



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 26, 2011**
 Time: **Beginning at 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Side Yard, Rear Yard and Noncomplying Structure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3098 Pacific Avenue	Case No.: 2010.0847V
Cross Street(s): Lyon St./Baker St.	Building Permit: 2010.12.16.6874
Block /Lot No.: 0964/008C	Applicant/Agent: John Maniscalco Arch.
Zoning District(s): RH-1 (D) / 40-X	Telephone: (415) 864-9900
Area Plan: n/a	E-Mail: john@m-architecture.com

PROJECT DESCRIPTION

The proposal is to add a 1-story, 6' wide by 21' long horizontal addition at the rear, west side of the second floor of the single family house where a deck currently exists. There is no change in the building's footprint under this proposal.

PER SECTION 133 OF THE PLANNING CODE the subject property is required to maintain a side yard of 3' at each side property line. The proposed addition will encroach approximately 2' into the west side yard setback.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 19'. The proposed addition would encroach approximately 14' into the required rear yard and result in a rear yard of 5'.

PER SECTION 188(a) OF THE PLANNING CODE noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building already encroach into the required rear and side yards. Therefore, the proposed expansion would be contrary to Section 188 of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Aaron Starr** Telephone: **(415) 558-6362** E-Mail: aaron.starr@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0847V.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:
 - 2007 SAN FRANCISCO BUILDING CODE
 - 2007 SAN FRANCISCO ELECTRICAL CODE
 - 2007 SAN FRANCISCO ENERGY CODE
 - 2007 SAN FRANCISCO HOUSING CODE
 - 2007 SAN FRANCISCO MECHANICAL CODE
 - 2007 CALIFORNIA FIRE CODE
- COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS
- IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BI-PHENYL (PCB) OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RECORDED HEREIN, OR WHOSE EXISTENCE IS IDENTIFIED BY THE OWNERS REPRESENTATIVE AND THE ARCHITECT IN WRITING.
- MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN, COLOR AND PERFORMANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND, IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS GOVERN. CONTRACTOR REQUIRING DIMENSIONS NOT NOTED, SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK RELATED TO THOSE DIMENSIONS.
- ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISHED FACE OF GYP. BD., OR TO FACE OF MASONRY I.O.N.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANGERS, AND/OR OTHER SUPPORTS FOR ALL FIXTURES, EQUIPMENT, CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING SAME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND EQUIPMENT.
- CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR METALS.
- *ALIGN* AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- *TYPICAL* OR *TYP.* MEANS FOR ALL SIMILAR CONDITIONS. I.O.N.
- DETAILS ARE USUALLY KEVED ONLY ONCE ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR AND ARE NOT TO BE REPEATED UNLESS SPECIFICALLY NOTED THROUGHOUT. I.O.N.
- CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PAILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS.
- AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPATTERED PAINT, AND BLEMMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ARE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK THAT ARE CAUSED BY HIM/HER OR SUBCONTRACTORS.
- WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR. I.O.N.
- ALL PIPE, CONDUIT AND DUCT PENETRATIONS THROUGH CEILING SHALL BE SEALED WITH FIREPROOFING PLASTER OR FRESHSTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING.
- ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATES THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIM/HERSELF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH SEPARATE CONTRACT WITH THE OWNER.
- CONTRACTOR SHALL SUBMIT CONFIRMATION WITH EXISTING DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME ORDER ITEMS.
- AT ALL STAIRS.
- A 6"-8" MINIMUM HEADROOM SHALL BE PROVIDED
- CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE.
- COMMON ABBREVIATIONS:
 - (E) = EXISTING, (N) = NEW
 - GWB = GYP. BD. = GYPSUM WALLBOARD
 - MTL = METAL, S.S. = STAINLESS STEEL
 - SSD = SEE STRUCTURAL DRAWINGS.
 - AF = ABOVE FINISHED FLOOR.

VICINITY MAP



PROJECT DIRECTORY

OWNER: RICHARD AND WENDY BINGHAM
3098 PACIFIC AVENUE
SAN FRANCISCO, CA 94115

ARCHITECT: JOHN MANISCALCO ARCHITECTURE
442 GROVE STREET
SAN FRANCISCO, CA 94102
415.664.9800

STRUCTURAL: RICHARD AND WENDY BINGHAM
3098 PACIFIC AVENUE
SAN FRANCISCO, CA 94115

TITLE 24: JOHN MANISCALCO ARCHITECTURE
442 GROVE STREET
SAN FRANCISCO, CA 94102
415.664.9800

PROJECT DATA

ADDRESS:	3098 PACIFIC AVENUE SAN FRANCISCO, CA 94115	SETBACKS:	EXISTING	PROPOSED
BLOCK:	0964	REAR:	5'-3"	NO CHANGE
LOT:	008C	FRONT:	17'-10"	NO CHANGE
ZONING:	RH-(1D)	EAST:	0'	NO CHANGE
CONSTRUCTION TYPE:	TYPE V-B	WEST:	0'	NO CHANGE
OCCUPANCY:	R-3	BUILDING HEIGHT:	EXISTING	PROPOSED
		T.O. ROOF:	31'-2 3/4"	NO CHANGE
		NO. OF STORIES:	3	NO CHANGE
LOT SIZE:	2800 SF			
BUILDING AREA:				
(E) FIRST LEVEL	1722 SF			
(E) SECOND LEVEL	1702 SF			
(E) THIRD LEVEL	1629 SF			
TOTAL (E) AREA:	5053 SF			
PROPOSED FIRST LEVEL	1722 SF			DELTA
PROPOSED SECOND LEVEL	1832 SF			+ 0 SF
PROPOSED THIRD LEVEL	1629 SF			+ 130 SF
TOTAL (E) AND (N) AREA:	5183 SF			+ 130 SF

