Discretionary Review Analysis Abbreviated

HEARING DATE JULY 22, 2010

Date:

July 15, 2010

Case No.:

2010.0130D

Project Address:

2768 GREEN STREET (UPPER UNIT)

Zoning:

RH-2 (Residential House, Two-Family)

40-X Height and Bulk District

Block/Lot:

0950/061

Project Sponsor:

Rolf Herken

c/o Mark Brand, Architect 425 Second Street, Suite 601 San Francisco, CA 94107

Staff Contact:

Mary Woods - (415) 558-6315

mary.woods@sfgov.org

Recommendation:

Do not take DR and approve as revised

PROJECT DESCRIPTION

The project proposes to add a roof deck at the rear of the existing top floor unit, remove and re-construct an existing stair penthouse, and extend an existing fire staircase from the third floor to the roof at the existing three-story over basement, three condominium-unit building. The existing building varies in height from three stories at the front to four stories at the rear on a down-sloping lot.

SITE DESCRIPTION AND PRESENT USE

The project site is located at 2768 Green Street (Upper Unit), Lot 061 in Assessor's Block 0950, on the north side of the street between Baker and Broderick Streets in an RH-2 District and a 40-X Height and Bulk District. The subject lot contains approximately 4,100 square feet measuring 30 feet wide by 137 feet deep. The circa 1910 subject building is three stories over basement and contains three condominium units.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Cow Hollow neighborhood. The subject block contains two zoning districts: RH-1 and RH-2. Three properties on the eastern side of the block, facing Broderick Street, are zoned with an RH-1 designation. The remaining properties are zoned RH-2. The neighborhood is primarily residential interspersed with a school and some retail uses.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax:

415.558.6409

Planning Information: 415.558.6377

HEARING NOTIFICATION

ТҮРЕ	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	July 11, 2010	July 9, 2010	12 days
Mailed Notice	10 days	July 11, 2010	July 9, 2010	12 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		X (1)	
Other neighbors on the block or directly across		X (1)	
the street			
Neighborhood groups			X

In addition to the DR requestor, the Department has received one letter in support of the DR from an adjacent neighbor at 2760 Green Street.

ISSUES AND RESPONSES

Issue 1: <u>Building Height</u> – if the elevation between the front and rear property lines is more than 20 feet, then the building height is limited to 35 feet, not 40 feet as shown on the proposed plans;

Response: Original plans did not show the elevation between the front and rear property lines. Project architect has revised the plans showing the grade change and a 35-foot height limit.

Issue 2: Parapet Walls – proposed plans show the parapet walls more than 4 feet above the 35-foot height limit;

Response: Project architect has revised the plans indicating the parapet walls no more than 4 feet above the height limit. On the DR requestor's side, they are 2.6 feet above the height limit. Railings and parapets up to four feet in height are exempt from the height limits per Planning Code Section 260(b)(2)(A).

Issue 3: <u>Lateral/West Elevation Drawings</u> – proposed plans did not include lateral/west elevation plans;

Response: Project architect has since provided lateral drawings to the DR requestor.

Issue 4: Roof Top Stairs – While the stair penthouse cannot be considered as a useable room, it is still larger than what is necessary under the Building Code.

Response: Project architect has revised the project to reduce the height of the stair penthouse to the minimum required by the Building Code.

Issue 5: Additional Issues – DR requestor wants to reserve the right to identify additional design or code issues;

Response: As of the drafting of this case report, DR requestor has not identified any additional issues.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The request for Discretionary Review was reviewed by the Department's Residential Design Team (RDT). The RDT supports the project with modifications, which include reducing the height of the replacement stair penthouse to the minimum required by the Building Code. The project architect has revised the project to reduce the height of the stair penthouse to the minimum required by the Building Code.

Under the Commission's pending DR Reform Policy, this DR would not be referred to the Commission as this project does not meet the threshold of exceptional or extraordinary.

BASIS FOR RECOMMENDATION

The Department believes the project does not have exceptional or extraordinary circumstances for the following reasons:

- The proposed alterations, as revised, are minor and will not affect the residential character of the neighborhood.
- The project, as revised, complies with the requirements of the Planning Code and the Residential Design Guidelines.

RECOMMENDATION:

Do not take DR and approve as revised

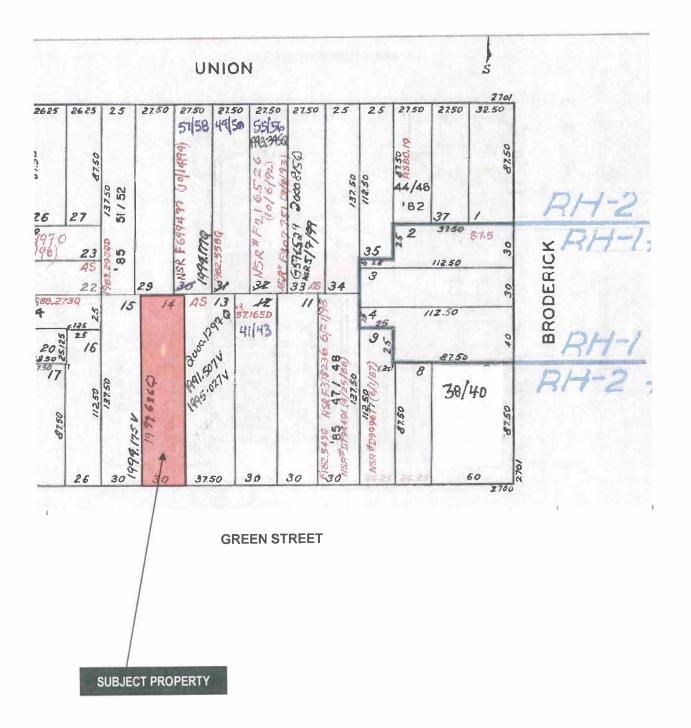
Attachments:

Zoning/Parcel Map
Sanborn Map
Aerial Photograph
Zoning Map
Section 311 Notice
DR Application filed on February 25, 2010
Project Sponsor's Submittal:

- Response to DR Application dated July 12, 2010
- Photographs
- 3-D Rendering
- Reduced Plans

mw:G:\DOCUMENTS\DR\2768 Green St.doc

Zoning / Parcel Map



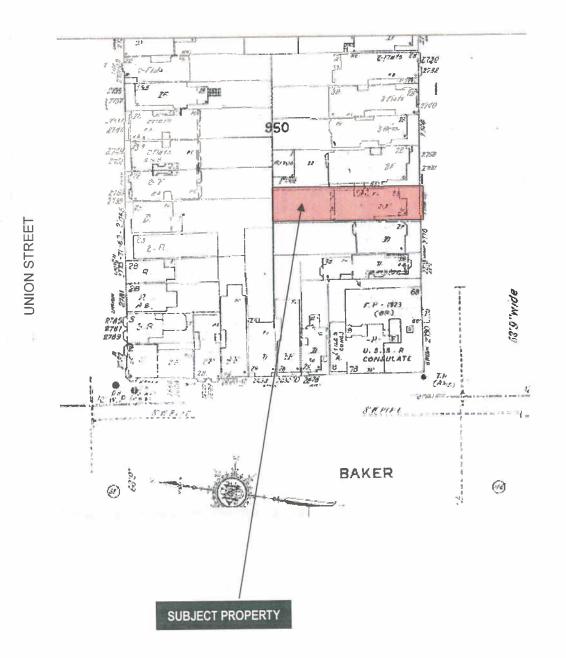


Discretionay Review Hearing Case Number 2010.0130D 2768 Green Street (Upper Unit)

