

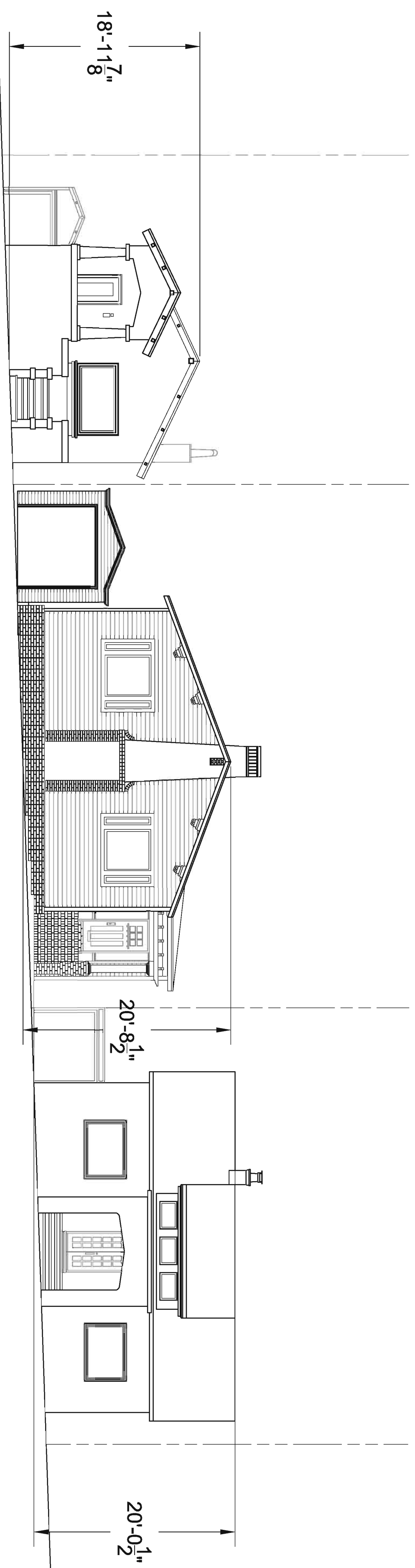
Sallenave Residence

218 Wawona St.
San Francisco, CA
94127

OWNERS' AGENT CONTACT INFORMATION:

Juliana Brodsky
brodsky.juliana@gmail.com
510.384.3765
1657 Hopkins St.
Berkeley, CA 94707

Stamp



222 WAWONA STREET

218 WAWONA STREET

210 WAWONA STREET

Consultant

Issue/Revision: 9/21/10
No. Date. Description.

TITLE PAGE

FRONT ADJACENT
PROPERTY ELEVATIONS
REAR ADJACENT
PROPERTY ELEVATIONS

Scale: 1/8"=1'
Sheet: A1.x

A1.X

ADDRESS:
218 WAWONA ST.
SAN FRANCISCO, CA
94127

BLOCK: 2932

LOT: 03

ZONING: RH-1 (D)

OWNER: JEAN-MARC AND JANELLE SALLENAVE

OWNERS' AGENT: JULIANA BRODSKY

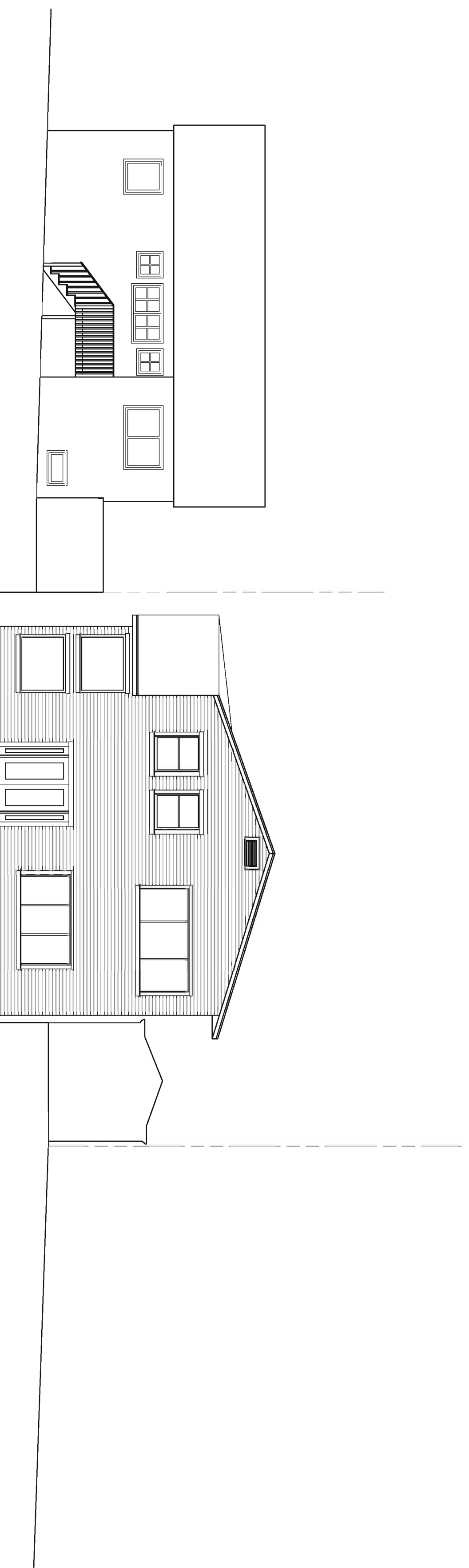
CONTRACTOR: TBD

ENGINEER: SANTOS-URBUTIA

- SCOPE OF WORK:
- PROPOSED EXCAVATION OF EXISTING BUILDING FOR INTERIOR CONSTRUCTION OF PRIVATE FAMILY SPACES
 - PROPOSED ADDITION OF STAIRCASE

PAGES INCLUDED:

- A1.X TITLE NOTES, ADJACENT ELEVATIONS
- A1.0 VICINITY PLOT MAP
- A1.1 EXISTING & PROPOSED UPPER FLOOR
- A1.2 EXISTING & PROPOSED LOWER FLOOR
- A1.3 EXISTING & PROPOSED ROOF PLANS
- A1.4 EXISTING & PROPOSED LONG SECTIONS
- A1.5 EXISTING & PROPOSED ELEVATIONS
- A1.6 EXISTING & PROPOSED ELEVATIONS
- A1.7 WINDOW & DOOR SCHEDULES, STAIR DETAIL
- A4.0 EXISTING & PROPOSED LOWER FLOOR ELECTRICAL
- A5.0 EXISTING & PROPOSED UPPER FLOOR PLUMBING
- A5.1 EXISTING & PROPOSED LOWER FLOOR PLUMBING
- G1.1 TITLE 24 ENERGY REPORT
- G1.2 TITLE 24 ENERGY REPORT



210 WAWONA STREET

218 WAWONA STREET

NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, AS WELL AS THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL GOVERNING AUTHORITIES, INCLUDING CURRENT EDITIONS OF THE CBC, CMC, CPC, NEC, AND PFA. ALL BIDS SHALL INCLUDE ALL MATERIALS, PRODUCTS, AND PROCEDURES NECESSARY FOR FULL AND COMPLETE INSTALLATION AND FUNCTIONING OF ALL BUILDING COMPONENTS AND SYSTEMS, WHETHER SPECIFIED OR NOT. IN ADDITION, ALL WORK ON THE SITE SHALL FULLY CONFORM WITH ACCEPTABLE INDUSTRY STANDARDS NOTED IN THE SPECIFICATION SECTIONS, CONFLICTS BETWEEN VARIOUS CODES AND STANDARDS SHALL BE BID BASED ON THE MOST STRINGENT REQUIREMENTS.

- CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE REQUIREMENTS OF ALL LOCAL UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE, EXCEPT THOSE TO BE REPLACED. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK. IF NOT SPECIFIED BY OWNER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD UNIDENTIFIED CONDITIONS BE DISCOVERED.

- PRODUCTS ARE TO BE INSTALLED AND/OR APPLIED IN FULL ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, A AND INSTALLATION INSTRUCTIONS, AVAILABLE MANUFACTURER'S WARRANTIES WILL BE INITIATED BY THE CONTRACTOR AND DELIVERED TO THE OWNER PRIOR TO FINAL PAYMENT. USE SPECIFICATION GRADE PRODUCTS WHERE REQUIRED FOR A FULL AND COMPLETE INSTALLATION BUT NOT SPECIFIED ON THE PLANS OR IN THESE SPECIFICATIONS.
- THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND

- CARE AT ALL TIMES IN ALL TRENCING, EXCAVATING, GRADING, DRILLING OR ANY OTHER OPERATION THAT PENETRATES THE SURFACE OF THE SITE AREA ADJACENT TO THE SITE OR THE PUBLIC RIGHT OF WAY. ANY DAMAGE TO SURROUNDING SITES SHALL BE REPAIRED BY THE CONTRACTOR, AND ALL LIABILITY RESULTING FROM SUCH DAMAGE SHALL BE ASSUMED BY THE CONTRACTOR. THE CONTRACTOR SHALL DESIGN AND CONSTRUCT ALL TEMPORARY OR PERMANENT SHORING, BRACING, PILING, BARRICADES, FOUNDATIONS UNDERPINNING, AND/OR EXTENSIONS, ETC., AS REQUIRED TO PROTECT EXISTING IMPROVEMENTS, (INCLUDING POWER POLES, UTILITIES, STREETS, ALLEYS, SIDEWALKS, CURBS, ETC.) FROM DAMAGE, SETTLEMENTS, ETC., DURING AND AFTER CONSTRUCTION ACTIVITIES. THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THEREFORE, THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO INSURE THE STABILITY OF ANY AND ALL PARTS OF THE BUILDING DURING CONSTRUCTION.

- CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE STARTING WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY.

- DRAWINGS ARE NOT INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES AND PROCEDURES REQUIRED FOR THE PERFORMANCE OF HIS WORK IN, ON, OR ABOUT THE JOB SITE.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THIS PROJECT.

- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.

- UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE ARCHITECT. AN EXCEPTION IS AS ALLOWED BY THE UBC FOR SOLID WOOD FRAMING.

- THE CONTRACTOR SHALL KEEP AT THE WORK SITE A COPY OF THE PLANS AND SPECIFICATIONS, TO WHICH THE OWNER SHALL HAVE ACCESS AT ALL TIMES.

- THE PLANS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS WILL GOVERN THE WORK. ANYTHING IN THE SPECIFICATIONS AND NOT ON THE PLANS, OR ON THE PLANS AND NOT IN THE SPECIFICATIONS SHALL BE AS THOUGH MENTIONED IN BOTH.

- CONTRACTOR SHALL CLEAN THE CONSTRUCTION SITE AT THE END OF EACH WORKING DAY TO BROOD CLEAN CONDITION, AND SHALL PROPERLY DISPOSE OF ALL DEBRIS.

- IF THE CONTRACTOR DEVIATES FROM THE CONSTRUCTION DOCUMENTS, OR MAKES ASSUMPTIONS ABOUT EXECUTION OF THE WORK WITHOUT CONSULTING THE OWNER, THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR THOSE PORTIONS OF THE WORK, AND SHALL BE RESPONSIBLE FOR ANY CHANGES REQUIRED BY THE OWNER TO BRING THE PROJECT INTO COMPLIANCE WITH THE CONTRACT DOCUMENTS.

Salleneave Residence

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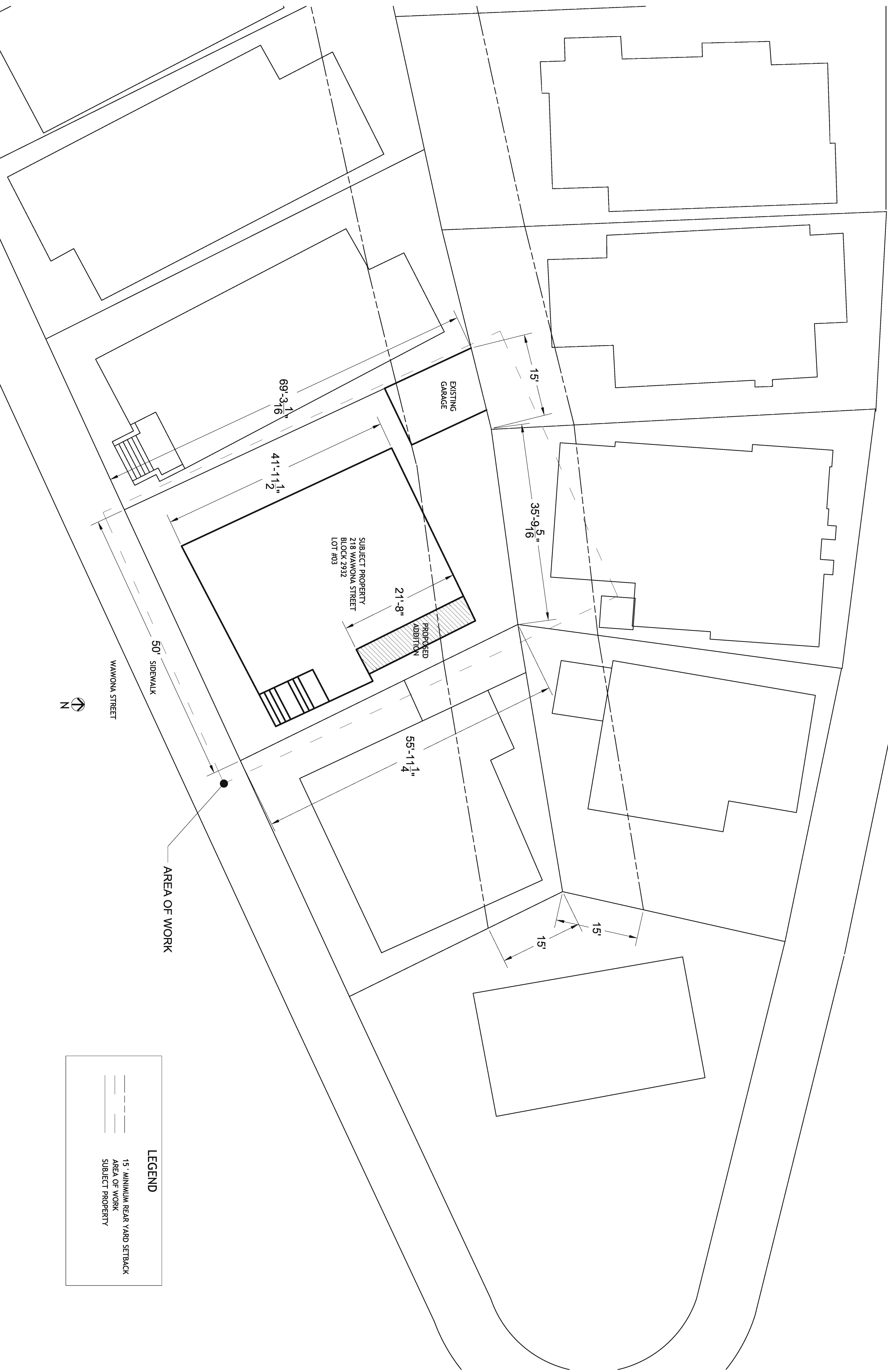
Consultant

Issue/Revision: 01/06/11
No. Date Description.

