



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 26, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	628 Lake Street	Case No.:	2010.0159V
Cross Street(s):	7th Ave/8th Ave	Building Permit:	2010.03.15.8261
Block /Lot No.:	1351/020	Applicant/Agent:	Bryan Fox
Zoning District(s):	RM-2 / 40-X	Telephone:	(415) 931-9124
Area Plan:	n/a	E-Mail:	bryan@five-design.com
PROJECT DESCRIPTION			
The proposal is to construct an approximately 13' wide, two-story rear horizontal addition at the east side property line. The ground (first) floor will extend approximately 19' into the rear yard and the second floor will extend approximately 8.5' into the rear yard. The proposal also includes a deck above the extended ground floor and spiral staircase to access the rear yard from the deck. PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 27 feet. The proposed rear addition would encroach approximately 10 feet into the required rear yard and the proposed spiral staircase would encroach another 6' into the required rear yard.			
ADDITIONAL INFORMATION			
FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Aaron Starr Telephone: (415) 558-6362 E-Mail: aaron.starr@sfgov.org			
ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0159V.pdf			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS

ADJ	ADJUSTABLE	(N)	NEW
ALUM	ALUMINUM	NIC	NOT IN CONTRACT
ARCH	ARCHITECTURE	NO OR	NUMBER
ASPH	ASPHALT	#	
BD	BOARD	O/	OVER
BDLG	BUILDING	OC	ON CENTER
BLK	BLOCK	OD	OUTER DIAMETER
BLKG	BLOCKING	OFCl	OWNER FURNISHED, CONTRACTOR
BM	BEAM		INSTALLED
B.O.	BOTTOM OF	OFOI	OWNER FURNISHED, CONTRACTOR
BU	BUILT-UP		OWNER INSTALLED
		OPNG	OPENING
CLG	CEILING	PL	PLATE
CLR	CLEAR	PLYWD	PLYWOOD
CNTL	CONTROL	PT	PRESSURE TREATED
CONC	CONCRETE	PT	POINT
CONT	CONTINUOUS		
CTR	CENTER	R	RADIUS
		RA	RETURN AIR
DBL	DOUBLE	RDWD	REDWOOD
DF	DOUGLAS FIR	REF	REFERENCE
DIM	DIMENSION	REG	REGISTER
DN	DOWN	REQ	REQUIRED
DP	DOUBLE POLE	RET	RETURN
DS	DOWNSPOUT	RM	ROOM
DWG	DRAWING	S	SOUTH
		SA	SUPPLY AIR
(E)	EXISTING	SAD	SEE ARCHITECTURAL
E	EAST		DRAWING
EA	EACH	SED	SEE ELECTRICAL
ELEC	ELECTRICAL		DRAWING
ELEV	ELEVATION	SF	SUBFLOOR
EQ	EQUAL	SHT	SHEET
EXP	EXPOSED	SHTG	SHEATHING
EXT	EXTERIOR	SKD	SEE KITCHEN
			DRAWING
FDN	FOUNDATION	SLD	SEE LIGHTING
FF	FINISH FLOOR		DRAWING
FIN	FINISH	SMD	SEE MECHANICAL
FL	FLOOR		DRAWING
FOC	FACE OF CONCRETE	SP	SINGLE POLE
FOF	FACE OF FINISH	SPD	SEE PLUMBING
FOS	FACE OF STUD		DRAWING
FOP	FACE OF PLYWOOD	SQ	SQUARE
FURN	FURNACE	SS	SINGLE SHELF
		SSD	SEE STRUCTURAL
			DRAWING
GA	GAUGE	STD	STANDARD
GALV	GALVANIZED	T&G	TONGUE AND
GND	GROUND		GROOVE
GYP	GYPSUM BOARD	TO	TOP OF
		TOFF	TOP OF FINISH FLR
		TOP	TOP OF PLATE
HB	HOSE BIB	TOS	TOP OF SLAB
HC	HOLLOW CORE	TOW	TOP OF WALL
HDR	HEADER	TP	TOILET PAPER
HR STL	HOT-ROLLED STEEL		HOLDER
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	TR	TOWEL RACK
HW	HOT WATER HEATER	Typ	TYPICAL
		UON	UNLESS OTHERWISE NOTED
ICPV	INTEGRAL COLOR PLASTER VENEER	VERT	VERTICAL
INSUL	INSULATION	VIF	VERIFY IN FIELD
INT	INTERIOR		
LAM	LAMINATE	W	WEST
LT	LIGHT	W/	WITH
		W/O	WITHOUT
MANUF	MANUFACTURER	WC	WATER CLOSET
MAX	MAXIMUM	WD	WOOD
MC	MEDICINE CHEST	WIND	WINDOW
MECH	MECHANICAL	WP	WATERPROOF
MEMB	MEMBRANE		
MIN	MINIMUM		
MTL	METAL		

GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS, THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL PLUMBING AND MECHANICAL CODE, LATEST ADOPTED EDITION (2007) OF THE CALIFORNIA BUILDING CODE, AND ALL APPLICABLE LOCAL AND STATE LAWS AND ORDINANCES. NOTHING ON THE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2. ALL CONDITIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMILAR TO THOSE SHOWN OR IMPLIED OR SHALL MATCH EXISTING CONDITIONS.

3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR NEW OR EXISTING BUILDINGS. REFER TO SPECIFIC REGULATIONS AND MANDATORY FEATURES AND DEVICES AS NOTED IN THE ENERGY PERFORMANCE CALCULATIONS INCLUDED ELSEWHERE IN THESE DOCUMENTS.

4. THE CONTRACTOR SHALL COMPLETE AND PERFORM ALL WORK IN A GOOD, PROFESSIONAL MANNER AT A LEVEL, QUALITY, AND TOLERANCE CONSISTENT WITH THE STANDARDS OF THE CONSTRUCTION INDUSTRY. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL INTENT OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.

5. ALL PLAN NOTES IMPLY THE WORDS "THE CONTRACTOR SHALL" OR "THE CONTRACTOR SHALL INSTALL" WHICH EVER IS APPLICABLE. ITEMS LABELED "EXISTING," "EXTG.," OR "(E)" ARE EXISTING AND SHALL REMAIN. ALL OTHER ITEMS AND NOTES NOT LABELED OR IDENTIFIED AS EXISTING SHALL BE CONSIDERED NEW AND SHALL BE PROVIDED BY THE CONTRACTOR.

6. ALL DIMENSIONS TAKE PRECEDENT OVER SCALE. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS WITH THE INTENT OF DETERMINING EXACT PLACEMENT OR LOCATION OF PARTICULAR ASSEMBLIES. ALL DIMENSIONS ARE TO BE FACE OF FINISH UNLESS OTHERWISE NOTED.

7. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. REPORT ANY DISCREPANCIES TO DESIGNER FOR RESOLUTION. DISCREPANCIES BETWEEN DESIGNER'S, ENGINEER'S OR MANUFACTURER'S CONSTRUCTION DETAILS SHALL BE RESOLVED TO SATISFY THE MOST STRINGENT REQUIREMENT.

8. CONTRACTOR TO MAINTAIN ALL PROPER WORKER'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT DURATION OF CONSTRUCTION.

SITE LOCATION

PROJECT INFORMATION

PROJECT ADDRESS

628 LAKE STREET
SAN FRANCISCO, CA 94118

ZONING

RM-2

OCCUPANCY

R3

CONSTRUCTION TYPE

EXISTING: V B
NEW: V B

APPLICABLE CODES

2007 CALIFORNIA BUILDING CODE
2007 CALIFORNIA MECHANICAL CODE
2007 CALIFORNIA FIRE CODE
2007 CALIFORNIA PLUMBING CODE
2007 CALIFORNIA ELECTRIC CODE
2007 ENERGY CODE

PROJECT DESCRIPTION

2 LEVEL REAR HORIZONTAL ADDITION WITH NEW DECK AND METAL SPIRAL STAIR.

NEW INTERIOR AREA = 367 S.F.
NEW EXTERIOR DECK = 133 S.F.

RENOVATIONS TO THE
GREEN RESIDENCE
628 LAKE STREET
SAN FRANCISCO, CALIFORNIA 94118

SHEET INDEX

A0.1

COVER SHEET/PLOT PLAN

A2.1

EXISTING AND PROPOSED FIRST FLOOR PLANS

A2.2

EXISTING AND PROPOSED SECOND FLOOR PLANS

A2.3

EXISTING AND PROPOSED THIRD FLOOR PLANS

A4.1

EXISTING AND PROPOSED REAR ELEVATIONS

A4.2

EXISTING AND PROPOSED WEST ELEVATIONS

A5.1

PROPOSED BUILDING SECTION

PROJECT DIRECTORY

OWNER

JEREMY AND KATHRYN GREEN
628 LAKE STREET
SAN FRANCISCO, CA 94118
TEL. (415) 933-8151

BUILDER:

T.B.D.

