



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 26, 2011**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Parking)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2317 15th Street	Case No.: 2010.0832V
Cross Street(s): Beaver & Castro Streets	Building Permit: 2010.09.24.1586
Block /Lot No.: 2613/020	Applicant/Agent: Ahmad Larizadeh
Zoning District(s): RH-2/ 40-X	Telephone: (415) 716-9099
Area Plan: N/A	E-Mail: banainc@aol.com

PROJECT DESCRIPTION

The project is for interior alterations to create a second dwelling unit at the first floor level without providing a new off-street parking space. The project does not involve any enlargement to the existing building.

PER SECTION 151 OF THE PLANNING CODE the subject property is required to maintain one off-street parking space for each dwelling unit. The subject building currently contains one dwelling unit with no off-street parking spaces. The proposal is to add another dwelling unit at the first floor level of the subject building, while not providing an off-street parking space for the new dwelling unit, thereby resulting in a two-unit building with no off-street parking spaces.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **(415) 575-9079** E-Mail: **adrian.putra@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0832V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 12/28/10, the Department issued the required Section 311/312 notification for this project, which expires on 1/27/11.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL BUILDING NOTES

SCOPE:

- 1.01 THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.
- 1.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER.
- 1.03 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.
- 1.04 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS

- 2.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.
- 2.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS.

PERMITS, LICENSES, INSPECTIONS AND FEES

- 3.01 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

GUARANTEE

- 4.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.

DATA AND MEASUREMENTS:

- 5.01 DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 5.02 DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
- 5.03 DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.
- 5.04 ALL WALL DIMENSIONS ARE NOMINAL FACE OF STUD TO FACE OF STUD. ALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

SUBSTITUTIONS FOR SPECIFIED MATERIALS:

- 6.01 SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.

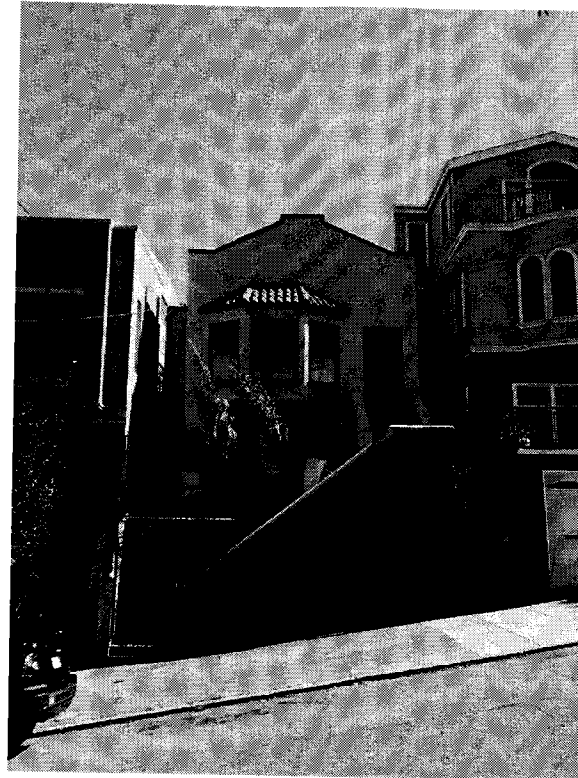
CLEAN UP AND START UP RESPONSIBILITIES

- 7.01 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY CLEAN ALL EXPOSED SURFACES OF THEIR RESPECTIVE WORK COMPLETED.
- 7.02 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO PROJECT ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY TEST AND PROPERLY START UP ALL PROJECT EQUIPMENT AS REQUIRED TO SECURE AND MAINTAIN SPECIFIED EQUIPMENT WARRANTIES. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL MANUFACTURER'S RECOMMENDED OPERATIONS PROCEDURE WITH THE OWNER PRIOR TO PROJECT ACCEPTANCE.

