



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 23, 2012**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard and Open Space Variance)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	112-114 Russ St	Case No.:	2009.0726V
Cross Street(s):	Howard and Folsom Streets	Building Permit:	2009.01.14.0204
Block / Lot No.:	3731/076	Applicant/Agent:	Yakuh Askew
Zoning District(s):	RED / 65-X	Telephone:	415.920.1839
Area Plan:	Click here to enter text.	E-Mail:	yakuh@ya-studio.com
PROJECT DESCRIPTION			
<p>The proposal includes construction of a two-story vertical addition on the existing three-story, four-unit building. The proposal will result in a five-story, four-unit building.</p> <p>PER SECTION 134 OF THE PLANNING CODE , the subject property is required to maintain a rear yard of 18 ft 9 in. Currently, the existing two-unit building has full lot coverage and does not possess a rear yard. The new proposal would construct two new floors within the required rear yard; therefore, a variance is required.</p> <p>PER SECTION 135 OF THE PLANNING CODE , the subject property is required to provide either 60 sq ft of private open space per dwelling unit or a total of 319 sq ft of common open space for all four dwelling units. The proposal provides open space for one of the four dwelling units; therefore, a variance is required.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Richard Sucre Telephone: 415-575-9108 Mail: Richard.Sucre@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2009.0726V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

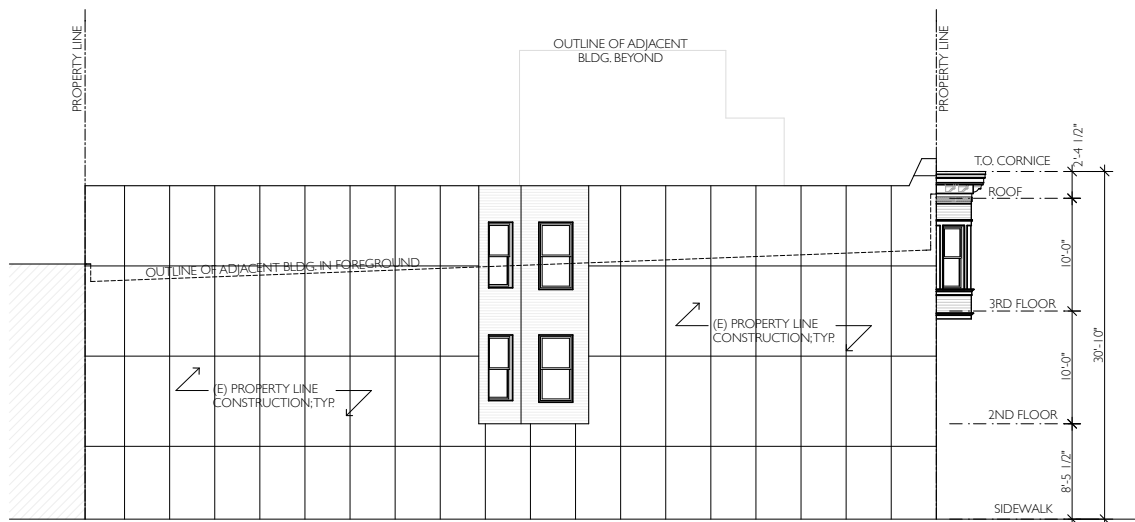
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

