



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use

HEARING DATE: SEPTEMBER 30, 2010

*Date:* September 22, 2010  
*Case No.:* **2010.0223C**  
*Project Address:* **444 Presidio Avenue**  
*Zoning:* NC-2 (Small-Scale Neighborhood Commercial) District  
40-X Height and Bulk District  
*Block/Lot:* 1734/001  
*Project Sponsors:* Sam Judd (agent)  
Modus Consulting  
833 Market Street, Suite 805  
San Francisco, CA 94103  
Clear Wireless, LLC (applicant)  
182 Second Street, #210  
San Francisco, CA 94105  
*Staff Contact:* Sharon M. Young – (415) 558-6346  
[sharon.m.young@sfgov.org](mailto:sharon.m.young@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The proposal is to install a wireless transmission facility as part of Clearwire's wireless telecommunications network consisting of three panel antennas, one GPS antenna, and associated equipment on the rooftop penthouse of an existing four-story hotel building (dba Laurel Inn) located within an NC-2 (Small-Scale Neighborhood Commercial) District and 40-X Height and Bulk District. Pursuant to the City and County of San Francisco's Wireless Telecommunications Services (WTS) Facilities Siting Guidelines, the proposal is a Preferred Location Preference 2 (Preferred Location – Co-Location Site) as it is a site on which a legal wireless telecommunications facility (three panel antennas installed by Sprint) is currently located.

Each panel antenna is approximately 42 inches high, 6.8 inches wide and 2.7 inches in depth. Two of the antennas would be installed within new cylindrical enclosures above the roof and one would be installed on the east side of the penthouse. The antennas will be painted and textured to match the existing building. The antennas will be mounted at a height of approximately 48 feet above ground level. A new DD R7-54DXCW equipment cabinet with dimensions of 4 feet 6 inches high, 2 feet one inch wide, and 2 feet one inch deep, will be located on the rooftop. A new GPS antenna will be located on a new pipemount.

### SITE DESCRIPTION AND PRESENT USE

The subject property at 444 Presidio Avenue is located on the northeast corner of Presidio Avenue and California Street, Assessor's Block 1022, Lot 026. The property is within an NC-2 (Small-Scale

Neighborhood Commercial) District and a 40-X Height and Bulk District. The subject lot is approximately 11,724 square-feet (132.59 feet wide by 88.42 feet) in size and is occupied by a four-story hotel building (dba Laurel Inn) built in 1962. The building is not listed in the Planning Department's 1976 Architectural Survey or the National or California Registers as having architectural significance. There is an existing legal wireless telecommunications facility (consisting of three panel antennas installed by Sprint) located on the rooftop, approved under Case No. 2003.1258C in 2004.

### **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The Project Site is located on the boundary of within the Pacific Heights and Presidio Heights Neighborhood. The subject block and opposite blocks consists of a mix of residential and commercial buildings ranging from one-to-four stories in height. The Jewish Community Center and the University of San Francisco (Laurel Heights campus) are located on the opposite block. On Sacramento Street and Lyon Street located north and east of the project site are primarily occupied by residential and commercial buildings within the Sacramento Street Neighborhood Commercial District and an RH-2 (Residential, House, Two-Family) Zoning District.

### **ENVIRONMENTAL REVIEW**

The San Francisco Planning Department determined the application to be categorically exempt from the environmental review process (CEQA) pursuant to exemption Class 1, 3, and 11 of Title 14 of the California Administrative Code.

### **HEARING NOTIFICATION**

<b>TYPE</b>	<b>REQUIRED PERIOD</b>	<b>REQUIRED NOTICE DATE</b>	<b>ACTUAL NOTICE DATE</b>	<b>ACTUAL PERIOD</b>
Classified News Ad	20 days	September 10, 2010	September 10, 2010	20 days
Posted Notice	20 days	September 10, 2010	September 10, 2010	20 days
Mailed Notice	20 days	September 10, 2010	September 10, 2010	20 days

### **PUBLIC COMMENT**

- As of September 22, 2010, the Planning Department has not received any letters or phone calls in opposition to the project.

### **ISSUES AND OTHER CONSIDERATIONS**

- The Project will provide wireless coverage to an area that previously received either no or poor coverage.

### **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant the Conditional Use authorization pursuant to Planning Code Sections 711.83 and 303 to allow the installation of wireless facilities.

**BASIS FOR RECOMMENDATION**

The Department believes this project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The project complies with the applicable requirements of the Planning Code.
- The project is consistent with the objectives and policies of the General Plan.
- The Project is consistent with the 1996 WTS Facilities Siting Guidelines, Planning Commission Resolution No. 14182.
- The project site is a Location Preference 2, a preferred location, according to the Wireless Telecommunications Services (WTS) Siting Guidelines.

<b>RECOMMENDATION:</b> <b>Approval with Conditions</b>
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**Attachments:**

- Block Book Map
- Sanborn Map
- Aerial Photographs
- EMF Report
- DPH Review
- Draft Motion
- Coverage Maps
- Reduced Plans

Attachment Checklist

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project Sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Proposed Project</u>                             |
| <input checked="" type="checkbox"/> Zoning District Map | <input checked="" type="checkbox"/> Check for legibility      |
| <input checked="" type="checkbox"/> Height & Bulk Map   |   |
| <input checked="" type="checkbox"/> Parcel Map          |   |
| <input checked="" type="checkbox"/> Sanborn Map         |   |
| <input checked="" type="checkbox"/> Aerial Photo        |   |
| <input checked="" type="checkbox"/> Context Photos      |   |
| <input checked="" type="checkbox"/> Site Photos         |   |

SMY

Exhibits above marked with an "X" are included in this packet

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Planner's Initials

SMY: C:\444 Presidio Avenue - summary-smy.doc



# SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Inclusionary Housing (Sec. 315)
- Jobs Housing Linkage Program (Sec. 313)
- Downtown Park Fee (Sec. 139)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 314)
- Other

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## Planning Commission Motion No.

HEARING DATE: SEPTEMBER 30, 2010

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 711.83 AND 303 TO ALLOW THE INSTALLATION OF A WIRELESS TELECOMMUNICATIONS FACILITY CONSISTING OF THREE PANEL ANTENNAS, ONE GPS ANTENNA, AND ASSOCIATED EQUIPMENT ON THE ROOFTOP AND PENTHOUSE OF AN EXISTING FOUR-STORY HOTEL BUILDING (DBA LAUREL INN) AS PART OF CLEARWIRE'S WIRELESS TELECOMMUNICATIONS NETWORK WITHIN AN NC-2 (SMALL-SCALE NEIGHBORHOOD COMMERCIAL) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

### PREAMBLE

On March 30, 2010, Sam Judd, acting agent on behalf of Clearwire (hereinafter "Project Sponsors") made an application for Conditional Use authorization on the property at **444 Presidio Avenue, Lot 026 in Assessor's Block 1022** (hereinafter "Property"), to install a wireless transmission facility consisting of three panel antennas, one GPS antenna, and associated equipment on the rooftop penthouse of an existing four-story hotel building (dba Laurel Inn), as part of Clearwire's wireless telecommunications network in general conformity with plans dated March 24, 2010 and labeled "Exhibit B" (hereinafter "Project") within an NC-2 (Small-Scale Neighborhood Commercial) District and a 40-X Height and Bulk District.

The San Francisco Planning Department (hereinafter "Department") determined the application to be categorically exempt from the environmental review process (CEQA) pursuant to exemption Class 1, 3, and 11 of Title 14 of the California Administrative Code.

On September 30, 2010, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2010.0223C.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use in Application No. 2010.0223C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The subject property at 444 Presidio Avenue is located on the northeast corner of Presidio Avenue and California Street, Assessor's Block 1022, Lot 026. The property is within an NC-2 (Small-Scale Neighborhood Commercial) District and a 40-X Height and Bulk District. The subject lot is approximately 11,724 square-feet (132.59 feet wide by 88.42 feet) in size and is occupied by a four-story hotel building (dba Laurel Inn) built in 1962. The building is not listed in the Planning Department's 1976 Architectural Survey or the National or California Registers as having architectural significance. There is an existing legal wireless telecommunications facility (consisting of three panel antennas installed by Sprint) located on the rooftop, approved under Case No. 2003.1258C in 2004.
3. **Surrounding Properties and Neighborhood.** The Project Site is located on the boundary of within the Pacific Heights and Presidio Heights Neighborhood. The subject block and opposite blocks consists of a mix of residential and commercial buildings ranging from one-to-four stories in height. The Jewish Community Center and the University of San Francisco (Laurel Heights campus) are located on the opposite block. On Sacramento Street and Lyon Street located north and east of the project site are primarily occupied by residential and commercial buildings within the Sacramento Street Neighborhood Commercial District and an RH-2 (Residential, House, Two-Family) Zoning District.

4. **Project Description.** The proposal is to install a wireless transmission facility consisting of three panel antennas, one GPS antenna, and associated equipment on the rooftop and penthouse of an existing four-story hotel building (dba Laurel Inn) as part of Clearwire's wireless telecommunications network.

Each panel antenna is approximately 42 inches high, 6.8 inches wide and 2.7 inches in depth. Two of the antennas would be installed within new cylindrical enclosures above the roof and one would be installed on the east side of the penthouse. The antennas will be painted and textured to match the existing building. The antennas will be mounted at a height of approximately 48 feet above ground level. A new DD R7-54DXCW equipment cabinet with dimensions of 4 feet 6 inches high, 2 feet one inch wide, and 2 feet one inch deep, will be located on the rooftop. A new GPS antenna will be located on a new pipemount.

5. **Past History and Actions.** The Planning Commission held a duly advertised public hearing on August 15, 1996 to consider adoption of guidelines for the siting of WTS facilities in the City which would include standard conditions of approval for wireless communications facilities which are regulated by the FCC and required to meet the health and safety standards.

The Planning Commission, by Resolution No. 14182, adopted the proposed WTS Facilities Siting Guidelines on August 15, 1996. The sample conditions of approval presented in the Guidelines form the basis for the development of conditions of approval for this Application and Motion.

On September 30, 2010, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use pursuant to Planning Code Sections 711.83 and 303 to allow the installation of a wireless telecommunications facility consisting of three panel antennas, one GPS antenna, and associated equipment on the rooftop and penthouse of an existing four-story hotel building (dba Laurel Inn) as part of Clearwire's wireless telecommunications network.

6. **Location Preference.** The WTS Facilities Siting Guidelines identify different types of buildings for the siting of wireless telecommunications facilities, with Location Preference 1 being the most desirable location and Location Preference 7 being the least desirable location. Under the Guidelines, the Project is a Location Preference Number 2, as it is a preferred location since it is a site on which a legal wireless telecommunications facility (three panel antennas installed by Sprint) is currently located.
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network will transmit calls by radio waves operating in the 2496 - 2690 Megahertz (MHZ) bands which are regulated by the Federal Communications Commission (FCC) and which must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions:** The project sponsor retained Hammett & Edison, Inc., a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the

proposed facility. The Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the Guidelines.

9. **Department of Public Health Review and Approval.** The existing RF levels at ground level for the existing three (3) panel antennas installed by Sprint Nextel were less than 1% of the public exposure limit. Clearwire is proposing to install three panel antennas on the roof. The antennas would be mounted at effective height of approximately 48.5 feet above the ground. The existing Sprint antennas are mounted in similar locations. The estimated ambient RF from the proposed transmitters at ground level is calculated to be 0.0032 mW/square centimeter which is 0.32% of the FCC public exposure limit. The ambient RF levels for the proposed site are estimated to remain below 1% of the public limit. The three dimensional perimeter of RF levels equal to the public exposure limit is expected to extend 9 feet and is not expected to be exceeded at any publicly accessible areas. Warning signs must be posted in front of the antennas in English, Spanish, and Chinese. Workers should not have access within 2 feet of the front of the antennas while they are in operation.
10. **Maintenance Schedule.** Maintenance visits would occur once each month, conducted by Clearwire maintenance employees, generally of two workers. Additional visits may sometimes be necessary if a service-affecting situation should occur, such as loss of power for more than four hours or unexpected Clearwire system shut down.
11. **Community Outreach.** A Community Outreach Meeting was conducted for the proposed project. The meeting was held at 7:00 P.M on Wednesday, June 30, 2010, at the Jewish Community Center located at 3200 California Street, San Francisco, CA 94110. One neighbor attended the meeting.
12. **Five-year plan:** Clearwire submitted its latest five-year plan, as required, in September 2010.
13. **Public Comment.** As of September 22, 2010, the Planning Department has not received any letters or phone calls in opposition to the project.
14. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the amendments to Planning Code in the following manner:
  - A. **Use.** Per Planning Code Sections 711.83 and 303, conditional use authorization is required by the Planning Commission for all public uses such as wireless transmission facilities, subject to the 1996 Wireless Telecommunications Services (WTS) Facilities Siting Guidelines and the 2002 supplement to those guidelines.
  - B. **Height and Bulk.** In the 40-X Height and Bulk District, the Planning Code restricts new building heights up to 40 feet and certain exemptions to structures such as penthouses and mechanical appurtenances that may extend above that height limit by ten feet.