(415)

DESIGNER

FIVE DESIGN
BRYAN FOX/CLAIRE BEASLEY
651 B SCOTT STREET
SAN FRANCISCO, CA 94117
TEL. (415) 931-9124
FAX (415) 334-3335

CAL LIC. #

PLOT PLAN

8

4

3

1

2

7

5

6

LAKE STREET

NORTH

14'-11" SIDEWALK

BLOCK = 1351
LOT = 020
ADDRESS = 628 LAKE STREET

1

PLOT PLAN W/ PROPOSED ADDITION

A0.1

1/8" = 1'-0"

five

651 B Scott Street
San Francisco, CA 94117

415.931.9124 V

415.354.3335 F

3/15/10

SITE PERMIT SET

2/23/10

PRE APP MEETING

ISSUED

DESCRIPTION

THE GREEN RESIDENCE
628 LAKE STREET
SAN FRANCISCO, CA 94118

DRAWING TITLE

COVER SHEET

By

SCALE

NO SCALE

DRAWING No.

A0.1

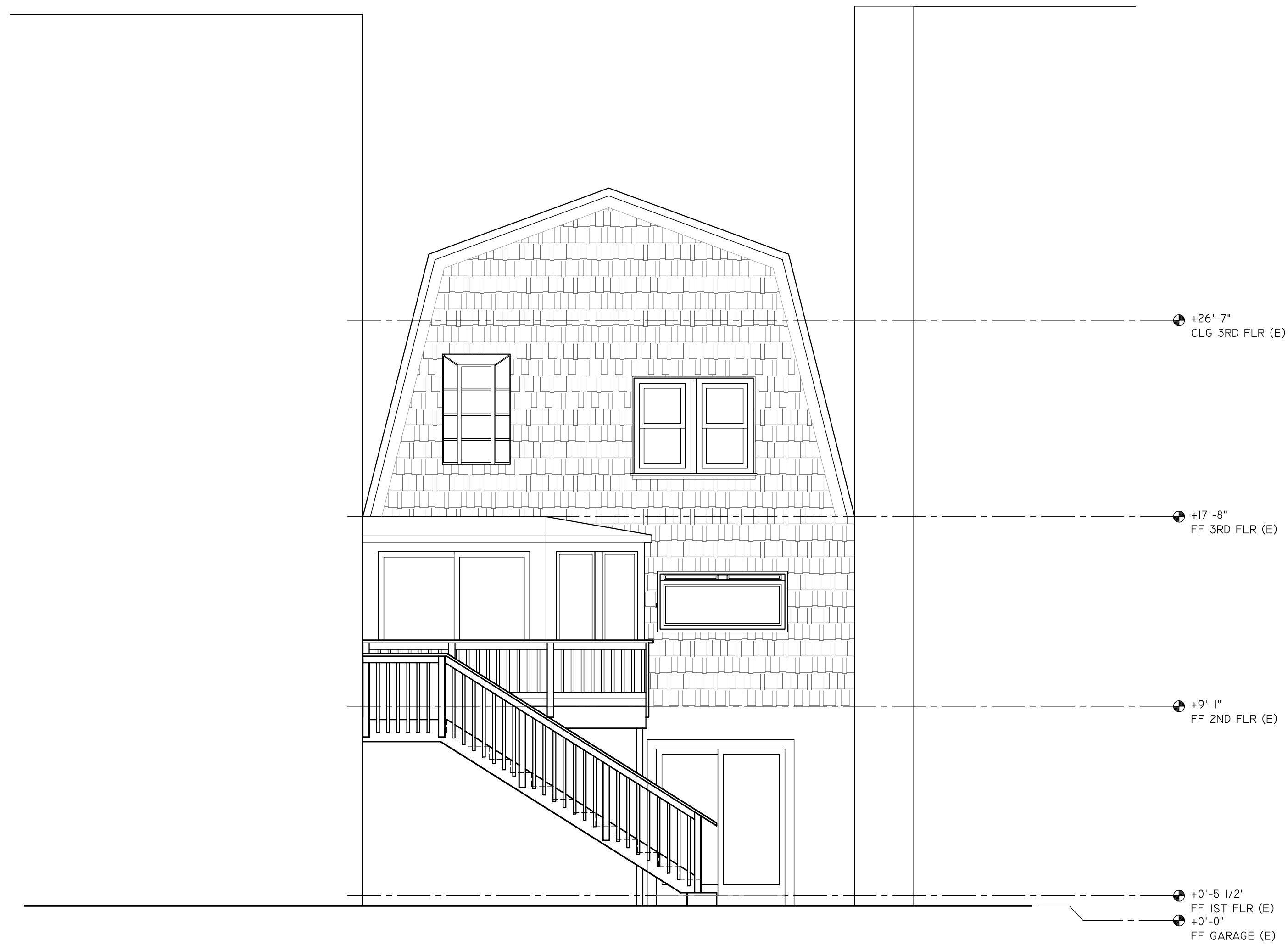
3/2/10	SITE PERMIT SET
2/23/10	PRE APP MEETING
ISSUED	DESCRIPTION