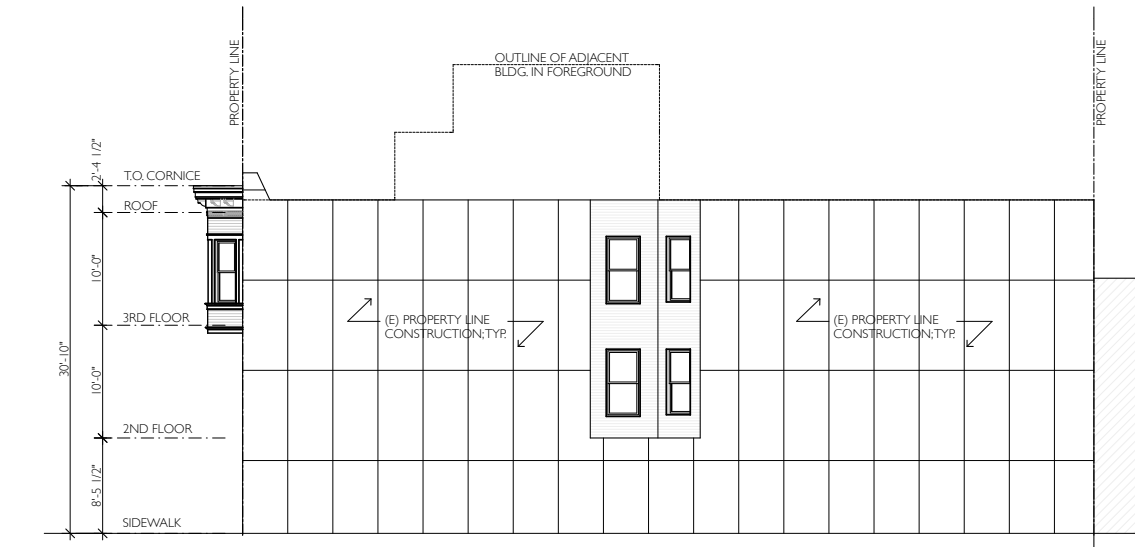
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

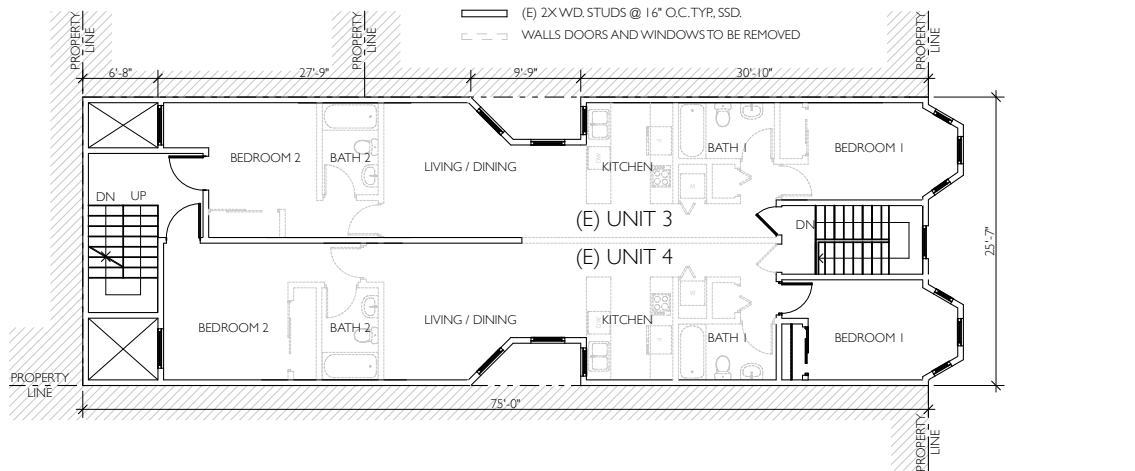
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



