



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report

HEARING DATE: AUGUST 6, 2014

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Filing Date: March 25, 2014
Case No.: **2014.0424A**
Project Address: **2319 Webster Street**
Landmark District: Webster Street
Zoning: RH-2 (Residential, House, Two-Family)
40-X Height and Bulk District
Block/Lot: 0605 / 003
Applicant: Virginie Manichon
EAG Studio
2443 Fillmore Street, #215
San Francisco, CA, 94115
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Reviewed By Tim Frye - (415) 575-6822
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PROPERTY DESCRIPTION

2319 Webster Street, west side between Jackson and Washington Streets, Assessor's Block 0605, Lot 003. The two-story residence is the work of builder William Hollis, president of The Real Estate Associates (TREA) at the time. The building was constructed in 1878 in the Italianate style as a single-family residence. The subject property is a contributing building within the Webster Street Landmark District, designated in 1981. It is located in a RH-2 (Residential, House, Two-Family) Zoning District and a 40-X Height and Bulk District.

The Webster Street Landmark District is composed of houses designed almost entirely in the Italianate architectural style. The brief period of significance ranges from 1878 - 1880. The predominant building height is two stories. The landmark designation report states that the "district gives a living view of typical, middle-class residential living for its period." Builder William Hollis, who resided at 2319 Webster Street, also constructed 2315, 2317, and 2321 Webster Street.

PROJECT DESCRIPTION

The proposal includes:

- Insertion of an 8'-6"-wide by 7'-high garage at basement level of the primary (east) façade beneath the existing window bay;
- Excavation of a 255 square-foot subgrade addition, providing a garage, basement and additional bedroom;

- Filling in a notch approximately 3' deep at the first story beneath an existing overhang at the second story, not visible from the public right-of-way;
- Removal of a non-historic stair and exit door to the second story at the secondary south façade and construction of a new stair well to access the new basement level, not visible from the public right-of-way;
- Converting the roof of a non-historic rear addition to a deck and replacing a rear window at the second story with an access door;
- Replacement of two non-historic, first-story, fixed-pane windows in-kind on the secondary north façade, not visible from the public right-of-way.

OTHER ACTIONS REQUIRED

Proposed work requires 311 Notification and a Building Permit from the Department of Building Inspection (DBI).

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

Pursuant to Section 1006.2 of the Planning Code, unless exempt from the Certificate of Appropriateness requirements or delegated to Planning Department Preservation staff through the Administrative Certificate Appropriateness process, the Historic Preservation Commission is required to review any applications for the construction, alteration, removal, or demolition of any designated Landmark for which a City permit is required. Section 1006.6 states that in evaluating a request for a Certificate of Appropriateness for an individual landmark or a contributing building within a landmark district, the Historic Preservation Commission must find that the proposed work is in compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, as well as the designating Ordinance and any applicable guidelines, local interpretations, bulletins, related appendices, or other policies.

ARTICLE 10 – Appendix C – The Webster Street Landmark District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Webster Street Landmark District as described in Appendix C of Article 10 of the Planning Code and the character-defining features specifically outlined in the designating ordinance.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project will retain the single-family residential use of the building while creating a garage to support the contemporary use of the building and slightly expanding the first story at the rear. The garage will retain the overall character of the primary façade of the building and the proportions, details and materials of the entry stairs. The horizontal addition will extend approximately 3' from the rear of the south side façade beneath an existing overhang, not visible from the public right-of-way. For these reasons, the project will cause minimal or no change to the distinctive materials, features, spaces and spatial relationships of the property.

Therefore, the proposed project complies with Rehabilitation Standard 1.

Standard 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

All aspects of the historic character of the building will be retained and preserved. No distinctive materials, architectural elements, or spaces that characterize the property would be removed. The project would remove the existing raised landscape and alter the front setback, both of which are character-defining features of the building or district, although the character of the front setback shall be retained. The landscape features to be removed show no exceptional craftsmanship or artistic quality. The existing non-historic entrance stair with brick steps and metal handrail will be retained. The proposal limits alteration to the exterior of the building to less than 25% of the exterior facades as well as less than 25% of each individual façade.

Therefore, the proposed project complies with Rehabilitation Standard 2.

Standard 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

No new elements will be added to the historic building that confuse its historical development. The proposed garage will be clearly contemporary yet compatible in design. The garage design is in keeping with the existing garages installed at the two adjacent properties to the south in the district, which are compatible with the thirteen (13) additional contemporary garages installed in the district, which is comprised of twenty-five (25) properties. No conjectural elements are proposed.

Therefore, the proposed project complies with Rehabilitation Standard 3.

Standard 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No distinctive materials, features, finishes, construction techniques or examples of craftsmanship would be affected by the proposed project. The non-historic stair addition to be removed does not have historical significance.

Therefore, the proposed project complies with Rehabilitation Standard 4.

Standard 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No distinctive materials, features, finishes, construction techniques or examples of craftsmanship will be affected by the proposed project. The three windows, exit door, and side stair, are all located on secondary façades not visible from the public-right-of-way.

Therefore, the proposed project complies with Rehabilitation Standard 5.

Standard 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The project includes several alterations; however, none of the changes would destroy materials, features, or spatial relationships that characterize the property or the district and all additions will be easily identifiable as contemporary alterations.

Garage: *The proposed garage will not destroy historic materials, features, or spatial relationships that characterized the property. The garage design will retain the openness of the front yard and will retain the existing straight-run entry stairs. The proposed planters at either side of the permeable driveway will also retain plantings in the yard area and soften the transitional space between the street and the building. The garage will cause the removal of less than 25% of the surface of the front wall (approximately 10% removal).*

The proposed garage will be designed in a contemporary style that clearly reads as a modern intervention. Overall the garage is compatible with the historic building and the district in terms of its minimal size and subordinate proportions and details in relation to the historic house. The new opening will not alter the projecting bay above, which is a character-defining feature of the facade.

The proposed garage is in keeping with other garage installations on the block and within the district. Currently, fourteen (14) of the twenty-five (25) properties in the district have been altered to accommodate garages. For these reasons, the work will retain the integrity of both the historic house and the district.

Horizontal Addition: *The proposed extension of the rear portion of the south wall, including one window, would remove less than 25% of the original exterior wall of the subject building (approximately 13% removal). The proposed addition is to infill below an existing overhang, 3 feet deep by 14 feet wide, and will therefore not significantly alter the massing or volume of the resource. The proposed addition will be clad in wood siding to match the existing exterior wall and a new wood-sash, fixed-pane window will be installed to match the placement of the existing window.*

A below-grade stair would be introduced along the side of the new addition to provide access to the proposed basement level and a door providing access to the basement and new wood-frame window

would be introduced to provide light to the partially below-grade space. This portion of the addition would clearly read as a contemporary intervention.

The proposal also involves the removal of a non-historic stair to the second story and removal of the non-historic door accessing the stair. Two small wood-frame windows would be installed on the second story of the wall to provide light to interior spaces. The infill material at the site of the existing door would be wood siding to match the existing material.

Overall, the historic fabric of the south wall would be minimally altered and the utilitarian aesthetic of the wall would be maintained. All new materials would be compatible with the historic materials, including painted wood siding and painted wood-sash windows, and no new decorative elements would be introduced.

Deck: The proposed deck on the rear (west) façade would be constructed on top of an existing historic single-story addition at the rear. The design would introduce a railing where the current southern parapet exists and reconstruct the parapet at the west and north elevations. A window located at the center of the rear bay would be replaced with a custom-built wood frame door with a central lite and a single-lite transom above to match the height of the adjacent windows on either side of the bay.

The proposed deck would minimally alter the secondary rear façade. All parapet siding would be replaced in kind to match the historic material while the proposed new railing would be utilitarian in design. The installation of a door at the center of the existing bay would relate to the existing proportions of solids and voids while reading as a contemporary alteration. Overall, the historic materials, features, and spatial relationships that characterize the property would be largely retained and all alterations to the east wall would not be visible from the public realm.

Therefore, the proposed project complies with Rehabilitation Standard 9.

Standard 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

While unlikely, the proposed alterations could be reversed in the future relying upon historic photographs, physical evidence, and the building permit record.

Therefore, the proposed project complies with Rehabilitation Standard 10.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

STAFF ANALYSIS

Based on the requirements of Article 10 and the Secretary of Interior's Standards, staff has determined that the proposed work is largely compatible with the character-defining features of the subject building and with the Webster Street Landmark District. All aspects of the historic character of the existing

building would be retained and preserved and no distinctive materials, architectural elements, or spaces that characterize the property would be removed. The project is analyzed below:

Primary Façade: *Garage*

Staff finds that the modified garage entry will not destroy significant historic material and will retain the spatial relationships of the building and district. The proposed garage will be clearly contemporary in its design and would not create a false sense of historical development in the Webster Street Landmark District. The garage design is in keeping with the existing garages installed at the two adjacent properties to the south within the district, among others, which feature minimal surround trim, painted wood doors with simple designs, are installed entirely below the projecting bay windows, and are typically partially below grade to further reduce visibility. The proposed garage door would be 8'-6" wide and 7' tall, constructed of cedar with a painted exterior to match the historic residence. The wood trim surrounding the door will be 1" by 4", with a 1" by 5" moulding above. The garage will be set 2'-4" behind the face of the projecting bay, where the existing historic wall is located.

The garage design will retain the openness of the front yard and will retain the existing straight-run entry stairs. The proposal would remove the existing curb, retaining walls, and planters that the front of the residence. The proposed planters at either side of the permeable driveway will retain plantings in the yard area and soften the transitional space between the street and the building. The finish has not been specified, therefore the Department recommends that the project sponsor use a smooth-finished concrete along the walls of the proposed planters as a condition of approval. The work will cause the removal of less than 25% of the building's exterior walls and less than 25% of the surface of the front wall.

South Façade: *Horizontal Addition*

Staff finds that the proposed rear horizontal addition would not be visible from the public right-of-way. The mass, scale and location of the new addition is consistent and compatible with the subject building and with the rear additions found on contributing properties within the surrounding district. Further, this work would not impact any character-defining features of the subject property or surrounding district. The materials specified for the rear addition would be in alignment with the district's character-defining features, which include wood siding and wood-framed windows. The work will cause the removal of less than 25% of the surface of the south wall.

Rear Façade: *Deck*

Staff finds that the addition of a deck to the existing roof of the rear single-story addition will not destroy significant historic material and will retain the spatial relationships of the building. Additionally the alteration will not be visible from the public right-of-way. The materials specified for the deck alteration and addition of a rear door would be in alignment with the district's character-defining features, which include wood siding, wood framed doors, and framed windows. Further, the general proportions of the windows adjacent to the proposed door would be retained in the design of the door.

Excavation

Other than the visibility of the garage entrance, the addition of below-grade habitable space would not be visible from the public right-of-way and will not impact the character-defining features of the resource.

Summary

Department staff finds that proposed work will be in conformance with the Secretary's Standards and requirements of Article 10, as the proposed work shall not adversely affect the special character or special historical, architectural, or aesthetic interest or value of the landmark and its site.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Structure) because the project includes a minor alteration of an existing structure that meets the Secretary of the Interior Standards for Rehabilitation of a Historic Property.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation. Staff supports the project with the following conditions:

- The project sponsor shall use a smooth-finished concrete wall for the new retaining walls and planters flanking the driveway to maintain a simple aesthetic from the public right of way.
- The project sponsor shall retain the historic base of the bay on the primary façade above the proposed garage and install a solid wood garage door with a painted finish similar in tone to the surrounding wall finishes.
- The project sponsor shall complete a site visit with Department preservation staff prior to occupancy in order to verify compliance with the approved project description and conditions of approval.

ATTACHMENTS

Draft Motion
Parcel and 1998 Sanborn Maps
Photographs
Plans

AK: G:\Preservation\2319 Webster\2319 Webster_exec summary.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion XXXXX

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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 003 IN ASSESSOR'S BLOCK 0605, WITHIN AN RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on March 25, 2014, Virginie Manichon of EAG Studio, (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to rehabilitate and expand a single-family residence located on the subject property on lot 003 in Assessor's Block 0605 for continued use as a single-family residence. The work includes excavation of a new basement and garage, with a new garage entrance located beneath the existing bay on the primary (east) façade; infill of a second-story overhang on the south façade, not visible from the public right-of-way; replacing two non-original windows on the south façade, one historic window in the rear (west) façade with a door to provide access to a proposed deck, noted below, and removal of a second-story egress door on the north facade; converting the first story roof of the rear addition to a deck including insertion of a new doorway; and relocation of a non-historic stairwell on the rear of the south façade to access the new basement level.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on August 6, 2014, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014.0424A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated received July 8, 2014 and labeled Exhibit A on file in the docket for Case No. 2014.0424A based on the following findings:

CONDITIONS OF APPROVAL

- The project sponsor shall use a smooth-finished concrete wall for the new retaining walls flanking the driveway.
- The project sponsor shall retain the historic base of the bay on the primary façade above the proposed garage and install a solid wood garage door with a painted finish similar in tone to the surrounding wall finishes.
- The project sponsor shall complete a site visit with Department preservation staff prior to occupancy in order to verify compliance with the approved project description and conditions of approval.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The proposed project would retain the residential use while adding a garage, basement, and deck to support the contemporary use of the building.
- Other than the removal of the elevated front yard and associated retaining wall, all aspects of the historic character of the existing building will be retained and preserved and no

distinctive materials, architectural elements, or spaces that characterize the property will be removed.

- The proposed location of the garage addition would be in keeping with the streetscape of the district and would require minimal removal of historic materials.
- The garage design will retain the openness of the front yard and will retain the existing straight-run entry stairs.
- The work will cause the removal of less than 25% of the building's exterior walls and less than 25% of the surface of the primary façade.
- The design of the alterations would be sufficiently differentiated from the historic buildings through the use of contemporary architectural details while maintaining a compatible appearance through the use of elements such as horizontal wood cladding and framed window openings.
- The proposed excavation of the site to provide for the basement would have no visual impact to the site upon its completion from the public right-of-way. The proposed new stairs would descend below grade to provide access to the new basement level.
- The proposed project would not add any conjectural historical features or features that add a false sense of historical development. The design of the new addition and other new features such as windows and cladding would be clearly distinguished as contemporary features of the property.
- The project would retain distinctive materials and finishes from the period of significance, including the decorative elements, wood siding, and wood-frame structure. The garage addition would remove
- If the proposed additions were removed in the future, the essential form and integrity of the site would remain intact.
- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a

false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 4.

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 7.

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of 2319 Webster Street and the Webster Street Historic District for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:
 - A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the restoration of a residential property and will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the landmark in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing ten units at the property are uninhabitable.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. It will provide sufficient off-street parking for the proposed units.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. The work will eliminate unsafe conditions at the site and all construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

Motion No. XXXX
Hearing Date: August 6, 2014

CASE NO 2014.0424A
2319 Webster Street

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS a Certificate of Appropriateness** for the property located at Lot 003 in Assessor's Block 0605 for proposed work in conformance with the renderings and architectural sketches dated July 8th and labeled Exhibit A on file in the docket for Case No. 2014.0424.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on August 6, 2014

