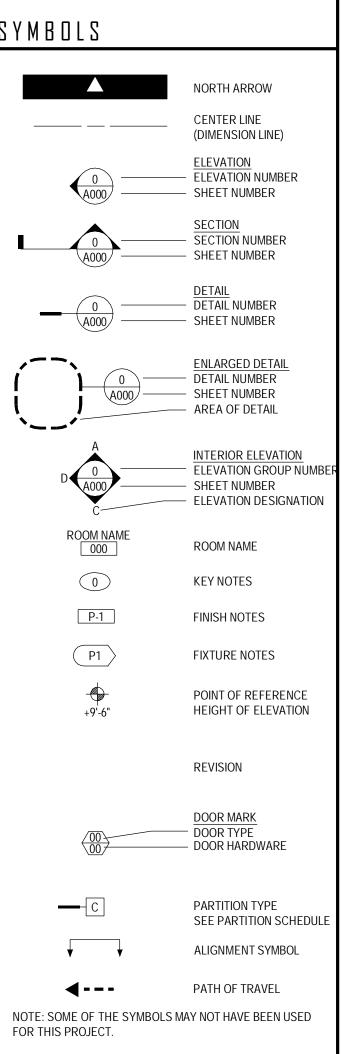
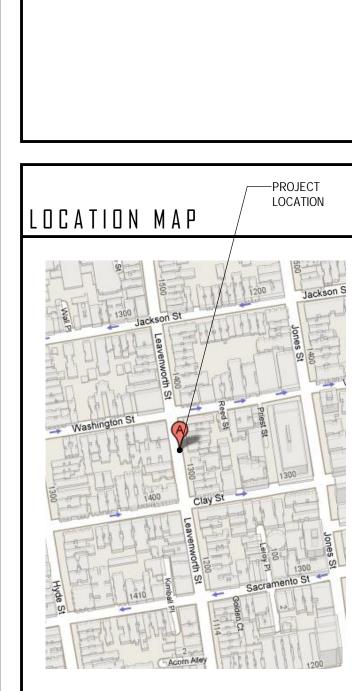
GENERAL CONDITIONS

- AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2007 EDITION, ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS AND SHALL BE CONSIDERED PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PROJECT PREMISES, AS WELL AS ADJACENT TENANT SPACES WHERE WORK MAY BE PERFORMED TO COMPLETE THE PROJECT, AND SHALL BASE THE CONTRACTOR'S BID ON THE EXISTING CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT IN WRITING AND OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. REQUESTS FOR ADDITIONAL CHARGES WILL NOT BE ENTERTAINED FOR THE CONTRACTOR'S FAILURE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO HAZARDOUS OR TOXIC MATERIALS, INCLUDING ASBESTOS, PCB's, UNDERGROUND STORAGE TANKS AND CONTAMINATE SOILS. IF CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, CONTRACTOR SHALL PROMPTLY NOTIFY THE BUILDING OWNER IN WRITING, AND SHALL TAKE APPROPRIATE SAFETY PRECAUTIONS WHEN PERFORMING THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THE CONTRACTOR'S JURISDICTION.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL RULES REGULATIONS, REQUIREMENTS, CONDITIONS AND SPECIFICATIONS REQUIRED FOR THE PERFORMANCE OF WORK IN THE BUILDING. THIS INCLUDES ACCESS HOURS, FREIGHT ELEVATOR ACCESS, NOISE RESTRICTIONS, AND ALL OTHER ITEMS THAT MAY AFFECT COST AND SCHEDULE. ALL SUCH FACTORS SHALL BE INCLUDED IN ALL BIDS AND PRICING.
- THE CONTRACTOR SHALL AVOID ANY CONFLICT OR INTERFERENCE WITH NORMAL BUILDING OPERATIONS BY COMPLYING WITH THE BUILDING'S RULES, REGULATIONS, REQUIREMENTS, CONDITIONS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL SCHEDULE ALL WORK SO AS TO AVOID DISTURBING OR CAUSING DAMAGE TO ANY TENANT IN THE BUILDING. IF REQUIRED TO PERFORM THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ACCESS INTO ADJACENT TENANT SPACES WITH THE BUILDIN OWNER . THE CONTRACTOR SHALL INCLUDE ALL WORK PERFORMED IN ADJACENT TENANT SPACES ON A REGULAR AND OVERTIME BASIS IN CONTRACTOR'S PROJECT PRICING AND SCHEDULING.
- THE CONTRACTOR SHALL DETERMINE ALL LEAD TIMES FOR FINISH MATERIALS AT TIME OF PRICING TO ASSURE AVAILABILITY OF MATERIALS AS SCHEDULE REQUIRES. THE ARCHITECT WILL NOT ENTERTAIN ANY REQUESTS FOR MATERIAL SUBSTITUTIONS. ANY COSTS FOR SPECIAL HANDLING OR AIR FREIGHT OF MATERIALS IN ORDER TO MEET REQUIRED DEADLINES IS THE RESPONSIBILITY OF THE CONTRACTOR. IF NECESSARY, THE CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY FINISHES OR MATERIALS. MONEYS WILL BE WITHHELD PENDING THE SATISFACTORY INSTALLATION OF SPECIFIED FINISHES AND MATERIALS.
- THE CONTRACTOR SHALL PROVIDE STRICT CONTROL OF THE JOB SITE AND SHALL PREVENT DUST AND DEBRIS FORM EMANATING FROM HE CONSTRUCTION AREA.
- . THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS DISCOVERED IN THE EXISTING BUILDING CONSTRUCTION, INCLUDING BUT NOT LIMED TO UNEVEN SURFACES IN THE FINISHED FLOOR, SUBFLOOR AND/OR SLAB, WALL CONSTRUCTION, AND CEILINGS.
- THE CONTRACTOR SHALL PATCH AND REPAIR OR REPLACE ALL EXISTING-TO-REMAIN CONSTRUCTION, FINISHES OR FIXTURES DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO FIREPROOFING OR FIRE RATED ASSEMBLIES.
- . THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF UNUSED OUTLETS AND BLANK COVER PLATES, AND SHALL DEMO ANY UNUSED WIRING AND CONDUIT TO THE SOURCE, UNLESS OTHERWISE NOTED. PATCH AND REPAIR WALL AS REQUIRED.
- . THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST AT THE LOCATION OF ANY MECHANICAL, ELECTRICAL, SIGNAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT, DUCTWORK, PIPES, AND/OR CONDUIT IN RELATION TO EACH OTHER AND TO OTHER NEW AND EXISTING BUILDING COMPONENTS. THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED CLEARANCES AND/OR ACCESS HATCHES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING IF ANY SUCH CONFLICTS EXIST .
- THE CONTRACTOR SHALL VERIFY THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, LIGHT FIXTURES, POWER & SIGNAL OUTLETS AND SWITCHES WITH ARCHITECT IN THE FIELD PRIOR TO PROCEEDING WITH CONSTRUCTION.
- WHEN THE CONTRACTOR'S WORK IS COMPLETE OR NEARLY COMPLETE, THE CONTRACTOR SHALL PREPARE A COMPREHENSIVE PUNCH LIST OF ITEMS TO BE COMPLETED OR CORRECTED PRIOR TO PROJECT CLOSE-OUT AND AUTHORIZATION OF FINAL PAYMENT, TO BE SUBMITTED TO THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE TWO COMPLETE SETS OF AS-BUILT DRAWINGS OF MECHANICAL, ELECTRICAL, PLUMBING AND LIFE-SAFETY WORK WHICH WAS ENGINEERED AND INSTALLED UNDER THE CONTRACTOR'S SCOPE OF WORK, SUCH AS ENGINEERING WORK PERFORMED ON A DESIGN/BUILD BASIS.
- THE CONTRACTOR SHALL NOT BE RELIVED OF ANY CONTRACTUAL RESPONSIBILITY RESULTING FROM ARCHITECT'S FAILURE TO DETECT SHOP DRAWINGS ERRORS AND OMISSIONS IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
- 9. NO WORK DEFECT IN CONSTRUCTION OR QUALITY, OR DEFICIENCY IN ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR INDICATE DEFECTS OR DEFICIENCIES PRIOR TO OR DURING CONSTRUCTION. DEFECTIVE WORK DISCOVERED WITHIN THE TIME REQUIRED BY GUARANTEES OR WARRANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT DOCUMENTS. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF THE DEFECTIVE WORK OR IMPROPER MATERIALS.
-). THE CONTRACTOR SHALL APPLY FOR, OBTAIN AND PAY FOR ALL LICENSES AND INSPECTIONS AS REQUIRED TO COMPLY WITH ALL CITY AND LOCAL CODES AND LAWS.





