



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 26, 2011**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Exposure and Parking)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2949B Pacific Avenue	Case No.: 2010.0804V
Cross Street(s): Baker St./Broderick St.	Building Permit: not yet filed
Block /Lot No.: 0976/024	Applicant/Agent: Bonnie Bridges, Architect
Zoning District(s): RM-2/ 40-X	Telephone: (415) 241-7161
Area Plan: n/a	E-Mail: bbridges@boorbridges.com

PROJECT DESCRIPTION

The proposal is to legalize an existing studio unit added without permit at the rear of the ground floor of the 3-story-over-basement, 3-unit residential building.

PER SECTION 140 OF THE PLANNING CODE each unit in the subject building is required to have a window with exposure onto a street or alleyway, or a Code-complying rear yard. The proposed unit would have exposure onto a noncomplying rear yard.

PER SECTION 151 OF THE PLANNING CODE the subject property is required to provide one off-street parking space per residential unit. The proposal does not include a new parking space for the unit proposed to be legalized. The existing building has 3 existing parking spaces.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Aaron Starr** Telephone: **(415) 558-6362** E-Mail: aaron.starr@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0804V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS	
#	- NUMBER OR ROUND
&	- AND
ES	- EXISTING
@	- AT
+/-	- PLUS OR MINUS
<	- LESS THAN
>	- GREATER THAN
AS	- ANCHOR BOLT
ABV	- ABOVE
AC	- ASPHALTED CONCRETE
ACT	- ACTUAL OLD TILE
AD	- AREA DRAIN
ADD	- ADDENDUM
ADD	- ADDITIONAL
ADJ	- ADJUTABLE
ADJ	- ADJACENT
ADMIN	- ADMINISTRATION
APP	- ABOVE FINISH FLOOR
ALT	- ALTERNATE
ALUM	- ALUMINUM
AMEND	- AMENDMENT
AP	- ACCESS PANEL
APPROX	- APPROXIMATE
ARCH	- ARCHITECT
AUTO	- ALTERNATE
BFE	- BOTTOM FOOTING ELEV
BT	- BUTTRESS
BLDG	- BUILDING
BLDG	- BLOCKING
BLW	- BELOW
BM	- BEAM
BO	- BY OWNER
BOT	- BOTTOM
BSMT	- BASEMENT
BTWN	- BETWEEN
CAB	- CABINET
CANTL	- CANTILEVER
CDTV	- CLOSED CIRCUIT TV
CJT	- CONTROL JOINT
CL	- CENTER LINE
CLG	- CEILING
CLR	- CLEAR
CO	- COVER OPENING
COL	- COLUMN
CONC	- CONCRETE
CONF	- CONFERENCE
CONET	- CONSTRUCTION
CONT	- CONTINUOUS
CONTR	- CONTRACTOR
COORD	- COORDINATE
CRPT	- CURB
CT	- CERAMIC TILE
CTR	- CENTER
CURB	- CURB/STAIR-BANK
CW	- COLD WATER
D	- DEPTH OR DEEP
D&S	- DISBURS
DEAD	- DEMOLITION
DEPT	- DEPARTMENT
DF	- DRINKING FOUNTAIN
DI	- DIAMETER
DIAG	- DIAGONAL
DM	- DIMENSION
DIST	- DISTRIBUTION
DN	- DOWN
DR	- DOOR
DS	- DOWNSPOUT
DW	- DRAINWATER
DWG	- DRAWING
EACH	- EACH
EXP	- EXPANSION JOINT
ELEC	- ELECTRICAL
ELEV	- ELEVATION
EMERG	- EMERGENCY
EQ	- EQUAL
EQUIP	- EQUIPMENT
EXT	- EXTENSION
FA	- FIRE ALARM
FD	- FLOOR DRAIN
FDN	- FOUNDATION
FE	- FIRE EXTINGUISHER
FG	- FIRE HOSE
FIN	- FINISH
FRT	- FRONT
FL	- FLOOR
FLASH	- FLASHING
FLOOR	- FLOORSCREED
FRAM	- FRAMING
FRN	- FURNACE
FT	- FOOT/FEET
FTS	- FOOTING
FURN	- FURNITURE
FURF	- FURRING
FUTR	- FUTURE
GA	- GAUGE
GAL	- GALVANIZED
GALV	- GALVANIZED
GB	- GRAB BAR
GEN	- GENERAL
GL	- GLASS
GR	- GUARD RAIL
GWB	- GYPSUM WALL BOARD
H	- HEIGHT
HS	- HOLLOW CORE
HC	- HOLLOW CORE
HCP	- HARDWARE
HDR	- HEADER
HDR	- HARDWARE
HM	- HOLLOW METAL
HORZ	- HORIZONTAL
HR	- HORIZONTAL
HT	- HEIGHT
HTR	- HEATER
HVAC	- HEATING/VENTILATING
HW	- HOT WATER
HWD	- HARDWOOD