AREA OF WORK

- 10.01 THE GENERAL ENGINEERING CONTRACTOR SHALL REMOVE ALL EXISTING LANDSCAPE MATERIAL NOT PROTECTED, CONCRETE PATIOS/AWALKWAYS, YARD FENCING AND FOOT FOOTINGS, GARAGE STRUCTURE AND FOUNDATION, AND ALL ABANDONED UTILITIES. THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING AND IRRIGATION SYSTEM WITHIN THE AREA OF WORK TERMINATE/CAP-OFF DISCONNECTION POINTS, AND TURN OVER ALL EXISTING SYSTEM COMPONENTS TO THE OWNER FOR FUTURE USE. ALL TOP SOIL SHALL BE REMOVED AND STORED FOR USE IN FINISH GRADING.

UNIT ADDITION FOR THE:
FULLER RESIDENCE
2317 15TH ST.
SAN FRANCISCO, CA 94114



BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	FF	FINISH FLOOR	N	NORTH	T	TREAD
ADJ	ADJACENT	FIX	FIXTURE	O/	OVER	TEMP	TEMPERED
ALUM	ALUMINUM	FLOR	FLUORESCENT	OC	ON CENTER	TOC	TOP OF CONCRETE
BM	BEAM	FP	FIRE PLACE	OC1	OWNER FURNISHED CONTRACTOR INSTALLED	TOG	TOP OF GRADE
BOU	BOTTOM OF WALL					TOF	TOP OF FLOOR
BLKG	BLOCKING	GA	GALVE			TOP	TOP OF PAVEMENT
BRO	BOARD	GFCI	GROUND FAULT INTERRUPTER	PB	PUSH BUTTON	TOS	TOP OF SLAB
CC	CENTER TO CENTER	GALV	GALVANIZED	PH	PHONE	TOW	TOP OF WALL
CL	CENTERLINE	GL	GLASS	PL	PLATE	TV	TELEVISION
CEM	CEMENT					TYP	TYPICAL
CER	CERAMIC	GYP	GYPSPUM	POC	POINT OF CONNECTION	UCR	UNDER COUNTER REFRIG.
CJ	CONTROL JOINT	H	HIGH OR HEIGHT	PT	PRESSURE TREATED		
CLS	CEILING	HB	HOSE BIBB	R	RISER	W	WEST
CLR	CLEAR	JTS	JOIST	REF	REFRIGERATOR	W	WITH
CLO	CLOSET	LAV	LAVATORY	REIN	REINFORCED	WC	WATER CLOSET
CO	CLEANOUT	LB	LOAD	RM	ROOM	WD	WOOD
CONC	CONCRETE	LN	LINE	RUD	REDWOOD	WH	WATER HEATER
CONTN	CONTINUOUS	LT	LIGHT	S	SOUTH	WP	WATER PROOF
						WWT	WELDED WIRE MESH
DBL	DOUBLE	MANF	MANUFACTURER	SB	SET BACK		
DF	DOUGLAS FIR	MAX	MAXIMUM	SF	SQUARE FOOT		
DI	DRAIN INLET	MC	MEDICINE CABINET	SHTG	SHIELDING		
DIA	DIAMETER	MIN	MINIMUM	SHWR	SHOWER		
DR	DOOR	MTL	METAL	SH	SIMILAR		
DW	DISH WASHER			SIMP	SIMPSON		
E	EAST			SLD	SLIDING		
EL	ELEVATION			SFP	SHELF & POLE		
EQ	EQUAL			STRUCT	STRUCTURAL		

PROJECT VICINITY MAP



PROJECT LOCATION: AFN: 2613-020
2317 15TH ST.
SAN FRANCISCO, CA 94114



SHEET INDEX

Sheet Number	Sheet Title
A1.1	COVER SHEET
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A7.1	ELEVATIONS EXTERIOR
A7.2	ELEVATIONS EXTERIOR
A7.3	ELEVATIONS EXTERIOR
U1.1	UTILITY PLAN - BASEMENT



HONEY DESIGN & DRAFTING, LLC

372 FLORIN ROAD, SUITE 160
SACRAMENTO, CA 95831
916-947-2870
DARYL.HONEY@GMAIL.COM

These drawings are instruments of service and are the property of Honey Design & Drafting, LLC. All design information contained in these drawings are for use on the specified project and shall not be used otherwise without the expressed written permission of Honey Design & Drafting, LLC.

