



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 22, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Parking and Open Space)**
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|---|-------------------------------|-------------------------|---|
| Project Address: | 2695 Sacramento Street | Case No.: | 2010.0516V |
| Cross Street(s): | Pierce St./Steiner St. | Building Permit: | 2010.06.29.5596 |
| Block /Lot No.: | 0634/016A | Applicant/Agent: | Jill Tardy |
| Zoning District(s): | RH-3 / 40-X | Telephone: | (415) 381-1183 |
| Area Plan: | n/a | E-Mail: | <u>jilltardy@tardy-associates.com</u> |
| PROJECT DESCRIPTION | | | |
| <p>The proposal includes converting the existing ground floor commercial space into a residential unit and interior alterations. There are no proposed exterior alterations to the subject building under this proposal.</p> <p>PER SECTION 151 OF THE PLANNING CODE the subject property is required to provide one off-street parking space per residential unit. The proposed conversion of the commercial space to residential unit does not include a new parking space for the proposed unit.</p> <p>PER SECTION 135 OF THE PLANNING CODE the subject property is required to provide 100 sq. ft. of private open space per unit. The proposed new residential unit will have approximately 65 sq. ft. of private open space.</p> | | | |
| ADDITIONAL INFORMATION | | | |
| <p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Aaron Starr Telephone: (415) 558-6362 E-Mail: <u>aaron.starr@sfgov.org</u></p> | | | |
| <p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <u>http://sf-planning.org/ftp/files/notice/2010.0516V.pdf</u></p> | | | |

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On DATE, the Department issued the required Section 311/312 notification for this project (expires DATE) <OR> The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

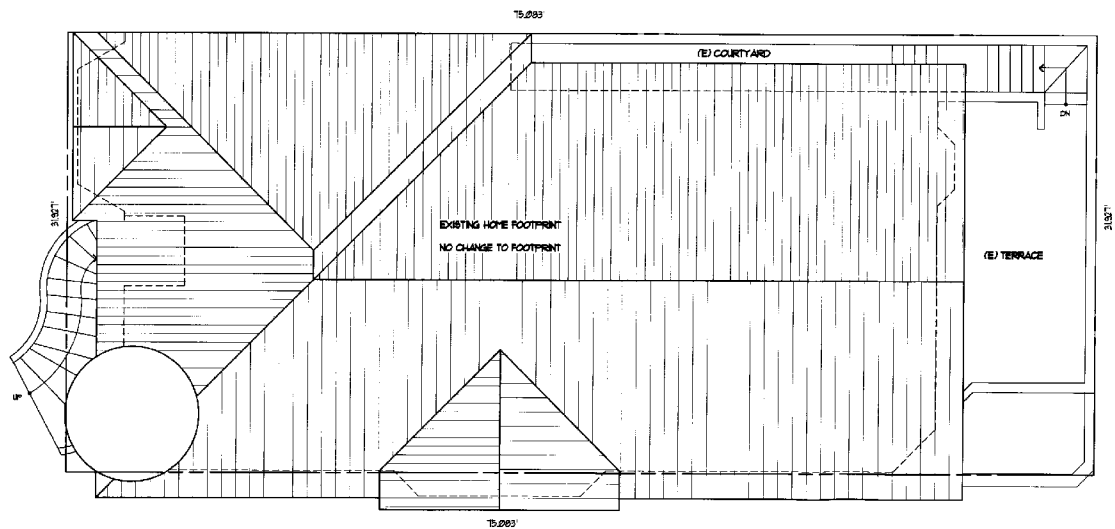
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



1 PLOT PLAN



SHEET INDEX

ARCHITECTURAL

- A01 COVER SHEET, SITE PLAN
- A02 EXISTING FLOOR PLANS
- A03 PROPOSED FLOOR PLANS

PROJECT DIRECTORY

OWNER

MRS. & MRS. AHMED
2695 SACRAMENTO STREET
SAN FRANCISCO, CA 94115
T: 415-775-1035

ARCHITECT

TARDY & ASSOCIATES ARCHITECTS
PO BOX 55
MILL VALLEY, CA 94542
T: 415-367-1183
E: jill@tardyassociates.com
CONTACT: JILL TARDY

PROJECT DESCRIPTION

THIS APPLICATION REQUESTS A CHANGE OF USE FROM 1 RESIDENTIAL AND 1 COMMERCIAL TO 2 RESIDENTIAL UNITS.

ALL WORK IS INTERIOR. NO CHANGE IS PROPOSED TO ANY EXTERIOR ELEVATION.

WE ARE REQUESTING A PARKING VARIANCE. ONLY ONE SPACE IS PROVIDED WHERE TWO ARE REQUIRED.

WE ARE REQUESTING AN OPEN SPACE VARIANCE. 791 SQ. FT. ARE EXISTING WHERE 300 SQ. FT. ARE REQUIRED. THE EXISTING OPEN SPACE DOES NOT MEET THE MINIMUM HORIZONTAL DIMENSION OF 10'.