VICINITY PLOT PLAN

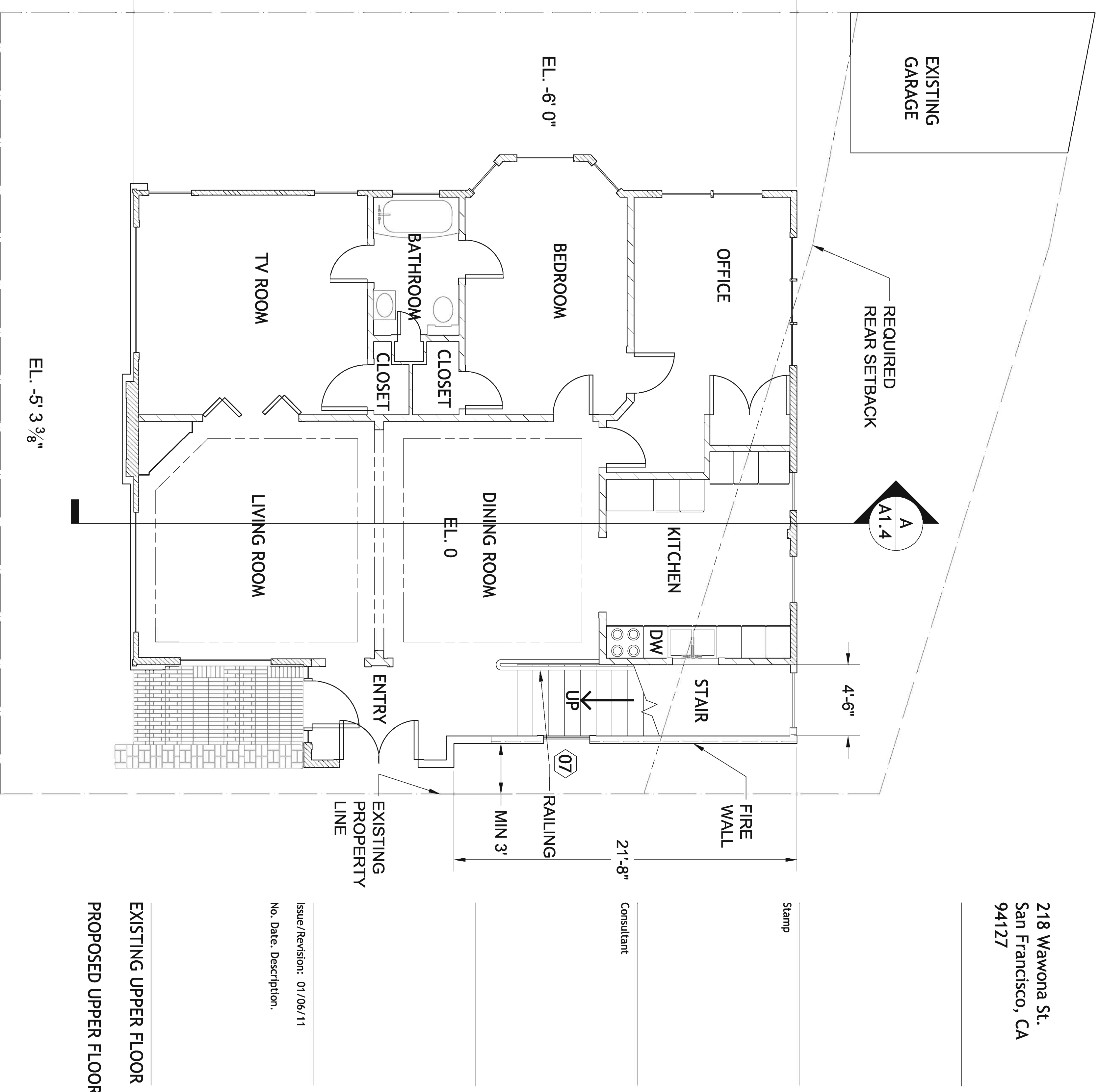
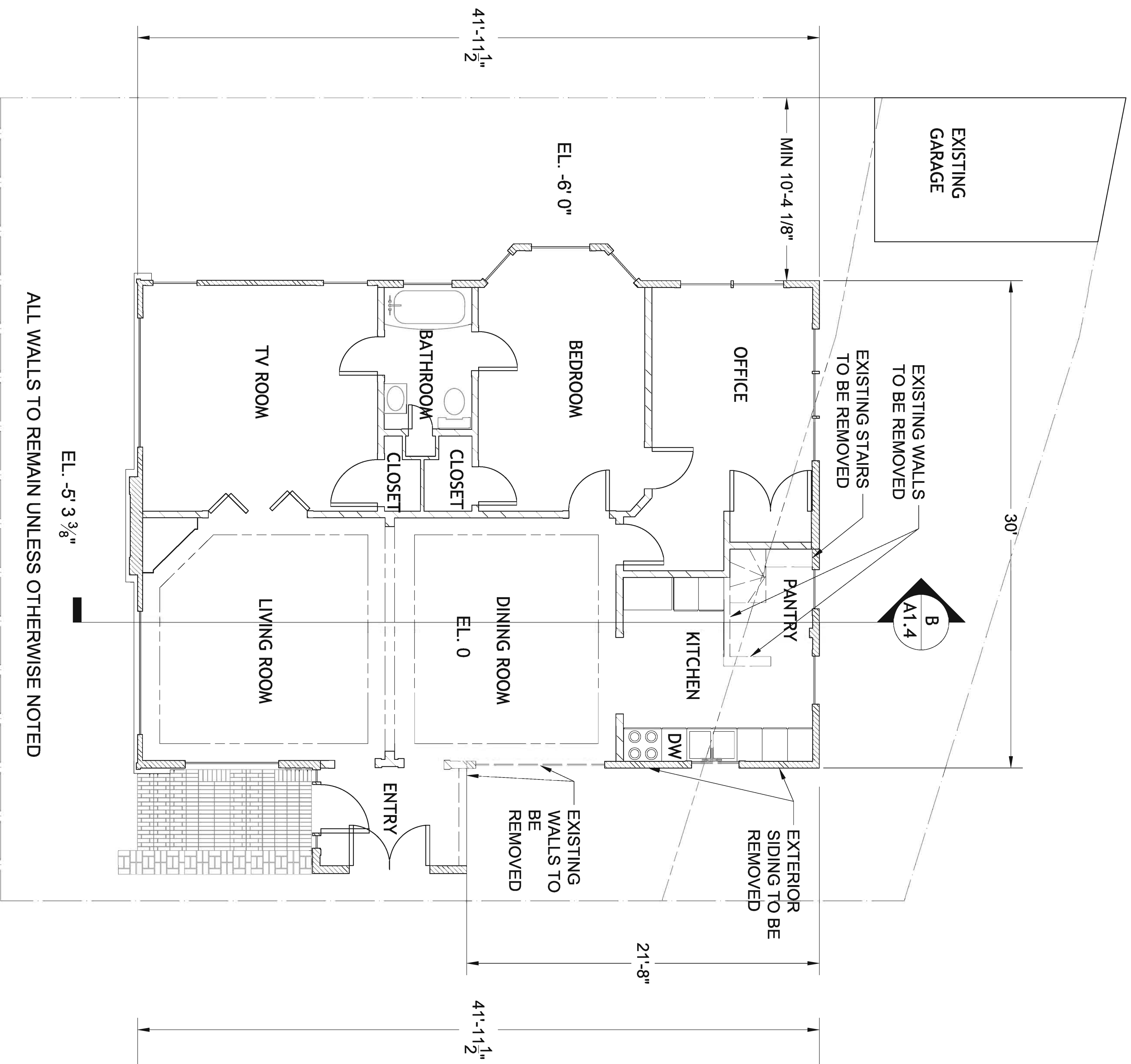
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A1.0