O.A. OVERALL

ABBREVIATIONS

F.F.

FIRE ALARM

&	AND
@	AT
C	CENTERLINE
±	PLUS OR MINUS
P	PROPERTY LINE
#	POUND OR NUMBER
ANOD.	ABOVE FINISH FLOOR ALUMINUM ALUMINUM ANODIZED APPROXIMATE ARCHITECTURAL AUDUO/VISUAL
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
B.O.	BOTTOM OF
BTWN.	BETWEEN
CAB. CLG. CLKG. CLOS. CLR. CMU C.O. COL. CONC. CONC. CONSTR. CONT. CORR. CTR. CTSK.	CABINET CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONCRETE CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CORRIDOR CENTER COUNTERSUNK
DBL. DEPT. D.F. DIA. DIM. DISP. DN. D.O. DR. DWG. DWR.	DOUBLE DEPARTMENT DETAIL DRINKING FOUNTATIN DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWING DRAWER
(E)	EXISTING
E	EAST
EA.	EACH
E.J.	EXPANSION JOINT
ELEC.	ELEVATION
ELEV.	ELECTRICAL
EMER.	ELEVATION
ENGR.	EMERGENCY
E.P.	ENGINEER
EQ.	ELECTRIAL PANEL BOARD
EQ.	EQUAL
EQPT.	EQUIPMENT
EXST.	EXISTING
EXT.	EXTERIOR
EXT.	EXTERIOR
EXT.	EXTRUSION

