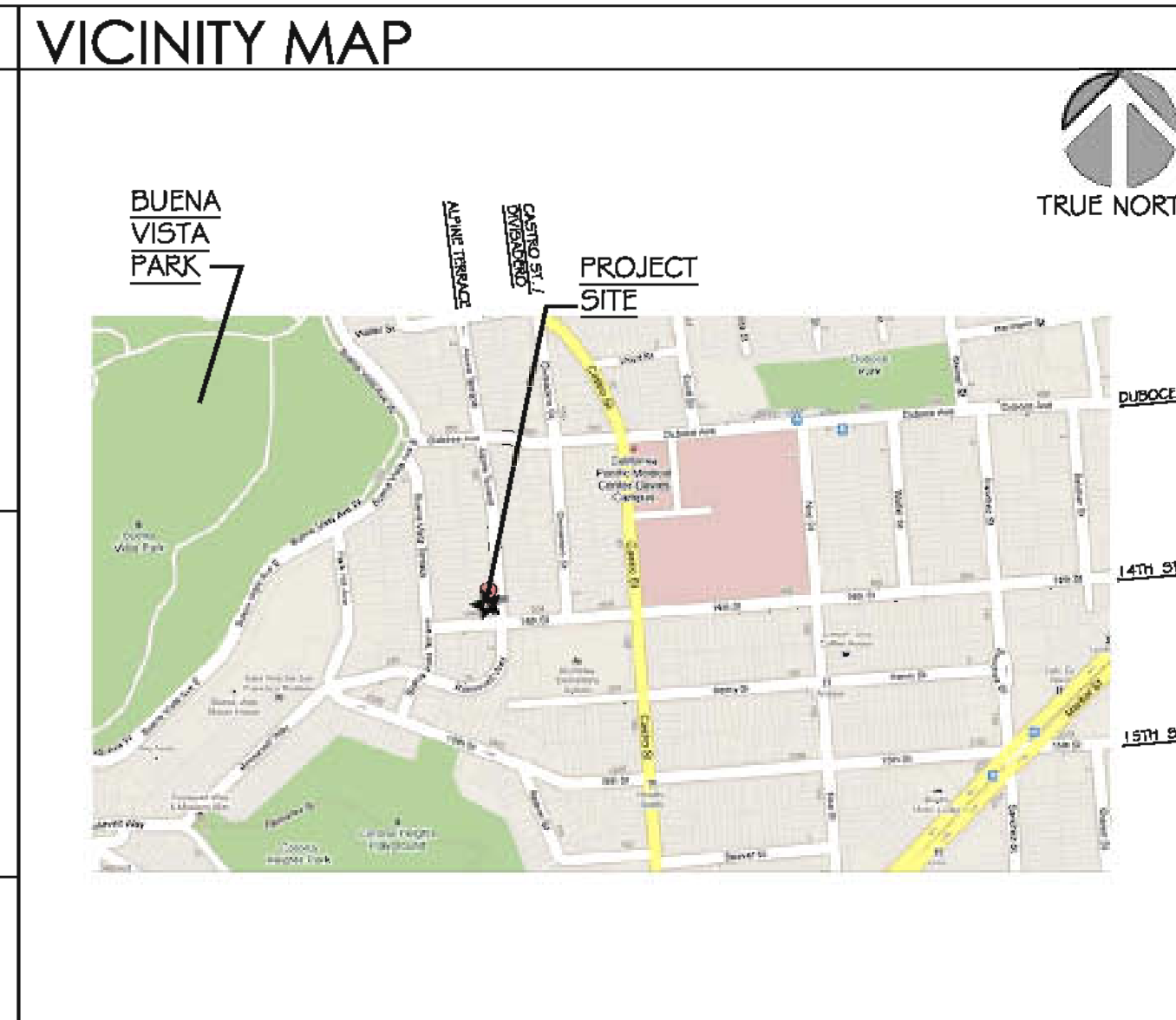


2 AERIAL PERSPECTIVE OF PROJECT BUILDING
N.T.S.

SCOPE	
<ul style="list-style-type: none"> EXTEND EXISTING EXTERIOR STAIR TO ROOF. DEMOLISH ONLY AREA OF ROOF REQUIRED FOR INSTALLATION OF NEW FRAMING. REPLACE ALL "KNOB & TUBE" TYPE ELECTRICAL INFRASTRUCTURE AFFECTED BY ROOF WORK WITH LOCALLY APPROVED MATERIALS AND INSTALLATION. INSTALL NEW DECK AND GUARDRAILS. 	
DRAWING INDEX	
A-1	PLOT PLAN, SCOPE, GENERAL NOTES, SYMBOLS, MAPS
A-2	ROOF PLAN FOR DECK
A-3	EXTERIOR ELEVATION AND PARTIAL SECTION
A-4a	EXTERIOR ELEVATIONS
A-4b	EXTERIOR ELEVATIONS
A-5	EXISTING PHOTOGRAPHS