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

BRODERICK STREET

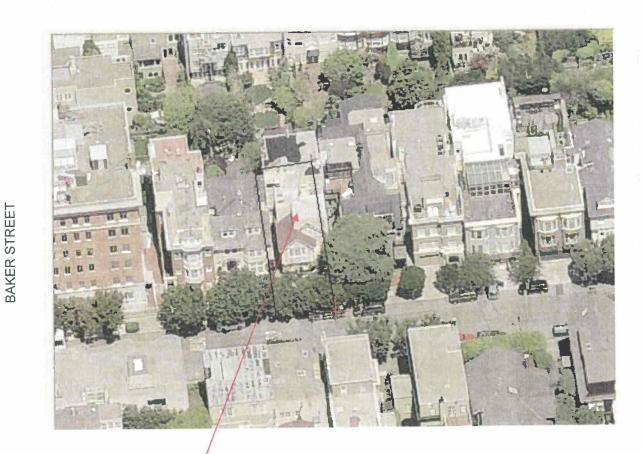


GREEN STREET

BRODERICK STREET

Aerial Photo

UNION STREET



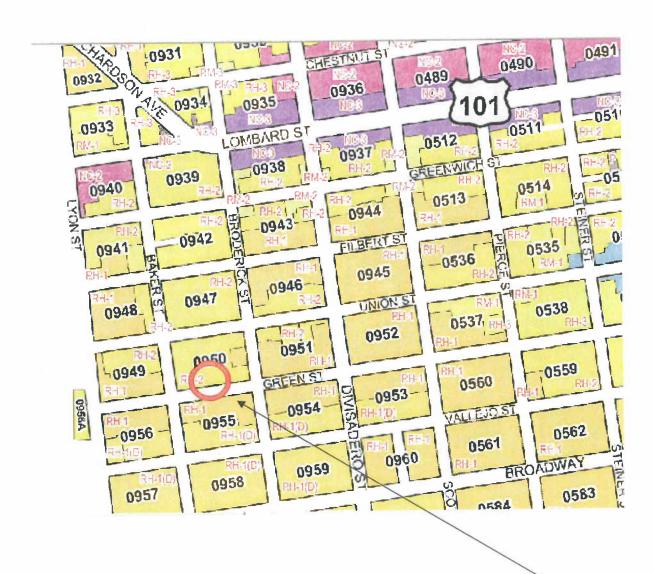
GREEN STREET

SUBJECT PROPERTY



Discretionary Review Hearing Case Number 2010.0130D 2768 Green Street (Upper Unit)

Zoning Map



ZONING USE DISTRICTS

		00=			
RESIDENT	AL, HOUS	E DISTRICT	S		ic.
RH-1(D)	RH-1	RH-1(S)	RH-2	RH-3	
RESIDENT	IAL, MIXED	(APARTMI	ENTS & HO	USES) DIS	TRICTS
RM-1	RM-2	RM-3	RM-4		
NEIGHBOR	RHOOD CO	MMERCIAL	DISTRICTS	3	i
NC-1	NC-2	NC-3	NCD	NC-S	
SOUTH OF	MARKET	MIXED USE	DISTRICTS		
SPD	RED	RSD	SLR	SLI	SSO
COMMERC	IAL DISTR	ICTS			
C-2	C-3-S	C-3-G	C-3-R	C-3-O	C-3-O(SD)
INDUSTRI	AL DISTRIC	TS			
C-M	M-1	M-2			

CHINATOWN MIXED USE DISTRICTS
CRNC CVR CCB
RESIDENTIAL-COMMERCIAL DISTRICTS
RC-3 RC-4
REDEVELOPMENT AGENCY DISTRICTS
MB-RA HP-RA
DOWNTOWN RESIDENTIAL DISTRICTS
RH DTR TB DTR
MISSION BAY DISTRICTS
MB-OS MB-O
PUBLIC DISTRICT

PROJECT SITE



Discretionary Review Hearing Case Number 2010.0130D 2768 Green Street (Upper Unit)



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On October 16, 2009, the Applicant named below filed Building Permit Application No. 2009.10.16.9181S (Alteration) with the City and County of San Francisco.

PROJECT SITE INFORMATION CONTACT INFORMATION 2768 Green Street (Upper Unit) Project Address: Rolf Herken Applicant: c/o Mark Brand, Architect Baker and Broderick Streets Cross Streets: 425 Second Street, Suite 601 Address: Assessor's Block /Lot No.: 0950 / 061 San Francisco, CA 94107 City, State: Zoning Districts: RH-2 / 40-X (415) 543-7300 Telephone:

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

TOTAL ASSESSMENT OF THE PARTY AND	PROJECT SCOPE	
] DEMOLITION and/or	[] NEW CONSTRUCTION or	[X] ALTERATION
] VERTICAL EXTENSION	[] CHANGE # OF DWELLING UNIT	S [] FACADE ALTERATION(S)
1 HORIZ, EXTENSION (FRONT)	[X] HORIZ. EXTENSION (SIDE)	[X] HORIZ. EXTENSION (REAR
PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK	12.6 feet	No change
BUILDING DEPTH	67 feet	No change
REAR YARD	58 feet	No change
HEIGHT OF BUILDING (to top of stair p	enthouse) 43 feet	45 feet
NUMBER OF STORIES	3 over basement	No change
NUMBER OF DWELLING UNITS		No change
	SPACES 0	No change

PROJECT DESCRIPTION

The existing building varies in height from three stories at the front to four stories at the rear on a down-sloping lot. The proposal is to (1) add a roof deck to the rear of the existing building; (2) remove and re-construct the existing stair penthouse at the west property line; and (3) remove and re-construct the existing exterior four-story fire staircase at the east property line. Other minor interior and exterior improvements are also proposed.

If you have any questions about this permit application, please contact the Planner listed below.