THE GREEN RESIDENCE
628 LAKE STREET
SAN FRANCISCO, CA 94118

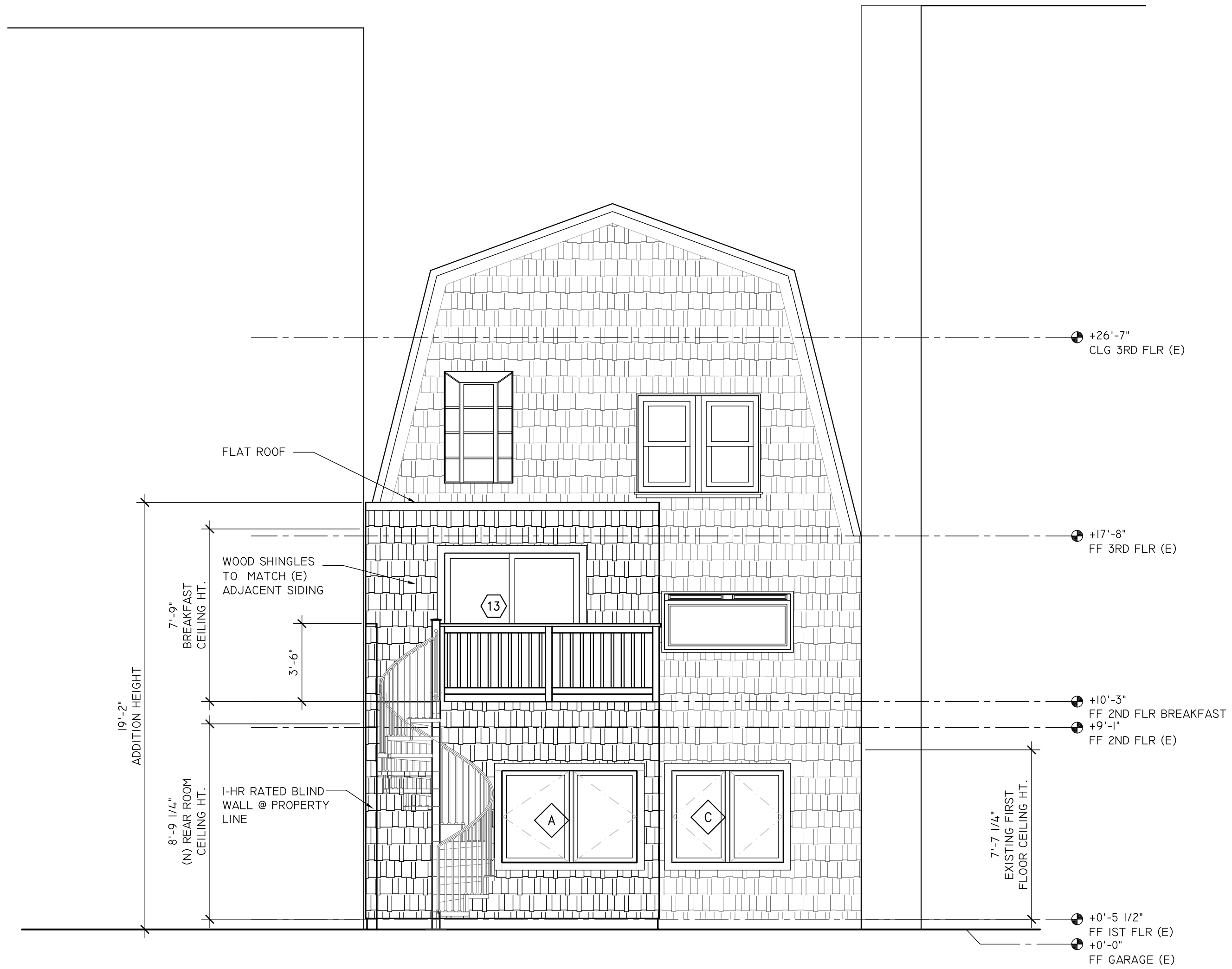
DRAWING TITLE
EXISTING &
PROPOSED
ELEVATIONS

