



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report

HEARING DATE: JUNE 5, 2013

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Filing Date:* February 5, 2013  
*Case No.:* **2013.0126A**  
*Project Address:* **1164 Fulton Street**  
*Historic Landmark:* Alamo Square Landmark District  
*Zoning:* RH-3 (Residential, House, Three-Family)  
40-X Height and Bulk District  
*Block/Lot:* 0777/011  
*Applicant:* Patrick Perez, Architect  
5429 Telegraph Avenue  
Oakland, CA 94609  
*Staff Contact* Shelley Caltagirone - (415) 558-6625  
shelley.caltagirone@sfgov.org  
*Reviewed By* Tim Frye – (415) 575-6822  
tim.frye@sfgov.org

### PROPERTY DESCRIPTION

**1164 FULTON STREET**, north side between Scott and Pierce Streets. Assessor's Block 0777, Lot 011. The subject lot is approximately 25 feet wide and 100 feet deep with a four-unit, two-story-over-basement residence. The subject property contains a "potentially compatible" building within the Alamo Square Landmark District, designated in 1984. The building at 1164 Fulton Street was designed in the Stick style by architect J.C. Robinson and constructed in 1888. The building was altered several times in the 20<sup>th</sup> century. The property is zoned RH-3 (Residential, House, Three-Family) District and is in a 40-X Height and Bulk District.

The Alamo Square Landmark District contains buildings in a variety of architectural styles, approximately half of which are Victorian and one-third of which are Edwardian. The typical building height is two to three stories; however, the district contains a number of apartment buildings reaching up to 6 stories in height that are also included as contributing buildings. The Alamo Square Landmark District designation report describes the area as "unified in its residential character, relatively small scale, construction type, materials (principally wood), intense ornamentation (especially at entry and cornice), and use of basements and retaining walls to adjust for hillside sites." Historically, the Alamo Square neighborhood was first established as an enclave for primarily upper-middle class residents, often business men and their families. As a result, the area contains a higher than average percentage of architect-designed homes. Later, from about 1912 to 1934, new construction in the neighborhood consisted primarily of apartment blocks, usually replacing earlier large dwellings. During the latter half of the period of significance, the district increased in density and attracted a growing number of renters. Physical development of the area essentially ended with the Great Depression.

## PROJECT DESCRIPTION

The proposal includes four components: (1) modifying the existing garage opening at the basement level of the front façade to create a 8'-wide by 7'-tall opening flush with the main wall; (2) restoring the primary façade by recreating and reinstalling horizontal wood siding, wood double-hung windows, window trim and hoods, cornice brackets and panels, the raised entry porch and stair, and other ornamental woodwork based upon historic photographs and physical evidence; (3) replacing the paired windows at the second and third floors on the side (east) façade with tripled windows, salvaging and modifying the historic trimwork to fit the new width; and, (4) constructing a 10'-tall stair penthouse and roof deck with a 42"-tall glass or cable railing at the rear of the building.

## OTHER ACTIONS REQUIRED

The Project Sponsor will also be seeking a Dwelling Unit Merger under a future building permit application.

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all provisions of the Planning Code.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a historic district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

### ARTICLE 10 – Appendix E – The Alamo Square Historic District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Alamo Square Historic District as described in Appendix E of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

## THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1.** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

*The project would retain the residential use on the lot, while restoring the distinctive materials and features of the historic façade based on photographic and physical evidence. The proposed stair penthouse and roof deck would be minimally visible from the public right-of-way due to their location towards the rear of the building and the tall historic parapet. For these reasons, the project would cause minimal or no change to the distinctive materials, features, spaces, and spatial relationships of the property.*

**Standard 2.** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The historic character of the building's front façade would be restored by this project, using historic photographs and physical evidence to replicate the original details. The work at the primary façade would include recreating and reinstalling horizontal wood siding, wood double-hung windows, window trim and hoods, cornice brackets and panels, the raised entry porch and stair, and other ornamental woodwork. However, the project also proposes to modify two sets of paired windows at the side (east) façade, which are some of the few original features to have survived past alteration projects. While the overall integrity of the historic building would be improved by the proposed restorative work, this modification to the paired windows would diminish the integrity of original millwork and the fenestration pattern on this visible secondary facade.*

**Standard 3.** Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

*The proposed siding, windows, ornamental woodwork, stairs, and porch details would be designed based upon historic photographs and any evidence left in the building structure so that they would be accurate depictions of the original forms. Where fine-grained details cannot be determined, a simplified and contemporary form would be used. For example, the exact dimensions of the porch's spindle-work may not be evident; therefore, a form may be chosen to evoke the historic spindle-work while clearly reading as a contemporary substitute. Therefore, the work would not create a false sense of historical development. A similar method may be necessary to replace the front door and the wood panels above the windows if no evidence of their form is uncovered after removing the non-historic shingles. As proposed, the work at the east façade would create a false sense of historical development by modifying the original paired windows without indicating where new material and dimensions have been introduced.*

**Standard 5.** Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

*If any historic material is uncovered at the front façade and can be feasibly repaired, it would be preserved in place. As proposed, the project would alter the distinctive paired windows and trimwork at the secondary façade.*

**Standard 9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The proposed stair penthouse and roof deck additions would not destroy historic materials, features, or spatial relationships that characterized the property. They would only affect materials at the roof, which is not viewed from the public right-of-way. However, the proposed window modification at the east façade would not be differentiated from the old so that the original window design and materials would not be evident. Otherwise, the size, scale, and proportion of the modified windows would be compatible with the historic character of the building.*

**Standard 10.** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*Both the proposed additions and alterations could be removed in the future without harming the integrity of the historic building.*

## PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

## STAFF ANALYSIS

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is mostly compatible with the character-defining features of the subject building and with the Alamo Square Landmark District. The project would retain the residential use on the lot, while restoring the distinctive materials and features of the historic façade based on photographic and building evidence. The proposed stair penthouse and roof deck would be minimally visible from the public right-of-way due to their location towards the rear of the building and the tall historic parapet. The proposed siding, windows, ornamental woodwork, stairs, and porch details would be designed based upon historic photographs and any evidence left in the building structure so that they would be accurate depictions of the original forms. Where fine-grained details cannot be determined, a simplified and contemporary form would be used. If any historic material is uncovered at the front façade and can be feasibly repaired, it would be preserved in place.

However, the project also proposes to modify two sets of paired windows at the visible secondary (east) façade, which are some of the few original features to have survived past alteration projects. While the overall integrity of the historic building would be improved by the proposed restorative work, this modification to the paired windows would diminish the integrity of original millwork and the fenestration pattern on this visible secondary facade. The work would also create a false sense of historical development by modifying the original paired windows without indicating where new material and dimensions have been introduced. If the building retained high historic integrity overall, the

work may not have a significant effect on the character of the building, but considering the building's history of alterations, staff recommends retention of these original features.

## ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Structure) because the project includes a minor alteration of an existing structure that meets the *Secretary of the Interior's Standards*.

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to substantially meet the Secretary of the Interior Standards for Rehabilitation. Staff recommends the following conditions:

1. That the original paired windows on the secondary east façade be retained without modification.
2. That, as part of the Building Permit, the Project Sponsor shall submit additional information about the historic wood siding on the primary façade, including information on any scarring or shadow lines that denote removed trim and/or decorative details. Department Preservation staff shall conduct a site visit upon removal of the non-historic wood shingle siding. Upon removal of the siding and additional research, the Project Sponsor shall submit a revised façade elevation documenting to Department Preservation Staff for review and approval of the proposed window trim and details. New window trim and millwork shall be based upon documentary evidence from original wood siding, and shall accurately reflect the physical evidence, the subject property's original construction and the district's period of significance.
3. That, as part of the Building Permit, architectural drawings shall clearly denote that any existing horizontal wood siding shall be retained and repaired rather than replaced.
4. That, as part of the Building Permit, the Project Sponsor shall provide product specifications for the proposed new front door for review and approval by Planning Department Preservation Staff. The new door shall be of a design that is compatible with the character of subject building and historic district.

## ATTACHMENTS

Draft Motion

Parcel Map

1998 Sanborn Map

Aerial Photograph

Photographs

Plans

Historic Resource Evaluation Report, prepared by Tim Kelly Consulting, LLC

SC: G:\DOCUMENTS\Cases\COFA\Case Reports\1164 Fulton\_Case Report\_6.5.13.doc



# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission

### Motion No. #####

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Suite 400  
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tim.frye@sfgov.org

**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 0011 IN ASSESSOR'S BLOCK 0777, WITHIN AN RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on February 5, 2013, Patrick Perez, Architect, (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to modify the existing garage opening at the basement level of the front façade and create a 8'-wide by 7'-tall opening flush with the main wall; to restore the primary façade by recreating and reinstalling horizontal wood siding, wood double-hung windows, window trim and hoods, cornice brackets and panels, the raised entry porch and stair, and other ornamental woodwork based upon historic photographs and physical evidence; to replace the paired windows at the second and third floors on the side (east) façade with tripled windows, salvaging and modifying the historic trimwork to fit the new width; and, to construct a 10'-tall stair penthouse and roof deck with a 42"-tall glass or cable railing at the rear of the building.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on June 5, 2013, the Commission conducted a duly noticed public hearing on the current project, Case No. 2013.0126A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans labeled Exhibit A on file in the docket for Case No. 2013.0126A based on the following conditions and findings:

#### **CONDITIONS OF APPROVAL**

1. That the original paired windows on the secondary east façade be retained without modification.
2. That, as part of the Building Permit, the Project Sponsor shall submit additional information about the historic wood siding on the primary façade, including information on any scarring or shadow lines that denote removed trim and/or decorative details. Department Preservation staff shall conduct a site visit upon removal of the non-historic wood shingle siding. Upon removal of the siding and additional research, the Project Sponsor shall submit a revised façade elevation documenting to Department Preservation Staff for review and approval of the proposed window trim and details. New window trim and millwork shall be based upon documentary evidence from original wood siding, and shall accurately reflect the physical evidence, the subject property's original construction and the district's period of significance.
3. That, as part of the Building Permit, architectural drawings shall clearly denote that any existing horizontal wood siding shall be retained and repaired rather than replaced.
4. That, as part of the Building Permit, the Project Sponsor shall provide product specifications for the proposed new front door for review and approval by Planning Department Preservation Staff. The new door shall be of a design that is compatible with the character of subject building and historic district.

#### **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark district as described in the designation report.

- The project would retain the residential use on the lot, while restoring the distinctive materials and features of the historic façade based on photographic and building evidence.
- The proposed stair penthouse and roof deck would be minimally visible from the public right-of-way due to their location towards the rear of the building and the tall historic parapet.
- The proposed siding, windows, ornamental woodwork, stairs, and porch details would be designed based upon historic photographs and any evidence left in the building structure so that they would be accurate depictions of the original forms. Where fine-grained details cannot be determined, a simplified and contemporary form would be used.
- If any historic material is uncovered at the front façade and can be feasibly repaired, it would be preserved in place.
- The proposed project meets the requirements of Article 10, Appendix E of the Planning Code.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

***Standard 1.** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

***Standard 2.** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

***Standard 3.** Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

***Standard 5.** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

***Standard 9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

***Standard 10.** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

POLICY 2.5

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

POLICY 2.7

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the landmark for the future enjoyment and education of San Francisco residents and visitors.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project is for the rehabilitation of a residential property and will not have any impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the building in conformance with the Secretary of the Interior's Standards.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will not reduce the affordable housing supply as the existing unit will be retained.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed will not have any impact on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.*

H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for the parks and open space.*

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 011 in Assessor's Block 0777 for proposed work in conformance with the renderings and architectural plans labeled Exhibit A on file in the docket for Case No. 201.0126A.

**APPEAL AND EFFECTIVE DATE OF MOTION:** The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on June 5, 2013.

Jonas P. Ionin  
Acting Commission Secretary

AYES:

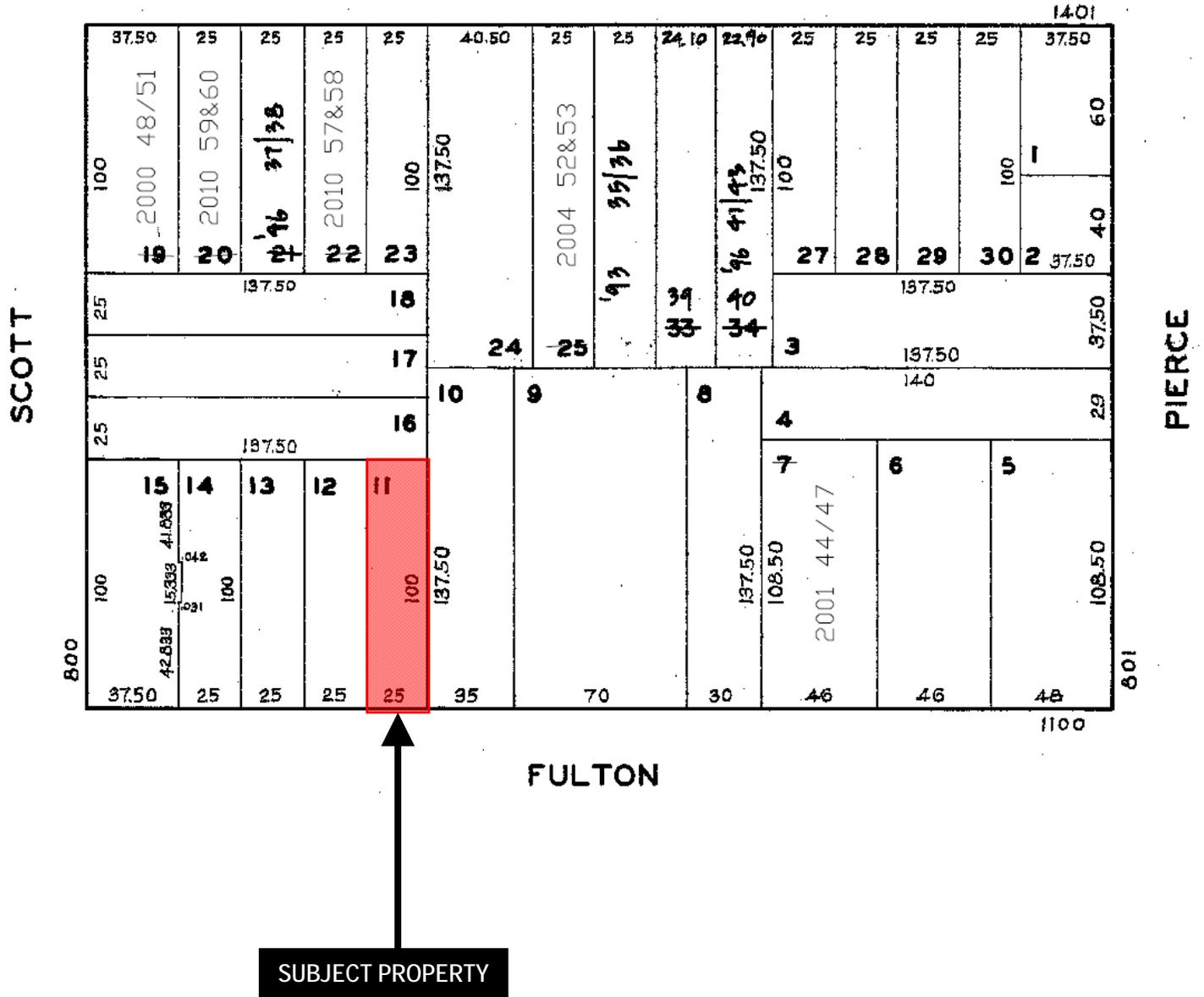
NAYS:

ABSENT:

ADOPTED:

# Parcel Map

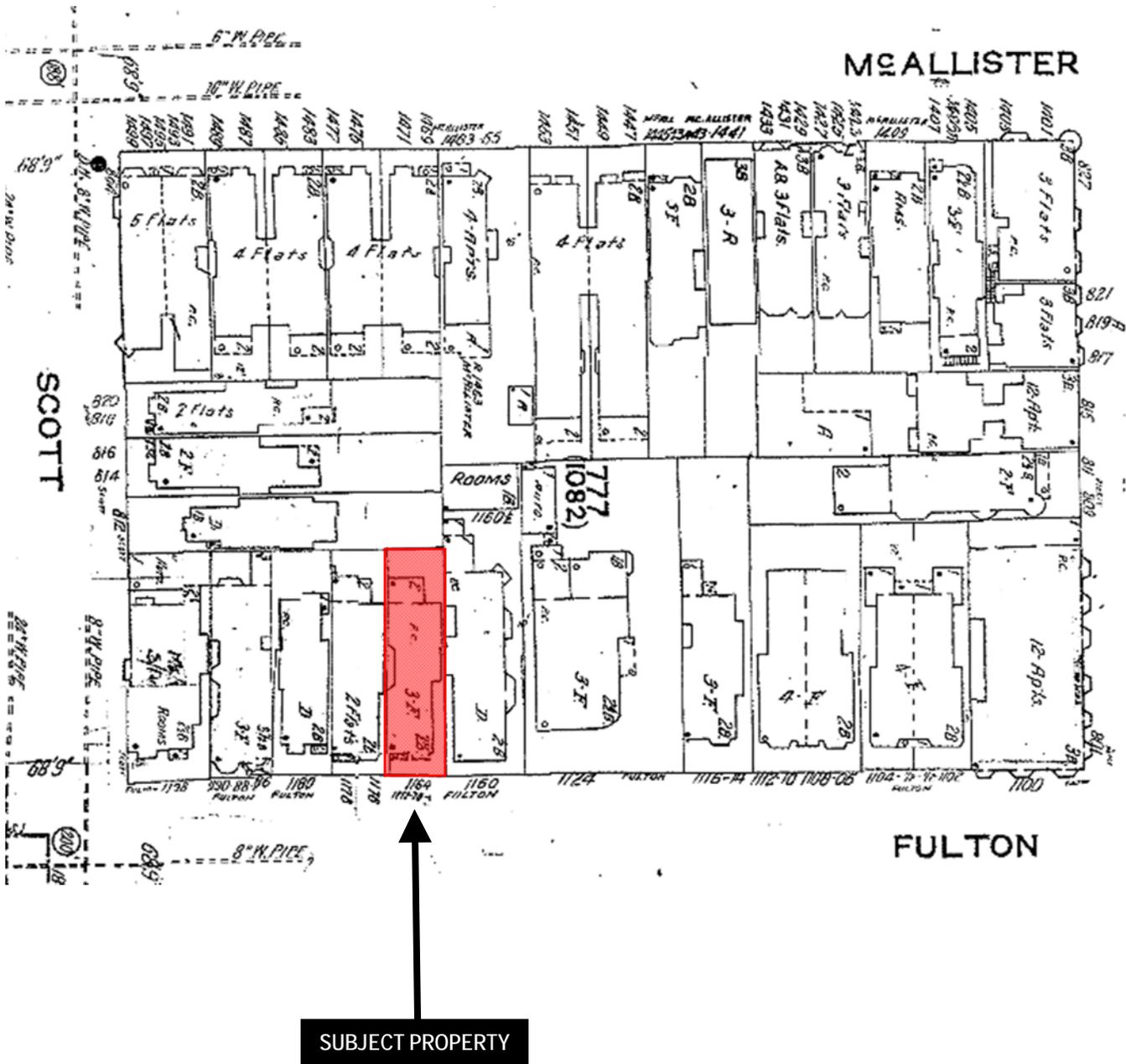
McALLISTER



Certificate of Appropriateness  
 Case Number 2013.0126A  
 1164 Fulton Street  
 Alamo Square Landmark District