PLANNER'S NAME:

Mary Woods

PHONE NUMBER:

(415) 558-6315

DATE OF THIS NOTICE:

EMAIL:

mary.woods@sfgov.org

EXPIRATION DATE:

1/26/10

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

	Sidney Unobskey	Telephone No: 931-1118	
CAL SA SA EN PROPERTIE	- C TOURS CONTROL CONTROL		
D.R. Applicant's Addre	ss 2770 Green Street	(A=1 #)	
	Number & Street	(Apt. #)	
	San Francisco	94123	
	City	Zip Code	
D.R. Applicant's telepho you are acting as the a and address of that pen	one number (for Planning Departmenagent for another person(s) in making son(s) (if applicable):	nt to contact): (415) 931–1118 g this request please indicate the nam	
lame_Brett Gladsto	one, Esq.	Telephone No: 434-9500	
Address 177 Deat C	west Denthouse		
Address 177 Post St	Number & Street	(Apt. #)	
	San Francisco	94108	
	City	Zip Code	
Name and phone number	er of the property owner who is doing	the project on which you are requestly	
Building Permit Applications. 2009.10.16.91	c/o Mark Brand (415) 543-7 tion Number of the project for which 81S	you are requesting	
Building Permit Application.R.: 2009.10.16.91	c/o Mark Brand (415) 543-7 tion Number of the project for which	you are requesting	
O.R.: Rolf Herken, Building Permit Applica O.R.: 2009.10.16.91 Where is your property next door A. ACTIONS PRIOR Citizens should m	c/o Mark Brand (415) 543-7 tion Number of the project for which 81S located in relation to the permit app	you are requesting licant's property? REQUEST	
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The procedure for the public hearing will be as follows:

- A brief description of the project issues and concerns by the Planning Department staff.
- 2. A presentation of the proposal by the D.R. requester not to exceed five (5) minutes. As stated above, all materials submitted by the applicant to the Department will be sent to the Commission for review one week prior to the scheduled hearing date. During the presentation, D.R. applicants should briefly describe their concerns about the proposed construction, how it affects their property or the neighborhood, and acceptable alternatives. Additional materials pertinent to the case may also be presented to the Commission at this time.
- 3. Presentation(s) supporting the D.R. request by other individuals or by a member of a neighborhood group or organization each speaker not to exceed three (3) minutes. Testimony should be kept brief and not duplicate the testimony or previous speakers. If possible, one person should be selected as the representative to make a presentation to the Commission. The Commission urges all parties supporting the D.R. request to limit the total length of their presentations to 15 minutes.
- Presentation by project sponsor (building permit applicant) not to exceed five (5)
 minutes. Project sponsor should address concerns of the D.R. requester and other
 individuals, including concerns articulated at the hearing, and demonstrate to the
 Commission why the project should be approved.
- Presentation by persons or organizations supporting the project sponsor not to exceed three (3) minutes. The Commission urges all parties supporting the D.R. request to limit the total length of their presentations to 15 minutes.
- The Commission may allow the D.R, requester a rebuttal not to exceed two minutes.
- The Commission may allow the project sponsor a rebuttal not to exceed two minutes.
- Public testimony is closed. The Commissioners may ask questions of various persons during their discussion and consideration of the project.
- Action by Commission on the matter before it. The Commission can vote either to approve the project, approve it subject to certain modifications, disapprove it, or continue the case to a future date.

The Planning Commission action can be appealed to the Board of Appeals within fifteen (15) days of the issuance or denial of the building permit application by the Central Permit Bureau.

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so far.	project with the applicant, planning staff or gone thorough mediation, ults, including any changes that were made to the proposed project
as a result, communi between consultants, have been in discuss the scope of work pr do not provide enoug (For example, there	on out of the country in an unreachable location and cations have been quite limited, and have occurred Mr. Unobskey's architect Gary Millar and the undersistions with Mark Brand, the project architect, concerning toposed, since some drawings sent with the 311 Notifical information for adjacent neighbors to understand, was no western elevation, among other things) At this was have been offered or accepted. That discussion will WREQUEST
standards of the Planning that justify Discretionary R	equesting Discretionary Review? The project meets the minimum Code. What are the exceptional and extraordinary circumstances eview of the project? How does the project conflict with the City's ing Code's Priority Policies?
SEE ATTACHED	
If you believe your propert affected, please state who	y, the property of others or the neighborhood would be adversely would be affected, and how:
If you believe your propert affected, please state who	would be affected, and how:
If you believe your propert affected, please state who SEE ATTACHED	y, the property of others or the neighborhood would be adversely would be affected, and how:
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SEE ATTACHED What alternatives or change would respond to the adverse effects noted above.	ges to the proposed project, beyond the changes (if any) already the exceptional and extraordinary circumstances and reduce the
SEE ATTACHED What alternatives or change would respond to the adverse effects noted above.	would be affected, and how: ges to the proposed project, beyond the changes (if any) already ne exceptional and extraordinary circumstances and reduce the ve (in question B1)?
SEE ATTACHED What alternatives or change would respond to the adverse effects noted above.	would be affected, and how: ges to the proposed project, beyond the changes (if any) already ne exceptional and extraordinary circumstances and reduce the ve (in question B1)?

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

CHECKLIST FOR APPLICANT:

Indicate which of the following are included with this Application:

REQUIRED:

- G Check made payable to Planning Department (see current fee schedule).
- G Address list for nearby property owners, in label format, plus photocopy of labels.
- G Letter of authorization for representative/agent of D.R. applicant (if applicable).
- G Photocopy of this completed application.

OPTIONAL:

- G Photographs that illustrate your concerns.
- G Covenants or Deed Restrictions.
- G Other Items (specify).

File this objection in person at the Planning Information Center. If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.

Classed

plicant UOBSKE

Date

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APPLICATION REQUESTING DISCRETIONARY REVIEW (ATTACHMENT)

D.R. Applicant: Sidney Unobskey

D.R. Applicant's Address: 2770 Green Street, SF 94123. Phone (415) 931-1118

Address of the property that we are requesting the Commission to consider under the Discretionary Review: 2768 Green Street (upper unit)

B. DISCRETIONARY REVIEW REQUEST

- 1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?
 - (1) It appears that there is more than 20' of elevation difference between the front and rear property lines. This fact would make the maximum allowable height for the building be 35', rather than the 40' indicated in the application. DR applicant requests that a property profile be submitted that illustrates the elevation difference between the front and rear property lines. Stair penthouses are limited by the Planning Code to no more than 10 feet above the height limit;
 - (2) The parapet walls may not be more than 4' above the height limit. If the height limit is indeed 35', then none of the parapet walls may be built at the height shown. Section 260 (b)(2)(A) limits the height of parapets to 4'. DR applicant questions the point from which that 4' is measured, whether from the height limit or above the level of the proposed deck. If it is 4' above the height limit, and the height limit is 35 feet, then no solid parapet may be built that is taller than about 24" above the surface of the proposed roof deck. This would mean that the deck could not extend over to a point closer than 5' from the property line because any deck closer than 5' to the property line requires a fire wall extending up a minimum of 30" above the deck surface. DR applicant also questions whether the 4' tall parapet that is proposed to run across the building would be a permitted structure. It could be an open railing, as open railings are permitted per Section 260(b)(2)(B).
 - (3) This project requires lateral elevation drawings to be shown to neighbors, as stated in the "Application Completeness Matrix and Control Sheet". That is because this project falls under the category of "Dormers, Penthouse, or Other Projections". Because DR Applicant has not received lateral drawings and west elevations for the project with enough time to review them, DR Applicant must

preserve his right to have a DR hearing while he and his consultants analyze these drawings only very recently received.

