



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 23, 2010**  
 Time: **Beginning at 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance (Rear Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>1269-1271 3rd Avenue</b>	Case No.: <b>2009.0759V</b>
Cross Street(s): <b>Hugo/Irving</b>	Building Permit: <b>2009.10.15.8989</b>
Block /Lot No.: <b>1752/005</b>	Applicant/Agent: <b>Helen Lam</b>
Zoning District(s): <b>RH-2 / 40-X</b>	Telephone: <b>(415) 777-0808</b>
Area Plan: <b>n/a</b>	E-Mail: <b>lckwan@sbcglobal.net</b>

## PROJECT DESCRIPTION

The proposal is to construct a 9-foot 6-inch horizontal addition at the rear of the existing partial fourth floor of the four-story, two-unit building.

**PER SECTION 134 OF THE PLANNING CODE**, when the depths of the adjacent buildings are used to determine the average rear yard line for a project, the last ten feet of the permitted building envelope as measured from the average rear yard line shall be limited to 30 feet in height.

The project proposes a solarium structure to be constructed at the rear of the existing partial fourth floor. As the project is proposed at a height of 38.5 feet (to align with the roof of existing fourth floor) and encroaches approximately 3 feet into the area that is limited to 30 feet in height, the project requires a variance from Section 134 of the Planning Code (rear yard).

## ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Glenn Cabreros** Telephone: **(415) 558-6169** E-Mail: [glenn.cabreros@sfgov.org](mailto:glenn.cabreros@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2009.0759V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. The mailing of such notification will be performed separately.

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

- VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, AND SOIL CONDITIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT THIS PROPERTY, AS WELL AS ADJACENT PROPERTIES.
- ALL CONSTRUCTION WORKS SHALL CONFORM TO THE REQUIREMENTS OF CBC 2007, AND/OR LOCAL BUILDING CODE.
- DO NOT SCALE THESE DRAWINGS.
- THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE CONSIDERED BY DETAIL DESIGN AND SHALL BE HELD RESPONSIBLE TO PROVIDE ALL THE MATERIALS AND LABOR NECESSARY FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED AND SHALL NOT AVOID HIMSELF MANIFESTLY OF ANY UNINTENTIONAL ERROR OR OMISSION SHOULD SUCH EXIST.
- SHOULD ANY ERROR OR INCONSISTENCY APPEAR OR OCCUR IN THE DRAWINGS, THE CONTRACTOR, BEFORE PROCEEDING WITH THE WORK, SHALL NOTIFY THE OWNER FOR PROPER ADJUSTMENT, AND IN NO CASE, SHALL PROCEED WITH THE WORK IN UNCERTAINTY.
- EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT AND BUILDING PERMITS, INCLUDING FACED BRICKWORK, FOUNDATION AND FOUNDING PERMITS.
- NO CHANGE OR ALTERATION OF DESIGN OR PLAN SHALL BE MADE WITHOUT THE APPROVED WRITTEN CONSENT FROM THE ARCHITECT AND/OR THE ENGINEER. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR ALTERATIONS MADE BY OR AGREED UPON BETWEEN THE OWNER AND THE CONTRACTOR.



City and County of San Francisco  
Department of Building Inspection

Gavin Newsom, Mayor  
Vivian L. Day, C.B.O., Acting Director

Pre-Application Meeting

Date: 12/03/2008  
Property Address: 1269-1271 Third Av.  
Block No: 1752 Lot No: 005  
Type of Construction: V-B  
Occupancy Classification: R3 (two dwelling units)

ATTENDEES:  
Applicants/Designers  
Helen Lam, Designer  
Simon P. Tao, Property Owner

DBI Staff  
Thomas La, PE

PROPOSED WORK:

Enclose the (E) roof deck on the fourth floor for an unconditioned solarium.

BACKGROUND:

Prior to 1990, the building was three stories without basement. In 1990, PA #8912547 allowed a fourth story addition in the rear portion of the building. Currently, building is a 4-story building without basement, with automatic fire sprinkler through the first story only.

