



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 23, 2010**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 877 Alvarado Street	Case No.: 2010.0331V
Cross Street(s): Douglass & Hoffman Avenues	Building Permit: 2009.11.12.1025
Block /Lot No.: 2802/035	Applicant/Agent: Anthony Johnson
Zoning District(s): RH-2 / 40-X	Telephone: (415) 305-4045
Area Plan: N/A	E-Mail: mez-con@earthlink.net

PROJECT DESCRIPTION

The project is to legalize the reconstruction of a deck and staircase structure located at the rear of an existing three-story, single-family dwelling. The rear deck and staircase structure is approximately 10 feet above grade with 3.5 feet high open railings above. The deck and staircase will be setback 3 feet from the side property lines.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 53 feet. The rear deck structure proposed for legalization encroaches approximately 15 feet into the required rear yard and results in a rear yard of 36 feet; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

PER SECTION 188 OF THE PLANNING CODE a non-complying structure can be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The proposal to legalize the deck and staircase requires a variance because this reconstructed structure is larger than what previously existed.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **(415) 575-9079** E-Mail: **adrian.putra@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0331V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. *On 6/4/10, the Department issued the required Section 311/312 notification for this project (expires 7/4/10).*

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

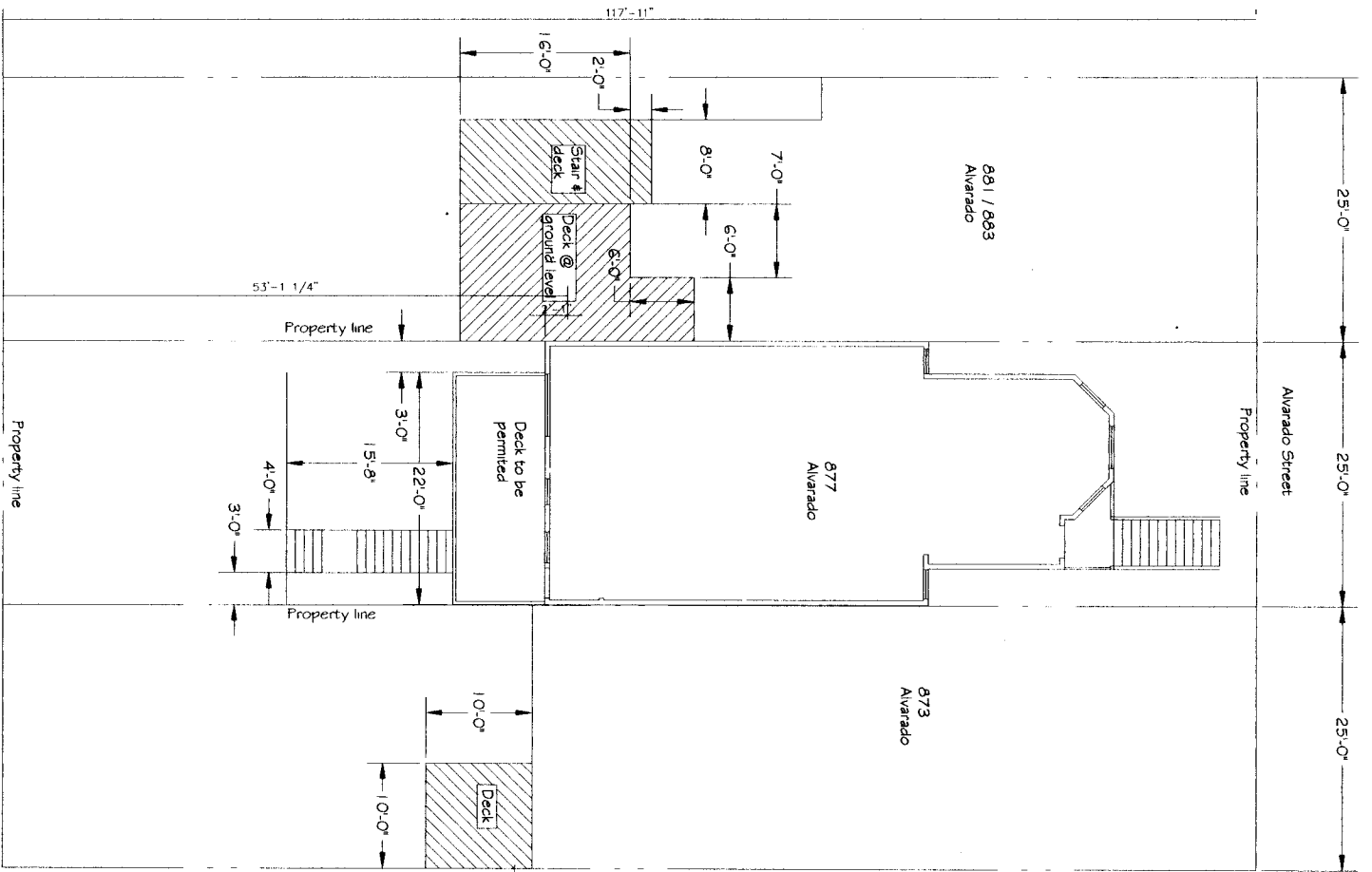
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

