



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 28, 2010**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard & Non Complying Structure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1974 Filbert Street	Case No.: 2010.0358V
Cross Street(s): Buchanan St./Laguna St.	Building Permit: not yet filed
Block /Lot No.: 0518/019	Applicant/Agent: Kevin Dill
Zoning District(s): RH-2 / 40-X	Telephone: (415)923-1276
Area Plan: n/a	E-Mail: kevinedill@comcast.net

PROJECT DESCRIPTION

The proposal is to construct a second floor balcony and exterior staircase at the rear of the four-story, single-family dwelling. The floor of the proposed balcony would be 9' above grade. The balcony would project 4' from the rear wall and the stairs would project 12' from the rear wall.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 42.25 feet. The proposed balcony and stairs would be located entirely within the required rear yard and within 27.5' of the rear yard line.

PER SECTION 188(a) OF THE PLANNING CODE noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building already encroach into the required rear yard. Therefore, the proposed expansion would be contrary to Section 188 of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Aaron Starr** Telephone: **(415) 558-6362** E-Mail: aaron.starr@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0358V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On DATE, the Department issued the required Section 311/312 notification for this project (expires DATE) <OR> The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

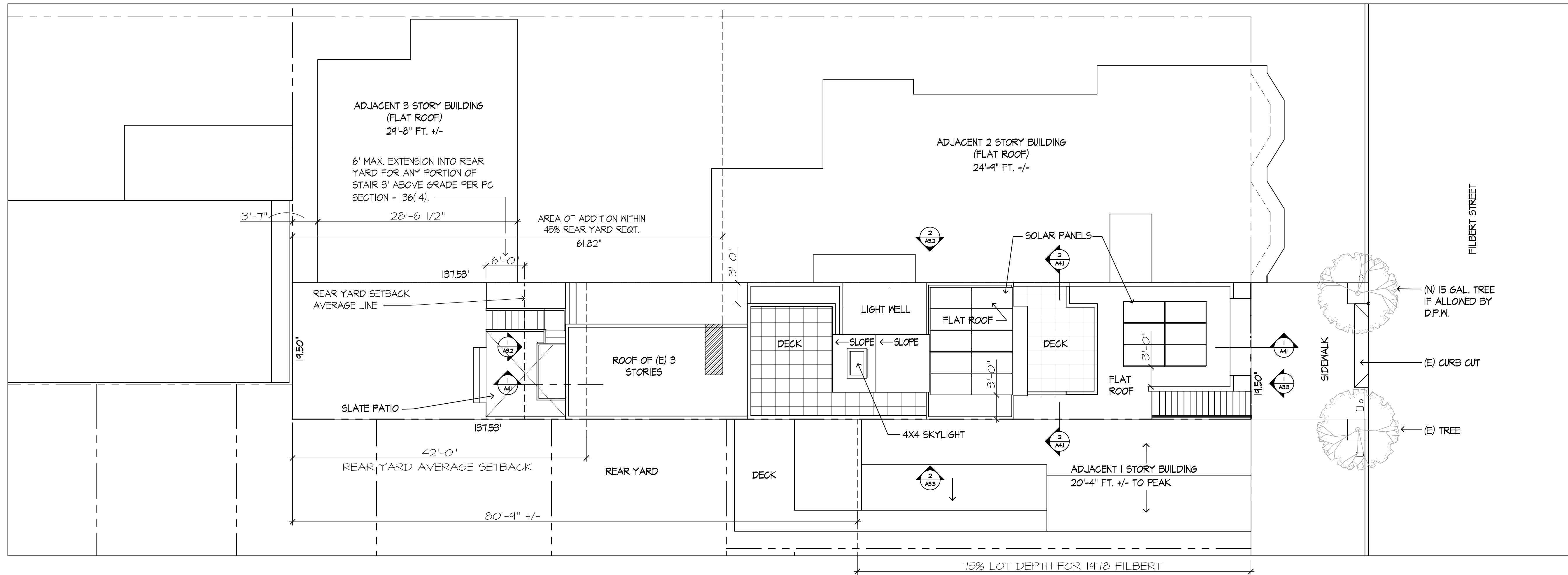
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

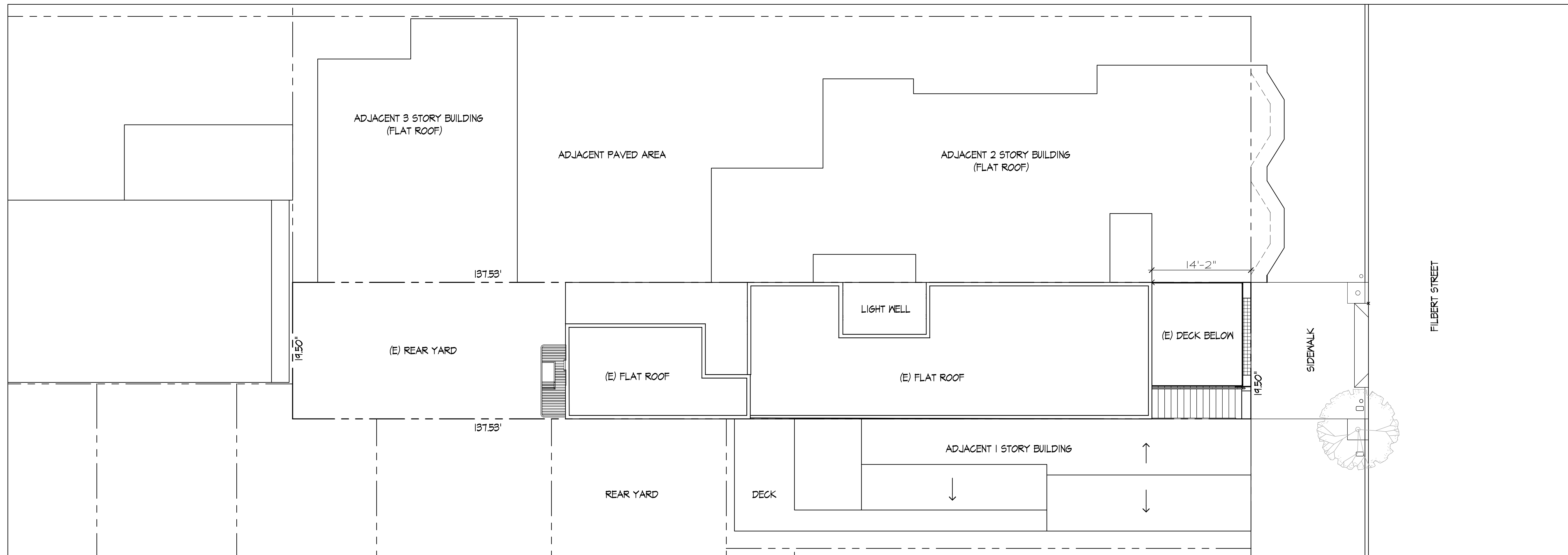
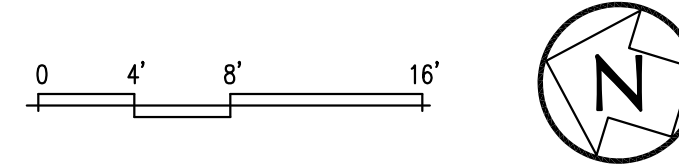
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

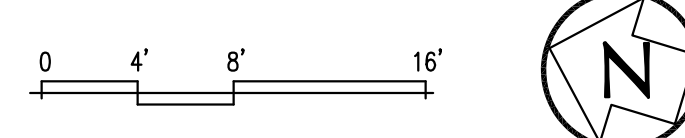
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



2 PROPOSED SITE AND ROOF PLAN
1/8" = 1'-0"



1 EXISTING SITE PLAN
1/8" = 1'-0"



Addition & Interior remodel for:
Kevin & Cathy Dill

1974
Filbert Street
San Francisco, CA 94123

Architect
Dill Architectural Group
2513 Octavia Street
San Francisco, CA 94123
(415) 923-1276
(415) 923-0725 FAX

Structural Engineer
Semco Engineering
360 Langton St - Suite 304
San Francisco, CA 94103
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STAMPS

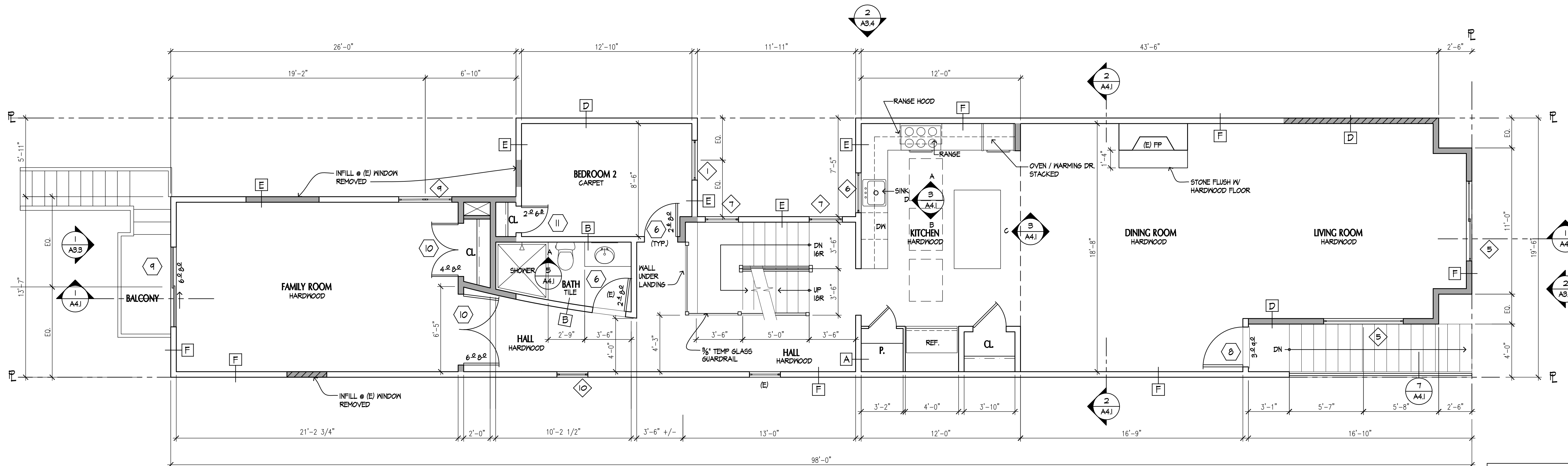
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1	1/6/09	SITE PERMIT
2	1/25/10	SITE PERMIT REVISIONS
3	2/1/10	SITE PERMIT REVISIONS
4	3/15/10	ADDENDUM
5	5/10/10	VARIANCE SUBMITTAL
6		
7		