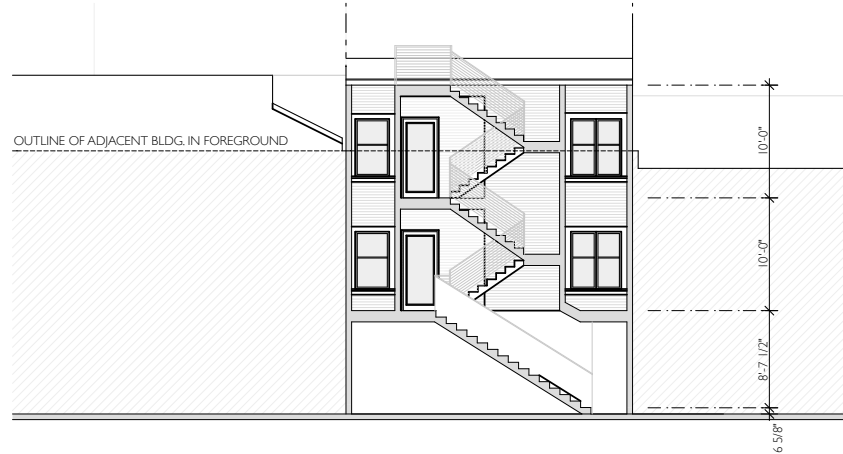
9 EXISTING SOUTH ELEVATION



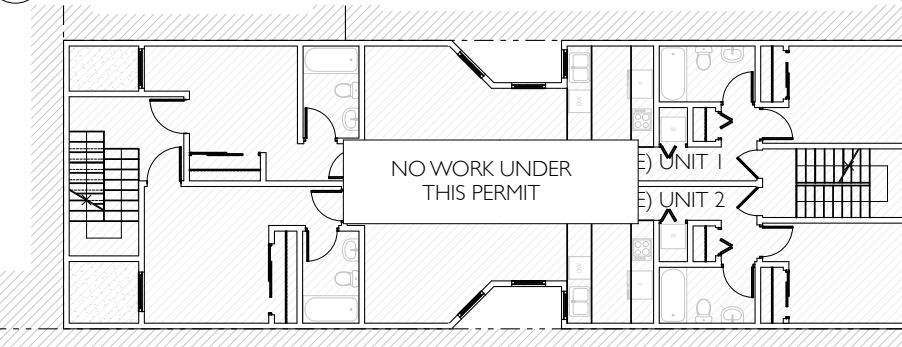
6 EXISTING NORTH ELVATION



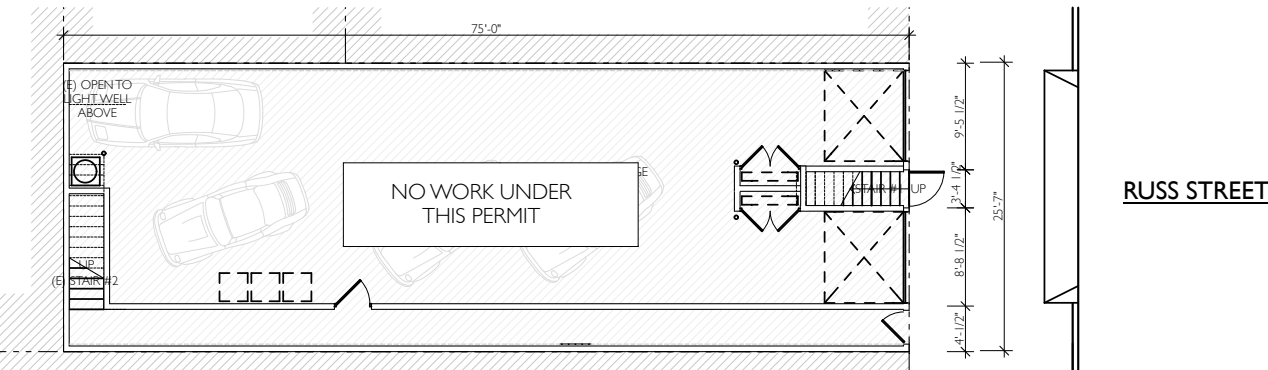
5 EXISTING THIRD FLOOR



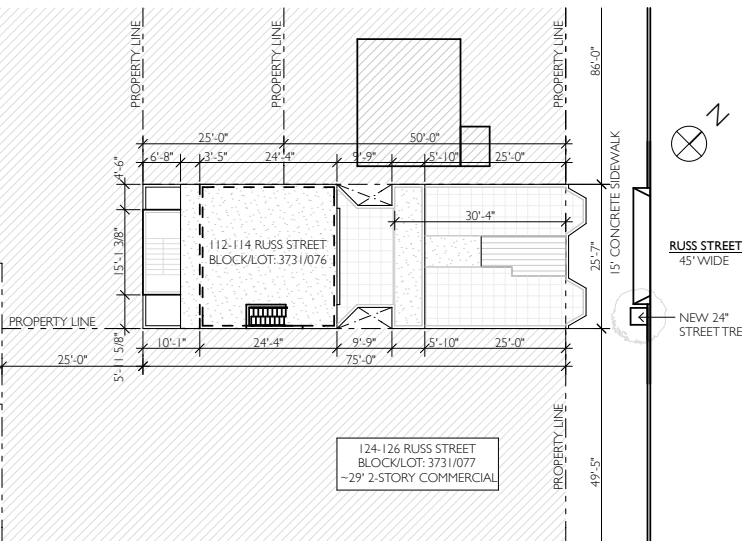
8 EXISTING WEST ELEVATION



4 EXISTING SECOND FLOOR



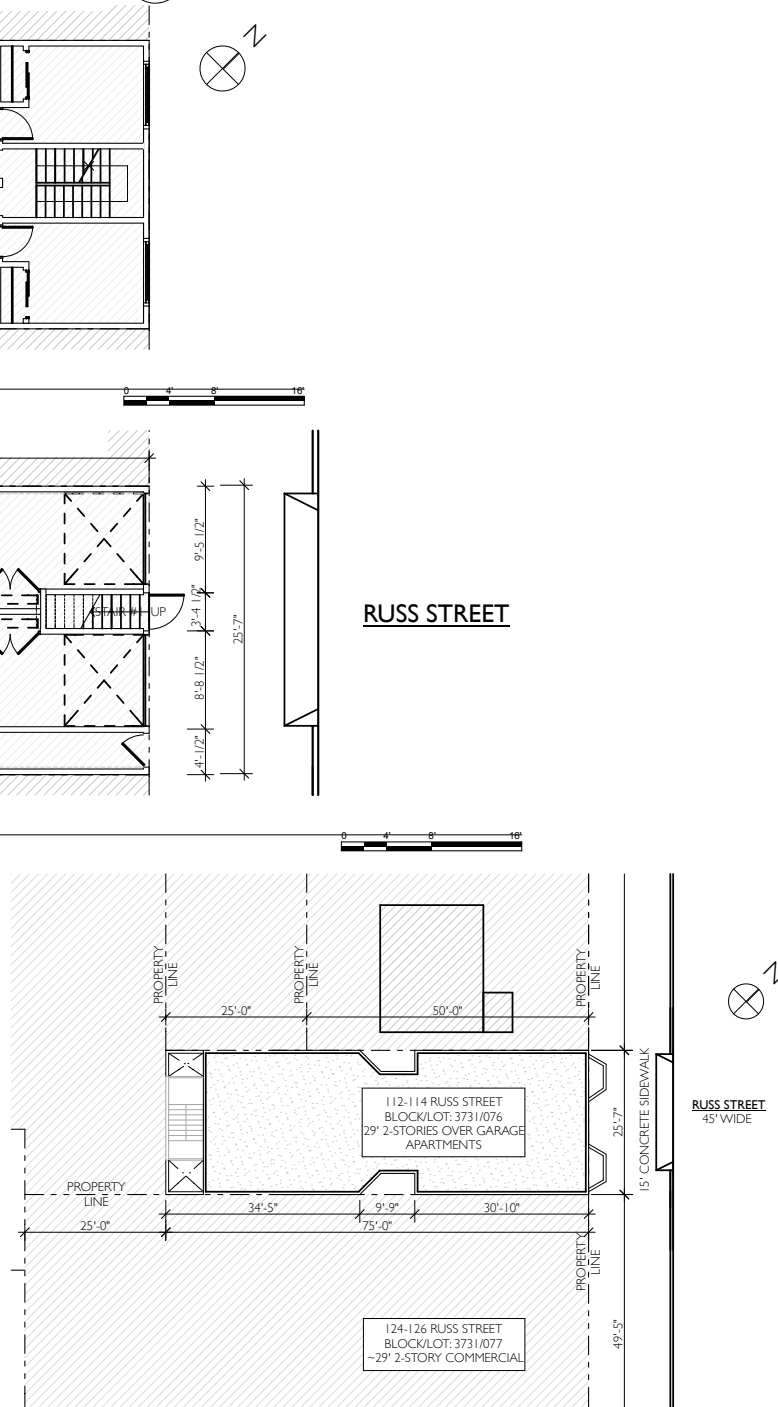
3 EXISTING FIRST FLOOR



2 PROPOSED SITE PLAN



7 EXISTING EAST ELEVATION



1 EXISTING SITE PLAN

PLAN CHECK REV:	07.07.11
PLAN CHECK REV:	07.28.11
<p>DESIGN PROFESSIONAL: SANTOS & URRUTIA STRUCTURAL ENGINEERS 2451 HARRISON STREET SAN FRANCISCO, CA 94110 TELEPHONE (415) 642-7722 F A X (415) 642-7590</p>	
<p>EXISTING FLOOR PLANS AND ELEVATIONS</p>	
<p>RESIDENTIAL REMODEL AND ADDITION</p> <p>114 RUSS STREET SAN FRANCISCO, CA, 94103 BLOCK / LOT: 3731 / 076</p>	
Date:	5/2/12
Scale:	AS NOTED
Drawn By:	R.S.
Job No:	--
Sheet:	EC2.1
SHEET 3 OF 10	