Jonas P. Ionin
Acting Commission Secretary

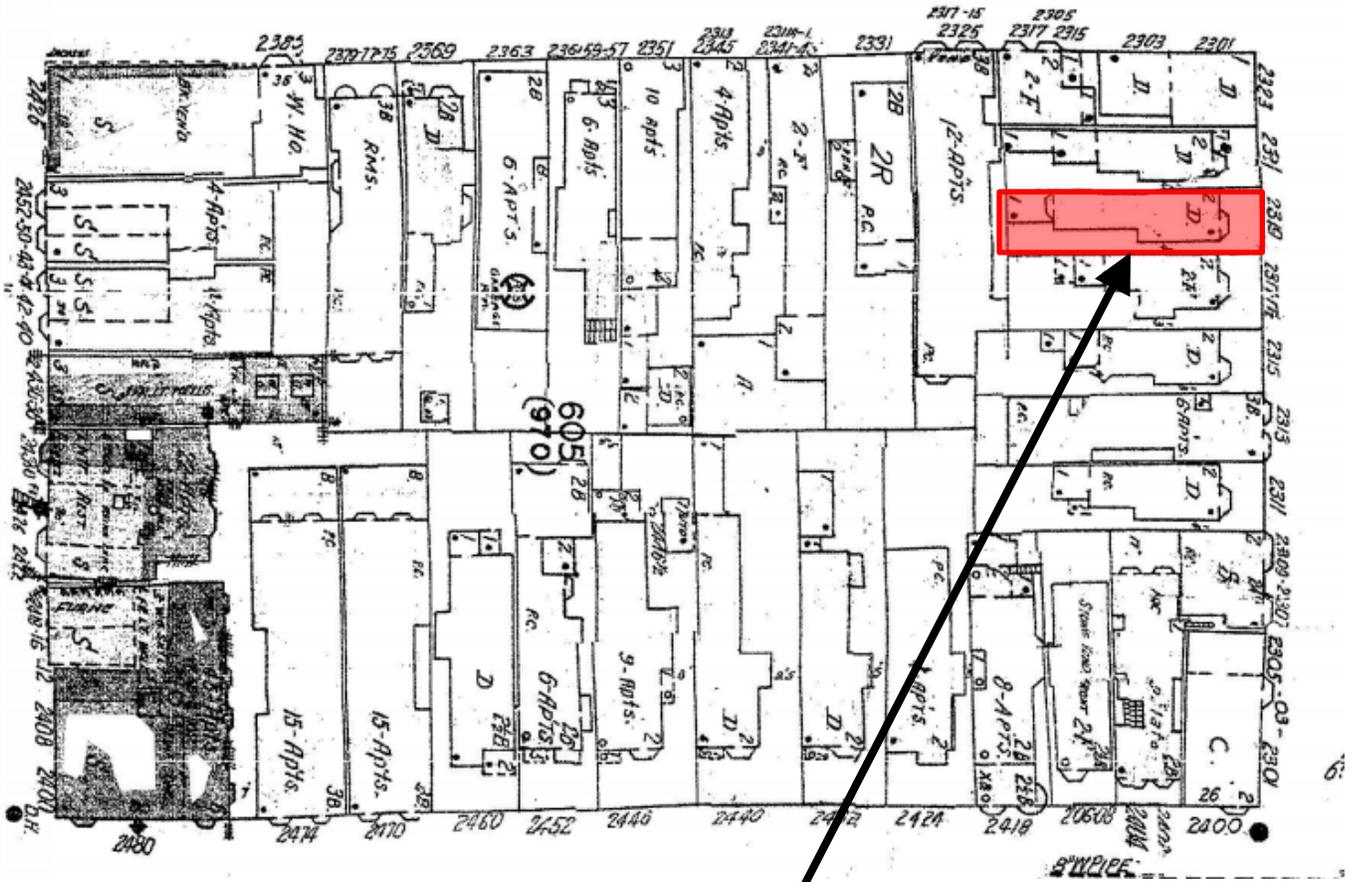
AYES: X

NAYS: X

ABSENT: X

ADOPTED: August 6, 2014

Sanborn Map*



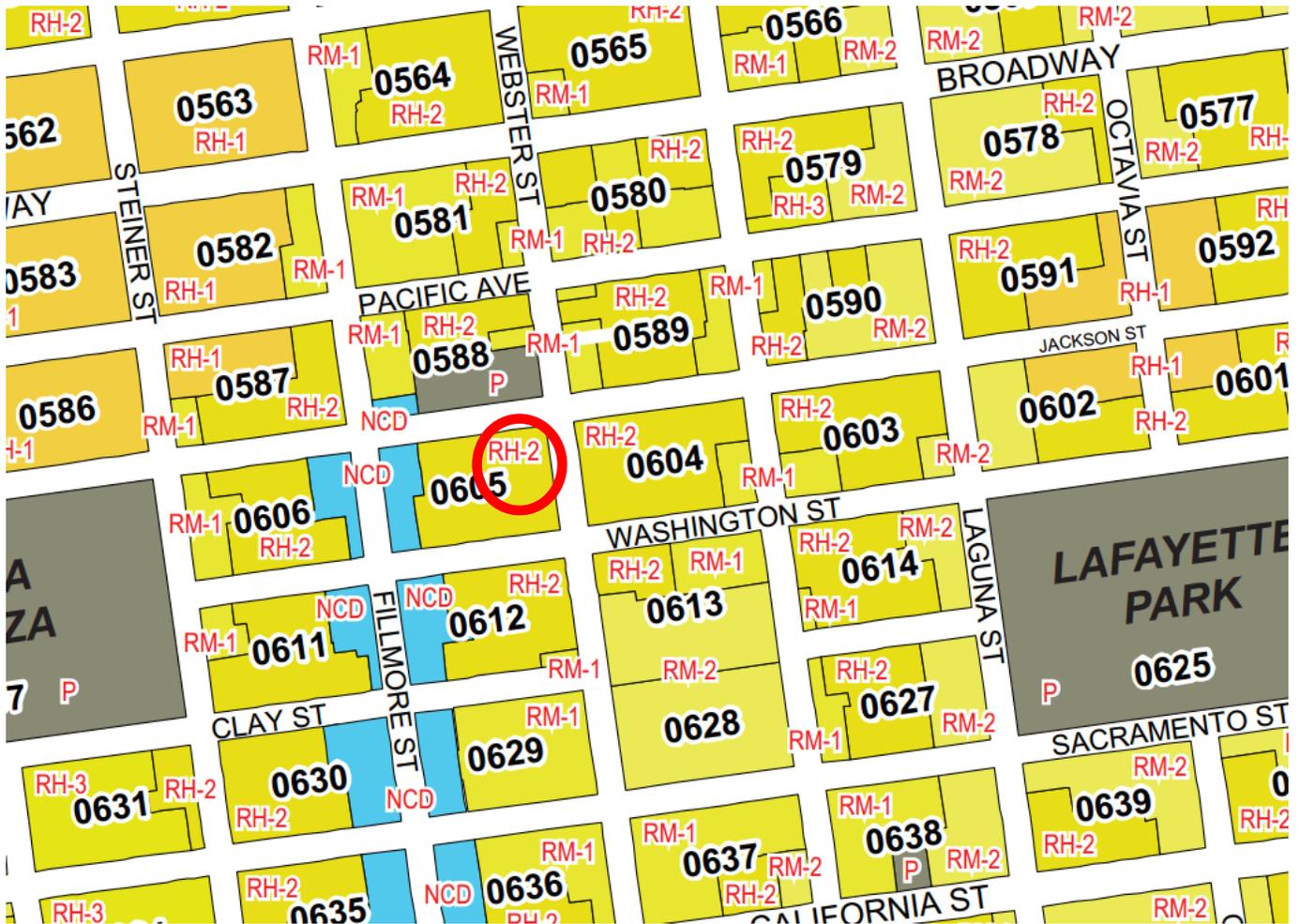
SUBJECT PROPERTY

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Certificate of Appropriateness Hearing
Case Number 2014.0424A
2319 Webster Street
Block 0605 Lot 003

Zoning Map



Certificate of Appropriateness Hearing
Case Number 2014.0424A
2319 Webster Street
Block 0605 Lot 003

Aerial Photo (looking east)



SUBJECT PROPERTY

Certificate of Appropriateness Hearing
Case Number 2014.0424A
2319 Webster Street
Block 0605 Lot 003

Site Photo

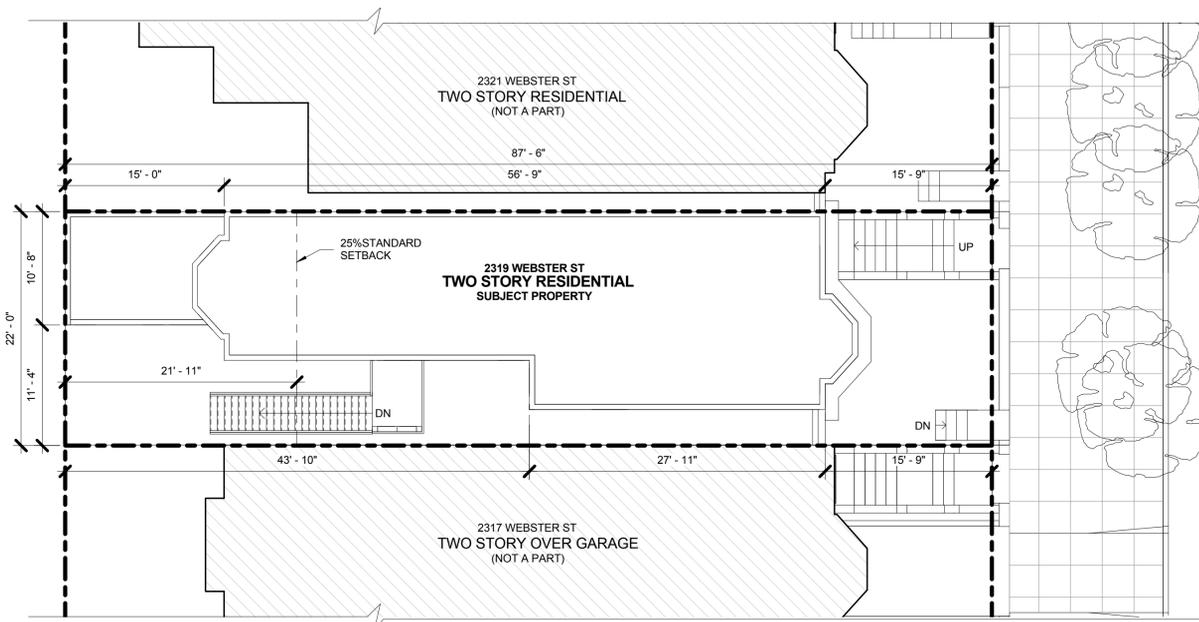


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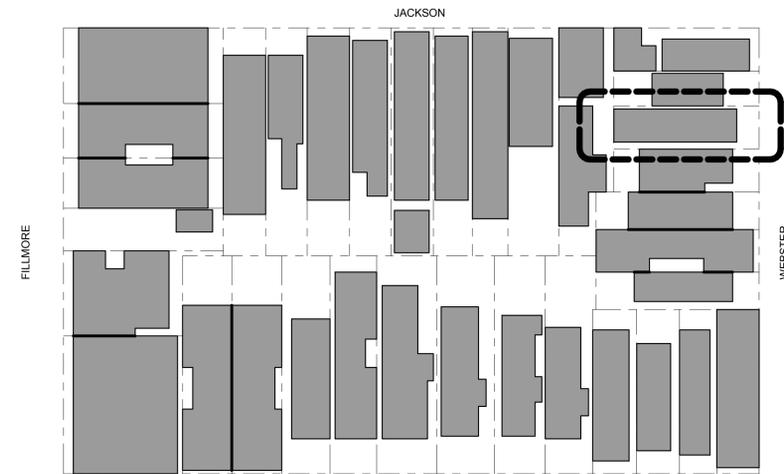
Historic Photo



Certificate of Appropriateness Hearing
Case Number 2014.0424A
2319 Webster Street
Block 0605 Lot 003



1 EXISTING SITE PLAN
1/8" = 1'-0"



OWNER			
ENGEL FAMILY			
2319 WEBSTER STREET, SAN FRANCISCO, CA 94115			
ARCHITECT		STRUCTURAL ENGINEER	
EAG STUDIO		DOUBLE D	
2443 FILLMORE #215, SAN FRANCISCO, CA 94115		72 OTIS STREET, SAN FRANCISCO, CA 94103	
PHONE: (415) 300-0585		PHONE: (415) 551-5150	
EMAIL: EMAIL@EAGSTUDIO.COM		EMAIL: DON@DOUBLEENGINEERING.COM	
PROJECT DATA			
ADDRESS:	2319 WEBSTER STREET		
	SAN FRANCISCO, CA 94115		
BLOCK:	605		
LOT:	3		
ZONING:	RH-2		
OCCUPANCY:	SINGLE FAMILY		
HEIGHT LIMIT:	40-x		
LEGISLATIVE SETBACKS:	NONE		
STORIES:	2		
RESTRICTIONS:	HISTORIC RESOURCE PRESENT		
TYPE:	V		
PROJECT FEATURES			
	EXISTING	NET NEW	PROJECT TOTALS
DWELLING UNITS	1	0	1
PARKING SPACES	0	0	0
NUMBER OF BUILDINGS	1	0	1
HEIGHT OF BUILDING (S)	28' 6"	0	28' 6"
NUMBER OF STORIES	2	0	2
GROSS SQUARE FOOTAGE			
	EXISTING	NET NEW	PROJECT TOTALS
BASEMENT	0	255	255
FIRST LEVEL	940	41	981
SECOND LEVEL	800	0	800
TOTAL GROSS SQUARE FOOTAGE	1740	296	2036
SUMMARY			
NEW SQUARE FOOTAGE	296		
LOT SIZE	1936		
ALLOWABLE FLOOR AREA RATIO	1.8		
PROPOSED FLOOR AREA RATIO	1.05		

SCOPE OF WORK

ADDITION OF BASEMENT WITH STORAGE, GUEST ROOM AND GARAGE. MINOR MODIFICATION OF EXISTING WALL OPENINGS, INFILL OF OVERHANGS AT KITCHEN AREA NOT VISIBLE FROM THE STREET. ADDITION OF A NEW GARAGE DOOR AT FRONT FACADE. RETENTION OF ALL ARCHITECTURAL FEATURES.

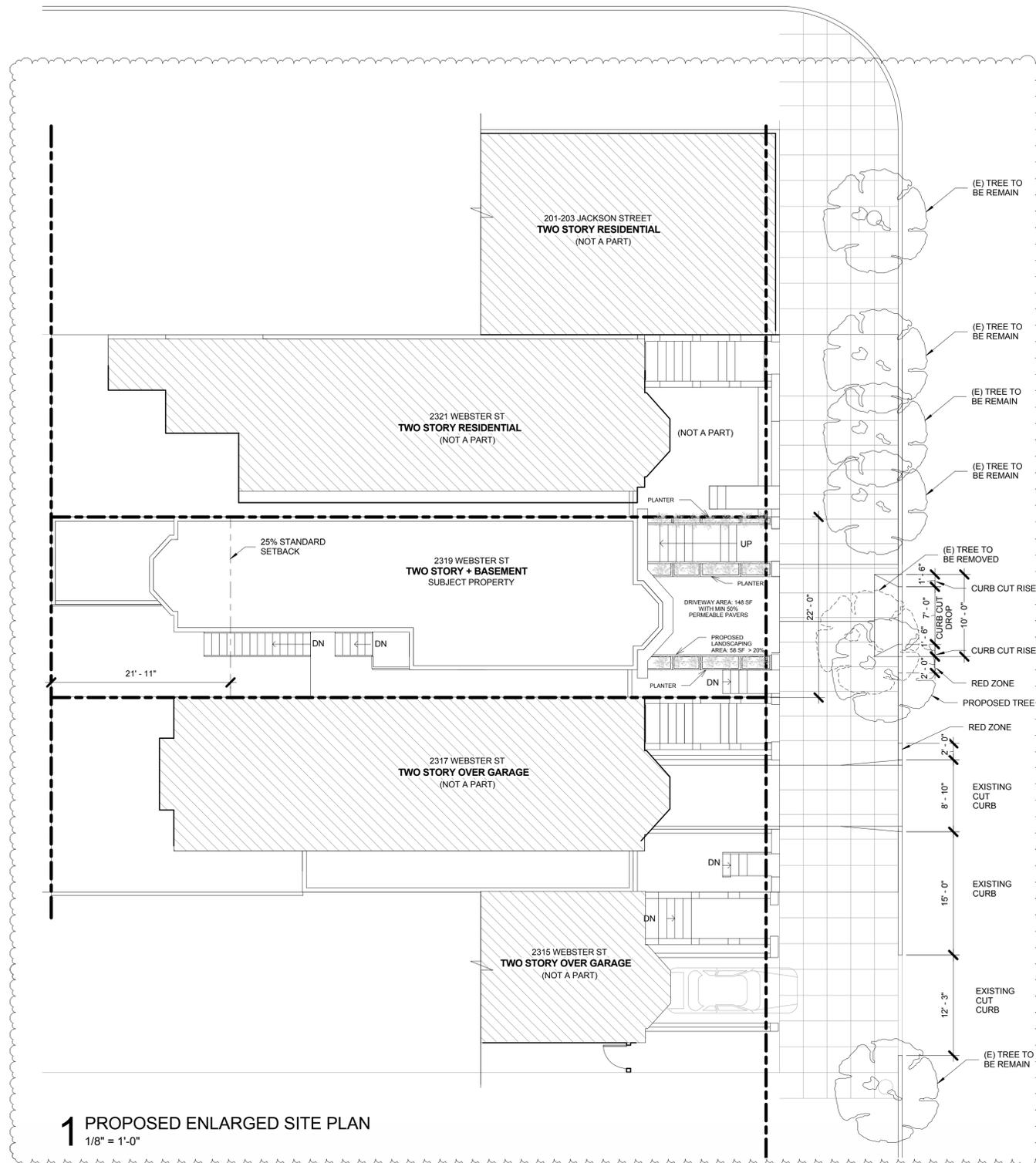
SHEET INDEX

- ARCHITECTURAL**
- A1 PROJECT DATA, SITE PLAN
 - A1.1 ENLARGED SITE PLAN
 - A2 EXISTING FLOOR PLANS
 - A3 DEMOLITION PLANS
 - A4 PROPOSED FLOOR PLANS
 - A5 PROPOSED FLOOR PLANS
 - A6 EXISTING ELEVATIONS
 - A7 EXISTING ELEVATIONS
 - A8 PROPOSED ELEVATIONS, DOOR SCHEDULE
 - A9 PROPOSED ELEVATIONS, WINDOW SCHEDULE
 - A10 SECTIONS
 - A11 PHOTOGRAPHS
 - A12 DETAILS



REVISIONS	DATE
INITIAL LAYOUT	12-11-13
PLANNING SET	01-29-13
PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14

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1 PROPOSED ENLARGED SITE PLAN
1/8" = 1'-0"



2315 WEBSTER STREET



2317 WEBSTER STREET



SUBJECT PROPERTY



2321 WEBSTER STREET



2301-2303 JACKSON STREET

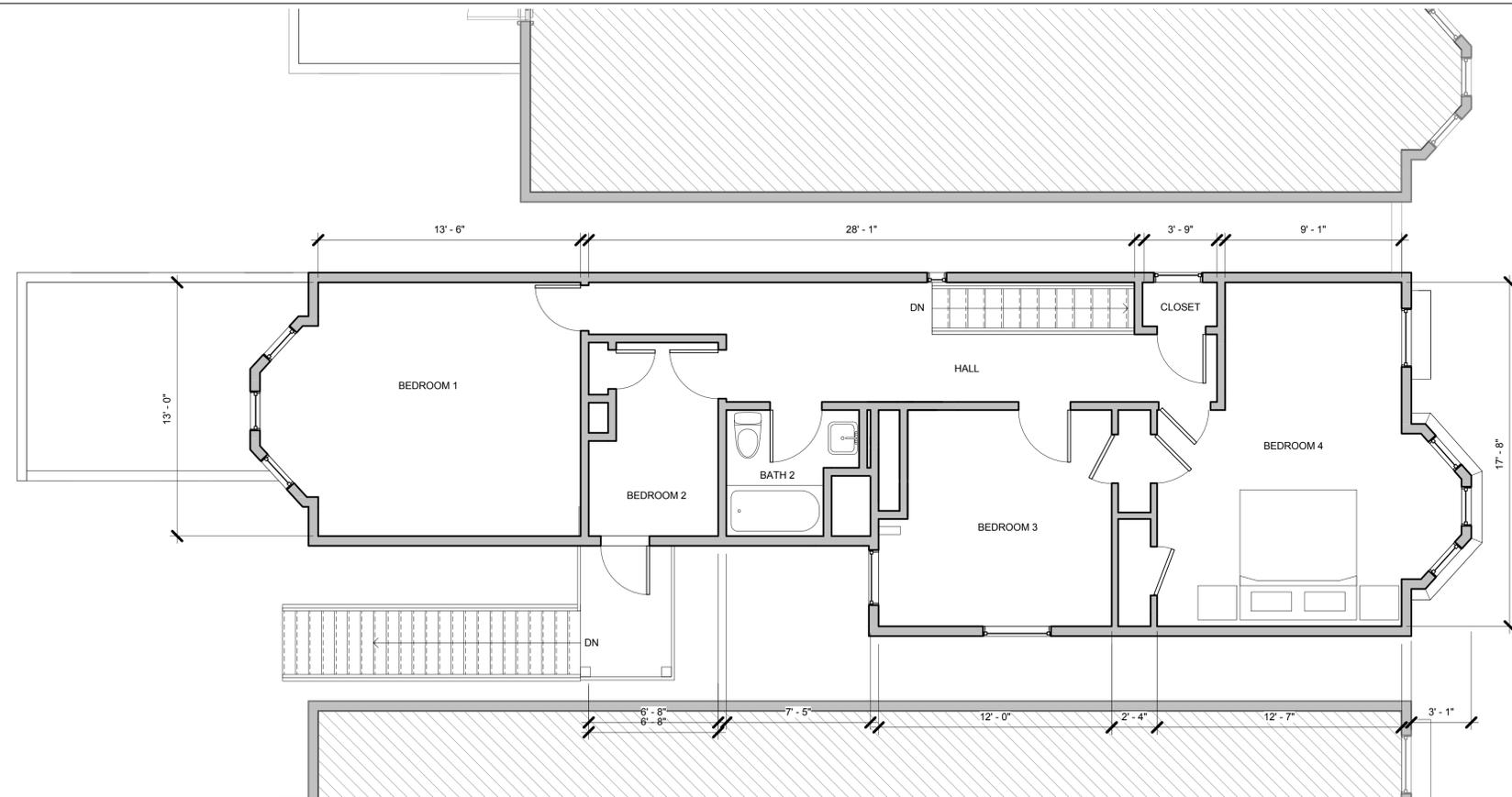
ENGEL-KLUG RESIDENCE
REMODEL
2319 WEBSTER ST
SAN FRANCISCO, CA 94115
BLOCK 0605 LOT 003

