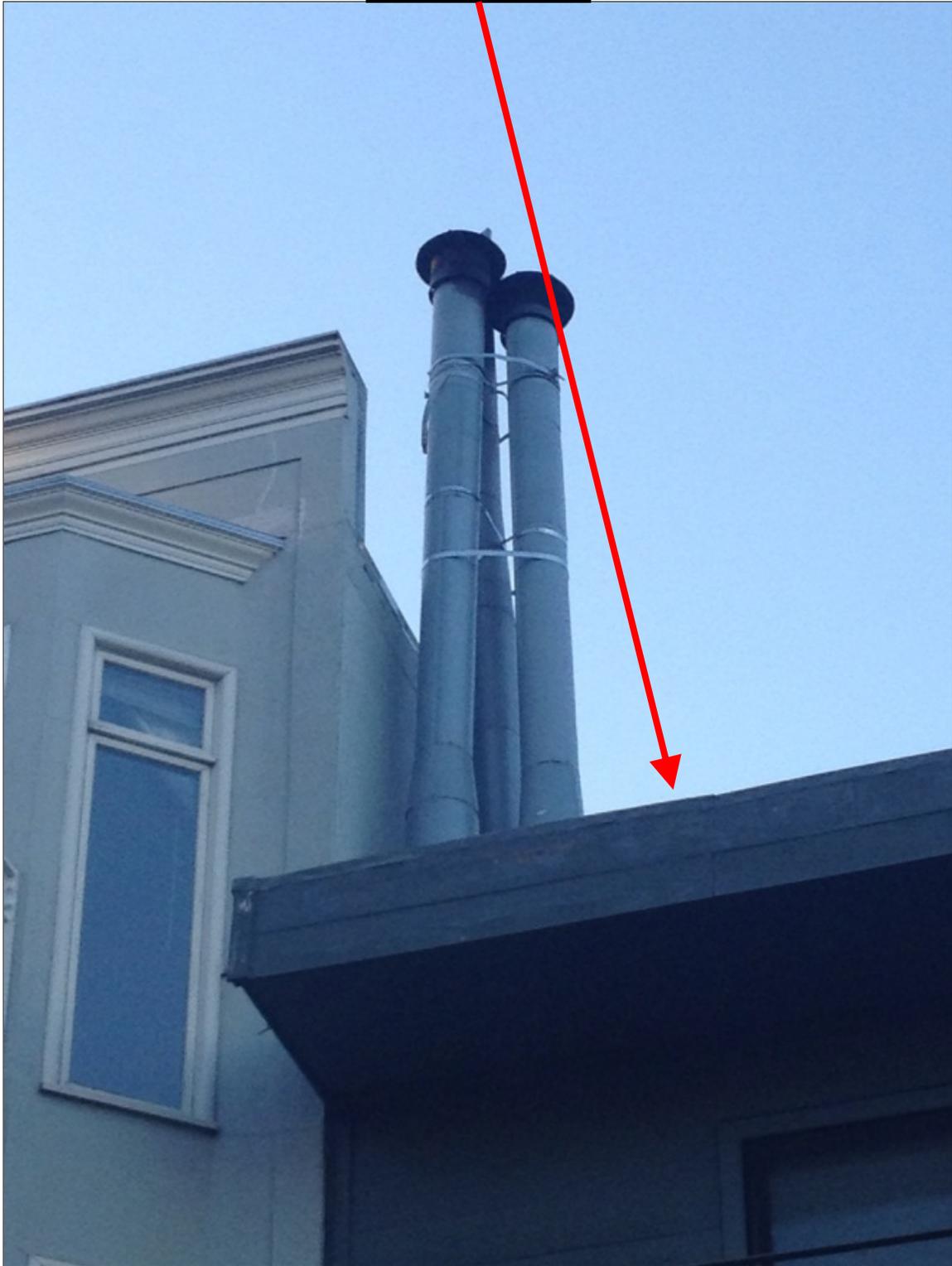
SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2013.0080A
218 Union Street

Site Photos

SUBJECT PROPERTY



Certificate of Appropriateness Hearing
Case Number 2013.0080A
218 Union Street

Attachment G

Project Sponsors' Submittal Packet

APPLICATION FOR Certificate of Appropriateness

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: John and Teresa Votruba; Duane Frisbie; Kristofer and Gregory Votruba	
PROPERTY OWNER'S ADDRESS: 218 Union Street, San Francisco, CA 94133	TELEPHONE: (415) 834-0508
	EMAIL: jvotrub@yahoo.com

APPLICANT'S NAME: John and Teresa Votruba Same as Above <input type="checkbox"/>	
APPLICANT'S ADDRESS: 218 Union Street, #7, San Francisco, CA 94133	TELEPHONE: (415) 834-0508
	EMAIL: jvotrub@yahoo.com

CONTACT FOR PROJECT INFORMATION: Same as Above <input checked="" type="checkbox"/>	
CONTACT PERSON'S ADDRESS:	TELEPHONE: ()
	EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT: 218 Union Street	ZIP CODE: 94133
CROSS STREETS: Calhoun	

ASSESSORS BLOCK/LOT: 0106 / 038	LOT DIMENSIONS: 25.9x70;20x60	LOT AREA (SQ FT): 3025	ZONING DISTRICT: RH-3	HEIGHT/BULK DISTRICT: 40-x
ARTICLE 10 LANDMARK NUMBER: N/A			HISTORIC DISTRICT: Telegraph Hill	

3. Project Description

Engineered bracing of three 12 foot chimneys on roof w/ supporting 4' firewall; add 42" safety railing on roof perimeter.

Building Permit Application No. 201209240461

Date Filed: 9/24/2012

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

GROSS SQUARE FOOTAGE (GSF)	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS
Residential	n/a			
Retail	n/a			
Office	n/a			
Industrial / PDR Production, Distribution, & Repair	7spaces	7 spaces		
Parking	n/a			
Other (Specify Use)	n/a			
Total GSF	6,500	6,500	10	6,510
PROJECT FEATURES	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS
Dwelling Units	7	7		
Hotel Rooms	n/a			
Parking Spaces	7	7		
Loading Spaces	n/a			
Number of Buildings	1	1		
Height of Building(s)	40	40		
Number of Stories	3	3		
<p>Please provide a narrative project description, and describe any additional project features that are not included in this table:</p> <p>To support three 12 foot chimneys on 218 Union roof with an engineered metal bracing system supported by a 4 ft firewall on western property line. Materials will be consistent with the current building in structure and color.</p> <p>The chimneys had been raised to 12 feet as a consequence of construction of the adjoining building in 1986 which is 9 feet higher. As an apparent accommodation by original 218 Union owners, the extended chimneys were in part strapped to the newly constructed building for the ensuing 25 years and is now being complained of by the present 280-286 Union building ownership.</p> <p>Additionally a perimeter roof safety railing is to be added consistent in size and color with the existing building railings.</p>				

Findings of Compliance with Preservation Standards

FINDINGS OF COMPLIANCE WITH PRESERVATION STANDARDS		YES	NO	N/A
1	Is the property being used as it was historically?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Does the new use have minimal impact on distinctive materials, features, spaces, and spatial relationship?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Is the historic character of the property being maintained due to minimal changes of the above listed characteristics?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are the design changes creating a false sense of history of historical development, possible from features or elements taken from other historical properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Are there elements of the property that were not initially significant but have acquired their own historical significance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Have the elements referenced in Finding 5 been retained and preserved?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7	Have distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize the property been preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Are all deteriorating historic features being repaired per the Secretary of the Interior Standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9	Are there historic features that have deteriorated and need to be replaced?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Do the replacement features match in design, color, texture, and, where possible, materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11	Are any specified chemical or physical treatments being undertaken on historic materials using the gentlest means possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12	Are all archeological resources being protected and preserved in place?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13	Do exterior alterations or related new construction preserve historic materials, features, and spatial relationships that are characteristic to the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Are exterior alterations differentiated from the old, but still compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15	If any alterations are removed one day in the future, will the forms and integrity of the historic property and environment be preserved?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Please summarize how your project meets the Secretary of the Interior's *Standards for the Treatment of Historic Properties*, in particular the *Guidelines for Rehabilitation* and will retain character-defining features of the building and/or district:

Only a very small portion of the chimney flue support will be visible from the street and will have no effect on the character defining features of the building. The perimeter railings are consistent in size, structure and color with other building railings.

13,0080 A

Findings of Compliance with General Preservation Standards

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. The property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;
The chimney flue support and railings will not effect retained uses.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided;

The chimney flue support and railings will have no effect on the historic character of the building.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken;

The chimney flue support and railings will not effect the historical development of the property.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved;
The chimney flue support and railings will not affect changes that have acquired historical significance.

5. Distinctive materials, features, finishes, and construction techniques or examples of fine craftsmanship that characterize a property will be preserved;
The chimney flue support and railings will blend in with the features of the property.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence;
No historic features will be replaced by the chimney flue support and railings.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used;
The chimney flue support and railings will not carry treatment that cause damage to historic materials.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken;

No archeological resources, if any, will be affected by the chimney flue support and railings.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment;

The chimney flue support and railings will not affect historical materials, features and spacial relationships of the property.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would not be impaired;

The chimney flue support will be undertaken such, that if removed in the future, the historic integrity and form of the building will not affected.

PLEASE NOTE: For all applications pertaining to buildings located within Historic Districts, the proposed work must comply with all applicable standards and guidelines set forth in the corresponding Appendix which describes the District, in addition to the applicable standards and requirements set forth in Section 1006.6. In the event of any conflict between the standards of Section 1006.6 and the standards contained within the Appendix which describes the District, the more protective shall prevail.

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

- 1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

The chimney flue support and railings will have no effect on retail uses.

- 2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

The chimney flue support and railings will not affect neighborhood character.

- 3. That the City's supply of affordable housing be preserved and enhanced;

The chimney flue support and railings will not affect affordable housing.

- 4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

The chimney flue support and railings will not affect traffic.

- 5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

N/A

- 6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The chimney flue support and railings will be constructed to protect against fire and injury in the event of an earthquake.

- 7. That landmarks and historic buildings be preserved; and

The chimney flue support and railings will not affect landmarks and historic buildings.