SHEET TITLE

EXISTING
SITE PLAN
PROPOSED SITE
AND ROOF PLAN

SHEET NUMBER

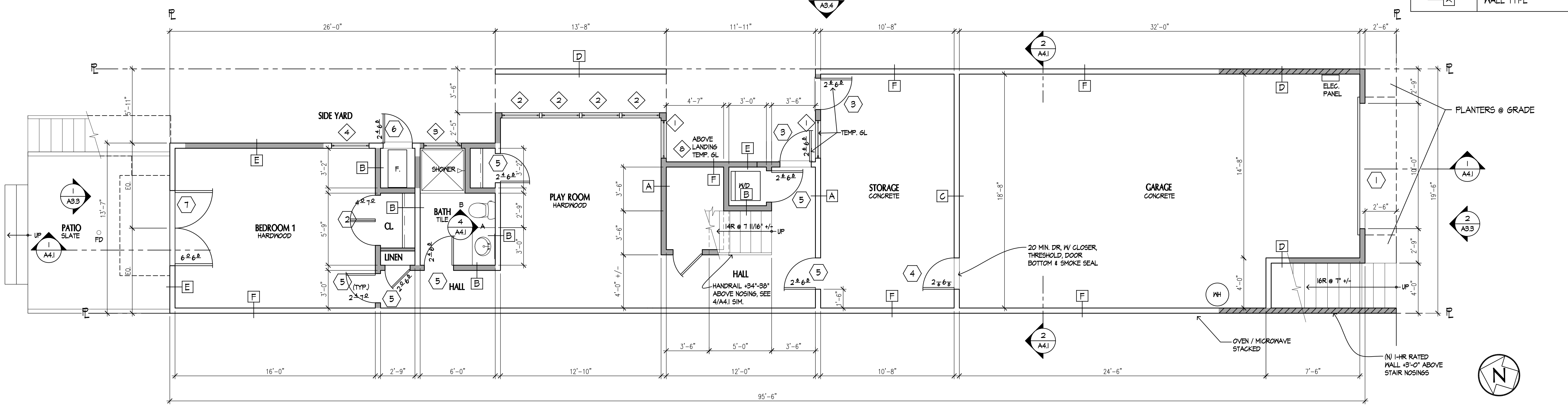
A1.1



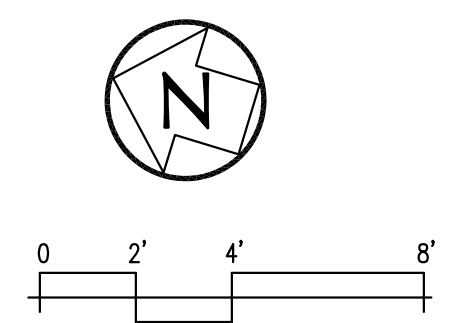
2 SECOND FLOOR PROPOSED
1/4" = 1'-0"

LEGEND:

SYMBOL	DESCRIPTION
[Solid line]	EXISTING WALLS
[Dashed line]	NEW WALLS
[Hatched area]	NEW 1 HOUR RATED WALLS
[Symbol with X]	WALL TYPE



1 FIRST FLOOR PROPOSED
1/4" = 1'-0"



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STAMPS

REVISIONS

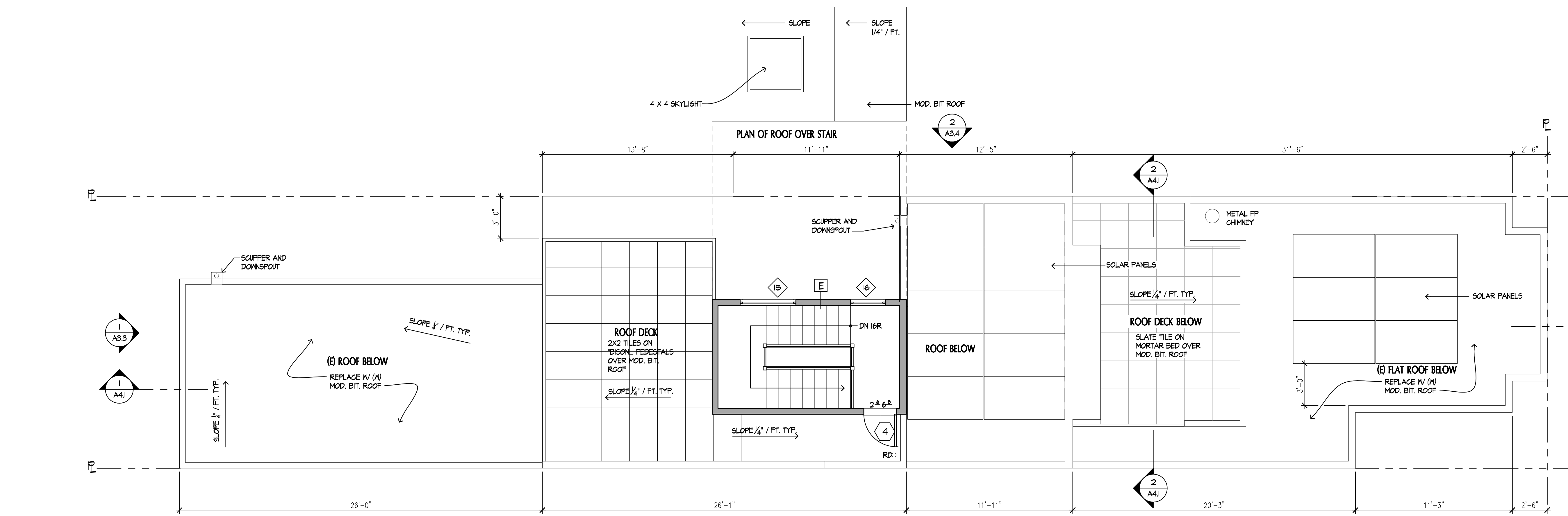
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SHEET TITLE

**PROPOSED FLOOR PLANS
FIRST AND SECOND**

SHEET NUMBER

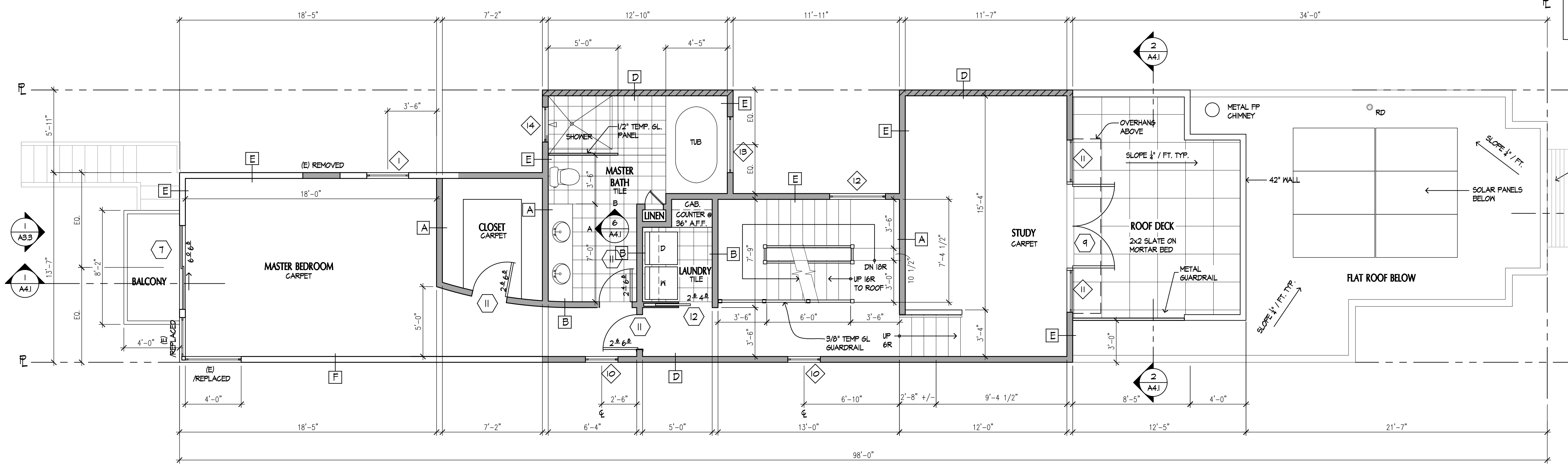
A2.2



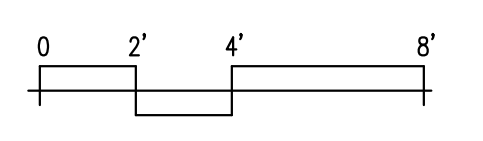
2 ROOF PLAN
1/4" = 1'-0"

LEGEND:

SYMBOL	DESCRIPTION
	EXISTING WALLS
	NEW WALLS
	NEW 1 HOUR RATED WALLS
	WALL TYPE



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1/4" = 1'-0"