PROJECT DATA

| | |
|---------------------|---|
| BLOCK NUMBER | 0634 |
| LOT NUMBER | 016A |
| ADDRESS | 2695 SACRAMENTO STREET SAN FRANCISCO, CA 94115 |
| ZONED | R-3 |
| PARCEL SIZE | 2,391 SQ. FT. |
| EXISTING USE | 1 COMMERCIAL, 1 RESIDENTIAL |
| PROPOSED USE | 2 RESIDENTIAL |
| EXISTING OPEN SPACE | 340 SQ. FT. |
| PARKING: | |
| REQUIRED: | 1 PER DUELLING UNIT + 2 |
| PROVIDED: | 1 IN EXISTING GARAGE |
| BUILDING HEIGHT: | NO CHANGE |
| BUILDING FOOTPRINT: | NO CHANGE |
| LOT COVERAGE: | NO CHANGE |

CODE NOTES:

THIS PROJECT HAS BEEN DESIGNED IN CONFORMANCE WITH THE 2001 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), AND THE CALIFORNIA ENERGY CODE (TITILE 24).

TARDY
&
ASSOCIATES
ARCHITECTS

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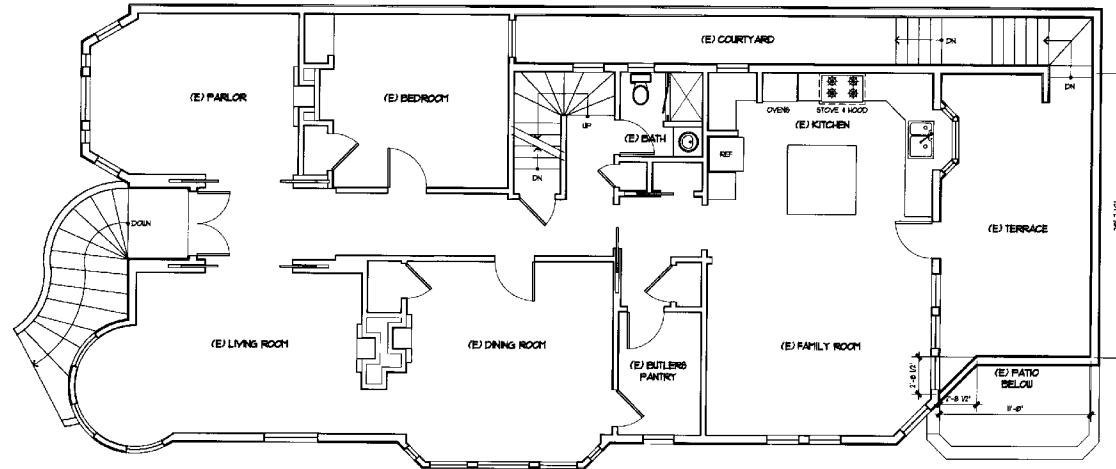
MINOR MODIFICATIONS TO THE
AHMED RESIDENCE
2695 SACRAMENTO ST, SAN FRANCISCO, CALIFORNIA
BLOCK 0634
LOT 016A

COVER SHEET
PLOT PLAN

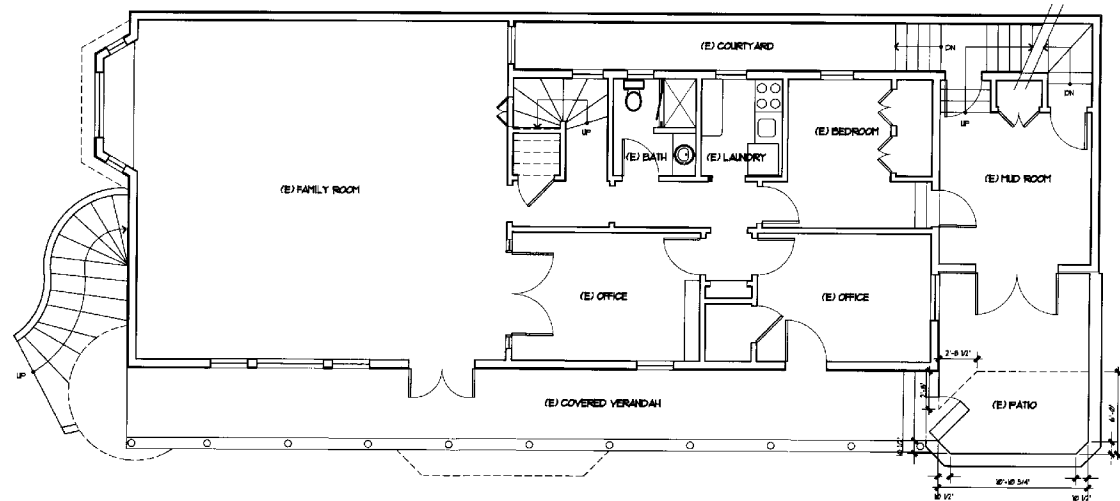
DRAWN BY:
DATE: 6-28-2011
REVISIONS:
1. PARKING VARIANCE
2. CHANGE OF USE
3. OPEN SPACE VARIANCE