PROJECT DESCRIPTION

RENOVATION OF (E) SINGLE FAMILY DWELLING AT 3098 PACIFIC AVE, SAN FRANCISCO, CA
TO INCLUDE:
1ST FL: NO WORK
2ND FL: ADDITION AT BALCONY, REPLACE (E) BALCONY DOOR & SIDELIGHTS WITH (N) WINDOWS
3RD FL: NO WORK

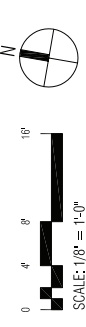
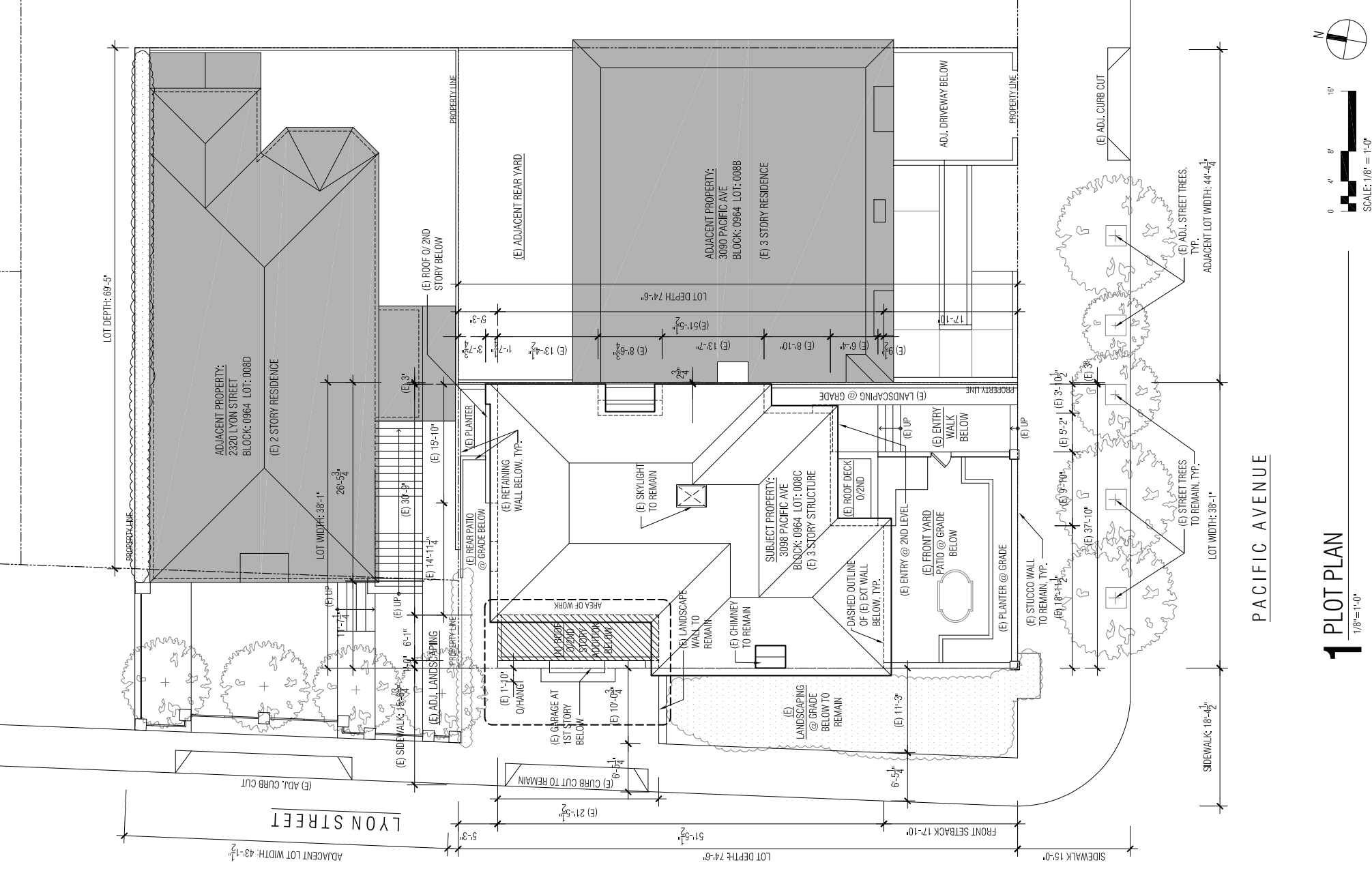
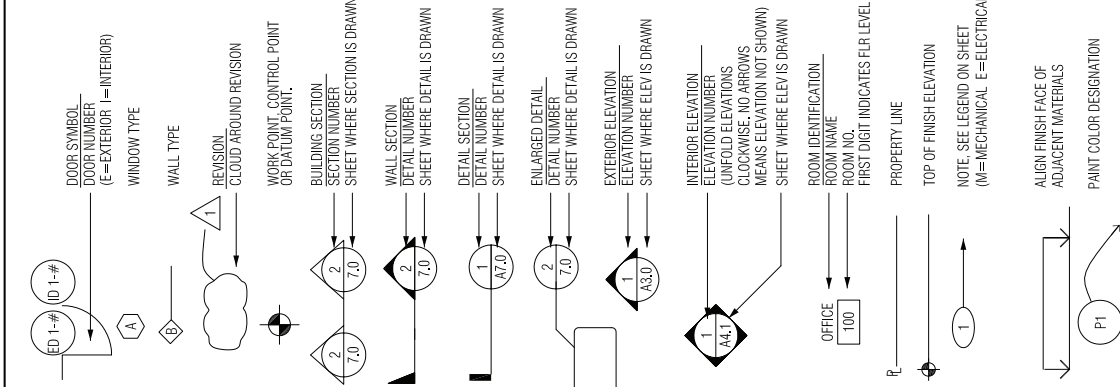
CODE NOTES