LEGEND

- 15' MINIMUM REAR YARD SETBACK
- - - AREA OF WORK
- SUBJECT PROPERTY



ALL WALLS TO REMAIN UNLESS OTHERWISE NOTED

LEGEND

	(E) EXTERIOR WALL
	(E) INTERIOR WALL
	(E) DEMO
	(N) FIRE WALL
	(N) INTERIOR WALL
	REFLECTED CEILING DETAIL

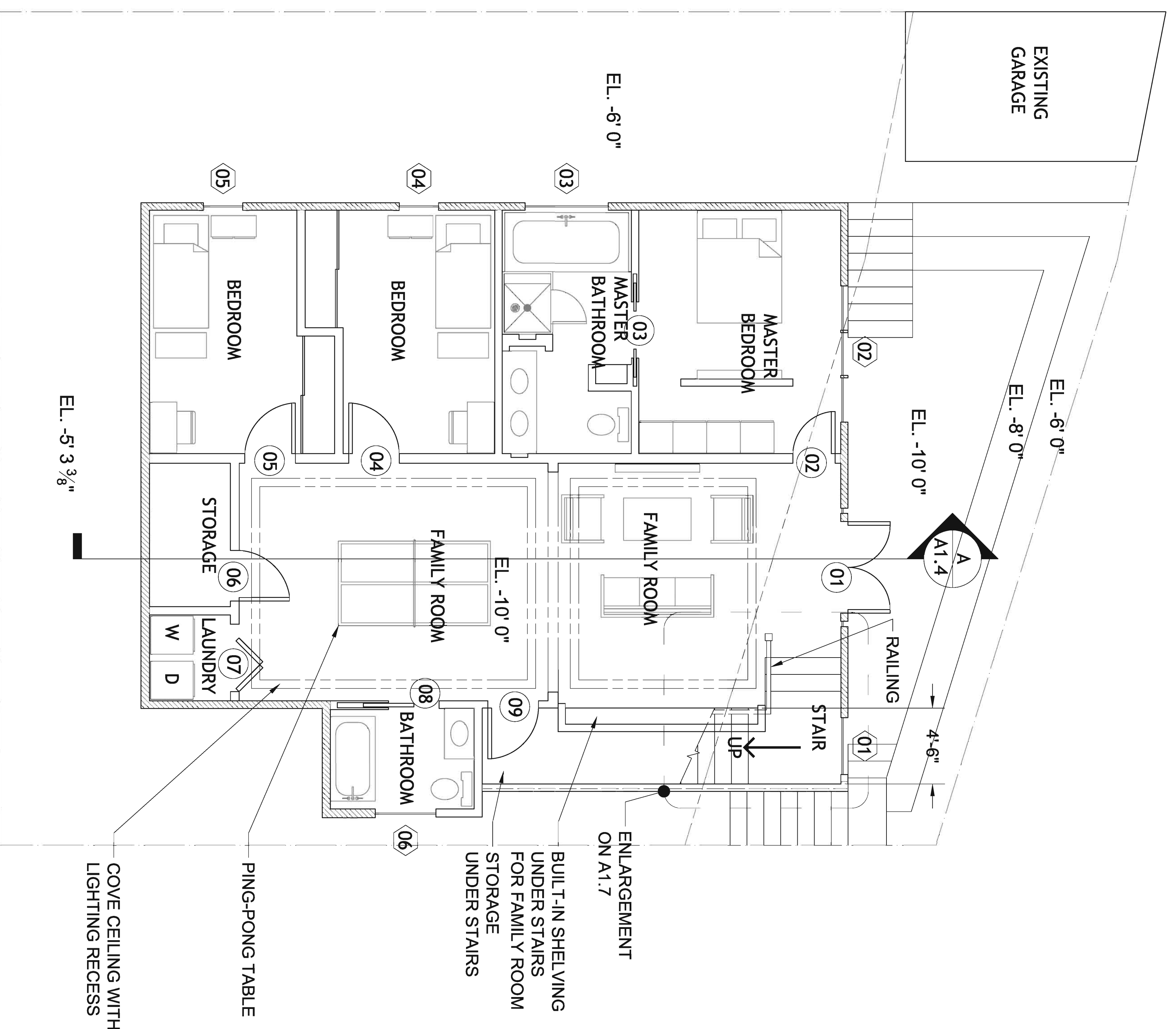
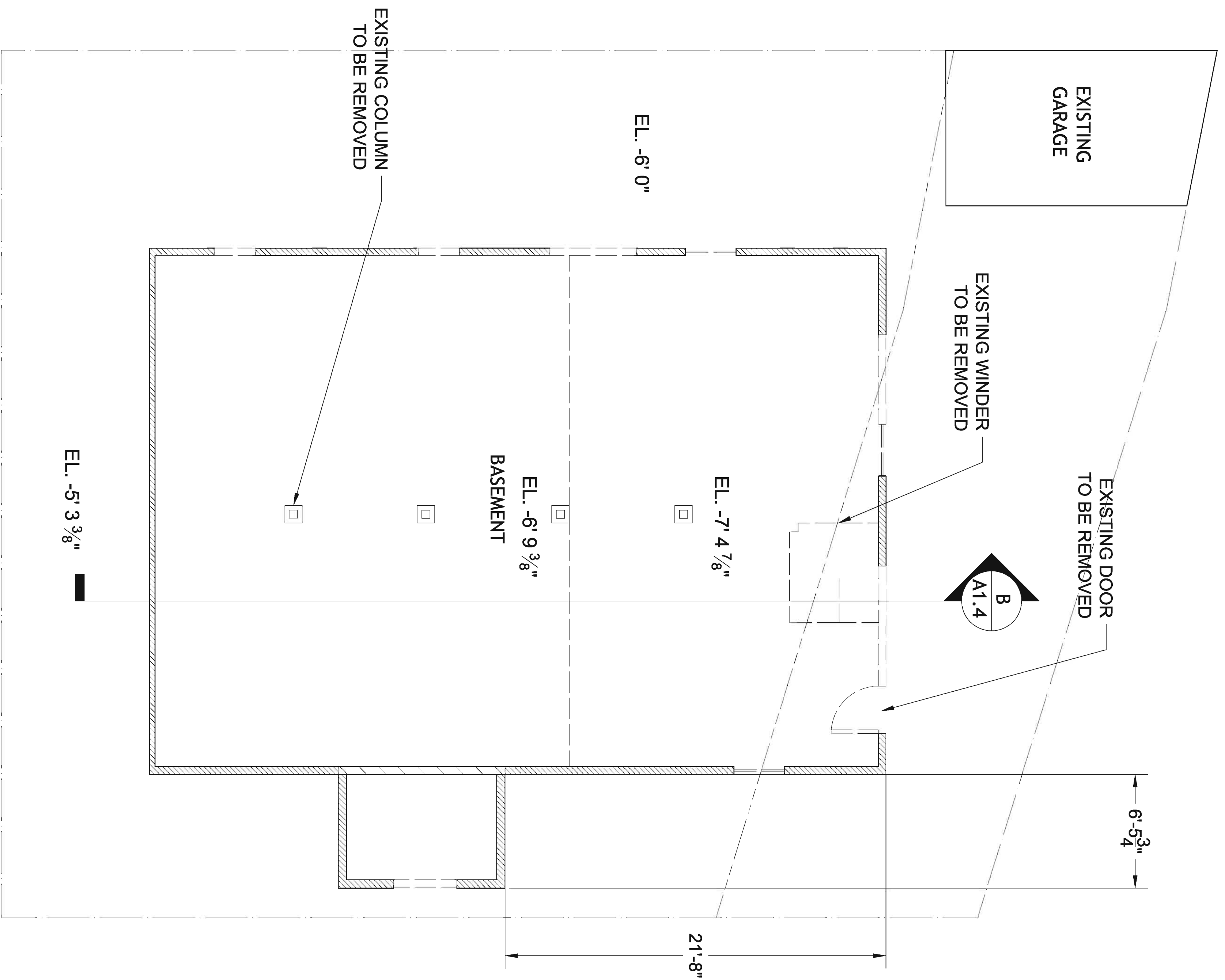
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No. Date: Description.

EXISTING UPPER FLOOR
PROPOSED UPPER FLOOR

Scale: 1/4"=1'
Sheet: A1.1



LEGEND

	(E) EXTERIOR WALL
	(E) INTERIOR WALL
	(E) DEMO
	(N) FIRE WALL
	(N) INTERIOR WALL
	REFLECTED CEILING DETAIL

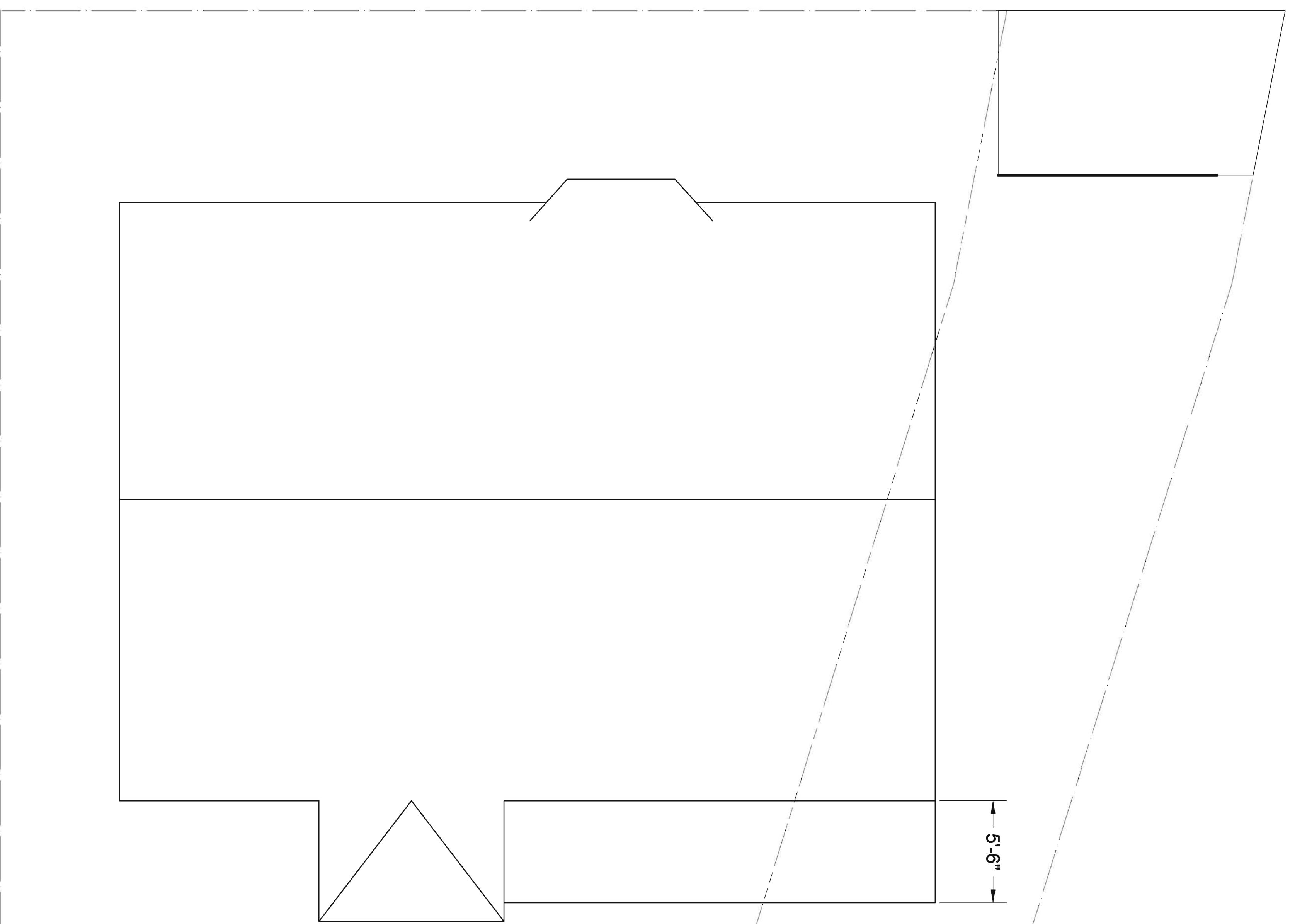
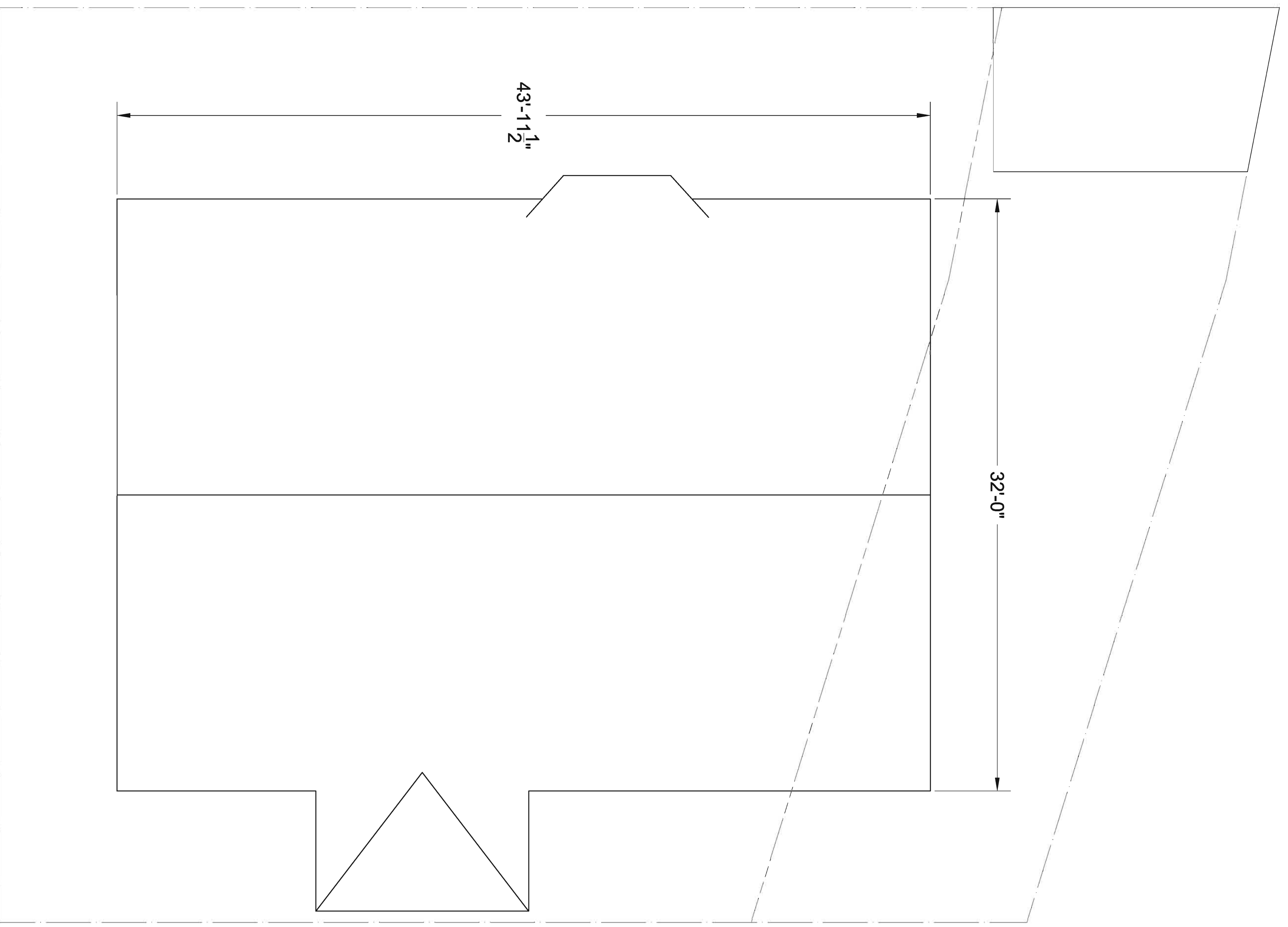
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No. Date. Description.