A0.1

SHEET 01



② EXISTING MAIN LEVEL FLOOR PLAN



① EXISTING LOWER LEVEL FLOOR PLAN

TARDY
&
ASSOCIATES
ARCHITECTS

POST OFFICE BOX 32
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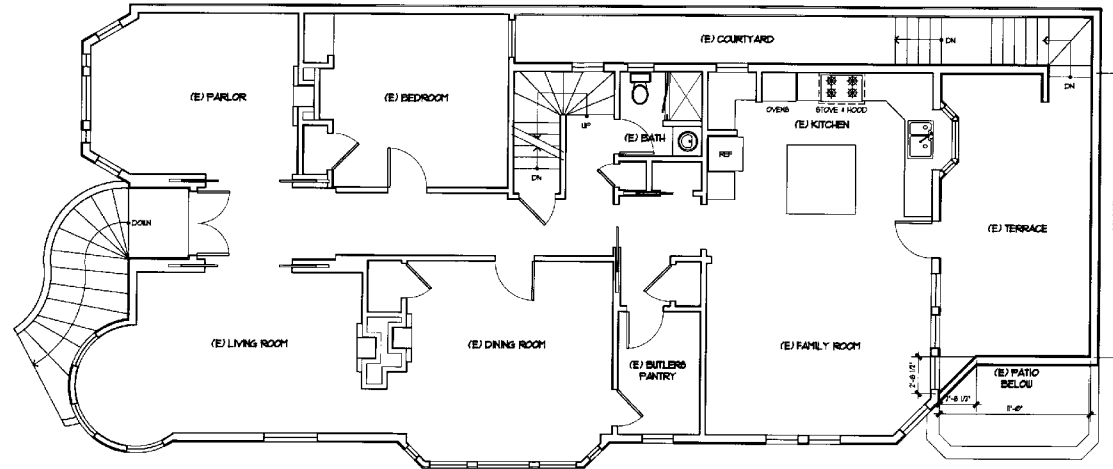
MINOR MODIFICATIONS TO THE
AHMED RESIDENCE
2695 SACRAMENTO ST., SAN FRANCISCO, CALIFORNIA
BLOCK 0634
LOT 016A

EXISTING
FLOOR
PLANS

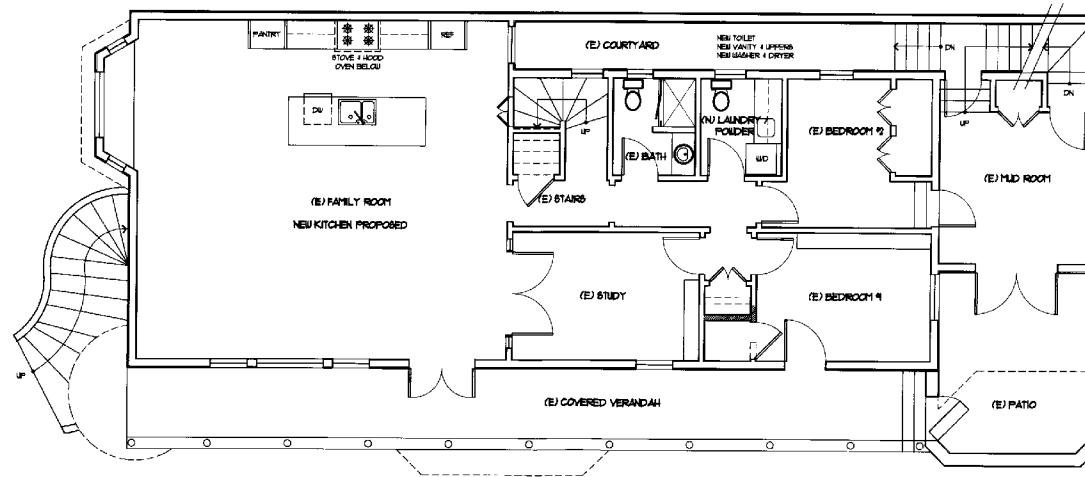
DRAWN BY: JT-SMW
DATE: 5-28-2010
ISSUE: PERMITS VARIANCE
CHANGE OF USE
OVER SPACE
VARIANCE

A0.6
SHEET OF





② EXISTING MAIN LEVEL FLOOR PLAN - NO CHANGES PROPOSED



① PROPOSED LOWER LEVEL FLOOR PLAN

| WALL LEGEND | |
|-------------|-----------------------------|
| | EXISTING WALL TO REMAIN |
| | EXISTING WALL TO BE REMOVED |
| | NEW WALL |
| | ABOVE OR BELOW |



**TARDY
&
ASSOCIATES
ARCHITECTS**

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MINOR MODIFICATIONS TO THE
AHMED RESIDENCE
2695 SACRAMENTO ST., SAN FRANCISCO, CALIFORNIA
BLOCK 0634
LOT 016A

**PROPOSED
FLOOR
PLANS**

DRAWN BY: JT-SAW
DATE: 6/28/2001 ISSUE: PARKING VARIANCE
CHANGE OF USE
OVER SPACE
VARIANCE

A1.1

SHEET OF