BY BF
SCALE 1/4"=1'-0"
DRAWING No.

A4.1



1 REAR ELEVATION - EXISTING
A4.1 1/4" = 1'-0"



2 REAR ELEVATION - PROPOSED
A4.1 1/4" = 1'-0"

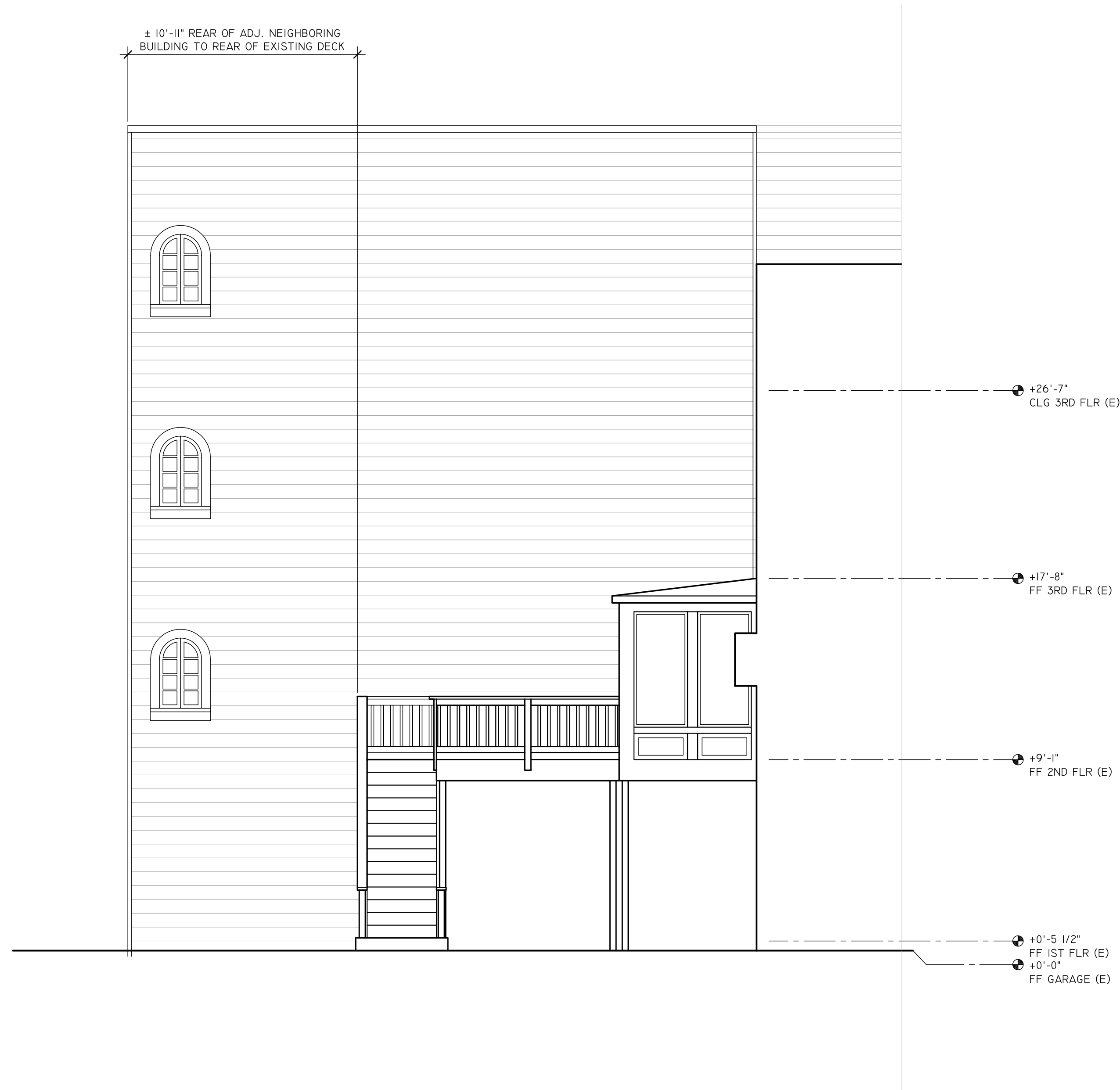
3/15/10	SITE PERMIT SET
2/23/10	PRE-APP MEETING
ISSUED	DESCRIPTION