EXISTING LOWER FLOOR
PROPOSED LOWER FLOOR

Scale: 1/4"=1'
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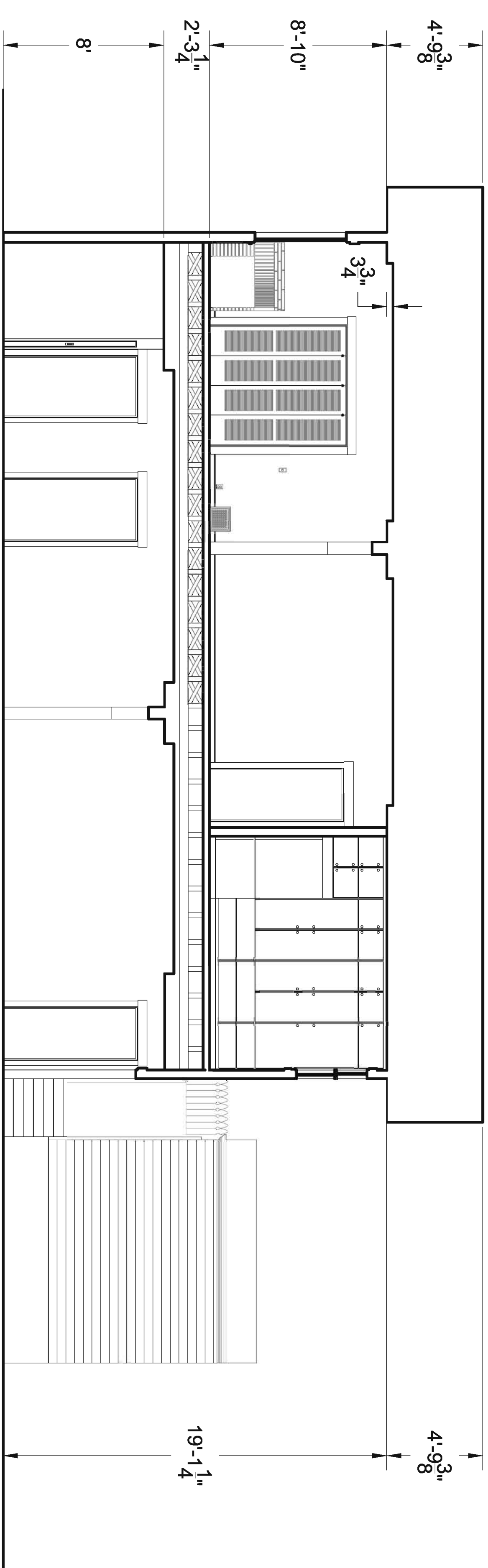
EXISTING ROOF PLAN
PROPOSED ROOF PLAN

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A1.3

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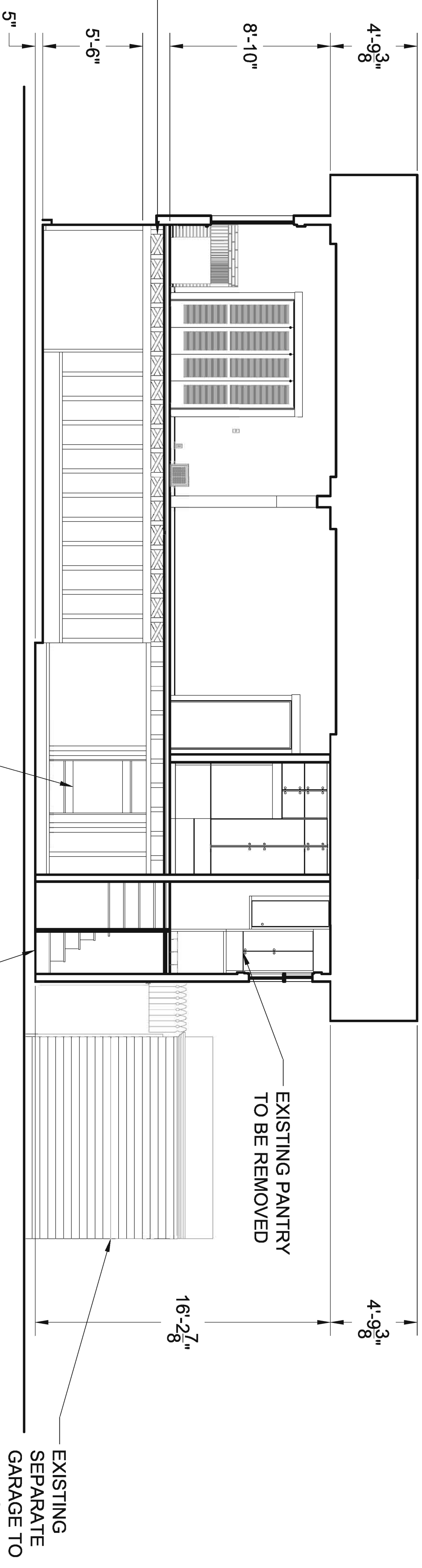
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 No. Date. Description.