- 8. That our parks and open space and their access to sunlight and vistas be protected from development.

The chimney flue support and railings will have no impact on parks and open space.

13.0080 A

Certificate of Appropriateness Application Submittal Checklist

The intent of this application is to provide Staff and the Historic Preservation Commission with sufficient information to understand and review the proposal. Receipt of the application and the accompanying materials by the Planning Department shall only serve the purpose of establishing a Planning Department file for the proposed project. After the file is established, the Department will review the application to determine whether the application is complete or whether additional information is required for the Certificate of Appropriateness process. Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent.

REQUIRED MATERIALS (please check correct column)	CERTIFICATE OF APPROPRIATENESS
Application, with all blanks completed	<input checked="" type="checkbox"/>
Site Plan	<input type="checkbox"/>
Floor Plan	<input type="checkbox"/>
Elevations	<input checked="" type="checkbox"/>
Prop. M Findings	<input checked="" type="checkbox"/>
Historic photographs (if possible), and current photographs	<input checked="" type="checkbox"/>
Check payable to Planning Department	<input checked="" type="checkbox"/>
Original Application signed by owner or agent	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.

PLEASE NOTE: *The Historic Preservation Commission will require additional copies each of plans and color photographs in \ reduced sets (11" x 17") for the public hearing packets. If the application is for a demolition, additional materials not listed above may be required. All plans, drawings, photographs, mailing lists, maps and other materials required for the application must be included with the completed application form and cannot be "borrowed" from any related application.*

For Department Use Only
Application received by Planning Department:

By: *James Ramirez* Date: 1/23/13



FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: <http://www.sfplanning.org>

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**
Planning staff are available by phone and at the PIC counter. No appointment is necessary.

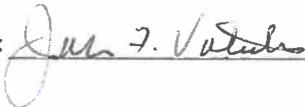
Estimated Construction Costs

TYPE OF APPLICATION: Minor alteration	
OCCUPANCY CLASSIFICATION: multiple family building -R-2	
BUILDING TYPE: wood framed	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION: 10	BY PROPOSED USES: chimney flue support and railings
ESTIMATED CONSTRUCTION COST: \$1500.00	
ESTIMATE PREPARED BY: Owner/Occupant	
FEE ESTABLISHED:	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

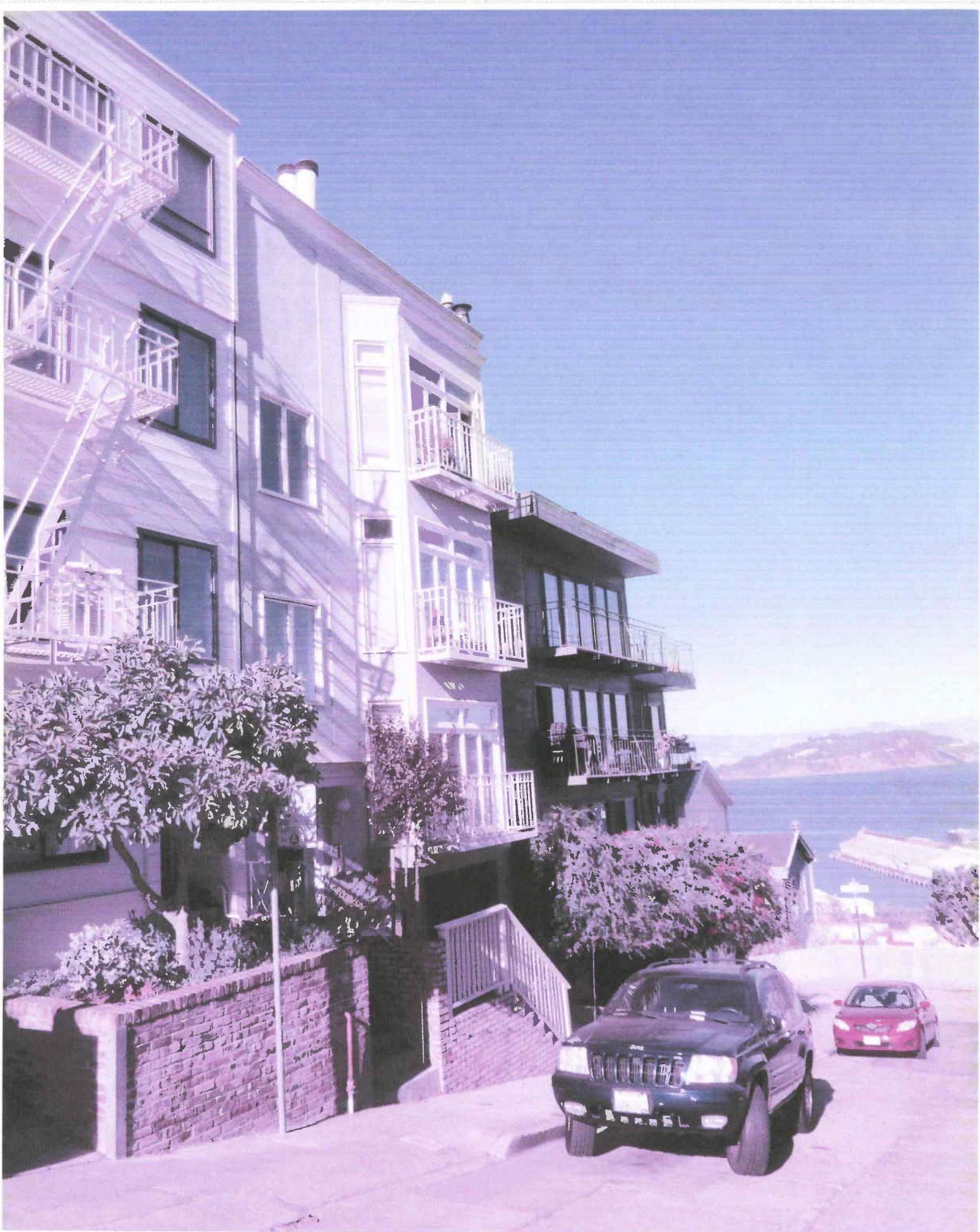
Signature: 

Date: January 15, 2013

Print name, and indicate whether owner, or authorized agent:

John F. Votruba

Owner / Authorized Agent (circle one)