PROJECT:

Project Owner:
MICHELLE FULLER
2317 15TH ST.
SAN FRANCISCO, CA 94114
TELE: _____
FAX: _____

APN 2613-020

PROJECT DATA

APPLICABLE BUILDING CODE:	2007 CBC, DYC, DFC, DVC AND CEC 2006 IRC, UPC, LFC AND NEC ASCE 7-05 2006 TITLE 24
OCCUPANCY GROUP:	R-3 (DUELING)
CONSTRUCTION TYPE:	TYPE V-B TWO STORY NOT FIRE-SPRINKLED
PROJECT SCOPE:	SINGLE FAMILY RESIDENCE BASEMENT CONVERSION TO TWO RESIDENCES, AND PARKING VARIANCE FOR 2ND UNIT

BUILDING AREA

SPACE	EXISTING	PROPOSED	NET CHANGE
LEVEL-1 BASEMENT	606 SF.	183 SF.	-423 SF.
TOTAL UNCONDITIONED FLOOR AREA:	183 SF.	-423 SF.	
LEVEL-1 RESIDENCE	0 SF.	423 SF.	423 SF.
LEVEL-2 RESIDENCE	1098 SF.	1098 SF.	0 SF.
TOTAL CONDITIONED FLOOR AREA:	1521 SF.	423 SF.	
TOTAL BUILDING AREA UNDER ROOF:		1704 SF.	

TITLES:

COVER SHEET

CONST MODIFICATION #2
CONST MODIFICATION #1
APPROVED PERMIT SET
PLAN CHECK PC#3
PLAN CHECK PC#2
PLAN CHECK PC#1
CONSTRUCTION DOCUMENTS 2016.03.18
DESIGN DEVELOPMENT 2016.04.24
SCHEMATIC DESIGN

SHEET:

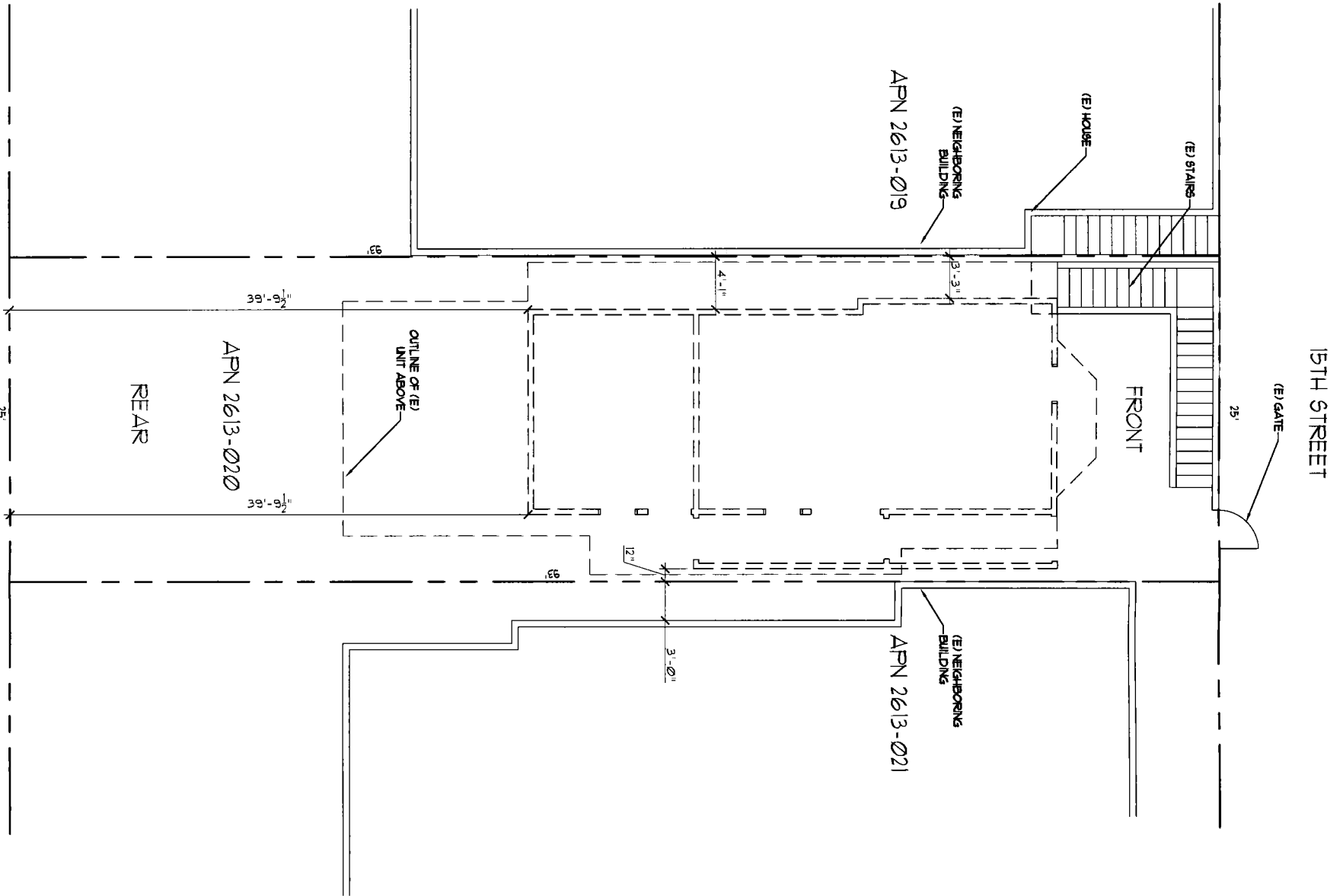
A1.1

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. ADD LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.

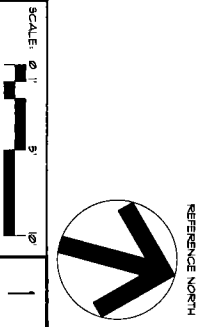
CAD FILE: P:\ARCH\PROJECTS\2016\20160318\231715TH\231715TH SAN FRANCISCO\DWG\231715TH ARCH\STRUCTURAL\1517 COVER SHEET.dwg DATE PLOTTED: Wednesday, Aug 19, 2016

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. HDD LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.

SITE PLAN



LEGEND: SITE PLAN



HONEY DESIGN & DRAFTING, LLC
 372 H. LOVEL ROAD, SUITE 150
 SAN FRANCISCO, CA 94107
 TEL: 415.774.8800
 FAX: 415.774.8801
 WWW.HONEYDESIGN.COM

These drawings are the intellectual property of Honey Design & Drafting, LLC. All design, engineering, and construction drawings are for use on the specified project and shall not be used otherwise without the written permission of Honey Design & Drafting, LLC.

PROJECT:
 Project Owner:
 MICHELLE FULLER
 2317 15TH ST.
 SAN FRANCISCO, CA 94114
 TEL: ----
 FAX: ----

APN. 2613-020

UNIT ADDITION FOR THE:
FULLER RESIDENCE
 2317 15TH ST.
 SAN FRANCISCO, CA 94114

TITLE:
 SITE PLAN

DATE PREPARED BY: [Redacted]
 CHECKED BY: [Redacted]
 PLAN CHECK: [Redacted]
 CONSTRUCTION DOCUMENTS: 2008.08.14
 SCHEMATIC DESIGN: [Redacted]

SHEET:
 A2.11

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. HONEY DESIGN DRAFTING, LLC ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.