PROJECT DIRECTORY	
OWNER GARY DECAD 1068 14TH ST. SAN FRANCISCO, CA 94117 TEL 415-407-7145	DESIGNER THOMAS PIPPIN, PROJ. MGR LIFEBOX STUDIOS 425 E. 11TH ST. #26 OAKLAND, CA 94606 TEL 510-922-1547 FAX 510-922-1546

BUILDING INFORMATION	
LOCATION:	1068 14TH ST. SAN FRANCISCO, CA 94117
PARCEL INFORMATION:	BLOCK: 2609 LOT: 063 APN: 2609063
BUILDING DESCRIPTION:	BUILDING IS A 3-STORY BALCON-FRAMED ART-DECO STYLE. H.O.A. CONSISTING OF 3 INDIVIDUAL CONDOS. OWNER OF PARCEL HAS DEEDED TITLE TO ROOF PROJECT AREA AS PROPOSED.
ZONING:	RH-2
CONSTRUCTION TYPE:	TYPE V, N.R.
UNIT	AREA
1068	1,250 S.F.
1068	1,396 S.F.
1068-UNIT-A	532 S.F.
SUBTOTAL: 3,176 S.F.	
GARAGE	1,127 S.F.
TOTAL: 4,305 S.F.	
PROJECT DESCRIPTION:	ROOF ACCESS AND DECK
PROPOSED ROOF DECK AREA:	556 S.F.
TOTAL BUILDING FOOTPRINT	1,435 S.F. REMAINS UNCHANGED
TOTAL LOT AREA:	2,252 S.F. PER PUBLIC RECORDS
TOTAL LOT COVERAGE:	63%



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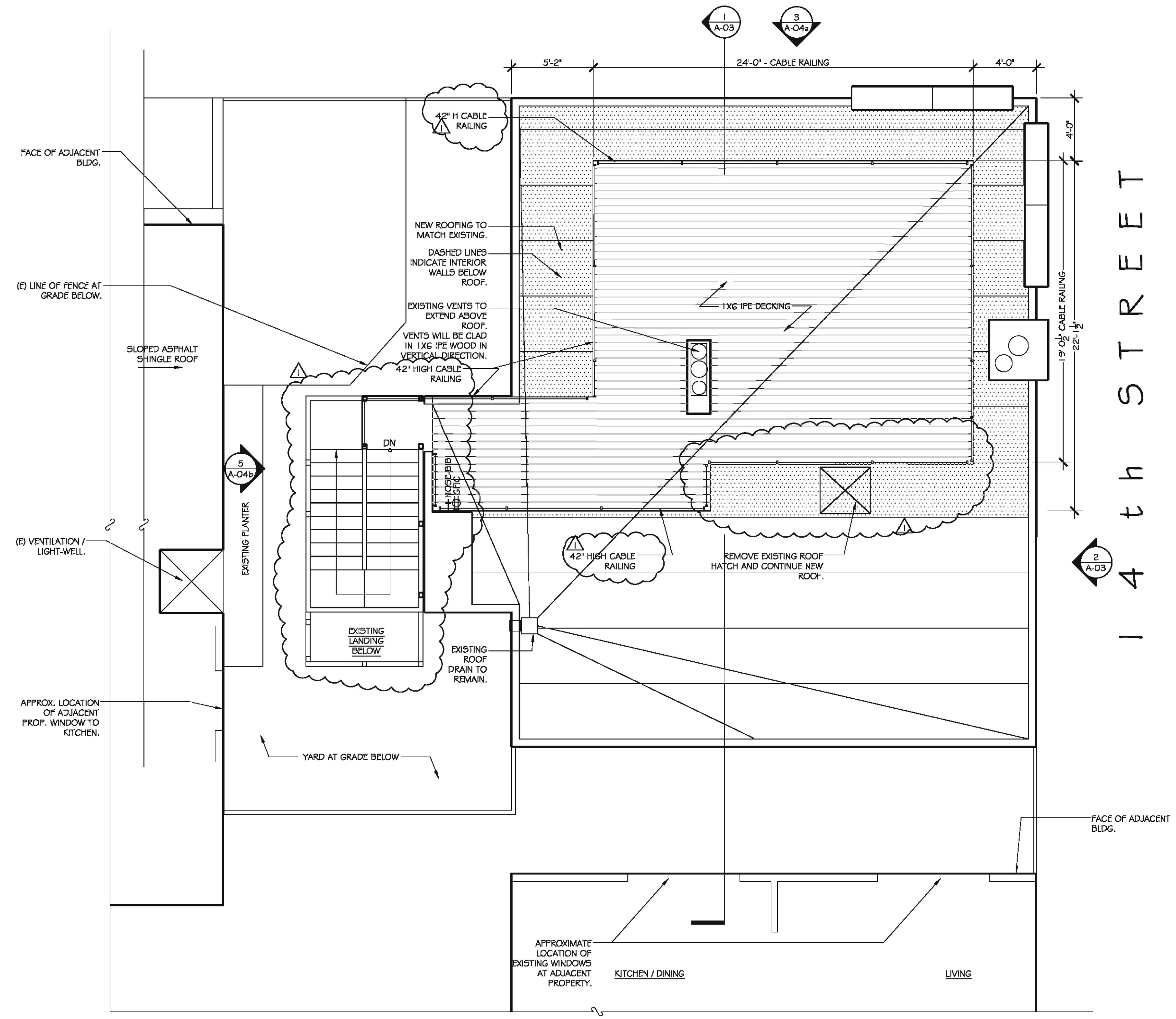
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OAKLAND CA, 94606
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REV. NO.	ISSUE DATE	DESCRIPTION
08.26.10		PLANNING DEPT. REVIEW
01.10.11		REVISION