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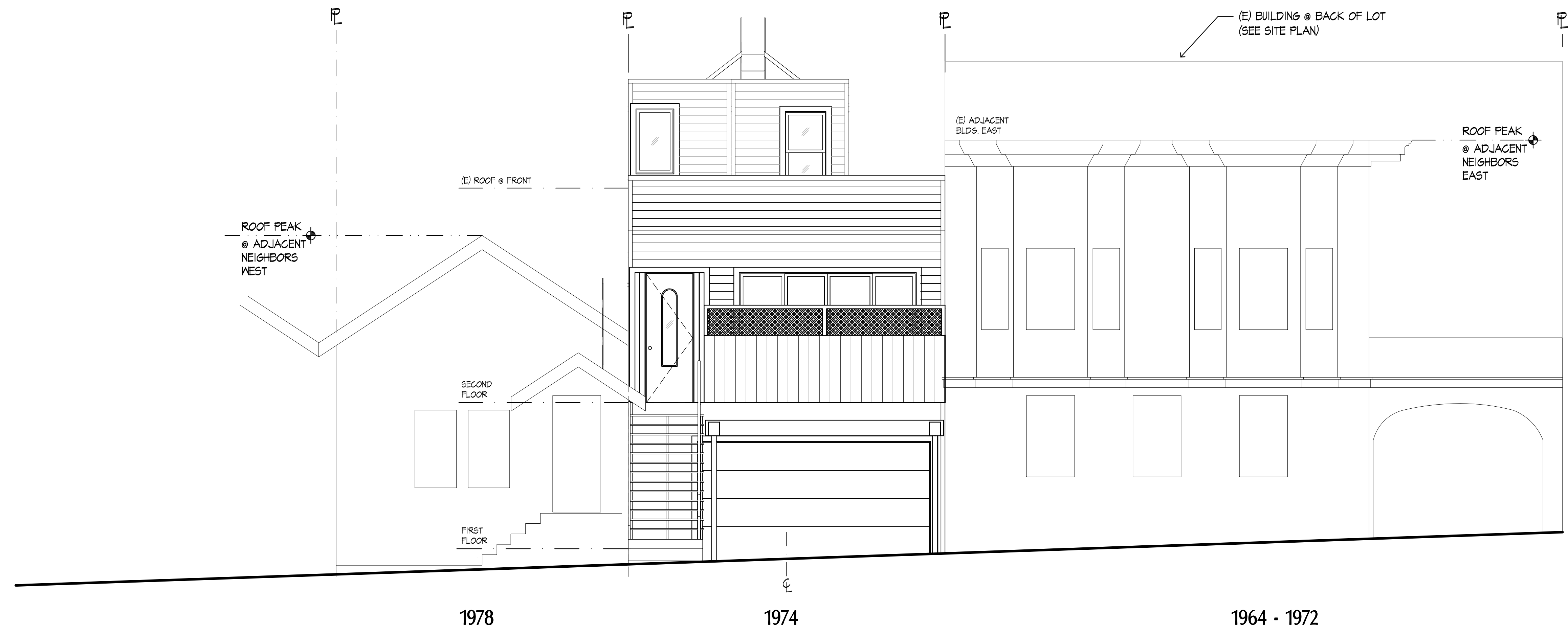
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6		
7		