*The existing building is approximately 46.5 feet in height (to the top of the existing parapet) and is a noncomplying structure, in that it exceeds the current height limit. The existing penthouse structure is ±55 feet in height in height above grade. The proposed installation and existing rooftop elements would be within 20 percent of the horizontal area limit for permitted obstructions.*

15. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed project is generally desirable and compatible with the surrounding neighborhood because the project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding mixed residential and commercial nature of the vicinity. The antennas and related support and protection features are located, designed, and treated architecturally to minimize their visibility from public places, to avoid intrusion into public vistas, avoid disruption of the architectural design integrity of the building and insure harmony with neighborhood character. The proposed project will also provide necessary facilities for emergency transmission and improved communication for the neighborhood, community and the region.*

B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

i Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed project must comply with all applicable Federal and State regulations to safeguard health and safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.*

*An evaluation of potential health effects from RF radiation, conducted by the Department of Public Health, has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards. The Department has received information that the proposed wireless system must be operated so as not to interfere with radio or television reception in order to comply with the provisions of its license under the FCC.*

*The Department is developing a database of all such wireless communications facilities operating or proposed for operation in the City and County of San Francisco. All applicants are now required to submit information on the location and nature of all existing and approved wireless*

*transmission facilities operated by the Project Sponsor. The goal of this effort is to foster public information as to the location of these facilities.*

*The project sponsor has indicated that Clearwire's coverage with a new site in this geographic area in the Inner Richmond District to the surrounding commercial, business and residential neighborhoods. The proposed new facility will improve Clearwire's coverage to "good" and "fair" according to their existing and proposed coverage maps in the area generally bounded by Bromley Place to the north, Commonwealth Avenue to the west, Gough Street to the east, and Hickory Street to the south.*

- ii The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*No increase in traffic volume is anticipated with the facilities operating unmanned, with a single maintenance crew visiting the site once a month or on an as-needed basis.*

- iii The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*While some noise and dust may result from the installation of the antennas and equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.*

- iv Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The installation of antennas on the rooftop and penthouse will not affect the existing landscaping, open spaces, parking and loading areas, service areas or signs.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The proposed project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- 16. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan

## **COMMERCE AND INDUSTRY ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 1:**

**MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.**

**Policy 1:**

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

**Policy 2:**

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

*The project would enhance the total city living and working environment by providing communication services for residents and workers within the City. Additionally, the project would comply with Federal, State and Local performance standards.*

**OBJECTIVE 2:**

**MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.**

**Policy 1:**

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

**Policy 3:**

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

*The site is an integral part of a new wireless communications network that will enhance the City's diverse economic base.*

**OBJECTIVE 4:**

**IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.**

**Policy 1:**

Maintain and enhance a favorable business climate in the City.

**Policy 2:**

Promote and attract those economic activities with potential benefit to the City.

*The project would benefit the City by enhancing the business climate through improved communication services for residents and workers.*

**COMMUNITY SAFETY ELEMENT**

**Objectives and Policies**

**OBJECTIVE 3:**

ENSURE THE PROTECTION OF LIFE AND PROPERTY FROM THE EFFECTS OF FIRE OR NATURAL DISASTER THROUGH ADEQUATE EMERGENCY OPERATIONS PREPARATION.

**Policy 1:**

Maintain a local agency for the provision of emergency services to meet the needs of San Francisco.

**Policy 2:**

Develop and maintain viable, up-to-date in-house emergency operations plans, with necessary equipment, for operational capability of all emergency service agencies and departments.

**Policy 3:**

Maintain and expand agreements for emergency assistance from other jurisdictions to ensure adequate aid in time of need.

**Policy 4:**

Establish and maintain an adequate Emergency Operations Center.

**Policy 5:**

Maintain and expand the city's fire prevention and fire-fighting capability.

**Policy 6:**

Establish a system of emergency access routes for both emergency operations and evacuation.

*The project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.*

17. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*No neighborhood-serving retail use would be displaced and the wireless communications network will enhance personal communication services.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*No residential uses would be displaced or altered in any way by the granting of this conditional use authorization.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The proposed project would have no adverse impact on housing in the vicinity.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*Due to the nature of the project and minimal maintenance or repair, municipal transit service would not be impeded and neighborhood parking would not be overburdened.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The proposed project would cause no displacement of industrial and service sector activity.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.*

- G. That landmarks and historic buildings be preserved.

*No landmarks or historic buildings would be affected by the project.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The proposed project will have no adverse impact on parks or open space, or their access to sunlight or vistas.*

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
19. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2010.0223C** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 30, 2010.

Linda Avery  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

## Exhibit A

# Conditions of Approval

1. Pursuant to Planning Code Sections 711.83 and 303, this Conditional use approval is to install a wireless telecommunications facility consisting of three panel antennas, one GPS antenna, and related equipment on the rooftop and penthouse of an existing four-story hotel building (dba Laurel Inn) at 444 Presidio Avenue as part of Clearwire's wireless telecommunications network within an NC-2 (Small-Scale Neighborhood Commercial) District and a 40-X Height and Bulk District, in general conformity with Plans on file with the Department dated March 24, 2010 in the docket for Case No. 2010.0223C (labeled EXHIBIT B), reviewed and approved by the Commission on September 30, 2010.

### Design

2. Plan Drawings. Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall describe:
  - a. Structure and Siting. Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
  - b. For the Project Site, regardless of the ownership of the existing facilities: Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
  - c. Emissions. Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

### Performance

3. Project Implementation Report. The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:
  - a. Identify the three-dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;

- b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.
  - c. The Project Implementation Report shall compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non-holiday week day with the subject equipment measured while operating at maximum power.
  - d. Testing, Monitoring, and Preparation. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
    - i. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 3 and 12.
    - ii. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.
4. Notification prior to Project Implementation Report. The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antennae at the time of testing for the Project Implementation Report.
- a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna, of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.
  - b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.
5. Community Liaison. Within 10 days of the effective date of this authorization, the Project Sponsor shall appoint a community liaison officer to resolve issues of concern to neighbors and residents relating to the construction and operation of the facilities. Upon appointment, the Project Sponsor shall report in writing the name, address and telephone number of this officer to the Zoning Administrator. The Community Liaison Officer shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

6. Installation. Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.
7. Screening.
  - a. To the extent necessary to ensure compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:
    - i. Modify the placement of the facilities;
    - ii. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
    - iii. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2-1982, to notify persons that the facility could cause exposure to RF emissions; or
    - iv. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
  - b. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
    - i. Antennas and back-up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual impacts;
    - ii. Rooftop installations shall be setback such that back-up facilities are not viewed from the street;
    - iii. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
    - iv. Although co-location of various companies' facilities may be desirable, a maximum number of antennas and back-up facilities on the Project Site shall be established, on a case-by-case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.
8. Out of Service. The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service for a continuous period of six months or otherwise abandoned.
9. Periodic Safety Monitoring. The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.
10. Emissions Conditions. It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.

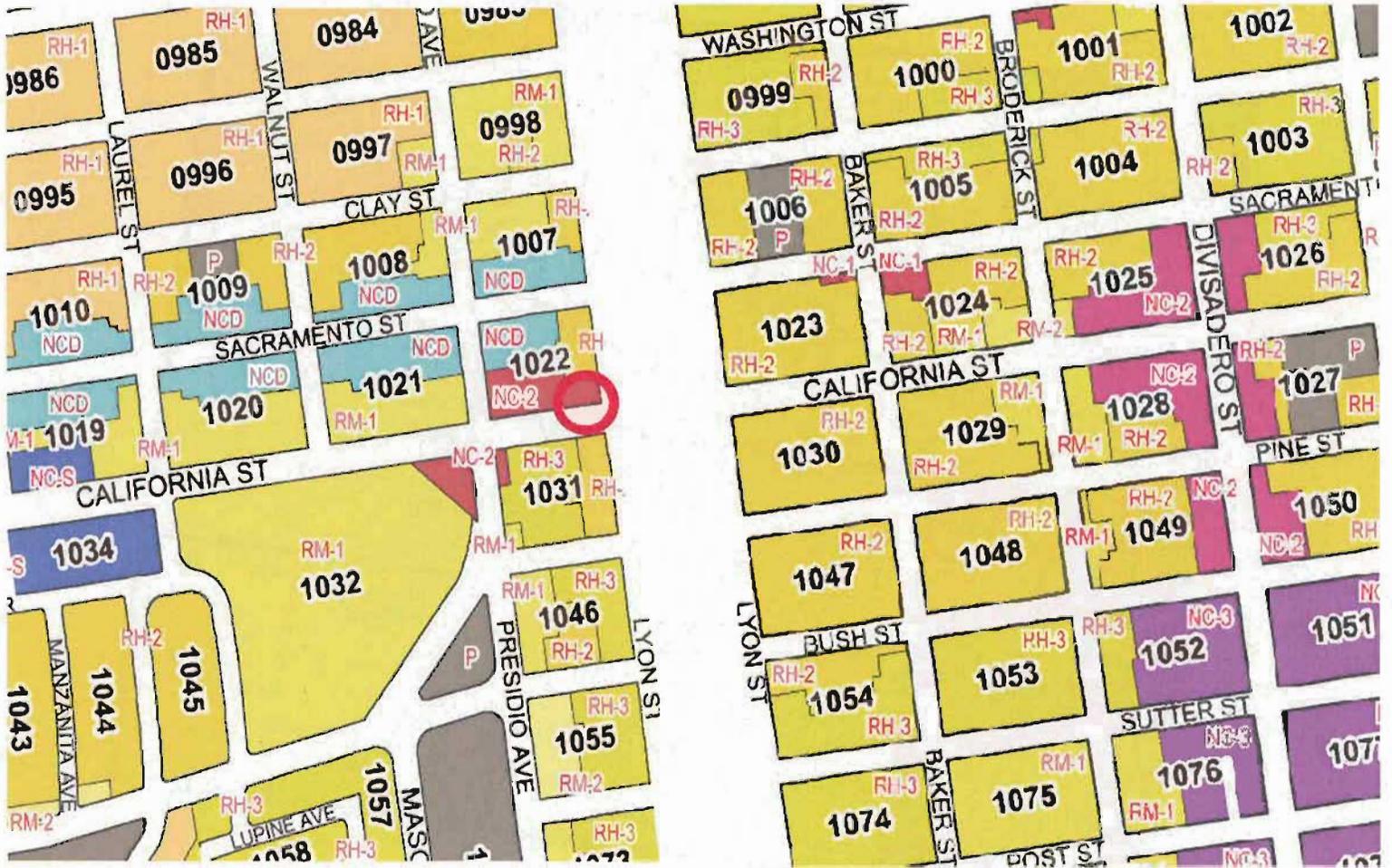
11. Noise and Heat. The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Ordinance. The WTS facility, including power source and cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.
12. Implementation and Monitoring Costs.
  - a. The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.
  - b. The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with the monitoring of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Electricity and Telecommunications, Office of the City Attorney, or any other appropriate City Department or agency pursuant to Planning Code Section 351(f)(2). The Planning Department shall collect such costs on behalf of the City.
  - c. The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.
13. All Conditions Basis for Revocation. The Project Sponsor or its successors shall comply fully with all conditions specified in this authorization. Failure to comply with any condition shall constitute grounds for revocation under the provisions of Planning Code Sections 174, 176 and 303(d). The Zoning Administrator shall schedule a public hearing before the Planning Commission to receive testimony and other evidence to demonstrate a finding of a violation of a condition of the authorization of the use of the facility and, finding that violation, the Commission shall revoke the Conditional Use authorization. Such revocation by the Planning Commission is appealable to the Board of Supervisors.