# Sanborn Map\*

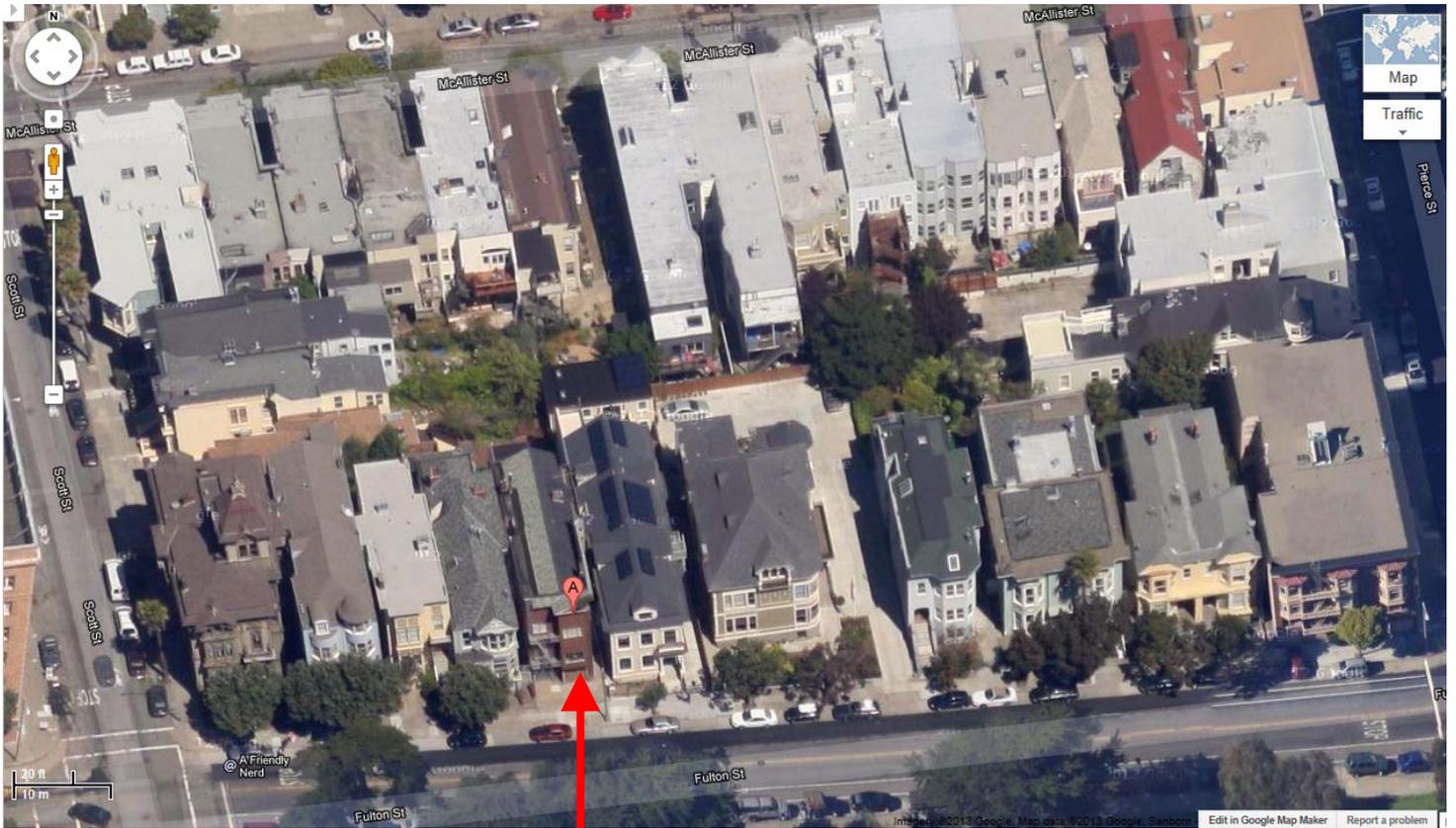


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness  
Case Number 2013.0126A  
1164 Fulton Street  
Alamo Square Landmark District

# Aerial Photo



**SUBJECT PROPERTY**



Certificate of Appropriateness  
Case Number 2013.0126A  
1164 Fulton Street  
Alamo Square Landmark District



FRONT FACADE

1164 FULTON ST.  
CofA Application  
2013 05 22

**designpad** patrick perez architect  
5429 telegraph ave. oakland ca 94609  
ph: 415.370.7269 f: 415.592.1598  
e: patrick@designpad.net  
www.designpad.net





view looking btwn buildings



view looking btwn buildings



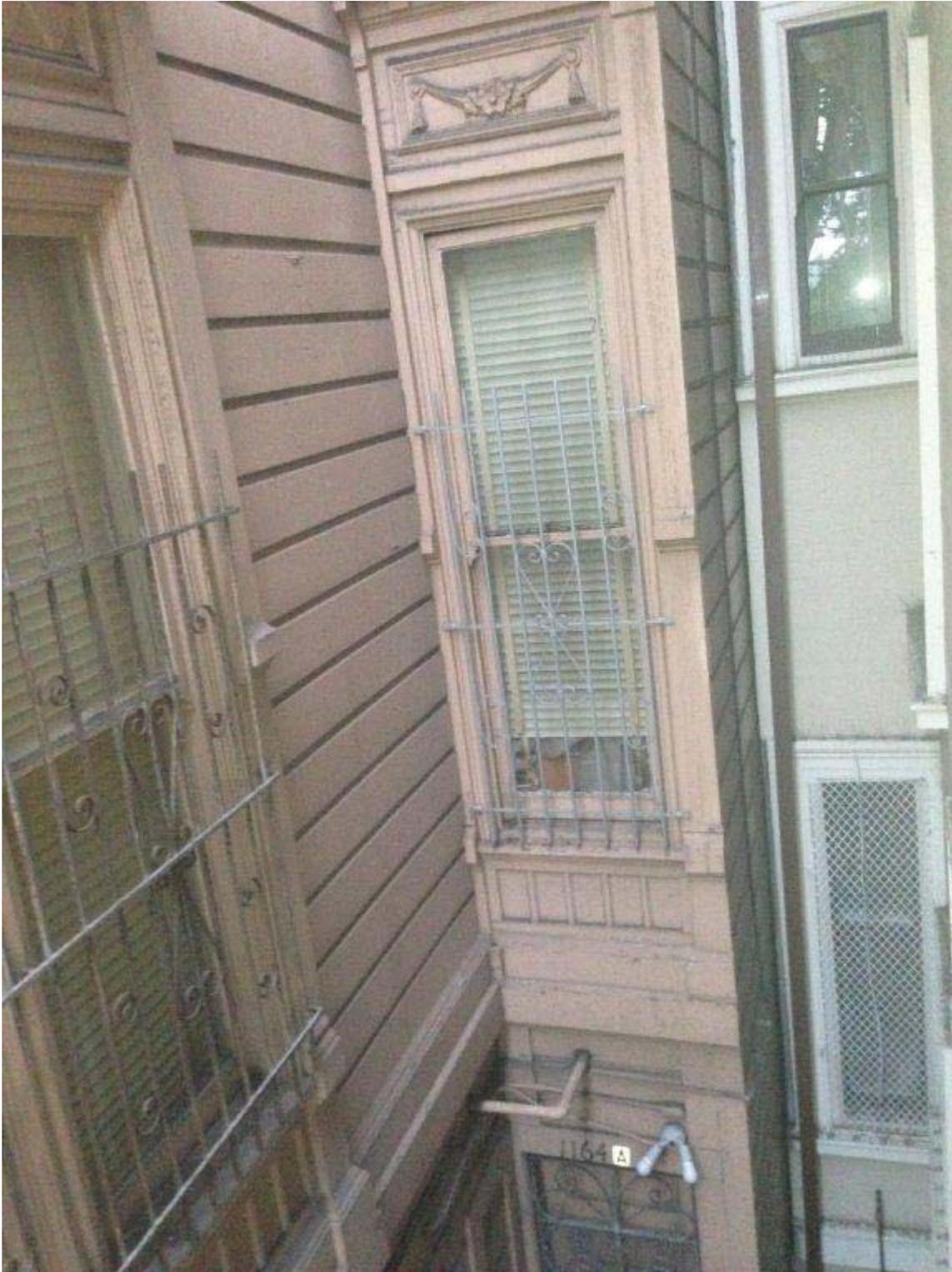
Close up of cornice detail at east elevation



Close up of cornice detail at east elevation



Close up of window details at east elevation and secondary facade



Close up of window details at east elevation and secondary facade



Close up of window details at east elevation

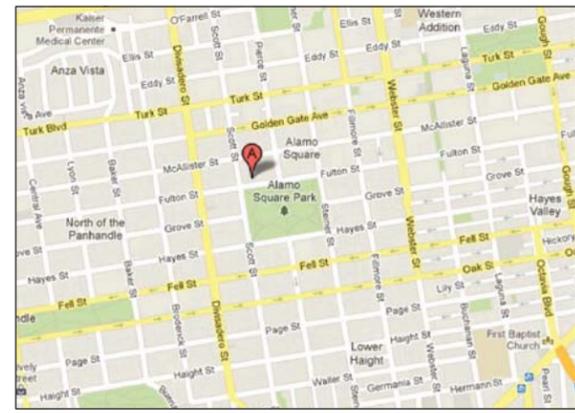


Close up of window details at east elevation and secondary front facade



Close up of window details at east elevation

# 1164 Fulton St. CofA Application Rev.1 April 15, 2013



Revision

- 1 SD 2012.10.03
- 2 SD 2012.12.14
- 3 CoA 2012.12.19
- 4 Unit Merger 2013.04.15
- 5 CoA rev 1 2013.04.17
- 6
- 7
- 8
- 9
- 10

Project

1164 Fulton St  
San Francisco, CA

Consultants

Engineer:

Stamp



Title

Cover sheet

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF designpad AND WISE. CREATED FOR THE USE ON THE SPECIFIC PROJECT AND SHALL NOT BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF designpad

issued for PERMIT CD  
phase CD  
date 2012.10.02  
scale

**A 0.0**  
Sheet

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## PROJECT INFORMATION

BLOCK / LOT NO./APN 0777/011  
LOCATION 1164 FULTON ST  
ZONING RH-3  
CONSTRUCTION TYPE VB  
OCCUPANCY R-3  
CLIENT ROBINSON/CONOMOS  
GEN. CONTRACTOR -  
STRUCT. ENGINEER -

## SQUARE FOOTAGE

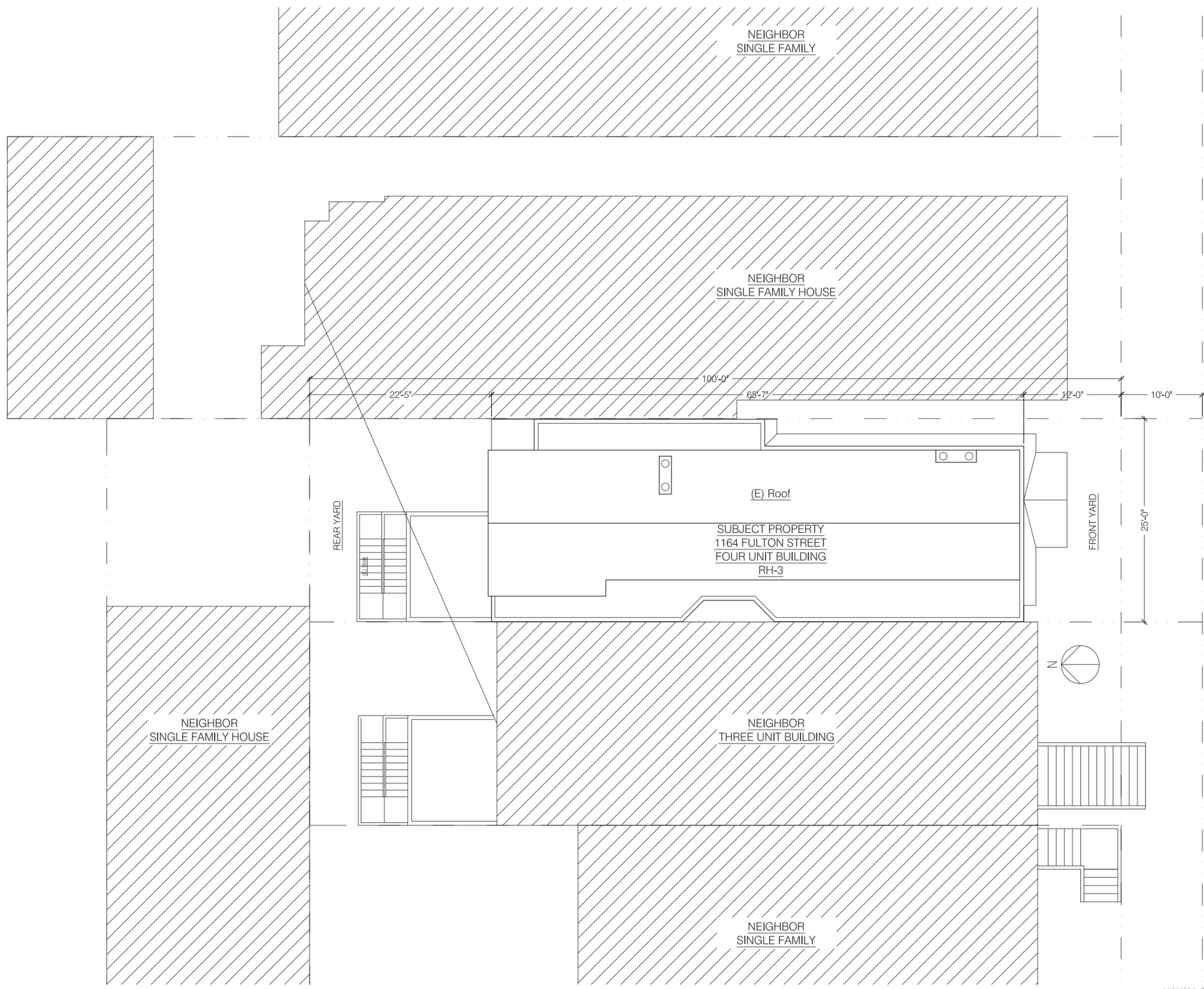
<p><b>EXISTING</b></p> <p>FIRST FLOOR</p> <ul style="list-style-type: none"> <li>- APARTMENT #1 - 532 SF</li> <li>- GARAGE - 545 SF</li> <li>- CORRIDOR - 128 SF</li> </ul> <p>1205 SF TOTAL</p> <p>SECOND FLOOR</p> <ul style="list-style-type: none"> <li>- APARTMENT #2 - 1427 SF</li> <li>-COMMON HALL - 205 SF</li> </ul> <p>1632 SF TOTAL</p> <p>THIRD FLOOR</p> <ul style="list-style-type: none"> <li>- APARTMENT 3 - 741 SF</li> <li>- APARTMENT 4 - 747 SF</li> <li>-COMMON HALL - 117 SF</li> </ul> <p>1605 SF TOTAL</p> <p>BUILDING TOTAL - 4442 SF</p>	<p><b>PROPOSED</b></p> <p>FIRST FLOOR</p> <ul style="list-style-type: none"> <li>- APARTMENT #1 - 492 SF</li> <li>- GARAGE - 654 SF</li> <li>- CORRIDOR - 128 SF</li> <li>- COMMON ENTRY - 141 SF</li> </ul> <p>1415 SF TOTAL</p> <p>SECOND FLOOR</p> <ul style="list-style-type: none"> <li>- APARTMENT #2 LEVEL ONE - 1568 SF</li> </ul> <p>1568 SF TOTAL</p> <p>THIRD FLOOR</p> <ul style="list-style-type: none"> <li>- APARTMENT #2 LEVEL TWO - 1560 SF</li> </ul> <p>1560 SF TOTAL</p> <p>FOURTH FLOOR</p> <ul style="list-style-type: none"> <li>- STAIR PENTHOUSE - 200 SF</li> </ul> <p>BUILDING TOTAL - 4743 SF</p>
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## SFPC 1000(f)

### DEMOLITION CALCULATION

(f) For purposes of this Article 10, demolition shall be defined as any one of the following:

- (1) Removal of more than 25 percent of the surface of all external walls facing a public street(s);  
-The majority of the existing non-original and non-historical facade elements will be removed including the shake siding aluminum windows, fire escape and non-original entrance
- (2) Removal of more than 50 percent of all external walls from their function as all external walls;  
- No exterior walls will be removed from their function as external walls
- (3) Removal of more than 25 percent of external walls from function as either external or internal walls;  
- No exterior walls will be removed from their function as external walls
- (4) Removal of more than 75 percent of the building's existing internal structural framework or floor plates unless the City determines that such removal is the only feasible means to meet the standards for seismic load and forces of the latest adopted version of the San Francisco Building Code and the State Historical Building Code.  
- The majority of the existing floor plates and perimeter load bearing structural walls will be kept intact



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Project

1164 Fulton St  
San Francisco, CA

Consultants

Engineer:

Stamp

Title

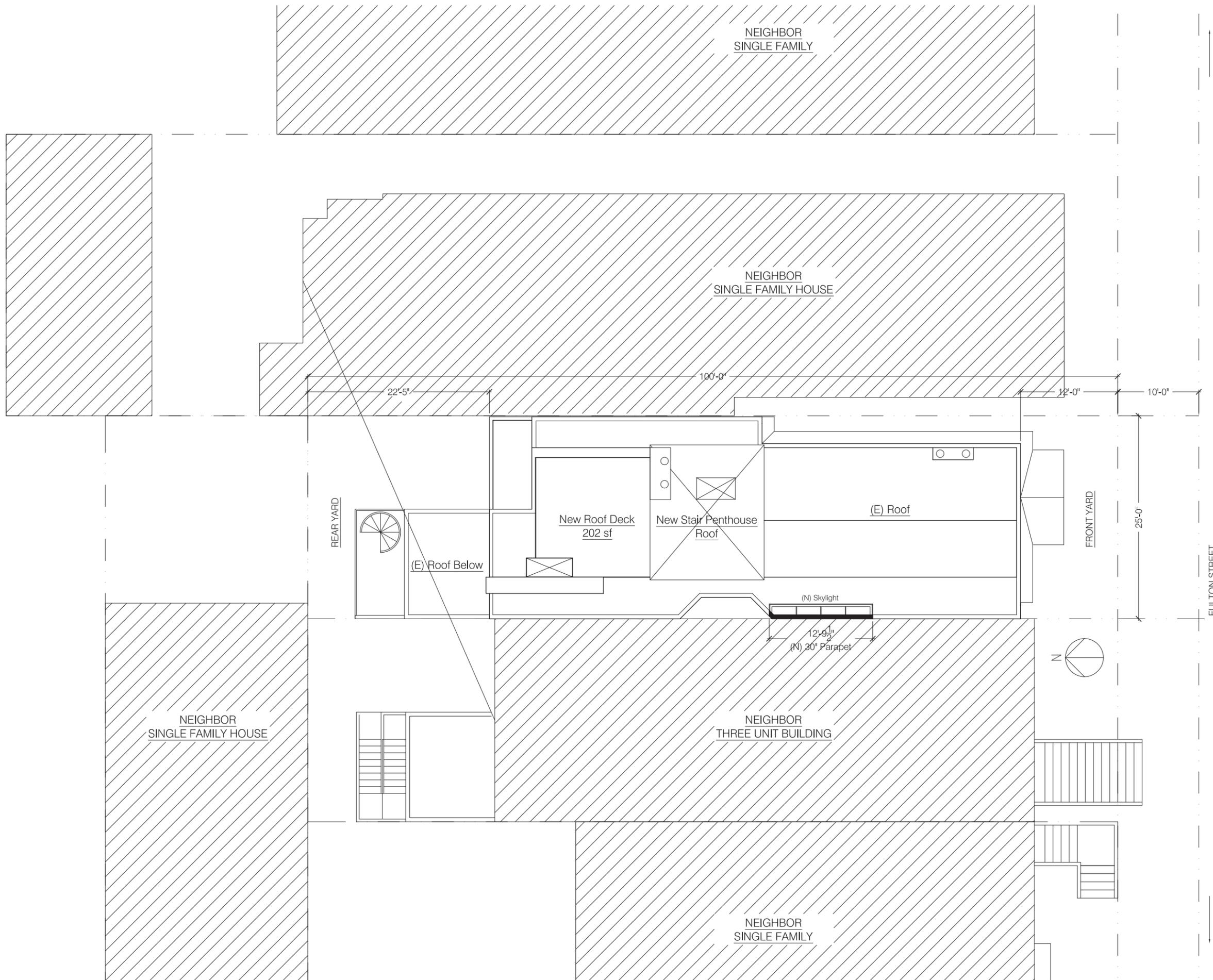
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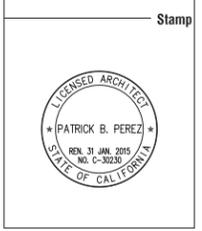


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Project  
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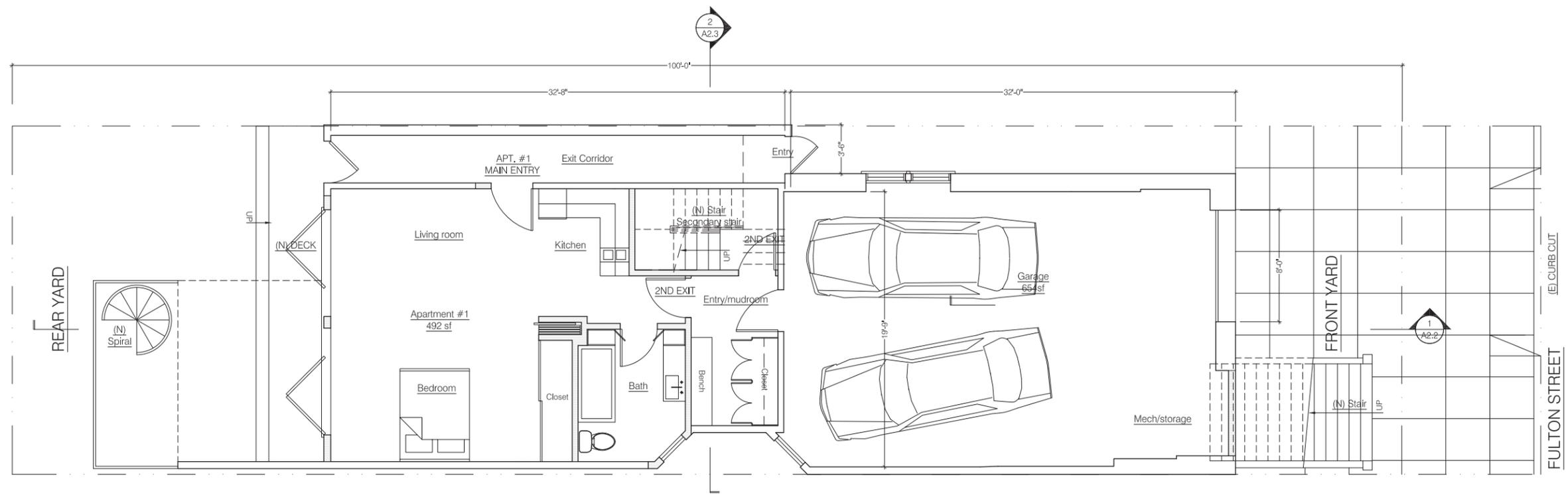
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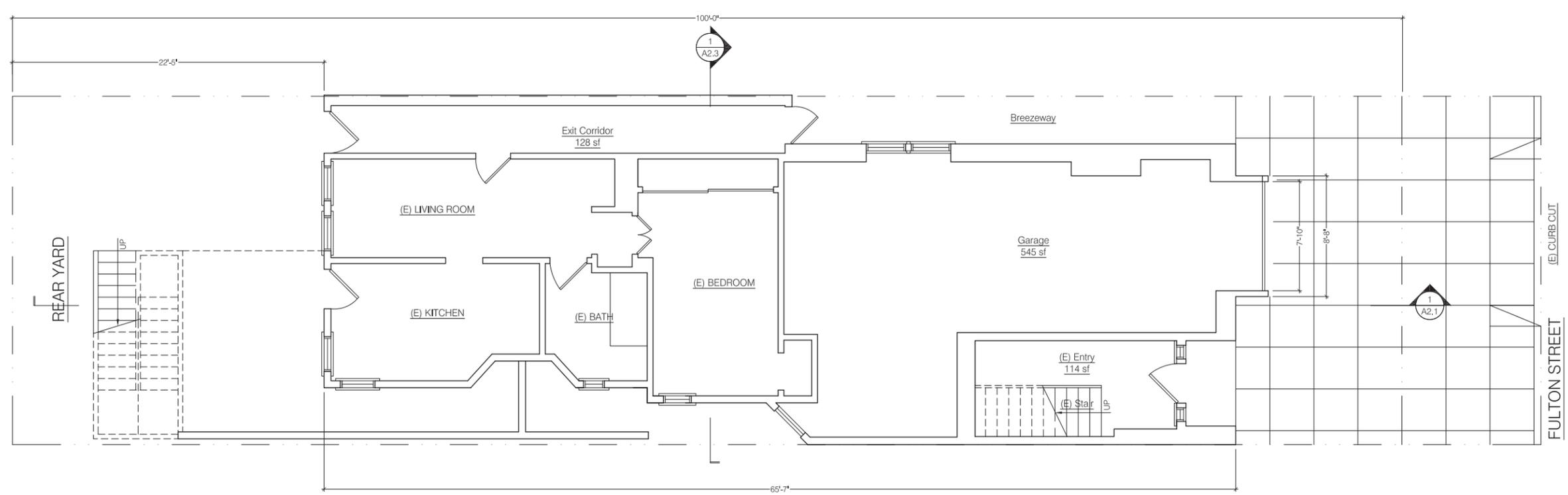
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1164 Fulton St  
San Francisco, CA



APT. #1: ONE BEDROOM - 492 SF

proposed first floor plan | 2



APT. #1: ONE BEDROOM - 532 SF

existing first floor plan | 1

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Title

Floor plans

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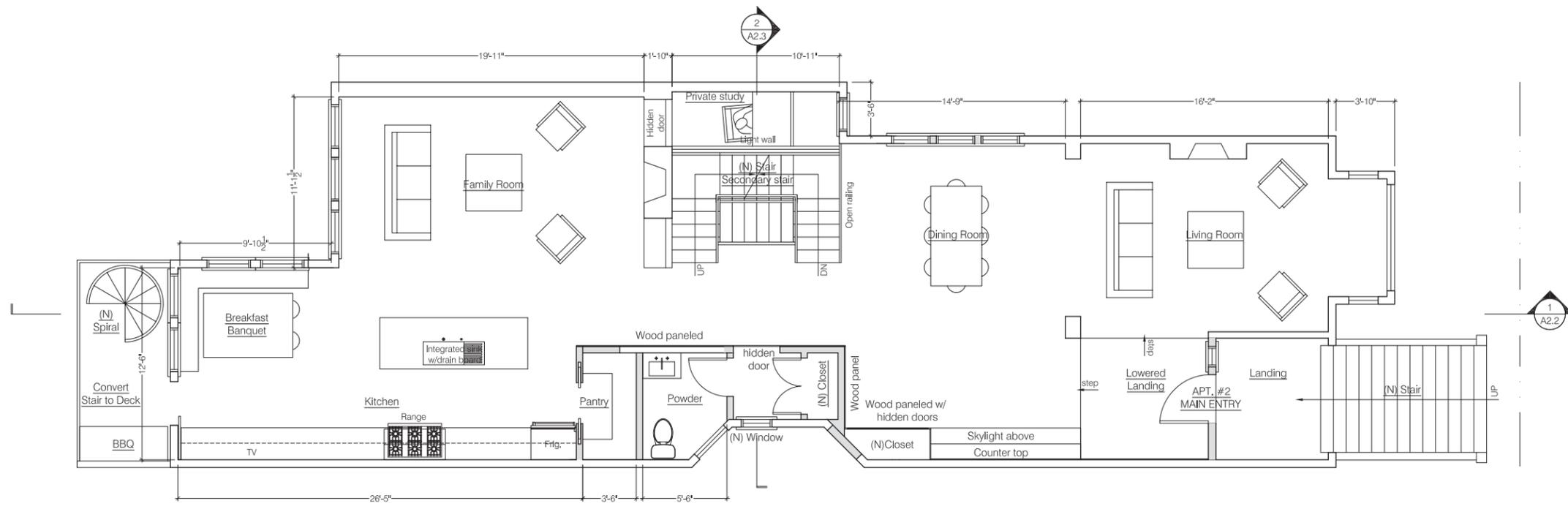
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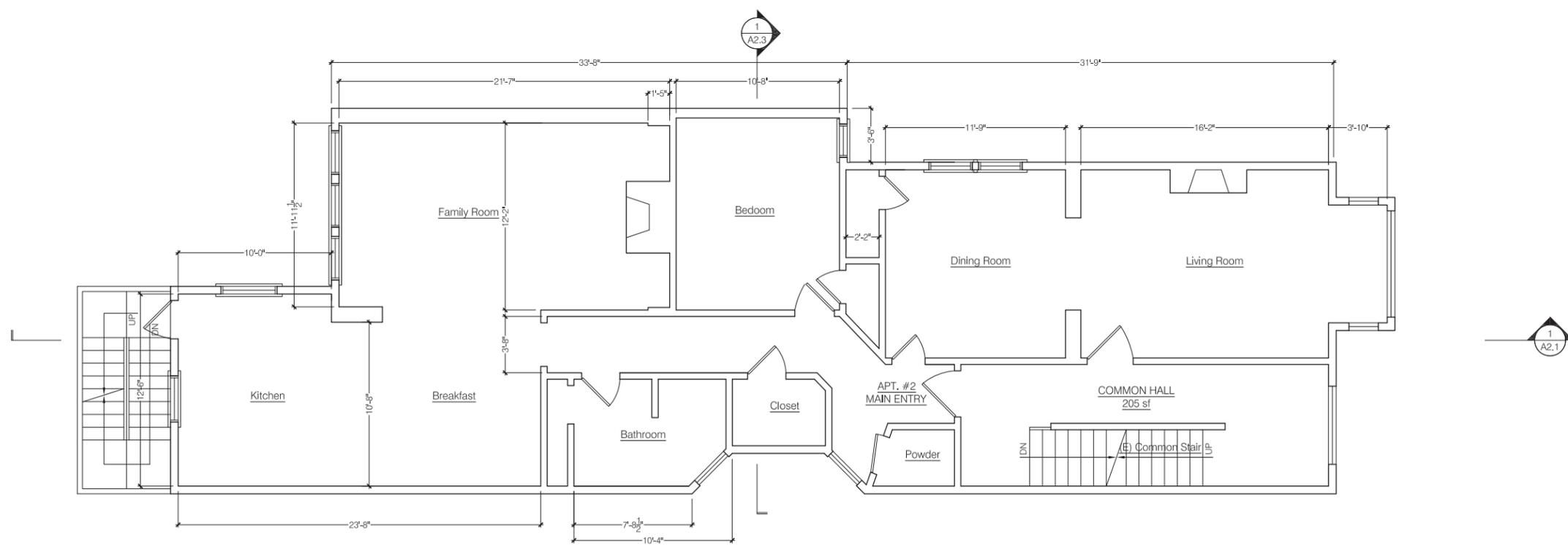
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1164 Fulton St  
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APARTMENT #2: FOUR BEDROOM - 1568 SF LOWER LEVEL

proposed second floor plan | 2



existing second floor plan | 1

Consultants

Engineer:

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Title

Floor plans

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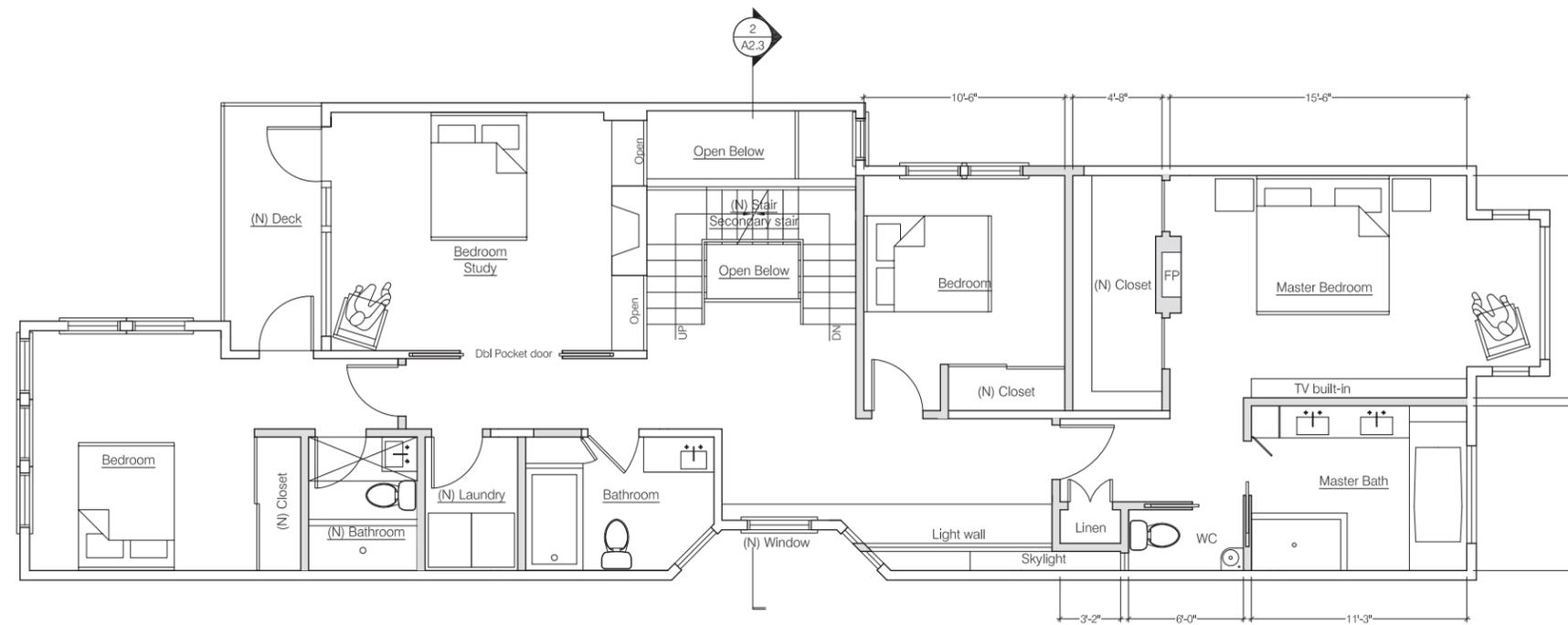
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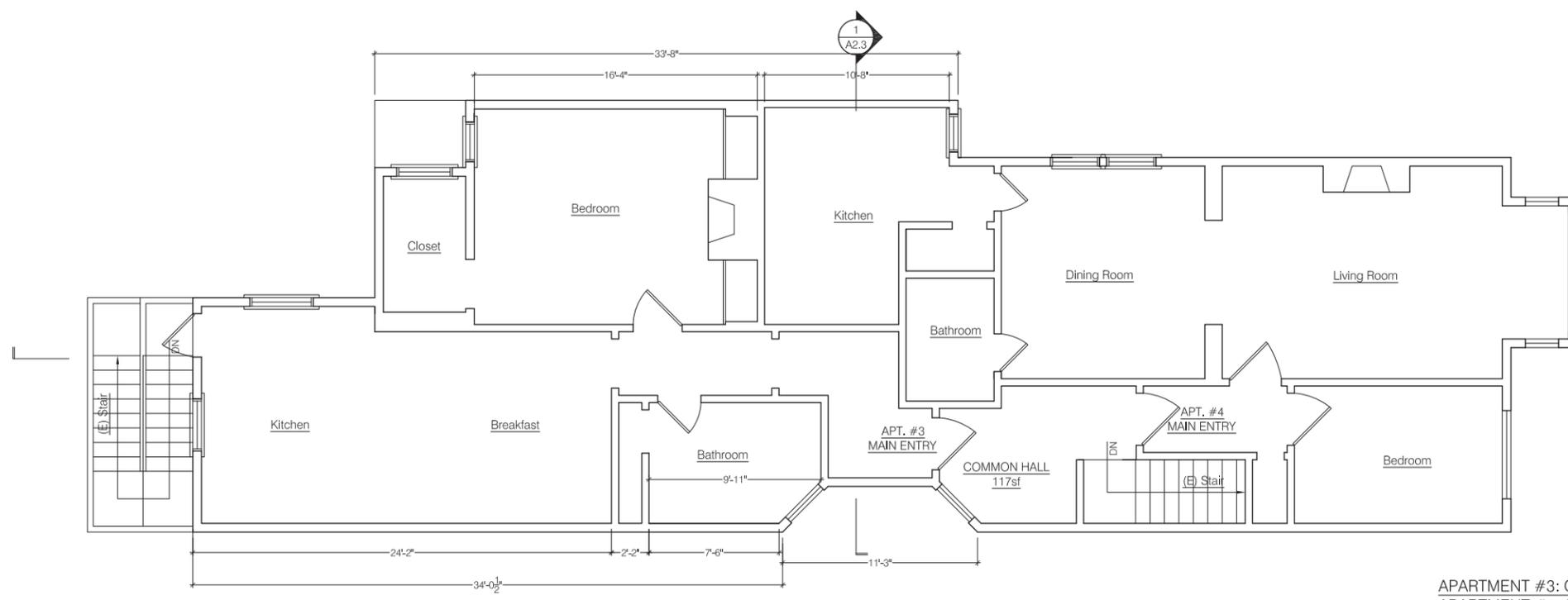
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1164 Fulton St  
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APARTMENT #2: FOUR BEDROOM - 1560 SF UPPER LEVEL  
3149 TOTAL SF

proposed third floor plan | 2



APARTMENT #3: ONE BEDROOM - 741 SF  
APARTMENT #4: ONE BEDROOM - 747 SF

existing third floor plan | 1

Consultants

Engineer:

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Title

Floor plans

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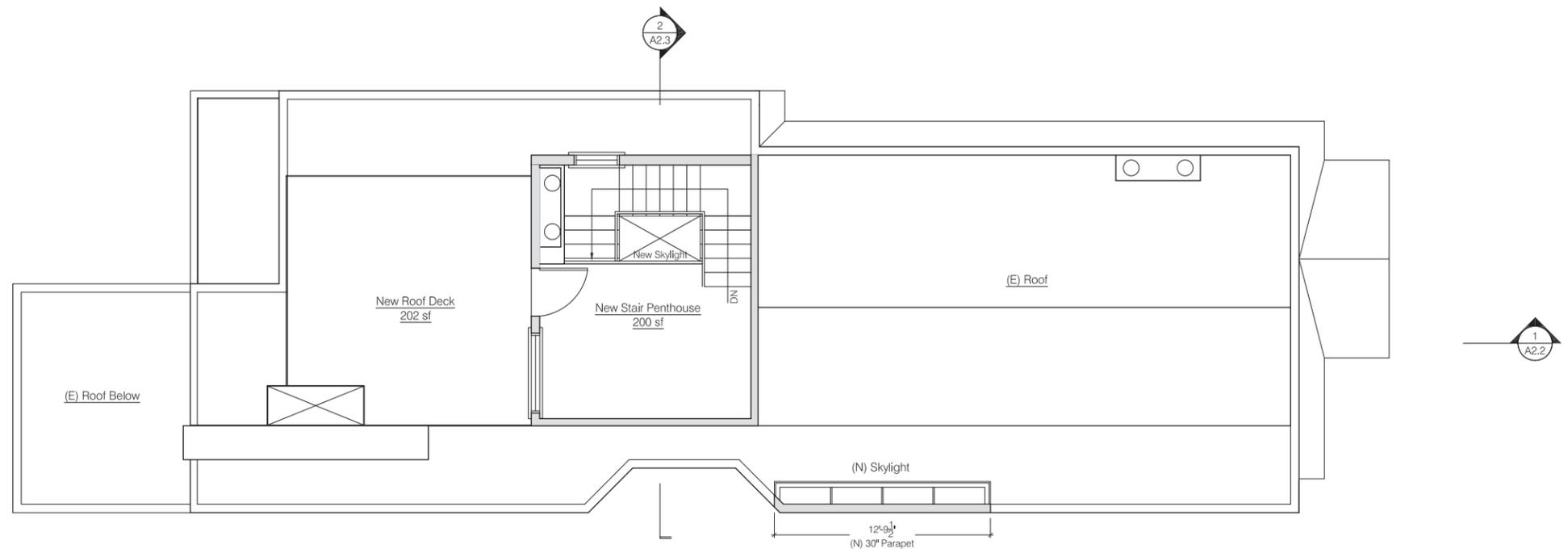
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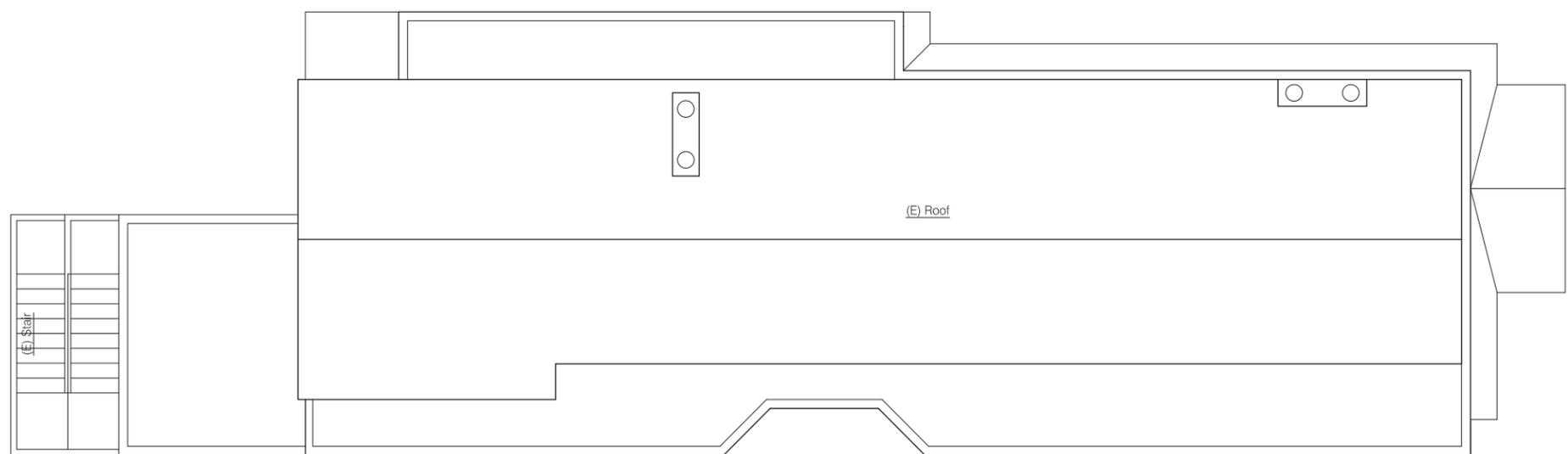
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Project

1164 Fulton St  
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proposed roof plan | 2



existing roof plan | 1

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Title

Floor plans

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Project

1164 Fulton St  
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Consultants

Engineer:

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Title

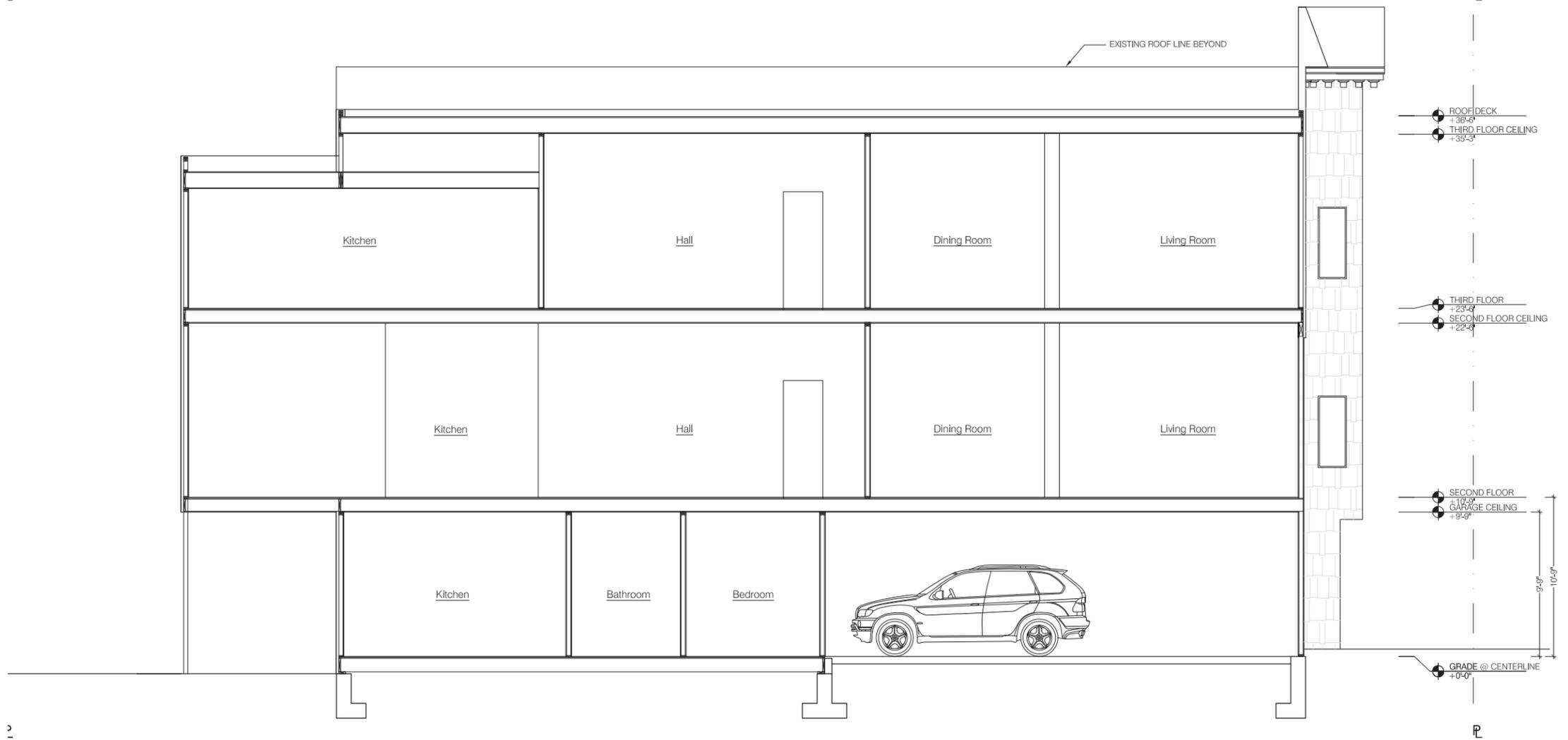
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Project

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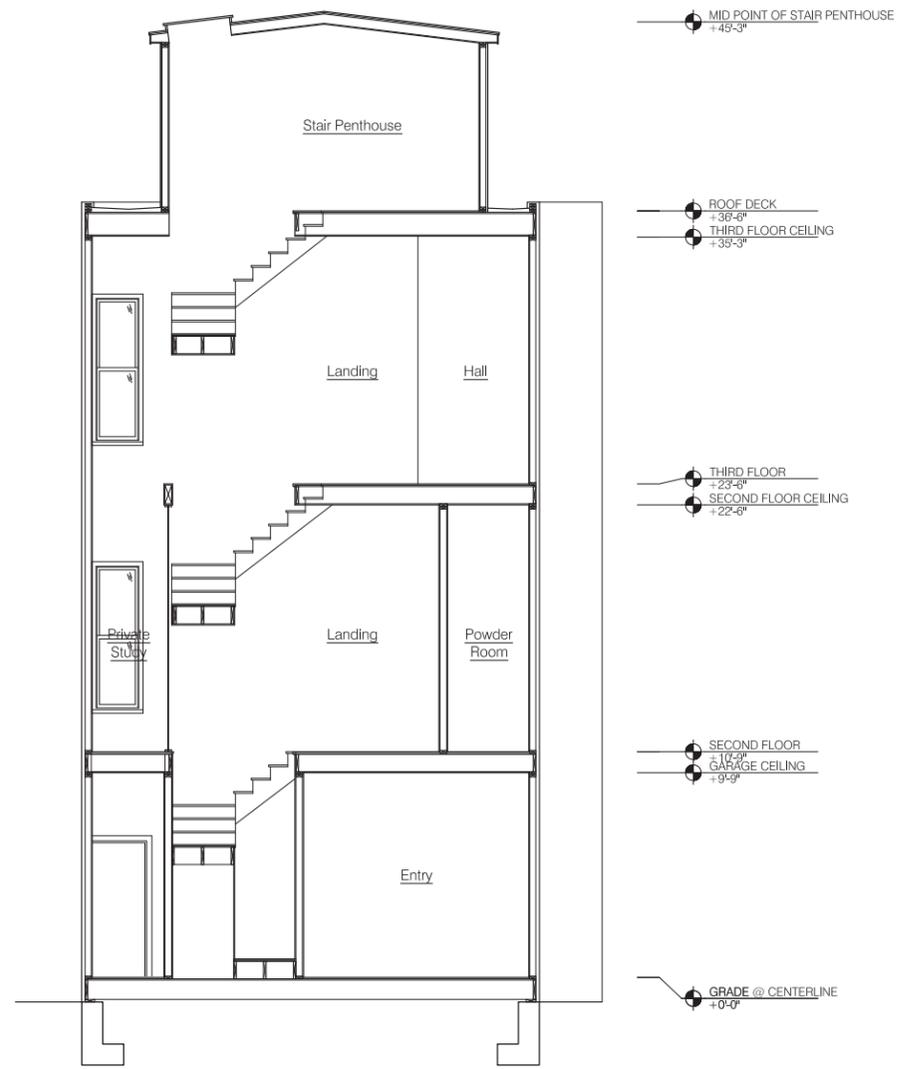
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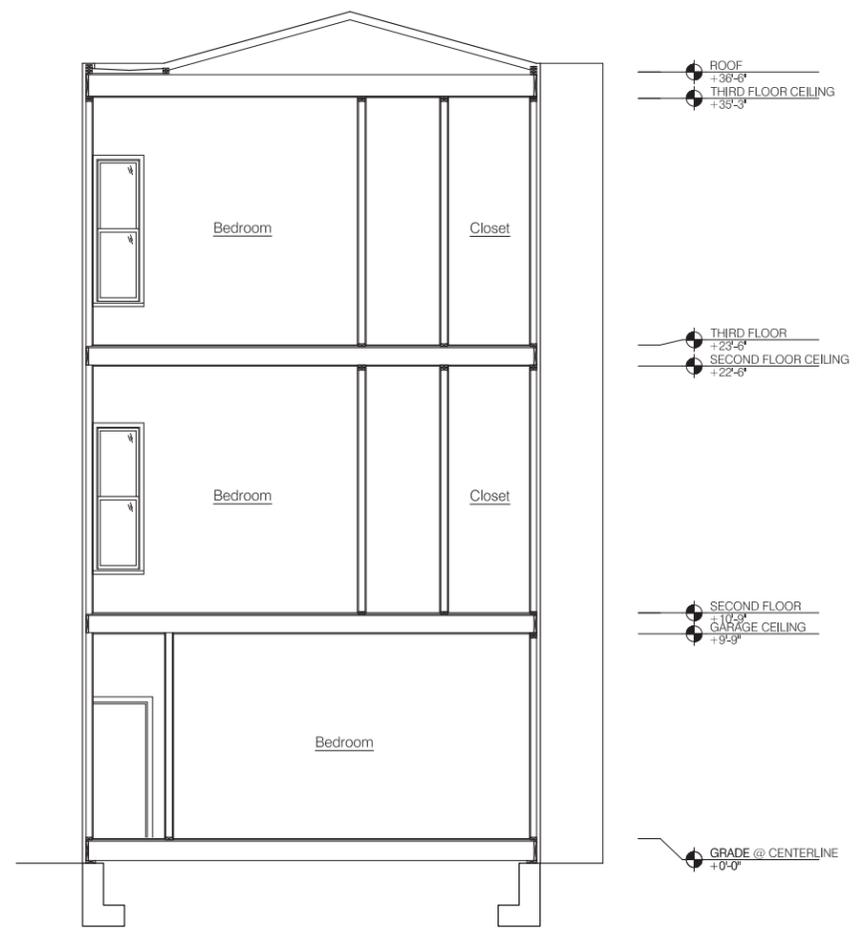
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proposed section | 2



existing section | 1

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proposed front elevation | 2 |



existing front elevation | 1 |

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Engineer:

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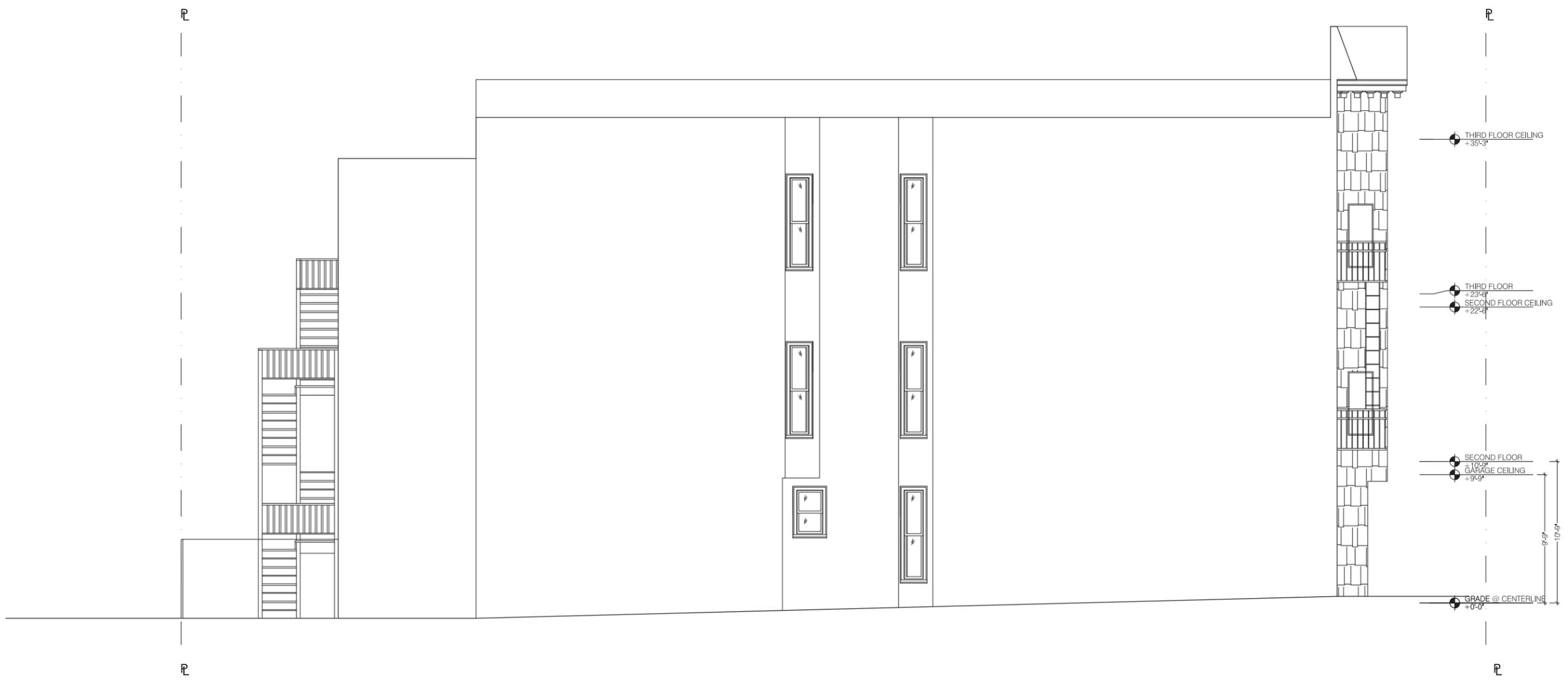
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existing west elevation | 1

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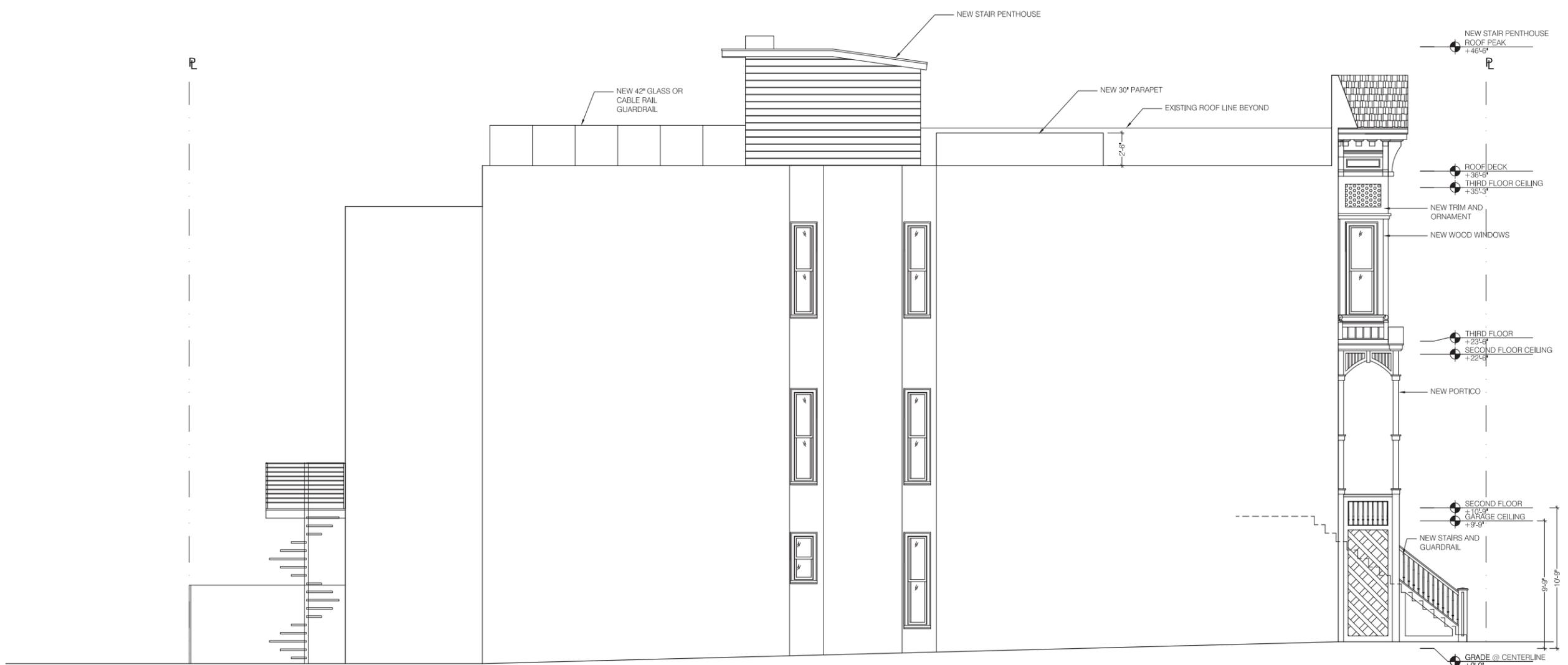
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existing east elevation | 1



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# HISTORICAL RESOURCE EVALUATION

1164 FULTON STREET

SAN FRANCISCO, CALIFORNIA



TIM KELLEY CONSULTING, LLC

HISTORICAL RESOURCES

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## I. INTRODUCTION

Tim Kelley Consulting (TKC) was engaged to conduct a Historical Resource Evaluation (HRE) of 1164 Fulton Street (APN 0777/011). The property includes a multiple-family dwelling containing three residential flats. The building was constructed in 1889. It features wood frame construction and what appears to have been Stick style design, although it has been severely altered. This report examines whether the property is eligible for listing in the California Register and evaluates the possible impact of the proposed project on any Historical Resources.

## II. SUMMARY

This report finds that 1164 Fulton Street is not individually eligible for listing in local, state, or national historical registers. The building is located within the Alamo Square Historic District and is listed as a “potentially compatible” property in the district case report. The Planning Department generally considers this rating the equivalent of non-contributing status; however, impacts on the surrounding contributing elements of the district must still be considered. The proposed project, which entails rehabilitation of the building and restoration of the primary façade to a more original and stylistically appropriate appearance would not have a substantial adverse effect on any historical resources and would improve the architectural merit of the building, making it more compatible with the surrounding district and neighboring resources. Nevertheless, a Certificate of Appropriateness will be required for the project in order to comply with requirements for all projects undertaken within a designated historic district.

## III. CURRENT HISTORIC STATUS

The Planning Department database was searched to determine whether the property was identified in any recognized register of historical resources. The specific registers included are listed below.

### *A. Here Today*

*Here Today: San Francisco's Architectural Heritage* is one of San Francisco's first architectural surveys. Undertaken by the Junior League of San Francisco and

published in 1968, the survey did not assign ratings to buildings. However, the survey does provide brief historical and biographical information for what the authors believed to be significant buildings. The Board of Supervisors adopted the survey in 1970. The survey files, on file at the San Francisco Public Library's San Francisco History Room, contain information on approximately 2,500 properties. The subject property is not included in the published book, *Here Today*, nor in the associated survey files.

#### *B. Department of City Planning Architectural Quality Survey*

The Department of City Planning's Architectural Quality Survey, or 1976 Survey, was a reconnaissance survey that examined the entire City of San Francisco to identify and rate, on a scale of "0" (contextual) to "5" (extraordinary), architecturally significant buildings and structures. No historic research was performed and the potential historical significance of a resource was not considered when assigning ratings. According to the authors, the 10,000 rated buildings comprise only around 10 percent of the city's building stock. Due to its age and its lack of historical documentation, the 1976 Survey has *not* been officially recognized by the city of San Francisco as a valid local register of historic resources for CEQA purposes, although it is still used on a consultative basis. The subject property is not included in the 1976 Survey.

#### *C. San Francisco Architectural Heritage*

San Francisco Architectural Heritage (Heritage) is the city's oldest not-for-profit organization dedicated to increasing awareness of and advocating for the preservation of San Francisco's unique architectural heritage. Heritage has completed several major architectural surveys in San Francisco, including Downtown, the South of Market, the Richmond District, Chinatown, the Van Ness Corridor, the Northeast Waterfront, and Dogpatch. Heritage ratings range from "A" (highest importance) to "D" (minor or no importance) and are based on both architectural and historical significance. The subject property was not surveyed by San Francisco Architectural Heritage.

#### *D. California Historical Resource Status Code*

Properties listed in the California Historic Resources Information System (CHRIS) or under review by the California Office of Historic Preservation (OHP) are assigned status codes of “1” to “7,” establishing a baseline record of historical significance. Properties with a status code of “1” are listed in the California or National Register. Properties with a status code of “2” have been formally determined eligible for listing in the California or National Register. Properties with a status code of “3” or “4” appear to be eligible for listing in either register through survey evaluation. Properties with a status code of “5” are typically locally significant or of contextual importance. Status codes of “6” indicate that the property has been found ineligible for listing in any register, and a status code of “7” indicates that the property has not yet been evaluated. The property has not been assigned a California Historical Resource Status Code. It is located within the locally-designated Alamo Square Historic District as a “potentially compatible” resource (generally considered non-contributing); however, no code assignment is found in Planning Department records.

## IV. DESCRIPTION

### *A. Site*

1164 Fulton Street is located on the north side of Fulton Street, between Scott and Pierce streets. It is located directly opposite Alamo Square Park. The terrain in the area slopes up from east to west, and from north to south, such that the subject lot is higher at the front than the rear. Fulton Street is a two-way artery that is two lanes wide with space for parallel parking on both sides. The street is bordered by concrete sidewalks, with street trees.

The property consists of a rectangular parcel measuring 2,500 square feet, with a standard 25 feet of frontage along Fulton Street. The front of the lot is paved with concrete, serving as a driveway and access to the primary entrance. Narrow walkways run along both sides of the house, but terminate in a projecting bay of the neighboring house (west side) and a projecting bay and secondary entrance of the subject house

(east side). The rear portions of the east and west facades abut the neighboring buildings.

### *B. Exterior*

1164 Fulton Street is a wood-frame, multiple-family dwelling. It is three stories and has a generally rectangular plan. The building exhibits vestiges of the Stick style, but has been severely altered. The exterior walls are clad with wood shingles on the primary facade and wood channel drop siding on the secondary facades. The house is capped by a gable roof with a parapet that is higher at the front and part way down the east side of the roof and lower or non-existent elsewhere. A chimney and stove pipes protrude from the edges of the roof in various places.

The primary façade faces south onto Fulton Street and has a three-story, two-bay configuration. The right bay features a square projecting bay that extends the full height of the façade. The first story of this projecting bay is slightly shallower than on the upper stories and features a garage entrance with a paneled wood roll-up door. The projecting bay is flanked by low brick planters and a small, square utility window is located to its left. The left bay features the recessed primary entrance. The entry vestibule is enclosed by a metal security gate and contains a flush wood door surrounded by sidelights and transoms, which are separated by wide flat mullions.

The second and third stories of the primary façade are identical. On each, the right projecting bay has a three-part, sliding, aluminum sash window on its primary face with narrow, single-lite, fixed windows on the sides. The left bay has a two-part sliding aluminum sash and is spanned by a metal fire escape landing. The landings are linked by metal stairs, and a metal ladder extends to the roof. The façade terminates in a flat roofline that is adorned with a pent roof clad with composition shingles and a small pedimented gable end surmounting the projecting bay. A row of small modillions and wood eave moldings adorn the pent roof and pedimented gable.

The secondary facades are clad with wood channel drop siding. The west façade is unfenestrated and unadorned and does not have a cornice at the roofline. The east façade features a projecting bay on its northern half, which abuts the neighboring house. The south face of the projecting bay and the wall immediately adjacent to it are fenestrated, while the rest of the east façade is blank. At the first story level, there are paired windows on east-facing wall and a five-paneled wood door on the projecting bay. All are surrounded by wide, flat, wood trim. On the second and third story levels, there are paired windows on the east-facing wall and a single, narrow window on the projecting bay. All are one-over-one, double-hung, wood-sash windows. On the second story, the windows have vertically-divided wall panels below, Stick-style vertical trim with molded blocks at the lower corners and half-way up, a garlanded panel above, and a modillioned, bracketed, and molded hood at the top. The third story windows have a molded panel below, Stick-style vertical trim, segmental arch and pyramidal block panels above with a keystone element that extends to become a bracket supporting a bracketed and molded hood with a narrow pent roof on top. Above this, is a paneled frieze and modillioned and bracketed cornice supporting a pent roof that continues from the primary façade. This portion of the house is more indicative of the house's original appearance, in terms of cladding, window type, ornament, and roofline treatment.

The rear façade is visible only via aerial photographs. It features a three-story square projecting bay on the right side that is capped by a shed roof. This projecting bay has an exterior wood stair that rises up its north façade. Secondary entrances and fenestration are located at each story level. The façade terminates in an eaveless gable end.

### *C. Interior*

The interiors were not examined for this report.

[See section XI. **Appendix** for current images of the subject property.]

## V. HISTORIC CONTEXT

### *A. Neighborhood*

1164 Fulton Street is located within the Western Addition, near the center of the City of San Francisco. The Western Addition is a large district roughly bounded by California Street on the north; Presidio, Masonic, and Divisadero streets on the west; Fulton, Duboce, and Market streets on the south; and Gough Street and Van Ness Avenue on the east.<sup>1</sup> The subject property is situated near the center of the district, within the Alamo Square neighborhood, which is generally considered to be bounded by Turk, Buchanan, Page, and Baker streets.<sup>2</sup>

The Western Addition, as its name suggests, was a large area of land appended to the City of San Francisco, west of Van Ness Avenue, in 1855-56, as the first major expansion of the existing city limits. During the latter year, Mayor James Van Ness set aside 12.7 acres near the center of the new addition as Alamo Square, which was then confirmed as a public park. It had been the previous location of a watering hole on the road from Mission Dolores to the Presidio.<sup>3</sup> After the street grid had been platted throughout the Western Addition, the area began to develop quickly. Growth was encouraged by the extension of the Market Street Railway to the southern edge of Alamo Square Park in 1860, which facilitated the commute of the professional and merchant class residents of the Alamo Square area to their places of business downtown.

When Alamo Square was first established, the hilltop on which it sits was occupied by "Dutch Charlie Duane," a notorious squatter and criminal. City authorities succeeded in

---

<sup>1</sup> San Francisco Planning Department, Neighborhood Groups Map, <http://www.sf-planning.org/index.aspx?page=1654>.

<sup>2</sup> Alamo Square Neighborhood Association, <http://alamosq.wordpress.com/alamosquare/neighborhood-map/>.