ENLARGED SITE PLAN

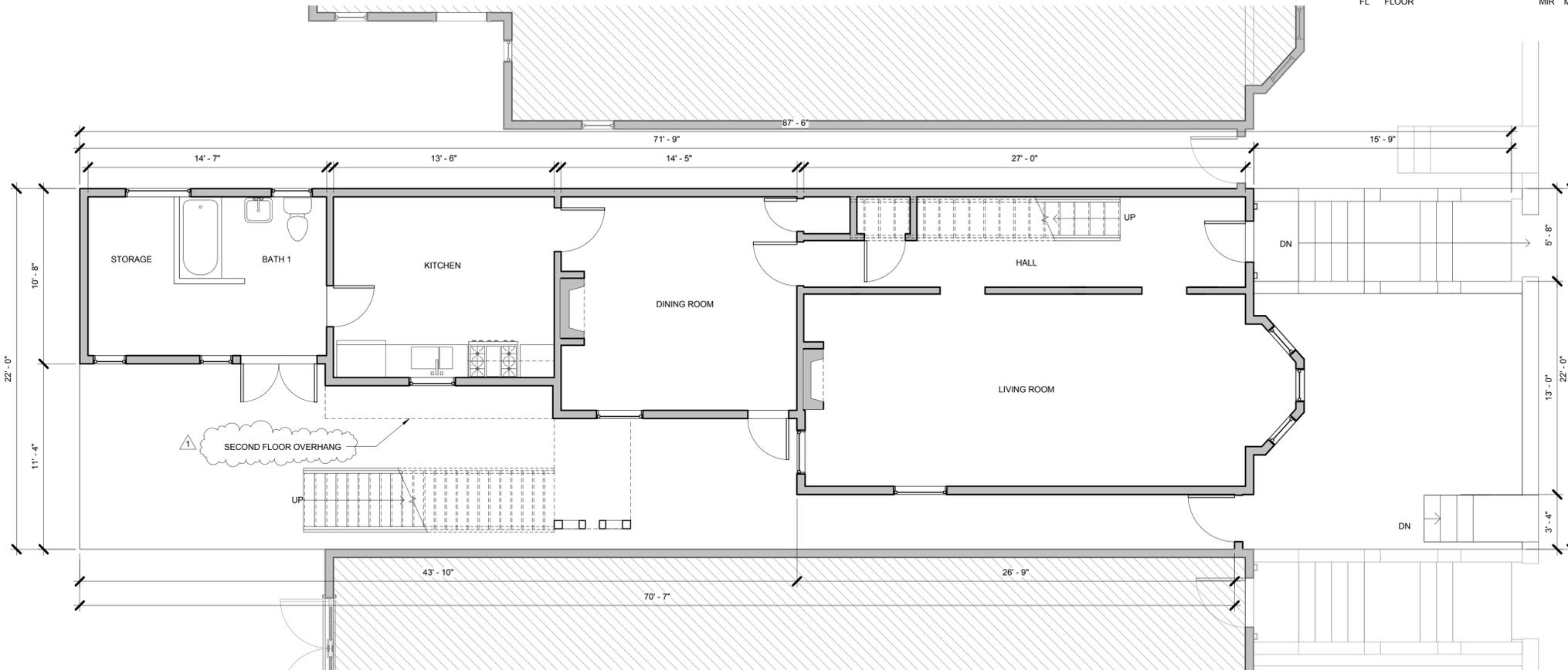
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PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14

ABBREVIATIONS

AB ANCHOR BOLT	FLG FLASHING	MISC MISCELLANEOUS	SED SEE ELECTRICAL DRAWINGS
AD AREA DRAIN	FLUR FLUORESCENT	MTD MOUNTED	SHT SHEET, SHEETING
ADJ ADJUSTABLE	FO FACE OF	MTG MOUNTING	SHR SHOWER
ALT ALTERNATE	FOC FACE OF CONCRETE	MTL METAL	SIM SIMILAR
ARCH ARCHITECTURAL	FOF FACE OF FINISH	(N) NEW	SK-L SKYLIGHT
ASPH ASPHALT	FOS FACE OF STUD	NA NOT APPLICABLE	SL SLIDING SLIDER
AUTO AUTOMATIC	FW FACE OF WALL	NIC NOT IN CONTRACT	SLD SEE LANDSCAPE DRAWINGS
AVG AVERAGE	FT FOOT, FEET	NO NUMBER	SMD SEE MECHANICAL DRAWINGS
BD BOARD	FTG FOOTING	NSF NET SQUARE FOOTAGE	SOG SLAB ON GRADE
BIT BITUMINOUS	FURN FURNACE	NBS NOT TO SCALE	SPD SEE PLUMBING DRAWINGS
BLDG BUILDING	FUR FURRING	OBS OBSOLETE	SP SPACE
BLK BLOCK	GA GAUGE, GAGE	OC ON CENTER	SPE SPECIFICATION(S)
BLKG BLOCKING	GALV GALVANIZED	OD OUTSIDE DIAMETER	SPKR SPEAKER
BM BEAM	GC GENERAL CONTRACTOR	OH OPPOSITE HAND	SQ SQUARE
BSMT BASEMENT	GD GARBAGE DISPOSAL	OPER OPERABLE	SQ FT SQUARE FOOT (FEET)
BTWN BETWEEN	GFI GROUND FAULT INTERRUPT	OPNG OPENING	SQ IN SQUARE INCH
BYND BEYOND	GFRG GLASS FIBER REINF CONC	OPP OPPOSITE	SSD SEE STRUCTURAL DRAWINGS
C CHANNEL	GL GLASS	PAR PARALLEL	SS STAINLESS STEEL
CAB CABINET	GLBK GLASS BLOCK	PART PARTITION	ST STREET
CEM CEMENT	GLU LAM GLUE LAMINATED	PERF PERFORATED	STD STANDARD
CFL COMPACT FLUORESCENT	GLZ GLAZING	PERIM PERIMETER	STL STEEL
CJT CONTROL JOINT	GRND GROUND	PL PLATE	STOR STORAGE
CL CENTER LINE	GR GRADE	PLAM PLASTIC LAMINATE	STRUCT STRUCTURAL
CLG CEILING	GSM GALVANIZED SHEET METAL	PLAS PLASTER	SUSP SUSPENDED
CLO CLOSET	GWD GYPSUM WALL BOARD	PLY PLYWOOD	SW SWITCH
CLR CLEAR	HB HOSE BIB	PNL PANEL	SYM SYMMETRICAL
CMU CONCRETE MASONRY UNIT	HC HOLLOW CORE	PR PAIR	SYS SYSTEM
CNTR COUNTER	HD HEAD	PREFAB PRE-FABRICATED	T TREAD
COL COLUMN	HDBD HEADBOARD	PROJ PROJECT	TBS TO BE SPECIFIED
CONC CONCRETE	HDWD HARDWOOD	PROP PROPERTY	T&B TOP AND BOTTOM
CONT CONTINUOUS	HDWE HARDWARE	PSF POUNDS PER SQUARE FOOT	T&G TONGUE AND GROOVE
CPT CARPET	HG HORIZONTAL GRAIN	PSI POUNDS PER SQUARE INCH	TEL TELEPHONE
CRS COLD ROLL STEEL	HM HOLLOW METAL	PT PRESSURE TREATED	TEMP TEMPERED
CT CERAMIC TILE	HORIZ HORIZONTAL	PTD PAINT(ED)	THK THICKNESS
CTOP COUNTERTOP	HR HOUR	PVC POLYVINYL CHLORIDE	THRU THROUGH
CUST CUSTOM	HRS HOT ROLLED STEEL	PWR POWER	TOC TOP OF CONCRETE
CW COLD WATER	HT HEIGHT	QT QUARRY TILE	TOP TOP OF PLATE
D DRYER	HW HOT WATER	QTR QUARTER	TOS TOP OF SLAB
DBL DOUBLE	HWH HOT WATER HEATER	QTY QUANTITY	TOW TOP OF WALL
DIA DIAMETER	ID INSIDE DIAMETER	R RISER	TV TELEVISION
DIM DIMENSION	IN INCH	RA RETURN AIR	TYP TYPICAL
DSP DISPOSAL	INCL INCLUDE, INCLUDING	RAD RADIUS	UG UNDERGROUND
DIST DISTANCE	INS INSULATION	RCP REFLECTED CEILING PLAN	UNEX UNEXCAVATED
DN DOWN	INT INTERIOR	RD ROOF DRAIN	UNFIN UNFINISHED
DR DOOR	J JOIST	REC RECESSED	UL UNDERWRITER'S LAB
DWG DRAWING	JT JOINT	REF REFERENCE	UON UNLESS OTHERWISE NOTED
(E) EXISTING CONDITION	KIT KITCHEN	REFL REFLECTED	VAR VARIES
EJ EXPANSION JOINT	LAM LAMINATED	REFR REFRIGERATOR	VB VAPOR BARRIER
EL ELEVATION	LDY LAUNDRY	REG REGISTER	VCT VINYL COMPOSITION TILE
ELEC ELECTRICAL	LAV LAVATORY	REIN REINFORCE(D)(ING)(MENT)	VENT VENTILATION
ELEV ELEVATOR	LB POUND	REQD REQUIRED	VERT VERTICAL
ENCL ENCLOSURE	LN LINEAR	RES RESILIENT	VEST VESTIBULE
EP ELECTRICAL PANEL	LN LN	RET RETURN	VG VERTICAL GRAIN
EQUI EQUIVALENT	LONG LONGITUDINAL	REV REVISION	VIF VIF IN FIELD
EXH EXHAUST	LT LIGHT	RM ROOM	VOL VOLUME
EXP EXPANSION	LT WT LIGHT WEIGHT	RND ROUND	W WASHER
EXT EXTERIOR	MACH MACHINE	RO ROUGH OPENING	W WITH
FAB FABRICATED	MATL MATERIAL	RWL RAIN WATER LEADER	WO WITHOUT
FAST FASTENER	MAX MAXIMUM	SASM SELF-ADHERING SHEET MEMBRANE	WC WATER CLOSET
FDN FOUNDATION	MECH MECHANICAL	SC SOLID CORE	WD WOOD
FF FINISHED FLOOR	MEMB MEMBRANE	SCD SEE CIVIL DRAWINGS	WDW WINDOW
FIN FINISH(ED)	MFR MANUFACTURER	SCHED SCHEDULE	WP WEATHERPROOF
FIXT FIXTURE	MIN MINIMUM	SD SMOKE DETECTOR	WPM WATERPROOF MEMBRANE
FL FLOOR	MIR MIRROR	SEC SECTION	WT WEIGHT



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

CODE NOTES

- GAS APPLIANCES FLUES TERMINATE 24" ABOVE VERTICAL SURFACES.
- B-VENTED FLUES TERMINATE 12" MIN ABOVE ROOF PENETRATIONS & 12" ABOVE VERTICAL SURFACES WITHIN 6".
- RANGE FLUES MINIMUM 3" FROM PROPERTY LINES, WATER HEATER & FURNACES FLUES MIN 4" FROM PROPERTY LINES.
- WINDOWS, DOORS & WALLS INSULATED PER ENERGY CODE CALCULATIONS. ALL EXPOSED WALLS, CEILINGS AND FLOORS TO BE INSULATED.
- AIR RETARDANT WRAP MUST BE TESTED, LABELED AND INSTALLED ACCORDING TO ASTM E1677-95 (2000).
- AT NEW BATH FANS - INSTALL COMPATIBLE SELF-FLASHING EXIT CAPS WITH FLAPPER DAMPERS & FELT SEAL. INSULATE METAL EXHAUST PIPING AT UNCONDITIONED SPACES WITH COMPATIBLE FOAM INSULATION.
- DRAIN LINE TO BE EQUAL TO OUTLET & 3/4" OR LARGER COPPER LINE. PIPING MUST BE STRAPPED AND END MUST POINT DOWNWARD.
- IF WATER HEATER HAS INTEGRAL TEMPERATURE RELIEF - SUPPLY PRESSURE RELIEF VALVE & DRAIN LINE. FIRST 5' OF COLD & HOT WATER PIPING MUST BE INSULATED EXCEPT AT VENT CONNECTOR (REQUIRES 6" CLEARANCE).
- IF WATER HEATER REQUIRES VENTING, PROVIDE CATEGORY III APPROVED VENT PIPE AT WATER HEATER.
- GAS SUPPLY LINES MUST HAVE ACCESSIBLE SHUT OFF VALVE ADJACENT TO GAS APPLIANCES.
- BACKDRAFT DAMPERS ARE REQUIRED ON VENTILATION SYSTEMS EXHAUSTING TO EXTERIOR.
- MAINTAIN 1-HR RATING AT ALL NEWLY CONSTRUCTED AREAS WITHIN 5' FROM PROPERTY LINES.
- ENSURE 1/4" PER 1' SLOPE TO DRAINS AT REPLACED ROOFING / ROOF DECK (IF APPLICABLE).
- INSTALL OVERFLOW (SECONDARY) DRAINS WITHIN 2 FEET OF LOW POINT OF ROOF.
- SEAL ALL PENETRATIONS OF WALLS AND FLOORS.
- KEEP ALL UNTREATED EXTERIOR WOOD AT LEAST 12" ABOVE SOIL.
- INCLUDE NO WOOD-TO-CONCRETE CONNECTIONS OR SEPARATE CONNECTIONS WITH DIVIDERS.
- USE METAL FLASHINGS BEHIND CEMENTATIONS.
- INSULATE CONCRETE SLABS AND INSTALL MOISTURE AND REFLECTIVE BARRIER.
- INSTALL DRAIN AND DRAIN PAN FOR ANY TANK WATER HEATERS IN OR OVER LIVING SPACES.
- NON PAPER-FACED BACKER BOARD USED IN ALL TUBS, SHOWERS, AND SPA AREAS.
- INTERSTITIAL SPACES NOT TO BE USED TO SUPPLY OR RETURN FORCED AIR.
- DUCT LEAKAGE TO THE OUTDOORS LIMITED TO 6 CFM / 100 SQ.FT.



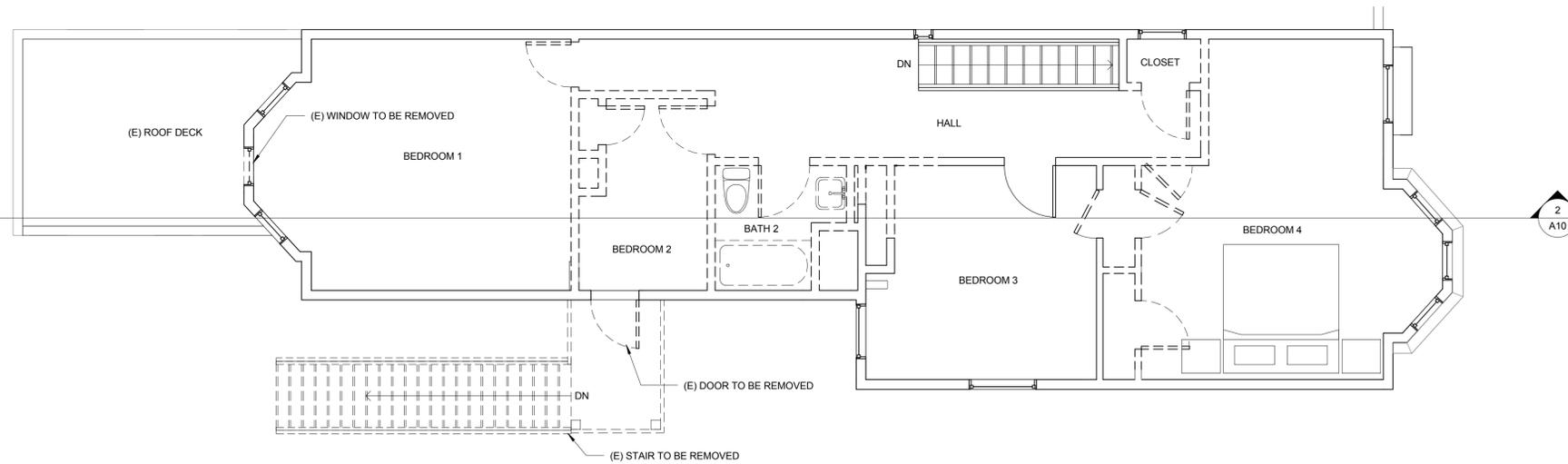
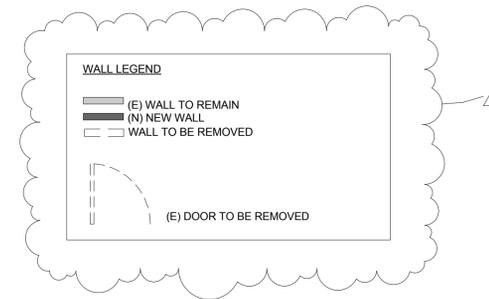
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DEMOLITION NOTES

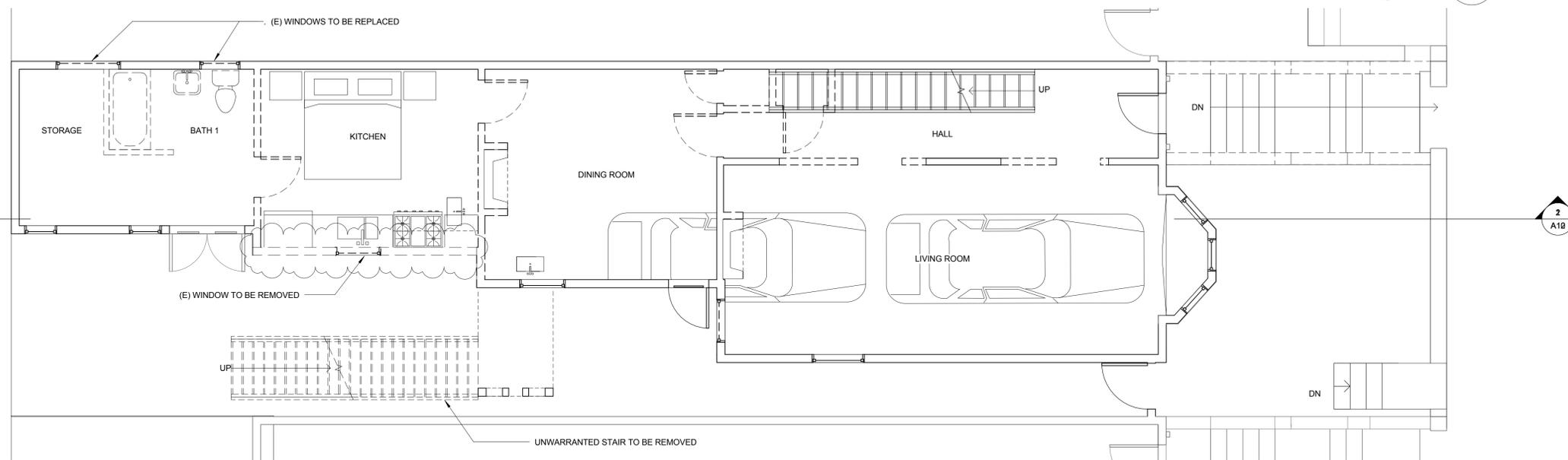
1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND MEANS FOR TEMPORARY SHORING AS NEEDED TO PREVENT DAMAGE AND MINIMIZE SETTLEMENT OF EXISTING AND ADJACENT STRUCTURE(S).
2. EFFORTS SHALL BE EXERCISED TO PROTECT THE BUILDING FINISHES AND OTHER ITEMS TO REMAIN.
3. THE CONTRACTOR SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.
4. THE PROPERTY IS KEPT DRY FROM THE RAIN AND ALL BUILDING MATERIALS ARE TO BE STORED IN DRY AREAS.
5. ALL MATERIALS, FIXTURES, DEBRIS REMOVED DURING DEMOLITION ARE TO BE DOCUMENTED. EXTENSIVE EFFORTS ARE TO BE MADE TO RECYCLE EVERYTHING. THE DESIGN TEAM IS TO REVIEW SUBCONTRACTOR BID FOR DEMOLITION IN ADVANCE TO VERIFY ANTICIPATED DIVERSION RATE.
6. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL CONDUCT A PRE-DEMOLITION JOB SITE MEETING TO SCHEDULE THE WORK WITH THE DESIGN TEAM AND KEY SUBCONTRACTORS.
7. CONTRACTOR IS TO TAKE PRECAUTIONS TO ADEQUATELY PROTECT ANYONE FROM POSSIBLE INJURY.
8. DEMOLITION IS TO BE CONDUCTED SO AS TO ENSURE MINIMUM INTERFERENCE WITH STREETS' WALKS, OR OTHER OCCUPIED OR USED FACILITIES.