LEGEND: ELEVATIONS EXTERIOR



HONEY DESIGN & DRAFTING, LLC
 312 FLOREN ROAD, SUITE 160
 SACRAMENTO, CA 95831
 916-541-5070
 DART@HONEYDESIGN.COM

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PROJECT:

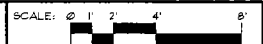
APN. 2613-020
 Project Owner:
 MICHELLE FULLER
 2317 15TH ST.
 SAN FRANCISCO, CA 94114
 TEL:
 FAX:

UNIT ADDITION FOR THE:
FULLER RESIDENCE
 2317 15TH ST.
 SAN FRANCISCO, CA 94114

TITLES:
 ELEVATIONS EXTERIOR

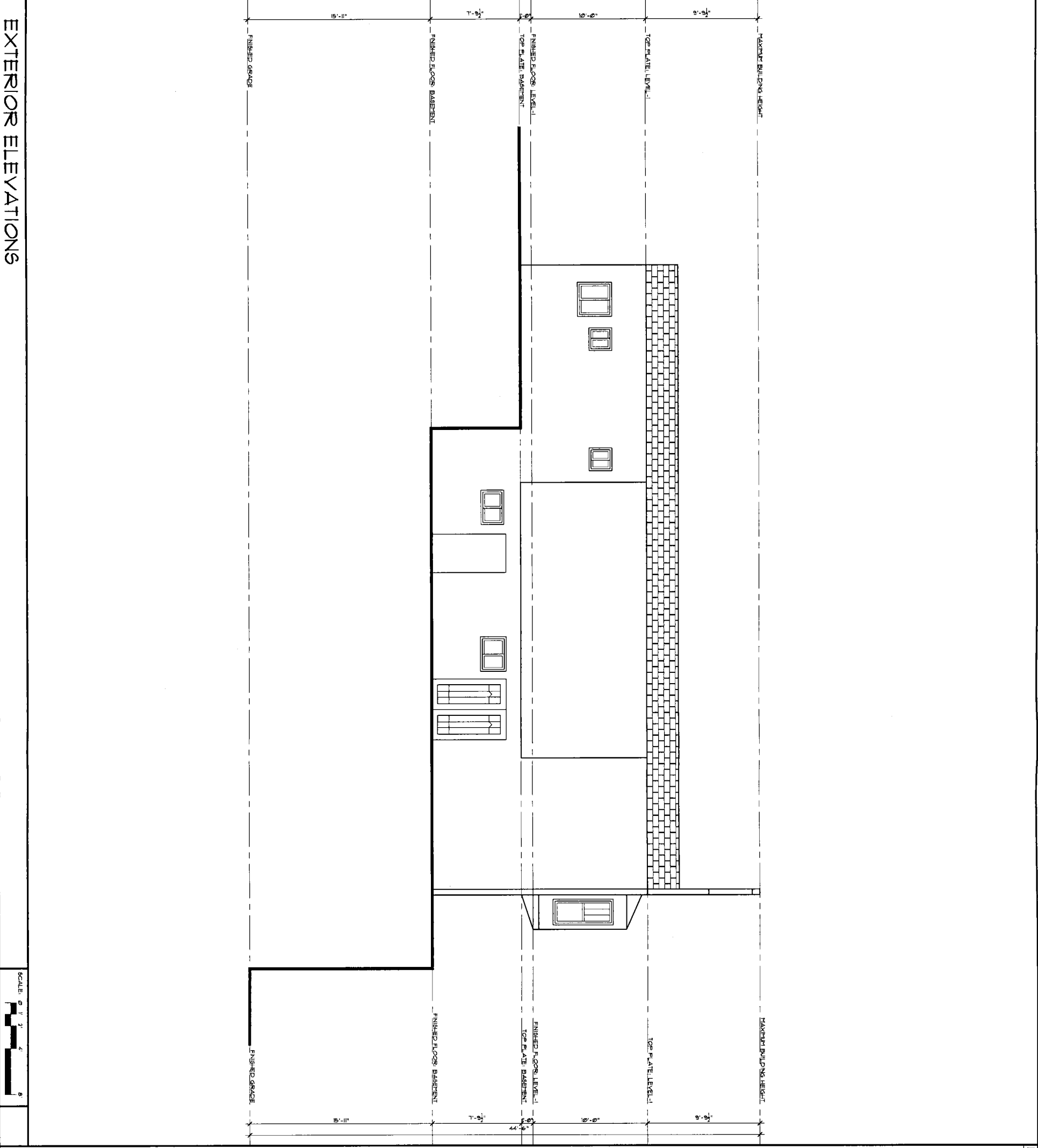
CONST MODIFICATION #1
 CONST MODIFICATION #2
 APPROVED PERMIT SET
 PLAN CHECK PCD3
 PLAN CHECK PCD4
 PLAN CHECK PCD5
 CONSTRUCTION DOCUMENTS 2/20/16
 DESIGN DEVELOPMENT 2/20/16
 SCHEMATIC DESIGN