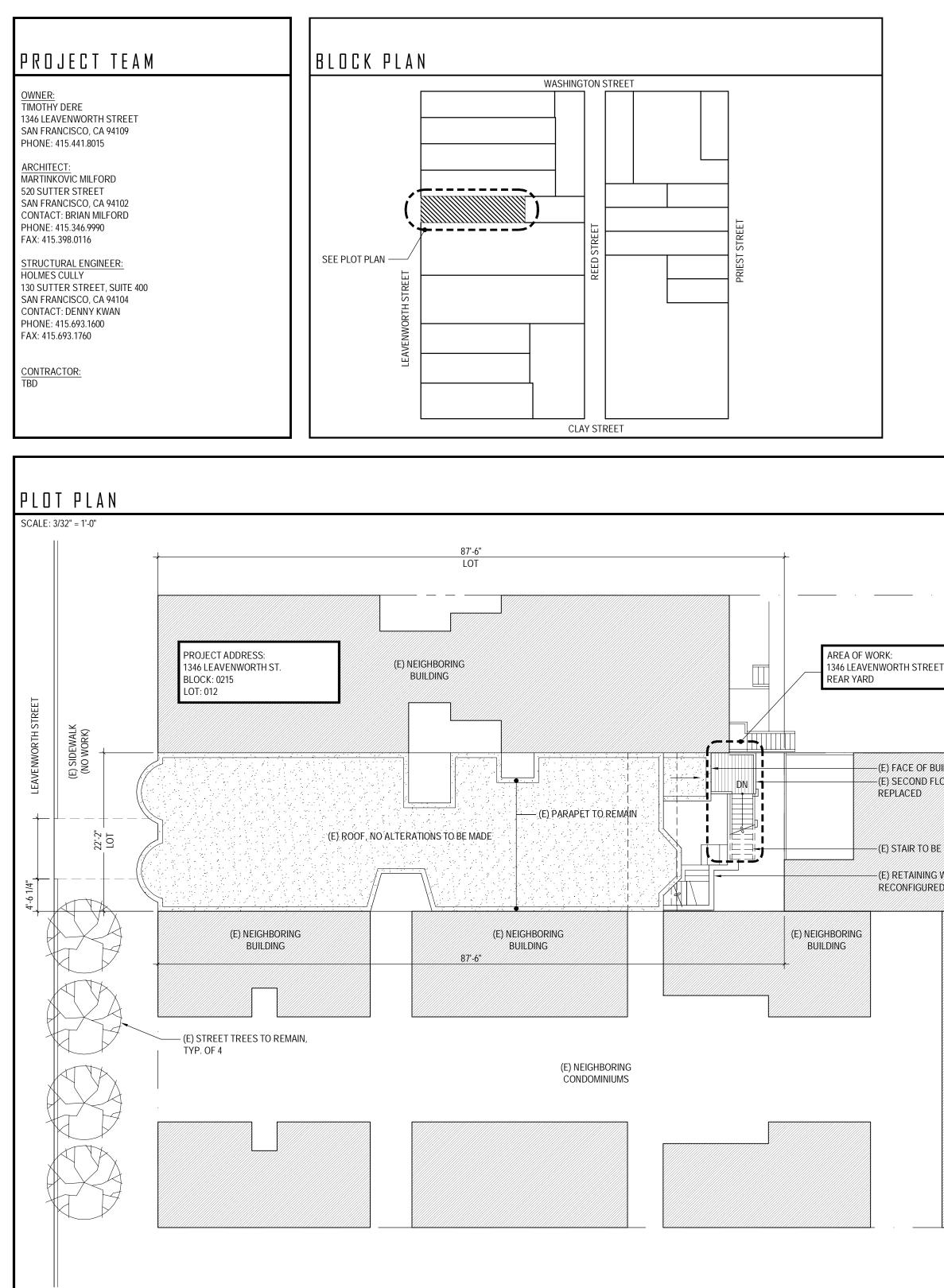
F.F.	FIRE ALARM	0.A.	OVERALL
F.E.	FIRE EXTINGUISHER	0.C.	ON CENTER
F.E.C.	FIRE EXTINGUISHER CABINET FIRE HOSE CABINET	OFF.	OFFICE
F.H.C.	FIRE HOSE CABINET	0.F.S.	OUTSIDE FACE OF STUD
FIN.	FINISH		
FL.			
FL.	FLOOR		PLASTIC LAMINATE
	FLUORESCENT	PLYWD.	PLYWOOD
F.O.C.	FACE OF CONCRETE	PR.	PAIR
F.O.F.	FACE OF FINISH	PT.	POINT
	FACE OF PLYWOOD	PTN.	PARTITION
EOS			
T.U.J.	FACE OF STUD FIRE RETARDENT or FIRE RATED FOOT or FEET		DIGED
F.R.	FIRE RETARDENT OF FIRE RATED	R.	RISER
FT.	FOOT or FEET	REF.	REFERENCE
FURR.	FURRING	REFR.	REFIGERATOR
FUT.	FUTURE	REQ.	REQUIRED
F.V.	FIELD VERIFY	R.F.P.	REINFORCED FIBERGLASS PANEL
1.0.		RM.	ROOM
~	0.41105		
GA.	GAUGE	R.O.	ROUGH OPENING
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	S.	SOUTH
GEN.	GENERAL GYPSUM WALL BOARD GYPSUM	S.C.D.	
GWB		SCHED.	
CVD.		SECT.	
GTP.	GYPSUM		
		S.E.D.	SEE ELECTRICAL DRAWINGS
H.B.	HOSE BIB	S.F.	SQUARE FEET
H.C.	HANDICAPPED	SIM.	SIMILAR
H.M.		S.M.D.	
HORIZ.		SPEC.	SPECIFICATION
HR.	HOUR	SQ.	SQUARE
HT.	HEIGHT HOT WATER DISPENSER	S.S.D. SST.	SEE STRUCTURAL DRAWINGS
H.W.D.	HOT WATER DISPENSER	SST.	STAINLESS STEEL
H.W.H.	HOT WATER HEATER	STD.	STANDARD
		STL.	STEEL
INSUL.		STOR.	
	INSULATION		STORAGE
INT.	INTERIOR	SIRUCI.	STRUCTURAL
JAN.	JANITOR	T.	TREAD
J.C.	JANITOR'S CLOSET	T&G	TONGUE AND GROOVE
JT.	JOINT	TEL.	TELEPHONE
•	30111	TEMP.	
KIT.			TEMPORARY
KII.	KITCHEN	THK.	THICK
		T.O.	TOP OF
LAM.	LAMINATE	T.O.S.	TOP OF SLAB
LAV.	LAVATORY	T.O.W.	TOP OF WALL
	2	TYP.	TYPICAL
MAX.	MAXIMUM		
M.D.F.			
	MEDIUM DENSITY FIBERBOARD	U.L.	UNDERWRITERS LABORATORY
MECH.	MECHANICAL	U.O.N.	UNLESS OTHERWISE NOTED
MEMB.	MEMBRANE	UTIL.	UTILITY
MET.	METAL		
MEZZ.	MEZZANINE	VAR.	VARIES
MFR.		V.C.T.	
MIN.	MANUFACTURER		VINYL COMPOSITION TILE
	MINIMUM	VERT.	VERTICAL
MISC.	MISCELANEOUS	V.I.F.	VERIFY IN FIELD
М.О.	MASONRY OPENING	VOL.	VOLUME
MTD.	MOUNTED		-
MTG.	MOUNTING	W.	
MUL.		W/	WEST or WIDTH
WUL.	MULLION		WITH
(8.1)		W.C.	WATER CLOSET
(N)	NEW	WD.	WOOD
Ν.	NORTH	W.O.	WHERE OCCURS
N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
NO.		WT.	
	NUMBER	VVI.	WIEGHT
NOM.	NOMINAL		
N.T.S.	NOT TO SCALE	YD.	YARD
		BY	ВҮ