FIXTURE AND APPLIANCE NOTES

1. PROVIDE SEISMIC ANCHORAGE OF ALL APPLIANCES, BOILERS, HVAC AND WATER HEATERS.
2. VERIFY CLEARANCES FOR BOILERS, WATER HEATERS AND APPLIANCES PER MANUFACTURERS' SPECIFICATIONS AND INSTALL ACCORDINGLY.
3. GENERAL CONTRACTOR SHALL ENSURE THAT ALL APPLIANCES, WINDOWS, FLOORING, FIXTURES, EQUIPMENT AND OTHER SYSTEMS ARE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS.
4. WATER HEATERS / FURNACES LOCATED IN GARAGE SPACES MUST BE PLACED ON A PLATFORM THAT ELEVATES THE POINT OF IGNITION A MIN. OF 18" ABOVE GARAGE FLOOR.
5. PROVIDE EXHAUST VENTILATION TO THE OUTSIDE FROM ALL GAS BURNING APPLIANCES. THE VENT IS TO TERMINATE MINIMUM 4' FROM PROPERTY LINE.



2 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

**ENGEL-KLUG RESIDENCE
REMODEL**
2319 WEBSTER ST
SAN FRANCISCO, CA 94115
BLOCK 0605 LOT 003

DEMOLITION PLAN

A3

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PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14

**ENGEL-KLUG RESIDENCE
REMODEL**
2310 WEBSTER ST
SAN FRANCISCO, CA 94115
BLOCK 0605 LOT 003

PROPOSED FLOOR PLANS

A4

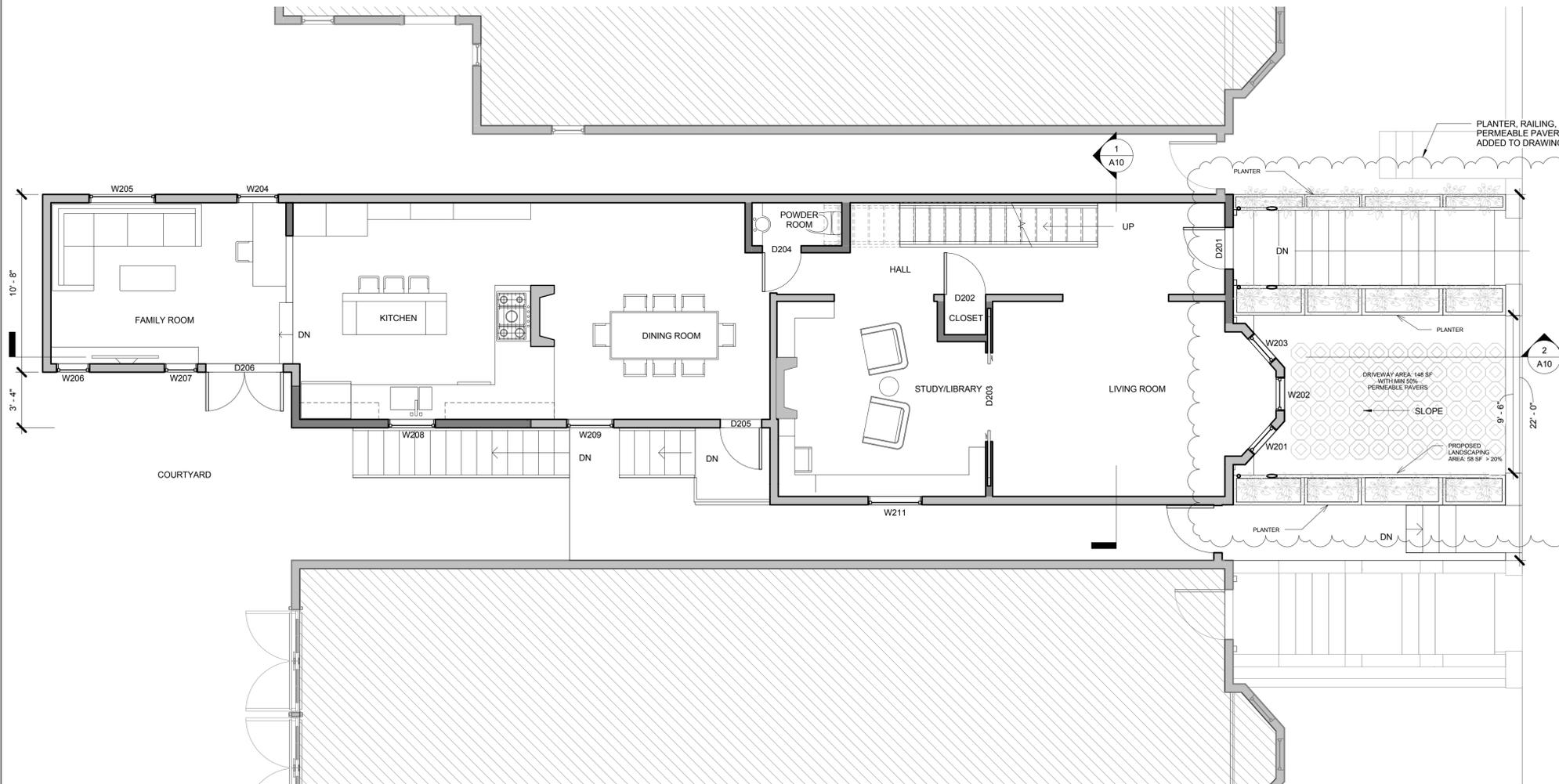
GENERAL NOTES

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL WORK PERFORMED COMPLIES WITH THE CBC, CFC, CMC, CPC, CEC, ALL LOCAL AMENDMENTS AND CONFORMS WITH INDUSTRY BEST PRACTICES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES & REGULATIONS OF ALL GOVERNING AGENCIES.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE & MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATIONS SHALL NAME THE OWNER AS ADDITIONALLY INSURED.
- DRAWINGS & SPECIFICATIONS ARE INTENDED AS ASSISTANCE AND GUIDANCE BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS & SHALL BE CHECKED BY CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRIANS & ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION FROM THE OWNER OR THE OWNER'S REPRESENTATIVE MAY INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION. SHOP & FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN & WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST ESTABLISHED PRACTICE OF THE INDUSTRY.
- THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND REPORT DISCREPANCIES WITH THIS PLAN'S AUTHOR WHENEVER APPROPRIATE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE WORK PERFORMED AND FOR THE METHODS AND MATERIALS USED.
- CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. ANY OVERTIME REQUIRED SHALL BE INCLUDED IN THE BID. NO CHANGES TO THE CONTRACT AMOUNT WILL BE AUTHORIZED AS A RESULT OF OVERTIME INCURRED.
- CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING & PREVENT DUST & DEBRIS FROM EMANATING FROM THE CONSTRUCTION AREA. REMOVE AND LAWFULLY DISPOSE OF ALL RUBBISH AND DEBRIS RESULTING FROM CONTRACTOR'S OPERATIONS DAILY. REMOVE RUBBISH AND DEBRIS AS IT ACCUMULATES AND KEEP AREA BROOM CLEAN. CONTRACTOR SHALL NOT STORE RUBBISH ON SITE FOR ANY EXTENDED PERIOD OF TIME.
- WHEN WORK IS PERFORMED WITHIN OR IN PROXIMITY OF OCCUPIED BUILDINGS, THE CONTRACTOR SHALL EMPLOY ALL AVAILABLE TECHNIQUES FOR NOISE ABATEMENT, INCLUDING BUT NOT LIMITED TO MUFFLED AIR COMPRESSORS AND NOISE SUPPRESSED PNEUMATIC & ELECTRIC TOOLS.
- CONTRACTOR SHALL PROVIDE PROTECTION TO FINISHES & FIXTURES TO REMAIN OR NEWLY INSTALLED FINISHES & FIXTURES SO AS TO KEEP THEM IN THEIR BEST POSSIBLE CONDITION AT DELIVERY OF THE CONCLUDED PROJECT.
- THE CONTRACTOR SHALL FAVOR GREEN BUILDING METHODS AND ENVIRONMENTALLY PREFERRED PRODUCTS AND MATERIALS.
- ALL PRODUCTS AND MATERIALS ARE TO BE STORED IN MOISTURE-FREE ENVIRONMENT DURING THE ENTIRE CONSTRUCTION PROCESS.
- THERE SHALL BE NO DUMPING OF ANY KIND IN THE GROUND OR IN THE DRAINS, PLANTS, SHRUBS AND TREES ARE TO BE PROTECTED AND PRESERVED UNLESS OTHERWISE AGREED WITH THE OWNER OR THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL INFORM THE OWNER AND THE OWNER'S REPRESENTATIVE OF THE TIMELINE DURING CONSTRUCTION IN SUCH A WAY THAT CONSTRUCTION DOCUMENTS AND ORDER SHEETS CAN BE UPDATED AND PRODUCED IN ADVANCE TO ASSIST THE CONTRACTOR.
- TO ENSURE GOOD COORDINATION, CONTRACTOR SHALL PROVIDE THIS PLAN'S AUTHOR APPROXIMATELY NO MORE AND NO LESS THAN 10 DAYS OF NOTICE TO REQUEST ROUGH PLUMBING FIXTURE ORDER SHEET, ROUGH ELECTRICAL FIXTURE SELECTION SHEET, APPLIANCE ORDER SHEET, FINISH PLUMBING ORDER SHEET, BATH HARDWARE ORDER SHEET, LIGHTING FIXTURES ORDER SHEET, GROUT AND PAINT/STAIN COLOR SELECTION SHEET, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER CONTRACTOR'S SUPERVISION AND SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
- FINAL LOCATIONS OF ALL EQUIPMENT, SERVICES, PANEL BOARDS, FIXTURES, SWITCHES AND OUTLETS, WATER HEATER, FURNACES, BOILERS, ETC. SHALL BE APPROVED BY THIS PLAN'S AUTHOR PRIOR TO INSTALLATION.
- ALL INSTALLED PLUMBING, MECHANICAL & ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY & FREE OF VIBRATION. SEE MANUFACTURERS' RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONSTRUCTION METHODS.
- CONTRACTOR IS TO DISCUSS WITH OWNER OR THE OWNER'S REPRESENTATIVE THE VARIOUS INSULATION OPTIONS PRIOR TO ENGAGING THE SUB, INCLUDING BUT NOT LIMITED TO BATS, FOAM AND CELLULOSE. THE OWNER OR THE OWNER'S REPRESENTATIVE SHOULD BE ENABLED TO VALUE-ENGINEER THEIR DECISION GIVEN THAT, WHILE CONCEALED, INSULATION MATTERS IN THE LONG-TERM ENERGY PERFORMANCE OF THE BUILDING.
- CONTRACTOR IS TO ENSURE THAT INSULATION IS INSTALLED SO THAT IT IS THE MOST EFFECTIVE. PRIOR TO CLOSING UP THE WALLS, INSULATION INSTALLATION IS TO BE VERIFIED BY A THIRD-PARTY PROFESSIONAL AND/OR THIS PLAN'S AUTHOR.
- THE CONTRACTOR SHALL FURNISH TO THE OWNER AN OWNER MANUAL FOR THE HOME, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO MANUFACTURER'S INSTRUCTION, OPERATION & MAINTENANCE MANUALS FOR PRODUCTS & EQUIPMENT, SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.
- UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE OWNER AND THE OWNER'S REPRESENTATIVES (ARCHITECT, DESIGNER, ENGINEERS) TO PREPARE PUNCH LIST OF CORRECTIONS.
- ALL WORK SHALL ACCOUNT FOR MATERIAL EXPANSION & CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS, ETC. SUFFICIENT TO PREVENT CRACKS, BUCKLING, WARPING OR OTHER DEFORMATION DUE TO HUMIDITY & TEMPERATURE CHANGE & NORMAL LOADING.
- MOISTURE BARRIERS AND MOISTURE REDUCTION SYSTEMS SHALL BE USED WHENEVER APPROPRIATE, ACCORDING TO INDUSTRY'S BEST PRACTICE AND/OR MANUFACTURER'S RECOMMENDATIONS.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE.

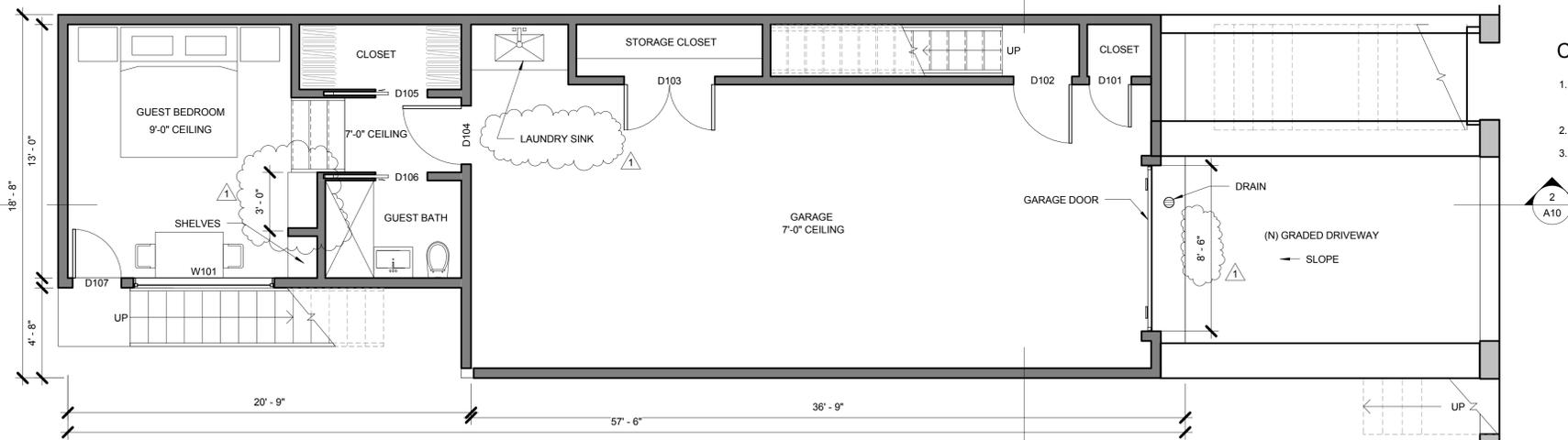
CONSTRUCTION NOTES

- "TYPICAL" MEANS THAT THIS ITEM IS VIRTUALLY IDENTICAL ACROSS SIMILAR CONDITIONS. "TYP" SHALL BE UNDERSTOOD TO MEAN "TYPICAL WHERE OCCURS" AND SHALL NOT BE CONSIDERED AS WITHOUT EXCEPTION OR CONSIDERATION OF SPECIFIC CONDITIONS. IN CASE OF DISCREPANCY, CONSULT WITH THIS PLAN'S AUTHOR BEFORE PROCEEDING.
- "AS REQUIRED" MEANS AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY BEST GENERALLY CONSTRUCTION PRACTICE OR BY THE CONTRACT DOCUMENTS.
- "ALIGN" MEANS ACCURATELY LOCATE FINISH FACES OF MATERIALS IN THE SAME PLANE OR AS OTHERWISE NOTED.

WALL LEGEND



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



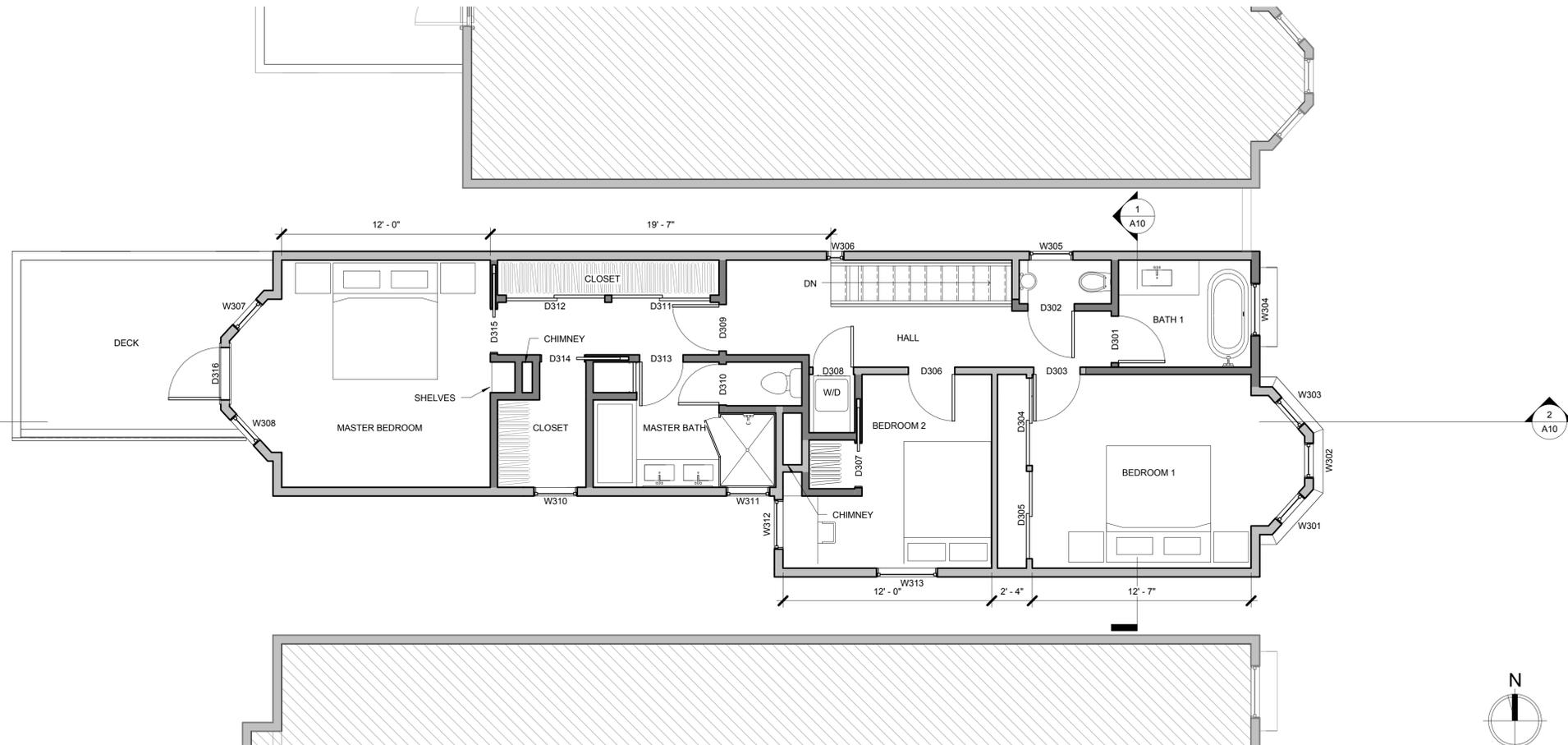
1 PROPOSED BASEMENT PLAN
1/4" = 1'-0"