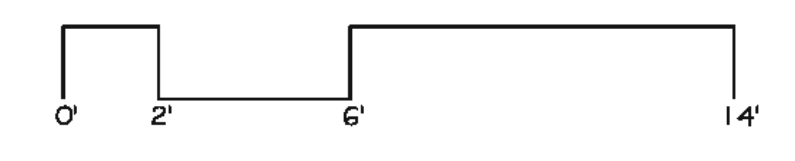
DRAWING TITLE:
**SHEET INDEX
PROJECT INFO
PLOT PLAN**

DRAWN: _____ CHECKED: _____
DATE: _____ PROJECT #: _____

ALPINE TERRACE



3 ROOF TOP PLAN
1/8" = 1'-0"



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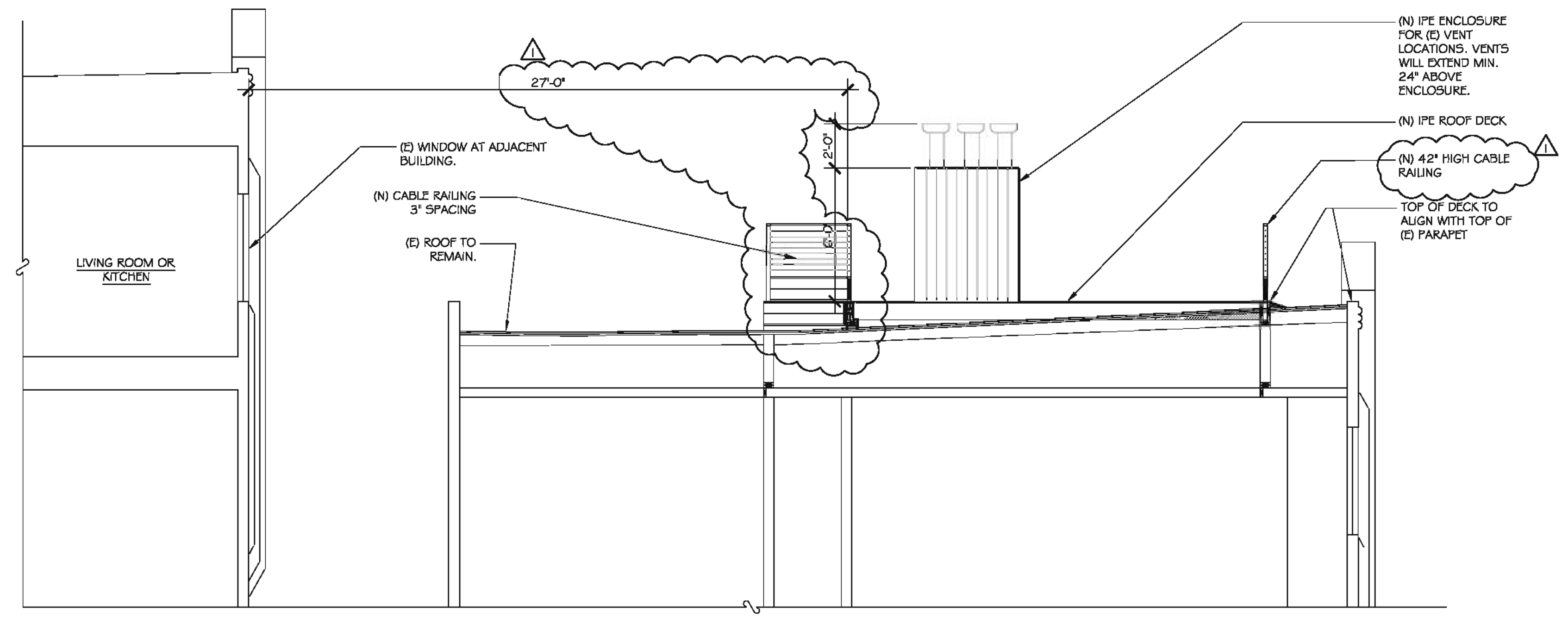
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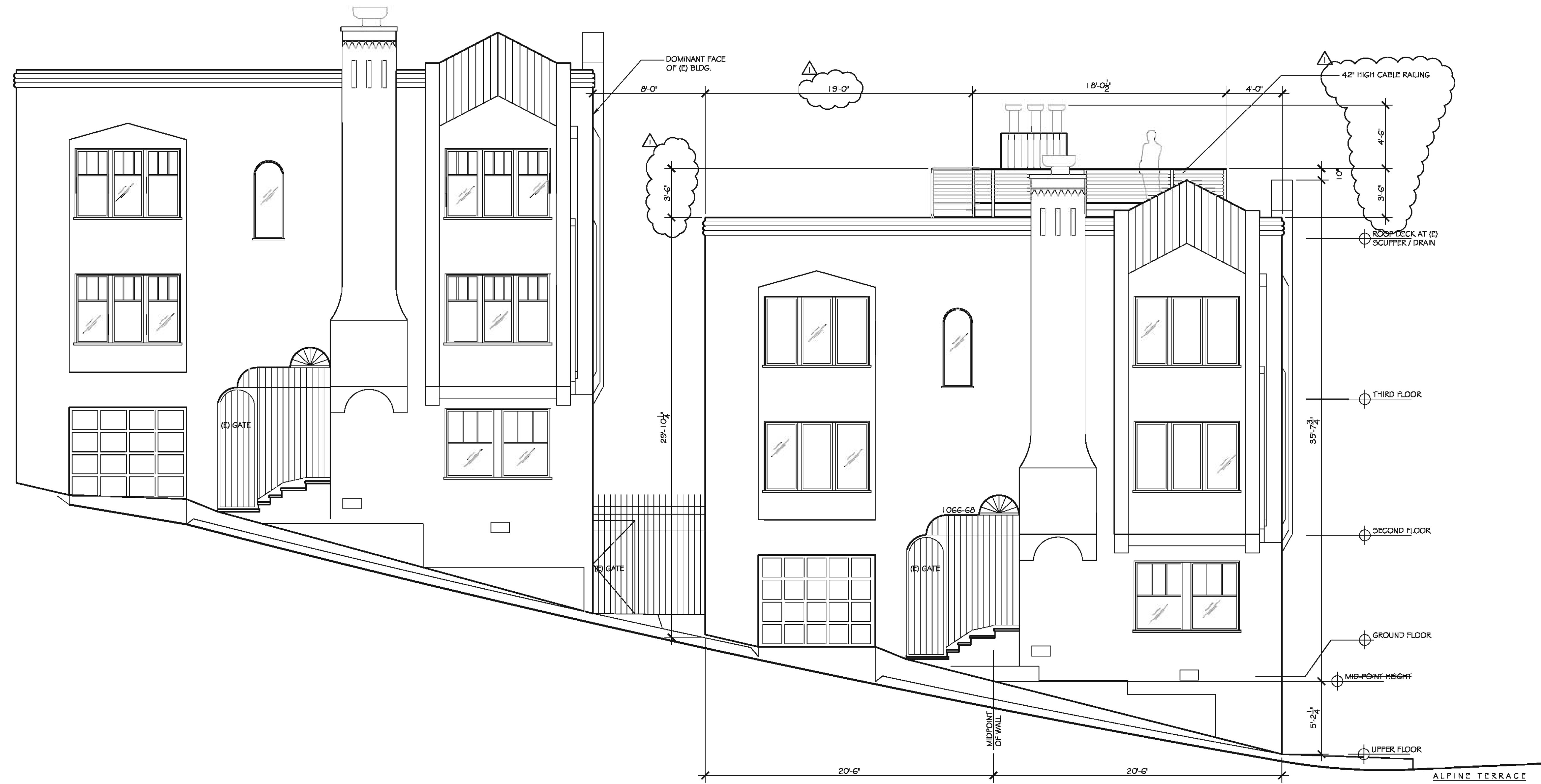
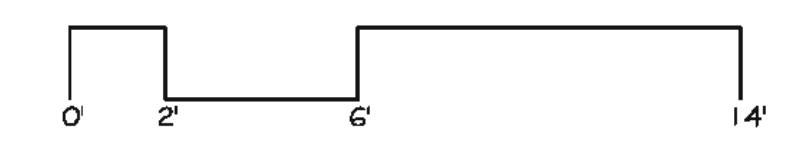
REV. NO.	ISSUE DATE	DESCRIPTION
	08.26.10	PLANNING DEPT. REVIEW
△	01.10.11	REVISION