(4) The Building Department and Planning Department have in recent years tightened their restrictions on the amount of covering structure over a rooftop stairs. In the past, entire usable rooms have been created from what is supposed to be a small landing at the top of a stairs to the roof. According to the drawings DR Applicant has seen, a much larger structure is being created above the stairs to the roof than is necessary.

(5) DR Applicant reserves right to identify additional Planning Code and Residential Design Guidelines issues as plans are further explored

by consultants.

If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

DR applicant could be adversely affected in that the proposed roof deck may invade the privacy of DR applicant's home, and might cast additional shadows into certain rooms and into valuable usable open space in DR Applicant's rear yard. This potential is currently being further analyzed by DR Applicant and his consultant.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

DR Applicant is in the course of designing a code complying parapet and an alternative stair housing and roof deck that will meet project sponsor's goals of having a roof deck with access to it, but without the impact to the neighbor.

RESPONSE TO DISCRETIONARY REVIEW

Case No: 2010.0130D

Building Permit No.: 2009.10.16.9181S Address: 2768 Green Street (Upper Unit)

Project Sponsor's Name: Rolf Herken

Telephone No.: Architect Mark Brand (415) 543-7300

Given the concerns of the DR requester and other concerned parties, why
do you feel your proposed project should be approved? (If you are not
aware of the issues of concern to the DR requester, please meet the DR
requester in addition to reviewing the attached DR application.):

We have changed the design repeatedly in response to the DR requester's concerns. We have been in negotiations with the DR requester's representatives since the DR was filed on February 25, 2010. The DR requester (Sidney Unobskey) preferred not to speak with the project sponsor (Rolf Herken) or the architect (Mark Brand) directly. Please see the attached chronology. (See tab B) Every time we (Rolf Herken and Mark Brand) agreed to something, another condition was imposed. The final condition was that we agree to a huge proposed addition to the DR requester's property. When we initially agreed to support this addition, the DR requester submitted drawings he wanted us to sign off on which didn't reflect our understanding of the agreement. (See Tab M) When we asked for one small reasonable revision to this even larger than anticipated design (namely that the fourth floor deck be reduced slightly so that it could have an open railing rather than a solid firewall) the DR requesters' attorney responded that he was resigning from the case. Once the attorney resigned, we decided to move the project forward to the Planning Commission as quickly as possible, hoping the commission would approve our modified design without forcing us to approve of the DR requesters proposed addition as a condition.

The modified design has minimal impact on the DR requester in that the new firewall facing his property is only approximately 16-1/2 inches higher than the existing curb with an open railing 12 inches above the firewall. In addition, the fire wall is set in from the common property line 2-1/2 feet. The proposed roof deck is also located approximately 32 feet above the DR requester's rear yard deck.

What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filling your application with the City or after filling the application.

Initially we agreed to reduce the rooftop deck so that it was 5 feet away from the common property line with open railings instead of solid fire walls, thereby increasing the DR requester's privacy and eliminating any shadows which the firewall

might have cast on the property. Structurally this would be more difficult and costly since one of the main bearing points would be above the living room ceiling instead of over an existing exterior wall. We also agreed to modify the stair penthouse such that it slopes down toward the DR requester's property, thereby reducing any shadow it might cast on the DR requester's deck. We could not modify the actual footprint or layout of the stair because we were constrained by the location of the existing stair and had worked out an interpretation of the exiting requirements for the deck in a meeting and subsequent submittals, phone calls and emails with Tod Stephenson of the San Francisco Fire Department. We also agreed not to box in with wood siding the existing metal chimneys as requested by the DR requester.

Our final design has reduced the overall height of the project by 2'-2-1/4" instead of increasing the distance of the deck from the common property line, and we have also reduced the height of the firewall from 48 inches to 30 inches with an open railing on top of it so (as noted above) the firewall will only be 16-1/2 inches higher than the existing curb. This has been done by reducing the height of the existing roof and compressing the overall thickness of the ceiling, roof and deck to 18 inches. Pending the outcome of the DR hearing we have not done all of the engineering and waterproofing detailing necessary to make this happen, but our engineer has been consulted and determined that he can make this work. Additionally, Rolf Herken has agreed to lower the ceiling in his unit if necessary to make it work. These concessions will increase the construction cost considerably.

We have also changed the path of the second means of egress across the roof so that it is as far from the east side of the property as possible while still meeting the required separation of the two means of egress required by code. This was done in response to a request we received from Jim Babcock, the neighbor on the east side of the property.

If you are not willing to change the proposed project or pursue other
alternatives, please state why you feel that your project would not have any
adverse effect on the surrounding properties. Please explain your needs
for space or other personal requirements that prevent you from making the
changes requested by the DR requester.

We are willing to change the proposed project as described above. It appears that the only reason the DR is moving ahead is because the DR requester wants us to sign off on a much larger project he is considering.

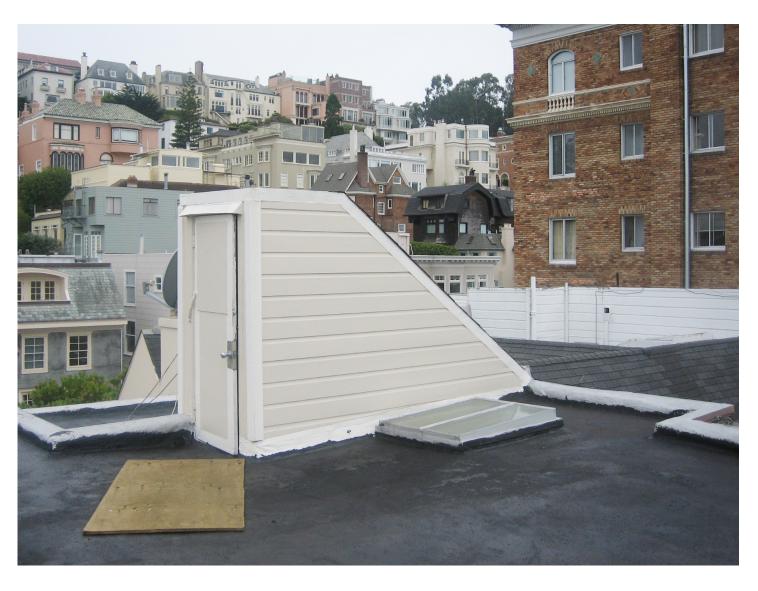
If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

 Please supply the following information about the proposed project and the existing improvements on the property.