LIGHTING AND WIRING NOTES

- GENERAL PROVISIONS: IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, BEDROOM OR SIMILAR ROOM OR SIMILAR ROOM OR AREA, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH, THE WALL SPACE AFFORDED BY FIXED ROOM DIVIDERS, SUCH AS FREE STANDING BAR-TYPE COUNTERS OR RAILINGS, SHALL BE INCLUDED IN THE 6 FOOT MEASUREMENT. "WALL SPACE" SHALL BE CONSIDERED A WALL UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES AND SIMILAR OPENINGS. EACH WALL SPACE 2 FEET OR MORE IN WIDTH SHALL BE TREATED INDIVIDUALLY AND SEPARATELY FROM OTHER WALL SPACES WITHIN THE ROOM. A WALL SPACE SHALL BE PERMITTED TO INCLUDE TWO OR MORE WALLS OR A ROOM (AROUND CORNERS) WHERE UNBROKEN AT THE FLOOR LINE. RECEPTACLE OUTLETS SHALL, INsofar AS PRACTICABLE, BE SPACED EQUAL DISTANCES APART. RECEPTACLE OUTLETS IN FLOORS SHALL BE COUNTED AS PART OF THE REQUIRED NUMBER OF RECEPTACLE OUTLETS IF LOCATED WITHIN 18 INCHES OF THE WALL.
- BEDROOMS: ALL OUTLETS IN BEDROOMS SHALL BE AFCI (ARC FAULT INTERRUPTED) TYPE OR TIE TO AFCI CIRCUIT BREAKER.
- KITCHENS: A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER (COUNTERTOP SPACEDS SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES). RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY. RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 18 INCHES ABOVE THE COUNTERTOP. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF AT LEAST 24 INCHES OR A SHORT DIMENSION OF AT LEAST 12 INCHES.
- BATHROOMS: AT LEAST ONE WALL RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS ADJACENT TO EACH BASIN LOCATION. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS.
- OUTDOOR OUTLETS: FOR A ONE-FAMILY DWELLING AND EACH UNIT OF A TWO-UNIT DWELLING THAT IS AT GRADE LEVEL, AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6 FEET 6 INCHES ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF A DWELLING AND BE W.P. GFCI.
- LAUNDRY AREAS: AT LEAST ONE RECEPTACLE OUTLET ON A DEDICATED CIRCUIT SHALL BE INSTALLED FOR THE LAUNDRY EQUIPMENT
- BASEMENTS & GARAGES: AT LEAST ONE RECEPTACLE OUTLET, IN ADDITION TO ANY PROVIDED FOR LAUNDRY EQUIPMENT, SHALL BE INSTALLED IN EACH GARAGE AND UTILITY / MECHANICAL CLOSETS
- WET LOCATIONS: ALL OUTLETS IN WET LOCATIONS, SUCH AS ABOVE COUNTERS NEAR SINKS OR IN EXTERIOR LOCATIONS SHALL BE GFCI (GROUND FAULT CIRCUIT INTERRUPTED) TYPE.
- HALLWAYS: HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET.
- ELECTRICAL PANELS: PROVIDE A CLEAR AND LEVEL AREA 30"W x 36"D IN FRONT OF PANELS FOR SERVICING
- SMOKE DETECTORS: SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS, A DETECTOR SHALL BE INSTALLED ON EACH LEVEL. WHEN SLEEPING ROOMS ARE ON THE UPPER LEVEL, THE DETECTOR SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER-CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS; OR IN BUILDINGS WITHOUT COMMERCIAL POWER.
- LIGHTING IN KITCHENS SHALL BE HIGH EFFICACY OR UP TO 50% OF THE TOTAL WATTAGE CAN BE LOW EFFICACY. ALL HIGH EFFICACY AND LOW EFFICACY LIGHTING SHALL BE CONTROLLED SEPARATELY.
- LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY OR MANUAL-ON OCCUPANCY SENSOR.
- LIGHTING IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY, MANUAL-ON OCCUPANCY SENSOR OR ON A DIMMER.
- OUTDOOR LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A MOTION SENSOR + PHOTOCONTROL.
- NO LIGHT FIXTURES IN CLOTHES CLOSET SHALL BE CLOSER THEN 18" TO COMBUSTIBLE STORAGE ITEMS AS PER N.E.C.
- RECESSED LIGHT FIXTURES IN AREAS WITH BATT INSULATION SHALL BE IC RATED.
- WALL PLATES: USE CLARO WALL PLATES FOR ALL SWITCHES AND WALL PLATES UON
- SWITCHING: INSTALL AT 42" OC ABOVE FF UON. USE DIMMERS UON. USE MAESTRO DIMMERS FOR COMMON AREAS, MASTER SUITE, AND POWDER ROOM. USE DIVA DIMMERS IN GUEST BEDROOMS.
- FIELD LOCATIONS OF LIGHTING, WIRING AND MECHANICAL POINTS: THIS PLAN'S AUTHORS' AND/OR THE OWNER SHALL APPROVE EXACT LOCATIONS WHEN POINTS HAVE BEEN DRYFIT PRIOR TO BEING CONNECTED TOGETHER TO MINIMIZE REWORK. THE TRADE RESPONSIBLE FOR WIRING IS TO REQUEST SIGN OFF PRIOR TO PROCEEDING WITH CONNECTIONS OR SHALL BE DEEMED RESPONSIBLE FOR ULTERIOR FIELD ADJUSTEMENTS.
- ALARM: LOCATIONS OF ALARM CONTROLS AND SENSORS TO BE VERIFIED IN THE FIELD BY THIS PLAN'S AUTHOR AND/OR OWNER IN THE FIELD.
- RECEPTACLE / SWITCHES: ALL RECEPTABLES TO BE ORIENTED VERTICALLY UON AND GANGED TOGETHER WHEREVER APPROPRIATE. NEAR FLOOR WALL PLATES TO BE LOCATED AT 18" FROM FF UON.
- DATA AND PHONE: ALL DATA & PHONE POINTS TO BE DUAL SHIELDED CAT6 UON. ALL SUCH POINTS TO BE CONNECTED TO THE DESIGNATED DATA HUB, NEATLY BUNDLED AND TIED AWAY FROM ELECTRICAL CIRCUIT/WIRING. THE DATA HUB IS TO CONSIST OF A PATCH PANEL. PROPER FUNCTION OF ALL POINTS IS TO BE TESTED PRIOR TO WALLS GETTING CLOSED OFF OR THE SUBCONTRACTOR IN CHARGE SHALL BE DEEMED RESPONSIBLE FOR OPENING THE WALLS AND CLOSING THEM OFF TO ENSURE PROPER FUNCTIONING OF ALL DATA AND PHONE POINTS ON THIS PLAN.
- MANUALS: SAVE ALL MANUALS. OF THE EQUIPMENT INSTALLED IN THE HOME FOR THE OWNER(S) AND HAND OVER TO THE GENERAL CONTRACTOR TO BE PLACED IN A DESIGNATED LOCATION.
- ENERGY-EFFICIENCY FIXTURES: INSTALL ENERGY STAR, HIGH EFFICACY OR EQUIVALENT FIXTURES WHENEVER POSSIBLE. DISCUSS SELECTION OF ANY UNSPECIFIED FIXTURES WITH THIS PLAN'S AUTHOR AND/OR THE OWNER PRIOR TO PURCHASING/INSTALLING THEM.
- "ACCESSORIES SUCH AS GRAB BARS & SOAP DISHES LOCATED ON OR WITHIN A WALL OR PARTITION SHALL BE INSTALLED & SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE & SHALL MEET CBC REQUIREMENTS FOR LOAD CAPACITY."

GENERAL BUILDING NOTES

- ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL BUILDING CODES LISTED.
- EACH BEDROOM IS TO HAVE AT LEAST ONE RESCUE WINDOW, WHICH MUST HAVE A 20" MINIMUM CLEAR WIDTH AND 24" MINIMUM CLEAR HEIGHT. 5.7 MINIMUM SQUARE FEET NET CLEAR OPENING, WITH WINDOW SILL WITHIN 44" OF FLOOR PER SFGBC 310.4.
- ELECTRICAL, MECHANICAL & PLUMBING DESIGN, ENGINEERING, DOCUMENTATION & INSTALLATION ARE THE DESIGN BUILD RESPONSIBILITY OF THE GENERAL CONTRACTOR. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PROVIDE & COORDINATE THIS WORK & TO OBTAIN ALL RELEVANT PERMITS. THIS WORK SHALL BE COORDINATED WITH THE DESIGNER & SHALL COMPLY WITH THE CBC, CFC, CMC, CPC, CEC AND ALL LOCAL AMENDMENTS. SUCH WORK SHALL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING, SUBMISSIONS & REVIEWS HAVE BEEN SATISFIED."
- STAIRS PER CBC 1009 FOR PRIVATE RESIDENCE: MAX. RISER HEIGHT: 7 3/4", MINIMUM TREAD DEPTH: 9" (UNLESS OCCUPANT LOAD IS 10 OR MORE, THEN MAX. RISER HEIGHT IS 7" AND MIN. TREAD DEPTH IS 11"). DEPTH OF LANDING GREATER THAN OR EQUAL TO STAIR WIDTH, 36" OK FOR STRAIGHT RUNS. MAINTAIN A CONSTANT CLEAR HEAD HEIGHT OF 6'8" AT ALL TIMES. MAX DIFFERENTIAL BETWEEN TREAD DEPTH TO BE 3/8" OR LESS.
- HANDRAILS PER CBC 1012 FOR PRIVATE RESIDENCE: ALL STAIRS WITH MORE THAN THREE RISERS ARE TO HAVE ONE HANDRAIL. HANDRAILS ARE TO BE 1 1/4" MIN. TO 2" MAX. IN CROSS SECTIONAL DIMENSION (OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE), AND MUST MAINTAIN A HEIGHT BETWEEN 34" AND 38" ABOVE STAIR NOSINGS. HANDRAILS ARE TO BE CONTINUOUS AT EACH FLIGHT OF STAIRS, AND NEED NOT EXTEND BEYOND THE FIRST AND LAST RISER. HANDRAILS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST. CLEAR SPACE BETWEEN A HAND-RAIL AND A WALL OR OTHER SURFACE SHALL BE AT LEAST 1 1/2". ENDS OF HANDRAILS SHALL RETURN TO A WALL, NEWEL POST, BALUSTER OR TO THE WALKING SURFACE.
- GUARDRAILS PER CBC 1013 FOR PRIVATE RESIDENCE: GUARDS ARE TO BE 42" MINIMUM ABOVE THE FINISHED FLOOR, AND ARE TO BE CONSTRUCTED SUCH THAT THERE ARE NO OPENINGS LARGE ENOUGH FOR A 4" DIAMETER SPHERE TO PASS THROUGH. GUARDRAILS WHOSE TOP RAIL ALSO SERVES AS A HANDRAIL SHALL HAVE A HEIGHT AS REQUIRED FOR HANDRAILS. THE TRIANGULAR OPENINGS FORMED BY THE RISER TREAD AND BOTTOM RAIL AT THE OPEN SIDE OF A STAIRWAY SHALL BE OF A MAXIMUM SIZE SUCH THAT A SPHERE OF 6" IN DIAMETER CANNOT PASS THROUGH.
- AT TOILETS A MINIMUM DIMENSION OF 15" IS TO BE KEPT FROM CENTERLINE OF TOILET TO A WALL ON EITHER SIDE, AND A MINIMUM OF 24" CLEAR IN FRONT OF THE TOILET.
- SHOWERS MUST HAVE A MINIMUM CLEAR AREA INSIDE OF 30" IN DIAMETER.
- MINIMUM HEAD HEIGHT: 7' 6" IN HABITABLE ROOMS, 7' IN KITCHENS, HALLS AND BATHS. FOR SLOPED CEILINGS: PRESCRIBED MIN. HEAD HEIGHT TO OCCUR IN 50 PERCENT OF AREA.
- ATTIC VENTING PER CBC 1203.2: MIN. OF 1/150 OF ATTIC AREA TO BE VENTED OR 1/300 IF HI/LOW METHOD USED. LOW VENTS VIA EAVE OR CORNICE WITH HIGH VENTS MIN. 3" ABOVE EAVE OR CORNICE. USE 1/4" MESH.
- 22" X 30" ATTIC ACCESS PANEL TO BE PROVIDED FOR ATTICS WITH GREATER THAN OR EQUAL TO 30" HT. PROVIDE 30" UNOBSTRUCTED HEADROOM ABOVE ACCESS PANEL PER CBC 1209.2
- UNDER-FLOOR (OR CRAWL-SPACE) VENTING PER CBC 1203.3: MIN. OF 1 SQUARE FOOT VENTING PER 150 SQ. FEET OF UNDER-FLOOR AREA.
- FIREPLACES SHALL BE INSTALLED PER CMC 908.0, IF APPLICABLE.
- THE GARAGE AND LIVING SPACE SHALL BE SEPARATED FROM THE LIVING SPACE PER THE REQUIREMENTS OF SFGBC SECTION 406.1.4.



1 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

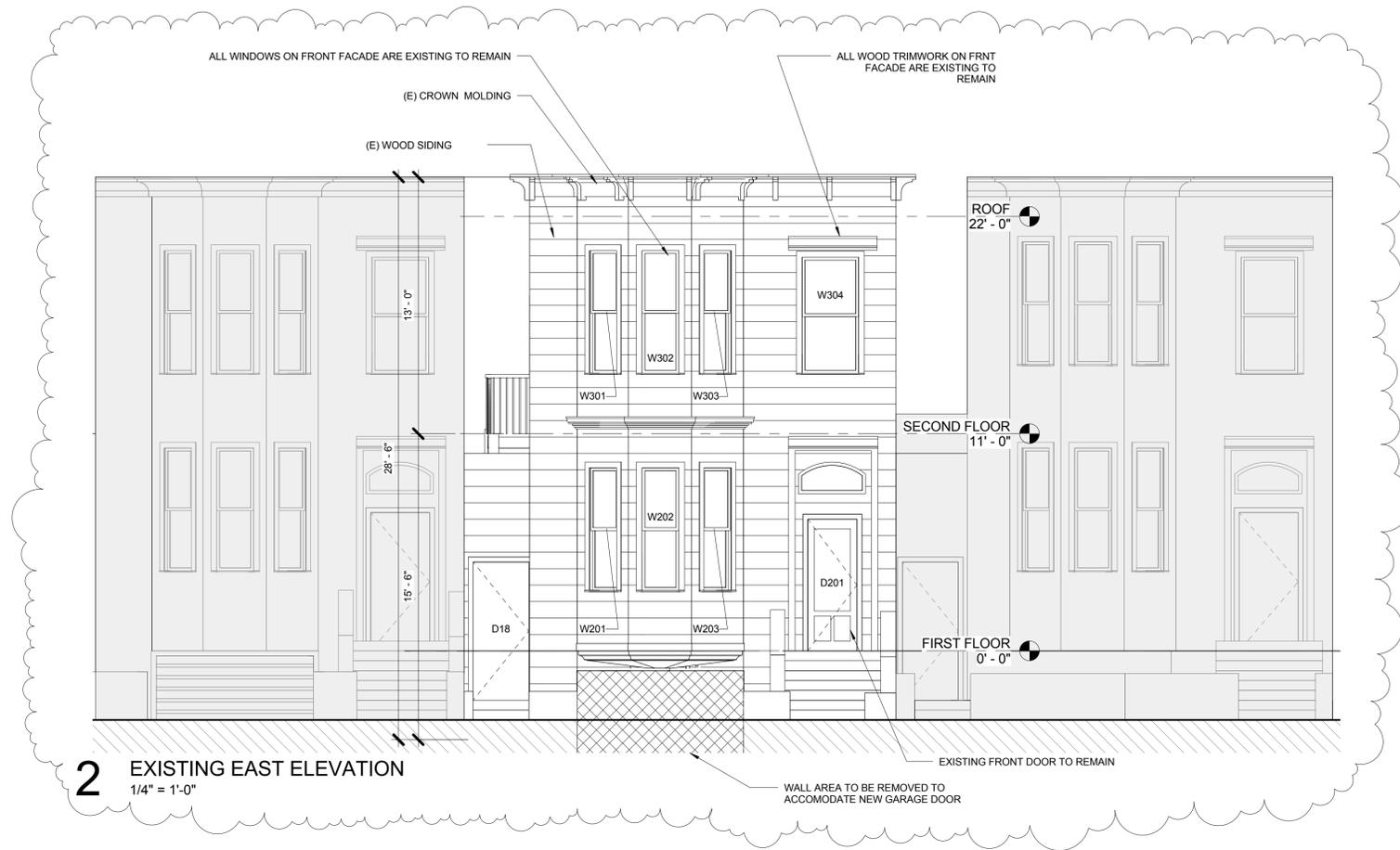
REVISIONS	DATE
INITIAL LAYOUT	12-11-13
PLANNING SET	01-29-13
PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14

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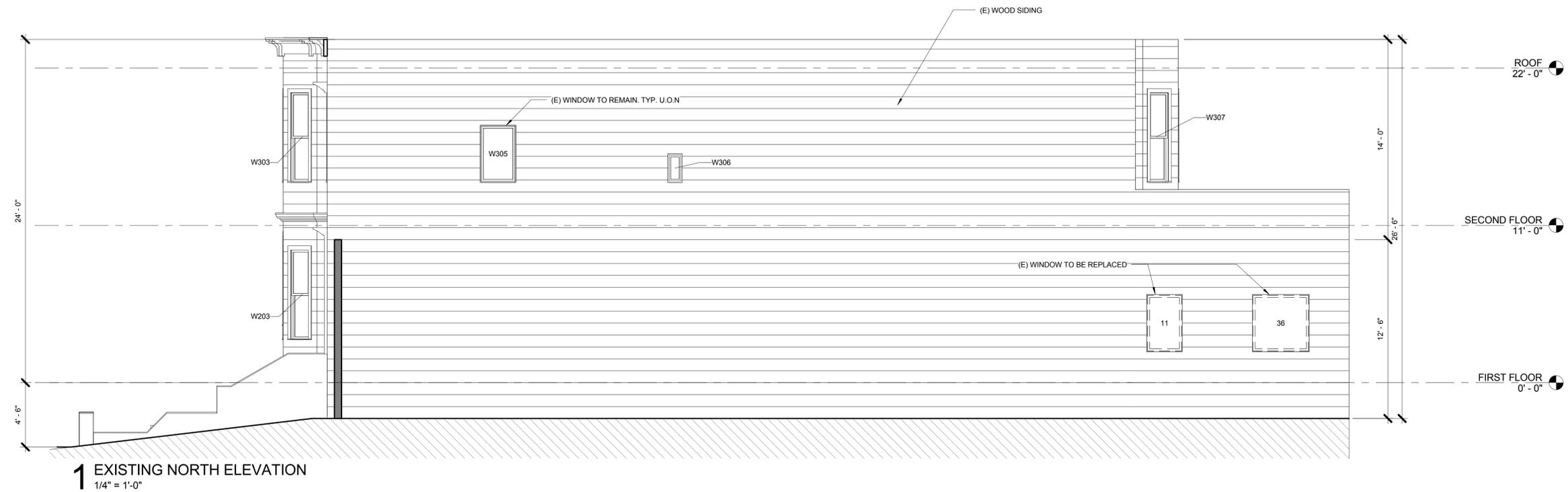
ENGEL-KLUG RESIDENCE
REMODEL
2319 WEBSTER ST
SAN FRANCISCO, CA 94115
BLOCK 0605 LOT 003