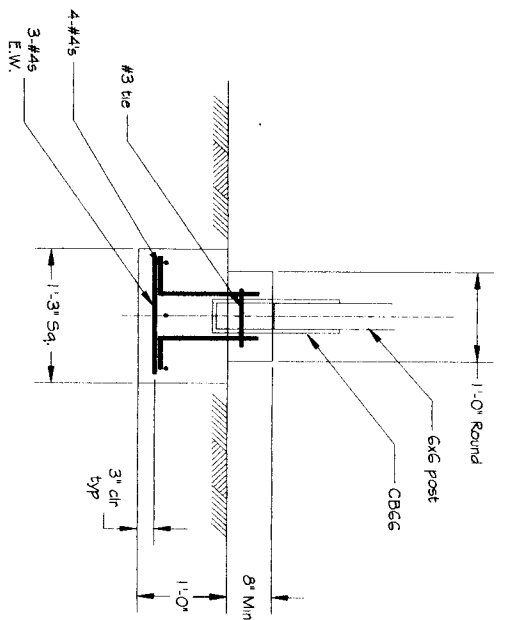
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



Site Plan
Scale: 1/8" = 1'-0"



Footing F-1 Section
Scale: 1" = 1'-0"

Scope of Work:
Remove existing deck to be permitted
Relocate door and window

SEISMIC UPGRADE NOTE:
The changes made to this structure do not exceed the 30 percent requirements of Section 3403.2.3 of the SF code for those areas tributary to the vertical load carrying components.

CONCRETE NOTES:

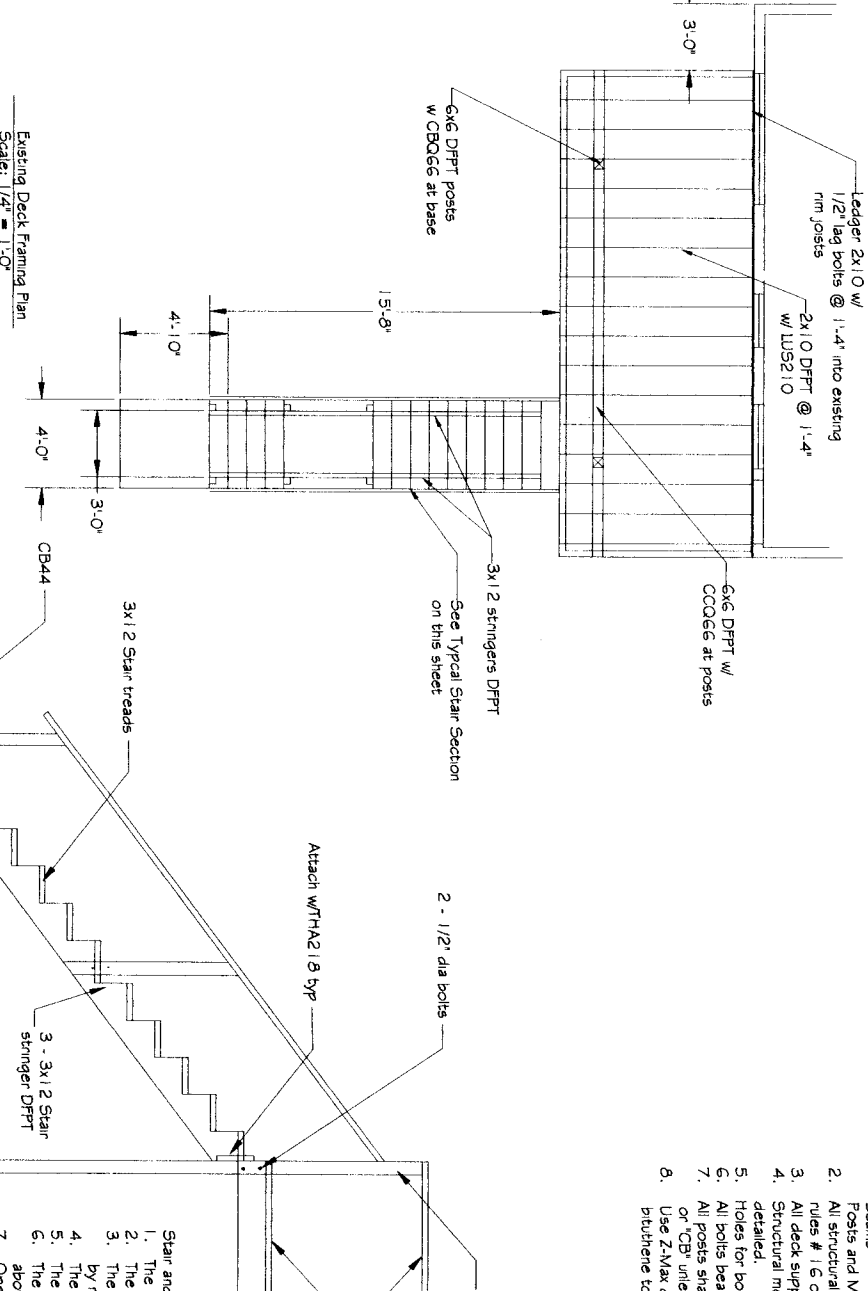
1. All reinforced concrete shall obtain a compressive strength of 2500 psi at 28 days. (Note: Special inspection is not required since $f_c = 2500$ psi is used in design).
2. All cement shall conform to ASTM C-150, Type 1.
3. Aggregate shall conform to ASTM C-33.
4. See drawings for misc. steel, etc., to be casted in concrete and for location of floor finishes and slab depressions.
5. Pipes and ducts exceeding one-third the slab or wall thickness shall not be placed in structural concrete unless specifically detailed.
6. Pipes may pass through structural concrete in sleeves only.
7. The strength level of the concrete will be considered satisfactory if the average of the strength of the compression tests equals or exceeds the specified strength at 28 days, with no individual strength test of such area or panel less than 5% below that specified. Concrete that does not meet or exceed these criteria will be removed by the Contractor and replaced with concrete that conforms to these criteria.
8. Provide 3/4" chamfer at all exposed corners.

REINFORCING STEEL NOTES:

1. All reinforcing steel shall conform to ASTM A615, Grade 40.
2. Dowels shall be provided at pour construction joints and shall be the same size and detailed with standard lap splices.
3. Splices in adjacent horizontal wall reinforcement bars shall be staggered 4'-0" minimum unless otherwise noted.
4. All reinforcing, anchor bolts, and other inserts shall be secured in place prior to placing concrete or grout.
5. All continuous bars or dowels shall lap 40 diameters.
6. Provide dowels in footings and/or grade beams the same size and number as vertical wall or column reinforcing. Dowels shall have a min. projection equal to standard lap splice unless otherwise noted.
7. Provide the following minimum protective covering of concrete. Below grade: (unformed) 3" clear and (formed) 2" clear.