13.0080 A

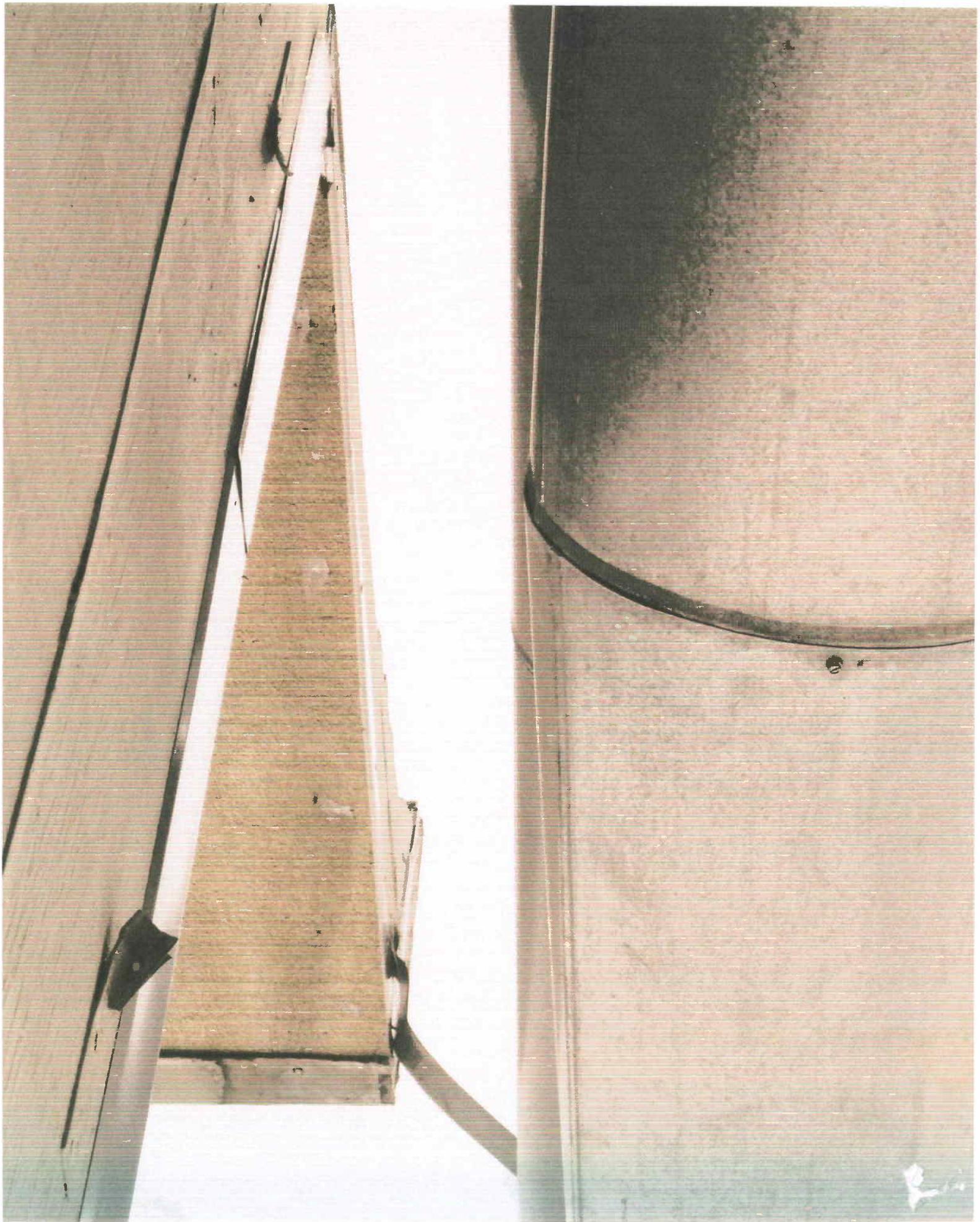


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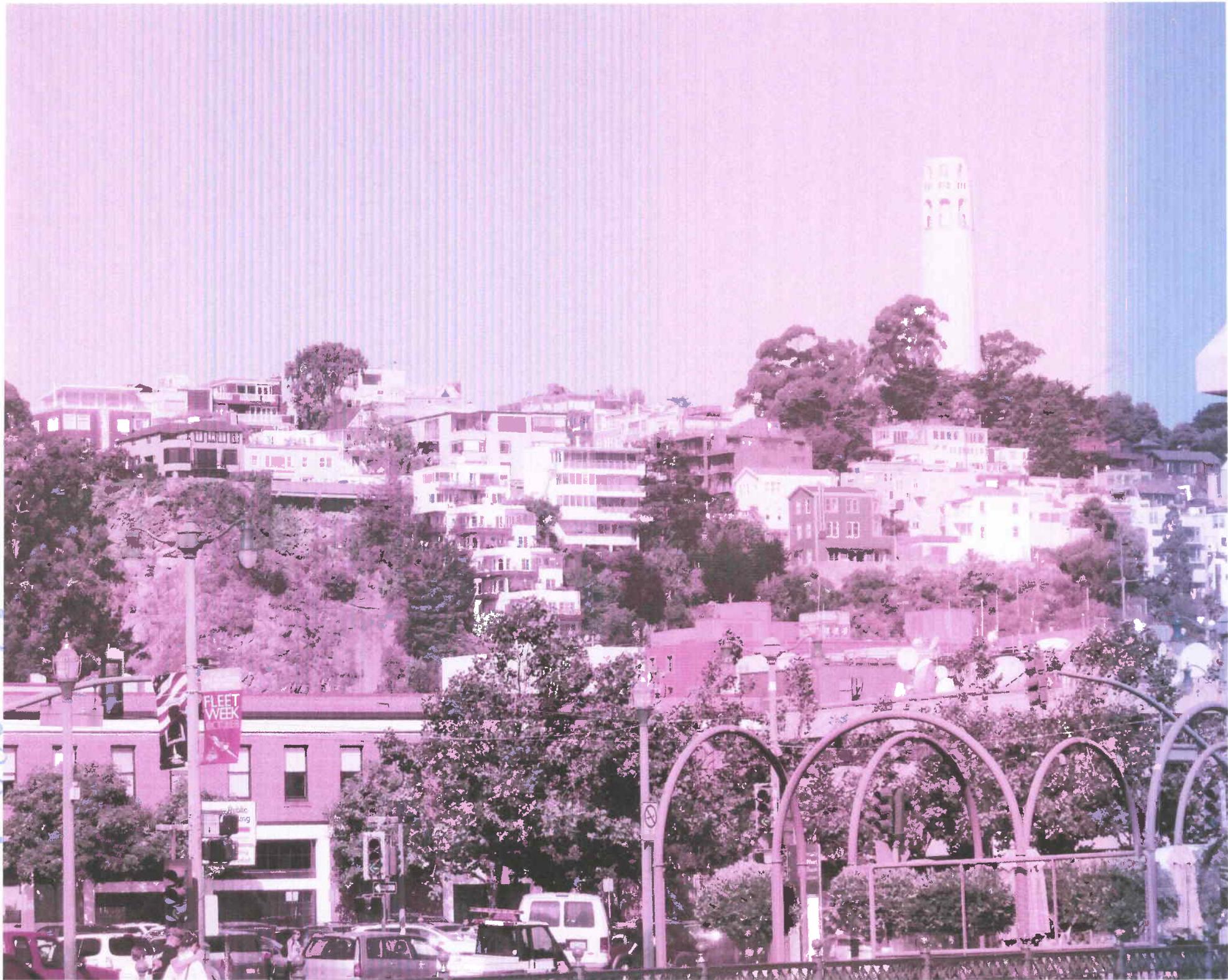
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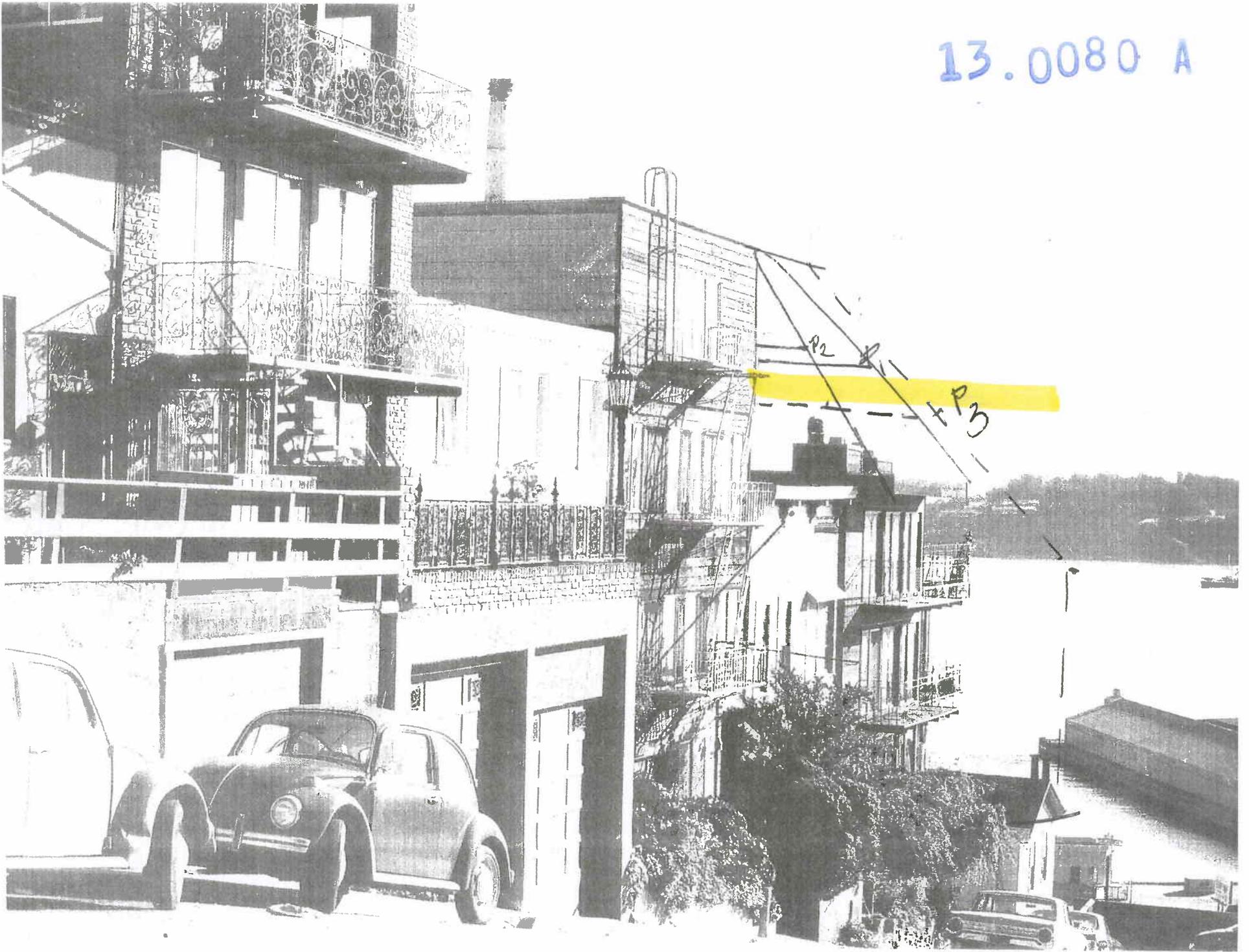


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SAN FRANCISCO VISITOR MAP

A Smart Phone Friendly Interactive Map! Scan QR Codes for Detailed Info! Includes MUNI Transit & Cable Car Lines

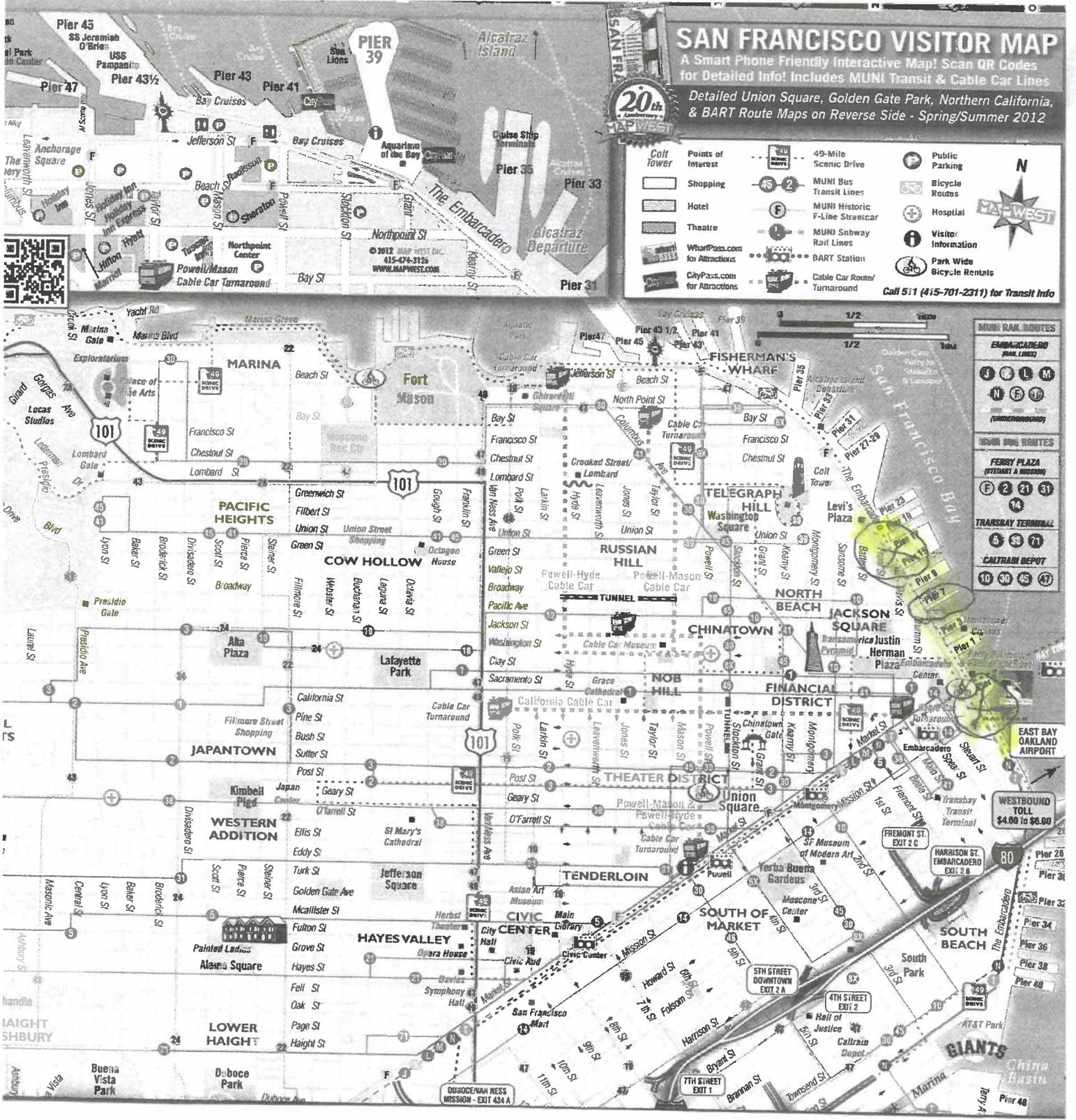
Detailed Union Square, Golden Gate Park, Northern California, & BART Route Maps on Reverse Side - Spring/Summer 2012