EXISTING ELEVATIONS

A6



2 EXISTING EAST ELEVATION
1/4" = 1'-0"



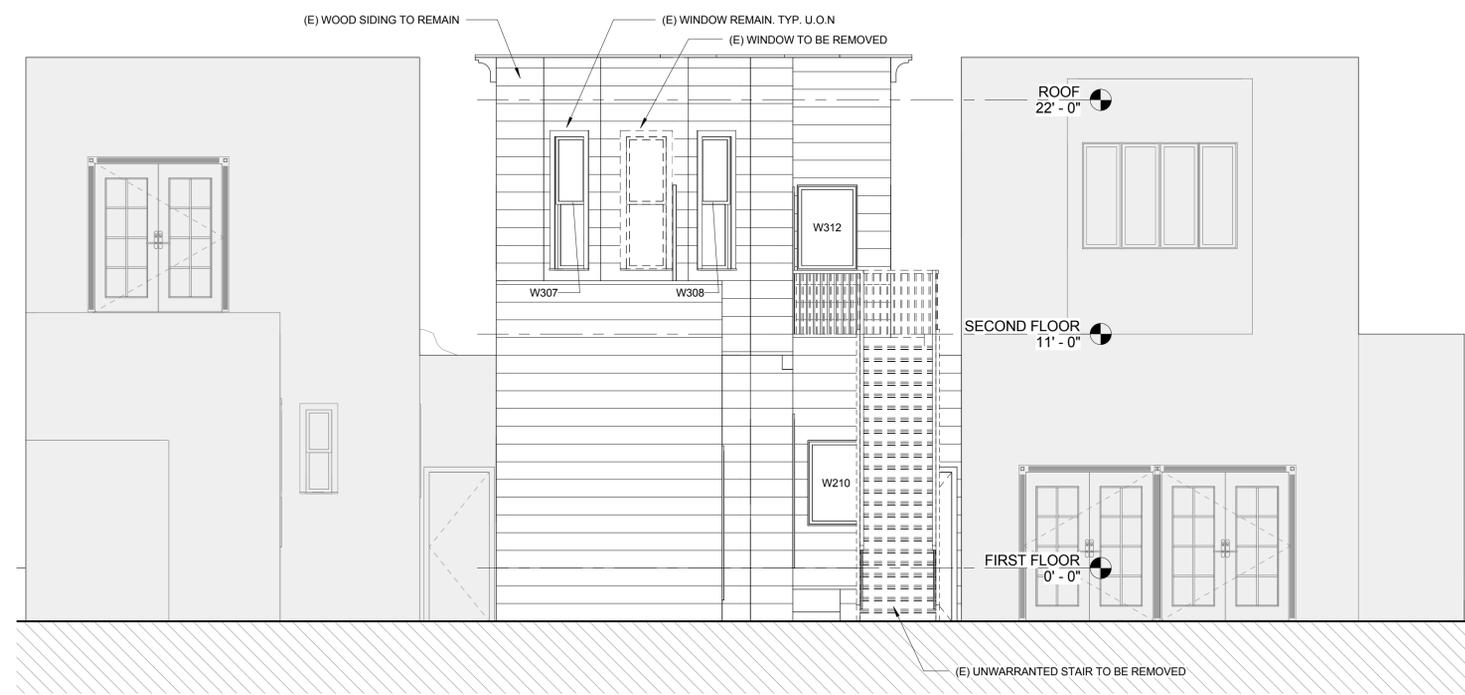
1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

REVISIONS	DATE
INITIAL LAYOUT	12-11-13
PLANNING SET	01-29-13
PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14

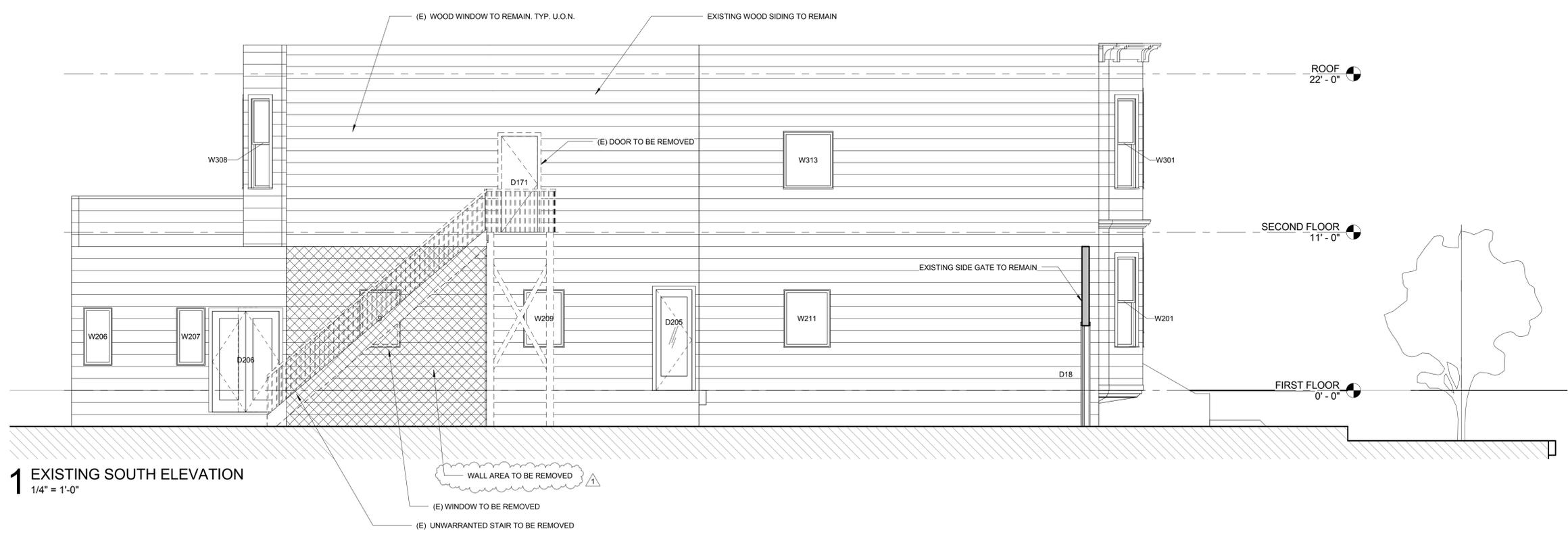
**ENGEL-KLUG RESIDENCE
REMODEL**
2319 WEBSTER ST
SAN FRANCISCO, CA 94115
BLOCK 0605 LOT 003

EXISTING ELEVATIONS

A7



2 EXISTING WEST ELEVATION
1/4" = 1'-0"

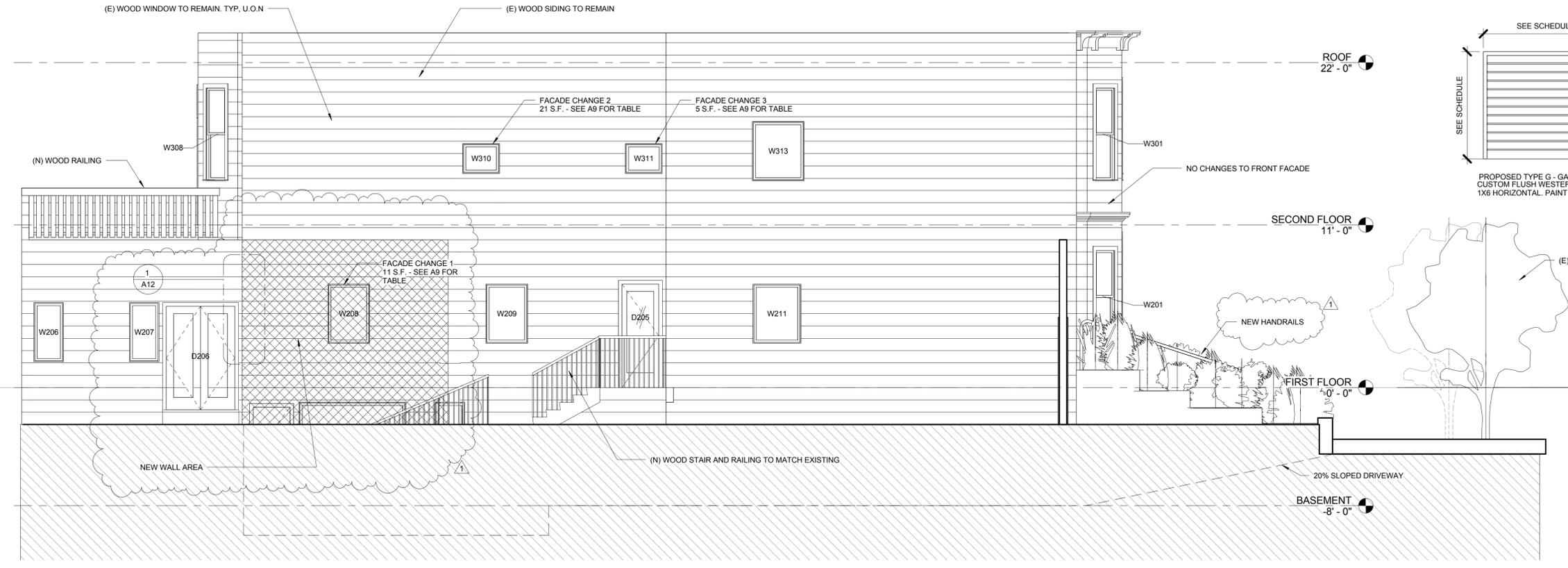


1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

REVISIONS	DATE
INITIAL LAYOUT	12-11-13
PLANNING SET	01-29-13
PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"

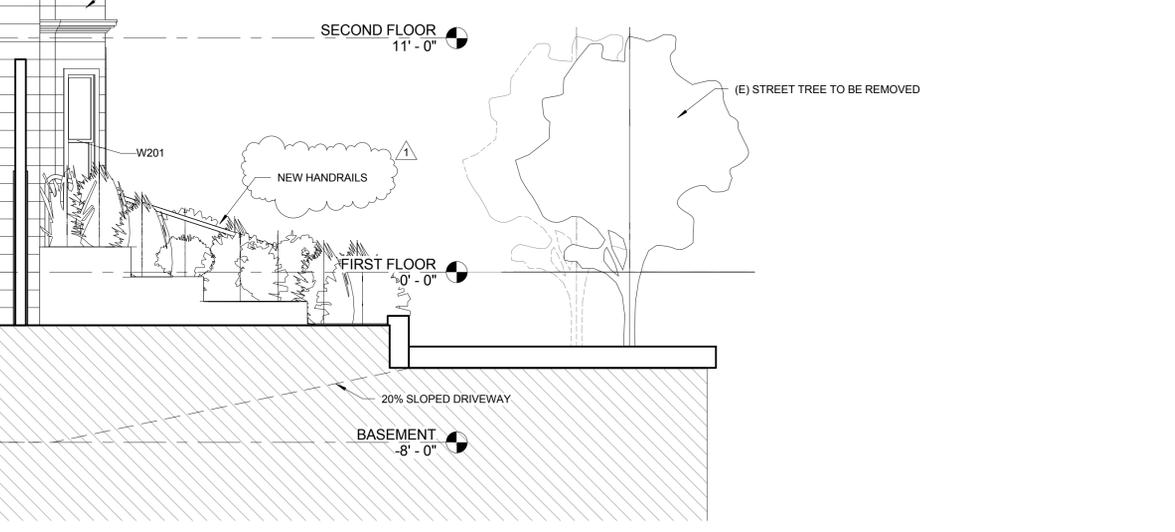
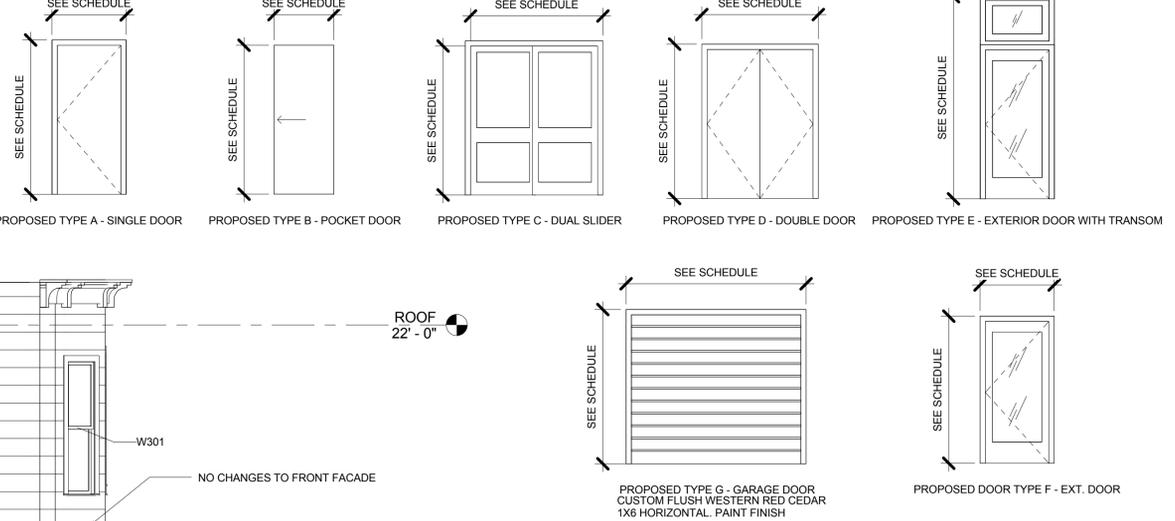