SYMBOLS

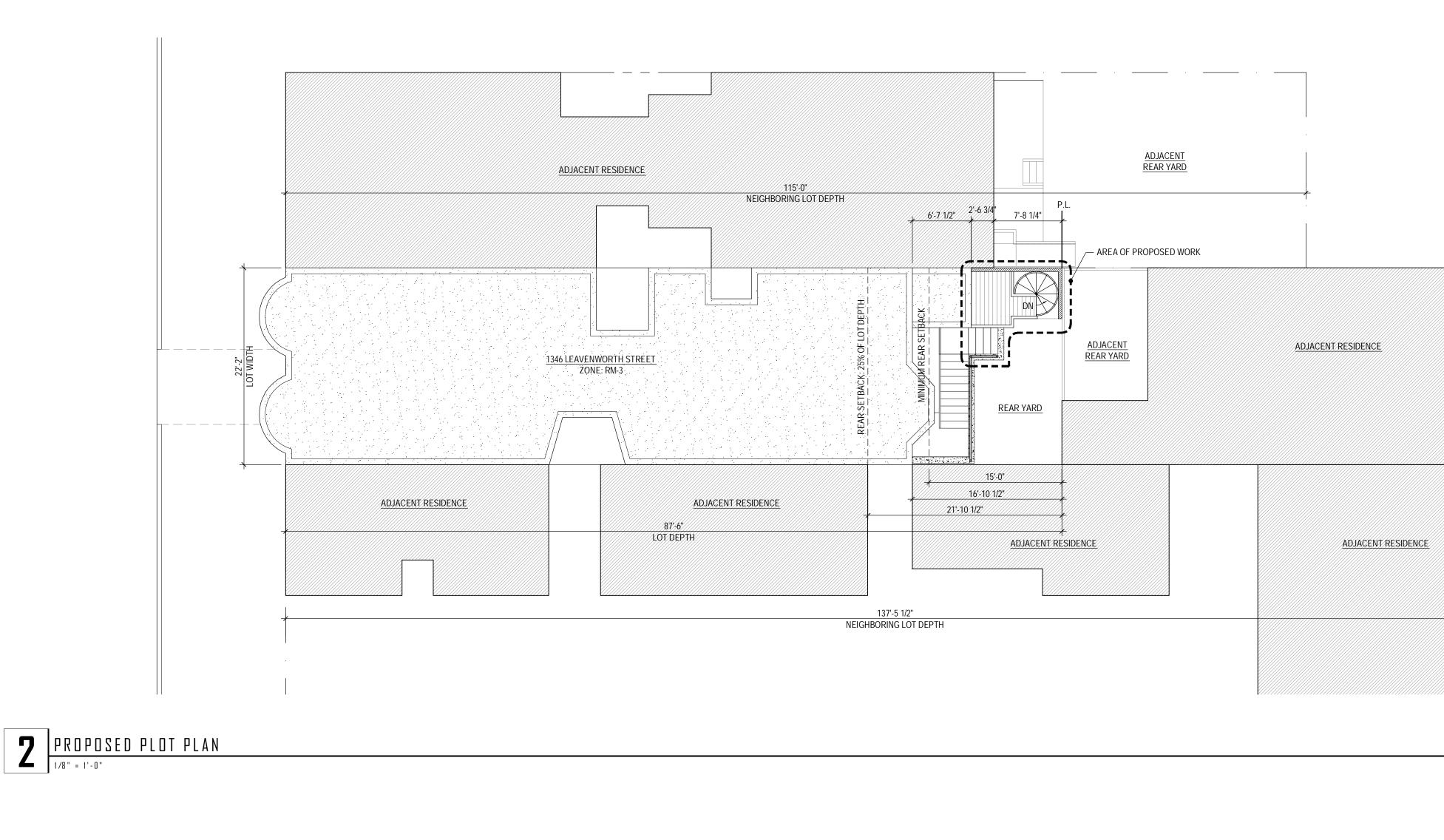
DERE RESIDENCE **RESIDENTIAL REMODEL**

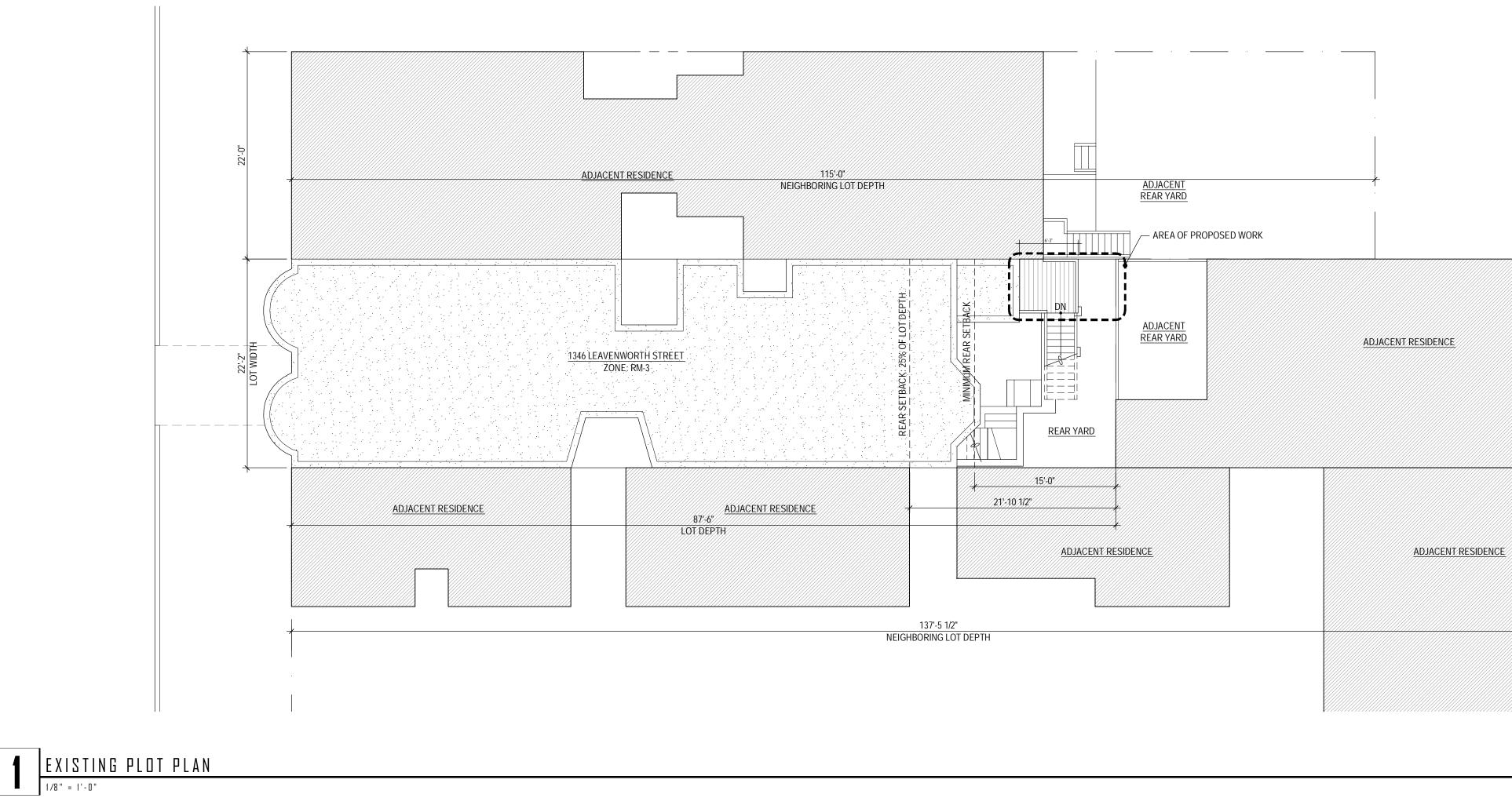
PERMIT REVISION

1346 LEAVENWORTH STREET SAN FRANCISCO, CA 94109

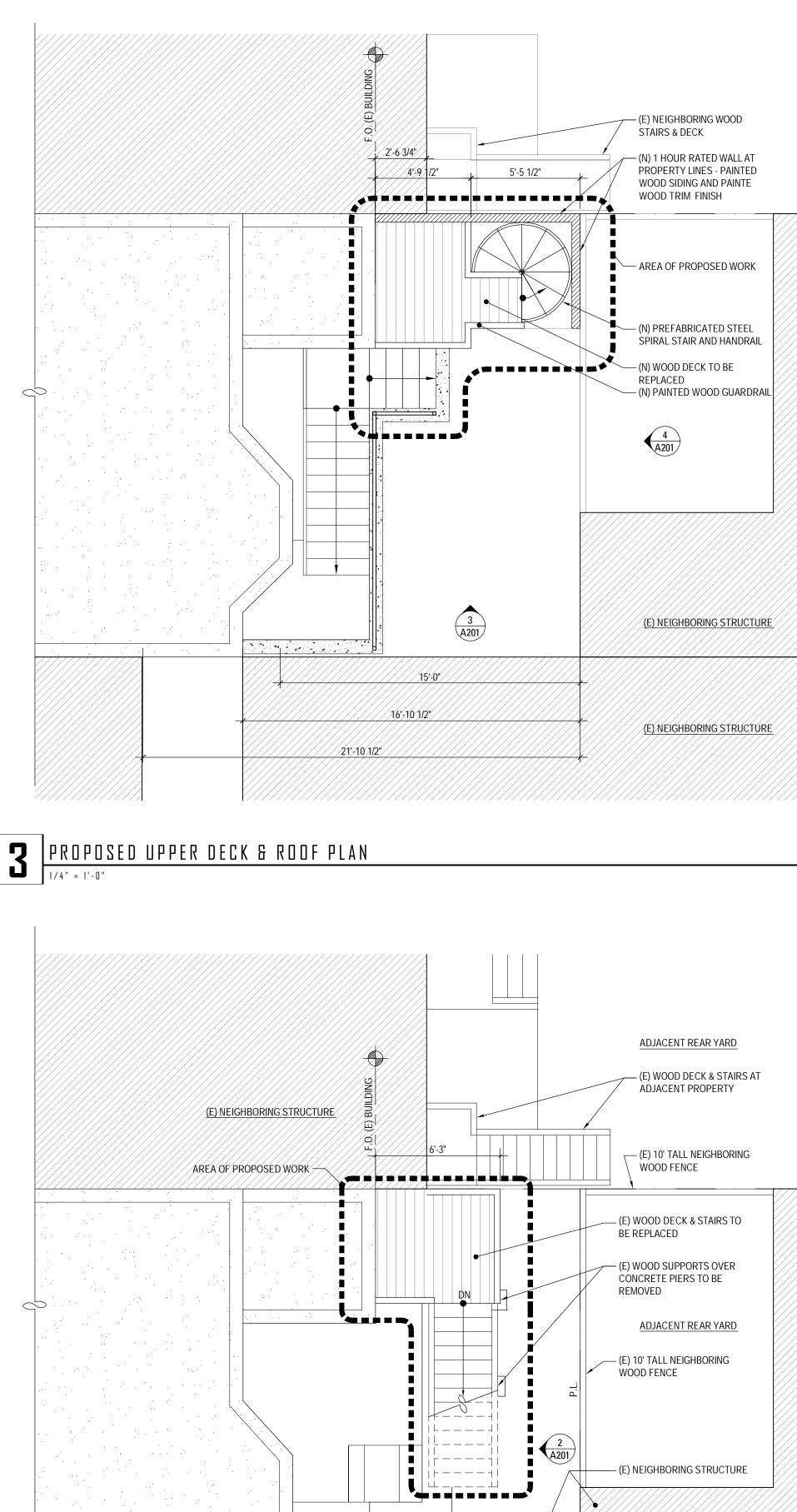


DRAWING INDEX		DERE RESIDENCE residential remodel
LEGEND INCLUDED INCLUDED AND REVISED	DATED 09.15.10	REAR YARD STAIR REPLACEMENT
DRAWING SERIES DRAWING NUMBER DRAWING TITLE A001 TITLE SHEET A111 EXISTING & PROPOSED PLOT PLANS A112 EXISTING & PROPOSED STAIR PLANS A201 EXISTING & PROPOSED ELEVATIONS A201 EXISTING & PROPOSED ELEVATIONS	NAME OF SET	1346 LEAVENWORTH STREET SAN FRANCISCO, CA 94109
		ARCHING ARCHIN ARCHING ARCHIN ARCHIN ARCHIN ARCHIN ARCHIN ARCHIN ARCHIN ARCHIN
ADD	ROJECT DATA DRESS: 1346 LEAVENWORTH STREET	PROJECT DATA ADDRESS: 1346 LEAVENWORTH STREET BLOCK: 0215 LOT: 012 DATES OF ISSUANCE
I STREET STOLUSE	: 012 DRIES: 3 + BASEMENT E: 2 UNIT DWELLING NING: RM3 NSTRUCTION TYPE: V-B CUPANCY TYPE: R-3 V GARAGE AREA: 1,161 S.F.	STAIR REPAIR 09.15.10
RE	COPE OF WORK EVISION TO ACTIVE PERMIT # EPLACES (E) REAR YARD STAIR AND UPPER LANDING. ROPOSED CONFIGURATION WILL REBUILD STAIRS WIT MALLER FOOTPRINT.	H H CDDE 09.15.10 CDDE 0837.2.1 DRAWN CLW CHECKED BM NORTH TITLE SHEET
2007 2007 2007 2007 2007	PLICABLE CODES 7 CALIFORNIA BUILDING CODE 7 SAN FRANCISCO BUILDING CODE 7 CALIFORNIA MECHANICAL CODE 7 CALIFORNIA PLUMBING CODE 7 CALIFORNIA TITLE 24 ENERGY CODE	A O O 1