Number of	Existing	Proposed
Dwelling units (only one kitchen per unit- additional kitchens count as additional units)	3	3
Occupied Stories (all levels with habitable rooms)	3	3
Basement levels (may include garage or windowless storage rooms)	1	1
Parking spaces (Off-Street)	0	0
Bedrooms (Rolf's Unit only)	2	2
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas	1440	1468
Height	35'-03/4"	35'-0"
Building Depth	67'-3"	67'-3"
Most recent rent received (If any)	NA	NA
Projected rents after completion of project	NA	NA
Current value of property	\$1.8M	NA
Projected value (sale price) after completion of project (if known) – sale not planned	NA	\$2.1M

Tattest that the above information is true to the best of my knowledge.

| T-12-[0] | MARK BRAND |
| Signature | Date | Name (please print)



EXISTING STAIR PENTHOUSE OF 2768 GREEN STREET



FRONT OF 2768 GREEN STREET



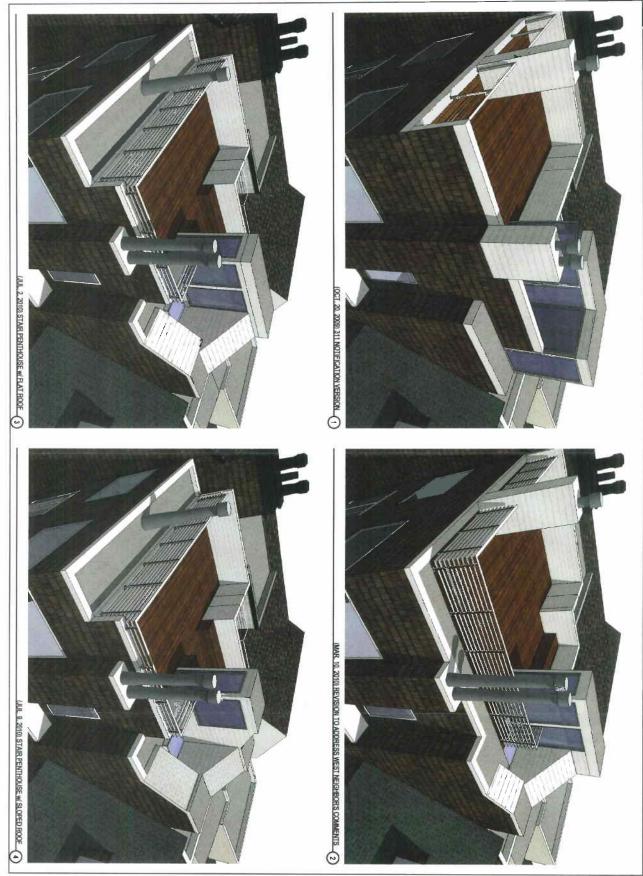
VIEWS NORTH FROM ROOF OF 2768 GREEN STREET