1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

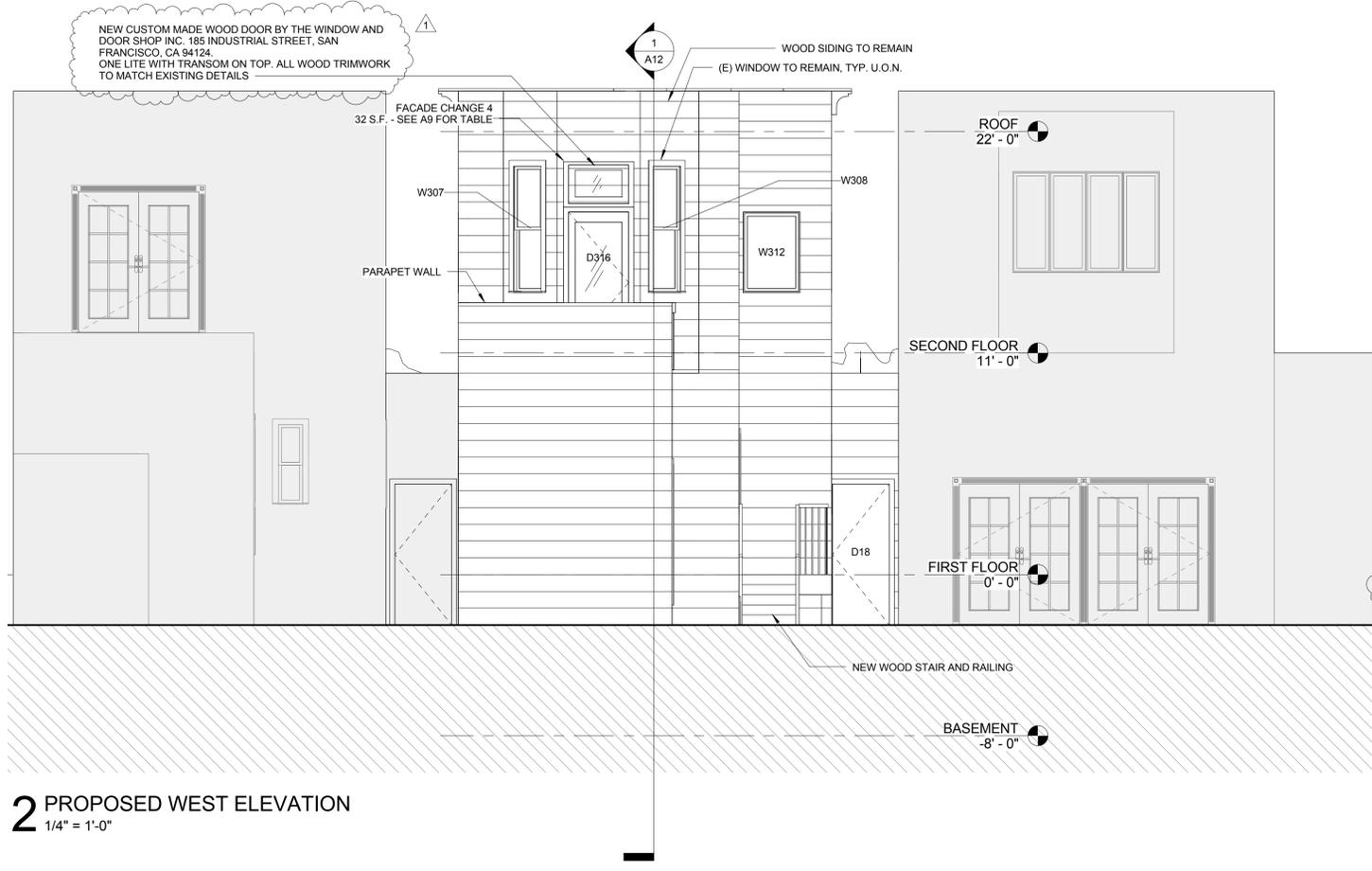
DOOR SCHEDULE

DOOR #	LEVEL	LOCATION	TYPE	EXISTING/N EW	DOOR LEAF	DOOR FRAME	FINISH	WIDTH	HEIGHT	THICKNESS	COMMENTS
BASEMENT											
D101	BASEMENT	BASEMENT CLST	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-2"	7'-0"	0'-1 3/4"	
D102	BASEMENT	STAIRWELL	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	3'-0"	6'-8"	0'-1 3/4"	
D103	BASEMENT	BASEMENT	SOLID CORE INTERIOR - D	PROPOSED	WOOD	WOOD	PAINT	4'-8"	7'-0"	0'-2"	
D104	BASEMENT	GUEST BDR HALL	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	3'-0"	6'-8"	0'-1 3/4"	
D105	BASEMENT	CLOSET	POCKET DOOR - B	PROPOSED	WOOD	WOOD	PAINT	2'-8"	6'-8"	0'-1 3/4"	
D106	BASEMENT	GUEST BATH	POCKET DOOR - B	PROPOSED	WOOD	WOOD	PAINT	2'-8"	6'-8"	0'-1 3/4"	
D107	BASEMENT	GUEST BEDROOM	EXTERIOR DOOR - F	PROPOSED	WOOD/TEMPERE D GLASS	WOOD	PAINT	2'-6"	6'-8"	0'-1 3/4"	
D112	BASEMENT			PROPOSED				8'-6"	7'-0"	0'-2"	
YARD											
D18	YARD			EXISTING				2'-10"	7'-0"	0'-1 3/4"	
FIRST FLOOR											
D201	FIRST FLOOR	ENTRYWAY	FRONT ENTRY DOOR	EXISTING	WOOD	WOOD	PAINT	2'-6"	6'-8"	0'-1 3/4"	
D202	FIRST FLOOR	HALL CLOSET	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-6"	7'-0"	0'-1 3/4"	
D203	FIRST FLOOR	STUDY	DUAL SLIDERS - C	PROPOSED	WOOD	WOOD	PAINT	2'-8"	7'-0"	0'-1 3/4"	
D204	FIRST FLOOR	POWDER ROOM	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-4"	7'-0"	0'-1 3/4"	
D205	FIRST FLOOR	DINING ROOM	EXTERIOR DOOR	EXISTING	WOOD	WOOD/GLASS	PAINT	2'-6"	7'-0"	0'-1 3/4"	
D206	FIRST FLOOR	FAMILY ROOM	SOLID CORE INTERIOR	EXISTING	WOOD	WOOD	PAINT	4'-8"	7'-0"	0'-2"	
SECOND FLOOR											
D301	SECOND FLOOR	BATH 1	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-8"	7'-0"	0'-1 3/4"	
D302	SECOND FLOOR	W/C	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-8"	7'-0"	0'-1 3/4"	
D303	SECOND FLOOR	BEDROOM 1	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-8"	7'-0"	0'-1 3/4"	
D304	SECOND FLOOR	BEDROOM 1	DUAL SLIDERS - C	PROPOSED	WOOD	WOOD	PAINT	5'-0"	7'-0"	0'-1 3/4"	
D305	SECOND FLOOR	BEDROOM 1	DUAL SLIDERS - C	PROPOSED	WOOD	WOOD	PAINT	5'-0"	7'-0"	0'-1 3/4"	
D306	SECOND FLOOR	BEDROOM 2	SOLID CORE INTERIOR	EXISTING	WOOD	WOOD	PAINT	2'-8"	7'-0"	0'-1 3/4"	
D307	SECOND FLOOR	BEDROOM 2	POCKET DOOR - B	PROPOSED	WOOD	WOOD	PAINT	2'-6"	7'-0"	0'-1 3/4"	
D308	SECOND FLOOR	HALL	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-4"	7'-0"	0'-1 3/4"	
D309	SECOND FLOOR	MASTER BDRM	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-8"	7'-0"	0'-1 3/4"	
D310	SECOND FLOOR	MASTER BATH	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-4"	7'-0"	0'-1 3/4"	
D311	SECOND FLOOR	MASTER CLOSET	DUAL SLIDERS - C	PROPOSED	WOOD	WOOD	PAINT	5'-8"	7'-0"	0'-1 3/4"	
D312	SECOND FLOOR	MASTER CLOSET	DUAL SLIDERS - C	PROPOSED	WOOD	WOOD	PAINT	5'-8"	7'-0"	0'-1 3/4"	
D313	SECOND FLOOR	MASTER BATH	SOLID CORE INTERIOR - A	PROPOSED	WOOD	WOOD	PAINT	2'-6"	7'-0"	0'-1 3/4"	
D314	SECOND FLOOR	MASTER CLOSET	POCKET DOOR - B	PROPOSED	WOOD	WOOD	PAINT	2'-6"	7'-0"	0'-1 3/4"	
D315	SECOND FLOOR	MASTER BDRM	POCKET DOOR - B	PROPOSED	WOOD	WOOD	PAINT	2'-6"	7'-0"	0'-1 3/4"	
D316	SECOND FLOOR	MASTER BDRM	EXTERIOR DOOR - E	PROPOSED	WOOD/TEMPERE D GLASS	WOOD	PAINT	3'-0"	7'-0"	0'-1 3/4"	

DOOR TYPES



REVISIONS	DATE
INITIAL LAYOUT	12-11-13
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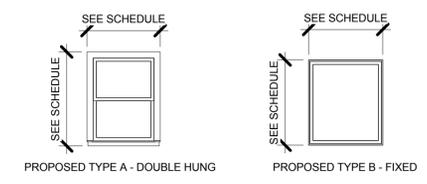


2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE										
WINDOW #	LEVEL	LOCATION	TYPE	EXISTING/PROPOSED	FRAME	FINISH	HEIGHT	WIDTH	SILL HEIGHT	COMMENTS
BASEMENT										
W101	BASEMENT	GUEST BEDROOM	FIXED	PROPOSED	WOOD	PAINT	4'-0"	7'-3"	3'-0"	
FIRST FLOOR										
W201	FIRST FLOOR	LIVING ROOM	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W202	FIRST FLOOR	LIVING ROOM	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W203	FIRST FLOOR	LIVING ROOM	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W204	FIRST FLOOR	FAMILY ROOM	FIXED	PROPOSED	WOOD	PAINT	4'-0"	2'-6"	2'-2"	FIRE RATED
W205	FIRST FLOOR	FAMILY ROOM	FIXED	PROPOSED	WOOD	PAINT	4'-0"	4'-0"	2'-2"	FIRE RATED
W206	FIRST FLOOR	FAMILY ROOM	FIXED	EXISTING	WOOD	PAINT	4'-0"	2'-0"	1'-9"	
W207	FIRST FLOOR	FAMILY ROOM	FIXED	EXISTING	WOOD	PAINT	4'-0"	2'-0"	1'-9"	
W208	FIRST FLOOR	KITCHEN	FIXED	PROPOSED	WOOD	PAINT	4'-0"	2'-10"	3'-0"	
W209	FIRST FLOOR	DINING ROOM	FIXED	EXISTING	WOOD	PAINT	4'-0"	2'-10"	3'-0"	
W211	FIRST FLOOR	STUDY	FIXED	EXISTING	WOOD	PAINT	4'-0"	3'-3"	3'-0"	
SECOND FLOOR										
W301	SECOND FLOOR	BEDROOM 1	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W302	SECOND FLOOR	BEDROOM 1	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W303	SECOND FLOOR	BEDROOM 1	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W304	SECOND FLOOR	BATH 1	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-0"	3'-0"	3'-0"	
W305	SECOND FLOOR	W/C	FIXED	EXISTING	WOOD	PAINT	4'-0"	2'-6"	3'-0"	
W306	SECOND FLOOR	HALL	FIXED	EXISTING	WOOD	PAINT	2'-0"	1'-0"	3'-0"	
W307	SECOND FLOOR	BEDROOM 1	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W308	SECOND FLOOR	MASTER BDRM	DOUBLE HUNG WITH TRIM	EXISTING	WOOD	PAINT	6'-4"	2'-0"	3'-0"	
W310	SECOND FLOOR	MASTER CLOSET	FIXED	PROPOSED	WOOD	PAINT	2'-0"	2'-6"	3'-6"	
W311	SECOND FLOOR	MASTER BATH	FIXED	PROPOSED	WOOD	PAINT	2'-0"	2'-6"	3'-6"	
W312	SECOND FLOOR	BEDROOM 2	FIXED	EXISTING	WOOD	PAINT	4'-0"	2'-10"	3'-0"	
W313	SECOND FLOOR	BEDROOM 2	FIXED	EXISTING	WOOD	PAINT	4'-0"	3'-6"	3'-0"	

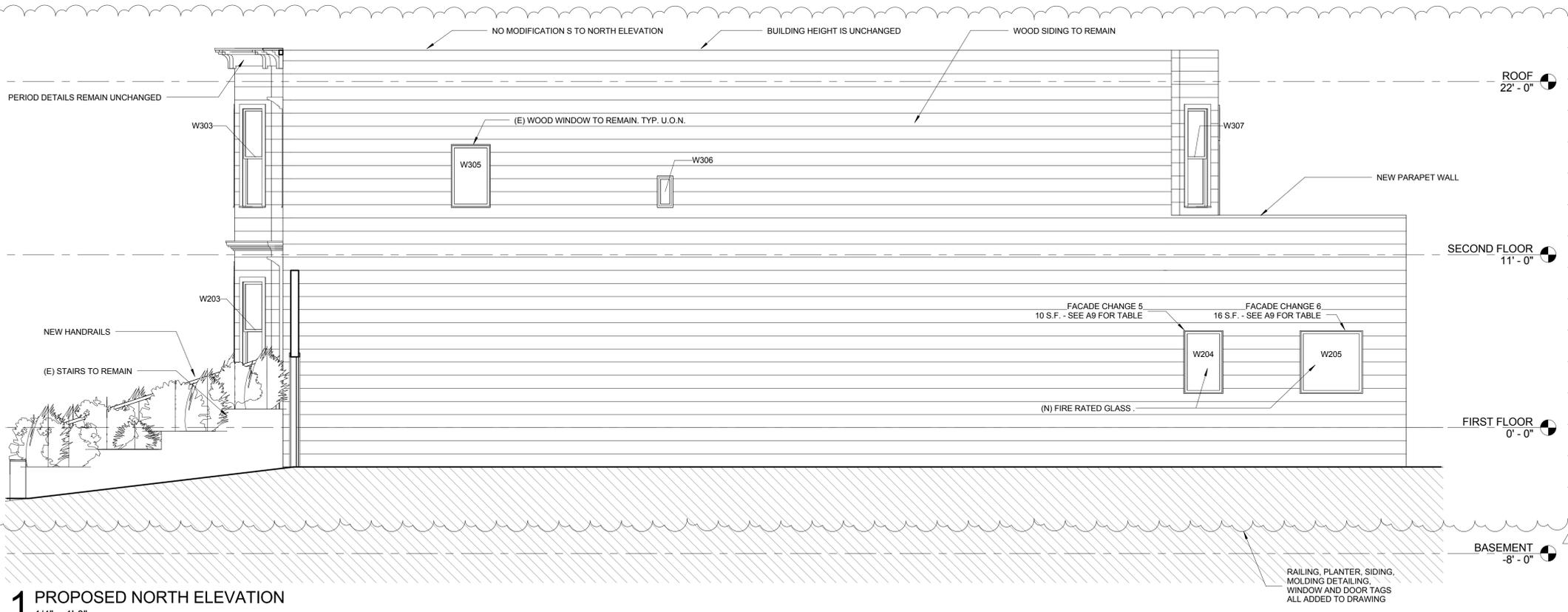
NOTE: ALL EXTERIOR WINDOWS TO BE CUSTOM MADE BY WINDOW & DOOR SHOP, INC. 185 INDUSTRIAL STREET, SAN FRANCISCO, CA 94124. ALL WOOD TRIMWORK TO MATCH EXISTING DETAILS. ADD INCONSPICUOUS JAMB LINER TO ACCOUNT FOR DOUBLE PANE.

WINDOW TYPES



FACADE CHANGE TABLE

1. NEW WINDOW	11 S.F.
2. CHANGE DOOR TO WINDOW	21 S.F.
3. NEW WINDOW	5 S.F.
4. CHANGE WINDOW TO DOOR AND WINDOW	32 S.F.
5. CHANGE WINDOW TO FIRE RATED GLASS WINDOW OF SAME SIZE	10 S.F.
6. CHANGE WINDOW TO FIRE RATE GLASS WINDOW OF SAME SIZE	16 S.F.
TOTAL FACADE CHANGES	95 S.F.



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

MOISTURE PREVENTION NOTES

1. SEAL ALL PLUMBING, ELECTRICAL AND OTHER PENETRATIONS OF WALLS AND FLOORS
2. WATER-RESISTANT FLOORING WITHIN 3 FEET OF ALL EXTERIOR DOORS
3. WATER-RESISTANT FLOORING IN THE KITCHEN, BATHROOM, LAUNDRY ROOMS
4. CONVENTIONAL CLOTHES DRYERS EXHAUSTED DIRECTLY TO OUTDOORS
5. USE ONLY STAINLESS STEEL METAL FLASHINGS BEHIND CEMENTATIONS
6. INCLUDE NO WOOD-TO-CONCRETE CONNECTIONS OR SEPARATE CONNECTIONS WITH DIVIDERS

HEATING AND VENTILATION NOTES

1. PROVIDE MIN 150 SQ INCHES EACH UPPER & LOWER COMBUSTION AIR CLEAR OPENINGS FOR WATER HEATER HEATERS, BOILERS, FURNACES AND OTHER GAS BURNING APPLIANCES.
2. LOCATE OPENINGS WITHIN 12" FROM FLOOR & 12" FROM CEILING.
3. PROVIDE ENERGY STAR VENTILATION FOR BATHROOMS AS SPECIFIED IN FIXTURE LIST
4. FLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS INTO THE UNDER-FLOOR AREA WALLS NOT LESS THAN 1 SQUARE FOOT FOR EACH 25 LINEAR FEET OF EXTERIOR WALL. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. THEIR OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION. INTERSTITIAL SPACES ARE NEVER TO BE USED TO SUPPLY OR RETURN FORCED AIR
5. PROVIDE GARAGE VENTILATION MINIMUM 200 SQUARE INCHES AS PER SFBC 406.1.3
6. WATER HEATER TO BE PROVIDED WITH A SEISMIC STRAP AND RAISED 18" ABOVE GARAGE FLOOR
7. ENSURE THAT COMBUSTION AIR MEETS REQUIREMENTS OF CMC CHAPTER 7
8. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
9. DUCT LEAKAGE TO THE OUTDOORS LIMITED TO 6 CFM / 100 SQ.FT.

INSULATION NOTES

1. SEE TITLE 24 FOR SPECIFIC INSTRUCTIONS
2. (N) ROOF INSULATION SHALL BE A MIN R30
3. (N) EXTERIOR WALLS 2X4 INSULATION SHALL BE A MIN R13
4. (N) EXTERIOR WALLS 2X6 INSULATION SHALL BE A MIN R19
5. (N) RAISED FLOOR INSULATION SHALL BE A MIN R19
6. (N) SLAB PERIMETER INSULATION SHALL BE MIN R10
7. ALL INSULATION IS TO BE INSPECTED BY DESIGN TEAM AND PHOTOGRAPHED BEFORE COVERUP

FIRE NOTES

1. *AT SIDE LOT LINES - IN AREAS 5 FT. OR CLOSER TO PROPERTY LINES - NEW WALLS & GUARDRAILS MUST BE CONSTRUCTED PER UL U309 FIRE RATED WALL ASSEMBLY.*

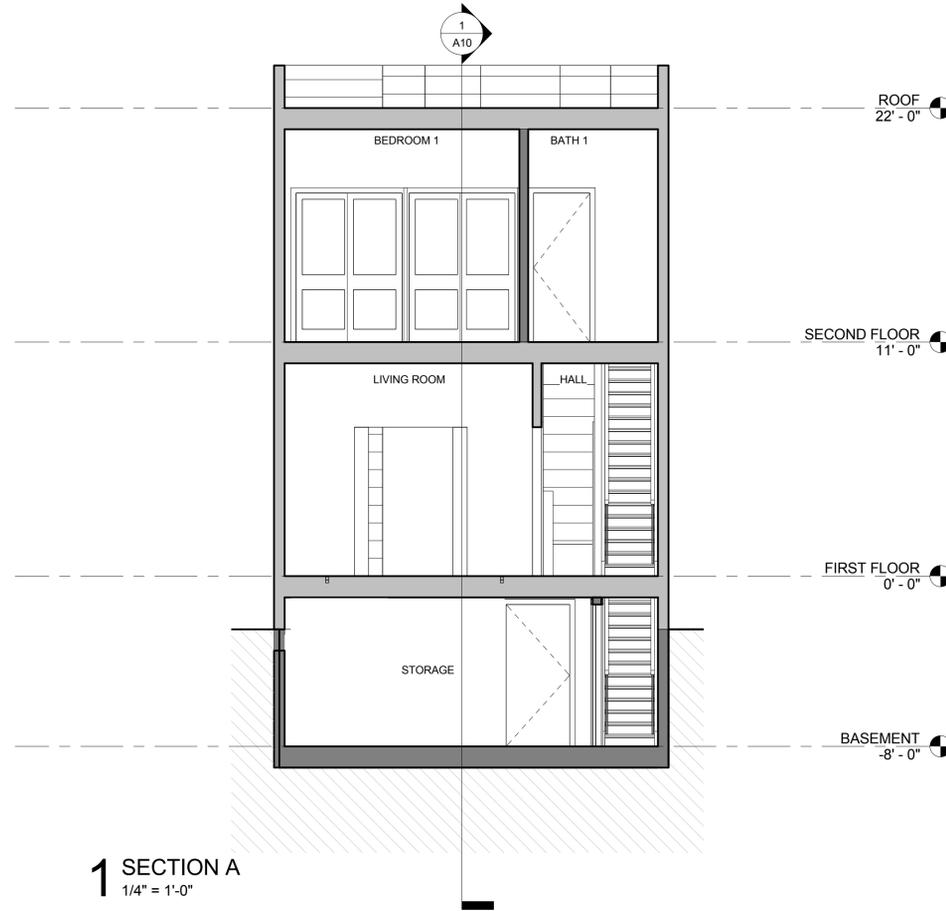
REVISIONS	DATE
INITIAL LAYOUT	12-11-13
PLANNING SET	01-29-13
PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14

FRAMING NOTES

1. INSTALL 5/8" TYPE "X" GYPSUM BOARD IN MECHANICAL ALCOVE OF WATER HEATER FOR ONE HOUR RATED PARTITION AT WALLS AND CEILING.
2. INSTALL 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD AT ALL AREAS UNDER STAIRS, CEILINGS TO ACHIEVE 1-HR RATED PARTITIONS
3. ALL FRAMING USED SHALL BE FORESTRY STEWARDSHIP (FSC) COUNCIL DRY LUMBER
4. ALL EXTERIOR WALLS TO BE 2X6 STUDS UNLESS OTHERWISE NOTED
5. ALL INTERIOR WALLS TO BE 2X4 STUDS EXCEPT AT PLUMBING WALLS, BEHIND PLUMBING FIXTURES, OR AS SPECIFIED
6. GARAGE TO HAVE MINIMUM 1 3/8" SOLID CORE SELF-CLOSING INTERIOR DOOR TO HOUSE
7. ACCESSIBLE UNDER-FLOOR AREAS SHALL BE PROVIDED WITH AN 18" X 24" ACCESS PANEL.
8. SLOPE EXTERIOR PAVED SURFACE 1/4" FEET MINIMUM AWAY FROM BUILDING
9. INSTALL SOLID BLOCKING AS REQUIRED FOR FINISH HARDWARE, CABINETS, TRIM, AND FIXTURES.
10. REQUEST APPROVAL OF ALL MATERIALS AND CHEMICALS USED DURING CONSTRUCTION AND DOCUMENT FOR BUILDING RECORDS
11. KEEP ALL EXTERIOR WOOD AT LEAST 12" ABOVE SOIL.
12. PRIME ALL SIDES OF PLYWOOD AND TRIM PRIOR TO INSTALLATION.
13. PRE-PRIME KNOTS IN WITH PRIMER SEALER OR EQUIVALENT
14. ALL CUT OR NOTCHED TREATED WOOD SHALL BE SEALED WITH WOOD PRESERVATIVE SEALER
15. PROVIDE CEMENT/FIBER BACKERS AT ALL WET LOCATIONS. INSTALL ALL THE WAY TO CEILING. WATER-RESISTANT GYPSUM SHALL NOT BE USED IN SHOWER AND TUB AREAS.
16. ALL OUTDOOR EXPOSED WOOD AND MATERIALS ARE TO BE RATED FOR EXTERIOR USE
17. PROVIDE FLASHING AND WATERPROOFING ON ROOF, SIDING, OVERHANGS, DECKS AND PARAPETS
18. THERE SHALL BE A CLEARANCE OF AT LEAST 18" BETWEEN UNDERSIDE OF WOOD FLOOR JOISTS AND THE FINISHED SURFACE OF THE GROUND, AND AT LEAST 12" BETWEEN THE UNDERSIDE OF ANY OTHER WOOD HORIZONTAL FRAMING MEMBER AND THE FINISHED SURFACE OF THE GROUND.
19. *OPENINGS AROUND VENTS, PIPES, DUCTS, FLUES & SIMILAR AREAS WHICH ALLOW THE PASSAGE OF FIRE AT THE ROOF & FLOOR LEVELS SHALL BE FIRE STOPPED. FIRE STOPPING & BLOCKING SHALL COMPLY WITH CBC CHAPTER 7. THE EXTENT & COORDINATION OF FIRE BLOCKING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.*