GENERAL NOTES	
GENERAL NOTES	
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, ZONING ORDERS, THE NATIONAL ELECTRICAL CODE (NEC), AND ALL OTHER APPLICABLE CODES, RULES, AND REGULATIONS IN THE LATEST ADOPTED EDITION. THE CONTRACTOR IS RESPONSIBLE TO ENFORCE THESE REQUIREMENTS WITH ALL SUBCONTRACTORS.	
2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE PROJECT AS IT RELATES TO THE PLANS AND SPECIFICATIONS AND ALL SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS OR DISCREPANCIES THAT MAY AFFECT THE WORK. THE ARCHITECT WILL PROVIDE APPROPRIATE CLARIFICATIONS AS NECESSARY. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INDEED PERFORMED, REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ARCHITECT.	
3. DETAILS ARE USUALLY KEPT ONCE ON THE PLANS OR ELEVATIONS, AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT.	
4. ALL WORK SHALL BE PROPERLY PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.	
5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE OBTAINED FOR AND PAID FOR BY THE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS AND APPROVALS OF THE WORK.	
6. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL SEND THE OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNT REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE.	
7. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE CONTRACTOR FOR APPROVAL. THE CONTRACTOR SHALL SUBMIT ANY MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.	
8. ALL THERMAL AND ACOUSTIC INSULATION SHALL COMPLY WITH THE 1997 UNIFORM BUILDING CODE.	
9. THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. ANY INTERFERING MATERIAL OR WORKMANSHIP SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT, AND RECONSTRUCTED TO MEET THE ARCHITECT'S APPROVAL.	
10. A COPY OF THE AS-BUILT APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES FOR REVIEW BY THE ARCHITECT.	
11. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIAL, AND WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO COST TO THE OWNER.	
12. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES AND PROMPTLY CLEAN WORK AREA WHEN DIRECTED BY THE OWNER OR THE ARCHITECT.	
13. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY, U.N.O.	
14. COORDINATE THE TRADES, CRAFTS, AND SUBCONTRACTORS AS REQUIRED TO PROVIDE CORRECT AND ACCURATE CONNECTIONS OF ALL UTILITIES, ADJOINING OVERLAPPING AND RELATED WORK. PROVIDE ANCHORS, PARTENERS, BLOCKING, ACCESSORIES, APPURTENANCES, DAILINGS AND BEALING AND INCIDENTAL ITEMS AS REQUIRED TO COMPLETE THE WORK PROPERLY, FULLY, AND CORRECTLY IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	
15. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE AND ACCESS TO AND FROM THE SITE. HE SHALL DETERMINE, SCHEDULE AND MONITOR THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, INTERFERENCE AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE CONTRACTOR'S.	
16. ALL MATERIALS AND FINISHES USED ON THE PROJECT SHALL BE NEW AND FREE OF DEFECTS OR DAMAGE, U.N.O.	
17. ITEMS OF EQUIPMENT, FIXTURES, SIZE, CAPACITY, MODEL, STYLE AND MATERIALS NOT SPECIFICALLY SPECIFIED HEREIN OR INDICATED ON THE DRAWINGS, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED. SUCH ITEMS SHALL MEET APPLICABLE CODE REQUIREMENTS AND BE THE TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE PROJECT. WHERE THESE ARE VISIBLE IN THE FINAL WORK, OBTAIN ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH THE WORK.	
18. DIMENSIONING STANDARDS: A. HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF WALL AND DO NOT INCLUDE FINISH MATERIALS, U.N.O. B. DIMENSIONS NOTED AS CLEAR OR CLR MUST BE PRECISELY MAINTAINED AND SHALL INCLUDE APPLIED FINISH MATERIALS. C. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED AS A.I. D. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FINISHED FLOOR SLAB DATUM LINE, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE ACCEPTANCE OF THE OWNER OR ARCHITECT, U.N.O. E. DIMENSIONS MARKED AS FINISH ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS, THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR. F. DO NOT SCALE DRAWINGS, IF DIMENSIONS, LAYOUT, OR ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CLARIFICATION AND CONSENT OF THE ARCHITECT.	
19. THE CONTRACTOR IS RESPONSIBLE FOR COOPERATING AND COORDINATING WITH OTHERS AS IT PERTAINS TO THE PROJECT.	
20. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND CLEARANCES SHALL BE VERIFIED BY THE CONTRACTOR. CHECK LEVELS AND LINES INDICATED BEFORE COMMENCING WITH THE WORK. THE ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENTS, CORRECTIONS OR CLARIFICATIONS.	
21. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. PERFORM ALL THE WORK IN A WORKMANLIKE AND WELL MANNER.	
22. DO NOT SUBSTITUTE, REVERSE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.	
23. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL AND CEILING MOUNTED ACCESSORIES AND HARDWARE.	
24. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR LIGHTING, PLUMBING, TILE, AND STONE TO THE ARCHITECT FOR REVIEW AND APPROVAL.	