DECK LUMBER NOTES:

1. All lumber shall be Douglas Fir of the following grade unless noted otherwise (or equivalent grade of another species):
Posts and Mullions No. 2 or better
Rafters and Joists No. 2 or better
Beams and Mullions No. 2 or better
2. All structural lumber shall be graded in accordance with grading and dressing rules # 1-G of the West Coast Lumberman's Association.
3. All deck support wood shall be pressure treated Douglas Fir, unless noted otherwise.
4. Structural members shall not be cut for pipes, etc., unless specifically noted or detailed.
5. Holes for bolts shall be bored 1/32" to 1/16" larger than the nominal bolt diameter.
6. All bolts bearing on wood shall have washers under head and/or nuts.
7. All posts shall have connectors at top and bottom, which shall be Simpson "CC" or "CP" unless specifically detailed otherwise.
8. Use Z-Max galvanized connectors and nails (if galvanized it shall be G 185) or use bluthtene to separate connectors and wood for all exterior connections.



Typical Stair Section
Scale: none

Stair and Handrail Notes

1. The rise of steps shall be not less than 4" or greater than 8".
2. The run shall be not less than 9" measured from nosing to nosing.
3. The largest run within any flight of stairs shall not exceed the smallest by more than 3/8".
4. The largest rise in any run shall not exceed the smallest by more than 3/8".
5. The stair handrail shall be not less than 1-1/2" nor more than 2" in cross section.
6. The top of the stair handrail shall be not less than 34" nor more than 38" above the nosing of treads and landings.
7. Open quadrants shall have intermediate rails or posts such that a sphere 4" in diameter cannot pass through.

Existing Deck Framing Plan
Scale: 1/4" = 1'-0"

Notes, Site Plan
Deck Framing Plan

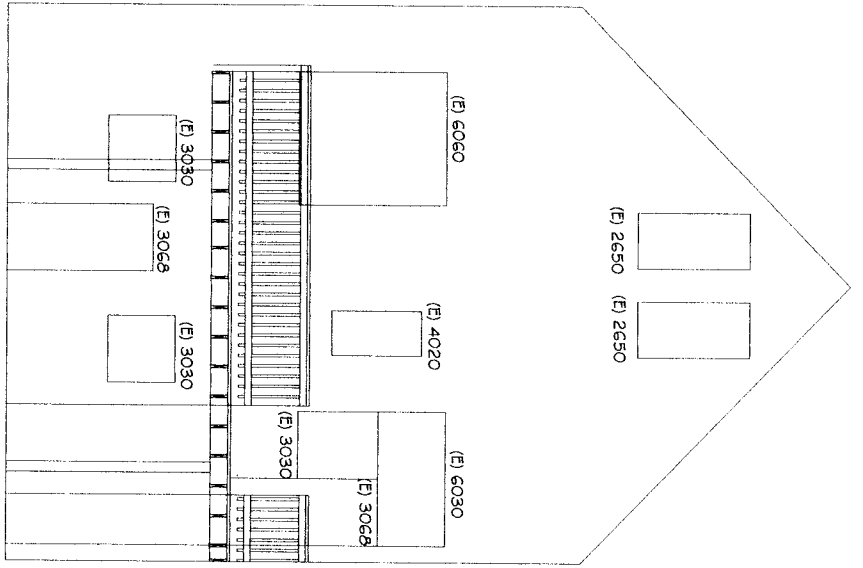
S-1

JOB # 3784 A
11/10/09

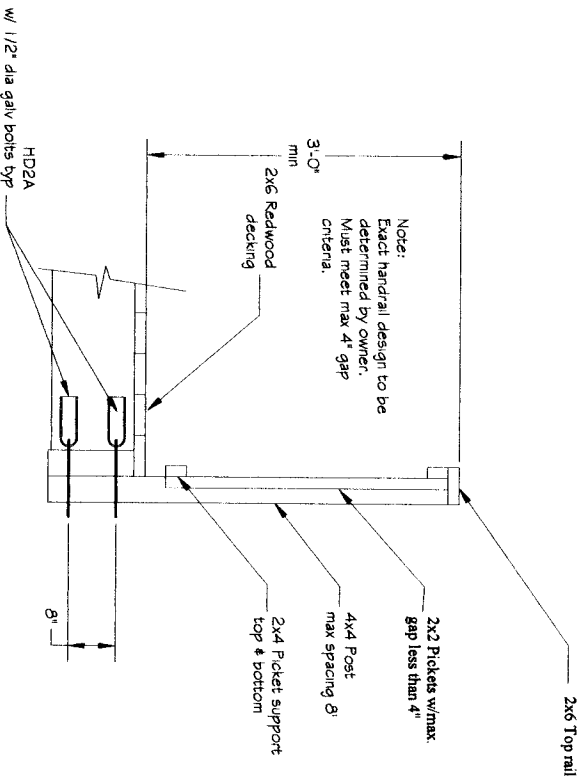
Deck for Rear of House at
877 Alvarado Street, San Francisco, CA