EXISTING LONG SECTION
 PROPOSED LONG SECTION

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A1.4

EXISTING STRUCTURE TO REMAIN

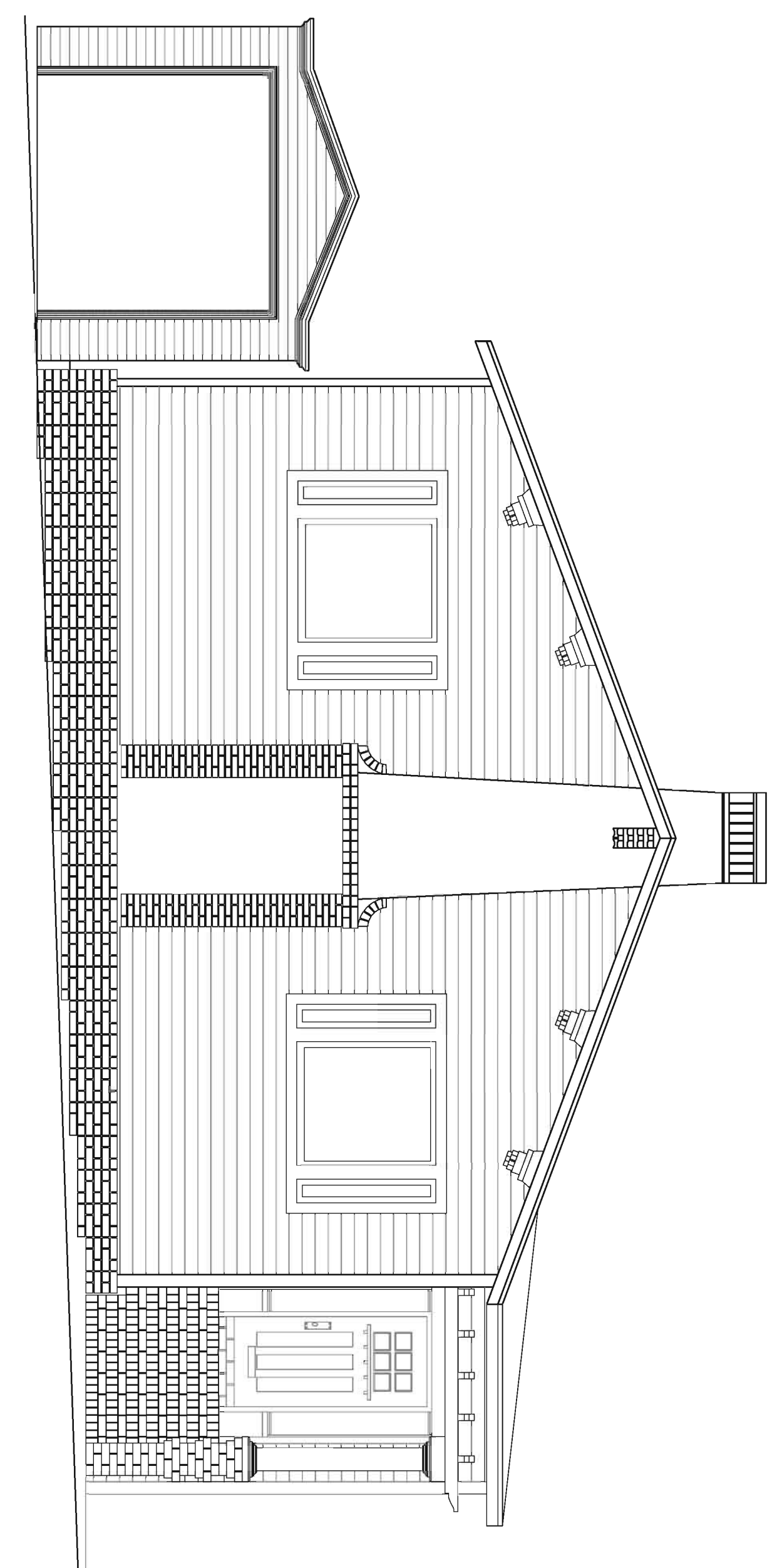


EXISTING SEPARATE GARAGE TO REMAIN

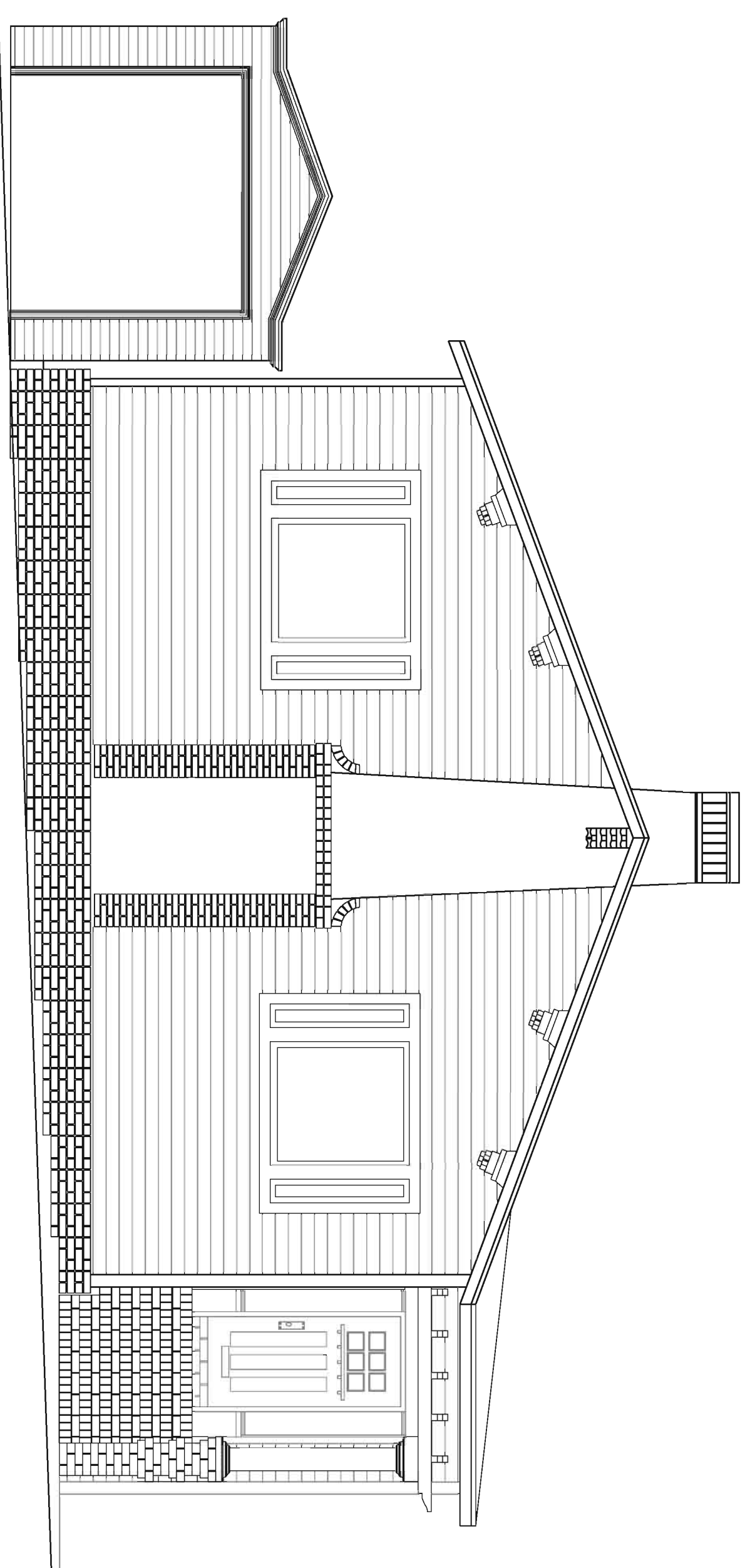
EXISTING WINDOW TO BE REMOVED

EXISTING WINDER TO BE REMOVED

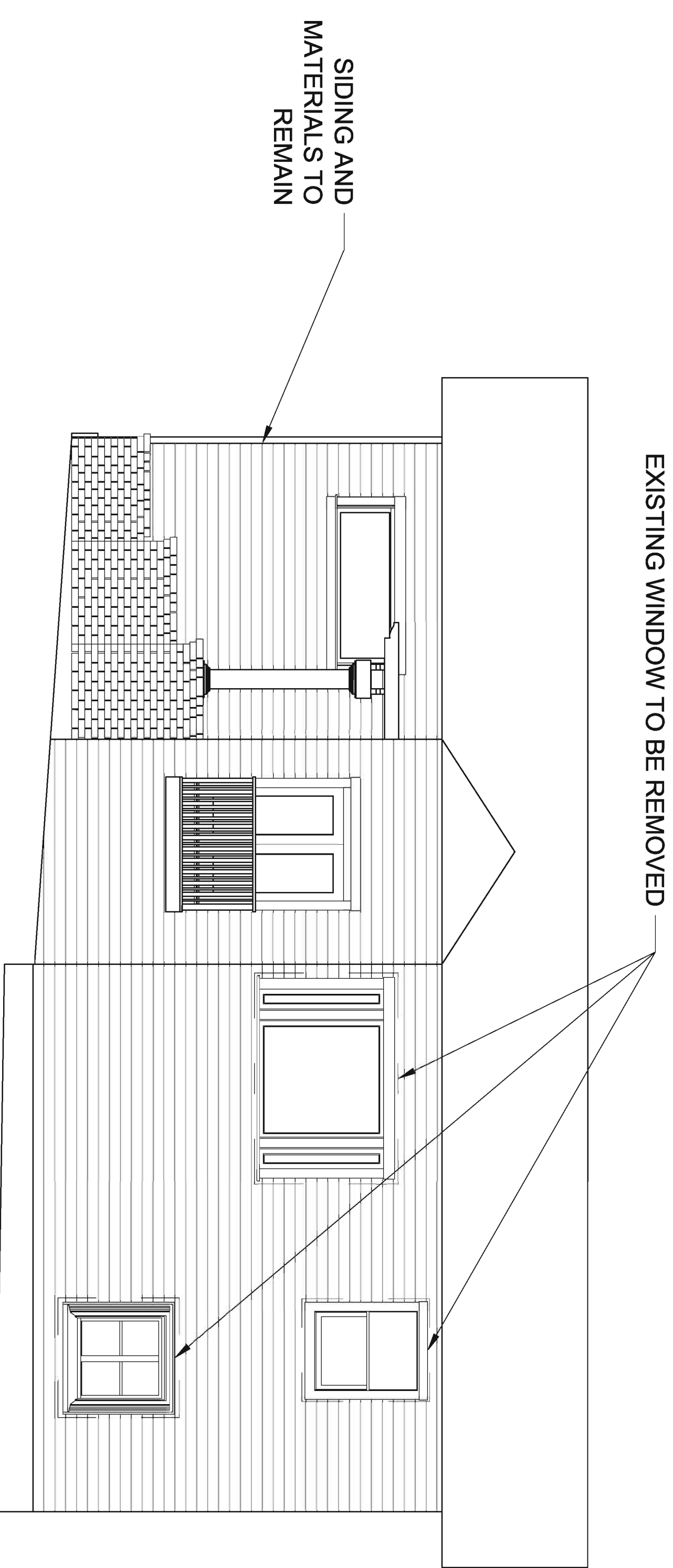