FINDINGS:

1. The fourth story, where (N) extension occurs due to enclosing the (E) roof deck, shall be fully sprinklered per NFPA-13R.
2. Relocate the (E) emergency escape/rescue vertical ladder, from the (E) rear roof deck to the flat roof in front, that facing public way is acceptable.
3. Window providing required natural light for the master bedroom could be opened into the (N) solarium.
4. Lateral load strengthening for entire building is not triggered. However, gravity and lateral load paths from the (N) solarium addition shall be complying with current code down to foundation.

This decision is not to be used as a precedent since it is intended to apply only to this particular situation. Please copy this letter onto the cover sheet of each plan set submitted. Please be advised that this response is based upon the accuracy and completeness of information supplied by you or your representative to the Department of Building Inspection.

DBI  
*Thomas La*  
Thomas La, PE  
Plan Review Services

Plan Review Services  
1669 Mission Street - San Francisco CA 94103  
Office (415) 558-0088 - FAX (415) 558-4401  
Website: www.sfgov.org/dbi

BUILDING CODE:  
2007 CBC  
WITH SAN FRANCISCO AMENDMENT

BUILDING DATA

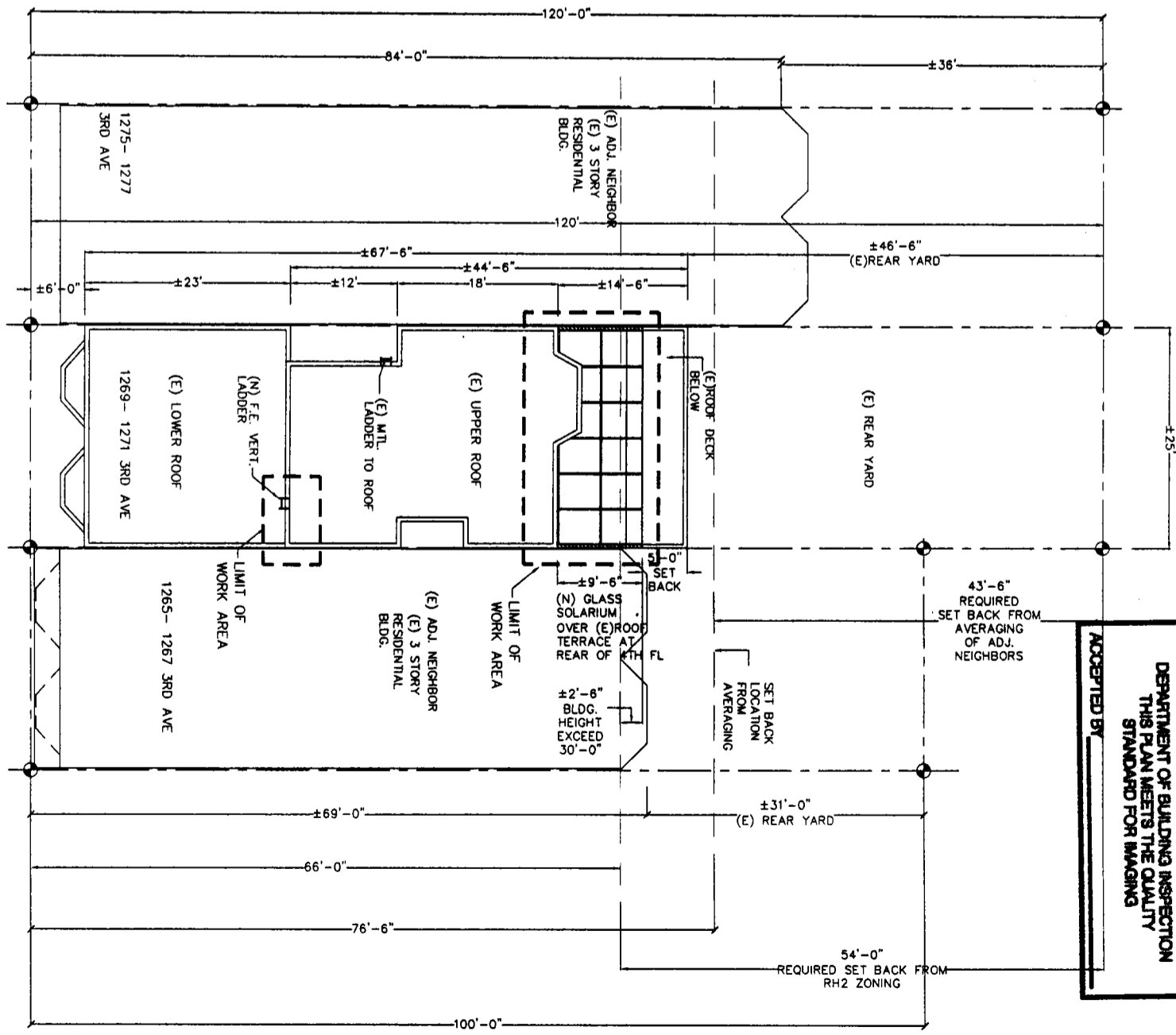
4 STORY TWO UNITS RESIDENTIAL  
OCCUPANCY R3  
THE V - B  
SPRINKLER - 0 (ESCAPE FLOOR CHANGE AND 1A FLOOR  
HAD SPRINKLER HEADS LOCATED AT EXISTING  
WOODEN FRAMING LIGHT COURT.  
PROPOSED TO ADD SPRINKLER HEADS TO  
COVER ENTIRE 4TH FLOOR ONLY. SPRINKLER  
PLAN WILL BE APPLIED UNDER SEPARATE  
PERMIT