MERCURY ENGINEERING
1041A Folger Ave., Berkeley CA 94710
510.549.0440 fax: 510.704.1975

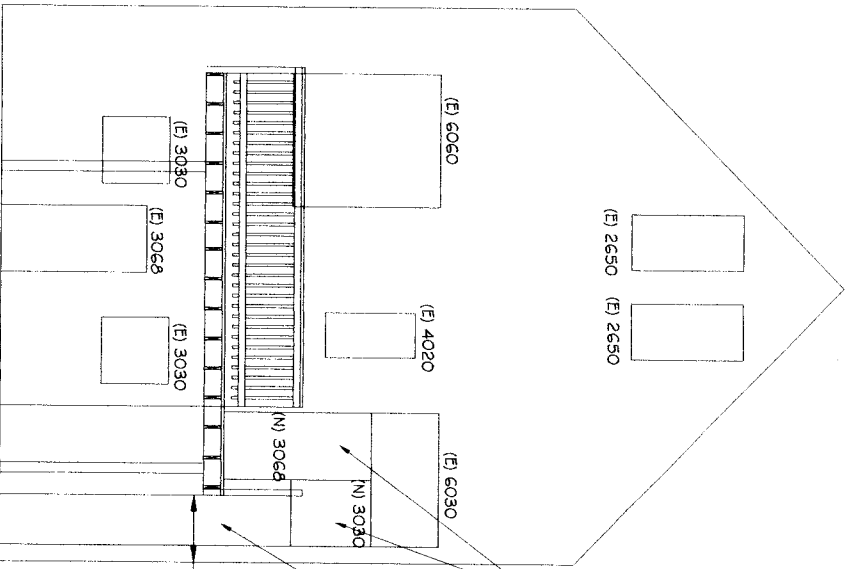


Existing Rear Elevation
Scale: 1/4" = 1'-0"

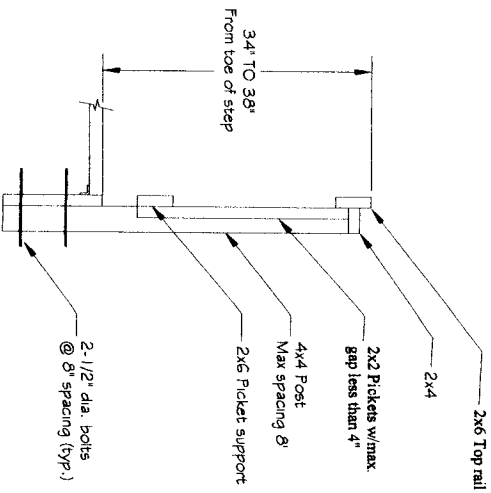


Handrails
1. Open guardrails shall have intermediate rails or posts such that a sphere 4" in diameter cannot pass through.