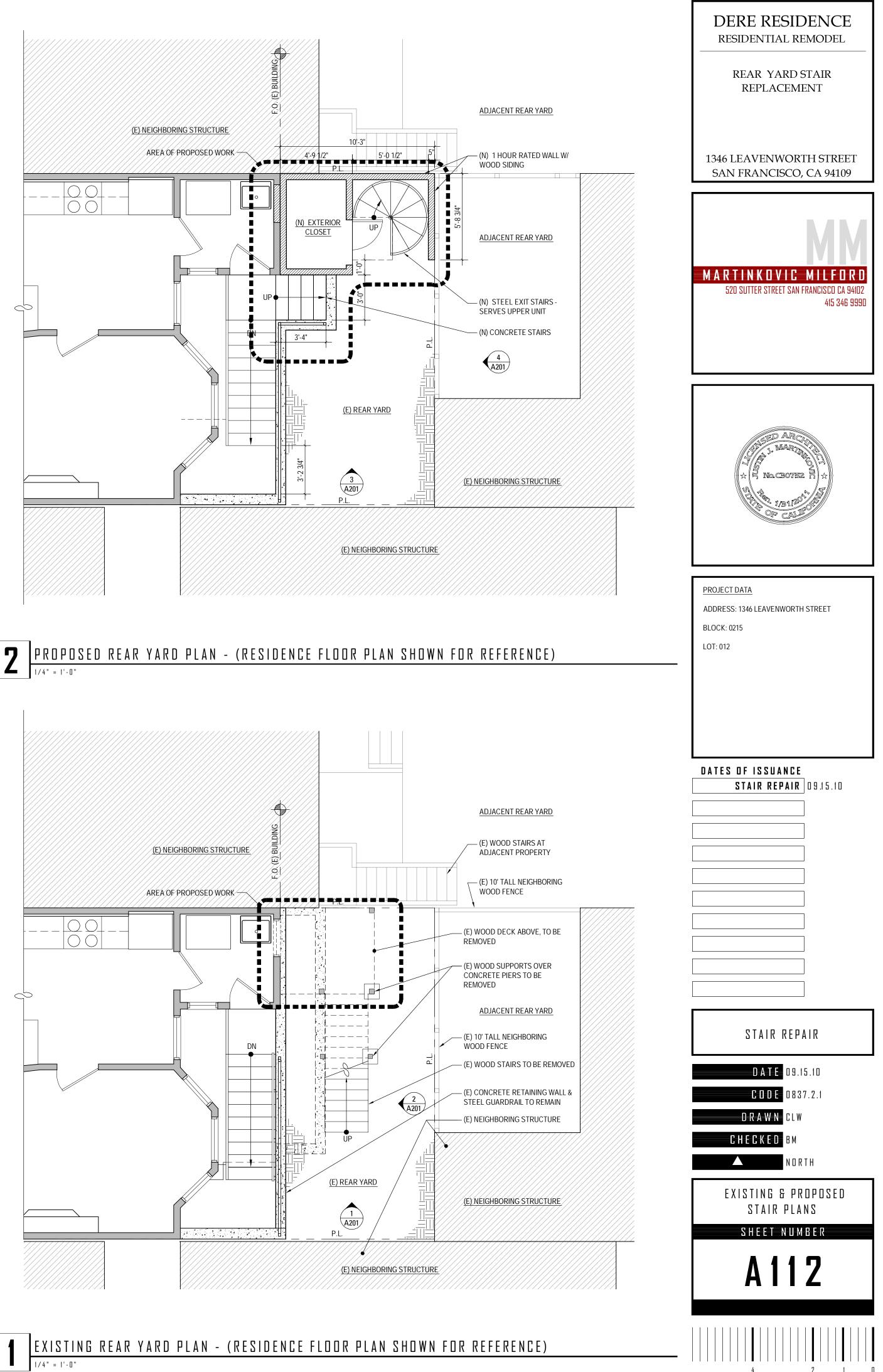


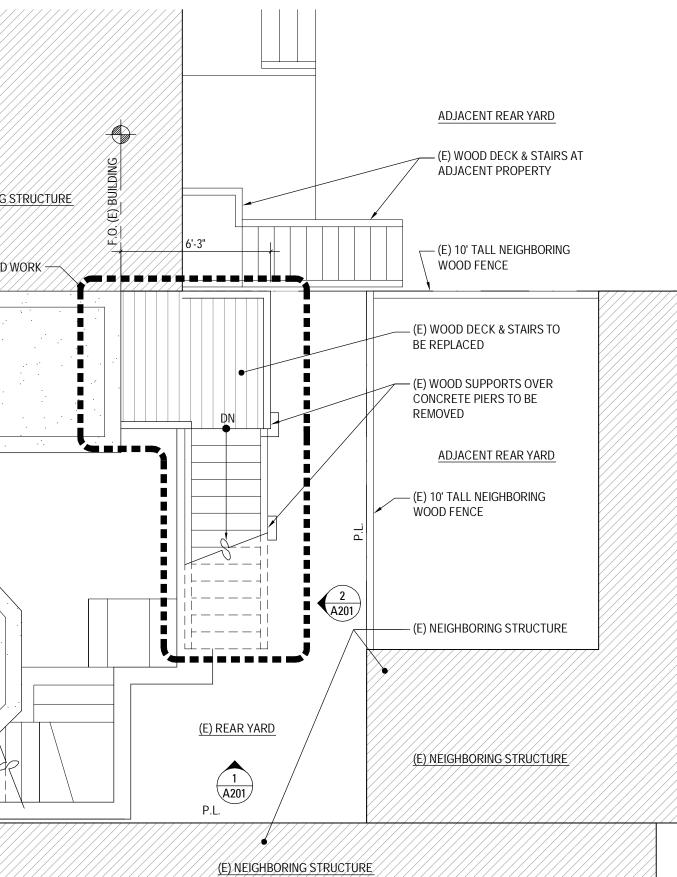


	REAR YARD STAIR REPLACEMENT
-	6 LEAVENWORTH STREET AN FRANCISCO, CA 94109
MA	RTINKOVIC MILFORD 520 Sutter Street San Francisco Ca 94i02 415 346 9990
	AR CHI AR CHI AR CHI A A A A A A A A A A A A A
PRO II	ECT DATA
ADDR	RESS: 1346 LEAVENWORTH STREET K: 0215
LOC	
DATI	ES OF ISSUANCE Stair Repair 09.15.10
DATI	
DATI	
	STAIR REPAIR 09.15.10
	STAIR REPAIR 09.15.10
	STAIR REPAIR 09.15.10
	STAIR REPAIR 09.15.10
	STAIR REPAIR 09.15.10 Image: Stair Repair Image: Stair Repair Image: Stair Repair Image: Stair Repair <
	STAIR REPAIR 09.15.10
	STAIR REPAIR 09.15.10 Image: Stair Repair Image: Stair Repair Image: Stair Repair Image: Stair Repair <