SHEET TITLE

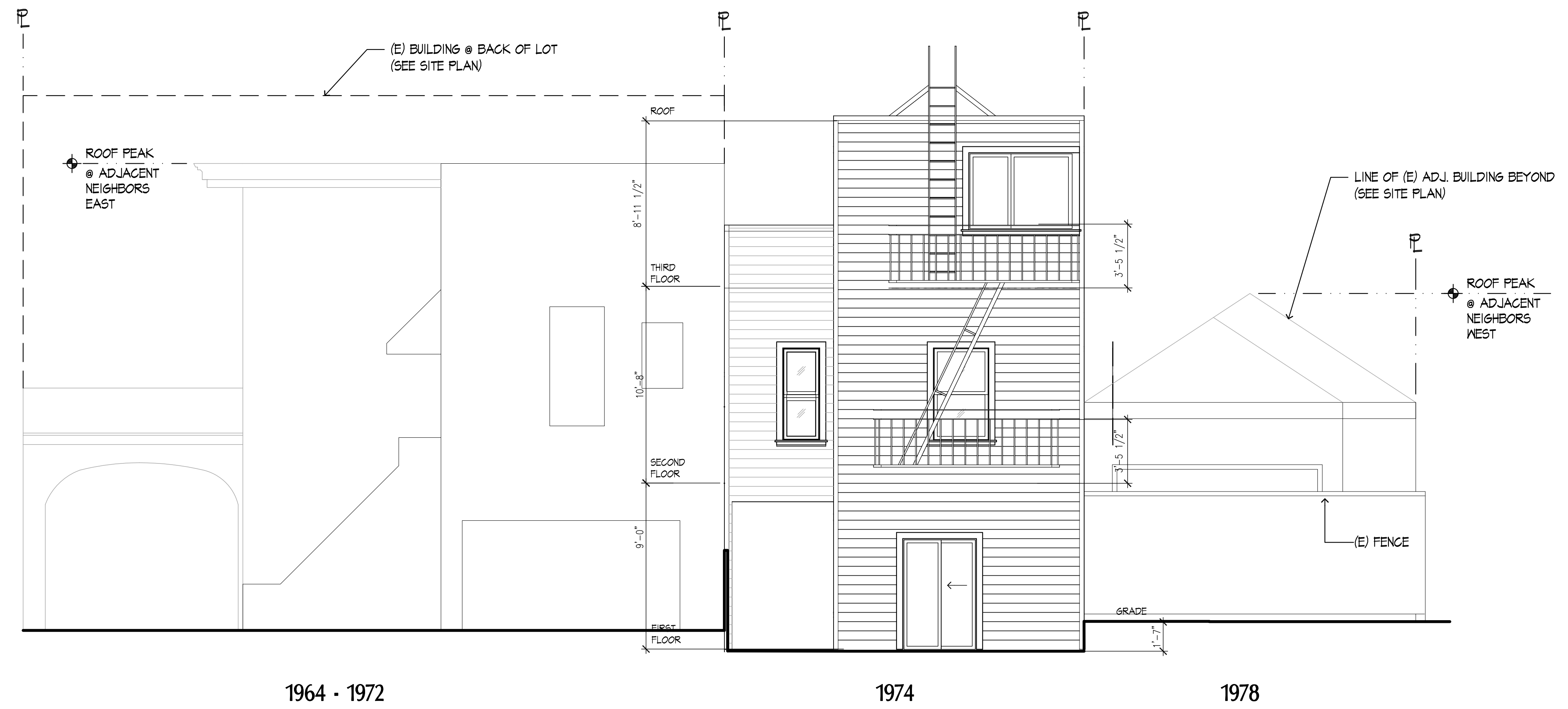
PROPOSED FLOOR PLANS THIRD AND ROOF

SHEET NUMBER

A2.3



2 EXISTING FRONT ELEVATION (SOUTH)



1 EXISTING REAR ELEVATION (NORTH)

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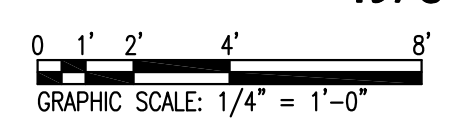
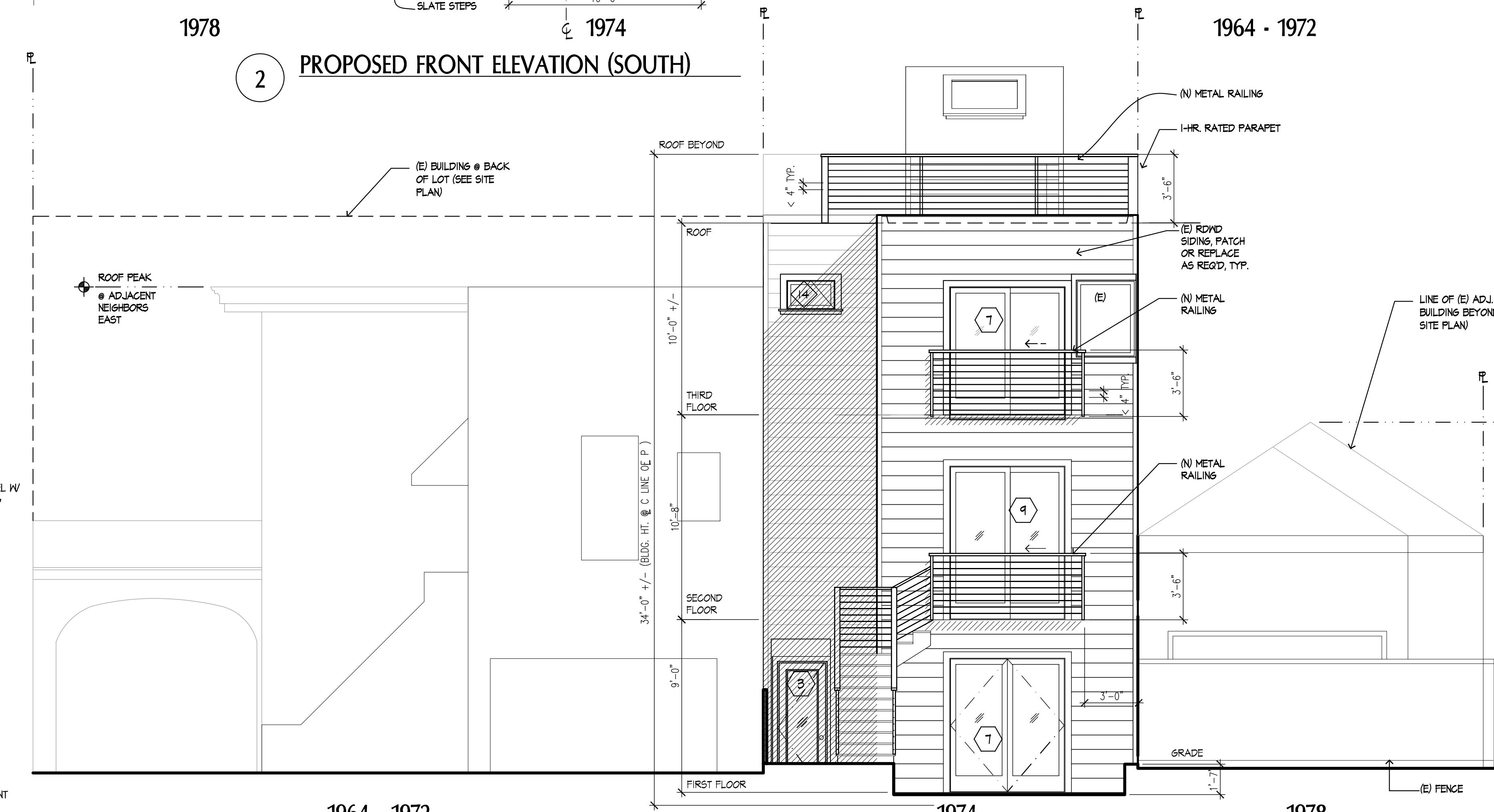
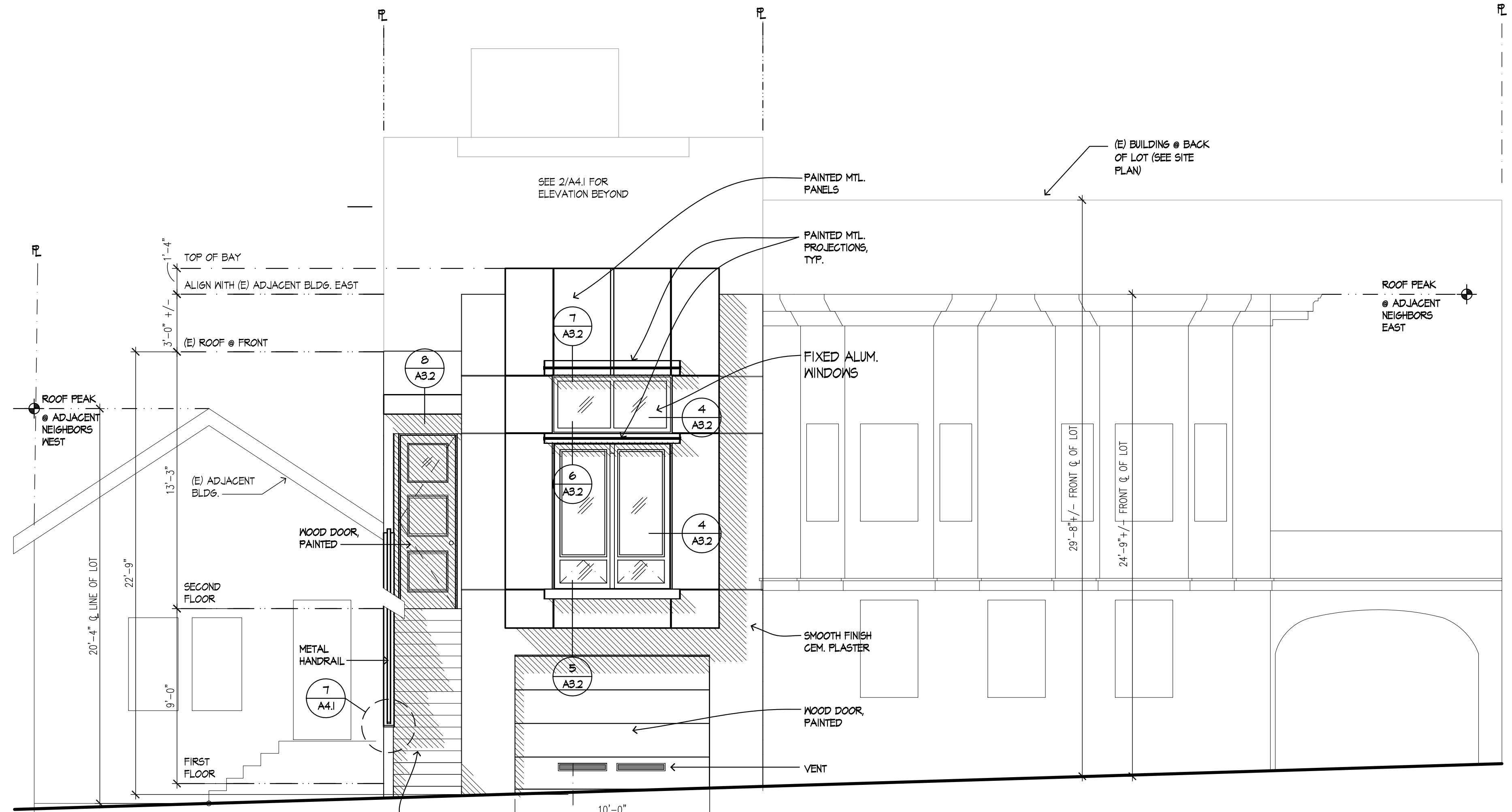
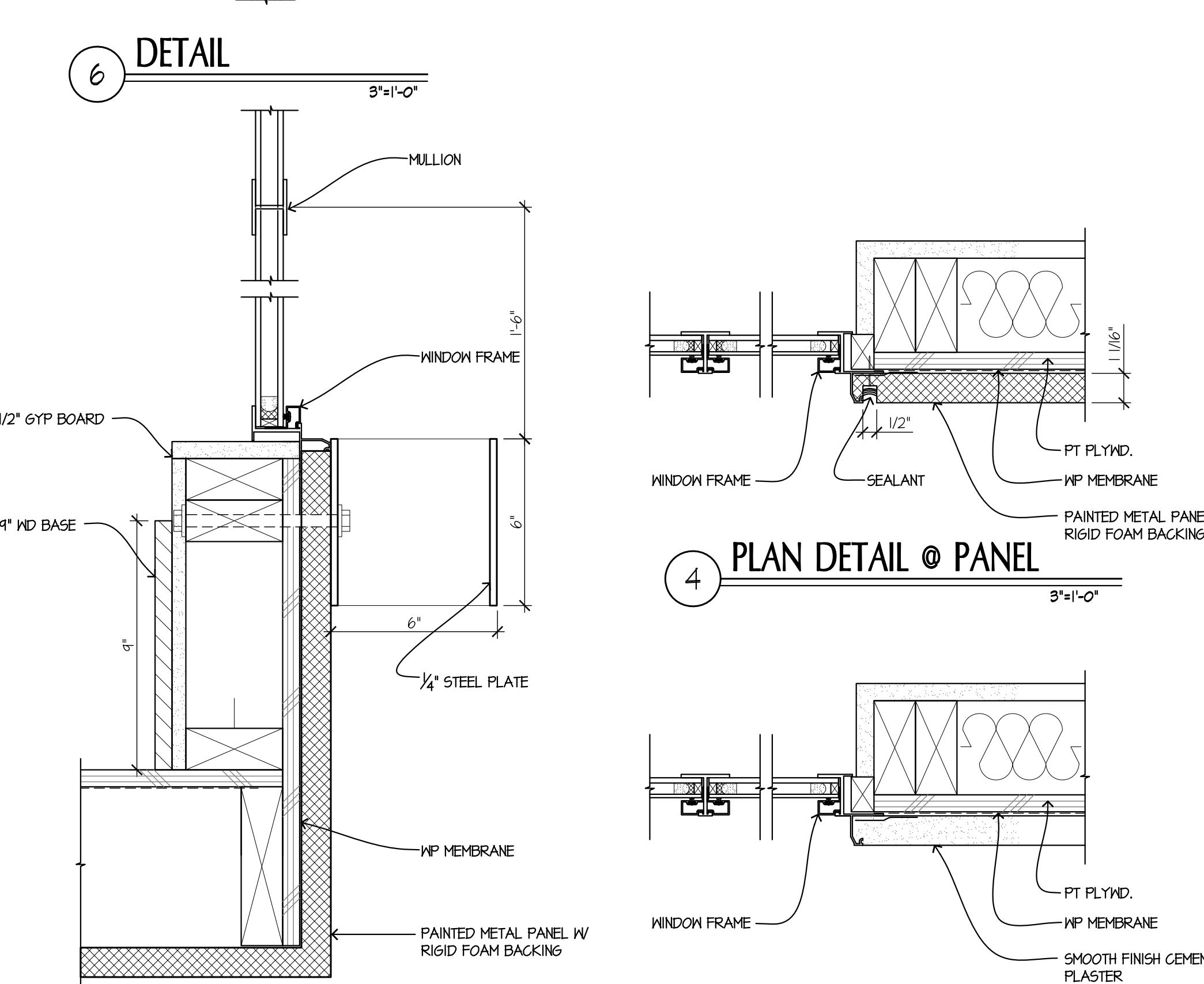
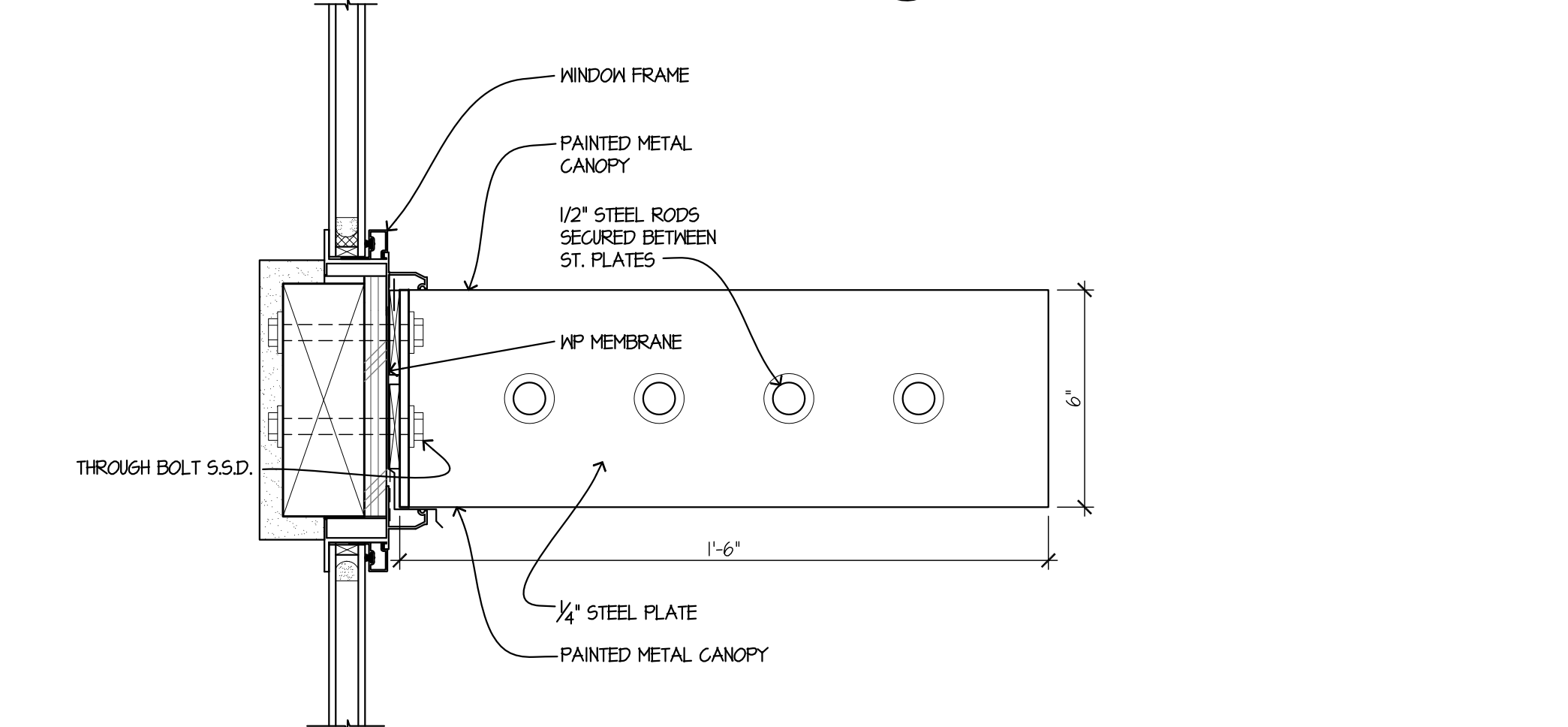
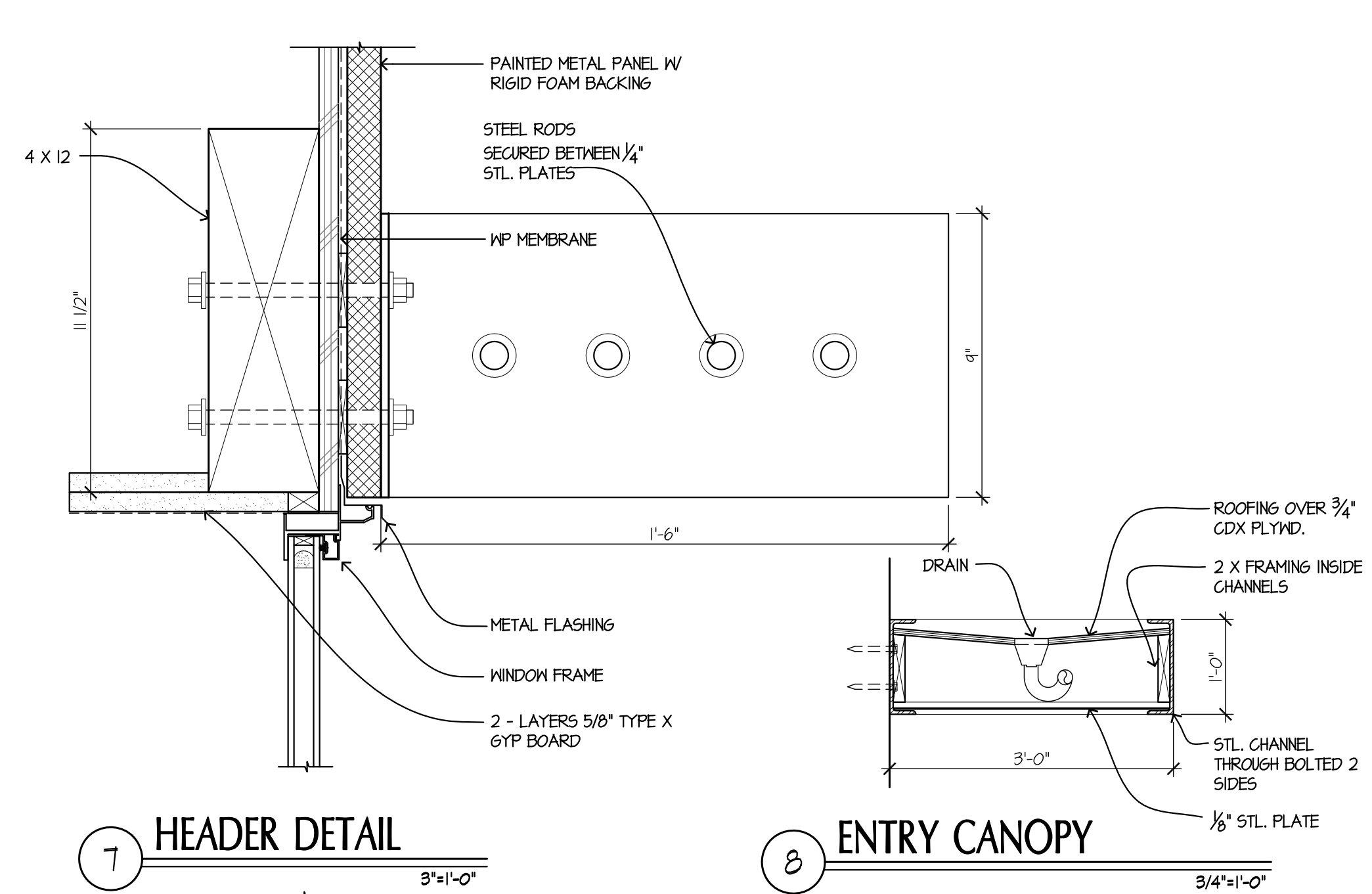
STAMPS