<sup>3</sup> Jeanne Alexander, "A History of Alamo Square Park," Alamo Square Neighborhood Association Newsletter, Dec 2007 – Jan 2008.

ousting the rogue by 1868, allowing for development to commence in earnest.<sup>4</sup> Between 1860 and 1870, a 160% increase in the city's overall population resulted in rapid settlement of the newly opened Western Addition, which became an upper-middle to upper class, European-American dominated district, with a large demographic of German-Austrian Jews. The Western Addition was subsequently developed with numerous well-appointed dwellings in the ornate Victorian styles. In 1892, the area previously set aside as Alamo Square Park was finally graded and landscaped to create a lush public park, which attracted many upper-class families to build grand houses on its borders. Small groupings or tracts of identical row houses were common throughout the Western Addition; developed on speculation by companies like The Real Estate Associates (TREA).<sup>5</sup> The Alamo Square neighborhood was no exception and builder Matthew Kavanagh's "Post Card" row, on the eastern edge of the park, became the city's best example of this Victorian era development trend.

Van Ness Avenue served as the firebreak that halted the devastating fires sparked by the 1906 Earthquake. Thus, the Western Addition was spared the destruction experienced by many other areas of San Francisco and became a refuge for those left homeless by the disaster. Tent camps were established in many of the district's parks and public squares, including Alamo Square Park, and as the city recovered, with commercial and industrial buildings encroaching on previously residential areas downtown, many people displaced from other neighborhoods decided to remain in the Western Addition. Due to the housing shortage and high demand for dwelling space, many of the large single-family houses throughout the district were readily subdivided to accommodate multiple tenants. Commercial units were created on ground floors and inserted between houses to serve the increased residential population, and subsequently, the district increased in density and became mixed-use.<sup>6</sup> The subject property appears to have been constructed as a multiple-family dwelling and served as such well before the demands of those displaced by the earthquake came into play.

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<sup>4</sup> Jeanne Alexander.

<sup>5</sup> Donna Graves and Page & Turnbull, Inc., "Japantown Historic Context Statement," May 2009. 11.

<sup>6</sup> Japan Center Garage Corp., "The San Francisco Japantown History Walk," <http://www.sfjapantown.org/About/history.cfm>, accessed 9/17/2012.

Thus, the residential nature of the subject building was most certainly put to active use during that time.

The increased population density in the Western Addition naturally led to demographic shifts, including greater numbers of working-class residents and growing ethnic diversity that included prominent Mexican, African, Filipino, Japanese, and Jewish communities. As more middle and working class people moved into the area, through the 1920s, the construction of apartment buildings became more prevalent. Reduced from an elite neighborhood to a more common middle-class one, the area continued with these characteristics into the 1950s, when further degradation occurred. Post-World War II, out-migration from the city to the suburbs meant that many houses throughout the city were put up for sale or rent, and those that had not already been subdivided into multiple dwelling units underwent that transformation. The Alamo Square neighborhood became one of absentee landlords renting to low-income residents or running boarding houses, halfway houses, and drug rehabilitation centers. Alamo Square's proximity to the Haight-Ashbury neighborhood did little to improve its reputation as an influx of hippies took up residence in the area's accommodations.<sup>7</sup>

In the 1960s and 1970s, large swaths of the Western Addition, which were also suffering from slum-like conditions and overcrowding, were slated for clearance by the San Francisco Redevelopment Agency. Residents displaced from worse-off areas, like Japantown and the Fillmore, flooded into other neighborhoods of the Western Addition, like Alamo Square, further crowding the existing housing and wearing on the historic fabric of the neighborhood. The park itself was also threatened at this time, as the City sought to improve public interest by leveling the top of the hill and installing sports facilities. A vocal neighborhood group managed to stop this development and went on to urge the city to clean up and reduce crime in the area.<sup>8</sup>

Today, the Alamo Square neighborhood is once again a relatively safe, well-kept, middle-class neighborhood that takes pride in its surviving Victorian-era building stock.

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<sup>7</sup> Jeanne Alexander.

<sup>8</sup> Ibid.

In 1984, a large portion of the neighborhood surrounding the park was designated as a local Historic District.

### *B. Project Site History*

An article in *California Architect & Building News* indicates that construction of the subject house commenced in December of 1888 and Spring Valley Water Company tap records show that the house was connected to city water in January of 1889. The house was described as a two-story frame building.<sup>9</sup>

The subject building first appears in the 1893 Sanborn Fire Insurance map. At that time, the house contained two residential flats and was addressed 1130 and 1132 Fulton Street. The footprint of the house was very similar, but not an exact match to its current configuration. It lacked the light-well on the west façade and had an open rear porch that spanned the north façade, where the enclosed projecting bay with the exterior stair is located today. The subject block was relatively well developed at that time, especially at the western end where the subject property is located. Development consisted primarily of residential buildings, with a predominance of flats and a few mid- to large-scale single-family dwellings. In particular, three relatively large and elaborate looking houses were located on larger than standard lots at the east end of the block (Figure 1).

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<sup>9</sup> Construction notice, *California Architect & Building News* (15 December 1888) 166. Spring Valley Water Co. tap records: 1130 Fulton Street.

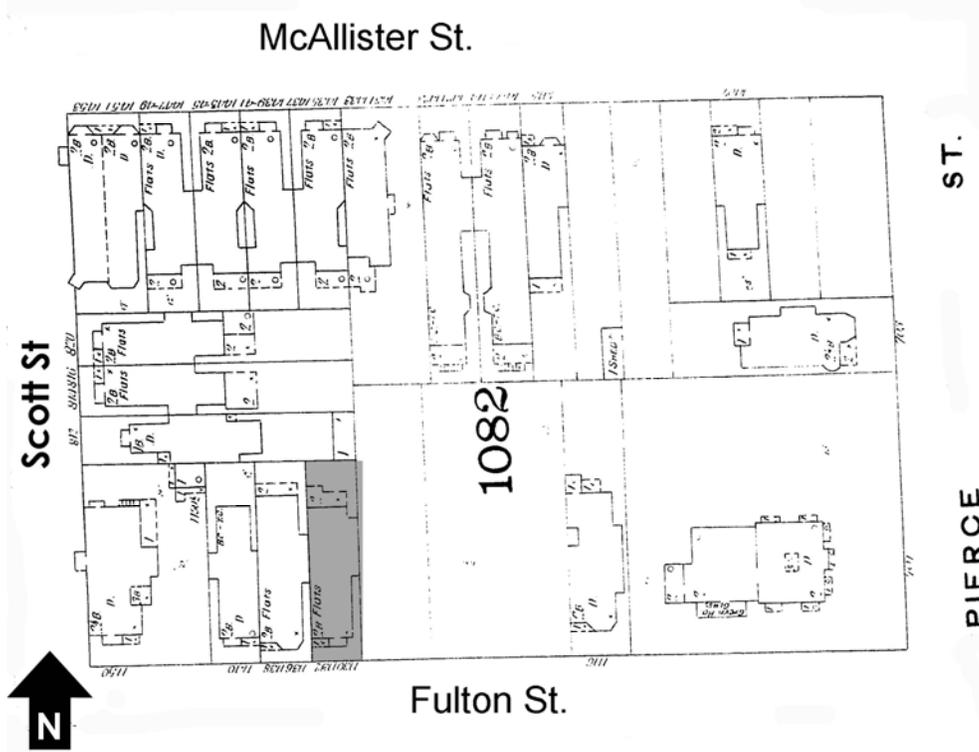


Figure 1 – 1893 Sanborn Fire Insurance map. Subject property shaded.

Six years later, in 1899, little to no change had occurred at the subject property. It was still addressed 1130-1132 Fulton Street, contained two flats, and exhibited the same physical traits of plan and footprint seen earlier. Development of the surrounding block had increased somewhat, with flats, duplexes, and a few single-family dwellings filling in the empty land at the east end of the block. The already dense west end of the block remained unchanged (Figure 2).

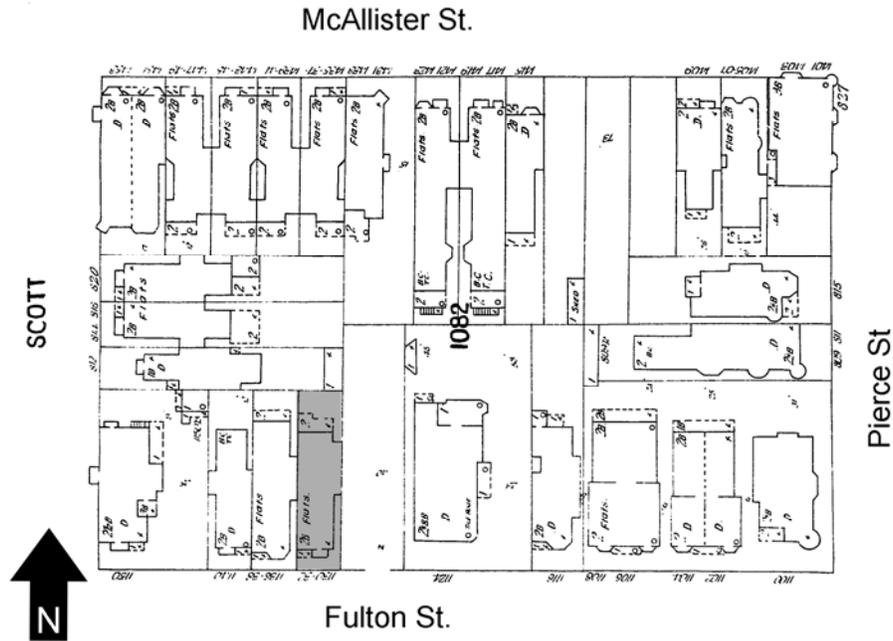


Figure 2 – 1899 Sanborn Fire Insurance map. Subject property shaded.

In 1902, a third residential flat was added to the house when the basement was converted into living space.<sup>10</sup> A photograph taken some time after 1902 shows the subject house in what appears to be near original condition, very different in appearance to today. It had an ornate porch and primary entrance at the first story level (now the second story) and a raised basement below (now the first story). The raised basement had an angled bay window on the right side and its left side was concealed by the wide entrance stair leading to the porch. The house was fenestrated with one-over-one, double-hung, wood-sash windows that were paired on the square, two-story projecting bay. The cladding material is not readily discernable, but the house was adorned with Stick style ornament that included wall paneling; intermediate cornices with pent roofs; window trim and hoods; extended brackets and vertical trim; a pierced screen, pediment and finals on the porch; and a bracketed cornice, pent roof, and pediment at the roofline (Figure 3). In 1905, the address of the property changed to 1168, 1170, and 1172 Fulton Street.<sup>11</sup>

<sup>10</sup> "Builder's Contracts," *San Francisco Call* (13 August 1902) 15.

<sup>11</sup> City directories.



**Figure 3** – Photograph, no date, post-1902. Subject property at far left.  
(Provided by DesignPad)

By the time of the 1913 Sanborn Fire Insurance map, obvious changes are visible to the footprint of the house. These include the replacement of the open two-story back porch with an enclosed, two-story, projecting bay with an exterior stair on its north side, and the addition of a slant-sided light well on the west façade. The presence of a third dwelling unit is also clearly noted. In 1913, density on the subject block had continued to increase, showing the effects of the 1906 Earthquake, as additional residential flats buildings filled in the last remaining vacant lots on the block. A number of former single-family dwellings were converted to residential flats and existing flats buildings went from containing two or three flats to as many as five dwelling units. The lot to the east of the subject property was finally developed in 1902, and the new building closely abutted the subject house (Figure 4).

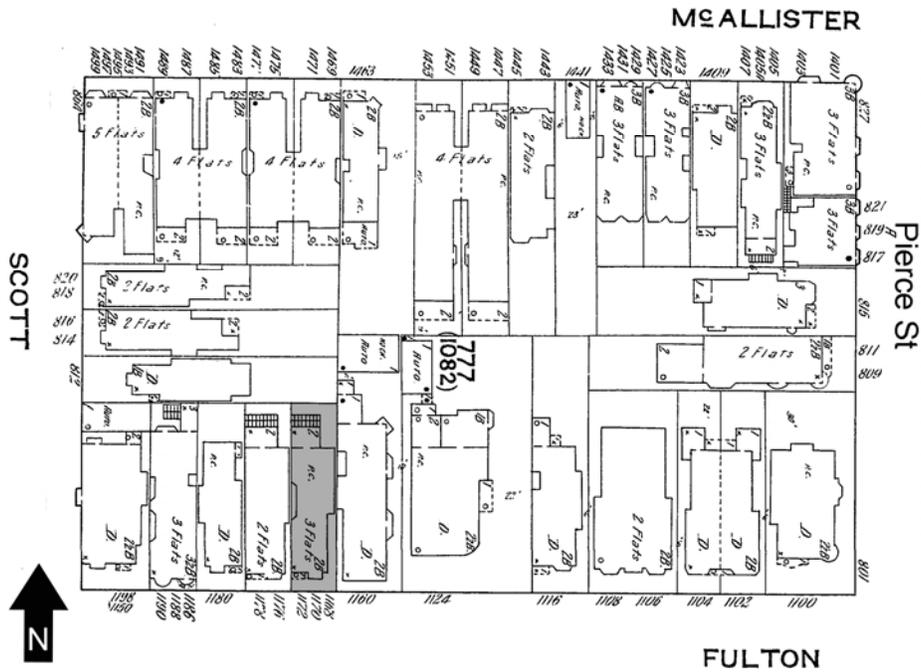


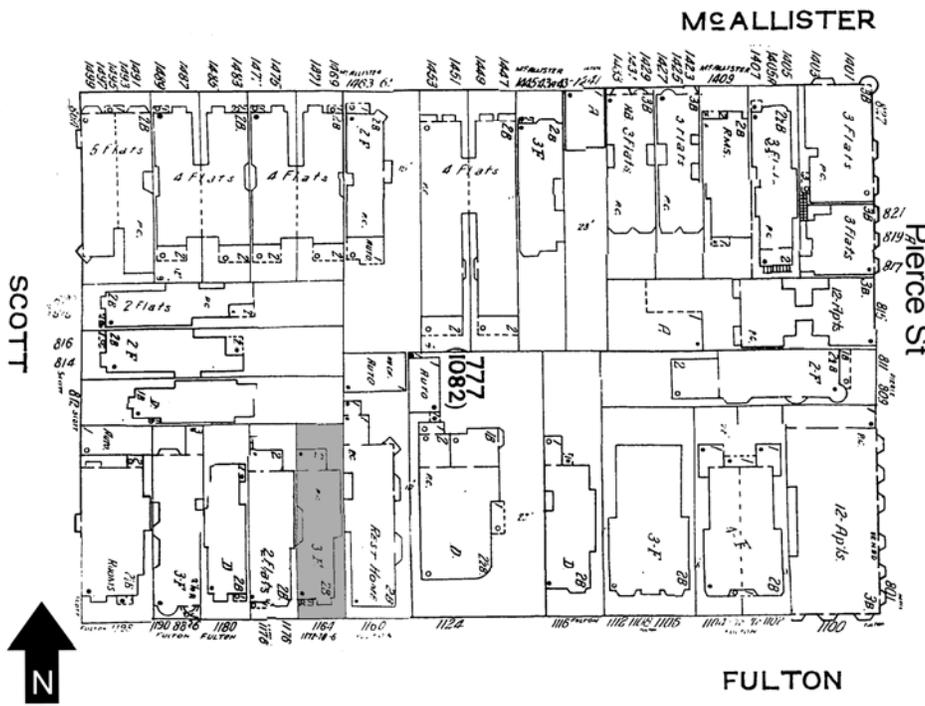
Figure 4 – 1913 Sanborn Fire Insurance map. Subject property shaded.

A 1938 aerial photograph shows the subject property looking much as it does in modern aerial photographs. Density of the surrounding block was at a maximum (Figure 5).



**Figure 5** – Aerial view, August 1938, by Harrison Ryker. Arrow indicates subject house.  
 (Source: David Rumsey Map Collection)

The 1950 Sanborn Fire Insurance map shows few changes to the configuration of the property. The only exception is that the exterior stair no longer appears on the north side of the rear projecting bay. However, the stair exists today indicating that it was not actually removed. The maps also illustrates little change to the subject block, except for the addition of two 12-unit apartment buildings at the east end of the block where single-family dwellings had been located previously (Figure 6).



**Figure 6** – 1950 Sanborn Fire Insurance map. Subject property shaded.

A photograph from 1951, which shows a small portion of the subject house, indicates that the primary façade had been drastically remodeled by that time (Figure 7). The primary entrance had been relocated to the ground floor and set within a recessed vestibule. The entry stairs and ornate porch had been removed and a double-hung window was inserted where the primary entrance had once been. The angled bay window at the raised basement level had been replaced with a shallow square projecting bay and a garage entrance that featured partially-glazed, hinged, wood double-doors. Double-hung windows remained on the upper façade, but the façade

itself was stuccoed. All trim and decorative elements were removed and the cornice was also covered with stucco. Only the secondary façade remained unstuccoed with original decorative elements intact as it is today.