- | | | | |
|------------------------------|-------------------------------|--------------------------------|---------------------------|
| Coit Tower | Points of Interest | 49-Mile Scenic Drive | Public Parking |
| Shopping | Hotel | MUNI Bus Transit Lines | Bicycle Routes |
| Theatre | WharfPass.com for Attractions | MUNI Historic F-Line Streetcar | Hospital |
| CityPass.com for Attractions | BART Station | MUNI Sbnway Rail Lines | Visitor Information |
| | Cable Car Route/Turnaround | | Park Wide Bicycle Rentals |



Call 511 (415-701-2311) for Transit Info



MUNI RAIL ROUTES	
	EMBARCADERO (MARK LINE)
	N, F, M (CANTON/UNION)
TOWN BUS ROUTES	
	FERRY PLAZA (FERRY & MARINA)
	TRANSRAY TERMINAL
	CALTRAIN DEPOT
	EAST BAY OAKLAND AIRPORT

WESTBOUND TOLL \$4.00 to \$6.00

13.0080 A

CHIMNEY BRACING 218 UNION STREET SAN FRANCISCO, CA 94133

REVISIONS	BY
2 04/15/2013	J.L.

AERIAL VIEW



PROJECT INFO

OWNER:

PROJECT CONTACT: SANTOS & URRUTIA STRUCTURAL ENGINEERS
2451 HARRISON STREET
SAN FRANCISCO, CALIFORNIA 94110
(415) 642-7722
(415) 642-7590

BUILDING INFO:

BLOCK: 0106
LOT: 038
BUILDING USE: 7-UNIT RESIDENTIAL
TYPE OF CONSTRUCTION:
NUMBER OF STORIES: 4
OCCUPANCY CLASS:
NUMBER OF DWELLING UNITS: 7

APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA PLUMBING CODE

SHEET INDEX

A0 - TITLE SHEET, DRAWING INDEX, GENERAL INFO AND SITE PLAN.
A1 - A5 - ARCHITECTURAL PLANS
S1,0 - GENERAL STRUCTURAL NOTES
S2 - CHIMNEY BRACING / ROOF PLAN
S3 - STRUCTURAL DETAILS

SCOPE OF WORK:

- RESPONSE TO N.O.V.'s:

201162708, 201174493, 201266101, 201268207, 201282872, 201113982,
201113982 - CHIMNEY FLUE BRACING CORRECTION,
201282872 - HAZARDOUS BUILDING ISSUES RAILING

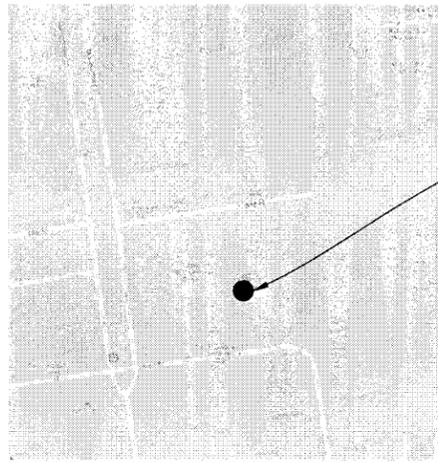
- ROOF AREA IMPROVEMENTS
- NEW BRACING FOR CHIMNEY PIPES
- NEW FIREWALL
- NEW GUARDRAIL AT ROOF

2 04/15/2013 - REVISION TO BRACING OF CHIMNEY PIPES

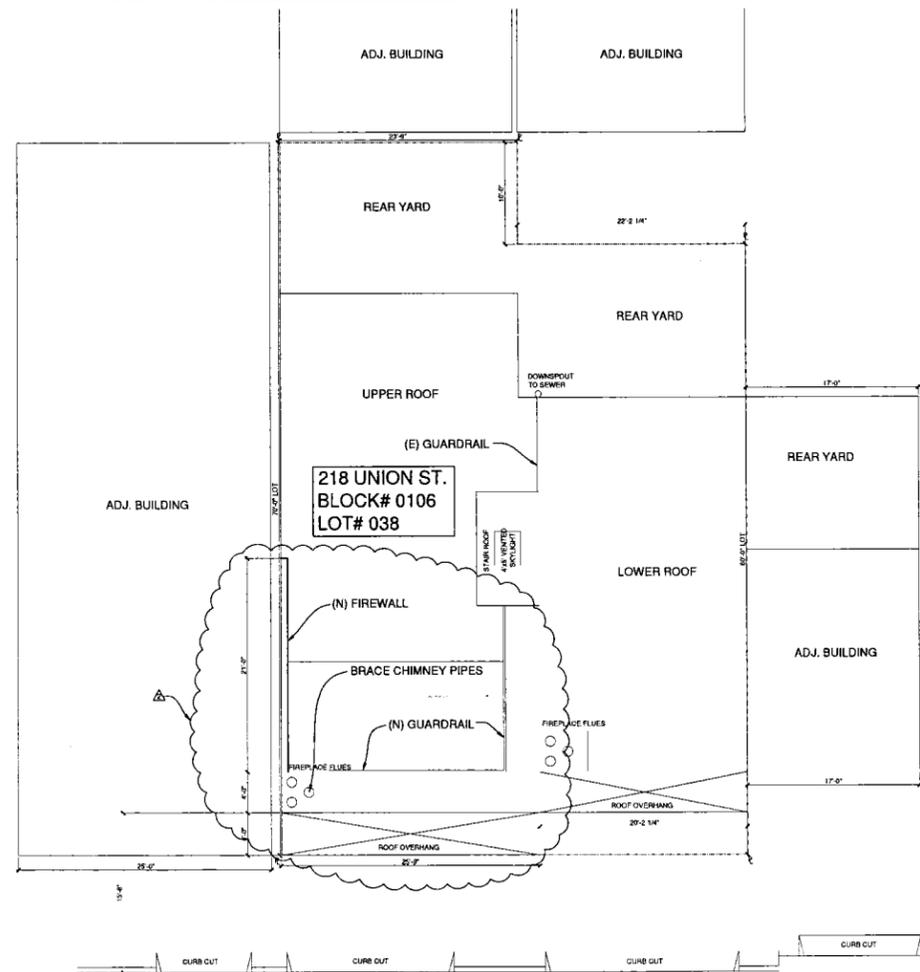
DRAWING SYMBOLS

- BUILDING ELEVATION TAG
 - BUILDING SECTION TAG
 - WINDOW / STOREFRONT TAG
 - DETAIL TAG
 - INT. WALL TYPE TAG (NUMBERS)
 - EXT. WALL TYPE TAG (LETTERS)
 - KEY NOTE
 - DOOR TAG
- LOWER CASE LETTER DENOTES SUBCATEGORY

LOCATION MAP



SUBJECT PROPERTY



SITE PLAN

SCALE: 1/8" = 1'-0"

UNION STREET



SANTOS & URRUTIA
STRUCTURAL
ENGINEERS INC.
2451 HARRISON STREET
SAN FRANCISCO, CA 94110
TELEPHONE: (415) 642-7722
FAX: (415) 642-7590