- PER SFC 907.2.10.1.2. PROVIDE SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE OF SLEEPING ROOMS
- PER SFC TABLE 602. PROVIDE ONE HOUR RATED STRUCTURE EVERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE PROPERTY LINE.
- PER SFC 406.1.4. PROVIDE GWB ASSEMBLIES BETWEEN PRIVATE GARAGE AND HABITABLE ROOMS (MIN. 1/2" GWB BETWEEN THE DWELLING & ITS ATTIC AREA. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 3/8" TYPE 'X' GWB OR EO).
- PROVIDE MIN. 1 EMERGENCY ESCAPE & RESCUE WINDOW PER SFC 1026 AT ALL SLEEPING ROOMS.

INDEX OF DRAWINGS

ARCHITECTURAL	DESCRIPTION
A1.0	DRAW. INDEX, PROL. DATA, GEN. NOTES, PLOT PLAN
A2.0	EXISTING 1ST FLOOR DEMO PLAN (NO WORK)
A2.1	EXISTING 2ND FLOOR DEMO PLAN
A2.2	PROPOSED 2ND FLOOR PLAN
A2.3	EXISTING 3RD FLOOR PLAN
A2.4	PROPOSED 3RD FLOOR PLAN
A2.5	EXISTING ROOF PLAN (NO WORK)
A3.0	EXISTING & PROPOSED WEST ELEVATION
A3.1	EXISTING & PROPOSED NORTH & SOUTH ELEVATIONS
A3.2	EXISTING & PROPOSED EAST ELEVATION (NO WORK)
A3.3	EXISTING & PROPOSED CROSS SECTION, DETAILS, DOOR & WINDOW SCHEDULE

LEGEND



1 PLOT PLAN

1/8" = 1'-0"