STAIR, HANDRAIL & GUARDRAIL NOTES

1. VERIFY STAIR LAYOUT, RISER/TREAD SIZES IN THE FIELD PRIOR TO INSTALLATION
2. STAIRS PER CBC 1009 FOR PRIVATE RESIDENCE. MAX. RISER HEIGHT: 7 3/4", MINIMUM TREAD DEPTH: 9" (UNLESS OCCUPANT LOAD IS 10 OR MORE, THEN MAX. RISER HEIGHT IS 7" AND MIN. TREAD DEPTH IS 11")
3. DEPTH OF LANDING GREATER THAN OR EQUAL TO STAIR WIDTH, 36" OK FOR STRAIGHT RUNS
4. MAINTAIN A CONSTANT CLEAR HEAD HEIGHT OF 6'8" AT ALL TIMES, AS MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD NOSINGS TO THE SOFFIT OR OTHER CONSTRUCTION ABOVE AT ALL POINTS. MAX DIFFERENTIAL BETWEEN TREAD DEPTH TO BE 3/8" OR LESS. IN EACH FLIGHT OF STAIRS, TREADS & RISERS SHALL BE OF UNIFORM SIZES & SHAPE.
5. HANDRAILS PER CBC 1012 FOR PRIVATE RESIDENCE: ALL STAIRS WITH MORE THAN THREE RISERS ARE TO HAVE ONE HANDRAIL. HANDRAILS ARE TO BE 1 1/4" MIN. TO 2" MAX. IN CROSS SECTIONAL DIMENSION (OR THE SHAPE SHALL PROVIDE AND EQUIVALENT GRIPPING SURFACE), AND MUST MAINTAIN A HEIGHT BETWEEN 34" AND 38" ABOVE STAIR NOSINGS.
6. HANDRAILS ARE TO BE CONTINUOUS AT EACH FLIGHT OF STAIRS, AND NEED NOT EXTEND BEYOND THE FIRST AND LAST RISER. HANDRAILS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST. CLEAR SPACE BETWEEN A HAND-RAIL AND A WALL OR OTHER SURFACE SHALL BE AT LEAST 1 1/2". ENDS OF HANDRAILS SHALL RETURN TO A WALL, NEWEL POST, BALUSTER OR TO THE WALKING SURFACE.
7. THE COMPLETE HANDRAIL SUPPORTING STRUCTURE SHALL BE DESIGNED SO THAT IT IS CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 LB. APPLIED IN ANY DIRECTION AT ANY POINT OF THE RAIL, PER UB 1003.3.3.6
8. GUARDRAILS PER CBC 1013 FOR PRIVATE RESIDENCE: GUARDS ARE TO BE 42" MINIMUM ABOVE THE FINISHED FLOOR, AND ARE TO BE CONSTRUCTED SUCH THAT THERE ARE NO OPENINGS LARGE ENOUGH FOR A 4" DIAMETER SPHERE TO PASS THROUGH. GUARDRAILS WHOSE TOP RAIL ALSO SERVES AS A HANDRAIL SHALL HAVE A HEIGHT AS REQUIRED FOR HANDRAILS. THE TRIANGULAR OPENINGS FORMED BY THE RISER TREAD AND BOTTOM RAIL AT THE OPEN SIDE OF A STAIRWAY SHALL BE OF A MAXIMUM SIZE SUCH THAT A SPHERE OF 6" IN DIAMETER CANNOT PASS THROUGH.
9. INTERMEDIATE RAILS AND COMPONENTS SHALL BE A CAPABLE OF WITHSTANDING 25 LB. PER SQUARE FEET APPLIED HORIZONTALLY AT RIGHT ANGLE OVER THE ENTIRE TRIBUTARY AREA, INCLUDING OPENINGS AND SPACES BETWEEN RAILS AS OUTLINED IN UBC TABLE 16-B.9.



1 SECTION A
1/4" = 1'-0"



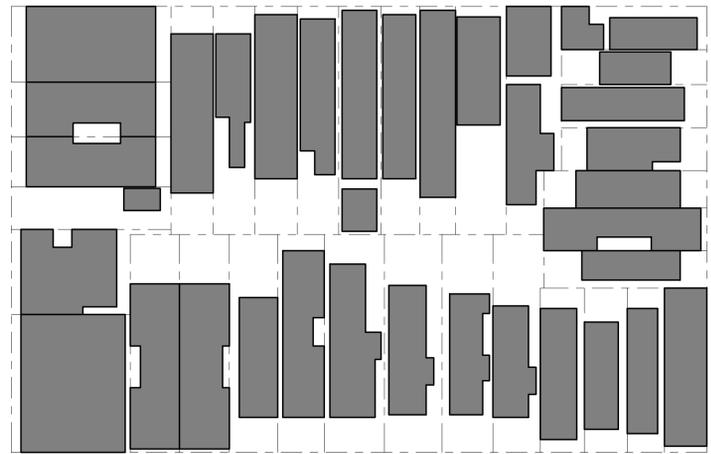
2 SECTION B
1/4" = 1'-0"

WALL LEGEND

(E) WALL TO REMAIN
(N) NEW WALL



REVISIONS	DATE
INITIAL LAYOUT	12-11-13
PLANNING SET	01-29-13
PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14



3 KEY MAP
NTS



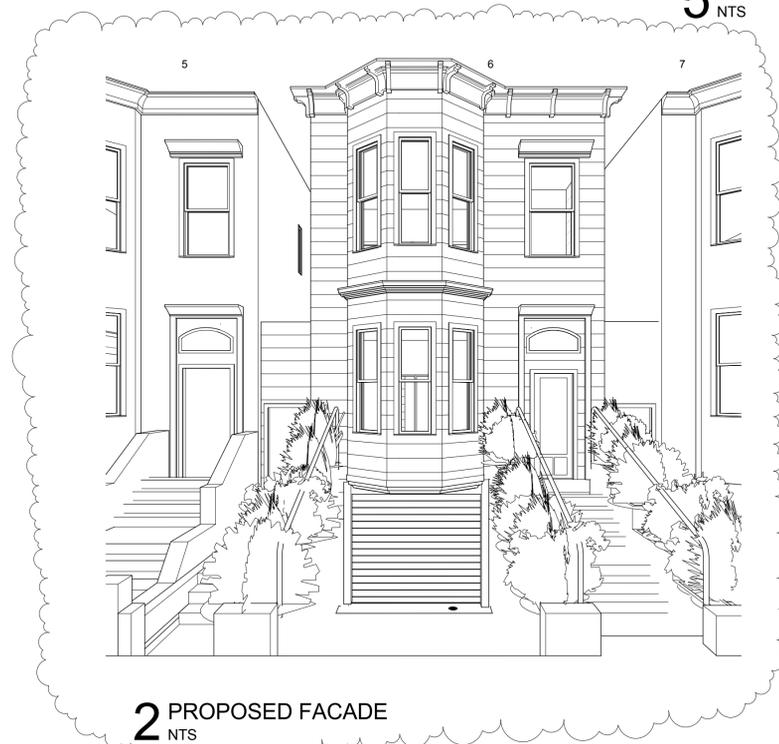
4 EXISTING FACADE
NTS



5 EXISTING FACADE
NTS



1 EXISTING FACADE
NTS



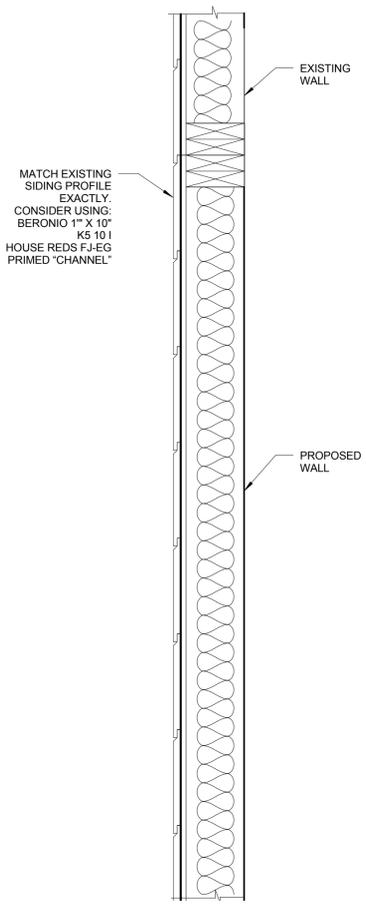
2 PROPOSED FACADE
NTS

REVISIONS	DATE
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PLANNING REVISION	01-20-13
PLANNING REVISION 2	07-08-14

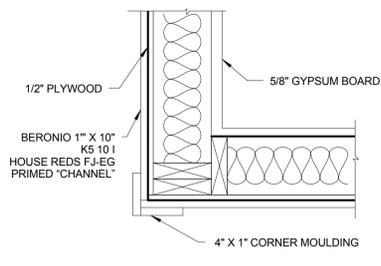
**ENGEL-KLUG RESIDENCE
REMODEL**
2319 WEBSTER ST
SAN FRANCISCO, CA 94115
BLOCK 0605 LOT 003

DETAILS

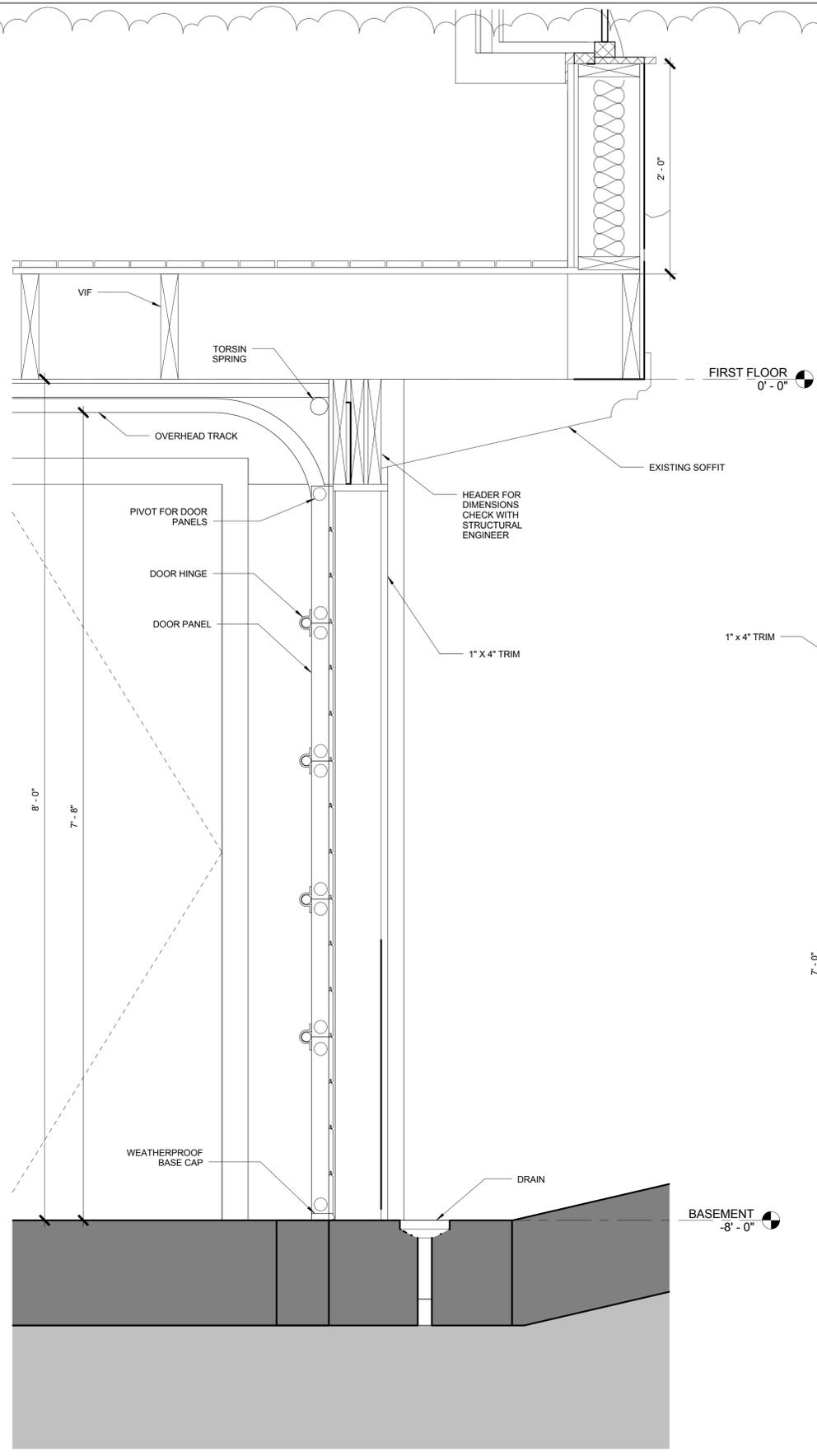
A12



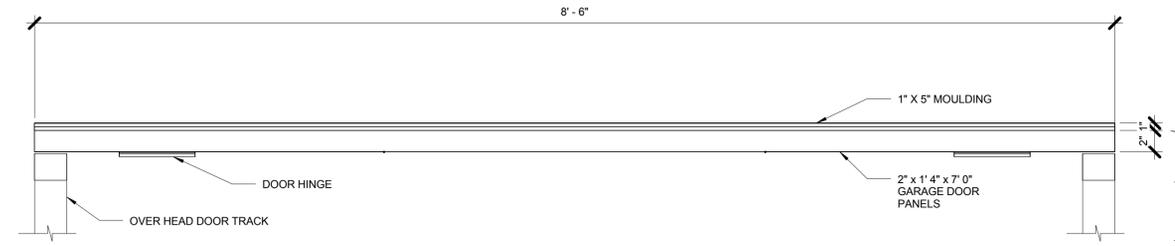
1 WALL SECTION DETAIL
1 1/2" = 1'-0"



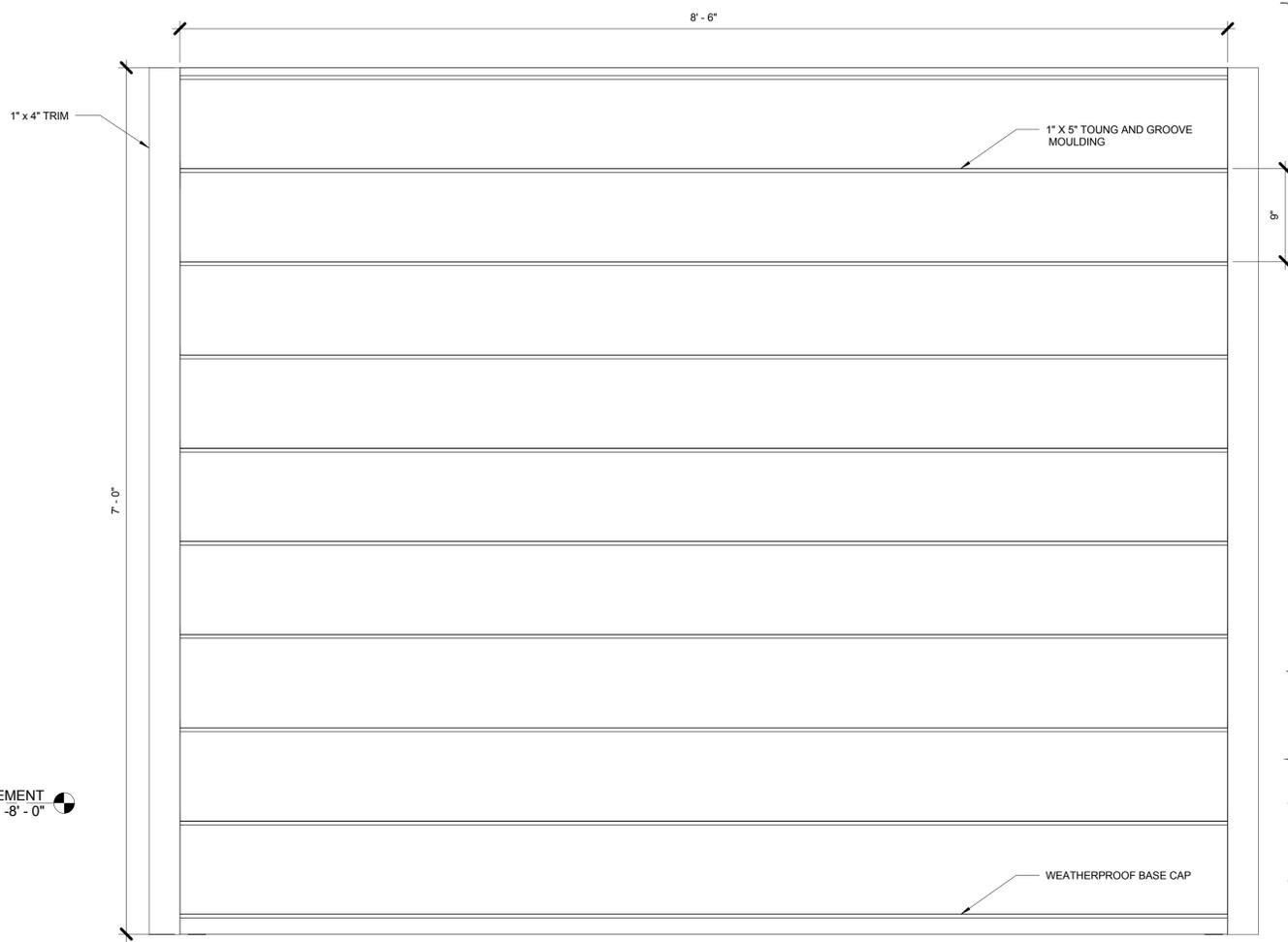
2 CORNER DETAIL
1 1/2" = 1'-0"



3 GARAGE DOOR SECTION
1 1/2" = 1'-0"



4 GARAGE DOOR PLAN
1 1/2" = 1'-0"



5 GARAGE DOOR ELEVATION
1 1/2" = 1'-0"