SCOPE OF WORK

1. ADD A NEW GLASS SOLARIUM OVER PORTION OF EXISTING ROOF DECK AT REAR OF 4TH FLOOR
2. REMOVE AND RELOCATE VERTICAL ESCAPE LADDER TO ROOF LEVEL AT REAR OF 4TH FLOOR TO FRONT OF 4TH FLOOR

INDEX

- A1 PLAN & NOTES
- A2 PLAN
- A3 ELEVATIONS
- S1 SECTIONS, PLANS & NOTES



**PLAN REVISION**

MAY 27 2010

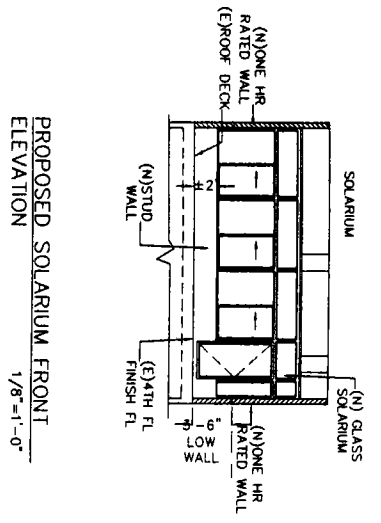
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR IMAGING

ACCEPTED BY \_\_\_\_\_

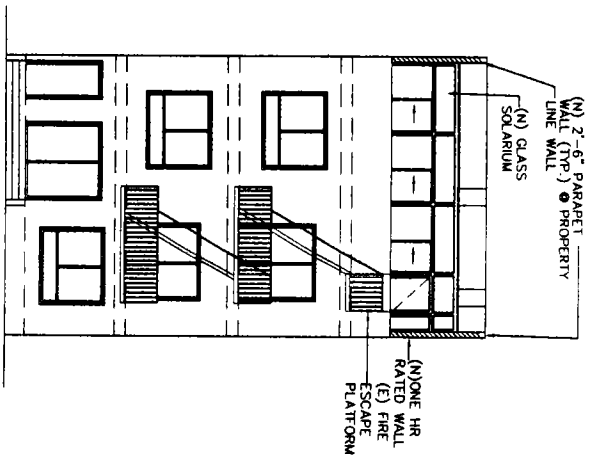
SITE PLAN SCALE 1/8"=1'-0" N

REVISION ① 5/24/10	<p>KWAN &amp; ASSOCIATES STRUCTURAL/CIVIL ENGINEERS 307 5th Street, Suite 6 San Francisco, CA 94107 Tel: (415) 777-0808 Fax: (415) 777-3881 e-Mail: Lekwan@abglobal.net</p>	<p>2009/10/15/8989</p>	<p>BLOCK 1752 LOT 005</p>	<p>PLAN &amp; NOTES</p> <p>1269-1271 3RD AVENUE SAN FRANCISCO, CA</p>	DATE JAN 2009	SCALE A.N.	DRAWN HL	JOB NO P-3547	SHEET	A1	OF SHEET