SHEET SYMBOLS	
	DETAIL REFERENCE
	EXTERIOR ELEVATIONS
	INTERIOR ELEVATIONS
	BUILDING/WALL SECTION
	ROOM DESCRIPTION
	PARTITION TYPE
	ENLARGED REFERENCE
	WINDOW TYPE
	REVISION
	DOOR NUMBER
	ELEVATION ABOVE DATUM
	SHEET NOTE
	KEY NOTE
	GRID LINES
	FLOOR FINISH
	LEVEL CHANGE
	POINT OF EGRESS

APPLICABLE CODES	
PROJECT SHALL COMPLY WITH 2001 CBC, CMC, CEC, CPC AS AMENDED BY THE CITY OF SAN FRANCISCO	
PROJECT SHALL COMPLY WITH 2006 TITLE 24 ENERGY REQUIREMENTS AND ALL MANDATORY MEASURES	
PROJECT INFO.	
PROJECT ADDRESS	2949-2951 PACIFIC AVE SAN FRANCISCO, CA 94115
ASSESSOR'S PARCEL #	BLOCK 0876, LOT 024
OCCUPANCY/ZONING	R-2 / RM2
CONSTRUCTION TYPE	TYPE 5, NF, SPRINKLERED

INDEX	
ARCHITECTURAL	
A0.0 - INDEX/NOTES/	
A2.1 - SITE & 1ST FLOOR PLANS	
A2.2 - BASEMENT FLOOR PLANS (E) & PROPOSED	
A4.1 - REAR ELEVATION & PHOTOS	
CONTACT INFO.	
ARCHITECT	
BOOR BRIDGES ARCHITECTURE, INC.	
1888 15TH STREET	
SAN FRANCISCO, CA 94103	
BONNIE BRIDGES: (415) 241-7161	
SARAH FUCINARO: (415) 241-7160 EXT 105	
OWNER	
DEREK AND LISA KIRKLAND	
2951 PACIFIC AVE	
SAN FRANCISCO, CA 94115	
DEREK: (415) 814-2810	
LISA: (415) 814-2810	
CONTRACTOR	
HUGHES MCGINNIS BUILDERS	
19 COSTA STREET	
SAN FRANCISCO, CA 94110	
KEN HUGHES: (415) 235-9698	
LIC: 822139	
STRUCTURAL ENGINEER	
GFD'S ENGINEERS	
643 HOWARD STREET, FIRST FLOOR	
SAN FRANCISCO, CA 94105	
BOB SMITH: (415) 512-1301 EXT 11	
SCOPE OF WORK	
<ul style="list-style-type: none"> VARIANCE FOR BASEMENT SPACE AS NEW UNIT <ul style="list-style-type: none"> CONVERSION OF (E) BASEMENT STUDIO SPACE TO SEPARATE LEGAL DWELLING UNIT. PARKING: NOT ADEQUATE OFF-STREET PARKING TO ADD A 4TH PARKING SPACE INSIDE THE GARAGE REAR YARD: THE (E) REAR YARD DEPTH OF 16' IS LESS THAN THE REQUIRED EXPOSURE DEPTH OF 26% OF LOT DEPTH (32' IS REQUIRED FOR 127,688' LOT DEPTH) BUILDING UNITS: <ul style="list-style-type: none"> (E) UNIT 2951: OWNER OCCUPIED: LEVELS 3 AND 4 (E) UNIT 2949: TENANT OCCUPIED: LEVEL 2 (E) UNIT 2949A: RENTAL: LEVEL 1 UNIT 2949B: PROPOSED NEW UNIT: BASEMENT DRAWINGS REFLECT REMODEL OF BUILDING AND BASEMENT SPACE APPROVED UNDER PERMIT #2010.08.16.8856 	