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6		
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SHEET TITLE
**ELEVATIONS
 FRONT & REAR
 (EXISTING)**

SHEET NUMBER
A3.1.1



Addition & Interior remodel for:
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 San Francisco, CA 94123

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 Dill Architectural Group
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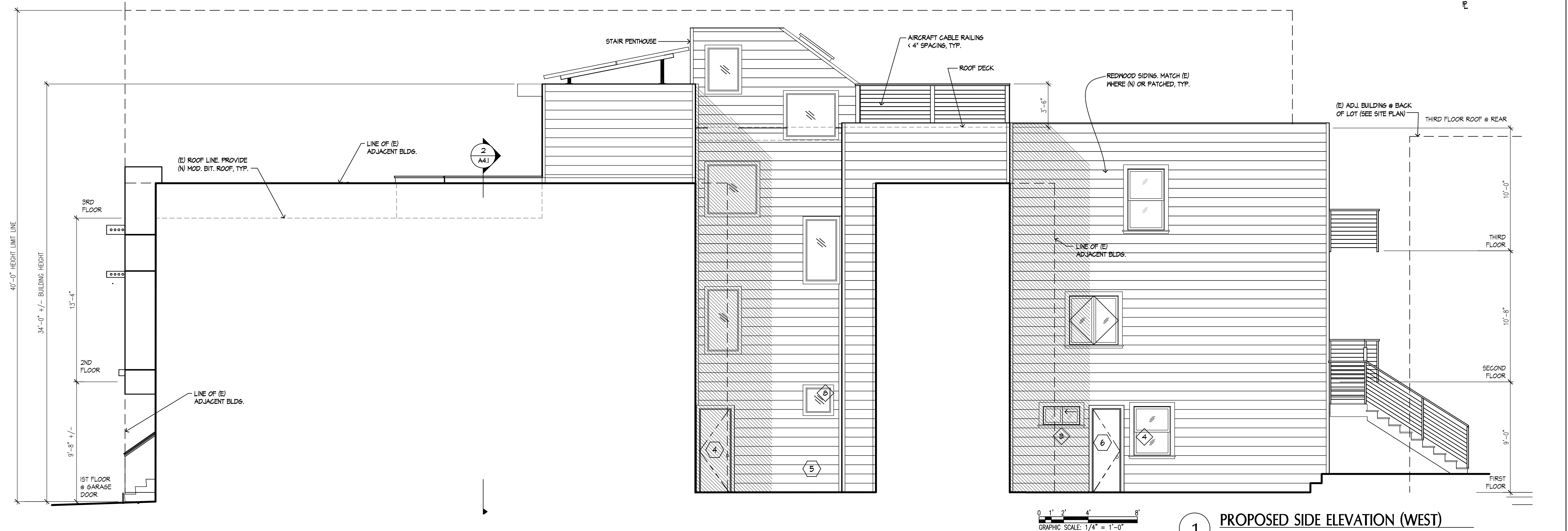
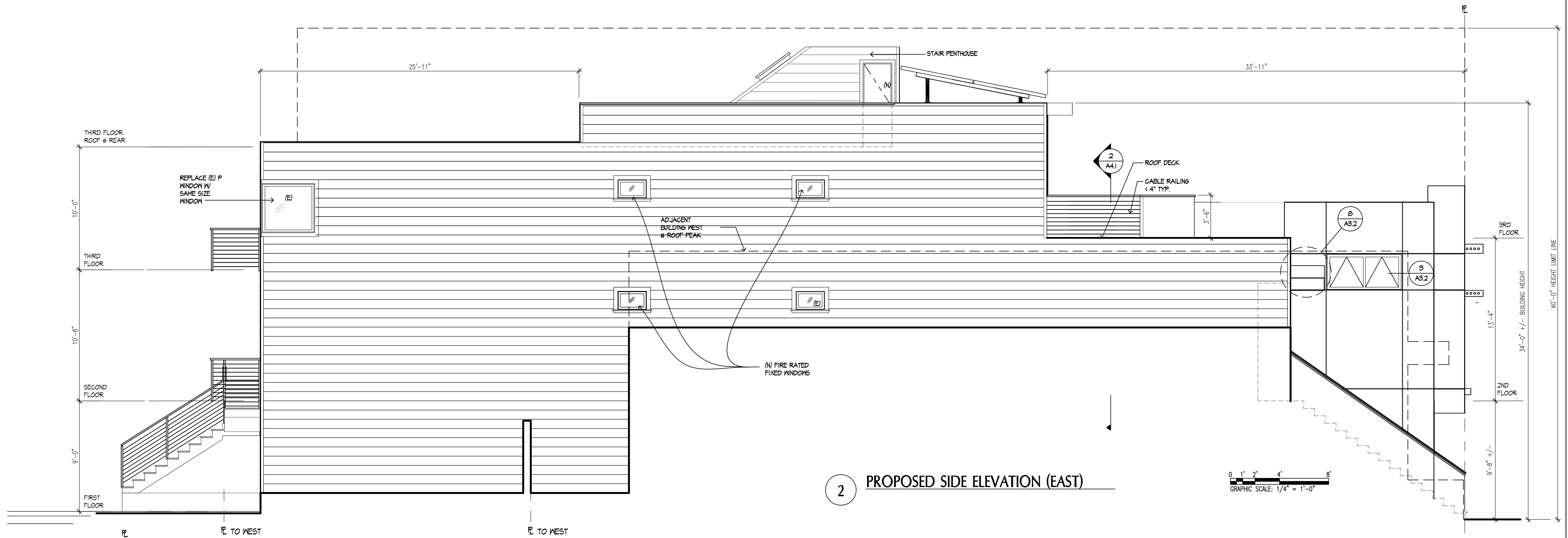
Structural Engineer
 Semco Engineering
 360 Langton St - Suite 304
 San Francisco, CA 94103
 (415) 553-8810
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STAMPS

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SHEET TITLE
ELEVATIONS NORTH & SOUTH (PROPOSED)

SHEET NUMBER
A3.2



Addition & Interior remodel for:
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Filbert Street
San Francisco, CA 94123