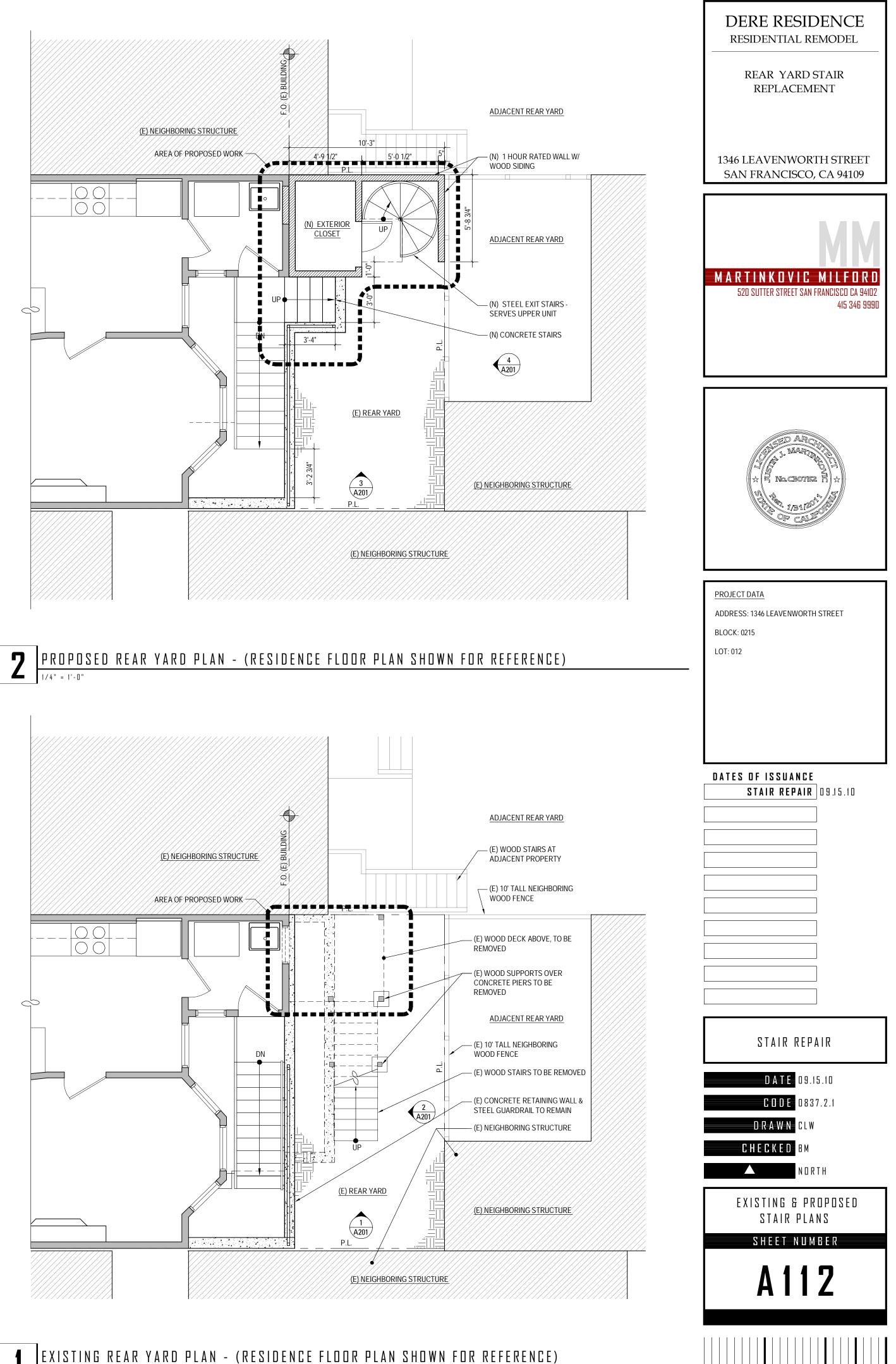


EXISTING UPPER DECK AND ROOF PLAN 1/4" = 1'-0"