VICINITY MAP	

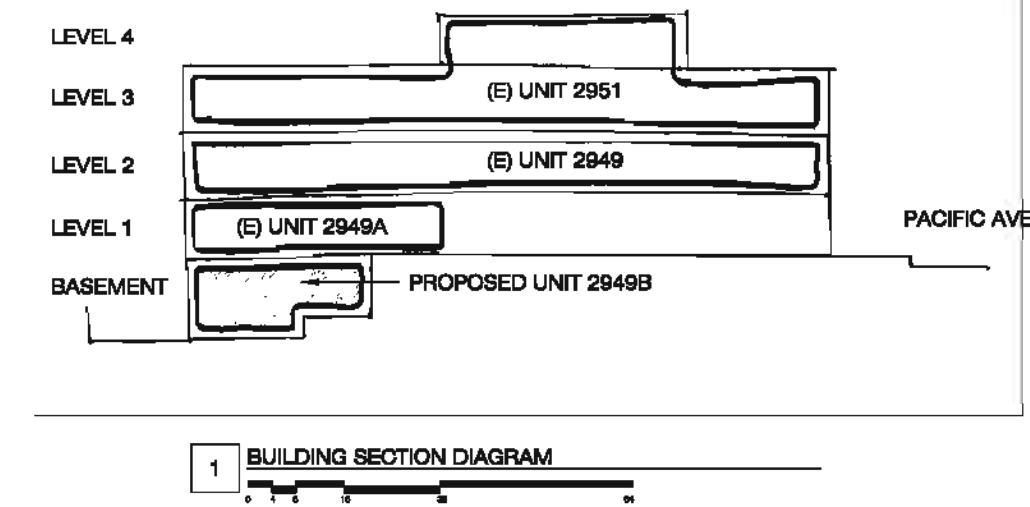
Pacific Avenue

2949B Pacific Avenue

San Francisco, CA 94115

201002

2010/09/14 Variance Submittal



1 BUILDING SECTION DIAGRAM

BOOR BRIDGES ARCHITECTURE

MAIL 1686 15th Street
San Francisco, CA 94103