SHEET:
A7.11



DATE PLOTTED: Tuesday, Nov 30, 2016
 CAD FILE: P:\PROJECTS\2613-020\2613-020\ARCH\TECHNICAL\11\11 ELEVATIONS EXTERIOR.dwg

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EXTERIOR ELEVATIONS



LEGEND: ELEVATIONS EXTERIOR

HONEY DESIGN DRAFTING, LLC
 371 H STREET, SUITE 150
 SACRAMENTO, CA 95811
 TEL: 916-441-9710
 FAX: 916-441-9710

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Project Owner:
 MICHELLE FULLER
 2317 15TH ST.
 SAN FRANCISCO, CA 94114
 TEL: ----
 FAX: ----

APN. 2613-020

UNIT ADDITION FOR THE:
FULLER RESIDENCE
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 SAN FRANCISCO, CA 94114

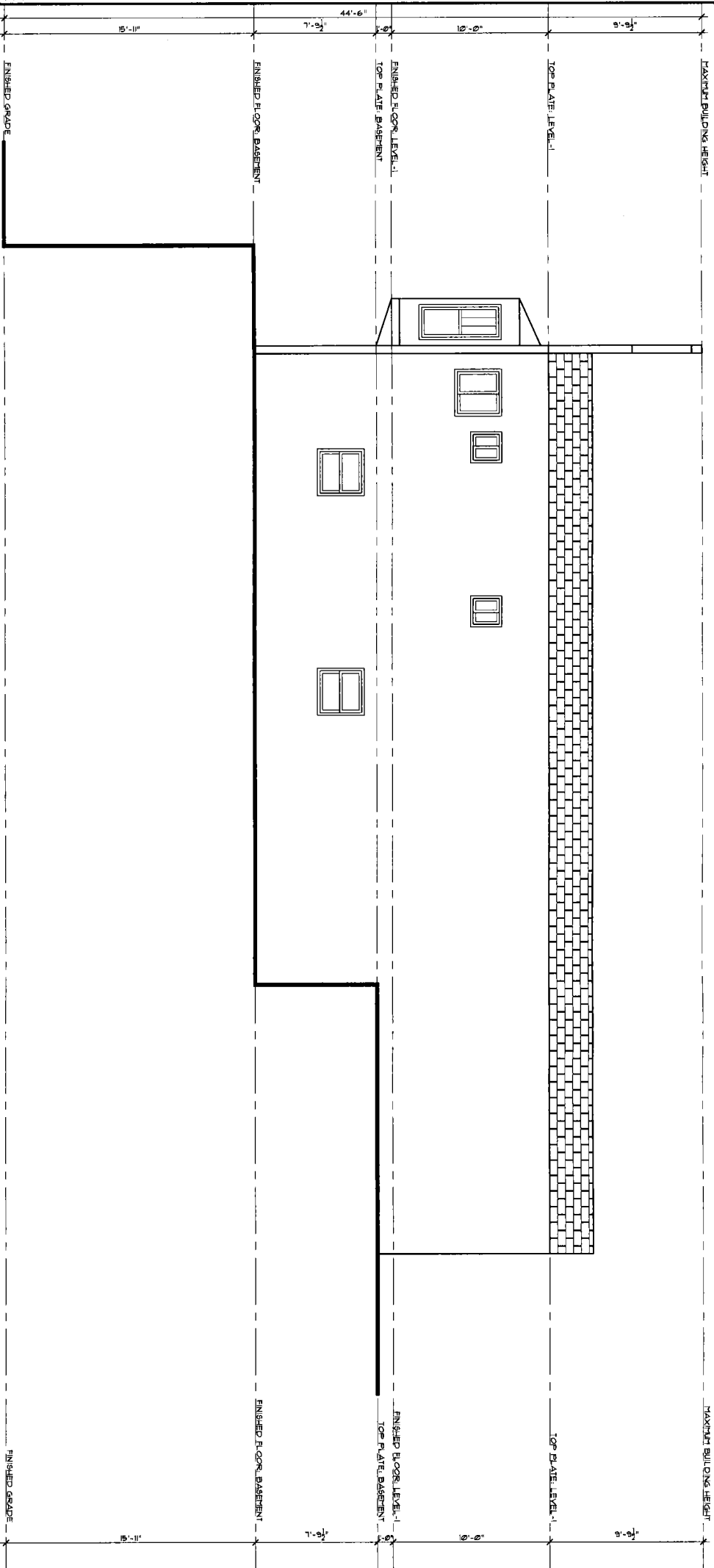
TITLE:
 ELEVATIONS EXTERIOR

DATE PREPARED: 08/18/2010
 DRAWN BY: JEFFREY H. HODGSON
 CHECKED BY: JEFFREY H. HODGSON
 PROJECT NO: 2010-08-01
 SHEET NO: A7.21

SHEET:
A7.21

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EXTERIOR ELEVATIONS



MAXIMUM BUILDING HEIGHT