TITLE SHEET, PROJECT INFO, AERIAL
VIEW VICINITY MAP, LOCATION MAP,
SHEET INDEX AND SITE PLAN

CHIMNEY BRACING
218 UNION STREET
SAN FRANCISCO, CA

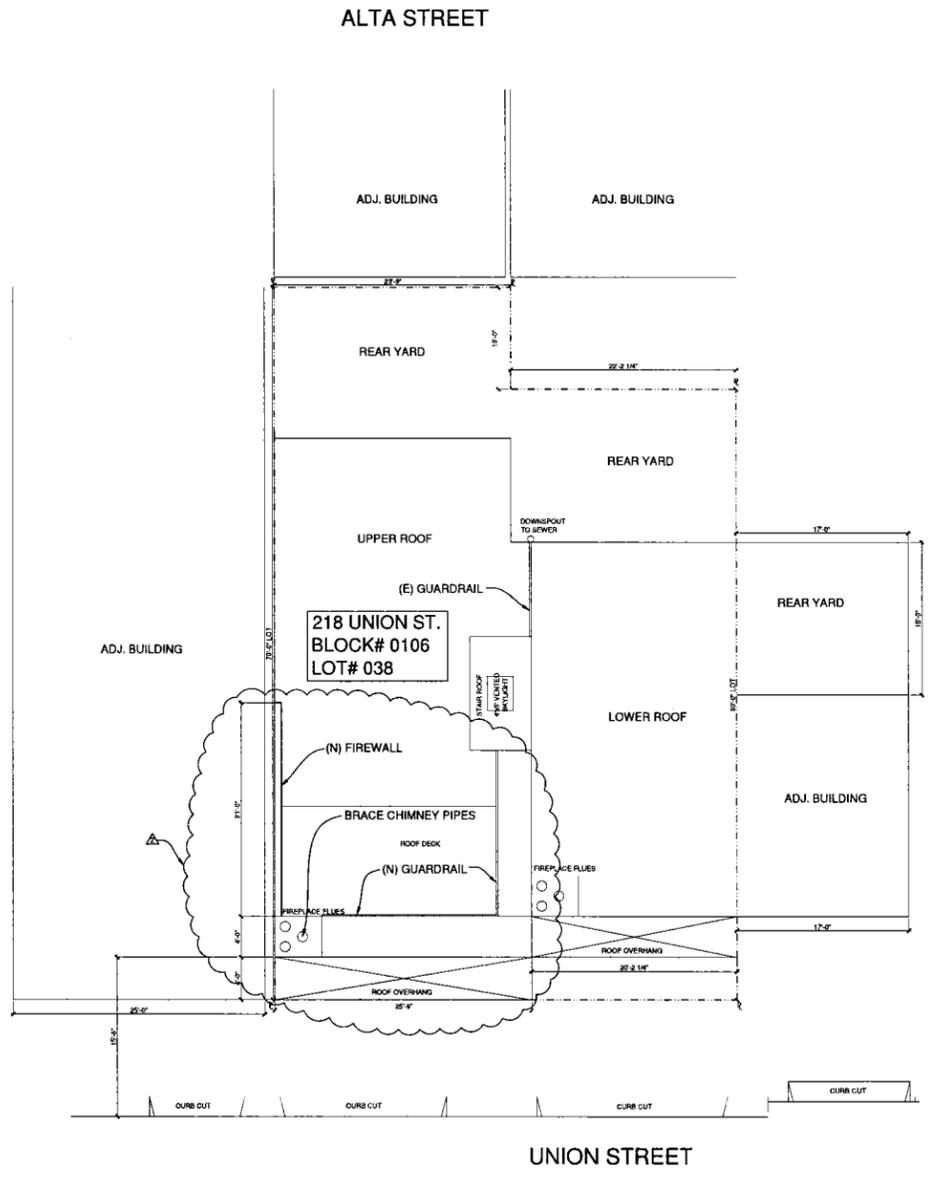
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Job No:	8910
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 3/24 8910 01/06/13 KLAWA

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XREF:



PLOT PLAN
 SCALE: 1/8"=1'-0"

GENERAL NOTES

THE USE OF THESE DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT SHALL CONSTITUTE THE CONTRACTOR'S REPRESENTATION THAT IT HAS REVIEWED AND VERIFIED THE BUILD ABILITY OF THE PROJECT AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE, AND WORKMANSHIP STANDARDS. ALL CONTRACTORS SHALL HOLD HARMLESS THE DESIGNER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND UNIFORM BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE UBC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE DESIGNER SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

ALL ATTACHMENTS, CONNECTIONS PR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY, DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.

UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.

CODE DATA
ALL WORK SHALL COMPLY WITH SAN FRANCISCO MUNICIPAL BUILDING CODE
OCCUPANCY GROUP - R-1/U-1 TYPE OF CONSTRUCTION - V-ONE HOUR

CLIENT INFORMATION
CLIENT: 218TIC
ADDRESS: 218 UNION STREET
CITY: SAN FRANCISCO, CA
PHONE: 415-834-0508

SCOPE OF WORK
ROOF AREA IMPROVEMENTS
1) TO COMPLY WITH N.O.V. #'s
201162708
201174493
201266101
201268207
201282872
201113982

REVISIONS	BY
2 04/15/2013	J.L.

SANTOS & URRUTIA
 STRUCTURAL
 ENGINEERS
 2451 HARRISON STREET
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 642-7722
 FAX (415) 642-7590



PLOT PLAN AND GENERAL NOTES

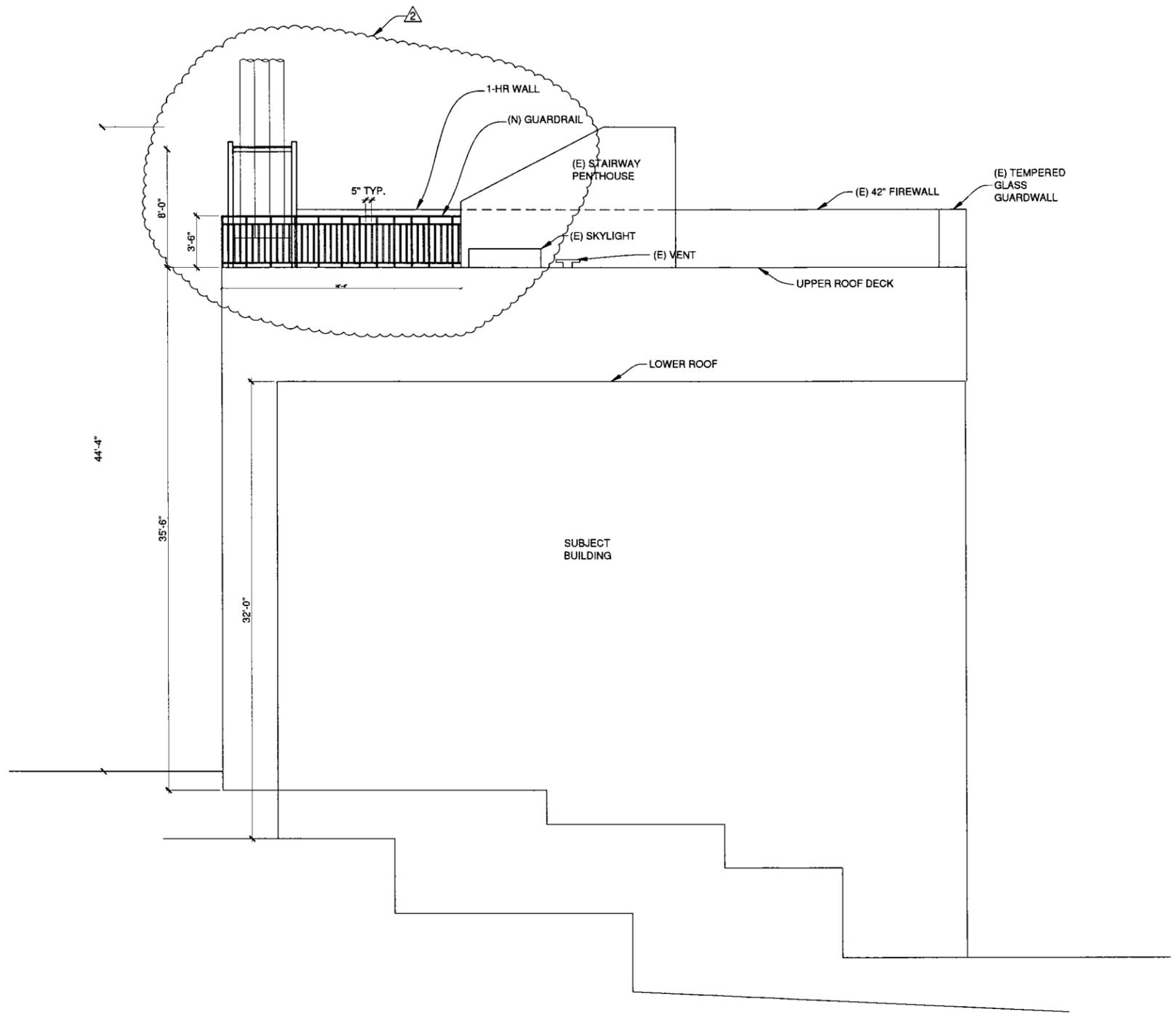
CHIMNEY BRACING
 218 UNION STREET
 SAN FRANCISCO, CALIFORNIA

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Job No:	8910
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WEST ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS	BY
2 04/15/2013	J.L.

SANTOS & URRUTIA
 STRUCTURAL
 ENGINEERS
 2451 HARRISON STREET
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 642-7722
 FAX (415) 642-7590



WEST ELEVATION

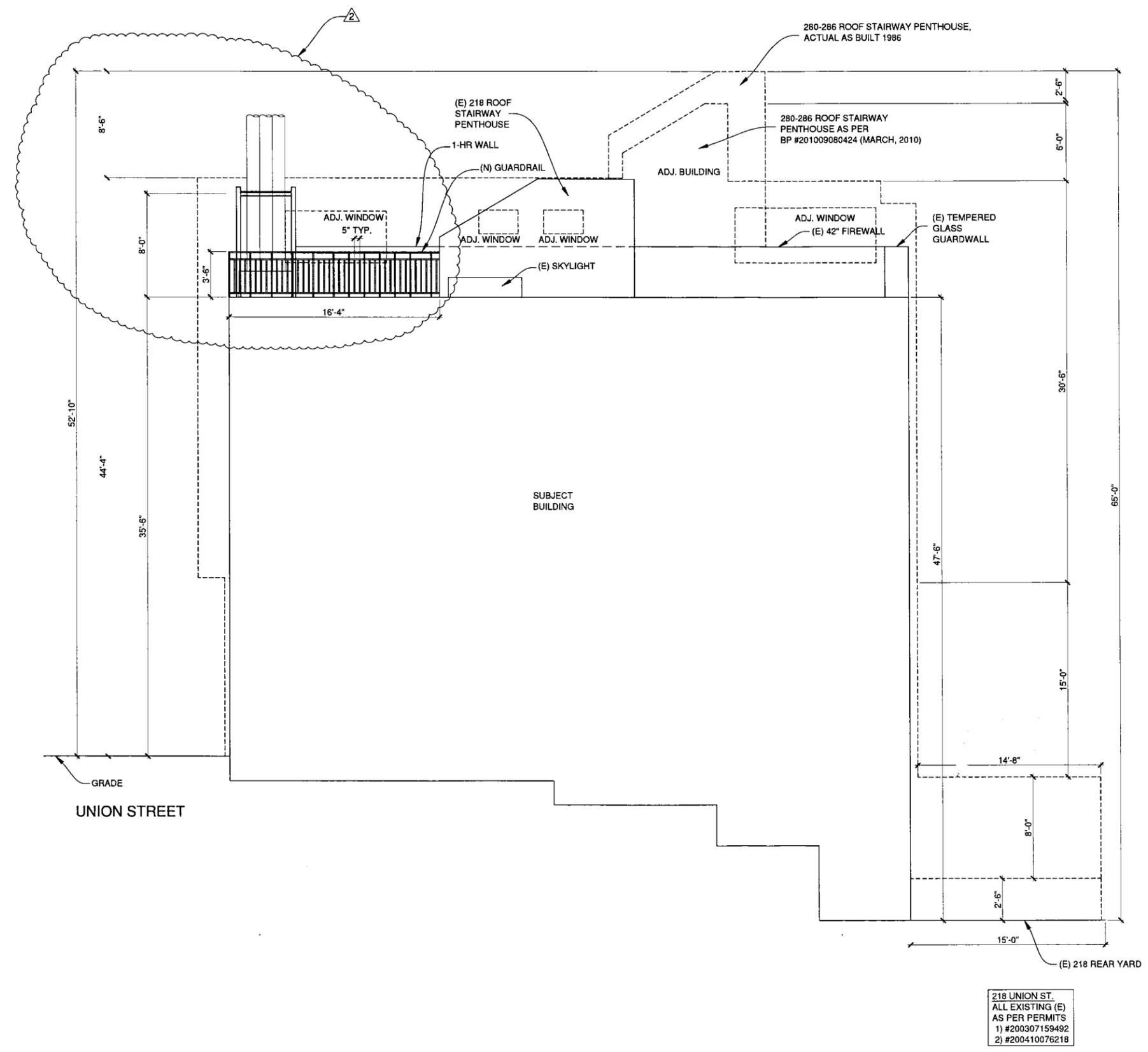
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 218 UNION STREET
 SAN FRANCISCO, CALIFORNIA