TEL 415 241 7160

FAX 415 241 7164

WWW boorbridges.com



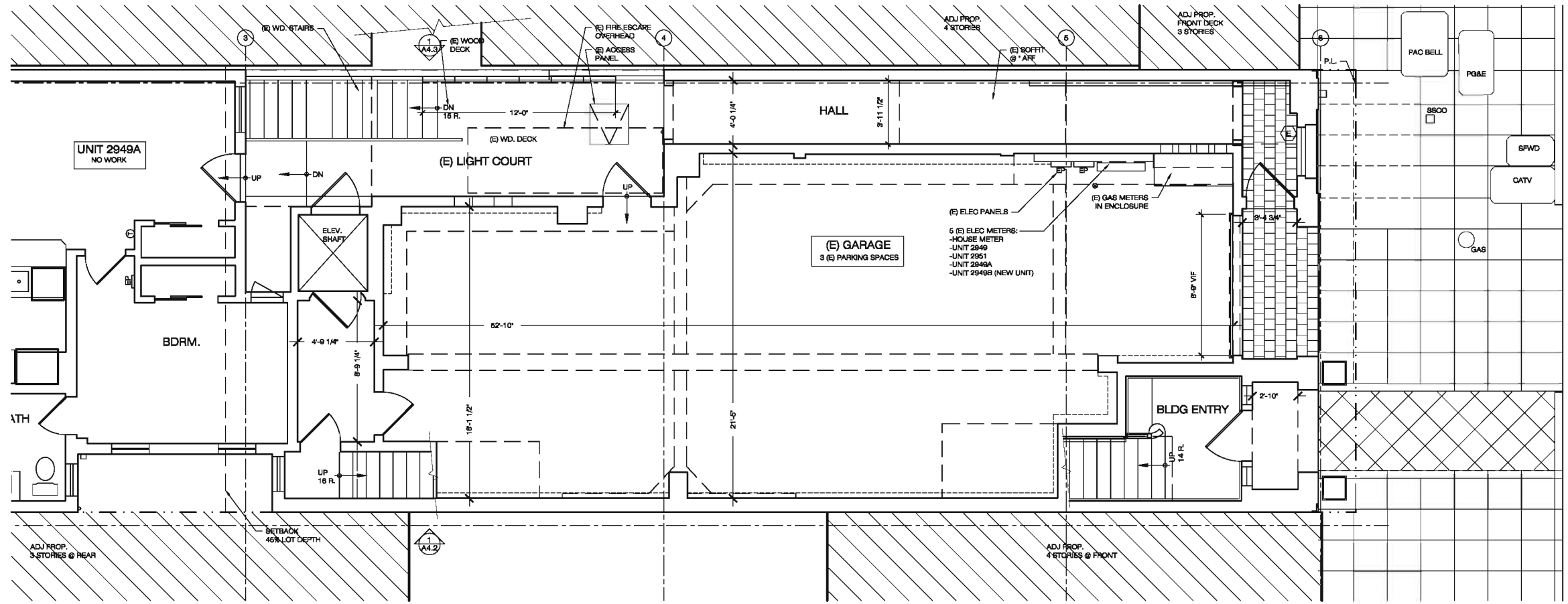
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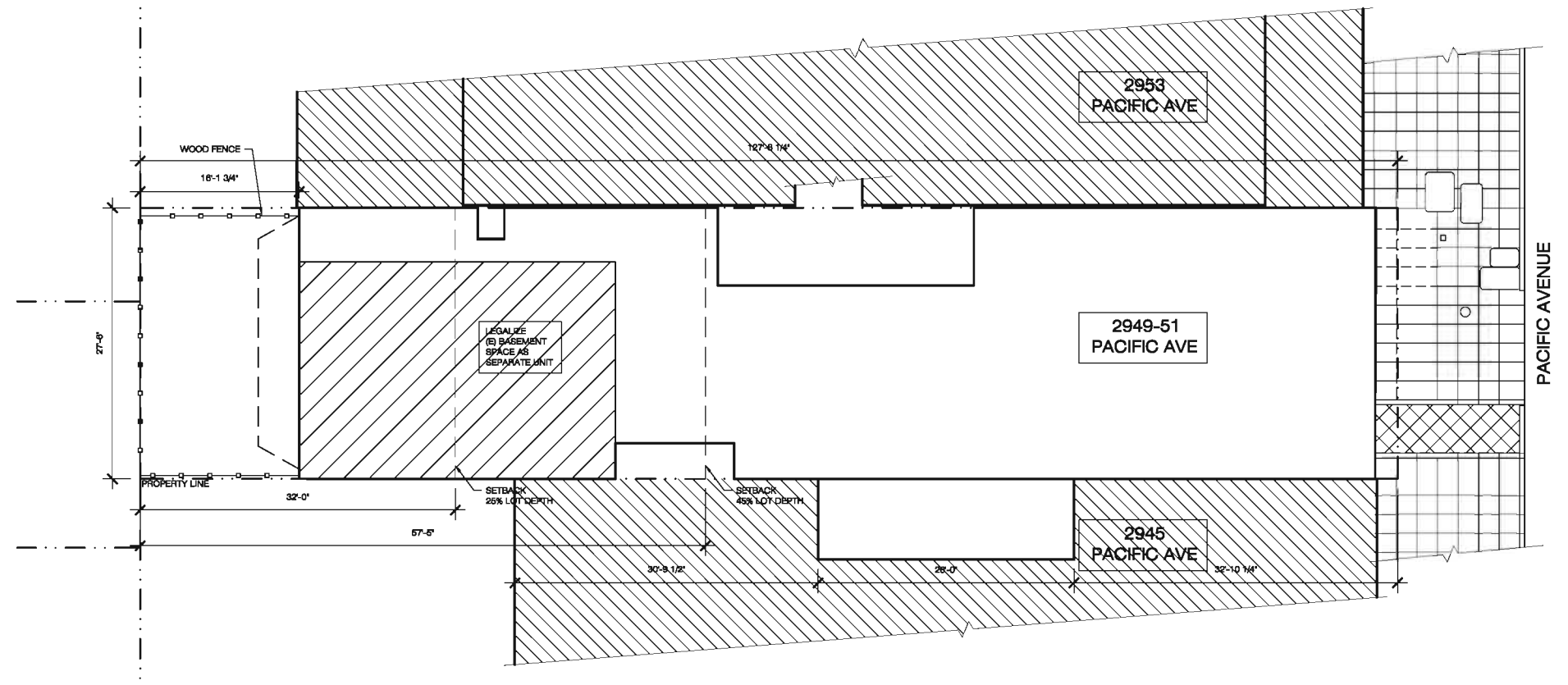
PROJECT Pacific Avenue
2949B Pacific Avenue
San Francisco, CA 94115