EXISTING PANTRY TO BE REMOVED



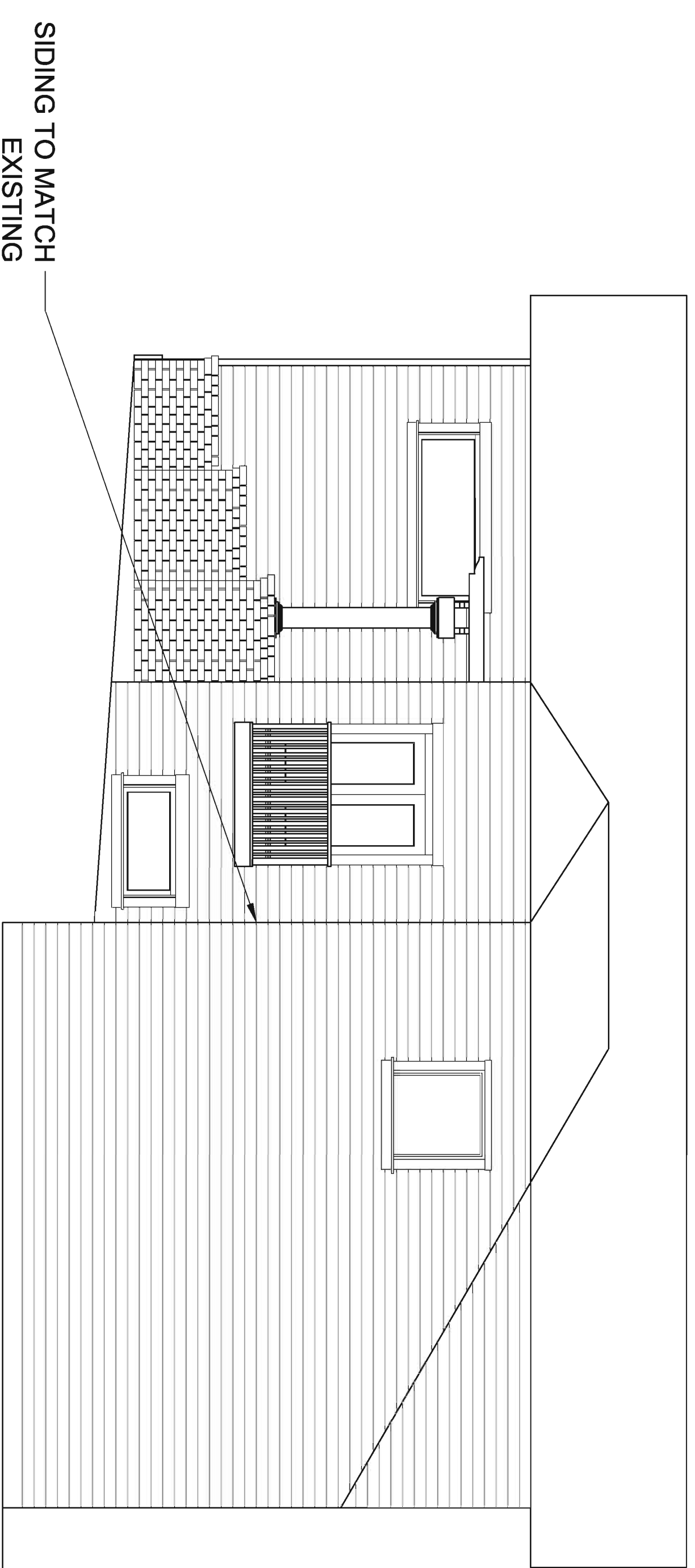
EXISTING SOUTH (FRONT) ELEV.
NO CHANGES TO BE MADE



PROPOSED SOUTH (FRONT) ELEV.



EXISTING EAST (SIDE) ELEV.



PROPOSED EAST (SIDE) ELEV.

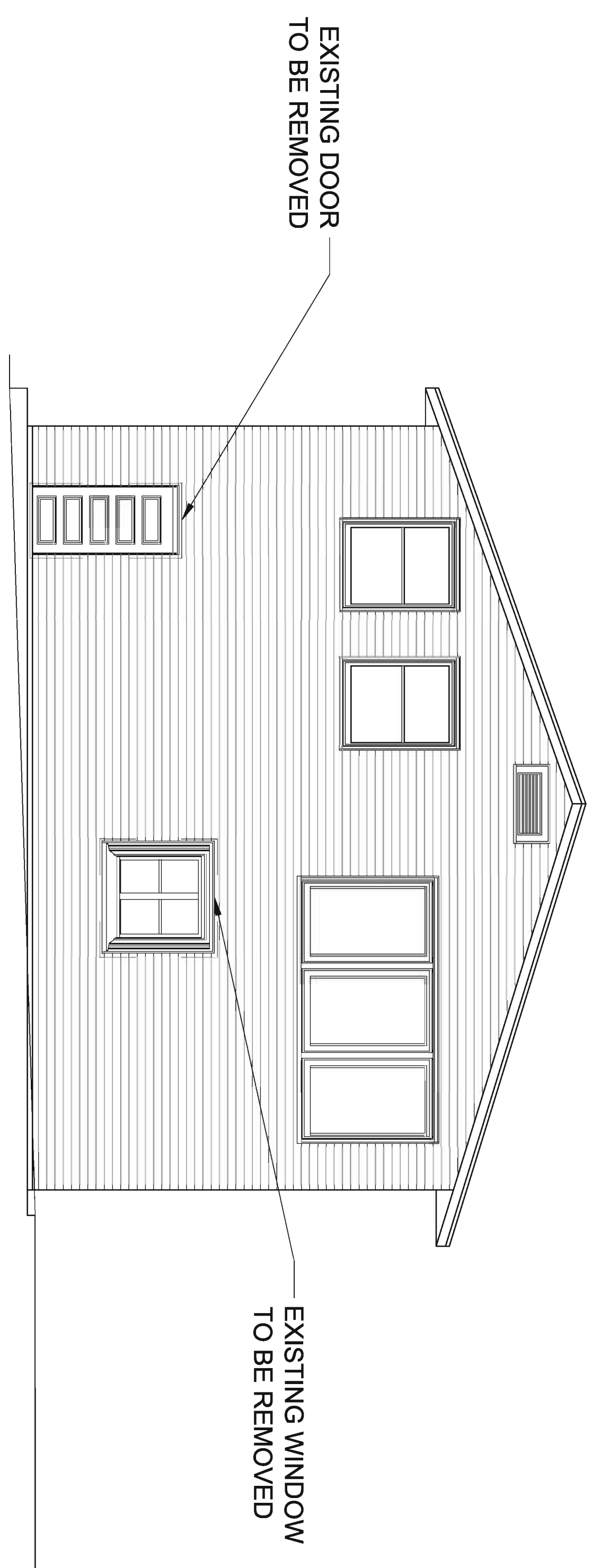
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EXISTING ELEVATIONS
PROPOSED ELEVATIONS