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Dill Architectural Group
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San Francisco, CA 94123
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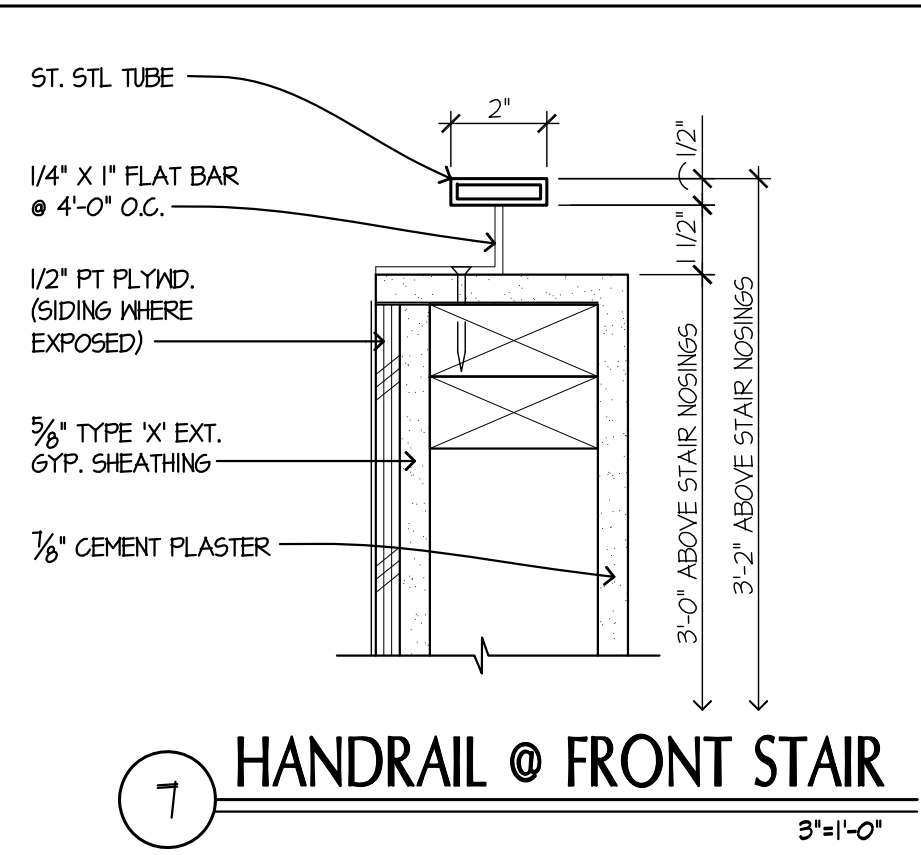
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7		

SHEET TITLE

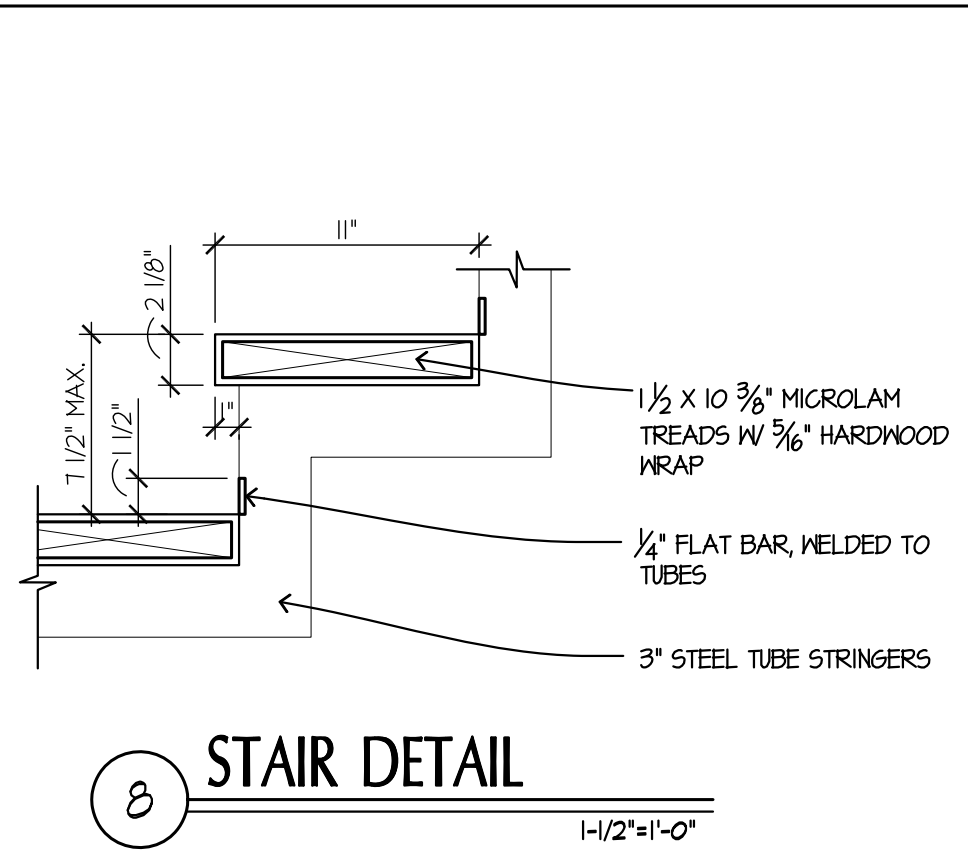
**ELEVATIONS
EAST AND WEST
(PROPOSED)**

SHEET NUMBER

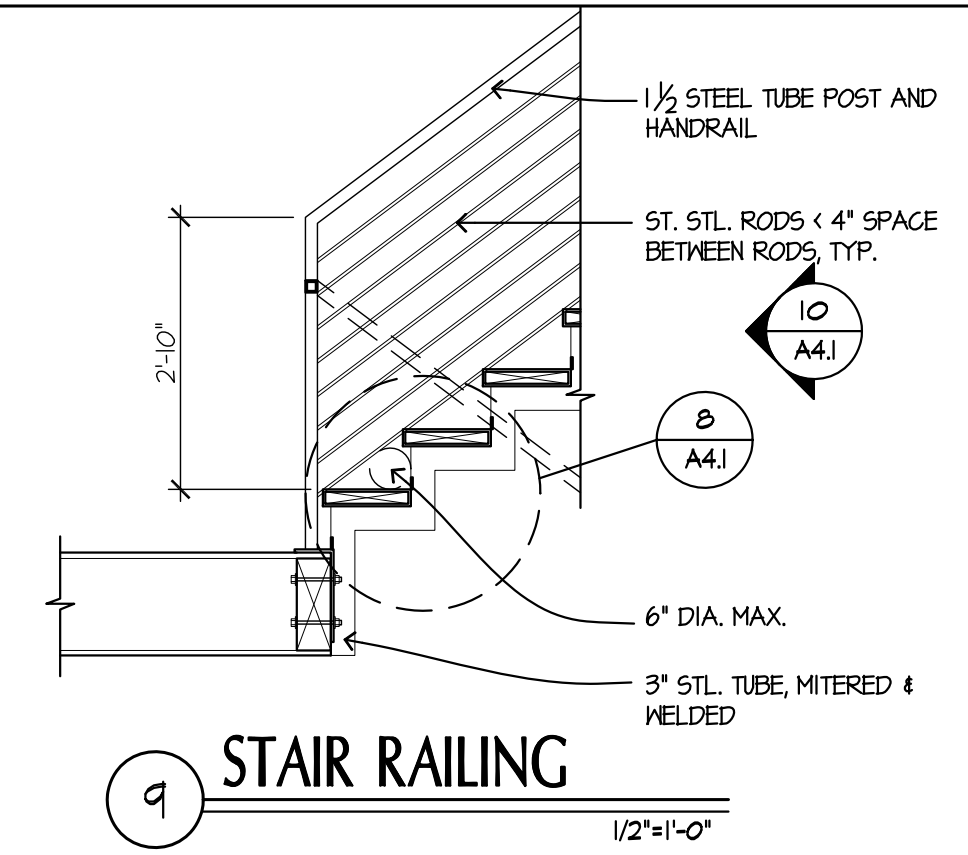
A3.3



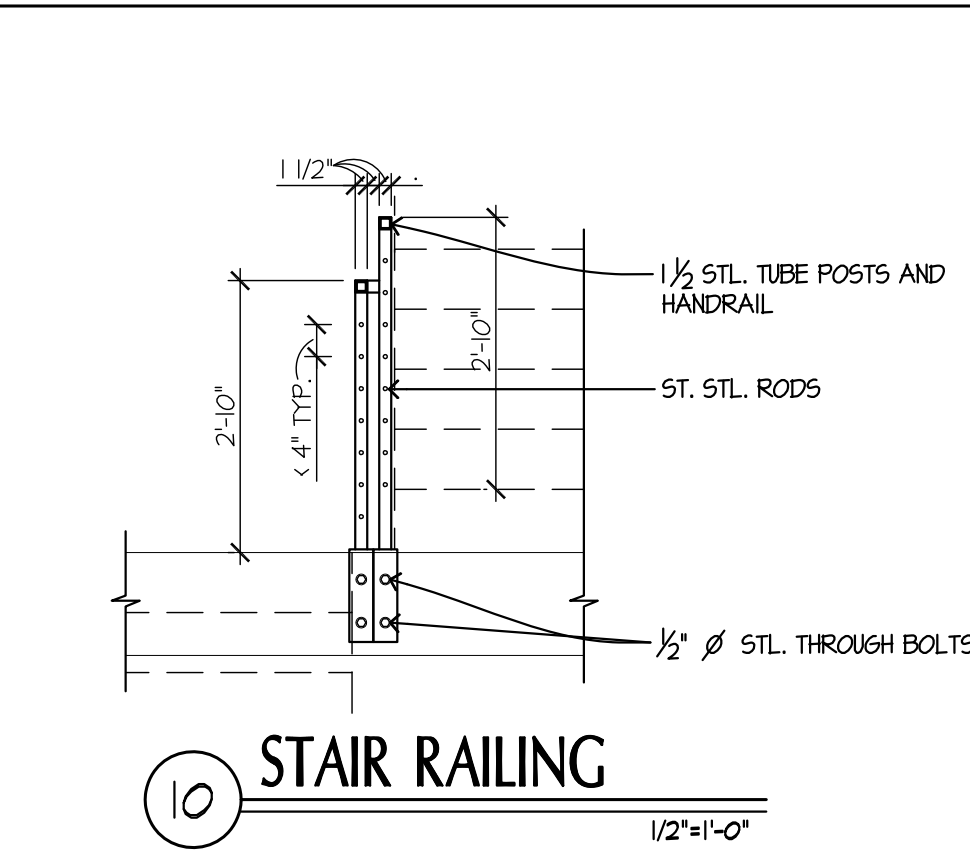
7 HANDRAIL @ FRONT STAIR
3'-11"-0"