THE GREEN RESIDENCE
628 LAKE STREET
SAN FRANCISCO, CA 94118

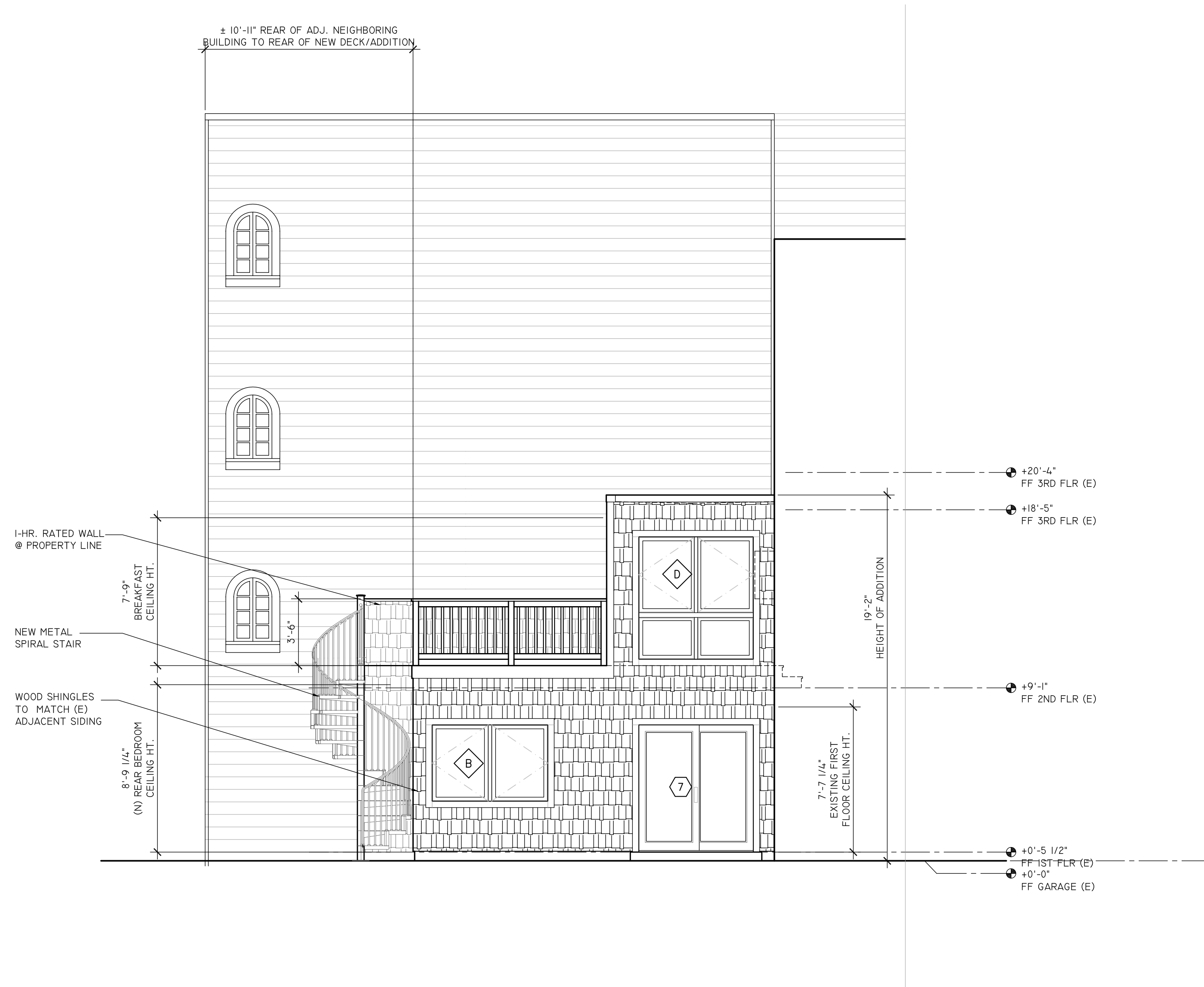
DRAWING TITLE
EXISTING &
PROPOSED
ELEVATIONS

BY BF
SCALE 1/4"=1'-0"
DRAWING No.