In the event that the project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

14. Complaints and Proceedings. Should any party complain to the Project Sponsor about the installation or operation of the facilities, which complaints are not resolved by the Project Sponsor, the Project Sponsor (or its appointed agent) shall advise the Zoning Administrator of the complaint and the failure to satisfactorily resolve such complaint. If the Zoning Administrator thereafter finds a violation of any provision of the Planning Code and/or any condition of approval herein, the Zoning Administrator shall attempt to resolve such violation on an expedited basis with the Project Sponsor. If such efforts fail, the Zoning Administrator shall refer such complaints to the Commission for consideration at the next regularly scheduled public meeting.

15. Severability. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other of the remaining provisions, clauses, sentences, or sections of these conditions. It is hereby declared to be the intent of the Commission that these conditions of approval would have been adopted had such invalid sentence, clause, or section or part thereof not been included herein.
16. Transfer of Operation. Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider.
17. Compatibility with City Emergency Services. The facility shall not be operated, nor caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.
18. Notice of Recordation. Prior to the issuance of any building permit for the construction of the Project, the Zoning Administrator shall approve and order the recordation of a notice in the Official Records of the Recorder of the City and County of San Francisco, which notice shall state that construction of the Project has been authorized by and is subject to the conditions of this Motion. From time to time after the recordation of such notice, at the request of the Project Sponsor, the Zoning Administrator shall affirm in writing the extent to which the conditions of this Motion have been satisfied, and record said writing if requested.
19. Violation of the conditions contained in this Motion or of other provisions of the Planning Code may be subject to abatement procedures and fines up to \$500 a day in accordance with Planning Code Section 176.
20. Should monitoring of the Conditions of Approval contained in Exhibit A of this Motion be required, the Project Sponsor or successors shall pay fees established in Planning Code Section 351(e)(1).
21. The Conditional Use authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by the Project Sponsor. This Conditional Use authorization may be extended at the discretion of the Zoning Administrator only if failure to issue a permit by the Department of Building Inspection is delayed by a city, state, or federal agency or by appeal of the issuance of such permit.

# Zoning Map

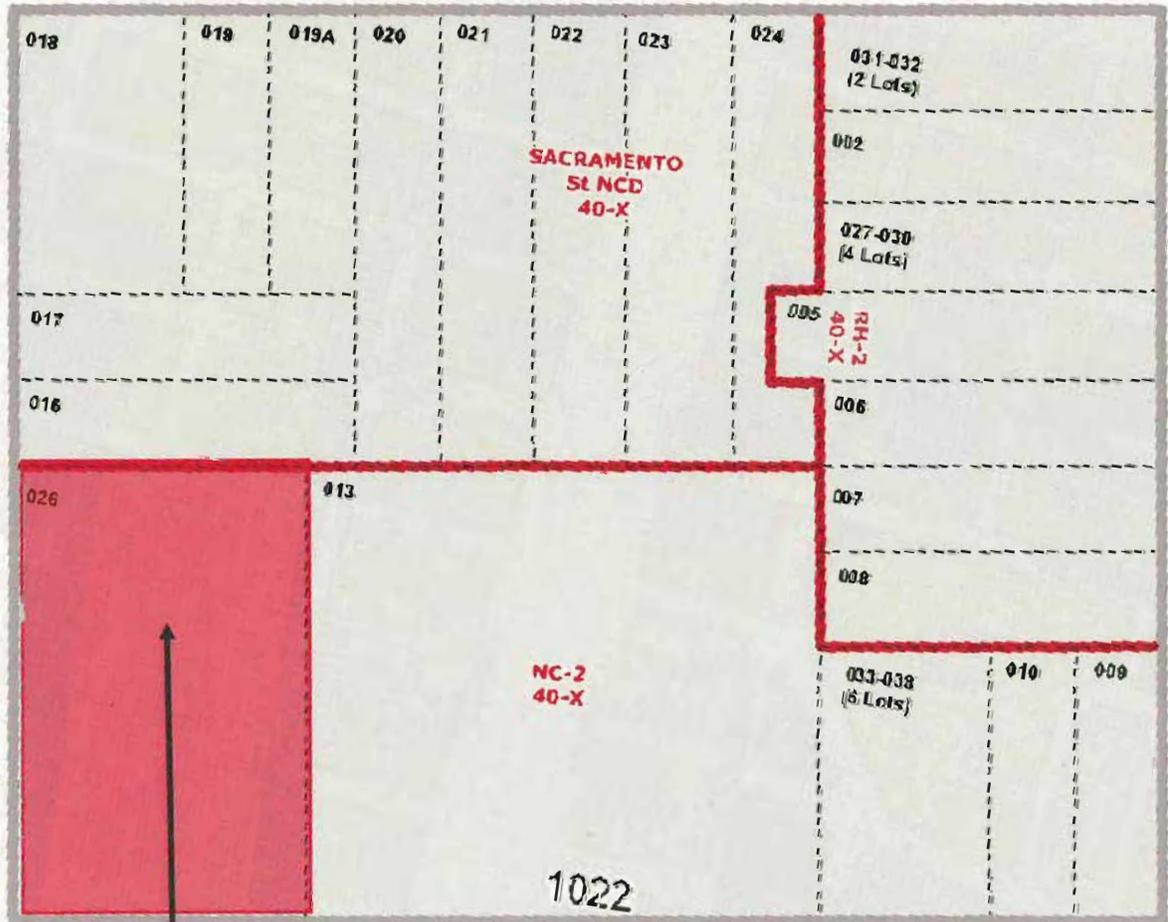


Conditional Use Hearing  
Case Number 2010.0223C  
444 Presidio Avenue  
Clearwire's Wireless Transmission Facility



# Parcel Map

Sacramento St



Presidio Ave

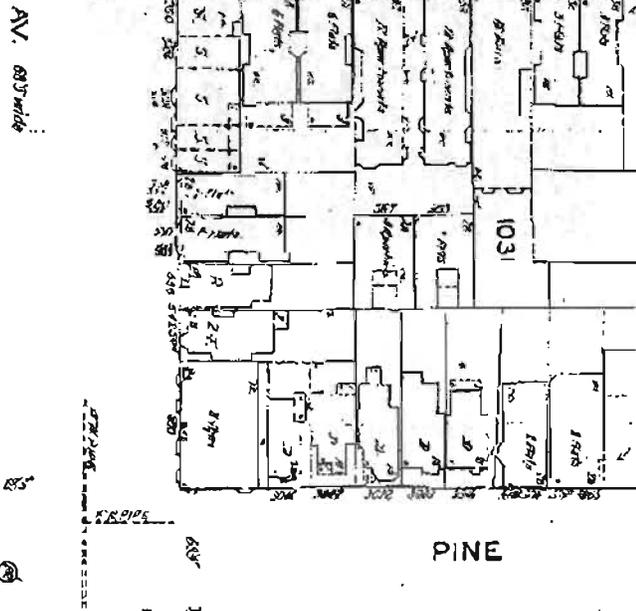
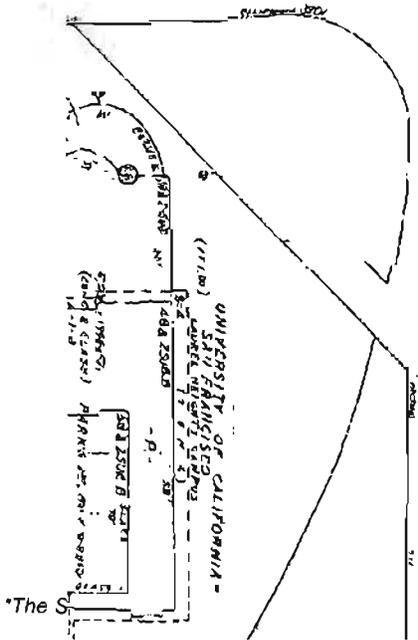
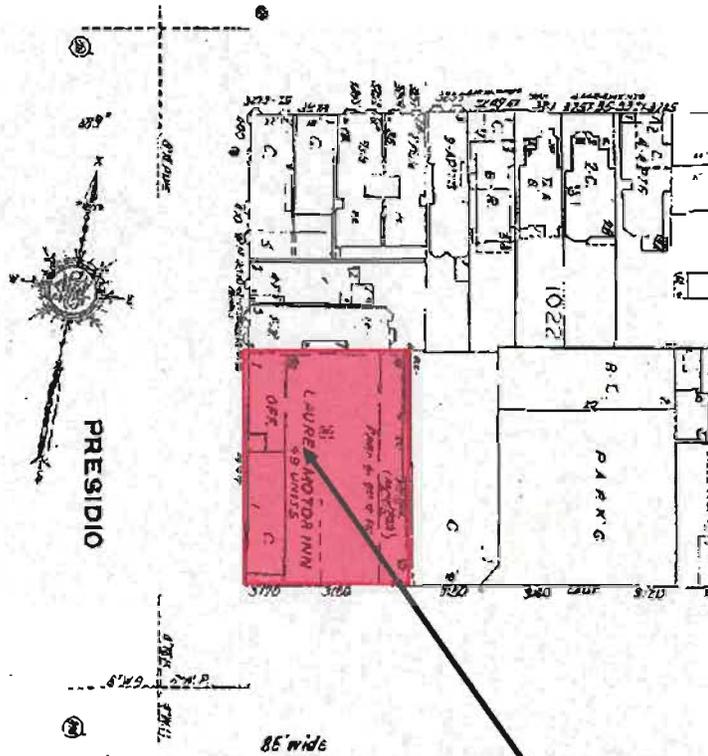
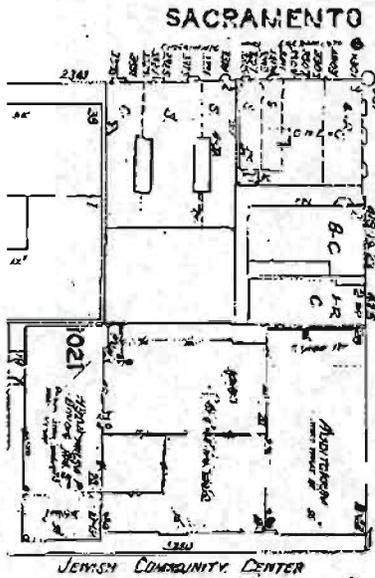
Lyon St