DRAWING INDEX,
PROJECT DATA,
GENERAL NOTES,
PLOT PLAN

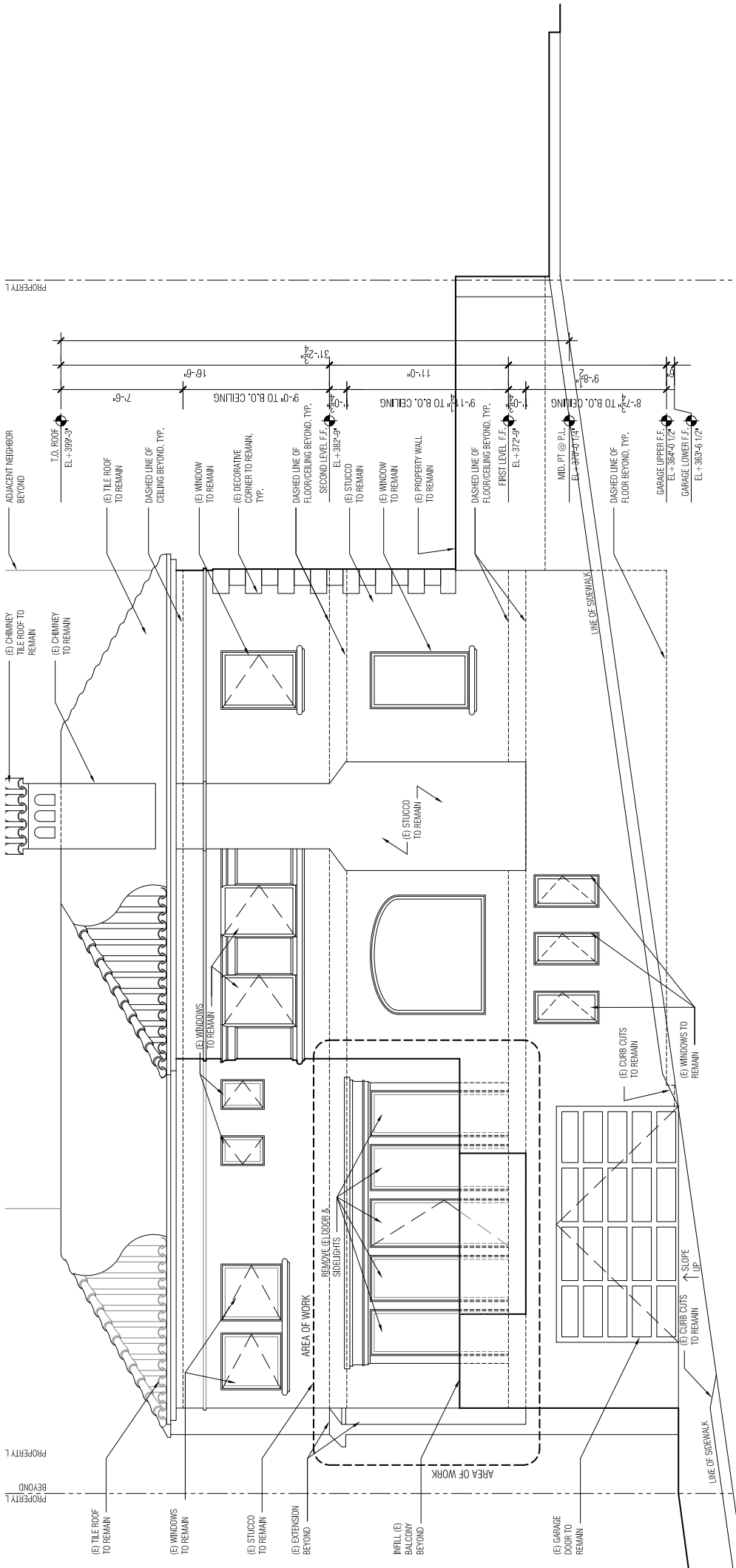
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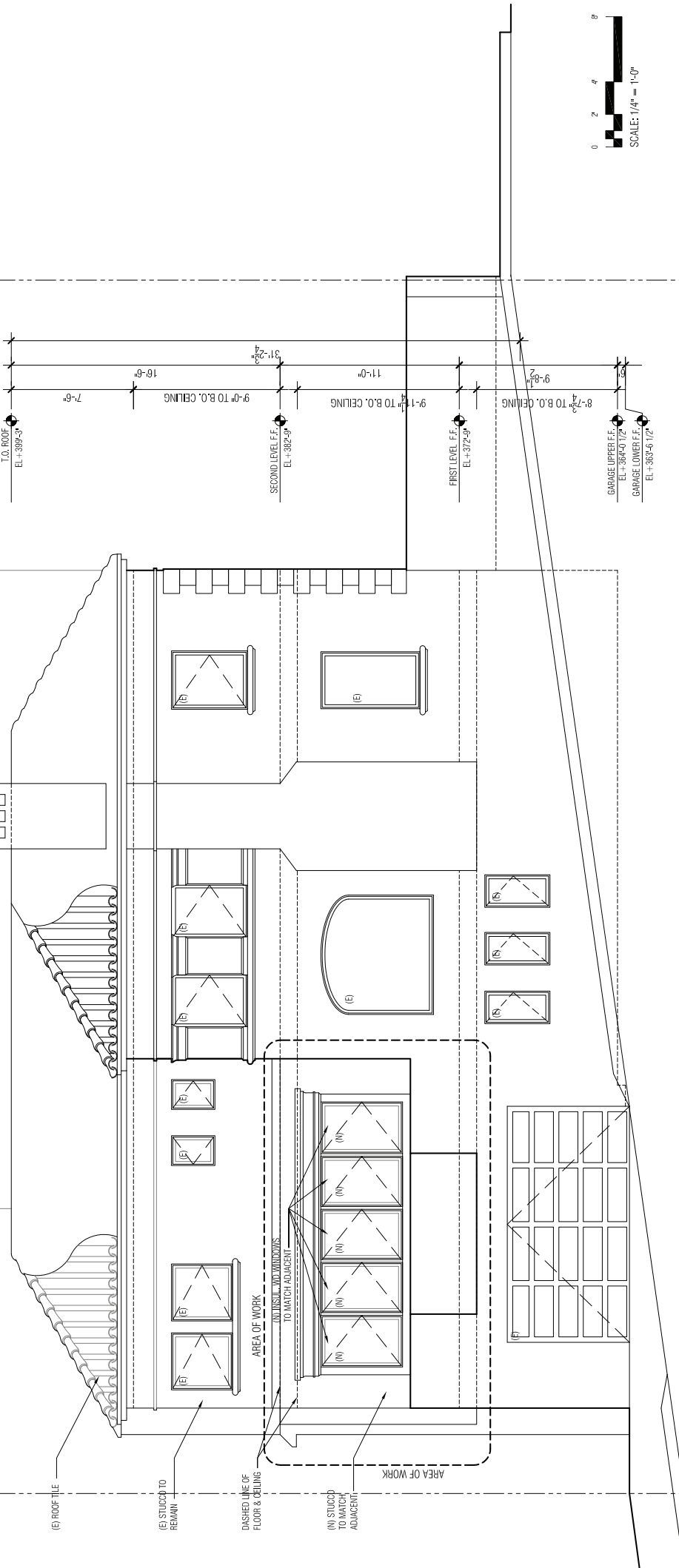
JOHN MANISCALCO
ARCHITECTURE
442 GROVE STREET
SAN FRANCISCO, CA 94102
415.664.9800
415.664.0830