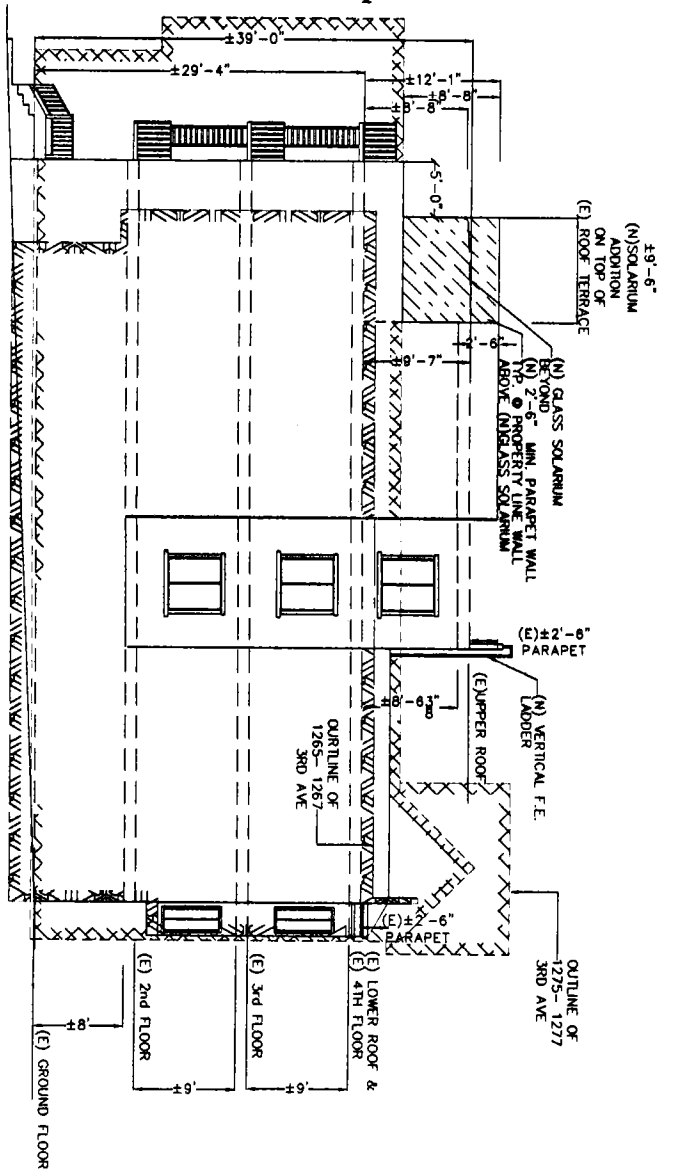
2009 10/15 8989 / R1



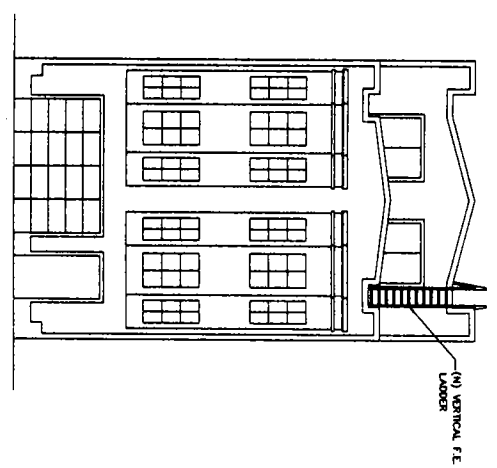
PROPOSED SOLARIUM FRONT ELEVATION  
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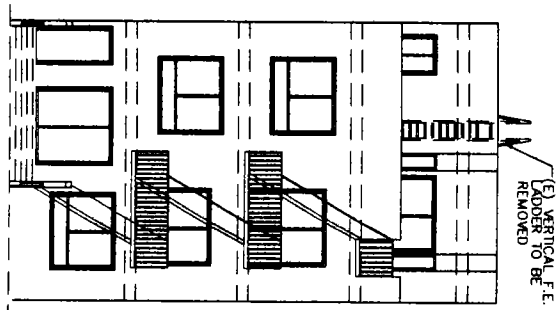
PROPOSED REAR ELEVATION  
1/8"=1'-0"