DRAWING TITLE:
**ROOF DECK
PLAN**

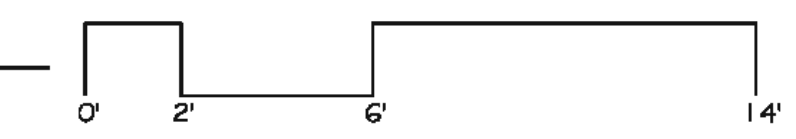
DRAWN: _____ CHECKED: _____
DATE: _____ PROJECT #: _____



1 SOUTH / NORTH PARTIAL BUILDING SECTION
1/4" = 1'-0"



2 EXTERIOR SOUTH ELEVATION - 14TH ST.
1/8" = 1'-0"



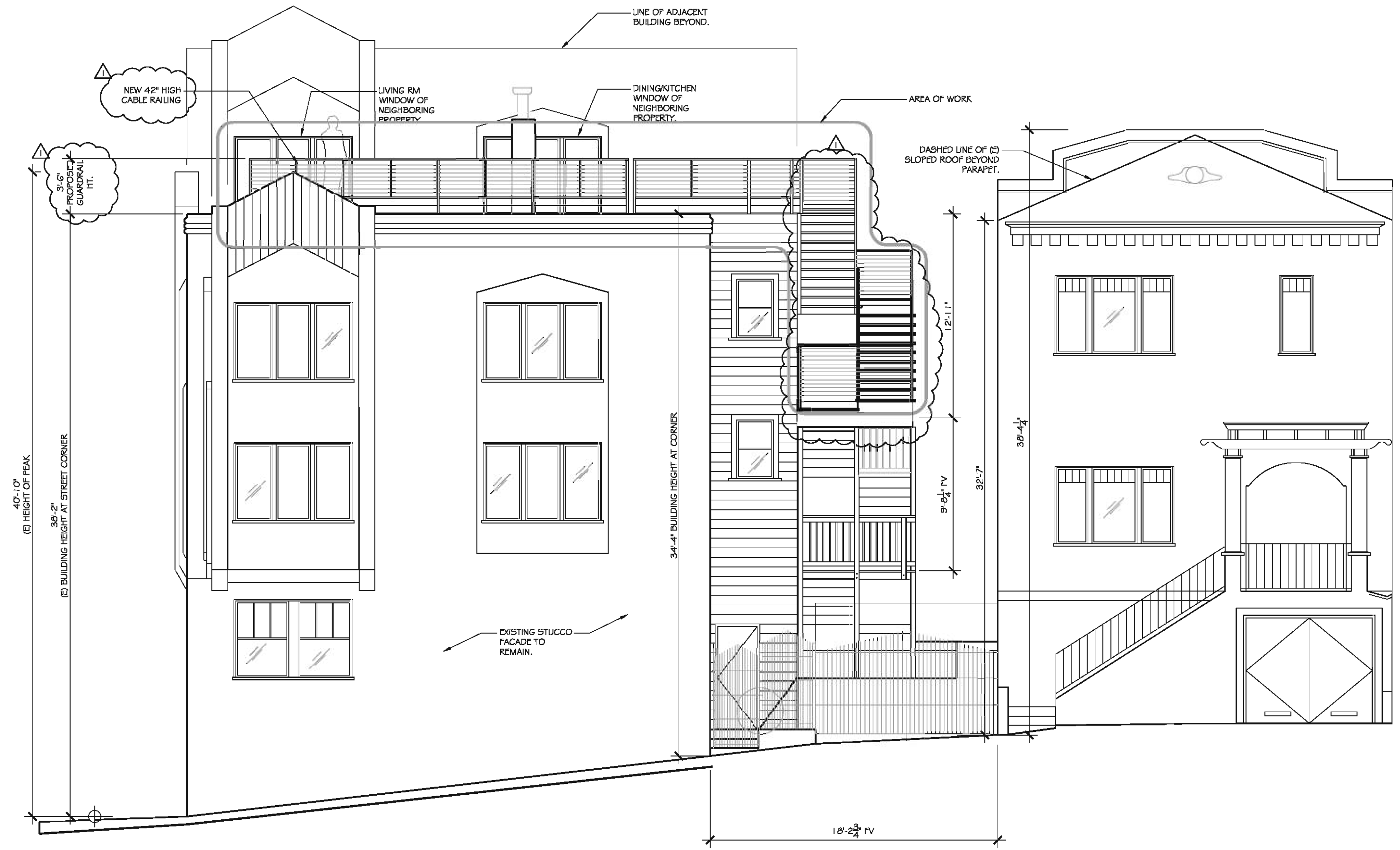
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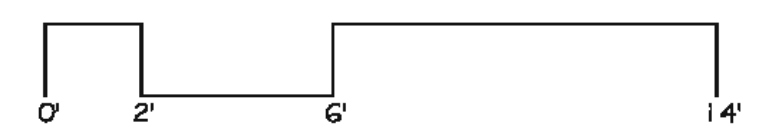
REV. NO.	ISSUE DATE	DESCRIPTION
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△ 01.10.11		REVISION