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XREF:



218 UNION ST.
 ALL EXISTING (E)
 AS PER PERMITS
 1) #200307159492
 2) #200410076218

WEST ELEVATION w/ 280-286 UNION DETAIL
 SCALE: 1/4"=1'-0"

REVISIONS	BY
2 04/15/2013	J.L.

SANTOS & URRUTIA
 STRUCTURAL
 ENGINEERS INC
 2451 HARRISON STREET
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 642-7722
 FAX (415) 642-7290



**WEST ELEVATION
 w/ 280-286 UNION DETAIL**

CHIMNEY BRACING
 218 UNION STREET
 SAN FRANCISCO, CALIFORNIA

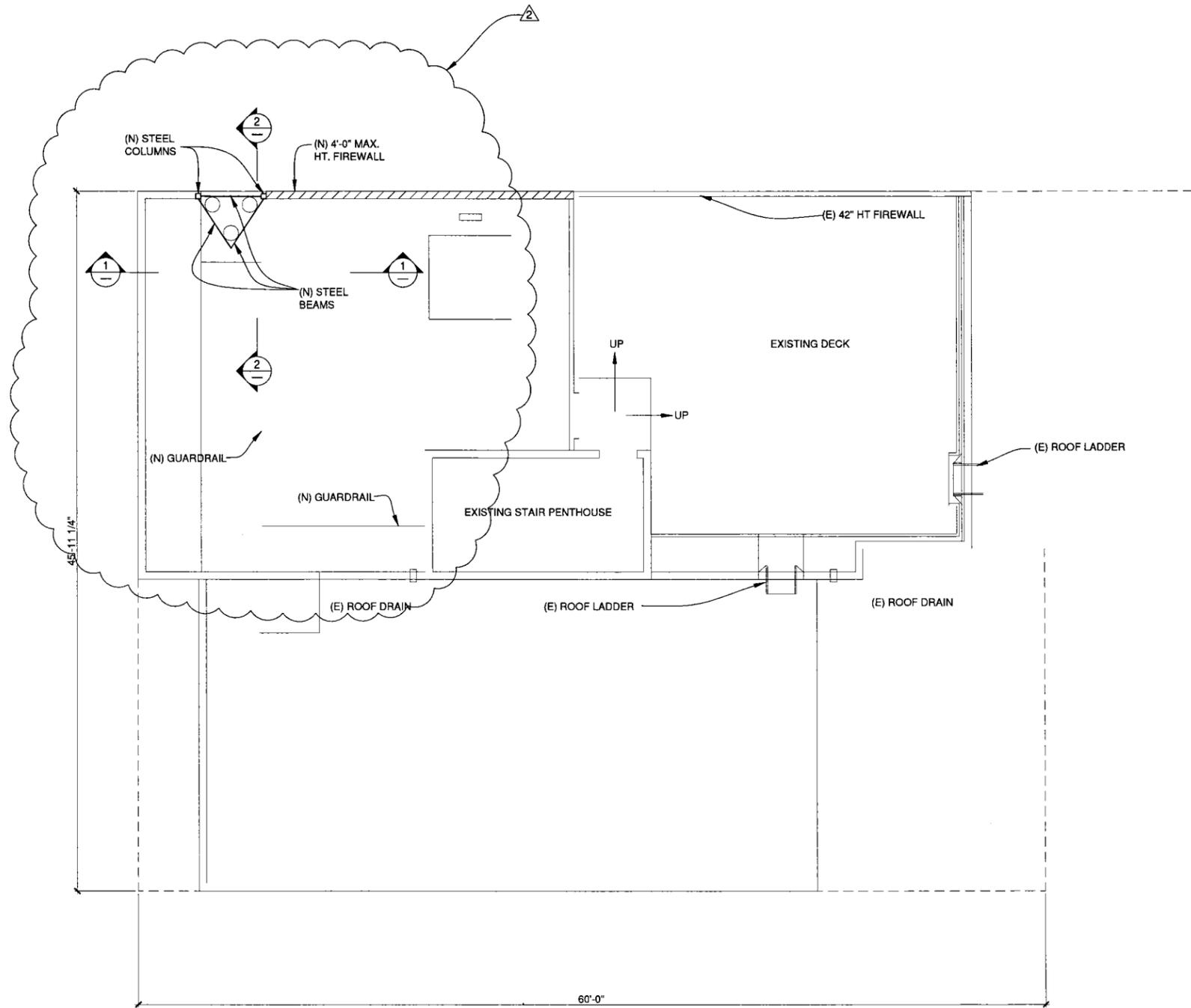
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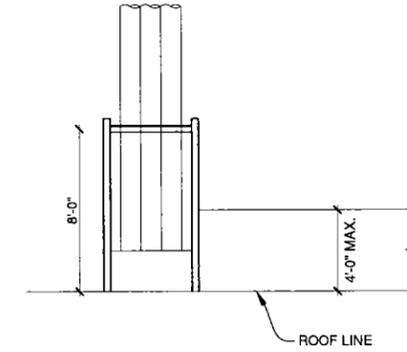
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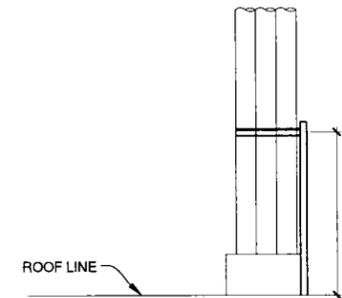
3624 8910 01/06/13 KLARA



ROOF PLAN
SCALE: 1/4"=1'-0"



SECTION 1 - 1
SCALE: 1/4"=1'-0"



SECTION 2 - 2
SCALE: 1/4"=1'-0"

REVISIONS	BY
2 04/15/2013	J.L.

SANTOS & URRUTIA
STRUCTURAL
ENGINEERS
2451 HARRISON STREET
SAN FRANCISCO, CA 94110
SAN FRANCISCO, CA 94110
FAX: (415) 842-7590



CHIMNEY BRACING PLAN

CHIMNEY BRACING
218 UNION STREET
SAN FRANCISCO, CALIFORNIA

Date:	02/27/13
Scale:	1/4"=1'-0"
Drawn By:	A.U.
Job No:	8910

Sheet
A5
Of 9 Sheets

GENERAL STRUCTURAL NOTES

I. GENERAL

- A. ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE 2010 EDITION w/ AMENDMENTS BY LOCAL JURISDICTIONS.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER.
- C. OMISSIONS OR CONFLICT BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- D. DO NOT USE SCALED DIMENSIONS; USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- E. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- F. FOR WATERPROOFING, FIREPROOFING, ETC. REFER TO DRAWINGS OTHER THAN STRUCTURAL.
- G. SEE DRAWINGS OTHER THAN STRUCTURAL FOR: KINDS OF FLOOR FINISH AND THEIR LOCATION, FOR DEPRESSIONS IN FLOOR SLABS, FOR OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, FOR ROADWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.
- H. HOLES AND OPENINGS THROUGH WALLS AND FLOORS FOR DUCTS, PIPING AND VENTILATION SHALL BE CHECKED BY THE CONTRACTOR, WHO SHALL VERIFY SIZES AND LOCATION OF SUCH HOLES OR OPENINGS WITH THE PLUMBING HEATING, VENTILATING AND ELECTRICAL DRAWINGS AND THESE SUB-CONTRACTORS.
- I. NO PIPES AND DUCTS SHALL BE PLACED IN SLABS OR WALLS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE ARCHITECT.
- J. DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING. THE SUBCONTRACTOR SHALL UNDERTAKE ALL NECESSARY MEASURES TO INSURE SAFETY OF ALL PERSONS AND STRUCTURES AT THE SITE AND ADJACENT TO THE SITE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT, ENGINEER SHALL NOT RELIEVE THE SUBCONTRACTOR OF SUCH RESPONSIBILITY.
- K. NOTE THAT SHEET S1 IS A STANDARD COVER SHEET AND AS SUCH, NOT ALL TYP. DETAILS AND OR NOTES APPLY TO EVERY PROJECT.