VIEW SOUTH FROM ROOF OF 2768 GREEN STREET





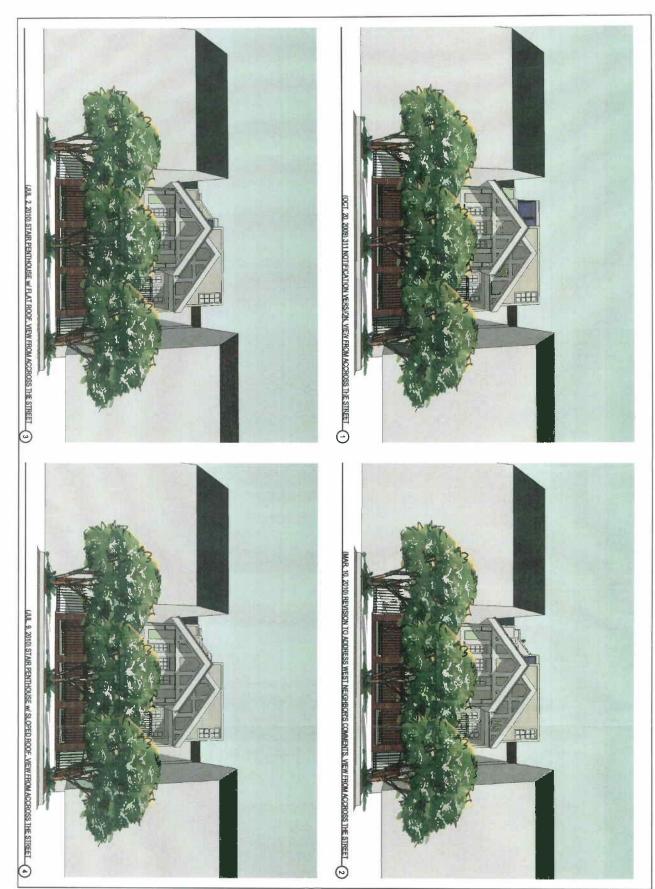




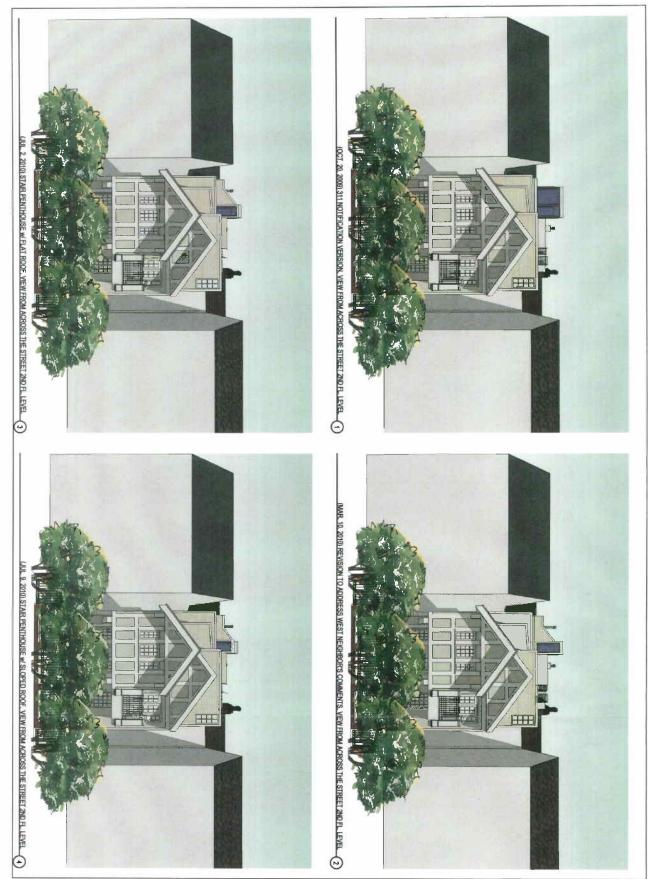




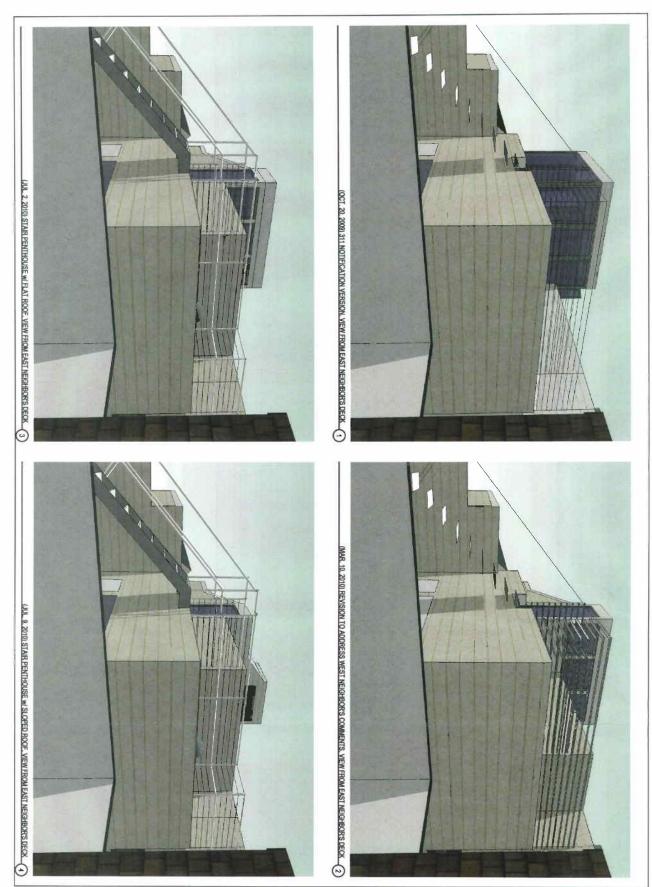




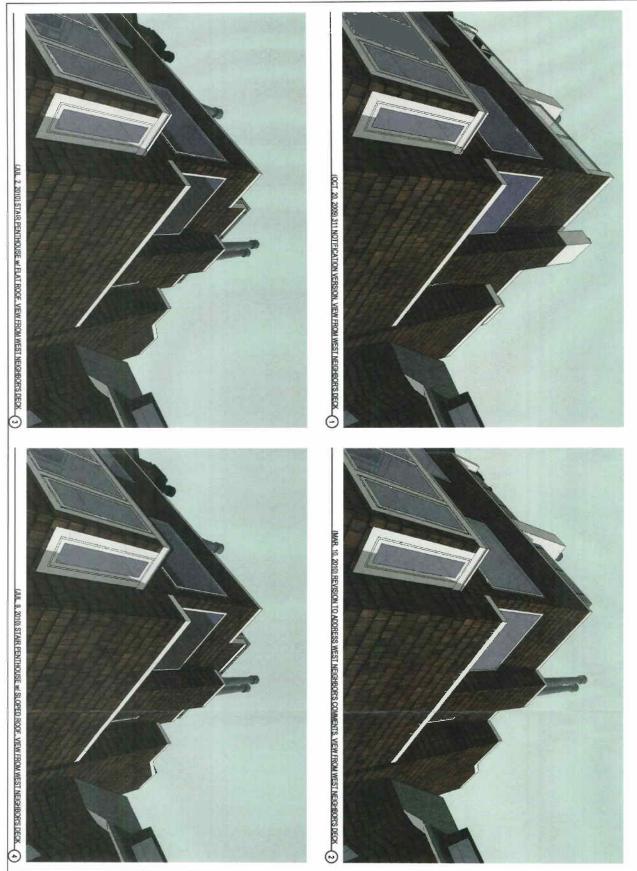




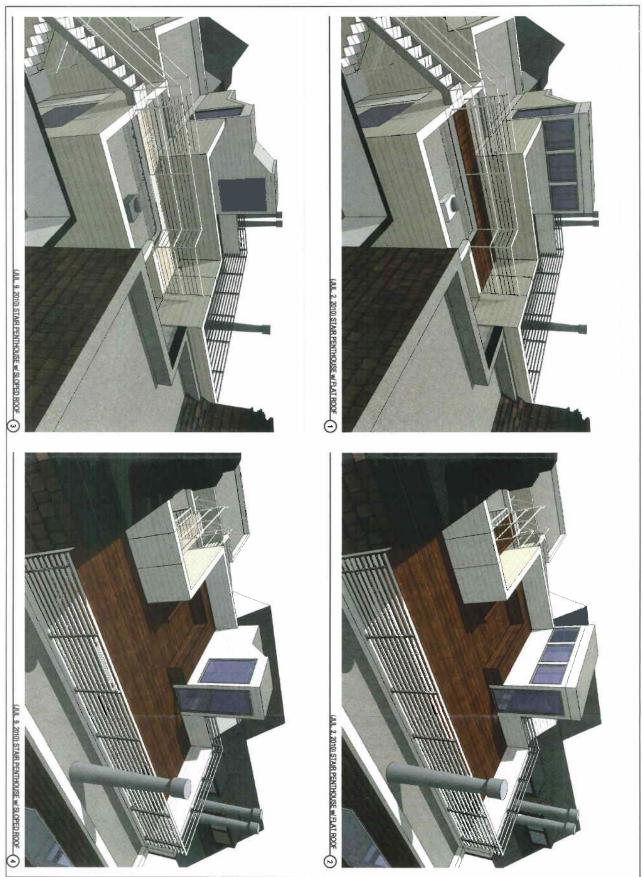














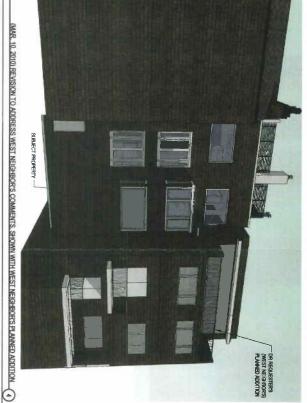




PROPERTY

DR REQUESTER'S (WEST NEIGHBOR'S) (E)
PROPERTY







GENERAL NOTES

1. <u>DMEHSIONS ON DRAWNOSS.</u> DO NOT SOAIE THE DRAWNOSS. USE WRITTEN COMENSIONS. IF COMENCIAL SOAIT NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK, DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

COSDIMATION OF WARE. THE COMPRIANCE IS REPORTING FOR THE COMPRIANCE IS NEW AND THAT OF ALL SIRECUMPROCITIES. WHEN A THE PARK AND THE ALL SIRECUMPROCITIES. WOULD AND THE ALL SOURCE AND

CONFLICTS IN DOCUMENTS. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCONERED.

4. QUITING AND PATCHING, WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF DISRITING CONSTRUCTION, THE CONTRUCTION BE RESOURCED FOR ANYCHANG AND RESPONDED FOR ANYCHANG AND RESPONDED TO SUFFICIAL OWNERS AND THE ADMICTING TREPRICES UNITED ANY OWNERS AND THE ADMICTING OF APEX DISRUPTIED.