California St

**SUBJECT PROPERTY**

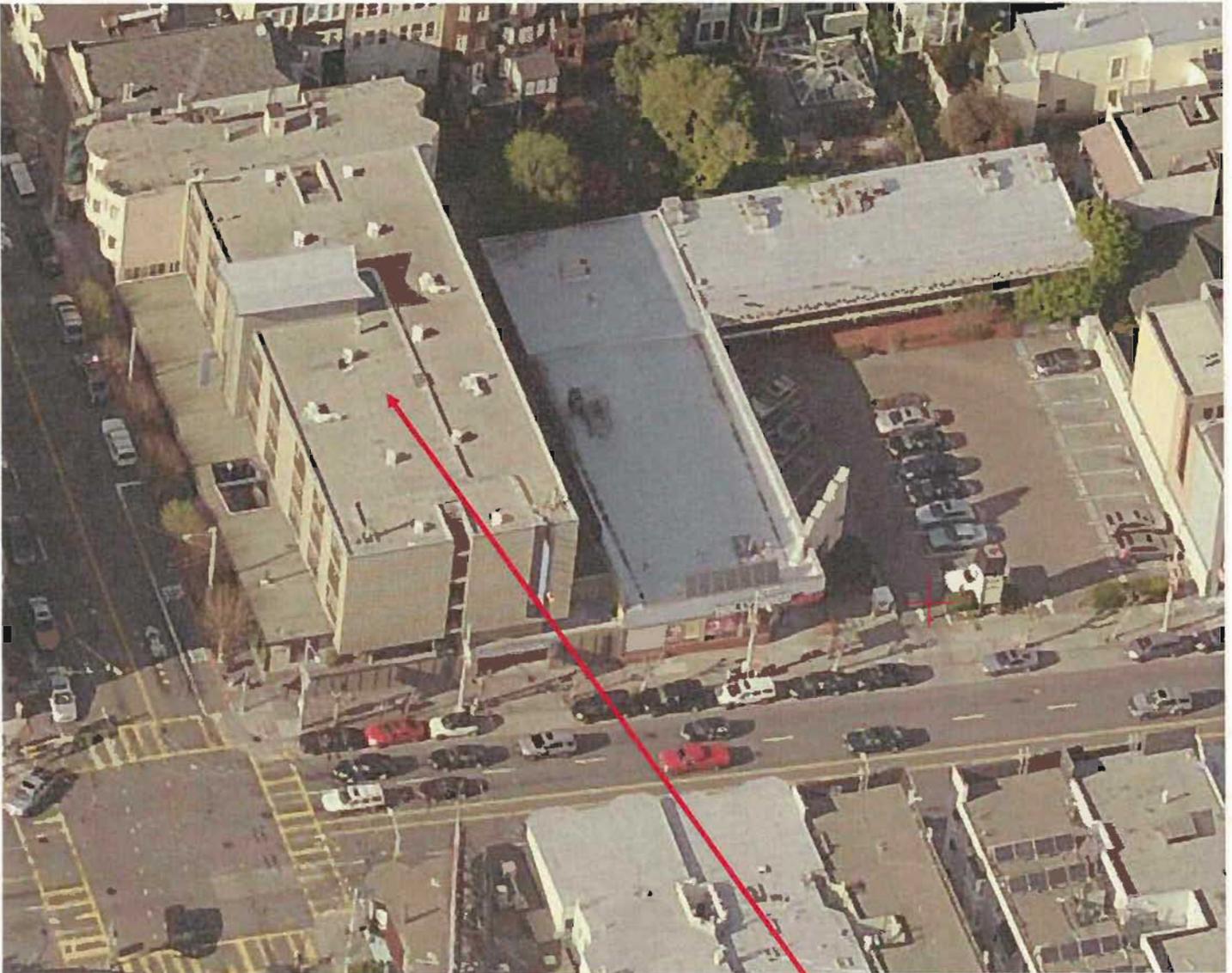


# Sanborn Map\*



Conditional Use Hearing  
 Case Number 2010.0223C  
 444 Presidio Avenue  
 Clearwire's Wireless Transmission Facility

# Aerial Photo\*



**SUBJECT PROPERTY**

*\*The Aerial Maps reflect existing conditions in March 2009.*



# Aerial Photo\*



**SUBJECT PROPERTY**

*\*The Aerial Maps reflect existing conditions in March 2009.*



# Aerial Photo\*

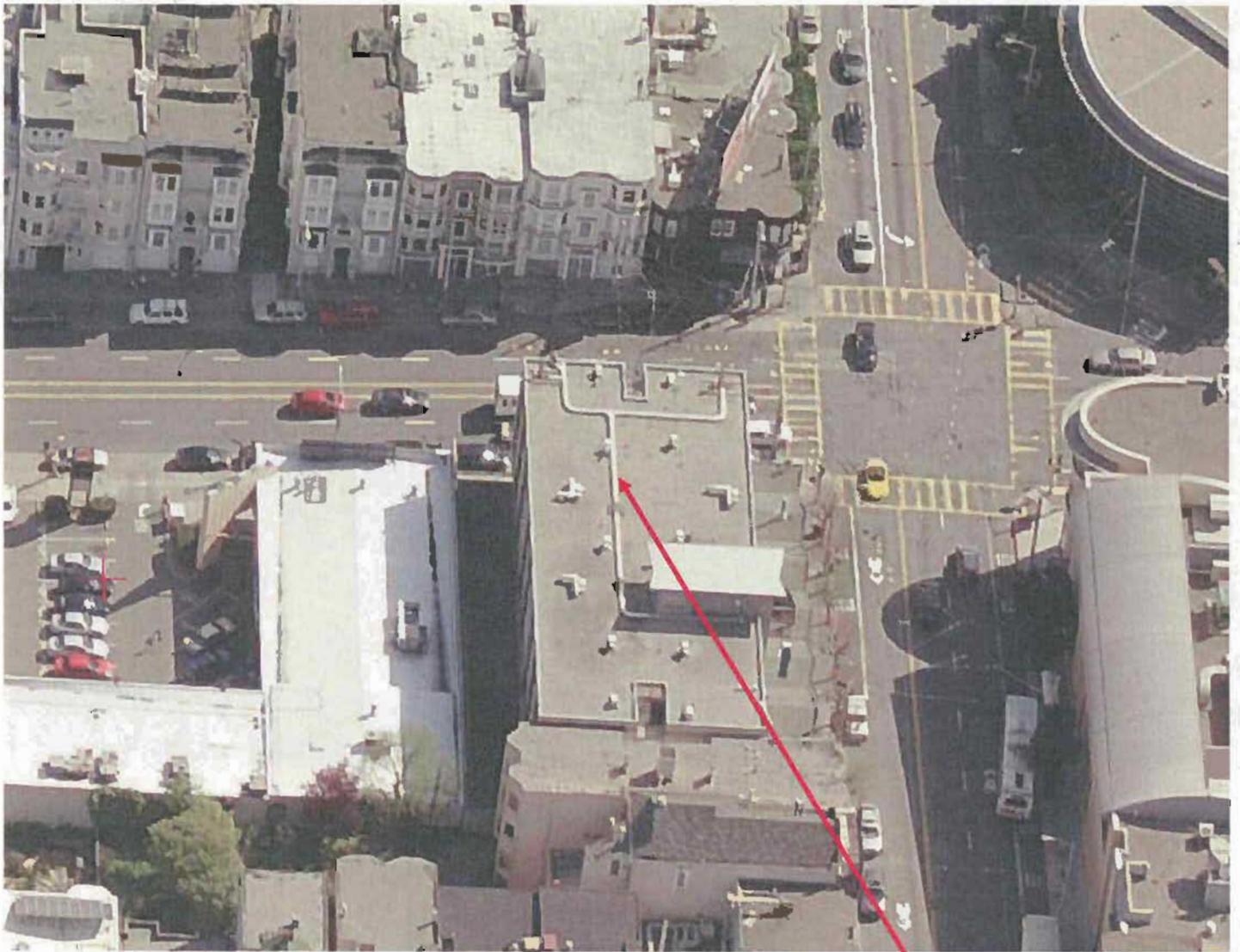


**SUBJECT PROPERTY**

*\*The Aerial Maps reflect existing conditions in March 2009.*



# Aerial Photo\*



**SUBJECT PROPERTY**

*\*The Aerial Maps reflect existing conditions in March 2009.*



# Site Photo

**SUBJECT PROPERTY ON PRESIDIO AVENUE**



**SUBJECT PROPERTY**

Conditional Use Hearing  
Case Number 2010.0223C  
444 Presidio Avenue  
Clearwire's Wireless Transmission Facility

# Site Photo

## SUBJECT PROPERTY ON CALIFORNIA STREET



**SUBJECT PROPERTY**

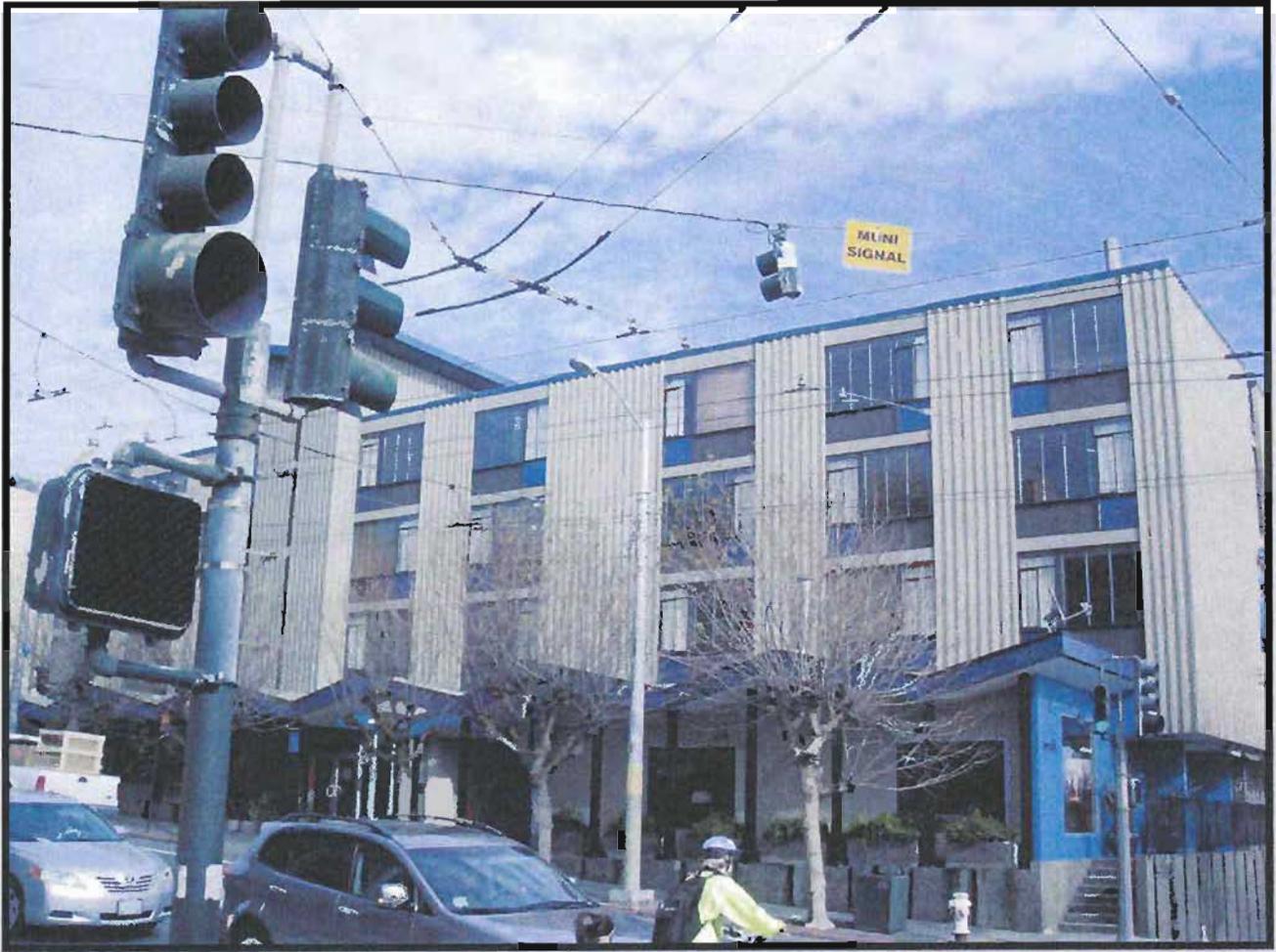
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## Contextual Photographs

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444 Presidio – Facing Proposed Facility Location from California



444 Presidio – Facing Proposed Facility Location from California/Presidio



444 Presidio – Facing Northwest from California/Lyon



444 Presidio – Facing Southeast from Presidio/California

Existing



Proposed



view from California Street looking northeast at site



clearwire

CA-SFO0178 Laurel Inn  
444 Presidio Avenue, San Francisco, CA.