BINGHAM RESIDENCE
3098 PACIFIC AVENUE, SAN FRANCISCO, CA 94115

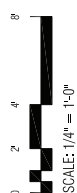
08.21.10
1. VARIANCE SUBMISSION



1 EXISTING EXTERIOR ELEVATION WEST
1/4" = 1'-0"



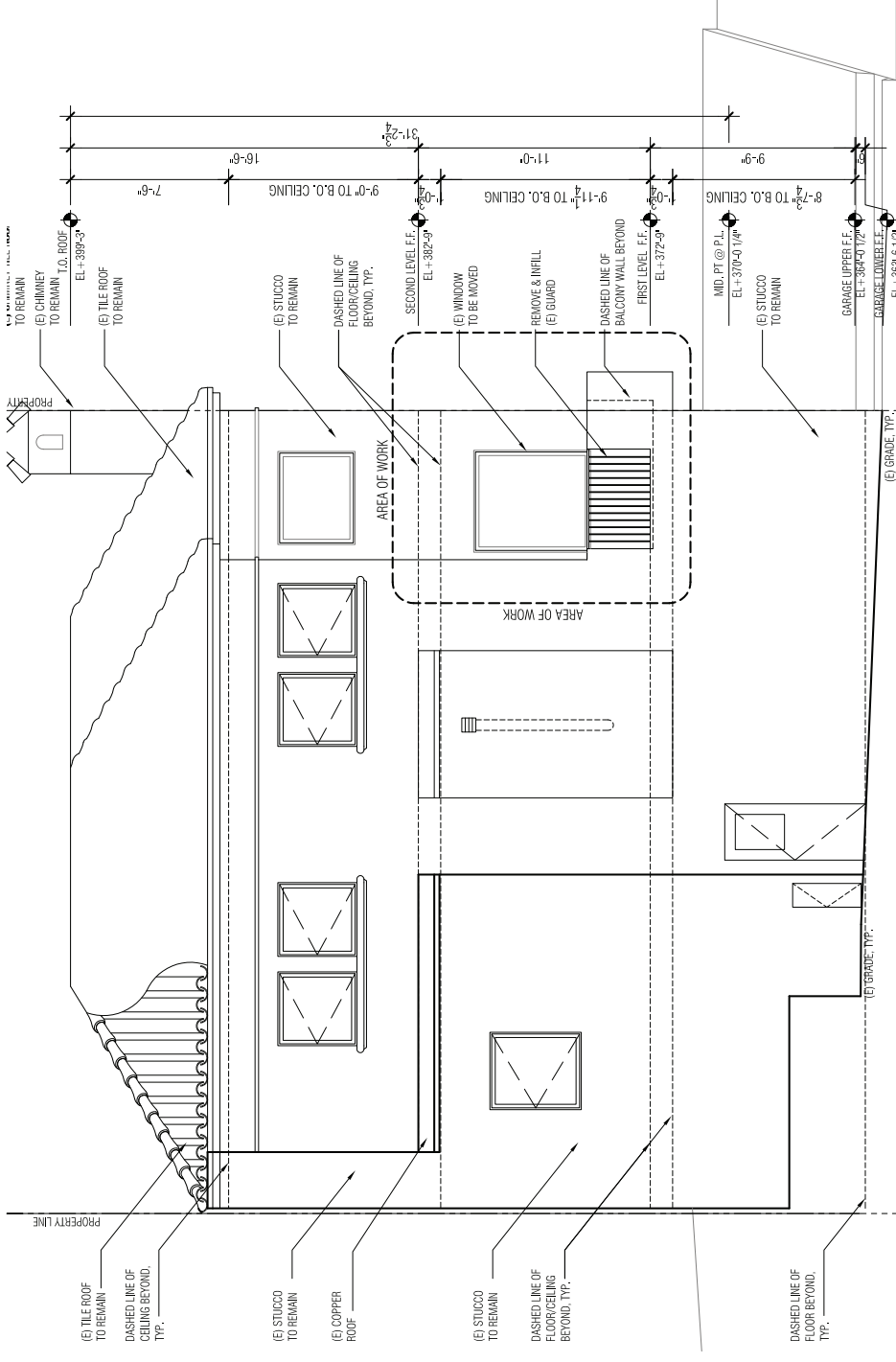
2 PROPOSED EXTERIOR ELEVATION WEST
1/4" = 1'-0"





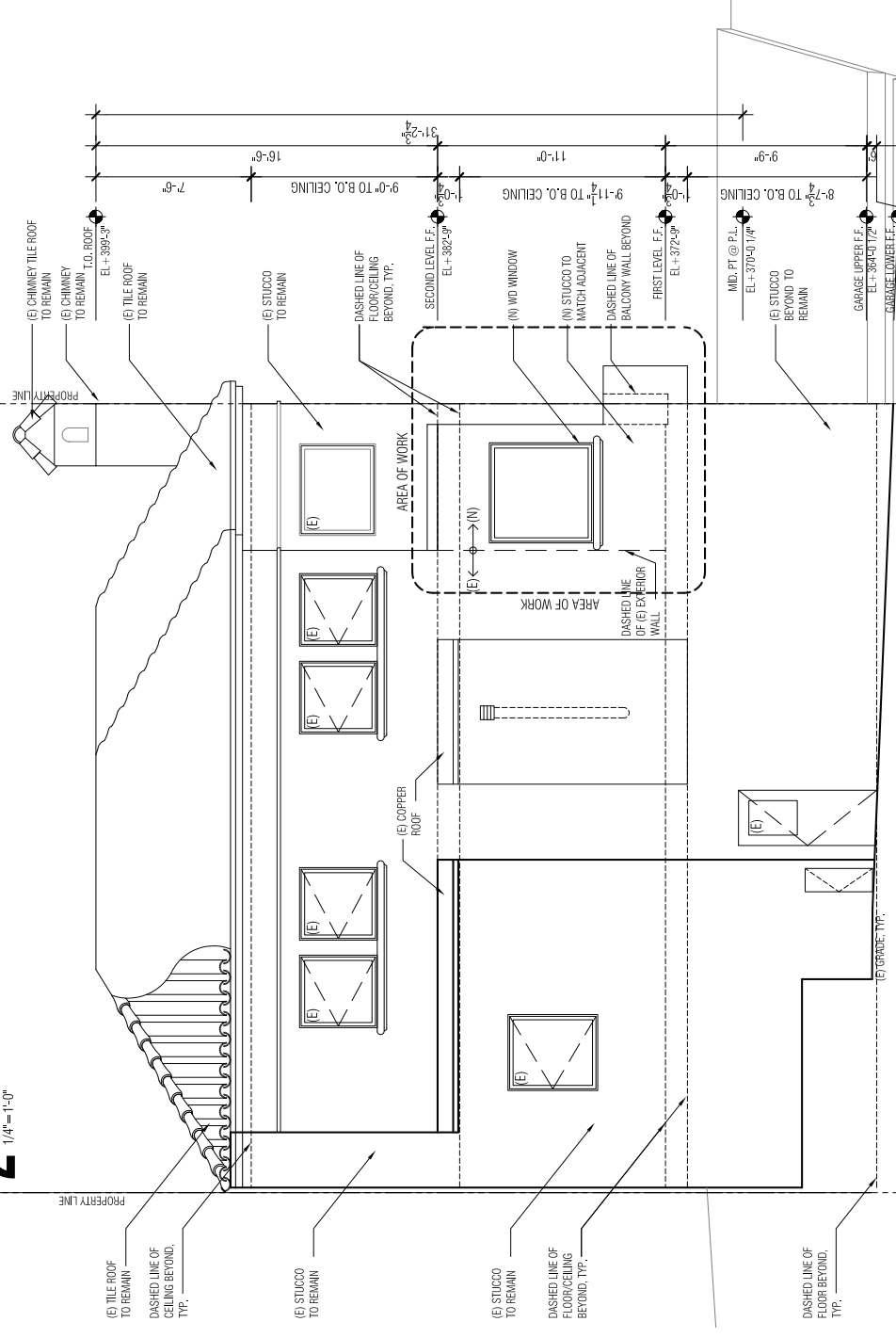
1 EXISTING EXTERIOR ELEVATION SOUTH (NO WORK)