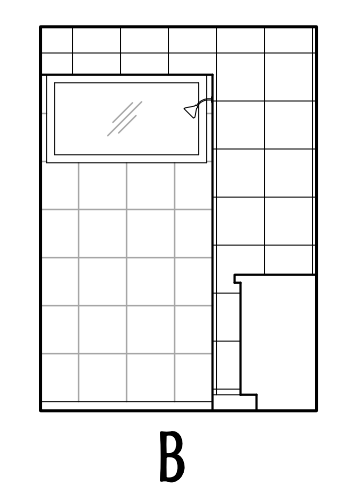
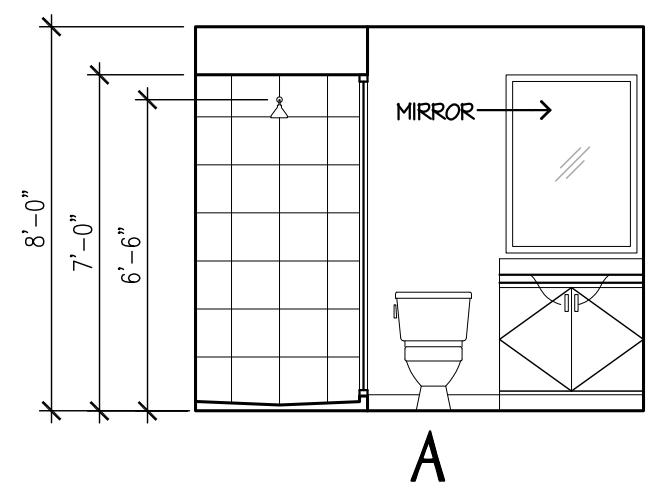
8 STAIR DETAIL
1'-1/2"-1'-0"



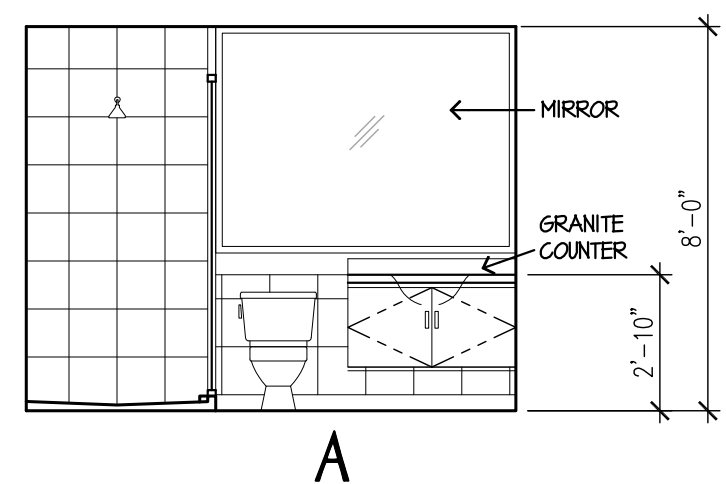
9 STAIR RAILING
1'-2"-1'-0"



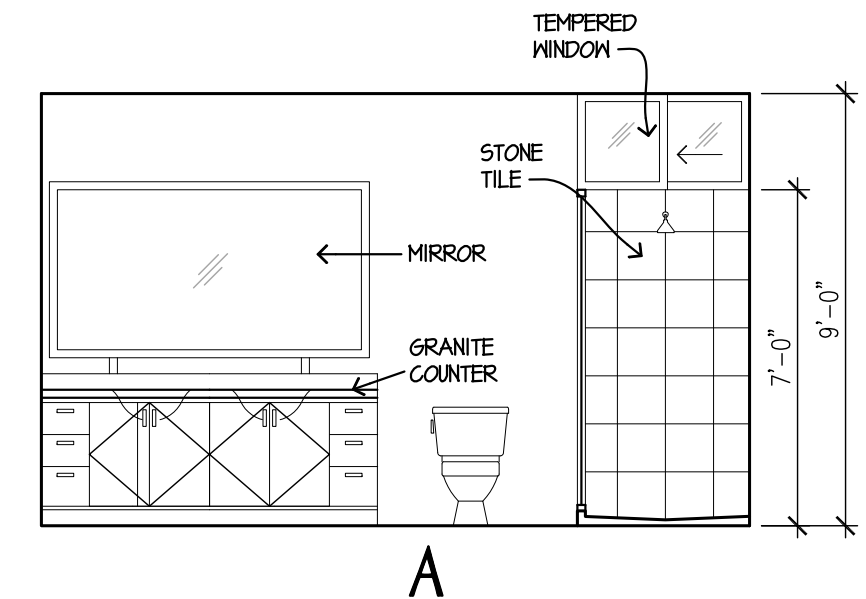
10 STAIR RAILING
1'-2"-1'-0"



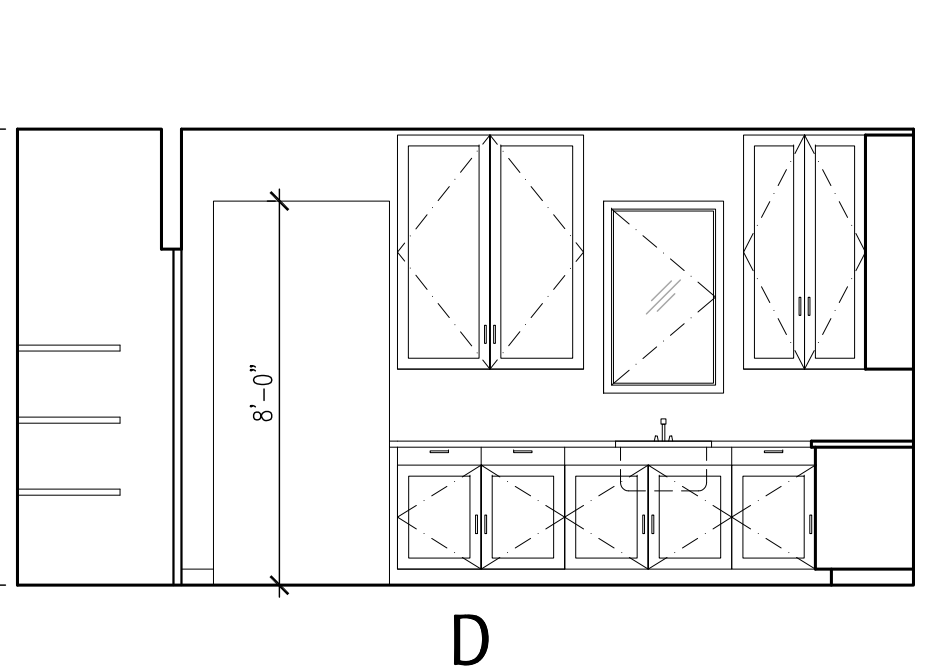
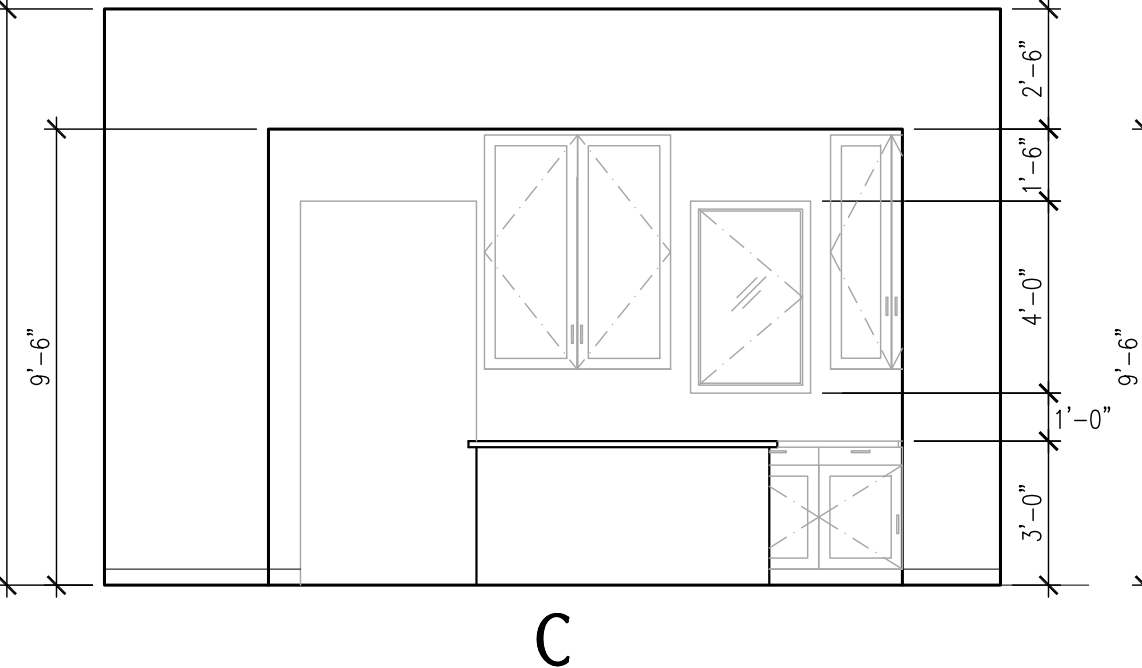
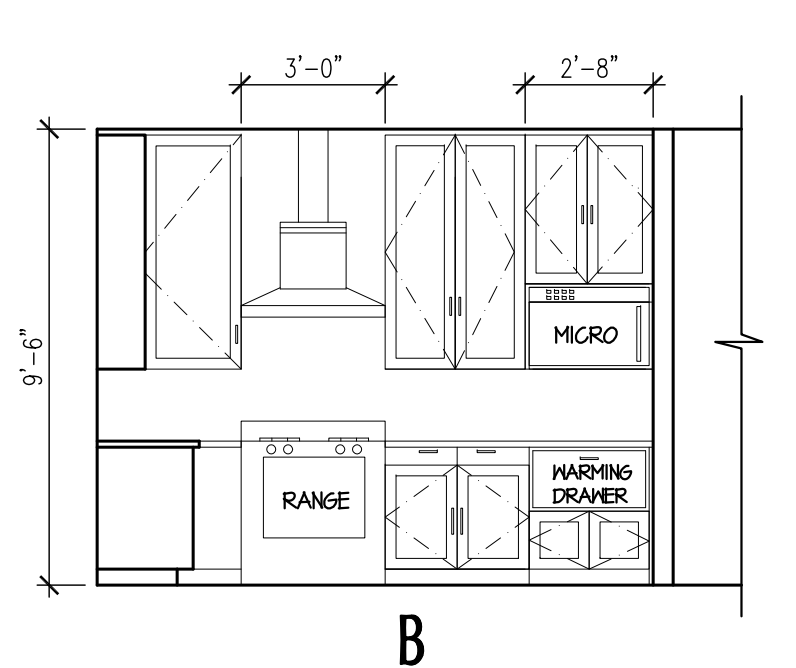
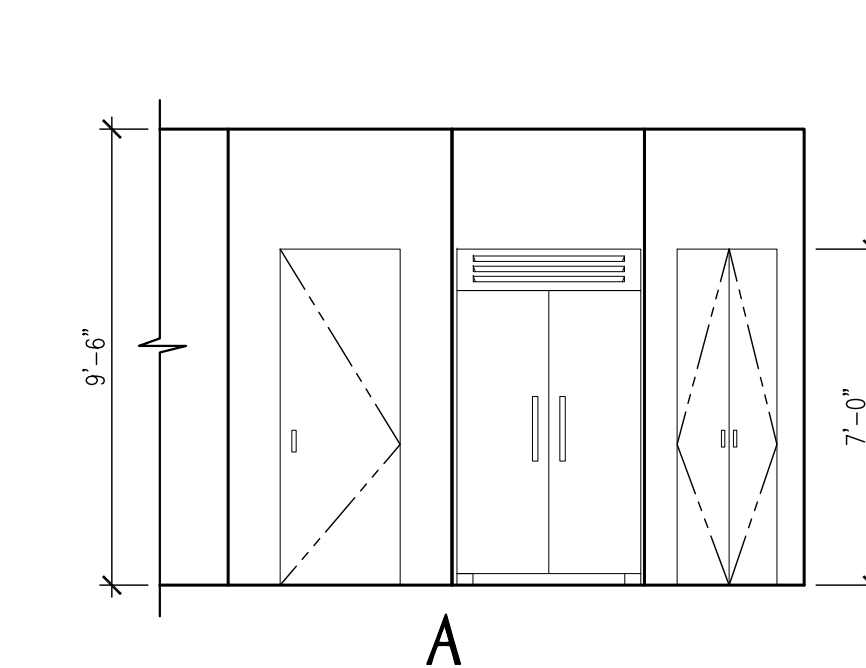
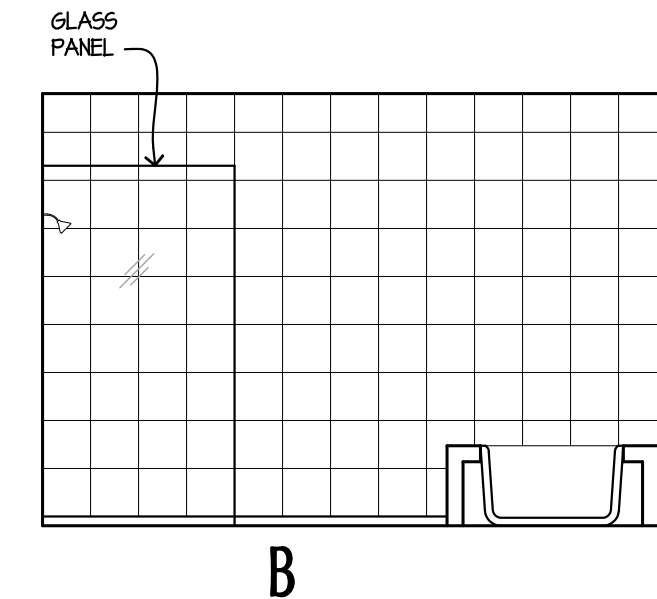
4 FIRST FLOOR BATH ELEVATIONS
1'-4"-1'-0"