Existing



Proposed



view from California Street looking north at site  
clearwire  
CA-SFO017B Laurel Inn  
444 Presidio Avenue, San Francisco, CA

Existing



Proposed



view from Lyon Street looking west at site

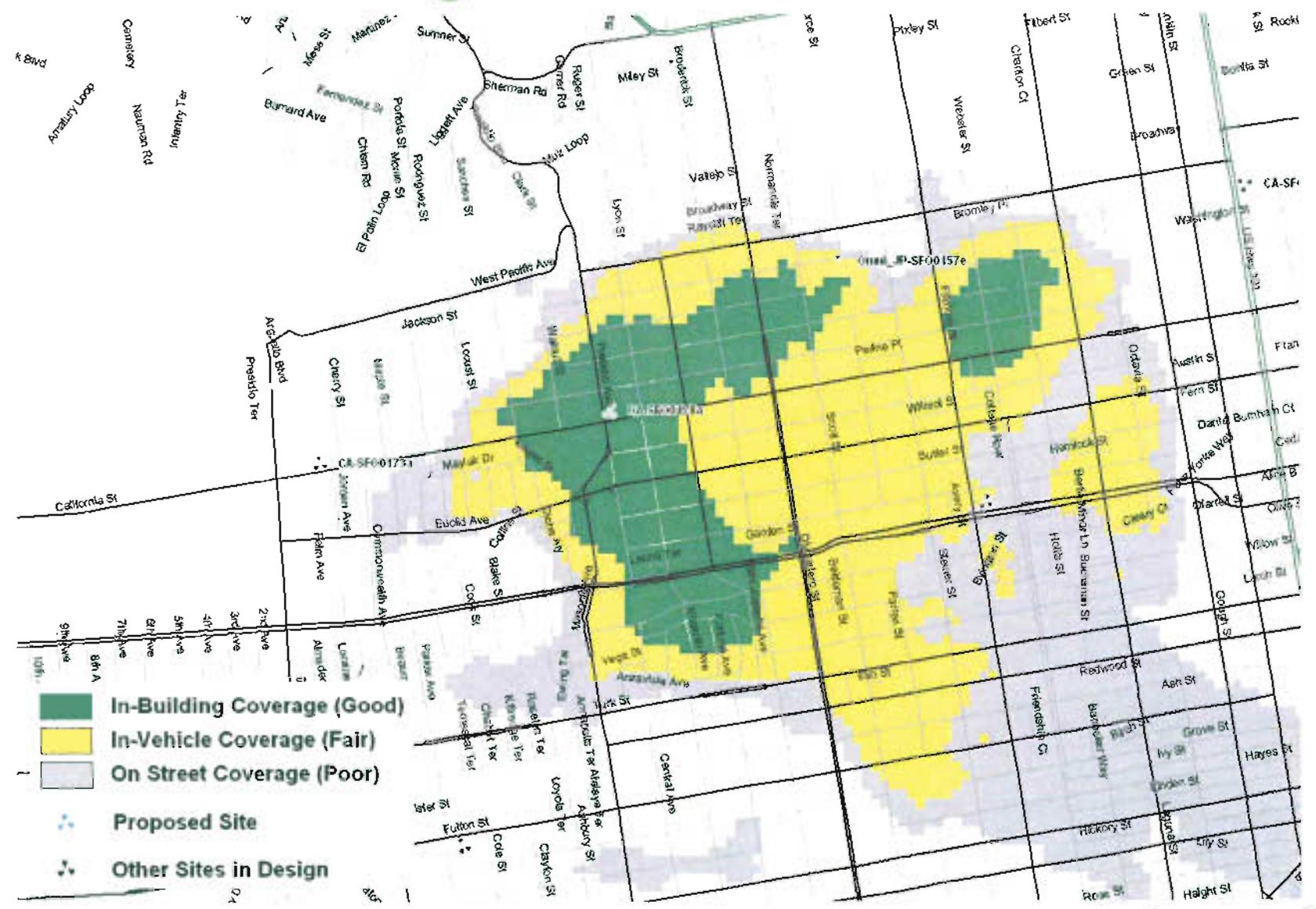
clearwire

CA-SFD0178 Laurel Inn  
444 Presidio Avenue, San Francisco, CA

# CA-SF0178 Coverage



# Coverage with CA-SFO0178



**Clearwire, LLC • Proposed Base Station (Site No. CA-SFO0178)  
444 Presidio Avenue • San Francisco, California**

**Statement of Hammett & Edison, Inc., Consulting Engineers**

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Clearwire, LLC, a wireless service provider telecommunications carrier, to evaluate the base station (Site No. CA-SFO0178) proposed to be located at 444 Presidio in San Francisco, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

**Background**

The San Francisco Department of Public Health has adopted a 10-point checklist for determining compliance of WTS facilities with prevailing safety standards. The acceptable limits set by the FCC for exposures of unlimited duration are:

Personal Wireless Service	Approx. Frequency	Occupational Limit	Public Limit
Broadband Radio (“BRS”)	2,600 MHz	5.00 mW/cm <sup>2</sup>	1.00 mW/cm <sup>2</sup>
Advanced Wireless (“AWS”)	2,100	5.00	1.00
Personal Communication (“PCS”)	1,950	5.00	1.00
Cellular Telephone	870	2.90	0.58
Specialized Mobile Radio (“SMR”)	855	2.85	0.57
Long Term Evolution (“LTE”)	700	2.33	0.47
[most restrictive frequency range]	30–300	1.00	0.20

The site was visited by Mr. David Kelly, a qualified field technician contracted by Hammett & Edison, Inc., during normal business hours on March 11, 2010, a non-holiday weekday, and reference has been made to information provided by Clearwire, including zoning drawings by Michael Wilk Architecture, dated March 2, 2010.

**Checklist**

*1. The location of all existing antennas and facilities at site. Existing RF levels.*

There were observed two cylindrical antenna enclosures above the roof of the four-story hotel at the northeast corner of Presidio Avenue and California Street, as well as one panel antenna on the north side of the elevator penthouse; these antennas were for use by Sprint Nextel. Existing RF levels at ground level near the site were less than 1% of the most restrictive public exposure limit.

*2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from approved antennas.*

No WTS facilities or other communications facilities are reported to be approved for this site but not yet installed.

**Clearwire, LLC • Proposed Base Station (Site No. CA-SFO0178)  
444 Presidio Avenue • San Francisco, California**

3. The number and types of WTS within 100 feet of proposed site and estimates of additive EMR emissions at proposed site.

There were observed no other WTS facilities within 100 feet of the proposed site.

4. Location (and number) of Applicant's antennas and back-up facilities per building and location (and number) of other WTS at site.

Clearwire proposes to install three Kathrein Model 840-10054 directional panel antennas, two within new cylindrical enclosures above the roof and one on the east side of the penthouse. The antennas would be mounted at an effective height of about 48½ feet above ground, 3½ feet above the roof.

5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to application.

The maximum power rating of the Clearwire transmitters is 40 watts per channel. The maximum power rating of the Sprint Nextel transmitters was proposed to be 16 watts. The transmitters may operate at a power below their maximum rating, such that the power radiated from the antennas does not exceed the level given in Item 6 below.

6. Total number of watts per installation and total number of watts for all installations at site.

The maximum effective radiated power by Clearwire in any direction would be 970 watts for BRS service. The maximum effective radiated power by Sprint Nextel was proposed to be 1,000 watts for PCS service.

7. Plot or roof plan showing method of attachment of antennas, directionality of antennas, and height above roof level. Discuss nearby inhabited buildings.

The antennas were installed as described in Item 4 above. Taller buildings were observed nearby.

8. Estimated ambient RF levels for proposed site and identify three-dimensional perimeter where exposure standards are exceeded.

For a person anywhere at ground, the maximum ambient RF exposure level due to the proposed Clearwire operation by itself is calculated to be 0.0032 mW/cm<sup>2</sup>, which is 0.32% of the applicable public exposure limit. Ambient RF levels are therefore estimated to remain less than 1% of the limit. The three-dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend up to 9 feet out from the antenna faces; this does not reach any other buildings or any publicly accessible areas.

9. Describe proposed signage at site.

Due to their mounting locations, the Clearwire antennas would not be accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent occupational exposures in excess of the FCC guidelines, no access within 2 feet directly in



**Clearwire, LLC • Proposed Base Station (Site No. CA-SFO0178)  
444 Presidio Avenue • San Francisco, California**

front of the Clearwire antennas themselves, such as might occur during maintenance activities on the roof, should be allowed while the antennas are in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. Posting explanatory warning signs\* at the roof access stairs and at the antennas, such that the signs would be readily visible from any angle of approach to persons who might need to work within that distance, would be sufficient to meet FCC-adopted guidelines. Similar measures should already be in place for the other carrier at the site; applicable keep-back distances for that carrier have not been determined as part of this study.

*10. Statement of authorship.*

The undersigned author of this statement is a qualified Professional Engineer, holding California Registrations Nos. E-13026 and M-20676, which expire on June 30, 2011. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

**Conclusion**

Based on the information and analysis above, it is my professional opinion that the proposed Clearwire, LLC base station operation at 444 Presidio in San Francisco will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. Posting of explanatory signs is recommended to establish compliance with occupational exposure limitations.

March 18, 2010



*William F. Hammett*  
William F. Hammett, P.E.

\* Warning signs should comply with OET-65 color, symbol, and content recommendations. Contact information should be provided (*e.g.*, a telephone number) to arrange for access to restricted areas. The selection of language(s) is not an engineering matter; the San Francisco Department of Public Health recommends that all signs be written in English, Spanish, and Chinese.



**Review of Cellular Antenna Site Proposals**

**Project Sponsor:** Clearwire **Planner:** Jonas Ionin

**RF Engineer Consultant:** Hammett and Edison **Phone number** 707 996-5200

**Project Address/Location:** 444 Presidio Ave. (SFO0178)

The following information is required to be provided before approval of this project can be made. These information requirements are established in the San Francisco Planning Department Wireless Telecommunications Services Facility Siting Guidelines dated August 1996.

In order to facilitate quicker approval of this project, it is recommended that the project sponsor review this document before submitting the proposal to ensure that all requirements are included.

X 1. The location of all existing antennas and facilities. Existing RF levels. (WTS-FSG, Section 11, 2b)

X 2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from the approved antennas. (WTS-FSG Section 11, 2b)

X 3. The number and types of WTS within 100 feet of the proposed site and provide estimates of cumulative EMR emissions at the proposed site. (WTS-FSG, Section 10.5.2)

X 4. Location (and number) of the Applicant's antennas and back-up facilities per building and number and location of other telecommunication facilities on the property (WTS-FSG, Section 10.4.1a)

X 5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to the application (WTS-FSG, Section 10.4.1c)

X 6. The total number of watts per installation and the total number of watts for all installations on the building (roof or side) (WTS-FSG, Section 10.5.1).

X 7. Preferred method of attachment of proposed antenna (roof, wall mounted, monopole) with plot or roof plan. Show directionality of antennas. Indicate height above roof level. Discuss nearby inhabited buildings (particularly in direction of antennas) (WTS-FSG, Section 10.41d)

X 8. Report estimated ambient radio frequency fields for the proposed site (identify the three-dimensional perimeter where the FCC standards are exceeded.) (WTS-FSG, Section 10.5) State FCC standard utilized and power density exposure level (i.e. 1986 NCRP, 200  $\mu\text{w}/\text{cm}^2$ )

X 9. Signage at the facility identifying all WTS equipment and safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards. (WTS-FSG, Section 10.9.2). Discuss signage for those who speak languages other than English.

X 10. Statement on who produced this report and qualifications.