A4.2



1 WEST ELEVATION - EXISTING
A4.2 1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED
A4.2 1/4" = 1'-0"

five

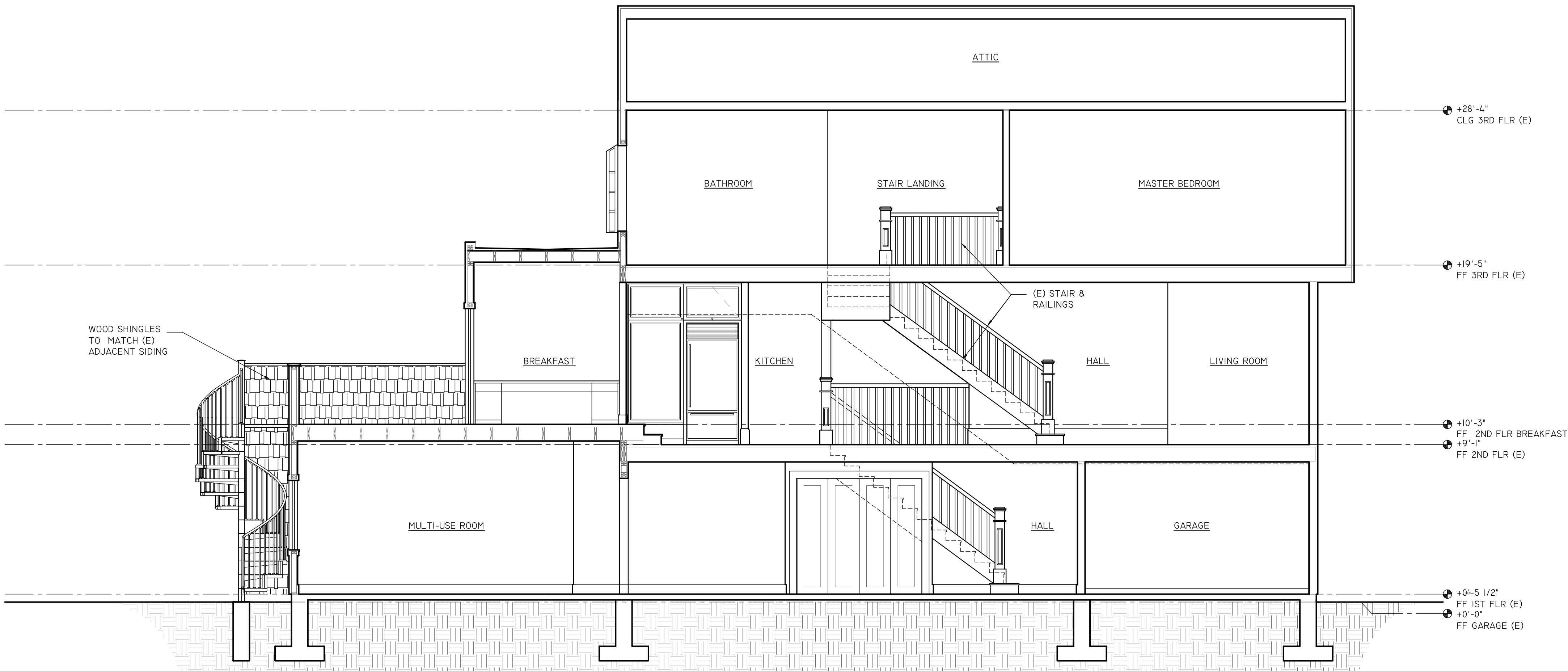
651 B Scott Street
San Francisco, CA 94117

415.931.9124 V
415.354.3335 F

3/15/10	SITE PERMIT SET
4/28/10	REVIEW
ISSUED	DESCRIPTION

THE GREEN RESIDENCE
628 LAKE STREET
SAN FRANCISCO, CA 94118

DRAWING TITLE	
PROPOSED BUILDING SECTION	
BY	CB
SCALE	1/4"=1'-0"
DRAWING No.	



I | PROPOSED BUILDING SECTION
A5.1 | 1/4" = 1'-0"