**Figure 7** – 1951 photograph, subject property at far left.  
(San Francisco Public Library, AAC-9929)

In 1963, the house underwent alterations that included the installation of the metal fire escape on the primary façade. A new bathroom was added on the second floor.<sup>12</sup> In 1950, the Sanborn Fire Insurance map had shown that the building contained three flats, but by 1964, one more living unit had been created within the house. That year, permit records indicate that work was done to make the fourth living unit legal and compliant.<sup>13</sup>

In 1973, the façade of 1164 Fulton Street was remodeled once again. The stucco siding was removed and replaced with cedar shingles and the double-hung, wood-sash windows were replaced with aluminum sliders.<sup>14</sup> The alterations to the windows included changes to the dimensions of the window openings. The cornice was also

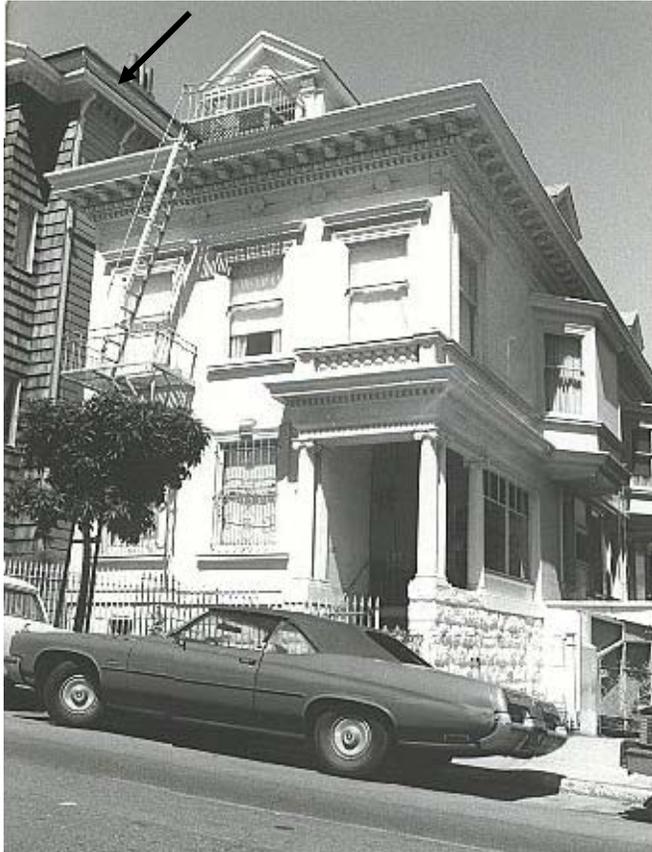
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<sup>12</sup> Department of Building Inspection, building plans, 30 November 1963.

<sup>13</sup> Department of Building Inspection, building permit 263775, 25 February 1964.

<sup>14</sup> Department of Building Inspection, building permit 370233, 3 January 1973.

restored to some extent, with the coved stucco removed and the original or replacement modillions exposed. However, the original brackets on the cornice were not reinstated. These changes are captured in a 1976 photograph of the neighboring house in which 1164 Fulton Street is partially visible (Figure 8).



**Figure 8** – 1976 photograph, corner of subject property visible at far left.  
(San Francisco Planning Department, 1976 Survey)

Sanborn map images of the block around the property prove that the neighborhood was built-out early – mostly between 1893 and 1899 – and although it experienced an increase in density that saw the subdivision of dwellings to accommodate additional dwelling units, the buildings themselves did not physically change to a great extent. Even in the mid-1990s, the Sanborn map shows an area dominated by subdivided Victorian-era houses containing multiple dwelling units, with only a few single-family dwellings still remaining (Figure 9). Following, or even preceding these trends to some extent, the subject building was purpose-built as a residential flats building and reflected growing neighborhood density by including a third flat in 1902. However,

unlike many other examples in the neighborhood, the house has undergone a number of changes in plan and configuration since the time of its construction and has experienced drastic cosmetic changes that have completely obscured its original appearance. It is one of few on Alamo Square that has been altered to this great extent, while most others have a high level of physical integrity and retain their Victorian aesthetics.

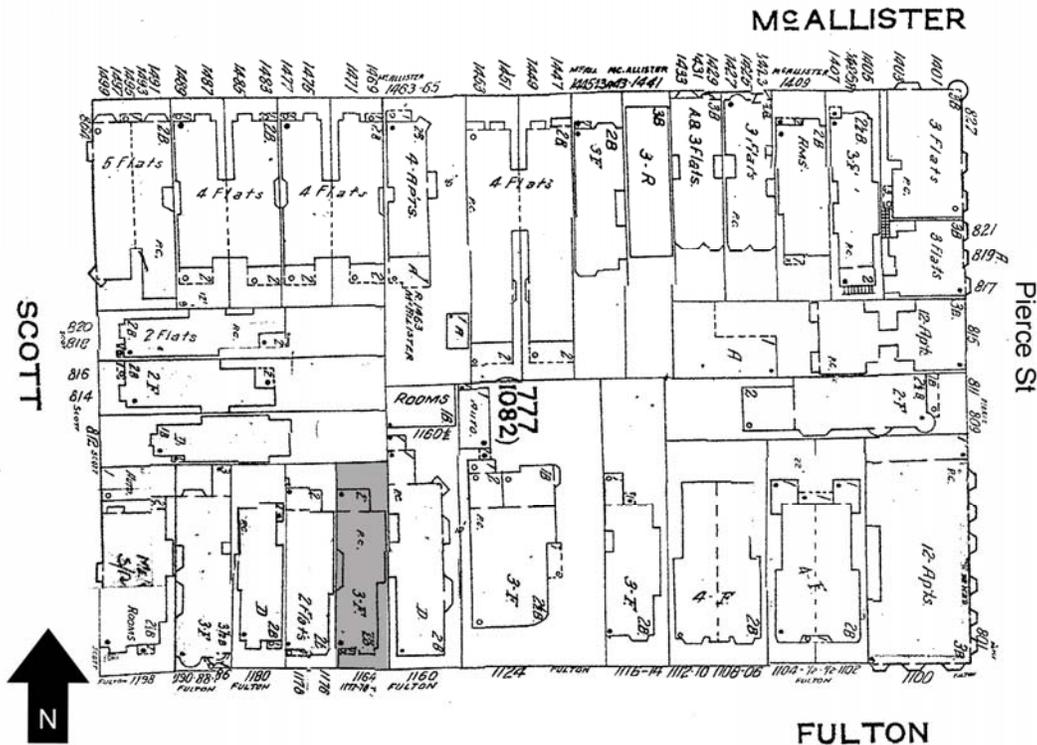


Figure 9 – ca 1998 Sanborn Fire Insurance map. Subject property shaded.

The following building permits and plans were found in Department of Building Inspection files for the subject property:

- Plans, 30 November 1963 – “Alterations to 4-Unit Apartment Building,” by Carl Zekarian for Mr. & Mrs. Vinson. Includes new fire escape with vertical ladder to roof. New bathroom on second floor.
- Permit #263775, 25 February 1964 – Legalize building to its present occupancy [4 units] as per instructions from Department of Public Health.

- Permit #280299, 14 January 1965 – Remodel kitchen and bathroom. Bathroom to have new fixtures and tile. Kitchen to have new cabinets and sink. Lower ceiling in kitchen and dining room. New windows in kitchen.
- Plans, 8 February 1965 – “Alteration to Apartment No. 2 Kitchen,” by Carl Zekarian for Mr. & Mrs. Vinson.
- Permit #370233, 3 January 1973 – Kitchen extension on third floor. Stucco on front to be removed and replaced with cedar shingles. Windows on front façade installed. Metal ladder to roof installed. Central heat for second floor flat installed. Sidewalk work at front of property.
- Permit #547653, 21 April 1986 – Bring building into full compliance; including recharging fire extinguishers, calking tile around tub in ground floor apartment, repairing deadbolt on apartment no. 3, and providing a self-closer for passageway door.
- Permit #922394, 26 September 2000 – Back stairway repairs.

#### *D. Architectural Style*

The Stick style emerged in the 1870s and 1880s as a transitional style between the earlier Gothic Revival and the later Queen Anne styles. The style stressed the wall surface as a decorative element and expressed the building’s structural framing system on the exterior of the building through abundant vertical, horizontal, and sometimes diagonal millwork, or “stick-work.” This made some reference to Medieval or Gothic half-timbering, but dispensed with any attempt to imitate stone construction or materials other than wood. The Stick style was given national exposure in exhibits at the 1876 Centennial Exposition in Philadelphia and is often closely associated with the Eastlake style of decorative arts.<sup>15</sup>

In San Francisco, the Stick style was applied to the ubiquitous row house form found throughout the Victorian-era city. Much like the bay-windowed Italianate, the Stick style dwelling has a characteristic façade organization that is typically two stories high (often

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<sup>15</sup> Virginia and Lee McAllester, *Field Guide to American Houses* (New York: Alfred A Knopf, 1995) 256. Ian Burke Real Estate, “Styles: Part I,” <http://www.ianberke.com/architecture-style1.html>.

over a raised basement) and two bays wide, with one bay dominated by a square bay window that rises the height of the building. Flat strips of trim around windows and doors, and descending from cornices as extended brackets, express the underlying balloon frame construction. Within this framework, wood siding is often horizontal, vertical, or even diagonal, creating a pattern beneath the “stick” overlay. Wall panels might express reeded, checker board, or shingled patterns and ornamental detailing takes the form of sunburst-motifs, stylized rosettes, bulls-eye blocks, and other somewhat geometric forms. The roofline of the Stick style row house often exhibited ornamental trusswork and false gable roofs.<sup>16</sup> Stick style dwellings were constructed in San Francisco between roughly 1880 and 1890 and the style was made possible through the new Victorian convention of mass production, with exterior ornament, or “gingerbread,” being mass produced and obtained from local mills or ordered from catalogs. Examples can be found throughout San Francisco, particularly in older intact Victorian-era neighborhoods.<sup>17</sup>

The house at 1164 Fulton Street no longer exhibits much of its original Stick styling, with only the height, width, and configuration of its primary façade, and some detailing at the roofline to suggest its original appearance, although these characteristics could easily be confused for any Italianate-derived style. More accurate indications of the building’s original Stick style are visible on the east façade, which has remained relatively untouched over the years. Here, the ornament and trim around the windows provide examples of decorative wall panels, vertical trim and extended brackets, pediments, and other features that are all hallmarks of the Stick style.

### *E. Architect & Builder*

The house at 1164 Fulton Street was designed by James B. Robinson, the husband of the original property owner, Lulu C. Robinson. The 1900 census indicates that James B. Robinson was a contractor by trade, specializing in terra cotta. He was a partner in L.E.

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<sup>16</sup> Ibid.

<sup>17</sup> Judith Lynch Waldhorn and Sally B. Woodbridge, *Victoria’s Legacy* (San Francisco: 101 Productions, 1978)

Clawson & Co., which installed sewer and chimney pipe and patent chimneys.<sup>18</sup> No other archival information was found that elaborates on Robinson's career or body of work. Based on the census data, he was not a trained or licensed architect, but had knowledge of the building trade and may have designed the subject house because his wife was the property owner.

Builder John B. Gonyeau executed Robinson's design. In city directories he is listed as a contractor and builder. He emigrated from Canada in 1852 and is first listed in city directories in 1869.<sup>19</sup> He is known to have constructed three houses in the Russian Hill neighborhood, the two remaining of which are now contributors to the Russian Hill-Vallejo Street Crest National Register Historic District. The three houses were designed in 1888 by Joseph Worcester in the First Bay Region style for David P. Marshall and are considered prototypes of the style. In association with his work on these houses, Gonyeau is described as "a well-established carpenter-builder-contractor, who had been building superintendent for tract developer The Real Estate Associates 1877-1880, and in that capacity had been called 'as competent a master mechanic as can be found on the coast.'"<sup>20</sup> Based on this information, Gonyeau was a competent and respected contractor involved with noteworthy Victorian-era development trends, both in terms of speculative tract building and the construction of houses designed by prominent architects in significant new regional styles.

#### *F. Owners and Occupants*

The following table lists the subject property's owners and their tenure dates, as well as the names of a sampling of tenants who occupied the property:<sup>21</sup>

Owner	Date	Occupancy
Lulu C. Robinson	1888 – 1924	Lulu C. and J. B. Robinson, 1891-ca.1910

<sup>18</sup> City Directory, 1889.

<sup>19</sup> Federal Census records; 1880, 1900. City directories.

<sup>20</sup> Ann Bloomfield, NRHP Nomination: Russian Hill-Vallejo Street Crest District, 22 January 1988.

<sup>21</sup> San Francisco Block Books. San Francisco County Assessor's Office, sales ledgers. San Francisco city directories. San Francisco Department of Building Inspection, permit records.

		Kate Rowan, 1894 Hannah and Henry Silverman, 1895-1902
Lillie D. Coats	1924 – 1929	
George Dafmas	1929	
Edward J. Gallagher	1929 – 1930	
Emily F. Gallagher	1930 – 1942	Manuel Ruiz family, 1932-1944
Emily and Agnes E. Gallagher	1942 – 1946	
California Pacific Title Insurance Co.	1946 – 1947	
Barbara Baglietto and May Murphy	1947 – 1948	
California Pacific Title Insurance Co.	1948	
Takeo and Goheida Taketa	1948 – 1952	Taketa family, 1948-1955
Masu Taketa	1952 – 1955	
Charles H. and Verta L. Vinson	1955 – 1982	Charles H. and Verta L. Vinson, 1955-2007 Jean Cole, 1955-ca.1965 William Taylor, 1955-ca.1964 Barbara Hammond, ca. 1965 Phillip C. Stewart, Mr. O.T. Strideiron, J.P Slade, ca. 1970 Walt Dubner, Joyce Riddick, ca.1975 Tisdell, Beverly Holliday, S. Odom, ca. 1980
Verta L. Vinson	1982 – 2007	

The house at 1164 Fulton Street was built in 1888-1889, according to Spring Valley Water Tap records and a construction notice in *California Architect & Building News*. Both sources indicate that James B. Robinson was associated with the construction of the house, while the latter source adds that Luella (Lulu) C. Robinson, his wife, was the original owner of the property. The Robinsons lived at nearby 1150 Fulton (then the address of the City Landmarked Westerfield House) for the first few years after the construction of the subject house, but by 1891 were residing in one of the flats at the subject property. In 1895, Hannah Silverman and her grown son, Henry Silverman, who

worked as a printer, moved into the other flat.<sup>22</sup> The 1900 Census shows the Robinsons living at the subject property with their son, two daughters, and a servant, while the Silvermans remained in the other flat. In 1902, a third living unit was added to the building and the Silvermans moved away. In 1904, the Robinsons moved into the Silvermans' vacated flat and in 1905 the address of the building changed to 1168-1172 Fulton Street. Around 1906 or 1907, James B. Robinson died and in 1908, Lulu C. Robinson is listed as a widow living at 1172 Fulton Street. She moved away from the subject property sometime between 1910 and 1913, but retained ownership until 1924.<sup>23</sup>

In 1924, the property was sold to Lillie D. Coats, who owned it until 1929. Lillie D. Coats did not reside at the subject house during her period of ownership and no biographical information could be confirmed about her. In 1929, the property was sold to George Dafmas, who owned it for less than one month before selling it to Edward J. Gallagher. No biographical information was available for Dafmas.<sup>24</sup>

Having obtained the property in early 1929, the Gallagher family owned it until 1946. The 1920 Census indicates that Edward J. Gallagher was a building contractor with Municipal Construction Co., as was his eldest son. In 1925, the Gallaghers had moved to 1160 Fulton Street, which is the neighboring house to the east of the subject property. They did not live at the subject house and instead purchased it as an investment when it came on the market in 1929, letting the flats out to renters. In 1930, Edward Gallagher died and ownership of the property passed to his widow, Emily F. Gallagher. Sometime prior to 1932, the address of the subject property changed to the current 1164 Fulton Street. Flats within the building were no longer addressed individually, but it is assumed they remained as separate dwelling units and were occupied by various renters. From 1932 through 1944, one of the flats was rented by Manuel and Paca Ruiz. Manuel Ruiz was a machinist in the can manufacturing industry and hailed from Guatemala. In 1940, the Ruizes shared their flat with their son, who was

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<sup>22</sup> City directories.

<sup>23</sup> City directories. Sales Ledgers.

<sup>24</sup> Ibid.

a sausage maker, and his wife and two children.<sup>25</sup> In 1942, Emily Gallagher redistributed ownership of the subject property between herself and her daughter, Agnes E. Gallagher, and in 1946, they sold both the subject house and their own house at 1160 Fulton to the California Pacific Title Insurance Co., which owned the property for about one year.

In 1947, the subject property was purchased by May Murphy and Barbara Baglietto. May Murphy was married to a real estate broker, and Barbara Baglietto was her daughter, who worked as a teacher.<sup>26</sup> It appears that 1164 Fulton Street was purchased as a real estate investment by them or in their names. They did not reside at the property and it was transferred back to the California Pacific Title Insurance Co., within six months.

In 1948, the property was purchased by brothers Takeo and Goheida Taketa. Three years after the end of World War II, the Taketas had only recently returned from being interned on the basis of their Japanese heritage at the Heart Mountain Relocation Center in Wyoming.<sup>27</sup> Prior to the war they lived in the Japantown neighborhood, but upon returning purchased 1146 Fulton Street outside of the recovering Japanese American community. The entire Taketa family lived at the subject property, but due to the Heney-Webb Alien Land Act of 1913, which prevented Japanese (and other Asian immigrants) from owning property until 1952, the American-born Taketa sons were the only members eligible to purchase the property. The 1948/1949 city directory indicates that parents Morrita and Masu Taketa, and their sons John (Takeo) and Robert (Goheida) lived at the house. John was an insurance agent and Robert was a clerk for the State Department of Industrial Relations. In 1952, coinciding with the end of land-ownership restrictions, the brothers gifted the house to their mother Masu Taketa. The entire family continued to live at the house through 1954.

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<sup>25</sup> Federal Census, 1940.

<sup>26</sup> Federal Census, 1940. City directories.

<sup>27</sup> Japanese Americans Relocated During WWII, records via Ancestry.com.

In 1955, the subject property was sold to Charles H. and Verta Lee Vinson, who owned it until 2007. Prior to living at the subject property, the Vinsons had rented a flat in the neighboring house to the west. Charles H. Vinson was a janitor with American Maintenance and Verta Vinson worked in the City of San Francisco juvenile system.<sup>28</sup> The Vinsons lived in the first floor flat in the subject house and rented out the other two, until the early 1960s, when a fourth dwelling unit was created to accommodate yet another renter. Tenants are not listed in city directories until 1961, but it is known that Jesse Cole, a guard at a Marine Supply Depot, and William Taylor resided at the subject address from 1955 until around 1965.<sup>29</sup> In 1965, Barbara Hammond, a teacher, had taken Taylor's place. In 1970, the house was occupied by the Vinsons, Phillip C. Stewart, Mr. O.T. Strideiron, and J.P. Slade. In 1975, the Vinsons, Walt Dubner, and Joyce Riddick lived at the house. The fourth unit was vacant. In 1980, the Vinsons were joined by Tisdell, Beverly Holliday, and S. Odom. Occupations are rarely listed for these later tenants.