DRAWING TITLE:
**EXTERIOR
ELEVATIONS
& BUILDING SECTION**

DRAWN: _____ CHECKED: _____
DATE: _____ PROJECT #: _____



3 EXTERIOR EAST ELEVATION - ALPINE TERRACE
 1/8" = 1'-0"



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△	01.10.11	REVISION

DRAWING TITLE:
 EXTERIOR ELEVATIONS

DRAWN: _____ CHECKED: _____
 DATE: _____ PROJECT #: _____

SHEET NO.: A-04a

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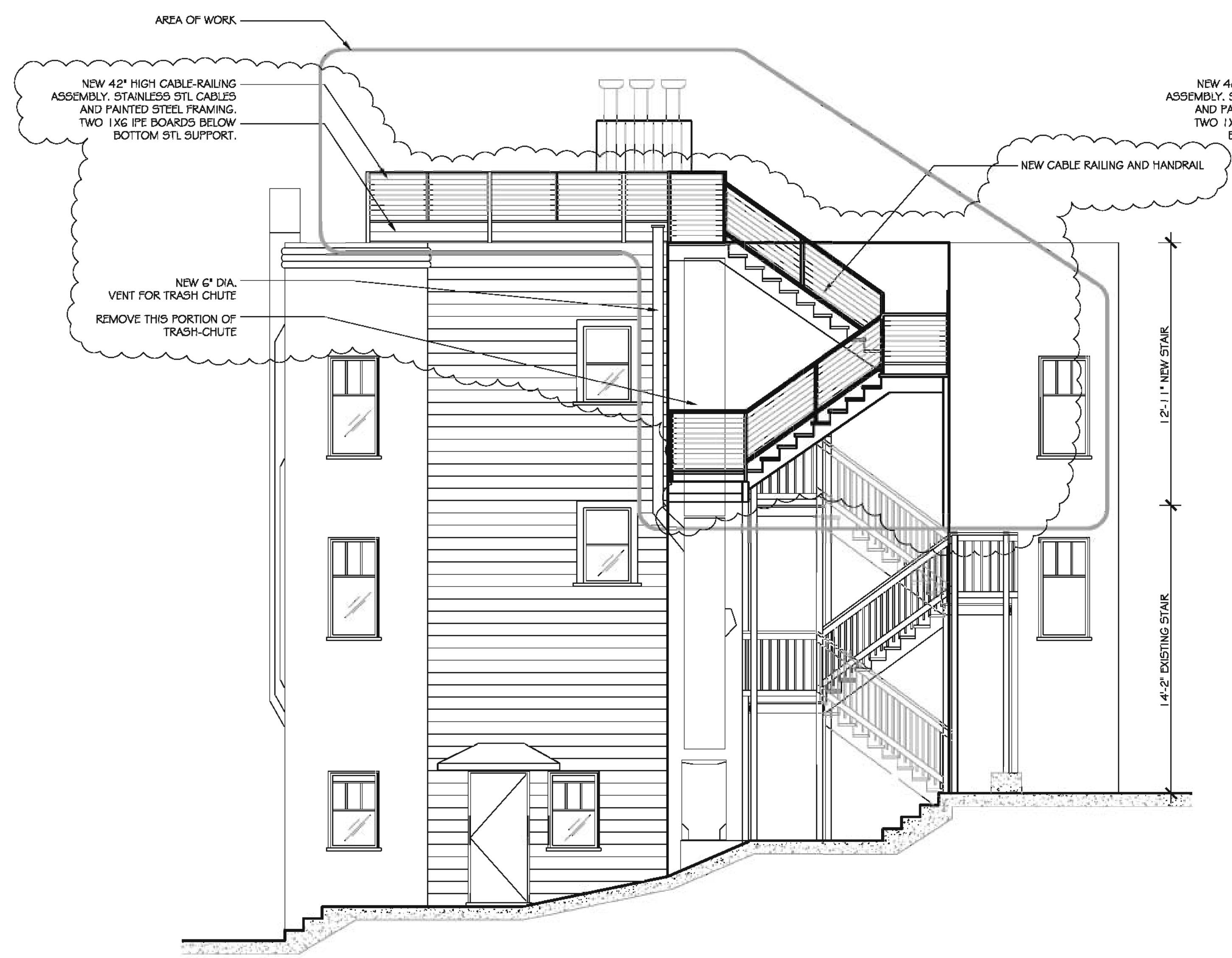
Lifebox Studios
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 OAKLAND CA, 94606
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REV NO.	ISSUE DATE	DESCRIPTION
	08.26.10	PLANNING DEPT. REVIEW
△	01.10.11	REVISION