X **Approved.** Based on the information provided the following staff believes that the project proposal will comply with the current Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC standard 1986 - NCRP **Approval of the subsequent Project Implementation Report is based on project sponsor completing recommendations by project consultant and DPH.**

*Comments: There are three (3) existing antennas on the rooftop penthouse of the building located at 444 Presidio Avenue. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were observed no other antennas within 100 feet of this site. Clearwire proposes to install three panel antennas on the roof. The antennas would be mounted at effective height of about 48 feet above the ground. The estimated ambient RF field from the proposed Clearwire transmitters at ground level is calculated to be .0032 mW/cm<sup>2</sup> or .32% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend 9 feet. Warning signs must be posted at the roof access points and the antennas in English, Spanish and Chinese. Worker should not have access to within 2 feet directly in front of the while they are in operation.*

    **Not Approved**, additional information required. \_\_\_\_\_

    **Not Approved**, does not comply with Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC Standard

  1   Hours spent reviewing

  \$178.00   Charges to Project Sponsor (in addition to previous charges, to be received at time of receipt by Sponsor)

Signed Patrick Fosdahl Digitally signed by Patrick Fosdahl  
DN: cn=Patrick Fosdahl, o=SFDPH,  
ou=Environmental Health,  
email=patrick.fosdahl@sfdph.org, c=US  
Date: 2010.03.25 10:43:54 -07'00' Date March 25, 2010

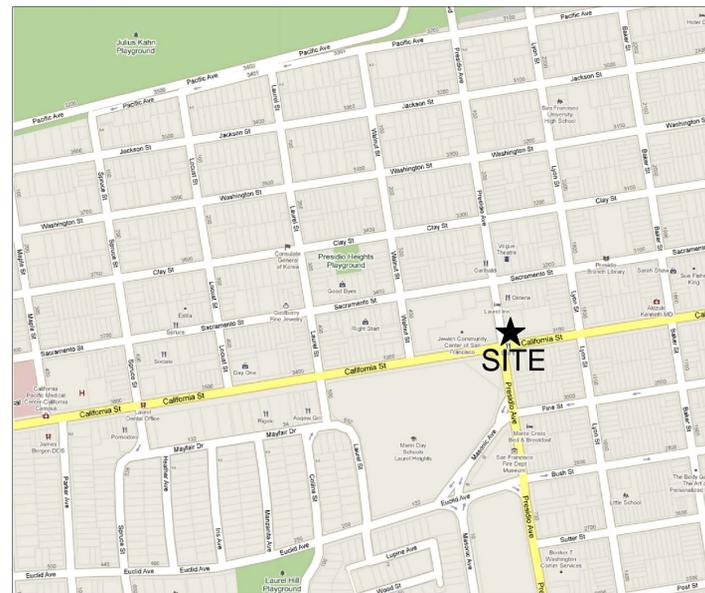
Patrick Fosdahl  
Environmental Health Management Section  
San Francisco Dept. of Public Health  
1390 Market St., Suite 210,  
San Francisco, CA. 94102  
415-252-3904



# LAUREL INN CA-SFO0178

444 PRESIDIO  
SAN FRANCISCO, CA 94115

### VICINITY MAP - N.T.S.



SAN FRANCISCO



### DRIVING DIRECTIONS

FROM: CLEARWIRE REGIONAL OFFICE  
182 2ND ST., SUITE 210  
SAN FRANCISCO, CA 94105

TO: 444 PRESIDIO AVE  
SAN FRANCISCO, CA 94115

DISTANCE: 3.1 MILES

1. HEAD NORTHWEST ON 2ND ST TOWARD NATOMA ST— 0.1MI
2. TURN LEFT AT THE 3RD CROSS STREET ONTO MISSION ST— 0.2MI
3. TURN RIGHT AT 3RD ST— 0.1MI
4. CONTINUE ONTO KEARNY ST— 112FT
5. TURN LEFT AT GEARY ST— 2.3MI
6. TURN RIGHT AT PRESIDIO AVE— 0.4MI

### CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. CALIFORNIA ADMINISTRATIVE CODE (INCL TITLE 24 & 25)
2. 2007 CALIFORNIA BUILDING CODE
3. CITY/COUNTY ORDINANCES
4. BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA)
5. MECHANICAL 2007 CALIFORNIA CODE
6. ANSI/EIA-222-F LIFE SAFETY CODE NFPA-101
7. 2007 CALIFORNIA PLUMBING CODE
8. 2007 CALIFORNIA ELECTRICAL CODE
9. LOCAL BUILDING CODE

NOTE: A SEPARATE FIRE DEPARTMENT PERMIT WILL BE OBTAINED FROM SFFD HEADQUARTERS AT 698 2ND STREET.

### BUILDING/ SITE DATA LEGEND

<b>LATITUDE:</b>	37° 47' 16.00" N (NAD83)
<b>LONGITUDE:</b>	122° 26' 48.50" W (NAD83)
<b>ELEVATION:</b>	214.37' AMSL (NGVD 29)
<b>A.P.N.:</b>	1022-026
<b>ZONING:</b>	NC-2
<b>OCCUPANCY:</b>	R-2
<b>TYPE OF CONSTRUCTION:</b>	TYPE II, FULLY SPRINKLERED
<b>AREA OF CONST.:</b>	20 SQ. FT.
<b>HANDICAP REQUIREMENTS:</b>	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.
<b>TITLE 24 REQUIREMENTS:</b>	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. TITLE 24 IS EXEMPT.

### CONSULTANT CONTACT

**PROPERTY OWNER:**

PACIFIC UNION DEVELOPMENT CO.  
3701 BUCHANAN ST  
SAN FRANCISCO, CA 94123  
CONTACT: JOEL ROOS  
PHONE: (415)929-0800  
FAX: (415)929-1103

**APPLICANT:**

CLEARWIRE  
2999 OAK ROAD  
WALNUT CREEK, CA 94597  
CONTACT: TOM DERKAS  
PHONE: (925) 202-3333  
EMAIL: Tom.Derkas@clearwire.com

**ARCHITECT:**

MICHAEL WILK ARCHITECTURE  
833 MARKET ST, SUITE 805  
SAN FRANCISCO, CA 94103  
CONTACT: CHRIS LEE  
PHONE: (415) 839-9594  
FAX: (415) 904-8388  
EMAIL: cle@wilkarch.com

**CONSTRUCTION MANAGER:**

CLEARWIRE  
182 2ND ST., SUITE 210  
SAN FRANCISCO, CA 94105  
CONTACT: RON MAX  
PHONE: (707) 363-6379  
EMAIL: ron@siteservicesllc.net

**LEASING MANAGER:**

MODUS CONSULTING, LLC  
833 MARKET ST., SUITE 805  
SAN FRANCISCO, CA 94103  
CONTACT: SAM JUDD  
PHONE: (415)533-9298  
FAX: (415)651-9219  
EMAIL: sjudd@moduscon.com

**ZONING MANAGER:**

MODUS CONSULTING, LLC  
833 MARKET ST., SUITE 805  
SAN FRANCISCO, CA 94103  
CONTACT: JOYCE CHU  
PHONE: (909)992-2212  
FAX: (415)651-9219  
EMAIL: jchu@moduscon.com

### PROJECT DESCRIPTION

- INSTALLATION OF A WIRELESS COMMUNICATIONS FACILITY, INCLUDING THE INSTALLATION OF (1) NEW EQUIPMENT CABINET, (3) PANEL ANTENNAS, AND (1) GPS ANTENNA.
1. FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (HANDICAPPED ACCESS NOT REQUIRED).
  2. FACILITY HAS NO PLUMBING.
  3. FACILITY WILL BE INDEPENDENTLY POWERED.
  4. ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES, AND SUPPORT STRUCTURES.
  5. CONTRACT COMPANIES AND THEIR EMPLOYEES SHALL OBSERVE AND PRACTICE ALL O.S.H.A. SAFETY GUIDELINES WHILE PERFORMING SERVICE FOR SPRINT.
  6. CONTRACTOR SHALL PERFORM A SAFETY INSPECTION PRIOR TO COMMENCING ALL WORK ACTIVITIES AT A SPRINT LEASED OR OWNED SITE. SPRINT SHOULD BE IMMEDIATELY NOTIFIED OF SAFETY HAZARD(S) FOUND DURING THE INSPECTION THAT COULD CAUSE DAMAGE TO PROPERTY. ALL WORK SHALL BE HALTED UNTIL SUCH TIME THE REPORTED SAFETY HAZARD IS CORRECTED. THE SAFETY HAZARD, IF POSSIBLE, SHOULD BE CORRECTED BY THE CONTRACTOR WHILE ON SITE. AFTER THE CONTRACTOR HAS NOTIFIED SPRINT TO PERFORM THE CORRECTION.
  7. TOWER MODIFICATIONS, IF REQUIRED, ARE TO BE COMPLETED BEFORE THE INSTALLATION OF ANY EQUIPMENT.

### SHEET INDEX

T1	TITLE SHEET
T2	EQUIPMENT SPECIFICATIONS
A1	OVERALL SITE/ROOF PLAN
A2	ELEVATIONS
A3	ELEVATIONS



182 2ND ST., SUITE 210  
SAN FRANCISCO, CA 94105

PROJECT INFORMATION:

**LAUREL INN  
CA-SFO0178**  
444 PRESIDIO AVE  
SAN FRANCISCO, CA 94115  
CITY OF SAN FRANCISCO

CURRENT ISSUE DATE:

03/24/10

ISSUED FOR:

100% ZONING DRAWINGS

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
0	03/24/10	100% ZONING DRAWING	CL

PROJECT ARCHITECT/ENGINEER:

**MICHAEL WILK ARCHITECTURE**  
833 Market Street, #805  
San Francisco, CA 94103  
T: 415-839-9594  
F: 415-904-8388  
www.wilkarch.com

DRAWN BY: CHK.: APV.:

CL	MWA	MW
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CONSULTANT:

SEAL OF APPROVAL:

SHEET TITLE:

**TITLE SHEET**

SHEET NUMBER: REVISION:

**T-1**



Preliminary

**840 10084**  
65° XX-pol Panel Antenna  
2496–2690 MHz

Kathrein Scala's XX-polarized adjustable electrical downtilt antennas offer the carrier the ability to tailor sites for optimum performance. Using variable downtilt, only a few models need be procured to accommodate the needs of widely varying conditions. Remotely controlled downtilt is available as a retrofitable option.

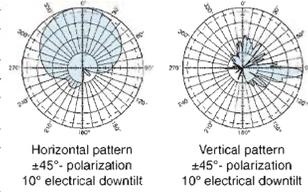
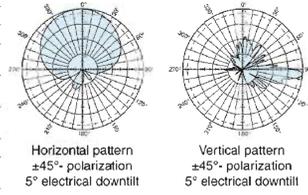
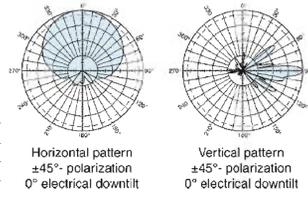
- 0-10° electrical downtilt range.
- DC Grounded metallic parts for impulse suppression.
- No moving electrical connections.
- Optional remote downtilt control.

**Specifications:**

Frequency range	2496–2690 MHz
Gain	2 x 17 dBi
Impedance	50 ohms
VSWR	< 1.5:1
Intermodulation (2x20w)	IM3: < -150 dBc
Polarization	+45° and -45°
Front-to-back ratio	>25 dB typical
Maximum input power	300 watts (at 50°C)
+45° and -45° polarization horizontal beamwidth	65 degrees at midband (half power)
+45° and -45° polarization vertical beamwidth	7 degrees at midband (half power)
Electrical downtilt continuously adjustable	0–10 degrees
Connector	4 x 7-16 DIN female
Sidelobe suppression for first sidelobe above horizon	0° 4° 8° 10° 15 15 15 15 dB (typical)
Null fill	> -1 dBi to 12° below horizon (typical) (18 dB below 17 dBi main beam)
Isolation	>30 dB
Weight	35 lb (15.9 kg)
Dimensions	42 x 12.7 x 2.8 inches (1067 x 323 x 71 mm)
Equivalent flat plate area	4.8 ft <sup>2</sup> (0.45 m <sup>2</sup> )
Wind survival rating*	120 mph (200 kph)
Shipping dimensions	48 x 13.3 x 5.1 inches (1220 x 337 x 130 mm)
Shipping weight	39 lb (17.7 kg)
Mounting	Fixed and tilt-mount options are available for 2 to 5.7 inch (50 to 145 mm) OD masts.

See reverse for order information.

\*Mechanical design is based on environmental conditions as stipulated in EIA-222-F (June 1996) and/or ETS 300 019-1-4 which include the static mechanical load imposed on an antenna by wind at maximum velocity. See the Engineering Section of the catalog for further details.