1/4" = 1'-0"



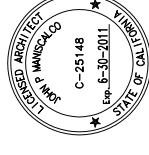
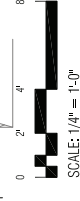
2 EXISTING EXTERIOR ELEVATION NORTH

1/4" = 1'-0"



3 PROPOSED EXTERIOR ELEVATION NORTH

1/4" = 1'-0"

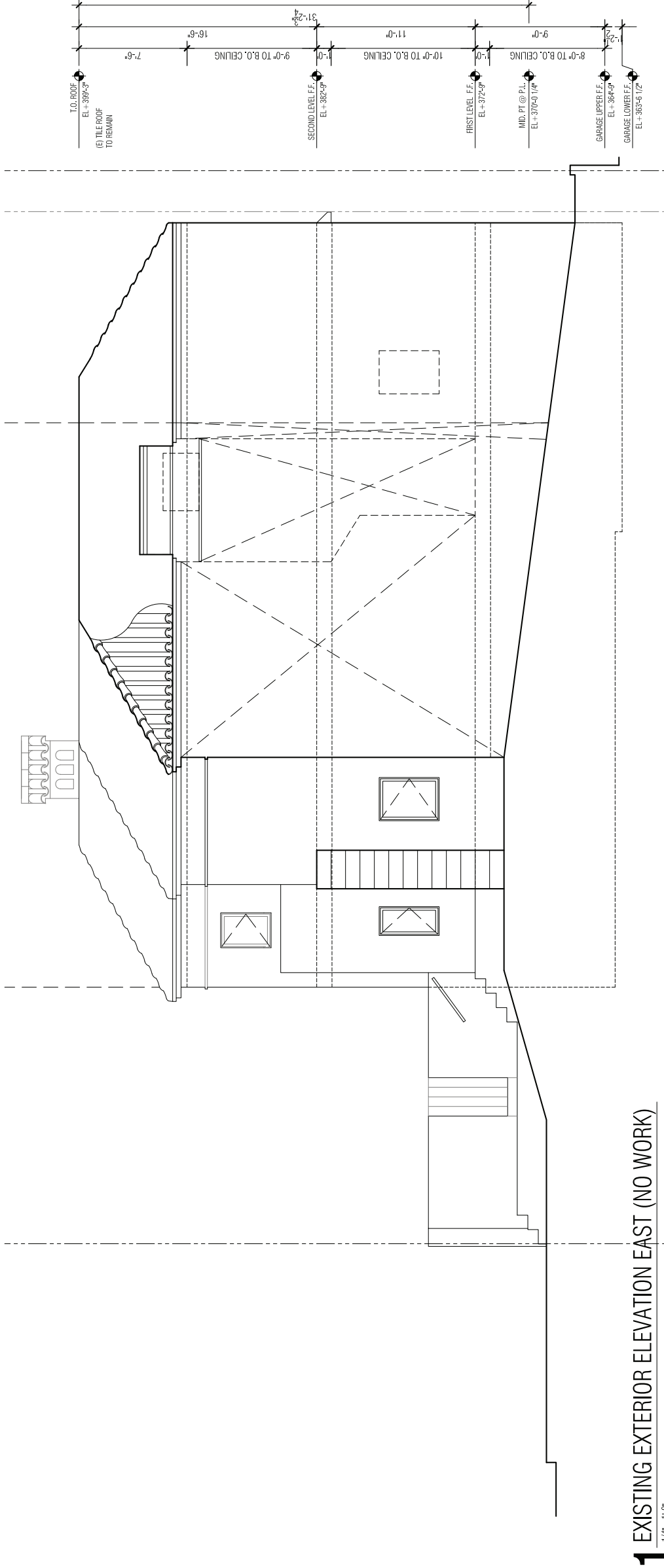




1. VARIANCE SUBMISSION 08.21.10

(E) & PROPOSED
EAST ELEVATIONS
(NO WORK)

A3.2



WINDOW SCHEDULE												
MARK	OUTSIDE FRAME SIZE		R.O.	GLAZING		FRAME		FINISH LABEL	MANUFACTURER	MODEL NUMBER	NOTES	HARDWARE SET NUMBER
	W	H		TEMP	TYPE	MATL	DETAIL					
2-A	±18'-2"	±5'-0"		LOW-E	FOLDING	WD	NA	NA	HANAWALL OR APPRO EQUAL		5 EQUAL FOLDING PANELS	8'-2"
2-B	±4'-10"	±5'-0"		LOW-E	PICTURE	WD	NA	NA	CUSTOM			8'-4"

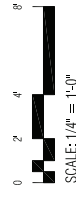
GENERAL NOTES:

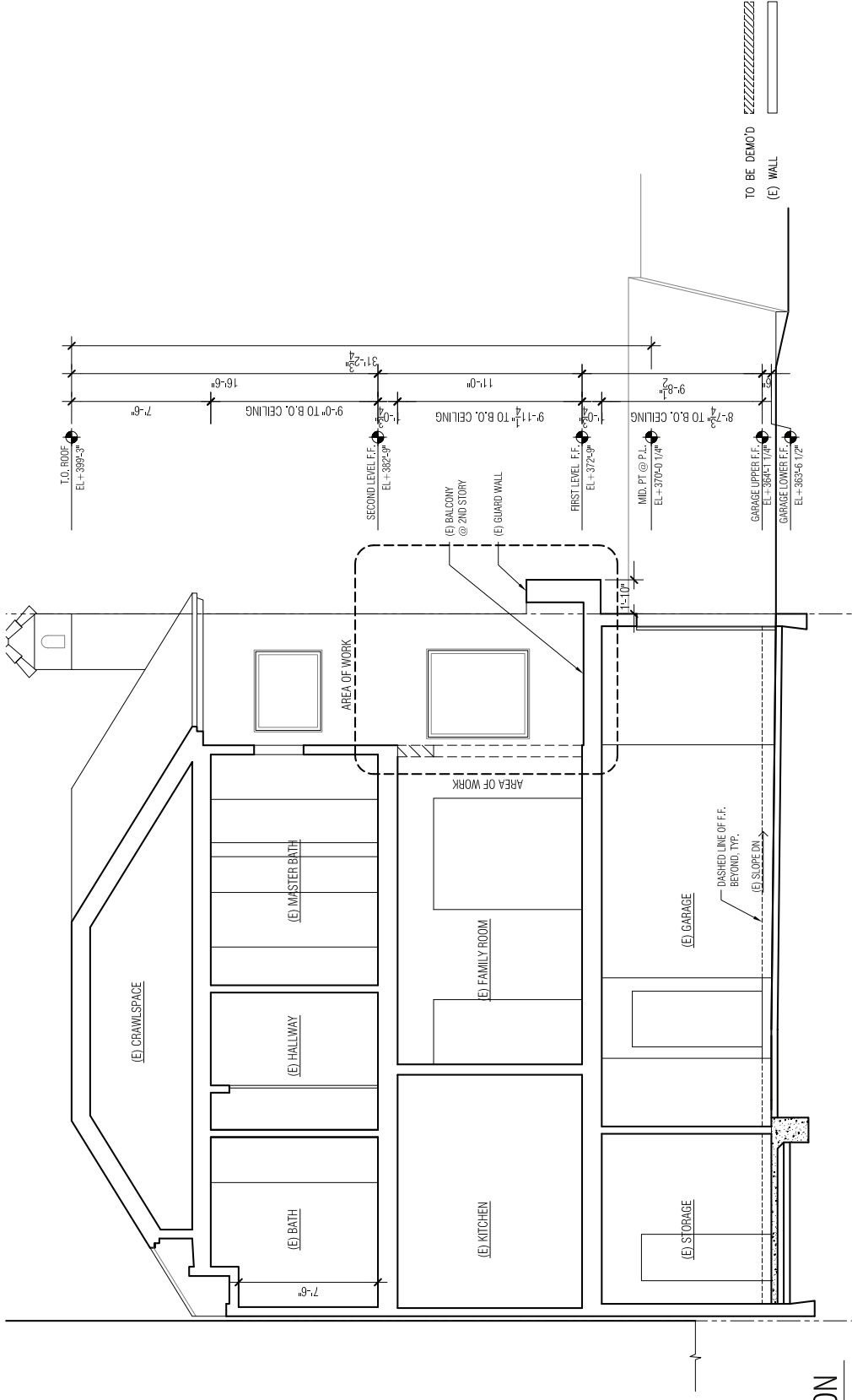
1. VERIFY LOCATIONS, CONFIGURATIONS, & SAFETY GLAZING REQUIREMENTS WITH PLANS, ELEVATIONS, & SECTIONS. IN OPERABLE WINDOWS: HINGE SIDE IS AS VIEWED FROM EXTERIOR.
2. VERIFY JAMB DEPTH W/ DOCUMENTS & (E) CONDITIONS.
3. RESOLVE WINDOWS: AT LEAST ONE WINDOW IN EVERY BEDROOM IS TO COMPLY WITH CBC-102C. MIN. NET CLEAR OF 20" W, 24" H, AND 3.7" SF (6.0 SF AT GROUND FLOOR) NET CLR OPENING AREA W/ FIN SILL NOT MORE THAN 4.4" AFF.
4. VERIFY WINDOW SIZES TO MATCH U.O.A.
5. WHERE WINDOWS ARE ADJACENT TO DOORS, HEAD TRIMS ARE TO MATCH U.O.A.
6. ALL WINDOWS TO BE INSULATED DOUBLE GLAZED IN ACCORDANCE W/ TITLE 24 REPORT.
7. ALL ROUGH OPENINGS ARE TO BE FLASHED W/ SELF-SEALING BUTYLS/THANE - HEAD, JAMBS & SILL, TYP.
8. PROVIDE SCREENS AT ALL OPERABLE WINDOWS
9. ALL HARDWARE TO BE SATIN NICKEL OR SATIN CHROME; FOLDING HANDLES ON CASEMENTS - VERIFY W/ ARCH.