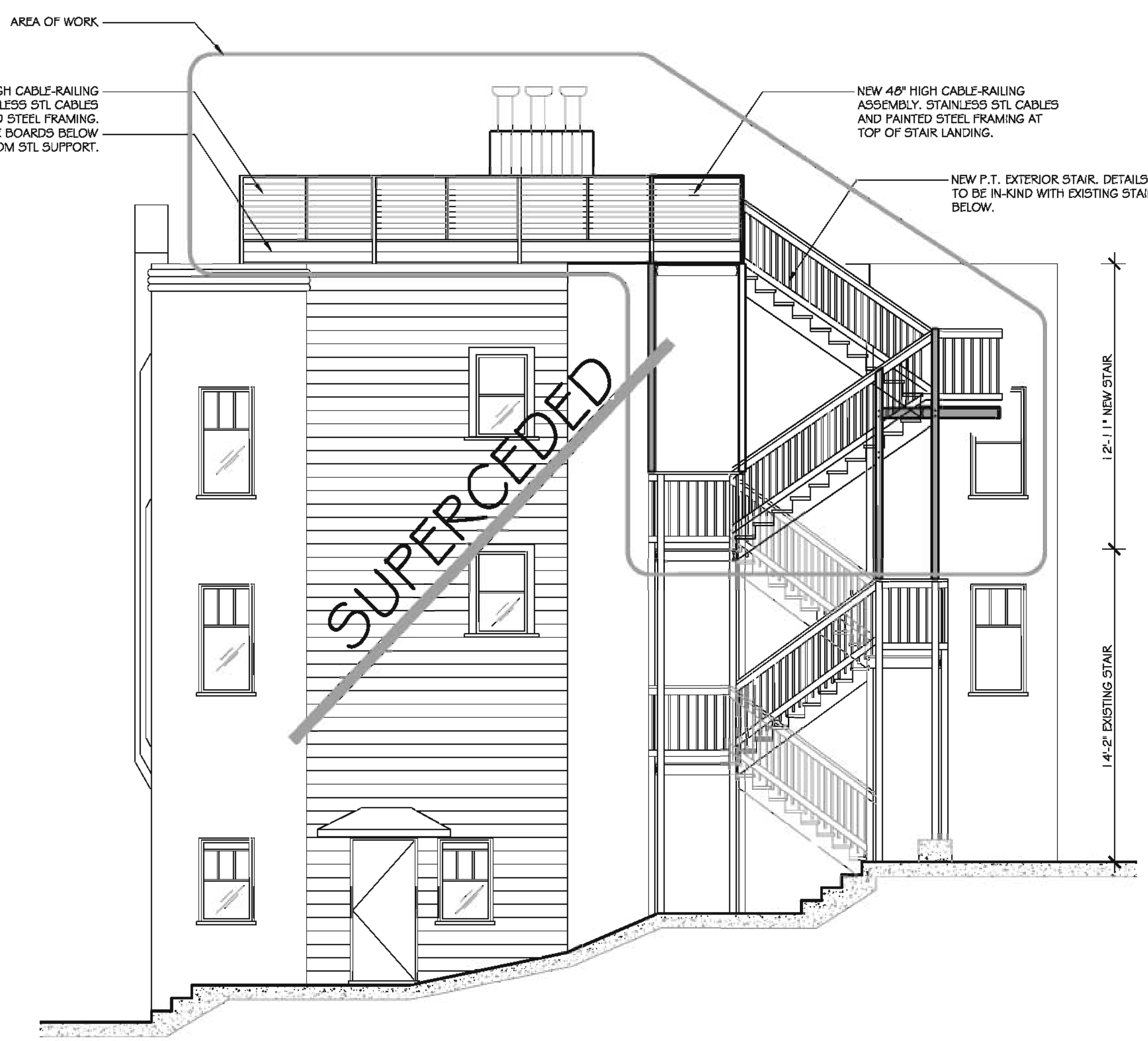
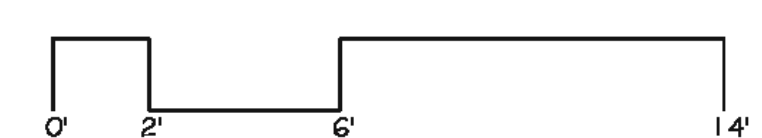
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 EXTERIOR ELEVATIONS

DRAWN: _____ CHECKED: _____
 DATE: _____ PROJECT #: _____

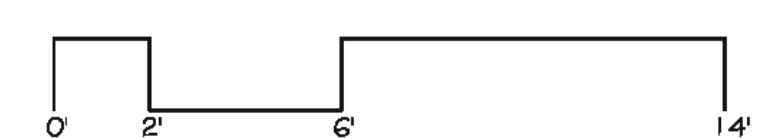
SHEET NO.: **A-04b**



5 EXTERIOR ELEVATION - NORTH - REVISED 01.10.2010
 1/4" = 1'-0"



4 EXTERIOR ELEVATION - NORTH - SUBMITTED 08.26.2010
 1/4" = 1'-0"





1 VIEW OF ADJACENT BUILDING ON 14TH ST.
N.T.S.



2 VIEW OF BUILDING FROM STREET
N.T.S.



3 VIEW OF ADJACENT BUILDING ON ALPINE
N.T.S.



4 VIEW OF BUILDING AT SOUTHWEST CORNER
N.T.S.



5 VIEW OF BUILDING AT NORTH EAST CORNER
N.T.S.



6 VIEW OF BUILDING AT SOUTH EAST CORNER
N.T.S.



7 WEST VIEW OF ADJACENT PROPERTY FROM ROOF
N.T.S.



8 NORTH VIEW OF ADJACENT PROPERTY
N.T.S.

**FAVREAU
DECAD RES.**
1068 14TH ST.
SAN FRANCISCO, CA

1068 14TH ST.
SAN FRANCISCO, CA
ROOFDECK PROJECT

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01.10.11		REVISION

DRAWING TITLE:
PHOTOGRAPHS

DRAWN: _____ CHECKED: _____
DATE: _____ PROJECT #: _____