Proposed Deck Handrail Section
NTS

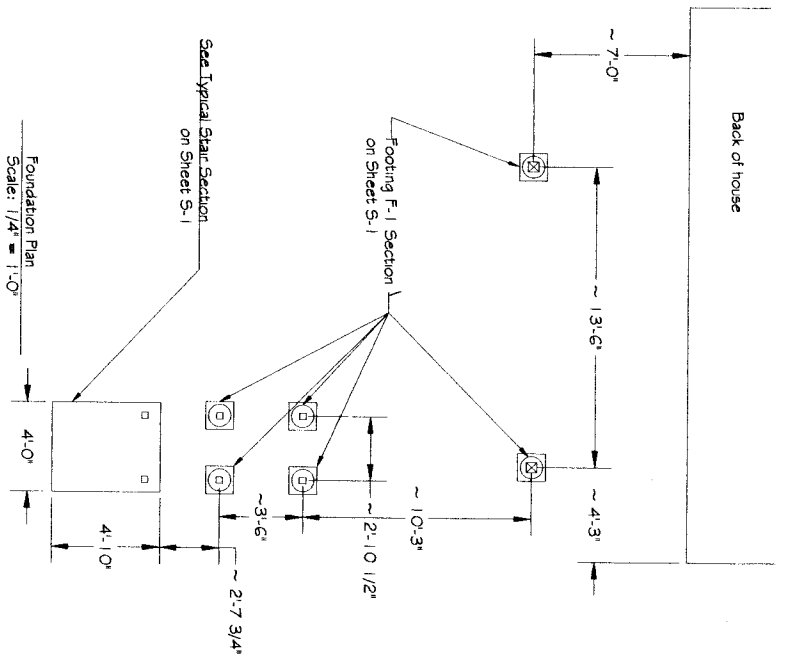


Proposed Rear Elevation
Scale: 1/4" = 1'-0"

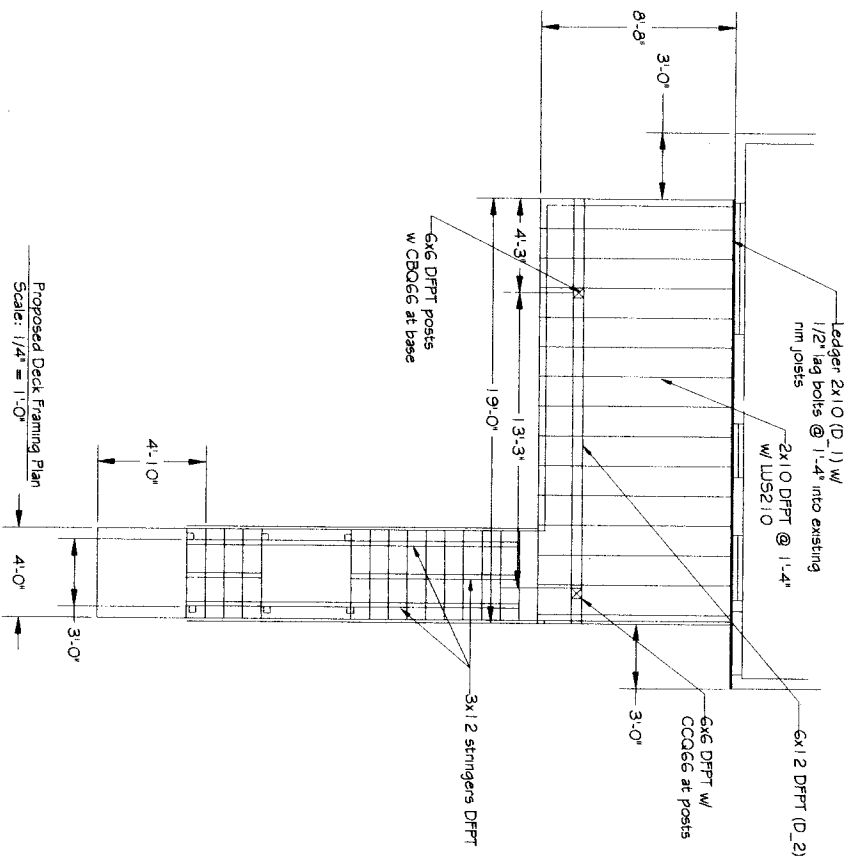


Note:
Exact handrail design to be determined by owner. Must meet max 4" gap criteria.

Proposed Stair Handrail Section
NTS



Foundation Plan
Scale: 1/4" = 1'-0"



Proposed Deck Framing Plan
Scale: 1/4" = 1'-0"