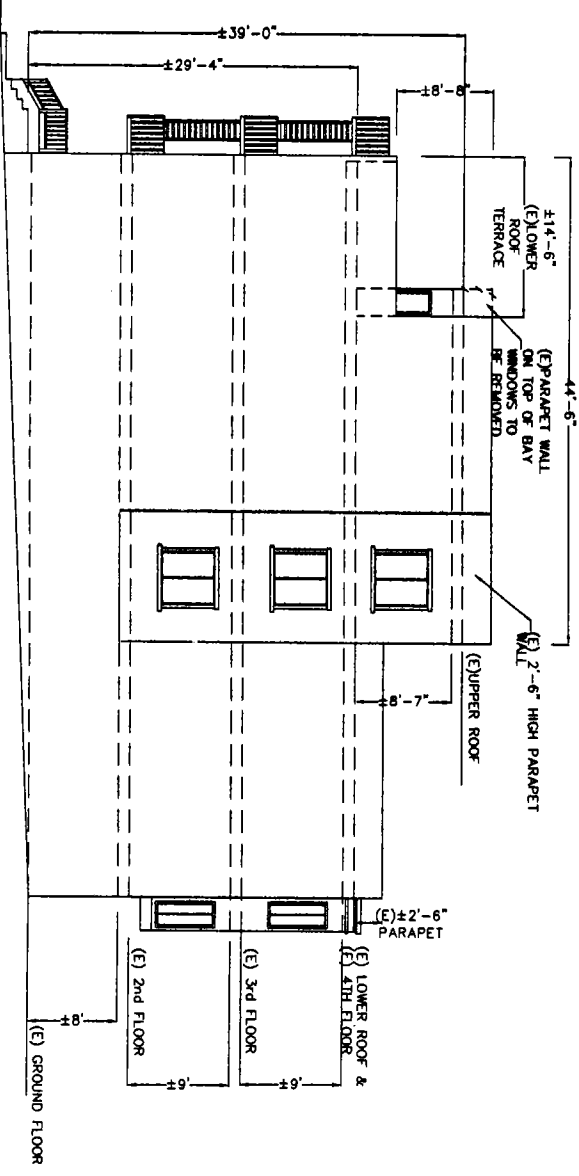
PROPOSED SIDE ELEVATION  
1/8"=1'-0"



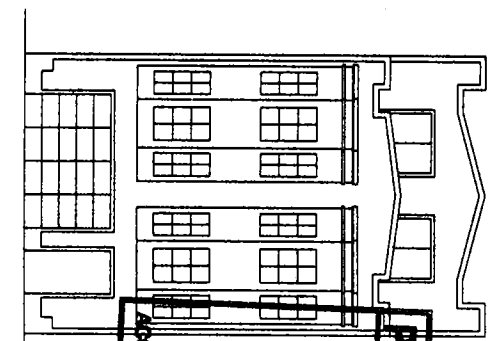
PROPOSED FRONT ELEVATION  
1/8"=1'-0"