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PACIFICITIN OF PROPERTY, PROTECT THE AUXILIAT PROPERTIES AND INPRODUCEINS VAIL MUST INVESTED AND AUXILIARY CONTRACTOR OF THE PROPERTY OF THE

<u>OWNER'S PROPERTY:</u> IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PERTY ARE IN THE WAY OF THE NEW WORK, COOPENINTE WITH THE OWNER FOR THEIR TE PROTECTION, RELOCATION, OR RELACAL, FROM THE JUBBITE PRIOR TO THE START OF THE

Trivel elistages.

11. TEMPONNET BARBERS, PROVIDE TEMPONNEY BANNERS TO PROTECT BOTH EXISTING ARERA NO INCH WORK COMPLETED FROM DISTURBANCE, DUST, DETT, CERSIS OR OTHER DAMAGE. FAVY DISTURBANCE OR DAMAGE DOCARS, RESTORE TO PRÉVIOUS CONTIONATION COST TO THE DYMINER.

<u>DEBRIS REMOVAL, MAINTAN PAEMBES AND PUBLIC PROPERTIES FREE FROM</u> ZUMALATION OF WASTE, DEBRIS AND RUEBISH CAUSED BY OPERATIONIS. LEAVE THE JOBSTE SAN AND SECURE AT THE END OF EACH WORKING DAY.

EIMA, CLEANING: THE WORK INCLIDES FIAU, CLEANING AT THE SITE INCLIDING THE LIMING WITEROR, ECTEROR AND SITE. WITERORM AND DUST JAL, BURFACES, VACUUM OR LUMING WATERORS, WORLD AND CLUS HA CASS, FRANCE MAY AND ALL PART SICTIS ON EPPOSED PRACES AND REMOVE ALL DESRIS AND TRANSH.

ABBREVIATIONS

MARRANTES ALL WARK PERCOALES IS TO BE GLARANTED AS MAST DETECTS IN
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PLETAR AND ENCERT PRESENTANCES PERCOON AND GROUP AN PERCOON ENAFACTIONES OF
MARKES, MASTEL SONS TRAILTON FOOLINGHISTS, BEN'IL MERMANEL ALL PROJUCT
MARKES, MASTEL MANDEL AND OTHER PERSIMENT MATERIALS AND TROUBE THAILTON HE
NA FRANCE CONTRILLING OF WORK.

ANCHAR BOLT
APEA DRAIN
ADACET
ADACE FINISH GRADE
ALUMINUM
BOTTOM OF BEAM
BOCKING
CABINET

EXTENOR
FORCED AIR UNIT
FOUNDATION
FLOOR DRAIN
FINISH FLOOR

COUNT COSTING TO BE REMO

HERO COLOR FROM STANDERS OF THE FOREST OF TH

GALVANZED GENERAL CONTRACTOR GLASS

PLYWOOD PRESSURE TREATED RISER(S)

NEW 1-HOUR FIRE RATED WALL

FLOOR
FACE OF FINISH
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FINE PLACE
FINISH

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GLUE; AM BEAM
GAUE; AM BEAM
GRADE
GALVAMIZED BHEET METAL
GYPSLM BOMPD
HOSE BIB
HEADER
HEADER
HEADER
HEADER
HEATER

HERKEN RESIDENCE ROOFTOP DECK

SITE PERMIT APPLICATION SAN FRANCISCO, CA 94123 **2768 GREEN ST.**

OCT 13 2000 1:24Ph - BHI PLENS RPPROVAL

Werk on this project indexion the constitution of a 500 SQ. It, death on the tool, and the modification to the pathway access to the root. Our original quasilons will be shown below in not, with your amounts in black

Page to our discussion of my specific quantitions, you retrified that the building is consistend to be as every building, who has great level consistency in built-a accordation. This level on an excepting our a consistency to be the accordation to be part of tops, and you have segmented about a building of the consistency in the set o

The same is the could also allowed active produces and. The same is for instance of the produces are to the country of the cou thig states to the root and the state perthodrate by left as its, with fixed sensions (Y = Y, Y = X = Y) and state width (X = X = X = Y) and up to elementarity (CBC 1998). Bee existing X^* floor max. path of travel is sesomed to be at 80 degree ongies to make up displand hydgorial pigeocoes along the stockheads and recor with quaewinas mod

to such pare providessi. The sever position of the existing bisinity state? Or confinition to its material confinements requiredly while, riches acting, need to not be the confinement and state of the confinement of the co

C. 1904.0. The deat shall be installed over a class 8 fre-resistive roof nby. It will be constructed of the returbant treated word with sales table all amount. Class the deck he within 8-0 of the property less as shown

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Mark Brand Mark Brand Aurolaecure 425 Become Struet, Bulte 601 Ban Franchico, CA SH 107 Violae (416) 643-7300 x 103 box (416) 643-7300 x 103 60 55/0. Sper 2000

DRAWING LEGEND

ON CENTER
OWNER FURNISHED
CONTRACTOR INSTALLED
OPENING
PLUS OR MINUS
PLUSTER THRESHOLD
TEMPERED
TO FO CREAS
TOP OF RUE
TO SOLD OF SOLD O RAIN WATER LEADER WALTYPE (SE) ELEVATION DATUM 😛 ELEVATION/SECTION EXISTING WALL TO REMAIN FINISH TYPE NEW NON-RATED WALL WALL LEGEND INTERIOR ELEVATION 11 11 11 11 11 **(3)**



PROJECT DATA

PROJECT NAME: 2788 GREEN STREET

architecture

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PROJECT NATIFIESS
ZES GEEN STREET, TOP FLOOR
SAN FRANCISCO, CA 94/32
BLOCK # 0693
LOT# 108
ZOMING RH-2
CONISTRUCTION CLASSIFICATION VS

2007 CALIFORNIA BUILDING CODE (WI SAN FRANCISCO AMERICHENTS)
2007 CALIFORNIA FLAUSING CODE (WI SAN FRANCISCO AMERICHENTS)
2007 CALIFORNIA FLAUSING CODE (WI SAN FRANCISCO AMERICHENTS)
2007 CALIFORNIA FLECTRICAL CODE (WI SAN FRANCISCO AMERICHENTS) GOVERNING CODES: ALL WORK BHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:

AREA CALCULATIONS (NET FLOOR SPACE NOT INCLUDING EXTERIOR WALLS)

PROPOSED 3RD FLOOR: ROOF (OCCUPIALBLE SPACE): SED FLOOR: ROOF (OCCUPIABLE SPACE): 1145,60 S.F. 0 S.F.