## VI. EVALUATION OF HISTORIC STATUS

The subject property was evaluated to determine if it is eligible for listing in the California Register of Historical Resources, either individually or as a contributor to a historic district. The California Register is an authoritative guide to significant architectural, archaeological and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-eligible properties (both listed and formal determinations of eligibility) are automatically listed. Properties can also be nominated to the California Register by local governments, private organizations or citizens. This includes properties identified in historical resource surveys with Status Codes of 1 to 5 and resources designated as local landmarks or listed by city or county ordinance. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed for use by the National Park Service for the National

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<sup>28</sup> City directories. "In Memoriam," *Alamo Square Neighborhood Association Newsletter*, Dec 2007-Jan 2008.

<sup>29</sup> Department of Building Inspection, affidavit by tenants testifying to lack of property upgrades, December 1963.

Register. In order to be eligible for listing in the California Register a property must be demonstrated to be significant under one or more of the following criteria:

*Criterion 1 (Event):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

*Criterion 2 (Person):* Resources that are associated with the lives of persons important to local, California, or national history.

*Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.

*Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California or the nation.

The following section examines the eligibility of the subject property for listing in the California Register under those criteria.

#### *A. Individual Eligibility*

- **Criterion 1 (Events)**

The property at 1164 Fulton Street is not eligible for listing in the California Register under Criterion 1. The subject building is not associated with any specific events of local, state, or national significance. It is associated with general patterns of physical development in San Francisco's Western Addition, which was the first major expansion of San Francisco's city limits in the mid-1850s. However, there are many earlier examples of architecture still present in the area that better reflect the initial development of the Western Addition. The subject house also reflects the early growth of the Alamo Square neighborhood, which occurred slightly later, but it is one of many houses built around the park in the late nineteenth century and is not an outstanding example thereof, even in its original unaltered state. Ultimately, 1164 Fulton Street does not represent development patterns or trends strongly or specifically enough to be individually eligible under Criterion 1.

- **Criterion 2 (Persons)**

The property at 1164 Fulton Street is not associated with any significant persons in the history of San Francisco, the State of California, or the nation. Because the building is a multiple-family dwelling, occupancy by renters was high and a large number of the property's owners did not reside in the subject house. Nevertheless, both owners and occupants tended to be middle- or working-class (somewhat respectively) with occupations such as janitor, machinist, sausage maker, building contractor, printer, teacher, and government employees. One family that rented a unit was Guatemalan, while another owning and occupying family was Japanese American. This reflects the evolving demographics of the surrounding neighborhood at the various times they were associated with the property, but none of the owners or occupants of 1164 Fulton Street were significant beyond their general associations with demographic trends. Therefore, 1164 Fulton Street is not eligible for listing in the California Register under Criterion 2.

- **Criterion 3 (Architecture)**

The building at 1164 Fulton Street represents early elements in the development of the Alamo Square neighborhood as reflected in the vestiges of its Stick style aesthetics. The style was popular in the 1880s, when the Alamo Square area was first built up. The house has been severely altered to the extent that it no longer demonstrates its original aesthetics though and lacks distinction among other buildings of similar age and style that are located nearby and have better integrity.

James B. Robinson, who designed the house, was a building contractor who specialized in terra cotta, but was not a trained, licensed, or practicing architect. He appears to have designed the house as an amateur because his wife was the property owner. He does not qualify as a master architect. The builder of the house was John B. Gonyeau, who was a well-known contractor in San Francisco from about 1869 until his death in 1901. He was involved with a number of noteworthy building projects, working with master architects, and constructing designs in significant new regional styles. His work at 1164 Fulton Street is not an example of his more significant projects and does

not demonstrate any unusual or exceptional skill or workmanship that would make the building significant for association with its builder.

Due to the building's lack of outstanding architectural merit or its significant representation of the work of a master architect or builder, the house at 1164 Fulton Street is not eligible for individual listing in the California Register under Criterion 3.

- **Criterion 4 (Information Potential)**

This criterion ordinarily refers to potential archeological value. A full analysis of archeological value is beyond the scope of this report. The property does not appear eligible for listing on the California Register under Criterion 4.

*B. Potential for Historic Districts*

A property may also become eligible for listing on the California Register as a contributor to a historic district. Guidelines define a district as an area that “possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.”<sup>30</sup> To be listed on the California Register, the district itself must be eligible under the criteria already discussed. The documentation of the district must enumerate all properties within it, identifying each as a contributor or non-contributor. The district itself, as well as each of its contributors, then become historic resources.

The house at 1164 Fulton Street is located within the boundaries of the Alamo Square Historic District, which is designated at the local level. As Article 10 of the San Francisco Planning Code notes:

The Alamo Square Historic District is significant as a continuum of distinguished residential architecture by distinguished architects spanning the period from the 1870's to the 1920's... With a variety of

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<sup>30</sup> Office of Historic Preservation, “Instructions for Recording Historical Resources” (Sacramento, 1995.)

architectural styles, the District is unified in its residential character, relatively small scale, construction type, materials (principally wood), intense ornamentation (especially at entry and cornice), and use of basements and retaining walls to adjust for hillside sites. Boundaries include the park, its edges, the nearby buildings rated highest on the City's architectural survey, and infill structures for rational planning. Most of the original owner-residents were moderately successful businessmen. A higher than average percentage of the houses were designed by architects, including a virtual cross-section of the City's better professionals. The District has always housed a varied ethnic group. With a high degree of integrity to its original designs, the District clearly serves as a visual reminder of how businessmen lived two to four generations ago.<sup>31</sup>

The subject property, although located within the boundaries of the Alamo Square Historic District and sharing commonalities of age, use, construction type, and original styling with many of the surrounding buildings, is only “potentially compatible” with the district and considered to be a non-contributing resource due to its loss of integrity. Based on the existing documentation and ratings of properties within the Alamo Square Historic District, the subject property's status as a potentially compatible/non-contributing resource means it would not be eligible for listing as a contributor to either the existing district or any alternate historic districts in the future.

## VII. INTEGRITY

In addition to being determined eligible under at least one of the four California Register criteria, a property deemed to be significant must also retain sufficient historical integrity. The concept of integrity is essential to identifying the important physical characteristics of historical resources and hence, evaluating adverse change. For the purposes of the California Register, integrity is defined as “the authenticity of a

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<sup>31</sup> City of San Francisco Planning Code, Article 10: Preservation of Historical Architectural and Aesthetic Landmarks.

historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance" (California Code of Regulations Title 14, Chapter 11.5). A property is examined for seven variables or aspects that together comprise integrity. These aspects, which are based closely on the National Register, are location, design, setting, materials, workmanship, feeling and association. *National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation* defines these seven characteristics:

- *Location* is the place where the historic property was constructed.
- *Design* is the combination of elements that create the form, plans, space, structure and style of the property.
- *Setting* addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building/s.
- *Materials* refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form the historic property.
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history.
- *Feeling* is the property's expression of the aesthetic or historic sense of a particular period of time.
- *Association* is the direct link between an important historic event or person and a historic property.

Since 1164 Fulton Street does not appear to be eligible for listing in the California Register, no period of significance is identified, thus integrity can not be assessed technically. The following discussion, which is included for informational purposes only, assumes a hypothetical period of significance of 1889, the date of the house's construction.

The house has good integrity of location, having never been moved from its current site on the edge of Alamo Square, which is surrounded by residential buildings of a similar

age as the subject property. Its integrity of setting is compromised due to the demolition of large residences the originally existed to its east. Integrity of design, materials, and workmanship is poor, as the building has undergone extensive alterations since its construction that include siding and window replacement, removal of ornamental details, and the reconfiguration of the first and second floors through the removal of an elaborate entry porch and relocation of the primary entrance to the ground level. This obscures the house's original architectural style and design intent, negating its integrity of feeling, as it can no longer express the aesthetics of the time period in which it was built. Its integrity of association is also diminished, as it only vaguely reads as a mid- to late-nineteenth century residence. Ultimately, 1164 Fulton Street lacks integrity. This loss of integrity makes the building ineligible for individual listing on the California Register or as contributing element in a historic district.

## VIII. EVALUATION OF PROJECT SPECIFIC IMPACTS UNDER CEQA

This section analyzes the project specific impacts of the proposed project on the environment as required by CEQA.

### *A. Status of Existing Property as a Historical Resource*

As reported above, the multiple-family dwelling at 1164 Fulton Street is not eligible for individual designation as a historic resource in the California Register. It is located within the locally-designated Alamo Square Historic District and is a "potentially compatible" property in relation to the district. The Planning Department generally considers it to be a non-contributing resource. The property's overall association with the district means that it is subject to the requirements of project review within a designated historic district and a Certificate of Appropriateness will be required for the proposed project.

### *B. Project Description*

The proposed project seeks to restore the primary façade to a more original appearance that will be appropriate and sensitive to the age and original architectural style of the building. Work will include:

1. Removal of wood shingle siding and replacement with horizontal wood siding
2. Removal of fire escape and restoration of roofline elements that were removed to accommodate fire escape
3. Relocation of primary entrance to second story and reconstruction of entry stairs
4. Replacement of all aluminum windows and restoration of window openings to original dimensions
5. Restoration of period-appropriate detailing at windows and primary entrance

Additionally, the interior of the building will be restored from the current four-unit occupancy to the original two-flat organization.

### *C. Determination of Substantial Adverse Change under CEQA*

According to CEQA, a “project with an effect that may cause a substantial adverse change in the significance of a historic resource is a project that may have a significant effect on the environment.”<sup>32</sup> Substantial adverse change is defined as: “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historic resource would be materially impaired.”<sup>33</sup> The significance of a historical resource is materially impaired when a project “demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance” and that justify or account for its inclusion in, or eligibility for inclusion in, the California Register.<sup>34</sup>

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<sup>32</sup> California Resources Agency. “California Environmental Quality Act (CEQA) Statute and Guidelines,” subsection 15064.5(b).

<sup>33</sup> *Ibid.*, subsection 15064.5(b)(1).

<sup>34</sup> *Ibid.*, subsection 15064.5(b)(2).

1164 Fulton Street is not eligible for listing in the California Register either individually or as a contributor to a district. Therefore, it is not a historical resource and proposed alterations would not cause a substantial adverse change in the significance of a historical resource.

#### *D. Analysis of Cumulative Impacts under CEQA*

The area surrounding 1164 Fulton Street includes the locally designated Alamo Square Historic District. Although the subject property is not considered to be a district contributor, it is rated as “potentially compatible” and is physically associated with the surrounding district. Therefore, the proposed project has the potential to effect surrounding historic resources.

This section analyzes the possible cumulative impacts on the Alamo Square Historic District related to the proposed project at 1164 Fulton Street.

### **Methodology**

This analysis was conducted in accordance with the published Guidelines for the California Environmental Quality Act (CEQA Guidelines) 1 which define Cumulative Impacts as:

“two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.”  
(section 15355)

The Guidelines offer two methods of analysis; the List Approach (section 15130(b)(1)(A)), or the Projection Approach (section 15130(b)(1)(B)). This report adopts the List Approach in which “all of the past, present, and probable future projects” are examined to determine if there is risk of a Cumulative Impact. TKC examined the San Francisco Property Information Map for each of 45 contributing buildings in the potential District to identify all projects involving demolition

### **Cumulative Impact Analysis**

TKC concludes that there would be one physical effect on the Alamo Square Historic District:

- Rehabilitation and restoration of the primary façade of the subject building

Table 1 shows past, present and active rehabilitation projects identified in the Alamo Square Historic District on the Planning Department's Property Information Map. It omits the subject project at 1164 Fulton Street. Projects that both predate and postdate the identification of the district have been listed in order to identify trends presumably based on underlying economic factors. For the same reason, projects that, though proposed, have never been executed are also listed. These trends, though subject to economic fluctuations and now also to increased regulation, may be assumed to persist and thus to indicate probable future projects.

*Table 1 Rehabilitation Projects Proposed in the Alamo Square Historic District*

APN	Address	Contributory	Project Description	Date	Status *
0776016	1531 Golden Gate Ave	Yes	Proposed project would install a new garage opening on the front façade.	1/2/2007	Closed (not executed)
0775023	1415-1419 Golden Gate Ave	Yes	To replace three non-historic windows at the basement level of the front facade with new wood double-hung, curved sash windows to address violation.	11/13/2007	Closed (executed)
0777059-060	1487 McAllister St	Yes	New two-car garage on basement/ground level.	9/28/2004	Closed (not executed)
0775004 A	1306 McAllister St	Yes	Remove lower portion of bay window and install new garage opening.	8/3/2006	Closed (executed)
0777030	1405 McAllister St	Yes	Add a garage to the ground floor level and modify front entry steps	10/22/2002	Closed (executed)
0775/007	1334-1338 McAllister St	Yes	Work including add garage door to front	8/14/2001	Closed (executed)
0775033-035	1352-1356 McAllister St	No	Install garage on ground floor.	7/27/1988	Closed (executed)
0803028	943-945 Grove St	No	Install new windows at front facade	10/24/2006	Closed (executed)

0798008	924 Grove St	Yes	Convert ground floor to garage, add dormers, rear extension and roof deck.	5/9/2006	Closed (executed)
0803025	973 Grove St	Yes	Add garage, modification of the front concrete stairs, modification and addition of windows and doors...	8/17/1999	Closed (executed)
1181004	715 Scott St	Yes	Provide new garage below the existing house including new driveway.	7/30/1997	Closed (executed)
1181006	709 Scott St	Yes	To allow alteration of bldg in the alamo square HIST Dist build a garage within existing bldg.	9/12/1989	Closed (executed)
0777017	814 Scott St	Yes	Installation of windows at front facade	1/17/2012	Closed (executed)
1180004	809 Scott St	Yes	Install a 2-car garage, reconfigure front stairs and install entry gate...add decorative trim at front, window modification	12/12/2002	Closed (executed)
0776014-014A	924-930 Pierce St	Yes	Alter exterior to create a garage opening.	2/19/1992	Closed (executed)
0823003	635 Steiner St	Yes	(1) Limited window replacement at front and rear facades. (2) To install a subterranean garage in the front setback area.	8/11/2011	(1) On hold/ (2) closed (executed)
0822024	628 Steiner St	Yes	Modify existing basement level to garage use by adding garage door below bay window.	9/6/2011	Active
0823005	603 Steiner St	Yes	Exterior alterations to a Contributory Building within the Alamo Square Historic District pursuant to Section 1006 of the Planning Code.	4/12/1996	Closed (executed)
0775002	1043 Steiner St	Yes	Restore original turret roof, balcony railing. Move location of front stairs, and add new wood siding and hand railing to stairway.	9/22/1998	Closed (executed)

			Subject property is a contributory building in the Alamo Square Historic District (Menuhin House).		
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- “Active” status means there is an open environmental case. “Open” means permits have been applied for but no environmental case is shown. “Closed” is self-explanatory.

The projects listed above are those most comparable to the proposed project in that they included work to the primary facades of buildings. None are directly comparable to the proposed façade restoration at 1164 Fulton, however. The most comparable example is the project at 1043 Steiner Street, which undertook restoration of elements of the building’s primary façade and relocated the front stair. Based on the examples shown, the proposed project at 1164 Fulton Street would not contribute to an undue number of façade alterations within the Alamo Square Historic District, and by nature of its restoring a very altered house to a more original and stylistically appropriate appearance would benefit the district.

Article 10 of the San Francisco Planning Code describes character-defining features of the Alamo Square Historic District and its contributors as: variety of architectural styles, residential character, small scale, construction type (wood frame), materials (principally wood), intense ornamentation (especially at entry and cornice), and use of basements and retaining walls to adjust for hillside sites. Article 10 does not provide specific guidelines for new construction, additions, or alterations to buildings in the Alamo Square district, but does state that a Certificate of Appropriateness is required for minor exterior alterations: new construction; street and park furniture; and the painting, cleaning, and maintenance of masonry, brickwork, and stonework.

The proposed project includes restoration of the building’s primary façade to a more original and stylistically appropriate appearance. To avoid creating “false historicism” this work should be based on the existing historic photos and any traces of missing ornament revealed when the present cladding is removed. If done in this way, TKC believes the project will not cause a substantial adverse change in the significance of a historic resource or surrounding historic resources and does not rise to the level of a

significant impact under CEQA. In fact, the restoration of the house's primary façade will improve the architectural value of the house and its visual relation with surrounding properties.

## IX. CONCLUSION

The project proposes to rehabilitate the house at 1164 Fulton Street and restore its primary façade to a more original and stylistically appropriate appearance. The subject building is located within the locally designated Alamo Square Historic District and is rated as "potentially compatible," but is not considered to be a district contributor due to lack of integrity. Although 1164 Fulton Street does not qualify as a historical resource for purposes of CEQA, the surrounding district does. The proposed rehabilitation and restoration of the building's primary facade would not cause a substantial negative change to the building itself, nor contribute to a cumulative negative change to the district. No mitigation measures are necessary, but a Certificate of Appropriateness will be required for the proposed project as is standard practice for all projects undertaken within a designated historic district.

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XI. PHOTO APPENDIX



Primary (south) façade, looking north.



First story of primary façade showing primary entrance and garage.



Detail of primary entrance.



Detail of third story and roofline.



East façade.



First story, east façade.



Second story, east façade.



Third story and roofline, east façade.



West façade.



North block face of Fulton Street to west of 1164 Fulton Street (at right).



North block face of Fulton Street to east of 1164 Fulton Street (at left).



Alamo Square Park; south block face of Fulton Street, opposite 1164 Fulton Street.