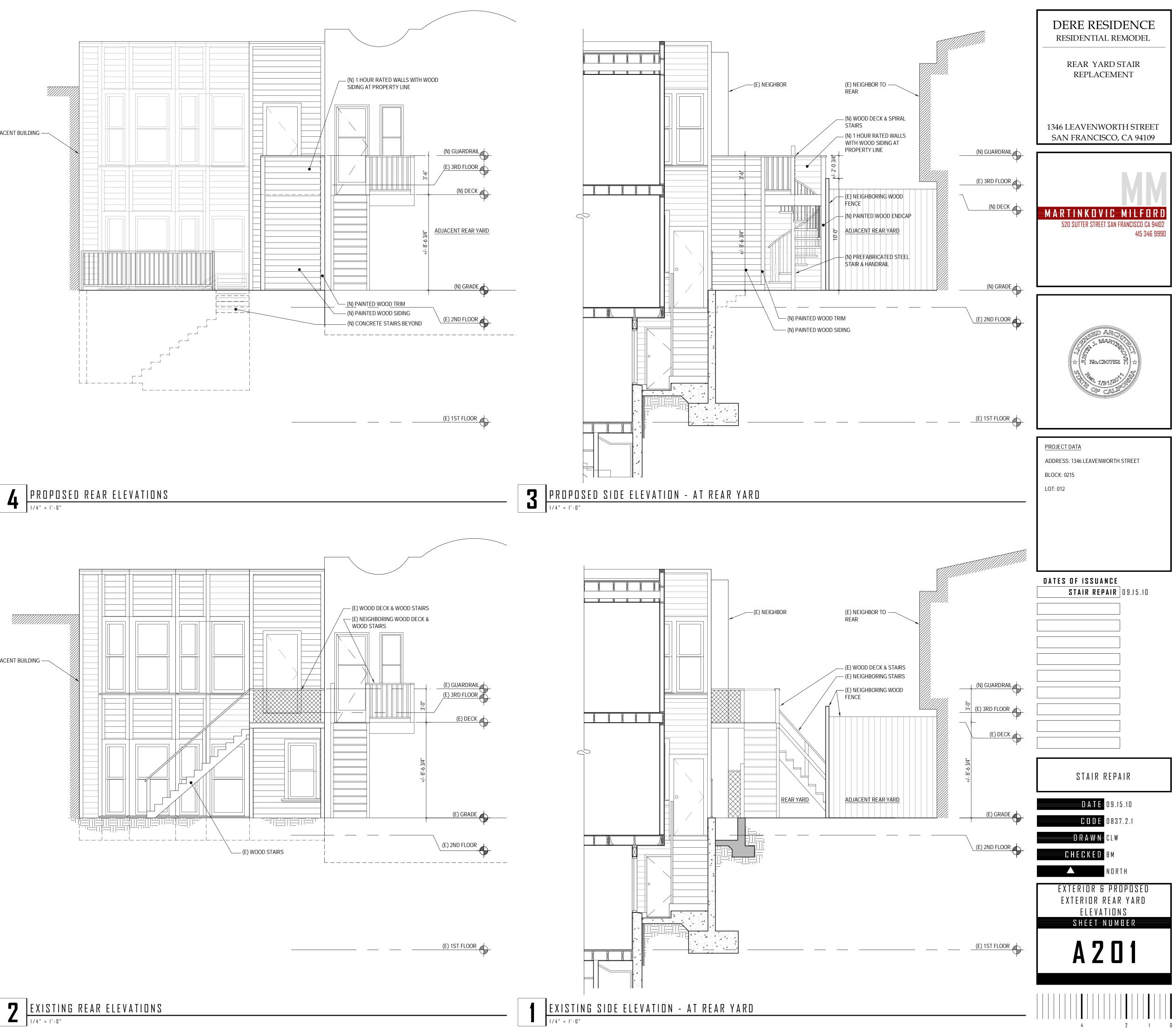




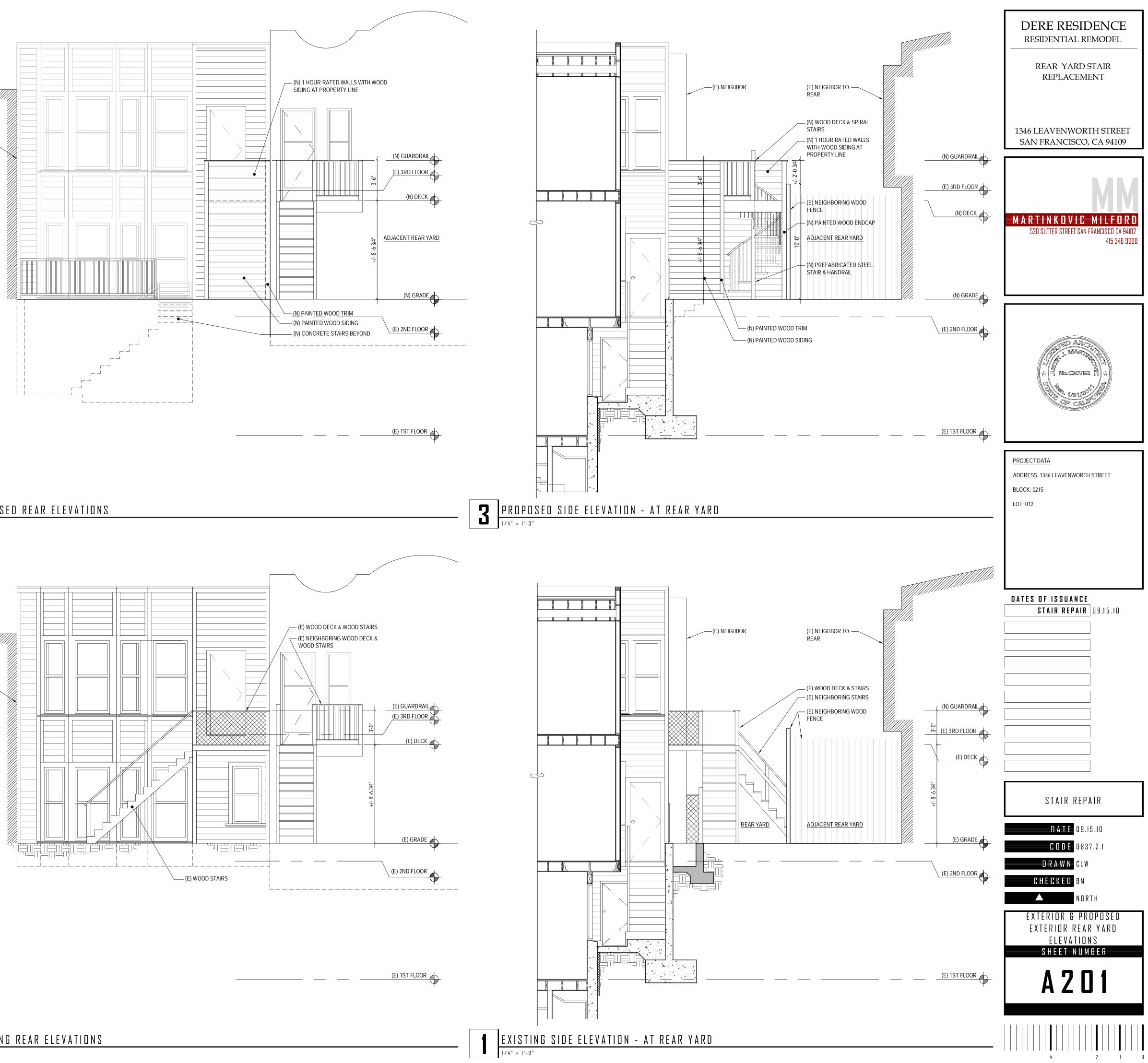




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PROPOSED REAR ELEVATIONS **4**,



(E) ADJACENT BUILDING —

(E) ADJACENT BUILDING —