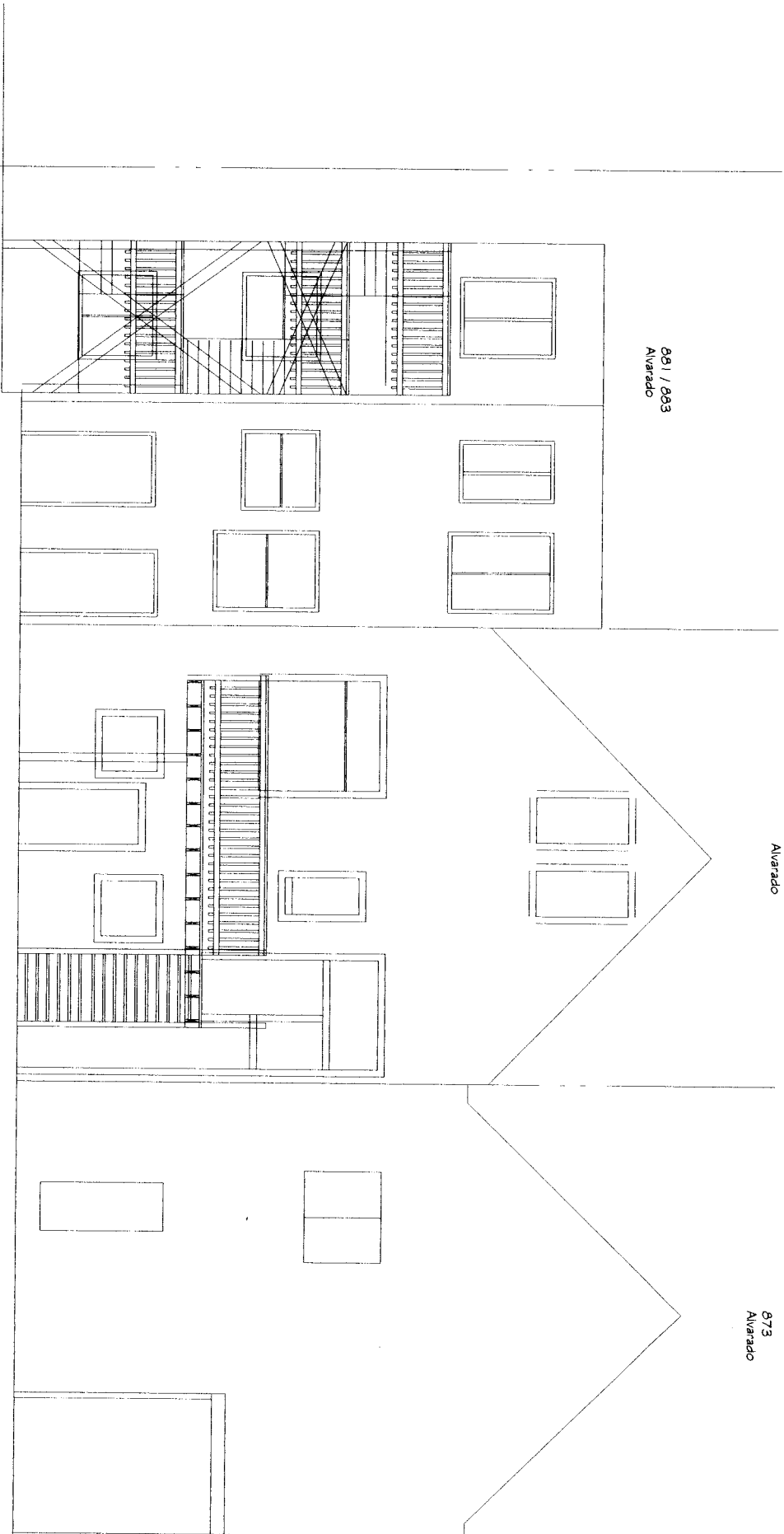


MERCURY ENGINEERING
1041A Folger Ave., Berkeley CA 94710
510.549.0440 fax: 510.704.1975

Deck for Rear of House at
877 Alvarado Street, San Francisco, CA

JOB # 3784 A
11/10/09

Elevations Sections and Plans

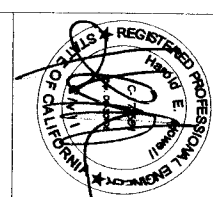


Existing Rear Elevations
 Scale: 1/4" = 1'-0"

881 / 883
 Alvarado

877
 Alvarado

873
 Alvarado



MERCURY ENGINEERING
 1041A Folger Ave., Berkeley CA 94710
 510.549.0440 fax: 510.704.1975

**Deck for Rear of House at
 877 Alvarado Street, San Francisco, CA**

JOB # 3784 A
 11/10/09

Elevations

S-3