DOOR AND FRAME SCHEDULE												
MARK	OUTSIDE FRAME SIZE		R.O.	GLAZING		FRAME		FINISH LABEL	MANUFACTURER	MODEL NUMBER	NOTES	QTY.
	W	H		TEMP	TYPE	MATL	DETAIL					
ID 2-1	4'-10"	8'-0"		PD W/ TEMPERED	-	WD	-	-	CUSTOM	-	INT. FRENCH DOOR PAIR	1

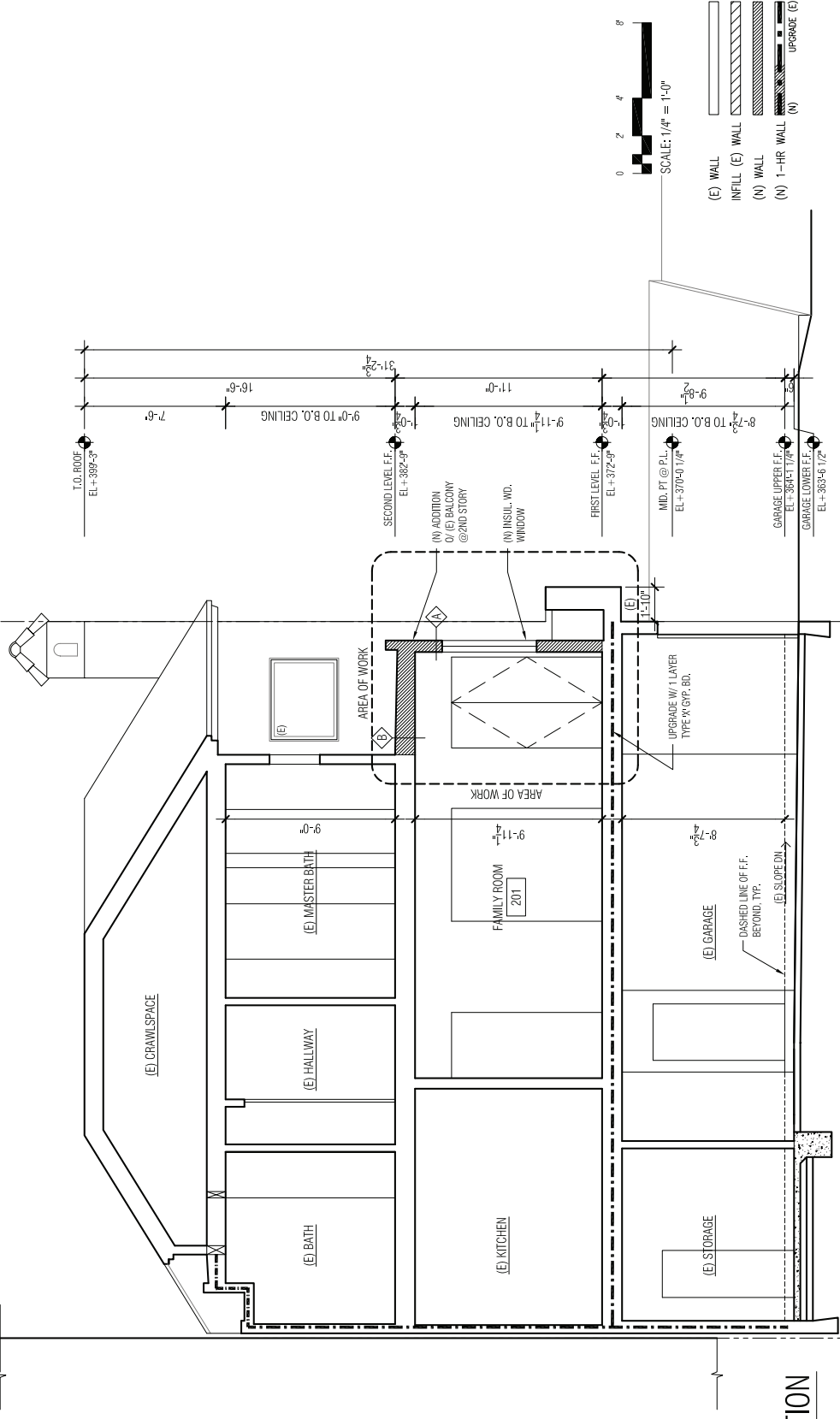
GENERAL NOTES:

1. FOR LOCATIONS CONFIGURATIONS, SEE PLANS, SECTIONS, ELEVATIONS, & INTERIOR ELEVATIONS.
2. VERIFY ALL DOOR HEIGHTS ARE TO MATCH (E). VERIFY JAMB DEPTH W/ DOCUMENTS & (E) CONDITIONS.
3. AT REPLACEMENT LOCATIONS, VERIFY OPENING SIZES.
4. VERIFY DOOR SIZES TO MATCH U.O.A.
5. ALL EXTERIOR DOORS TO BE INSULATED DOUBLE GLAZED IN ACCORDANCE WITH TITLE 24 REPORT.
6. ALL EXTERIOR ROUGH OPENINGS ARE TO BE FLASHED W/ SELF-SEALING BUTYLS/THANE - HEAD & JAMBS. ALL SILLS TO HAVE GALV. DOOR PAIS
7. ALL EXTERIOR DOOR SIZES SHOWN ARE OUTSIDE FRAME DIMENSIONS. ROUGH OPENING DIMS VERIFY W/ MANUF.

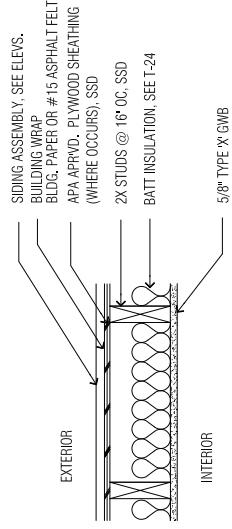




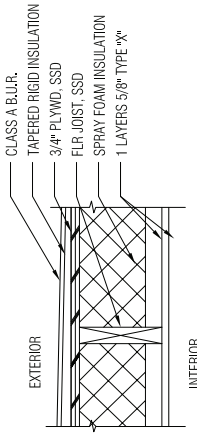
1 EXISTING CROSS SECTION
1/4" = 1'-0"



2 PROPOSED CROSS SECTION
1/4" = 1'-0"



A TYP. EXT. NON-RATED WALL
SCALE: 1-1/2" = 1'-0"



B TYP. BUILT-UP ROOF
SCALE: 1-1/2" = 1'-0"