II. DESIGN CRITERIA

- A. APPLICABLE CODE: CALIFORNIA BUILDING CODE 2010 & SFBC 2010.
- B. VERTICAL LIVE LOADS: (REDUCIBLE). ROOF: 20 PSF. FLOOR: 40 PSF. HALLWAYS & CORRIDORS: 100 PSF.
- C. LATERAL LOADS:
 - 1. WIND: 85 MPH. BASIC WIND SPEED

III. MATERIALS

- A. CONCRETE:
 - 1. REINFORCING STEEL: ASTM A615, GRADE 60, #4 AND SMALLER, GRADE 40.
 - 2. CONCRETE: NORMAL WEIGHT U.O.N. WITH COMPRESSIVE STRENGTH OF THE FOLLOWING AT 28 DAYS:
 - FOOTINGS, MAT SLAB & DRILLED PIERS: 3000 psi
 - WALLS, COLUMNS: 5000 psi
 - STRUCTURAL SLAB (L.W. P.T. SEE S3.2): 5000 psi
 - 3. MINIMUM CONCRETE COVER FOR REINFORCING STEEL:
 - a. SURFACE POURED AGAINST GROUND 3"
 - b. FORMED SURFACES BELOW GRADE 2"
 - c. SURFACES EXPOSED TO WEATHER 2"
 - d. BEAM BARS (INCLUDING STIRRUPS) 1-1/2"
 - e. ALL OTHER 1"
 - 4. ANCHOR BOLT EPOXY*: HILTI HIT-RE 500-SD. (ICC ESR-2322) OR SIMPSON SET-XP (ICC ESR-2508)
 - 5. SCREW ANCHORS*: SIMPSON TITEN HD (ICC ESR-2713)
- * USE COMPRESSED AIR TO BLOW THE DUST OUT OF ANCHOR BOLT HOLES.

- B. CMU: UNITS 1500 PSI, MORTAR (TYPE 'S'), GROUT 2000 PSI
- C. STEEL
 - 1. SHAPES AND PLATES: ASTM A 36; TUBES: ASTM A500, GRADE B.
 - 2. MOMENT FRAMES (BEAMS, COLUMNS): ASTM A992 OR A913 (50 ksi)
 - 3. MOMENT FRAMES (PLATES): A572, GRADE 50.
 - 4. METAL STUDS, SEE S1.4, NOTES
 - 5. METAL JOISTS, 50 ksi
 - 6. BOLTS: ASTM A307, U.O.N.
 - 7. WELDING ELECTRODES: E-70 FOR FULL PEN WELDS USE CHARPY V-NOTCH WIRE, MIN. 20 ft # @ OF
 - 8. METAL DECKING, SEE S1.5
- D. WOOD
 - 1. FRAMING LUMBER - DOUGLAS FIR LARCH
 - a. HEADERS, PLATES, JOISTS: NO.1
 - b. STUDS, BLOCKING: NO.2
 - c. ALL LUMBER IN CONTACT WITH CONCRETE: PRESERVATIVE TREATED DOUGLAS FIR. (NOT CCA-C)
 - d. POSTS AND BEAMS: NO.1
 - 2. PLYWOOD SHEATHING
 - a. SHEARWALL PLYWOOD : 1/2 INCH STRUCTURAL I, C-D EXTERIOR, APA RATED 32/16, SEE 6/51-1A, SHEARWALL SCHEDULE FOR THICKNESS.
 - b. ROOF SHEATHING: 5/8 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 32/16
 - c. FLOOR SHEATHING: 3/4 INCH STRUCTURAL II, C-D EXTERIOR APA RATED 48/24
 - 3. FRAMING HARDWARE AND JOIST HANGERS:
 - AS MANUFACTURED BY SIMPSON STRONGTIE CO. OR APPROVED EQUAL. SIMPSON DESIGNATIONS USED. USE NAILS PER I.C.C. APPROVAL FOR EACH DEVICE.
 - 4. COMMON NAILS, UNLESS OTHERWISE NOTED. SHORT NAILS MAY BE USED PROVIDED THEY HAVE COMMON CODE SPECIFIED MINIMUM EMBEDMENT. ALL NAILING TO BE PER IBC TABLE NO. 2304.9.1 UNLESS NOTED OTHERWISE.
 - 5. GLU-LAM BEAMS: 24F-V4 (Fb=2400 PSI)
 - 6. PARALLAM & MICROLAM BEAMS AND TJI'S TO BE FABRICATED BY TRUS JOIST.
 - 7. FOR MICROLAMS SEE CODE EVALUATION: ICC-ES ESR-1387 B. FOR TJI JOISTS SEE CODE EVALUATION: ICC-ES ESR-1153

IV. EXPOSURE TO WEATHER:

A. STEEL:

- 1. ALL EXPOSED MEMBERS SHALL BE COATED WITH A ZINC RICH PRIMER.
 - 2. BOLTS, NUTS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED.
- B. WOOD:
- 1. ALL EXTERIOR TIMBER AND GLU-LAM BEAMS SHALL BE PRESSURE TREATED (BUT NOT CHROMATED COPPER ARSENATE) OR WOOD OF NATURAL RESISTANCE TO DECAY.
 - 2. ALL EXTERIOR HANGERS AND OTHER SIMPSON TYPE PRODUCTS SHALL BE GALVANIZED.
 - 3. ALL PLYWOOD SHALL BE OF AN EXTERIOR GRADE.
 - 4. METAL CONNECTORS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED w/ MIN. ZINC COATING OF G185.
 - 5. ALL NAILS & ANCHOR BOLTS IN CONTACT w/ PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

V. ABBREVIATIONS

- | | |
|---|-------------------------------------|
| B.N. — BOUNDARY NAILING | S.A.D. — SEE ARCHITECTURAL DRAWINGS |
| DIA. — DIAMETER | S.O.G. — SLAB-ON-GRADE |
| E.N. — EDGE NAILING | S.S. — STAINLESS STEEL |
| H.P. — HIGH POINT | T.O. — TOP OF |
| L.P. — LOW POINT | TYP. — TYPICAL |
| LVL — LAMINATED VENEER LUMBER | U.O.N. — UNLESS OTHERWISE NOTED |
| L.W. — LIGHT WEIGHT | W.W.F. — WELDED WIRE FABRIC |
| M.L. — MICROLAM | |
| PLWD — PLYWOOD SHEATHING | |
| PSL — PARALLEL STRAND LUMBER | |
| P.T. — PRESSURE TREATED OR POST-TENSIONED | |

SYMBOLS

- | | | | |
|--|--------------------------------------|--|---|
| | (E) WALL BELOW | | STEEL COLUMN ABOVE |
| | (E) WALL ABOVE | | STEEL COLUMN BELOW |
| | (N) CONC. WALL ABOVE | | MOMENT CONNECTION |
| | BRICK OR CMU WALL ABOVE | | CONCRETE TOPPING OVER PLYWOOD |
| | WOOD SHEARWALL (BELOW) | | CONCRETE TOPPING OVER CORRUGATED METAL DECK |
| | WOOD JOIST HANGER (HUS TYPE, U.O.N.) | | CONCRETE COLUMN ABOVE |
| | WOOD POST BELOW | | CONCRETE COLUMN BELOW w/ DROPCAP |
| | WOOD POST ABOVE (OR ABOVE & BELOW) | | DRILLED CONCRETE PIER |
| | HOLDOWN @ WOOD POST | | PRECAST, PRESTRESSED CONCRETE PILE |
| | | | DIAGONAL ABOVE |
| | | | DIAGONAL BELOW |

REVISIONS	BY
2	J.L.
04/15/2013	

SANTOS & URRUTIA
STRUCTURAL
ENGINEERS
INC.
2451 HARRISON STREET
SAN FRANCISCO, CA 94110
TELEPHONE (415) 642-7722
FAX (415) 642-7590



GENERAL STRUCTURAL NOTES

CHIMNEY BRACING
218 UNION STREET
SAN FRANCISCO, CA

Date:	02/27/13
Scale:	AS NOTED
Drawn By:	A.U.
Job No:	8910
Sheet	S1.0
Of 9	Sheets

City and County of San Francisco
Department of Building Inspection

Garvin Newsom, Mayor
Vivian L. Day, C.B.O., Director

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1710. The building permit will not be finalized without compliance with the structural observation requirements.

Special Inspection Services Contact Information

- Telephone: (415) 558-6132
- Fax: (415) 558-6474
- Email: dbi.specialinspections@sfgov.org
- In person: 3rd floor at 1660 Mission Street

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
1660 Mission Street - San Francisco, CA 94103
Office (415) 558-6132 - FAX (415) 558-6474 - www.sfdbi.org

JOB ADDRESS _____ APPLICATION NO. _____ ADDENDUM NO. _____

OWNER NAME _____ OWNER PHONE NO. (_____) _____

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1710. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1701;1703;1704 (2010 SFBC), Special Inspection and/or testing is required for the following work:

1. Concrete (Reinforcement & casting)	6. High-strength bolting	18. Bolts installed in existing concrete or masonry
2. Bolted steel-to-concrete	7. Structural masonry	19. Grout
3. Seismic retrofit	8. Reinforced grout-in-place concrete	20. Pullout tests per SFBC Sec. 1607C & 1615C
4. Reinforcing steel and prestressing tendons	9. Welding concrete fill	21. Shear walls and floor systems (a) (a)
5. Structural welding	10. Sprayed-on waterproofing	22. Special cases:
A. Periodic visual inspection	11. Piling, drilled piers and caissons	23. Shoring
1. Single pipe (less than 16" or smaller)	12. Structures	24. Underpinning (Not affecting adjacent property)
2. Steel deck	13. Special grouting, excavation and filling (Geo. Engineers)	25. Others (As recommended by professional of record)
3. Welded studs	14. Smoke control system	
4. Cold formed studs and joists	15. Demolition	
5. Nail and nailing systems	16. Exterior Facade	
6. Reinforcing steel	17. Retrofit of unreinforced masonry buildings	26. Crane safety (Apply to the operation of tower cranes on project building)
B. Continuous visual inspection and NDT (Section 1704)	1. Testing of mortar quality and shear tests	27. Others (As recommended by professional of record)
1. All other casting (NOT annotation: Filled with)	2. Inspection of rebaring operations	
2. Reinforcing steel and NUT required	3. Installation inspection of new shear walls	
3. Moment-resisting frames	4. Pre-installation inspection for embedded bolts	
4. Others	5. Pullout tests per SFBC Sec. 1607C & 1615C	

24. Structural observation per Sec. 1710 (2010 SFBC) for the following: Foundations Slab framing
 Concrete construction Masonry construction Wood framing
 Other _____