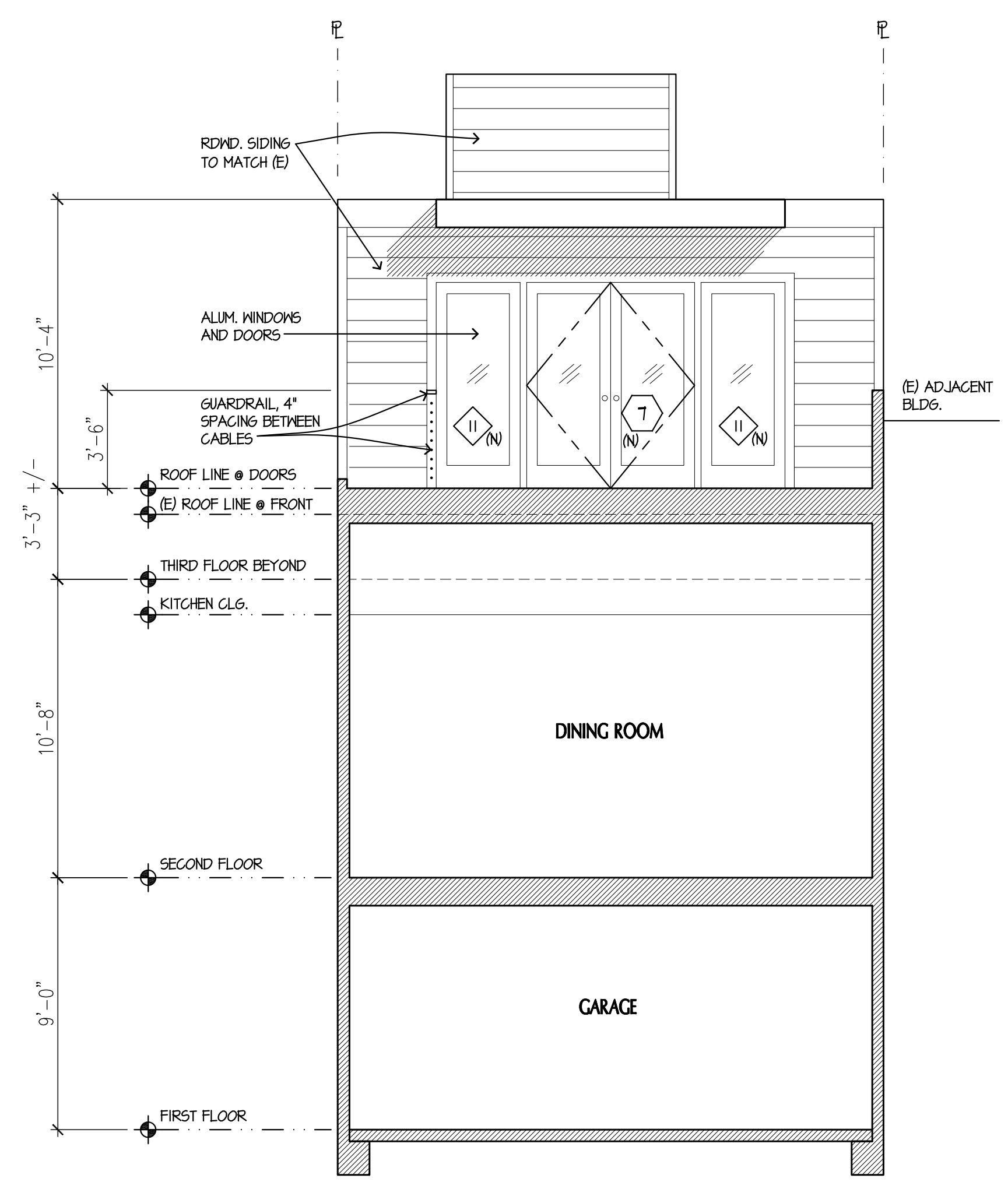
5 SECOND FLOOR BATH ELEVATION
1'-4"-1'-0"



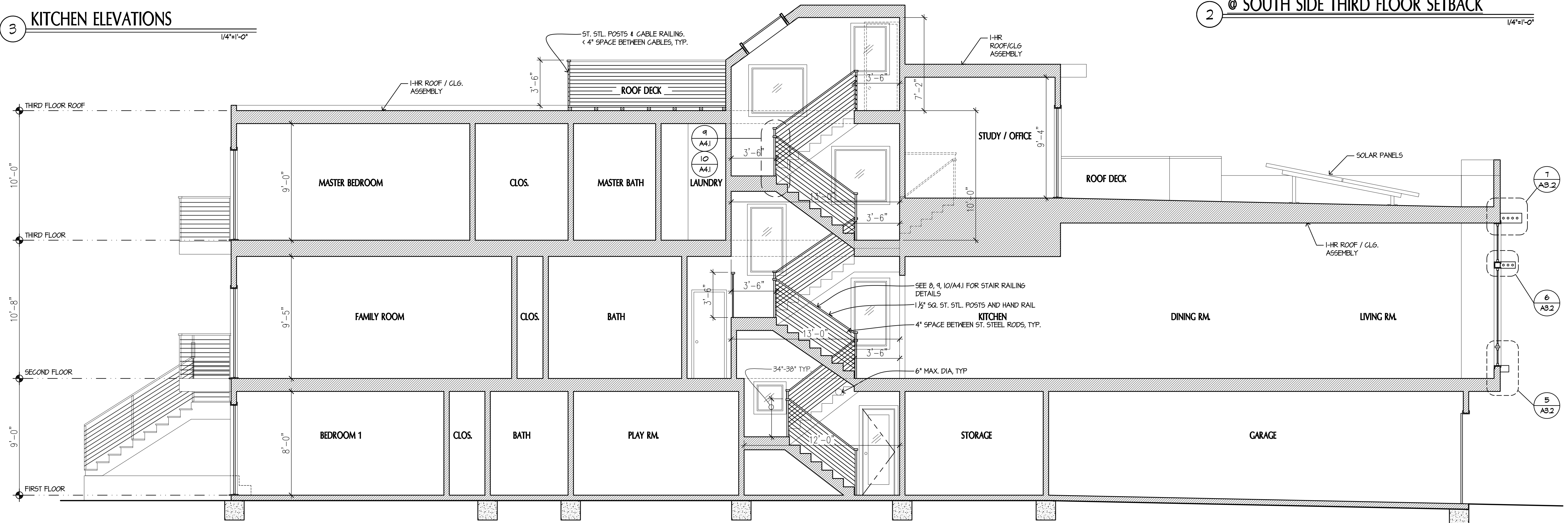
6 THIRD FLOOR BATH ELEVATIONS
1'-4"-1'-0"



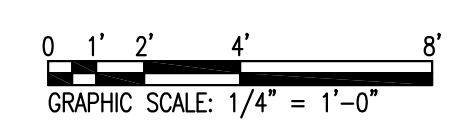
3 KITCHEN ELEVATIONS
1'-4"-1'-0"



2 SECTION/ELEVATION @ SOUTH SIDE THIRD FLOOR SETBACK
1'-4"-1'-0"



1 SECTION
1'-4"-1'-0"



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STAMPS

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6		
7		

SHEET TITLE

SECTIONS,
INTERIOR
ELEVATIONS &
DETAILS

SHEET NUMBER

A4.1