PROPOSED EAST (FRONT)
AND WEST (REAR)
ELEVATIONS

RESIDENTIAL REMODEL AND ADDITION

114 RUSS STREET
SAN FRANCISCO, CA, 94103
BLOCK / LOT: 3731 / 076

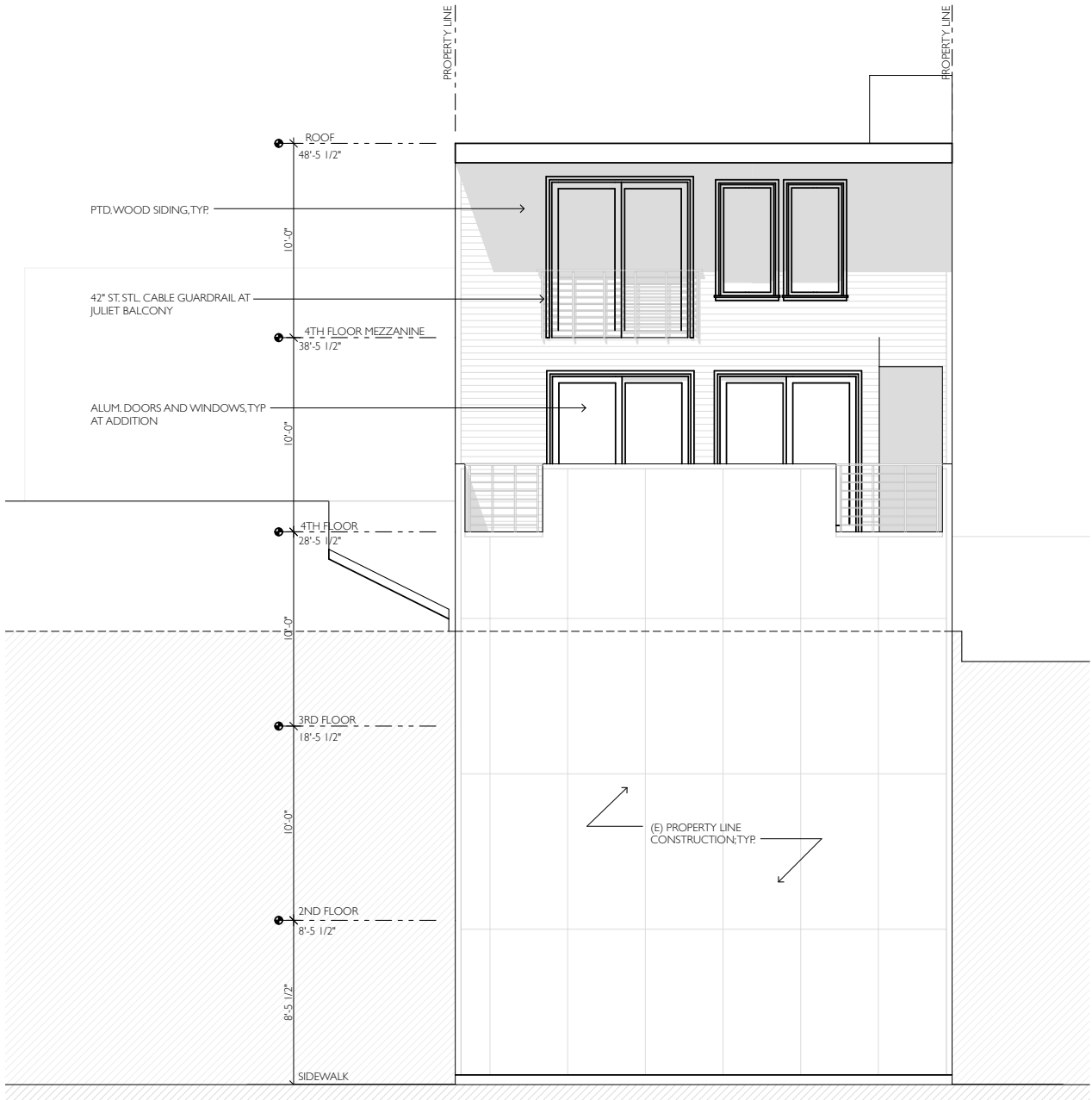
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Scale:AS NOTED

Drawn By:R.S.