NUMBER 201002

CONTACT Bonnie Bridges
415 241 7161



2 EXISTING: 1ST FLOOR PLAN



1 SCOPE / SITE PLAN

PACIFIC AVENUE

PACIFIC AVENUE

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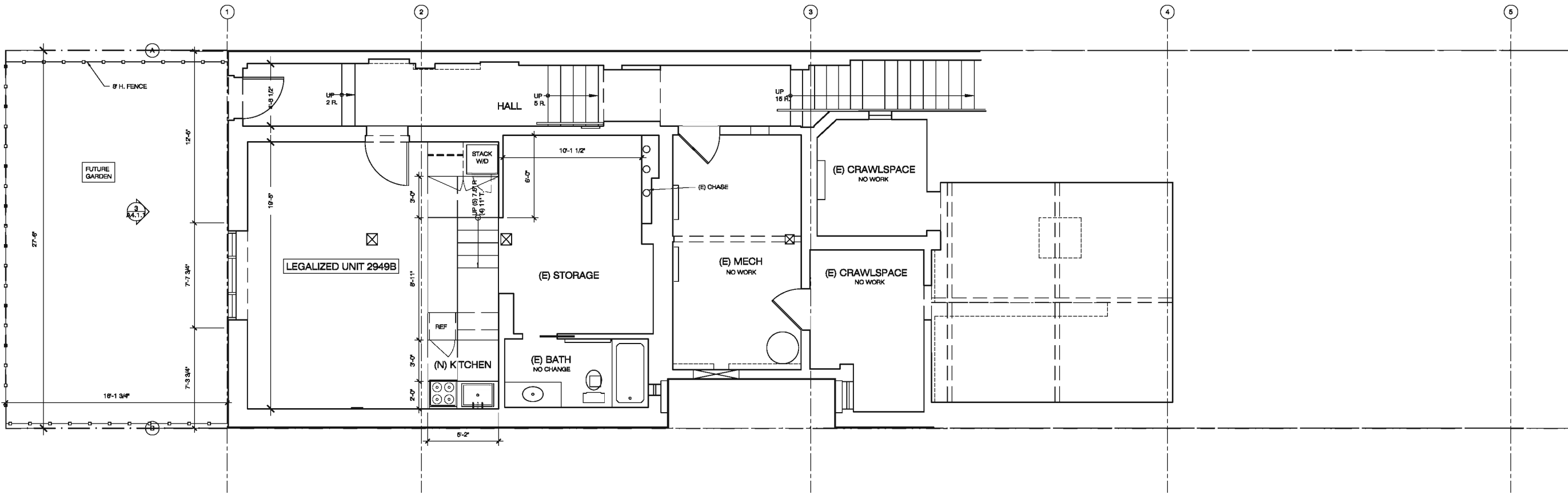
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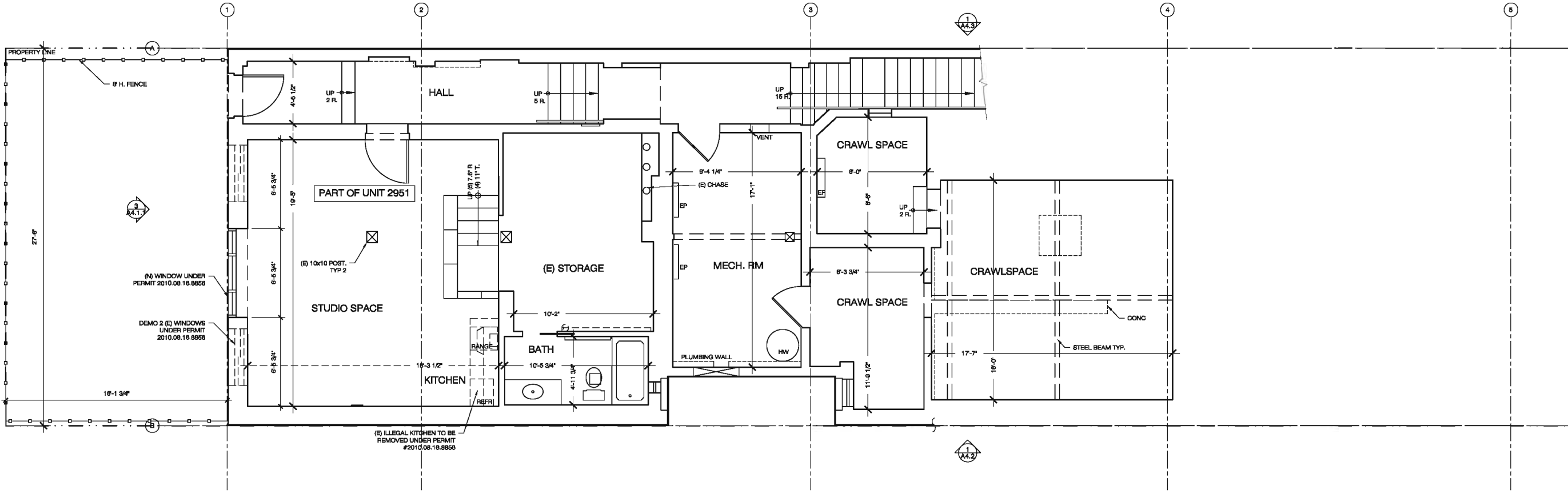
CONTACT Bonnie Bridges
415 241 7161