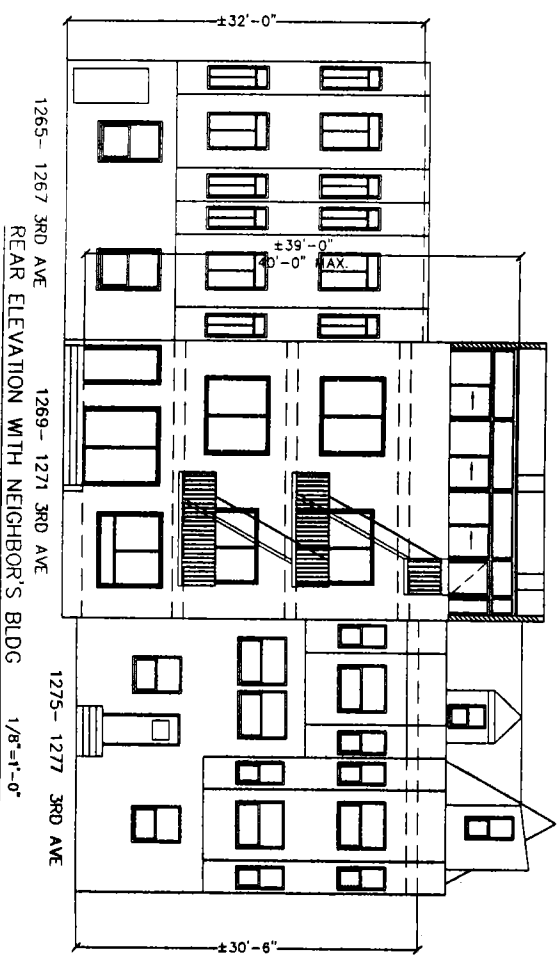
EXISTING REAR ELEVATION  
1/8"=1'-0"



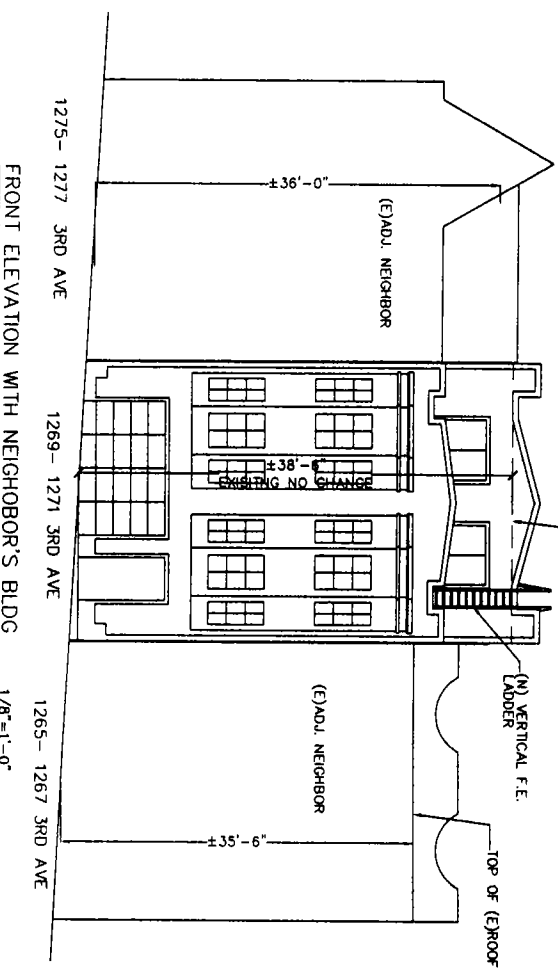
EXISTING SIDE ELEVATION  
1/8"=1'-0"



EXISTING FRONT ELEVATION  
1/8"=1'-0"

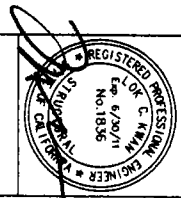


REAR ELEVATION WITH NEIGHBOR'S BLDG  
1/8"=1'-0"



FRONT ELEVATION WITH NEIGHBOR'S BLDG  
1/8"=1'-0"

**PLAN REVISION**  
MAY 27 2010  
DEPARTMENT OF BUILDING INSPECTION  
THIS PLAN MEETS THE QUALITY  
STANDARD FOR IMAGING  
ACCEPTED BY



**REVISION**  
1 05/24/10

**KWAN & ASSOCIATES**  
STRUCTURAL/CIVIL ENGINEERS  
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ELEVATIONS  
1269-1271 3RD AVENUE  
SAN FRANCISCO, CA

DATE JAN 2009  
SCALE A.N.  
DRAWN HL  
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SHEET  
A3  
OF SHEET