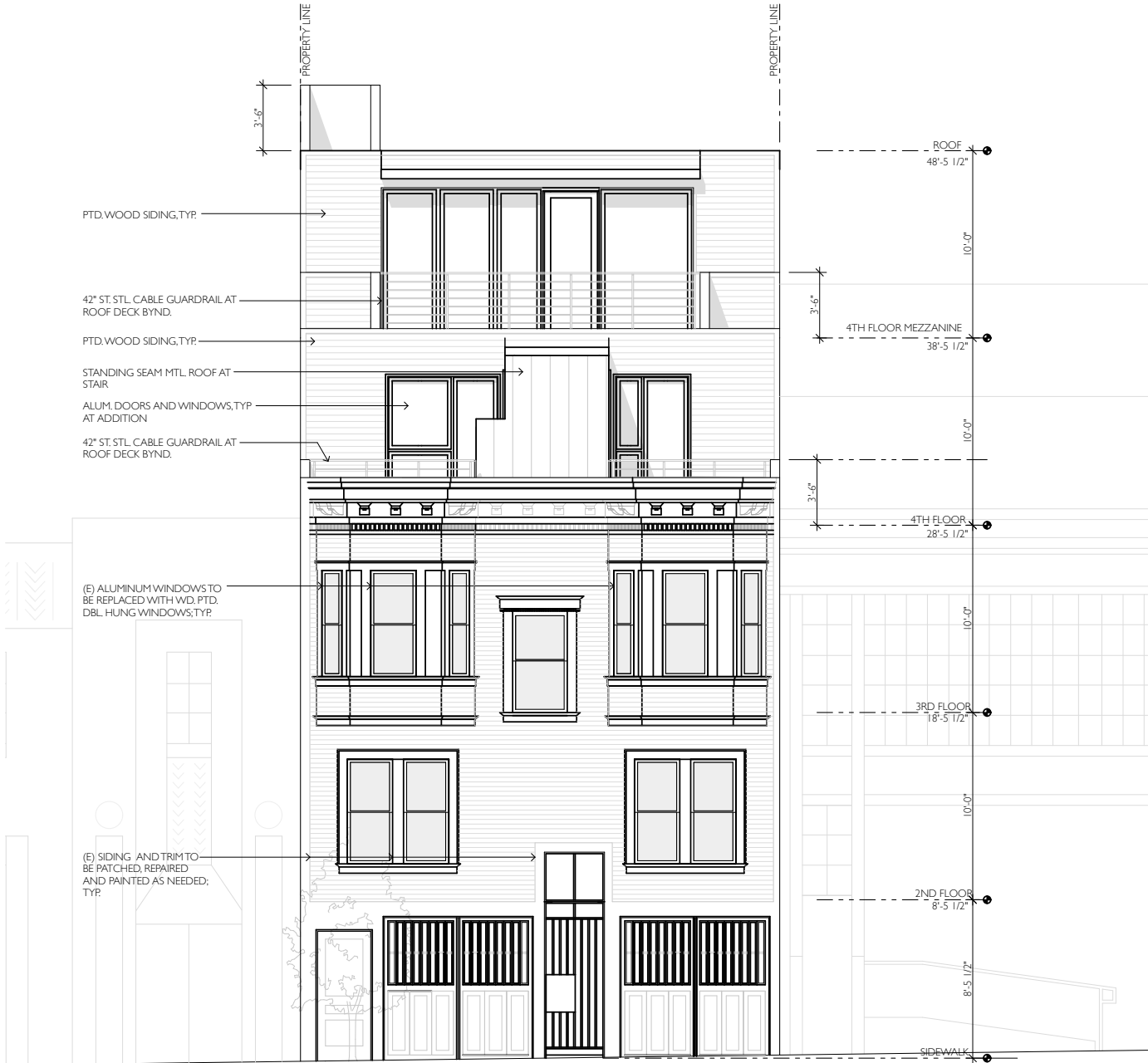
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