PROJECT DIRECTORY

OWNER ROLF HERKEN 2768 GREEN STREET SAN FRANCISCO, CA 94123 STRUCTURAL ENGINEER
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Rooftop Deck Residence Herken

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DRAWING INDEX

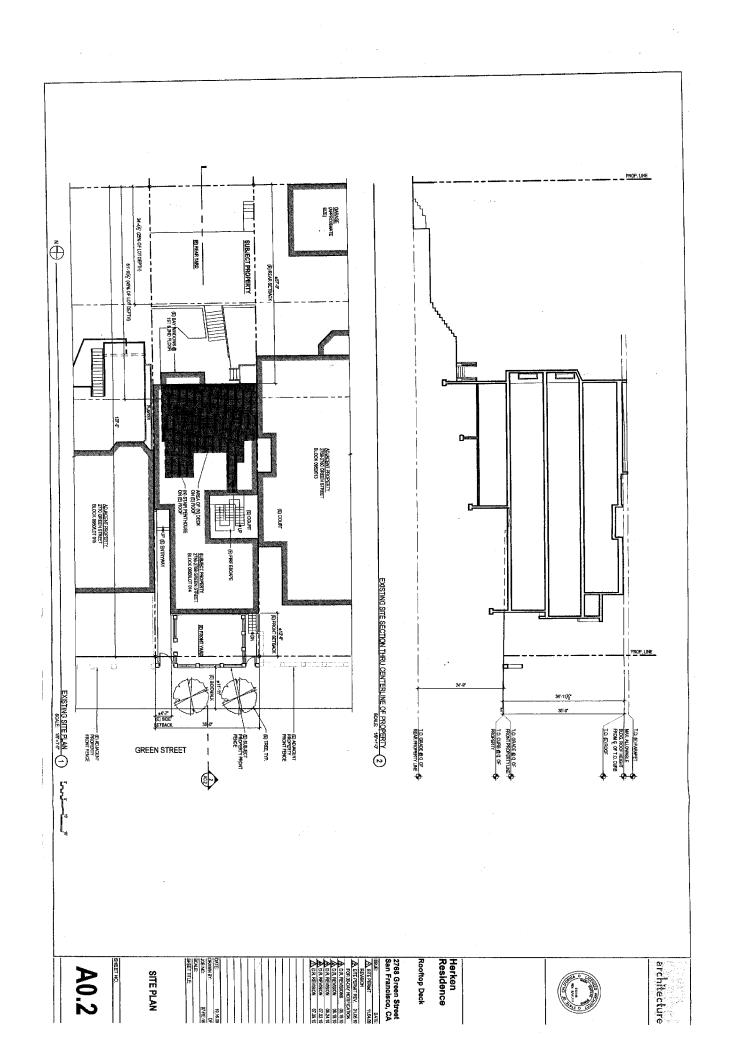
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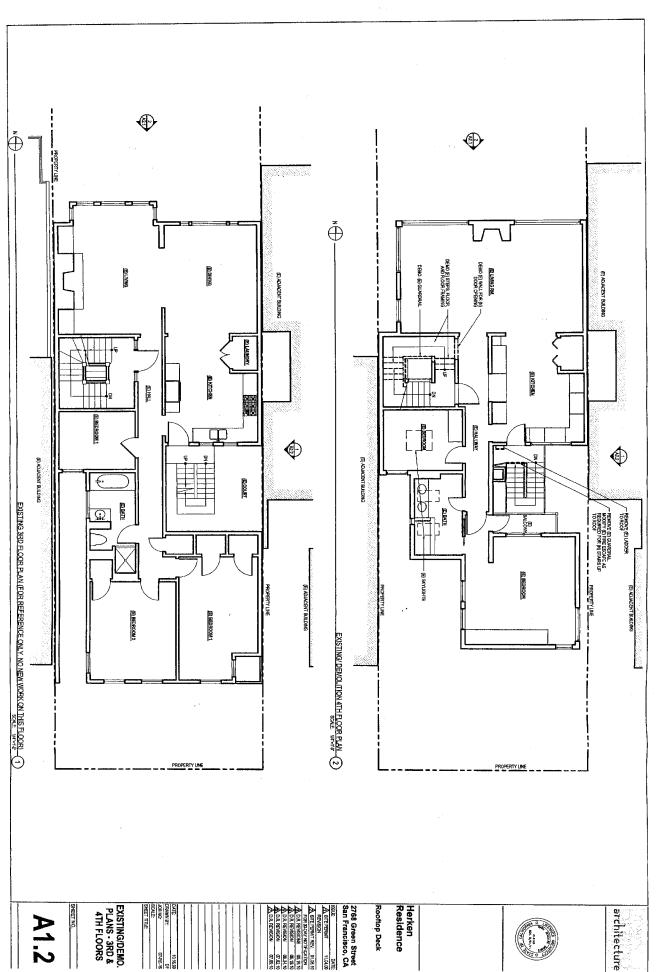
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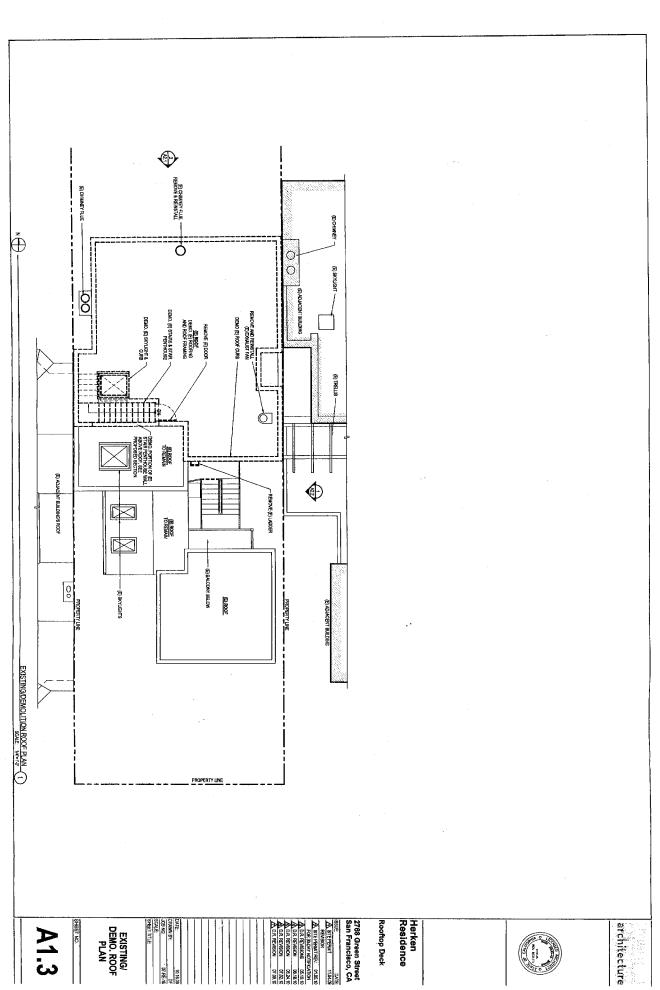
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PROJECT INFORMATION & GENERAL NOTES

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