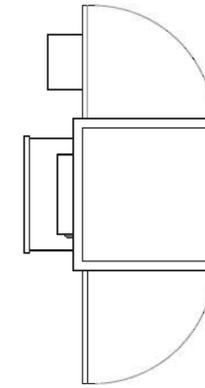
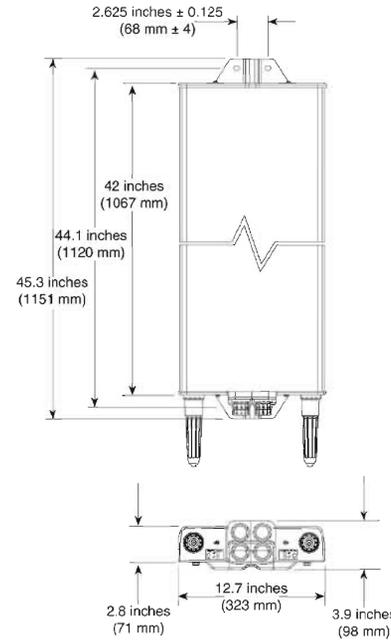
**Mounting Options:**

Model	Description
2 x 738 546	Mounting Kit for 2 to 4.6 inch (50 to 115 mm) OD mast.
850 10013	Tilt kit for use with the 2 x 738 546 mounting kit 0–15 degrees downtilt angle.

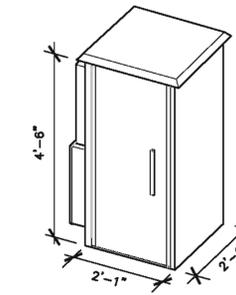
**Order Information:**

Model	Description
840 10084	Antenna with 7-16 DIN connectors

All specifications are subject to change without notice. The latest specifications are available at [www.kathrein-scala.com](http://www.kathrein-scala.com).  
Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991  
Email: [communications@kathrein.com](mailto:communications@kathrein.com) Internet: [www.kathrein-scala.com](http://www.kathrein-scala.com)



TYPICAL PLAN GROWTH CONFIGURATION FOR DDB R7-54DXCW



DDB R7-54DXCW CABINET ISOMETRIC

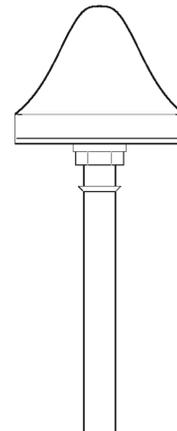
DDB R7-54DXCW DIMENSIONS	
CABINET	DEPTH x WIDTH x HEIGHT
DDB R7-54DXCW	25"x25"x54"
INSIDE CLEARANCE	SEE RACKING SPEC x23"-5/8"x54"
TEL 12-70 BATTERY BACK-UP	6.83"x10.26"x8.01"

DDB R7-54DXCW WEIGHT & FLOOR LOADING		
CABINET	APPROX. MAX. WEIGHT	MAX. FLOOR LOADING
OUTDOOR R7-54DXCW	254 LBS	196 LBS/FT <sup>2</sup>
TEL 12-70 BATTERY BACK-UP	560 LBS	129 LBS/FT <sup>2</sup>

DDB R7-54DXCW MINIMUM CLEARANCES	
DIRECTION	MINIMUM CLEARANCE
CABINET FRONT AND REAR DOOR CLEARANCE	19-1/2" x 49-13/16"
CABINET RIGHT/LEFT SIDE AND WALL	0"
ABOVE THE RBS CABINET	18"/9.84" B/T TOP OF RBS CAB./CABLE TRAY
IN FRONT OF THE CABINET	40"
B/T RBS AND BBS	MIN. SPACING 6" MAX. SPACING 49.2"

**ANTENNA SPECIFICATIONS**

SCALE: 2  
N.T.S.



MANUFACTURER: MOTOROLA  
MODEL #: MNT62312B1  
HEIGHT: 3.23"  
WIDTH: 4"  
WEIGHT: 312 GRAMS

**GPS SPECIFICATION**

SCALE: 3  
N.T.S.

**CABINET SPECIFICATION**

SCALE: 1  
N.T.S.



182 2ND ST., SUITE 210  
SAN FRANCISCO, CA 94105

PROJECT INFORMATION:

**LAUREL INN**  
**CA-SFO0178**  
444 PRESIDIO AVE  
SAN FRANCISCO, CA 94115  
CITY OF SAN FRANCISCO

CURRENT ISSUE DATE:

03/24/10

ISSUED FOR:

100% ZONING DRAWINGS

REV.: DATE DESCRIPTION: BY:

0	03/24/10	100% ZONING DRAWING	CL

PROJECT ARCHITECT/ENGINEER:

**MICHAEL WILK ARCHITECTURE**  
833 Market Street, #805  
San Francisco, CA 94103  
T: 415-839-9594  
F: 415-904-8388  
[www.wilkarch.com](http://www.wilkarch.com)

DRAWN BY: CHK.: APV.:

CL	MWA	MW

CONSULTANT:

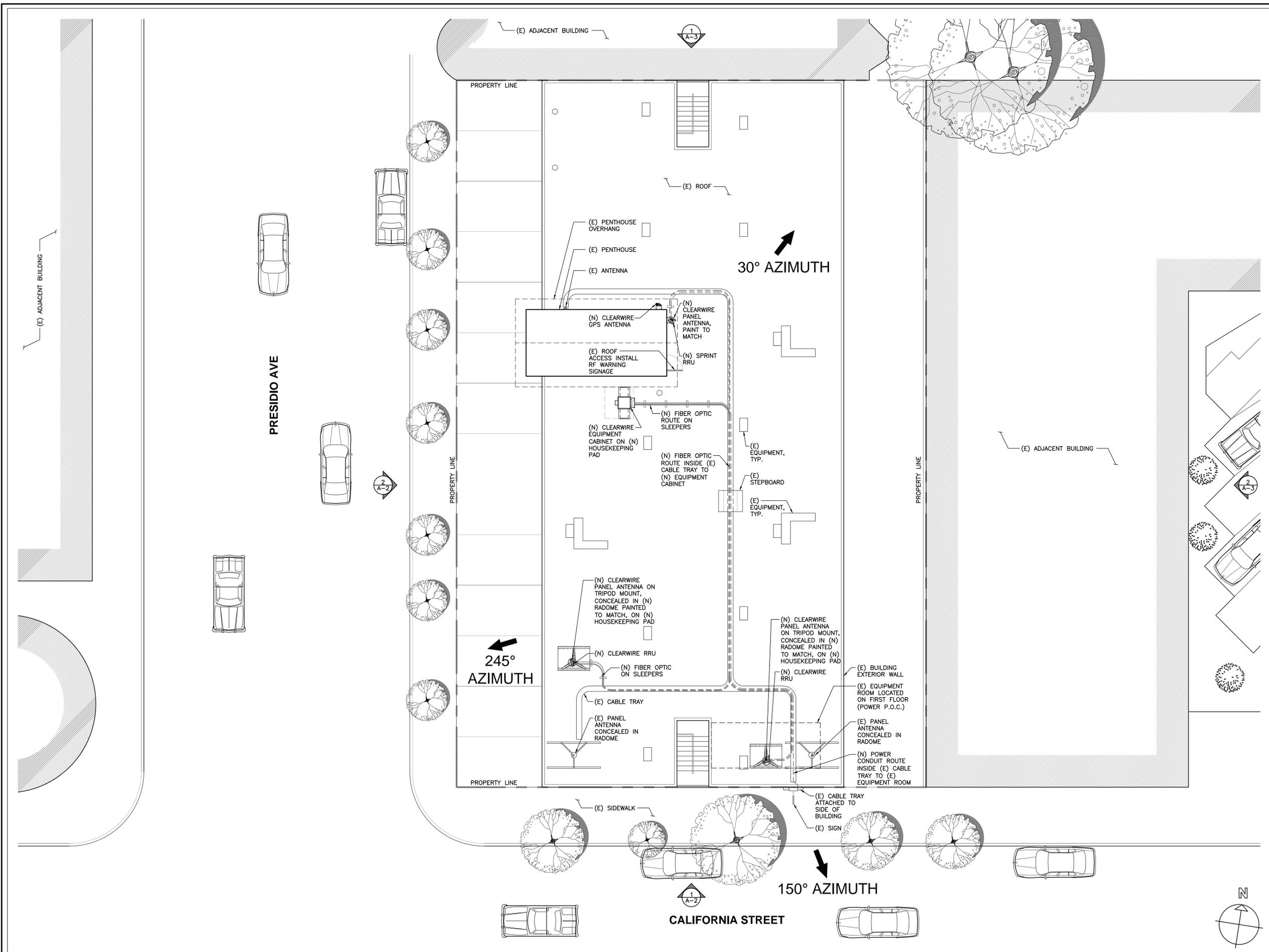
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SHEET TITLE:

**EQUIPMENT SPECIFICATIONS**

SHEET NUMBER: REVISION:

**T-2**



PROJECT INFORMATION:

**LAUREL INN**  
**CA-SFO0178**  
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DRAWN BY: CHK.: APV.:

CL	MWA	MW
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CONSULTANT:

SEAL OF APPROVAL:

SHEET TITLE:

**OVERALL SITE/ROOF PLAN**

SHEET NUMBER: REVISION:

**A-1**

PROJECT INFORMATION:

**LAUREL INN**  
**CA-SFO0178**

444 PRESIDIO AVE  
SAN FRANCISCO, CA 94115  
CITY OF SAN FRANCISCO

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REV.	DATE	DESCRIPTION	BY
0	03/24/10	100% ZONING DRAWING	CL

PROJECT ARCHITECT/ENGINEER:

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833 Market Street, #805  
San Francisco, CA 94103  
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www.wilkarch.com

DRAWN BY: CHK.: APV.:

CL	MWA	MW
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CONSULTANT:

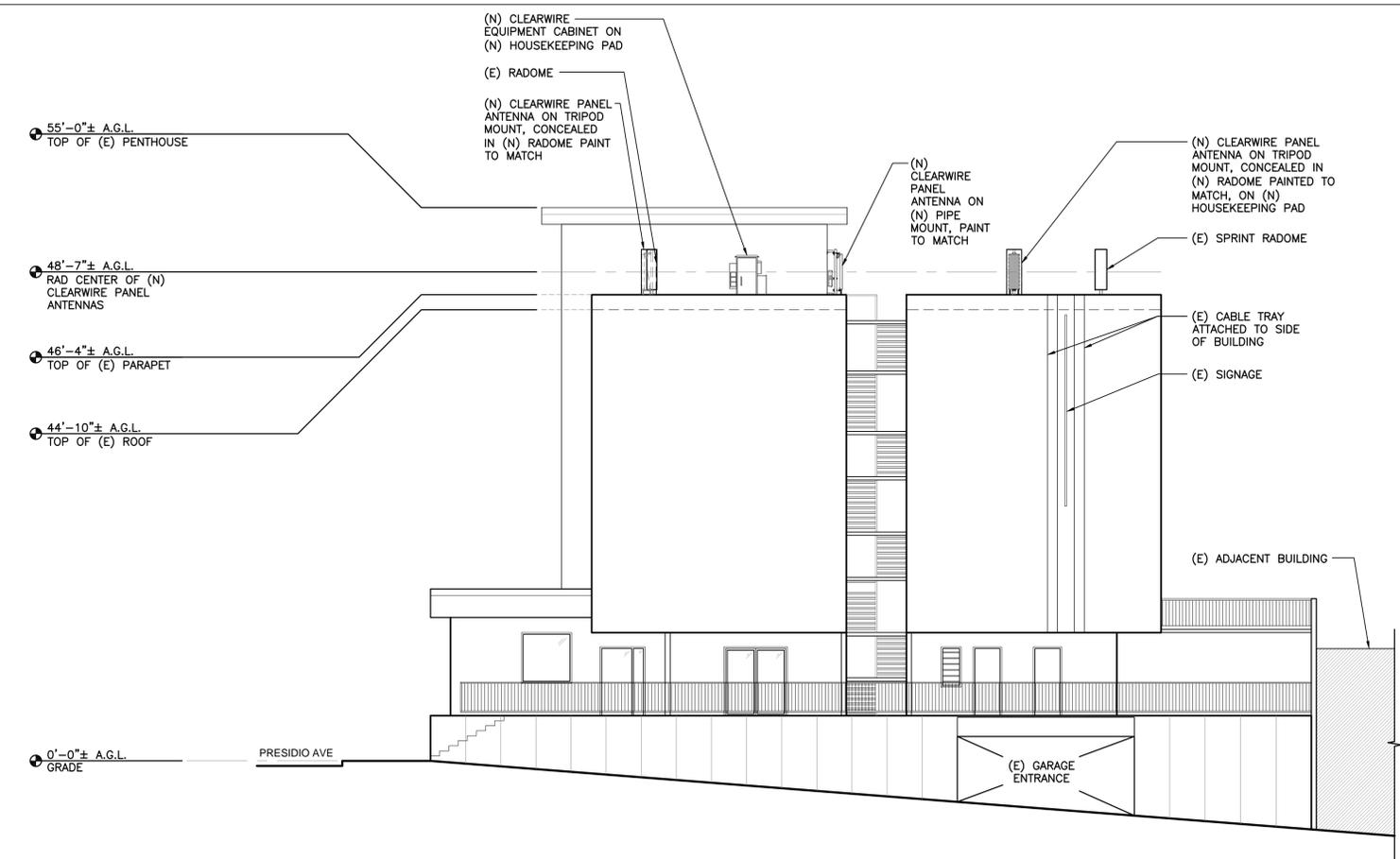
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SHEET TITLE:

**ELEVATIONS**

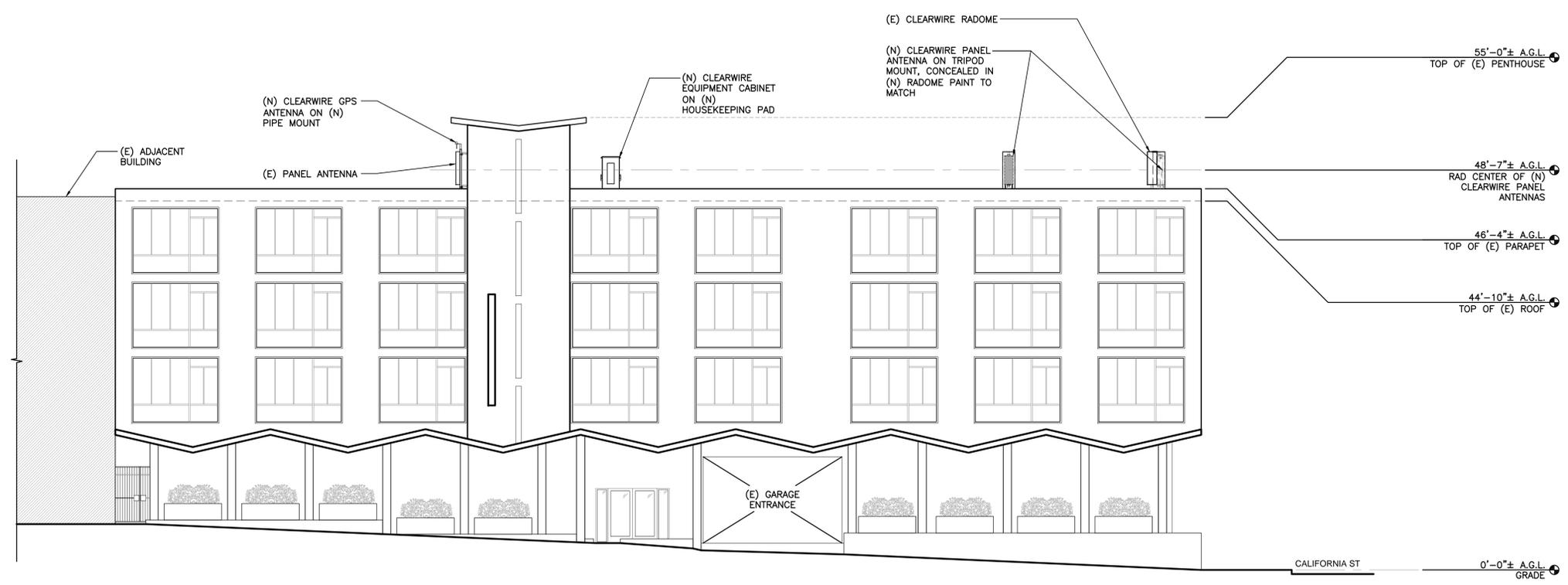
SHEET NUMBER: REVISION:

**A-2**



**SOUTH ELEVATION**

SCALE:  
1/8"=1'-0" 1



**WEST ELEVATION**

SCALE:  
1/8"=1'-0" 2

PROJECT INFORMATION:

**LAUREL INN**  
**CA-SFO0178**

444 PRESIDIO AVE  
SAN FRANCISCO, CA 94115  
CITY OF SAN FRANCISCO

CURRENT ISSUE DATE:

03/24/10

ISSUED FOR:

100% ZONING DRAWINGS

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
0	03/24/10	100% ZONING DRAWING	CL

PROJECT ARCHITECT/ENGINEER:

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DRAWN BY: CHK.: APV.:

CL MWA MW

CONSULTANT:

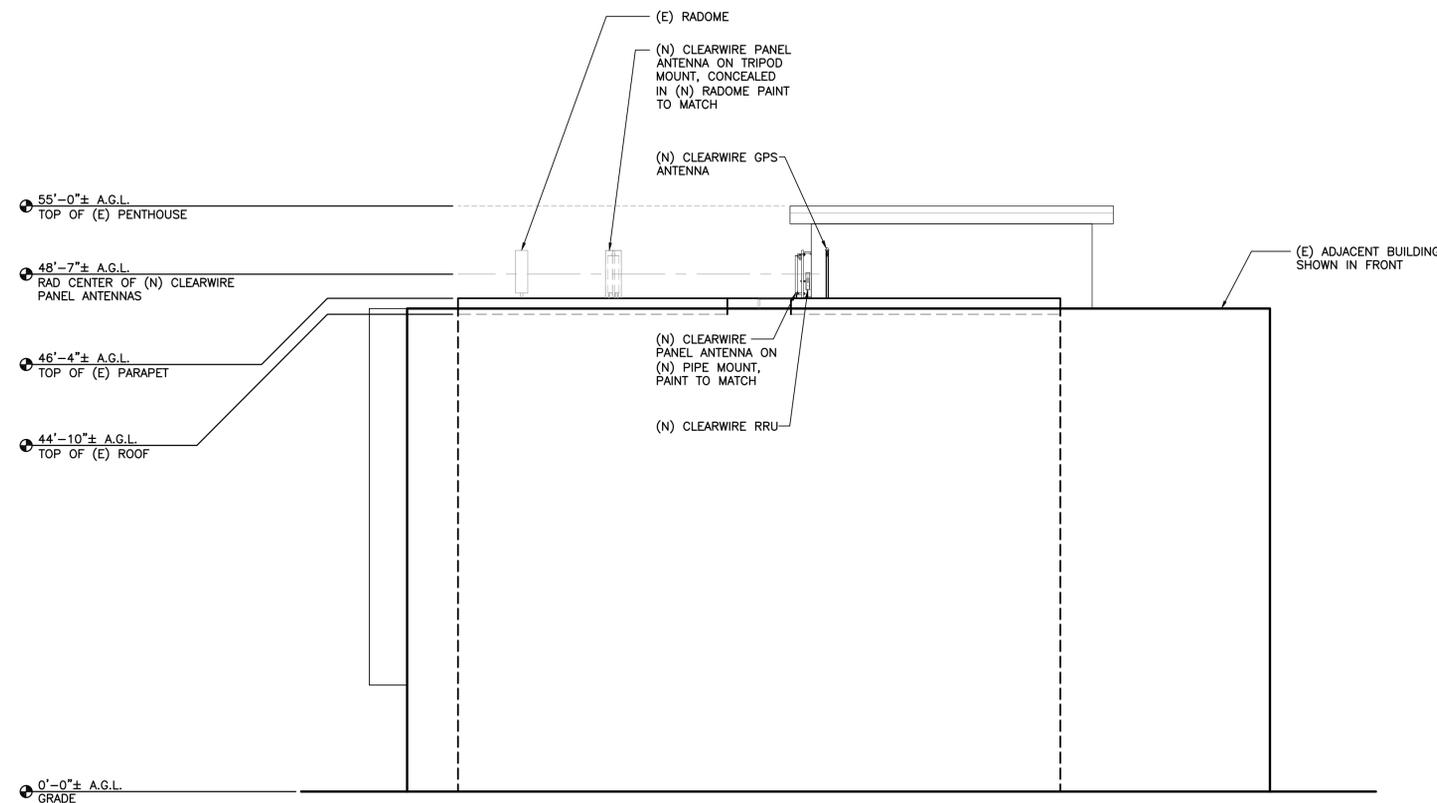
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SHEET TITLE:

**ELEVATIONS**

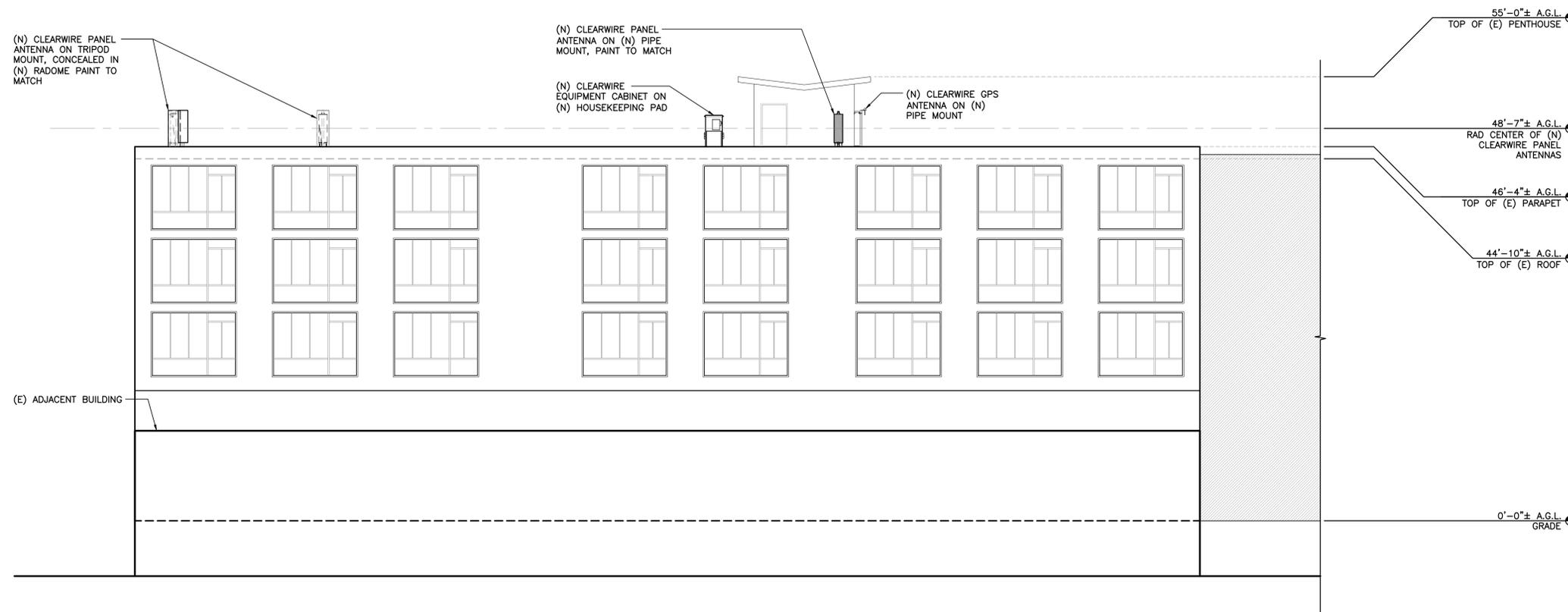
SHEET NUMBER: REVISION:

**A-3**



NORTH ELEVATION

SCALE: 1/8"=1'-0" 1



EAST ELEVATION

SCALE: 1/8"=1'-0" 2