25. Certification (As required for) Quality comparisons

Prepared by: _____ Phone: (_____) _____
Engineer/Architect of Record

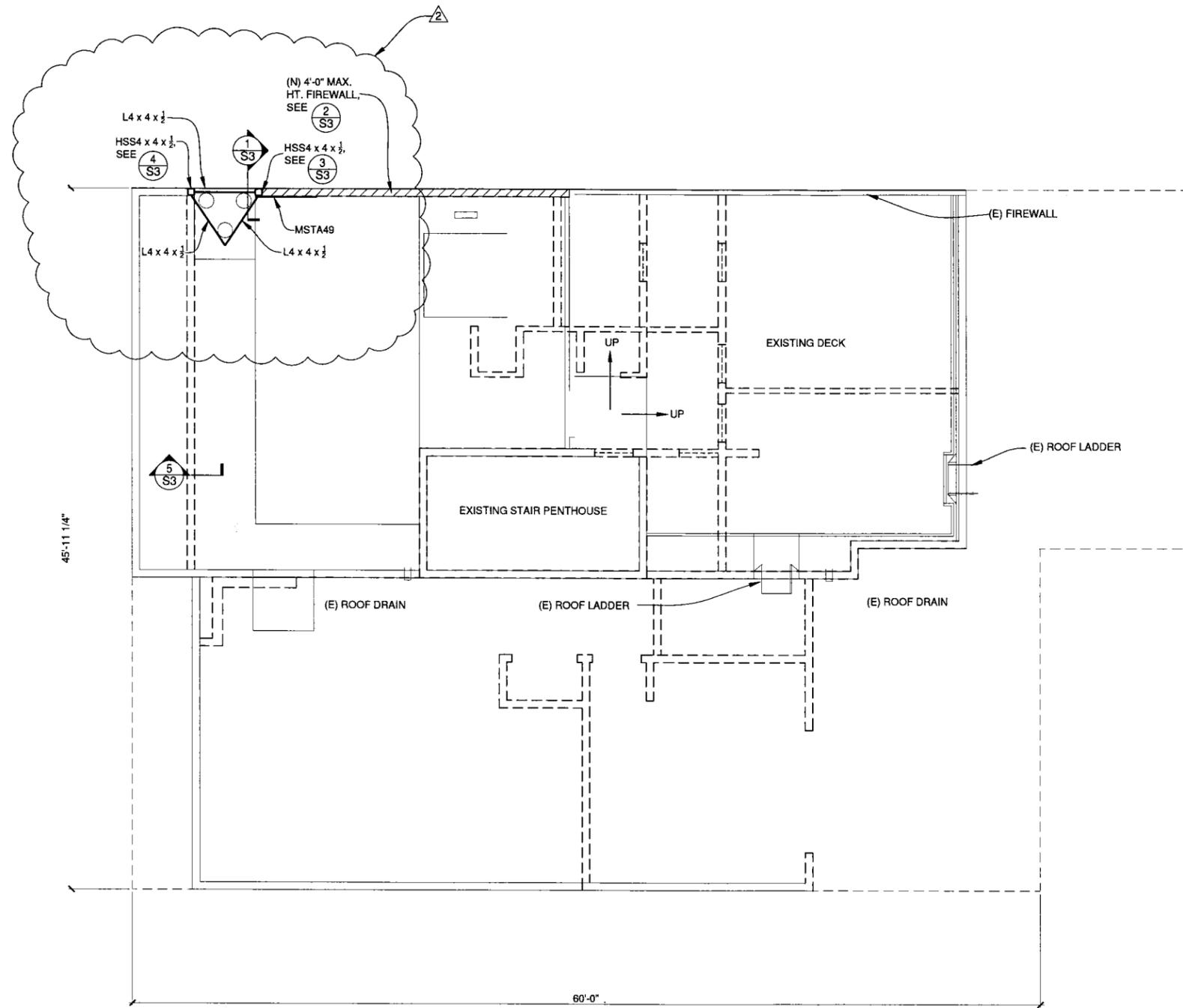
Required information:
FAX: (_____) _____ Email: _____

Review by: _____ Phone: (415) 558-_____
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:
Special Inspection Services (415) 558-6132 or dbi.specialinspections@sfgov.org or FAX (415) 558-6474



CHIMNEY BRACING PLAN

SCALE: 1/4" = 1'-0"



REVISIONS	BY
2	J.L.

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CHIMNEY BRACING PLAN

CHIMNEY BRACING
 218 UNION STREET
 SAN FRANCISCO, CALIFORNIA

Date:	02/27/13
Scale:	1/4" = 1'-0"
Drawn By:	A.U.
Job No:	8910
Sheet	S2
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MEMORANDUM

TO : All Interested Parties

FROM : Vivian L. Day, C.B.O. *Vivian L. Day*
Director

DATE : February 10, 2009 (supersedes memo dated January 9, 2008)

SUBJECT : **San Francisco Solar Photovoltaic Permitting Procedures**

The following interim procedures apply to solar photovoltaic permitting and inspection activities in San Francisco until superseded:

1. **No Planning Department review is typically required; *except*,**
 - Where the installation of the solar photovoltaic systems creates or is part of a vertical or horizontal addition to a building, such as a new roof structure or carport extending beyond the surface on which the photovoltaic system could be directly mounted.
2. **Electrical permits only are required for photovoltaic systems, and no building permits, building permit fees, or building inspections are typically required; *except*,**
 - Building permits may be required for structural or electrical systems that, in the opinion of the Director of the Department of Building Inspection, require additional permit review and associated fees to assure the public health and safety.
3. **Electrical permits for photovoltaic systems shall be charged at the rates established in San Francisco Building Code.** At the date of this memorandum, the rates are:
 - Up to 10 kW \$170.00 per system
 - Each additional 10 kW \$100
 - Plan review, where required \$187 per hour
 - Re-inspections, where required \$170 per hour

Additional permit processing fees will be charged per SFBC Fee Tables.

OFFICE OF THE DIRECTOR
1660 Mission Street – San Francisco CA 94103
Office (415) 558-6131 – FAX (415) 558-6225
Email: Vivian.Day@sfgov.org

4. **No submittal information, such as diagrams, site plans or roof layouts, is typically required; *except*,**
 - For photovoltaic systems greater than 4 kW output, the following information must be presented for over-the-counter review by Electrical Inspection Division staff:
 - a. Roof layout showing location of all equipment and required Fire Department access (see Items 6 through 10 below).
 - b. Single-line schematic diagram noting:
 - i. System grounding
 - ii. Module ratings
 - iii. Wiring methods
 - iv. Conductor size and insulation types
 - v. Over current devices
 - vi. Disconnect means
 - vii. Inverter rating(s)
 - c. Structural system details for non-standard rack installations.
5. **On a flat roof (up to 3:12) with only one street frontage, a three foot clear walkway must be provided along the roof edge of the roof facing the street and a 3-foot clear walkway, provided at any location, must allow access to the rear of the building. On a case-by-case basis, the Fire Department will consider alternatives or exceptions to these requirements.**
6. **On a flat roof (up to 3:12) on a corner lot having two street frontages, a three foot clear area must be provided along the roof edges facing both streets. No other walkway is required. On a case-by-case basis, the Fire Department will consider alternatives or exceptions to these requirements.**
7. **On a pitched roof (over 3:12) a three foot clear walkway must be provided along the roof edge facing the street and a clear area measuring at least 18 inches, measured on the roof surface, must be provided from the ridge of the roof to the edge of the photovoltaic array. On a case-by-case basis, the Fire Department will consider alternatives or exceptions to these requirements.**
8. **Clear access to fire standpipes and other emergency equipment on roofs must be maintained.**
9. **If the roof area is greater than 5000 square feet and the photovoltaic system covers more than 80% of the roof area, the photovoltaic array layout must be reviewed by the Fire Department to assure sufficient emergency access. The Fire Department will accomplish this review over-the-counter at no fee.**
10. **Solar photovoltaic panels must be supported on the roof or surface of the building that they serve.**

11. Solar photovoltaic panels may be installed over only one roof covering of a flat/built up roof or over two roof coverings of a shingled roof unless otherwise approved by the Department of Building Inspection. The Department of Building Inspection will review such requests over-the-counter at no fee. Requests should be accompanied by details of current roof assemblies and approximate weights per square foot of roofing material.
12. Storage batteries may not be connected to the solar photovoltaic system unless a separate electrical permit is procured based on detailed plans for the system installation. A building permit is required if such batteries contain more than 50 gallons of battery acid or are installed on a rack over five feet, nine inches high.
13. Structural safety for photovoltaic system installations may be assured in any one of the following four ways:

I. Install a structural mounting system that is pre-approved by the Department of Building Inspection. Contractors must have pre-approved structural documents available on the site at the time of Electrical inspection, or

II. Meet the following minimum standards for fasteners of rack systems to roof:

a. Table of fasteners -

<u># modules (max size 4'x6')</u>	<u>minimum # of mounting points</u>
1	4
2	4
3	6
4	8
5	10
6	12
7	14

o Double number of modules for mounting points

o Assume two bolts per mounting point.

b. Lag bots to be 1/4" if 4" embedment into wood joist material, 5/16" if 3" embedment

c. Use appropriate fasteners if rack supports are supported by materials other than wood joists

d. Maximum panel load is to be no greater than 8 pounds per square foot.

III. Install a standard manufactured rack and panel mounting system in accordance with manufacturer's installation instructions; or

IV. Have the structural mounting system approved by a Department of Building Inspection engineer on a case-by-case basis as an over-the-counter, no-fee review. Provide rack installation design drawings and related materials for review.

Since little technical review is required prior to permit issuance, permit holders must be prepared to show conformance with all technical requirements in the field at the time of inspection.

At this time, please use the form for *Electrical Permit Application for Roof-Mounted Solar Photovoltaic Systems*. This form is available on-line at the Department of Building Inspection website at www.sfgov.org/site/dbi_page.asp?id=18633 or at the Department of Building Inspection offices. For technical information regarding electrical permits and installations, please contact the Electrical Inspection Division at 415-558-6654.

Please note that these procedures are still under active review. Comments or questions regarding Solar PV permitting policies are appreciated; please contact Laurence Kornfield, Chief Building Inspector, at 415-558-6244 or at Laurence.Kornfield@SFGov.org.

Thank you.

VLD/LK/ce