SITE PLAN &
(E) 1ST FLOOR PLAN

A2.1



2 PROPOSED BASEMENT FLOOR PLAN: NEW UNIT IN (E) SPACE



1 BASEMENT FLOOR PLAN: AS APPROVED UNDER PERMIT #2010.08.16.8856

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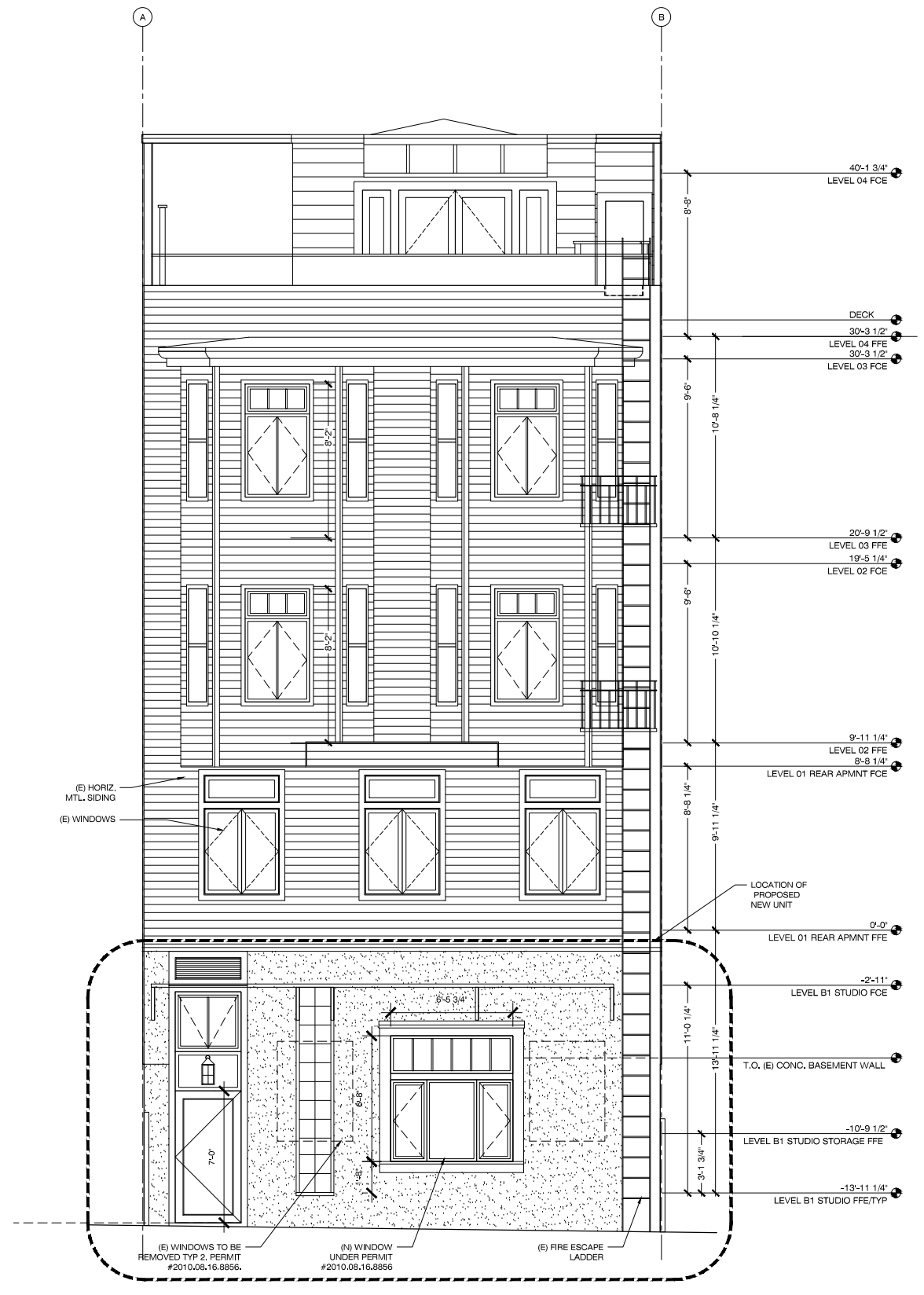
CONTACT Bonnie Bridges
415 241 7161

BASEMENT FLOOR PLANS
(E) AND PROPOSED

A2.2



2 (E) FRONT ELEVATION
NTS



3 PROPOSED REAR ELEVATION: AS APPROVED UNDER PERMIT #2010.08.16.8856



1 (E) REAR ELEVATION AT LEVEL B1
NTS

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PHOTOS &
REAR ELEVATION

A4.1