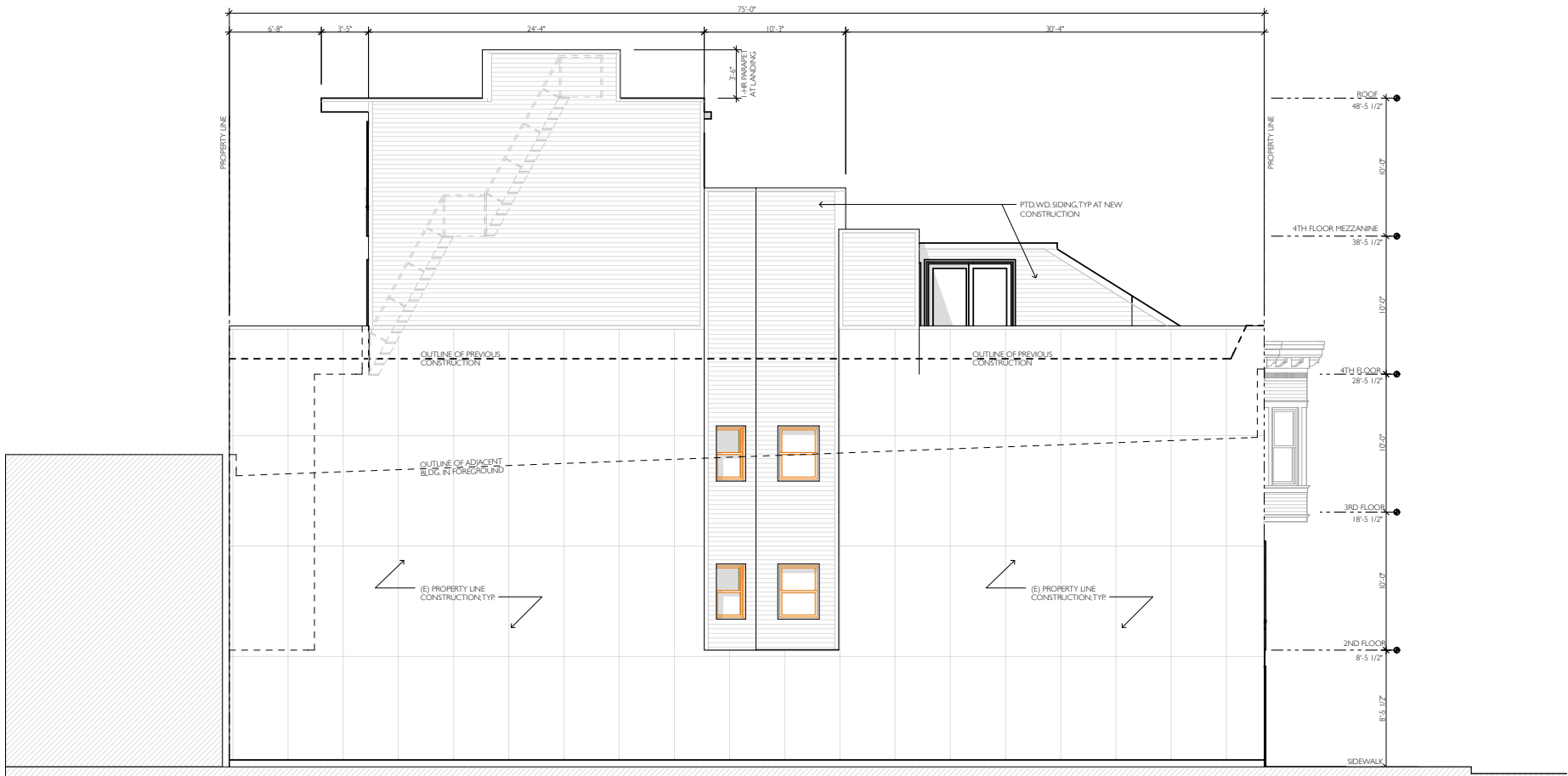
2 PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