 TOP PLATE, LEVEL 1
 FINISHED FLOOR, LEVEL 1
 TOP PLATE, BASEMENT
 FINISHED FLOOR, BASEMENT
 FINISHED GRADE

44'-6"
 10'-0"
 7'-9"
 15'-11"

MAXIMUM BUILDING HEIGHT
 TOP PLATE, LEVEL 1
 FINISHED FLOOR, LEVEL 1
 TOP PLATE, BASEMENT
 FINISHED FLOOR, BASEMENT
 FINISHED GRADE

10'-0"
 10'-0"
 7'-9"
 11'-5"

LEGEND: ELEVATIONS EXTERIOR

HONEY DESIGN
 DRAFTING, LLC
 371 HOLON ROAD, SUITE 160
 SACRAMENTO, CA 95811
 TEL: 916-487-9700
 FAX: 916-487-9701

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 Date: 08/18/2010

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 MICHELLE FULLER
 2317 15TH ST.
 SAN FRANCISCO, CA 94114
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 FAX: ----

APN. 2613-020

UNIT ADDITION FOR THE:
FULLER RESIDENCE
 2317 15TH ST.
 SAN FRANCISCO, CA 94114

TITLE:
 ELEVATIONS EXTERIOR

DATE: 08/18/2010
 DRAWN: JEFFREY B. HONEY
 CHECKED: JEFFREY B. HONEY
 PROJECT NO: 2613-020
 SHEET NO: A7.31

SHEET:
A7.31