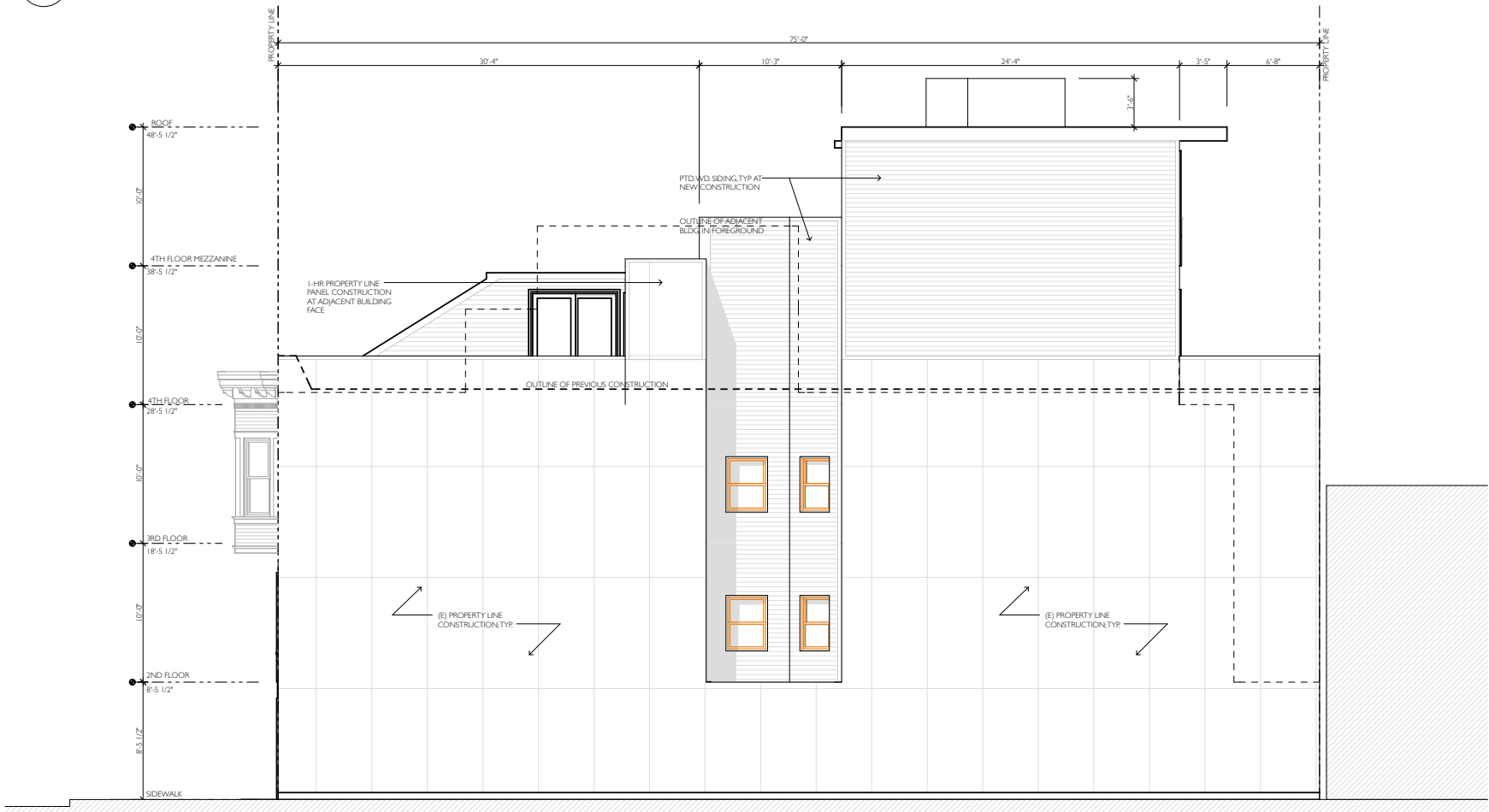


1 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/66.67



1 PROPOSED NORTH ELEVATION
SCALE: 1/66.67

PLAN CHECK REV.: 07.07.11

PLAN CHECK REV.: 07.28.11

DESIGN PROFESSIONAL:
SANTOS & URRUTIA
STRUCTURAL INC.
ENGINEERS
2451 HARRISON STREET
SAN FRANCISCO, CA 94110
TELEPHONE (415) 642-7722
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PROPOSED NORTH AND
SOUTH ELEVATIONS

RESIDENTIAL REMODEL AND ADDITION

114 RUSS STREET
SAN FRANCISCO, CA, 94103
BLOCK / LOT: 3731 / 076

Date: 5/2/12

Scale: AS NOTED

Drawn By: R.S.

Job No: - -

Sheet:

A3.2
SHEET 8 OF 10