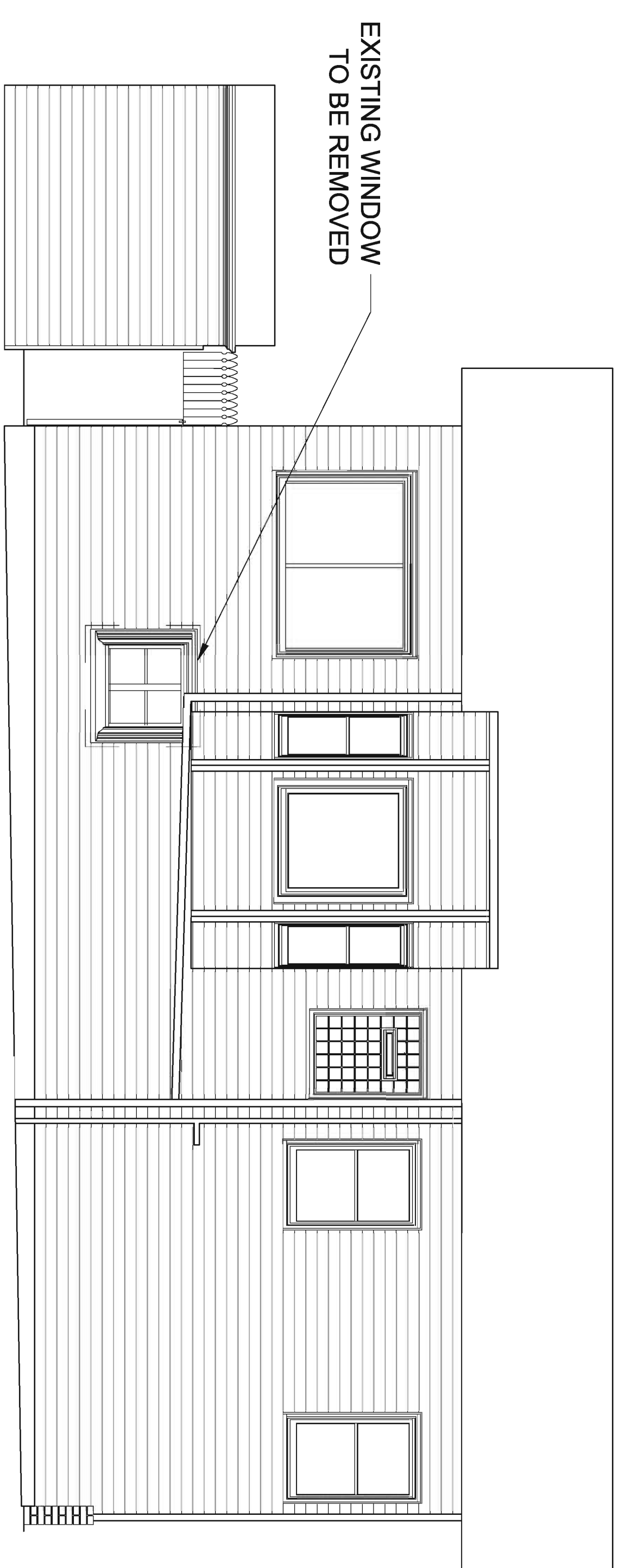
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Sallenave Residence

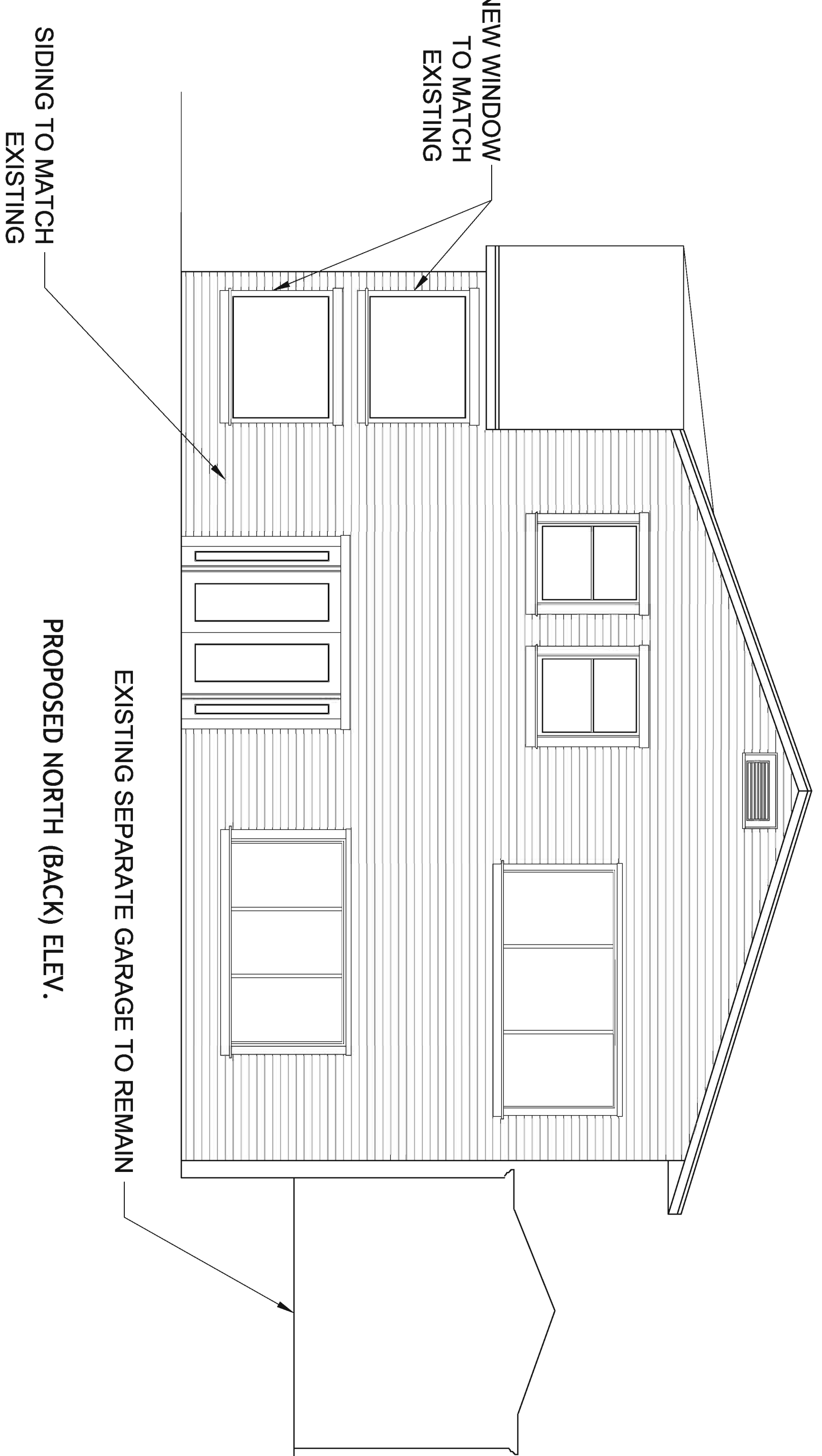
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San Francisco, CA
94127



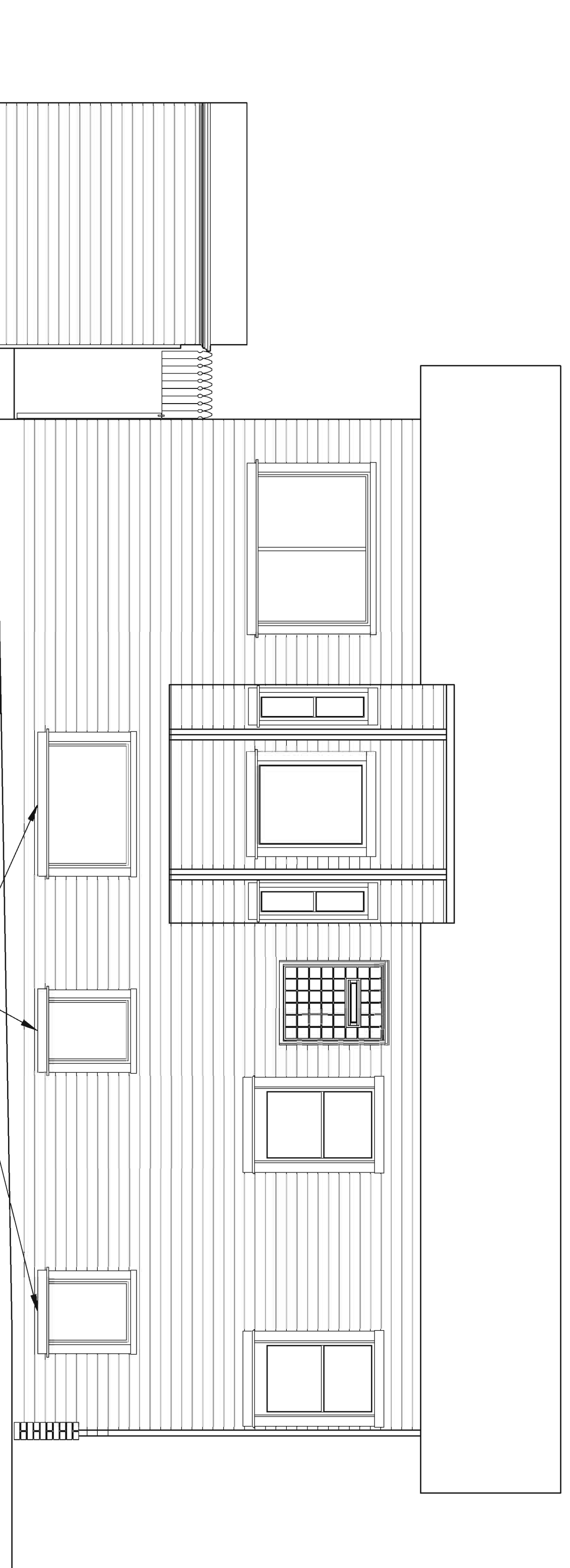
EXISTING NORTH (BACK) ELEV.



EXISTING WEST (DRIVEWAY) ELEV.



PROPOSED NORTH (BACK) ELEV.



PROPOSED WEST (DRIVEWAY) ELEV.

Issue/Revision: 01/06/11
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EXISTING ELEVATIONS
PROPOSED ELEVATIONS

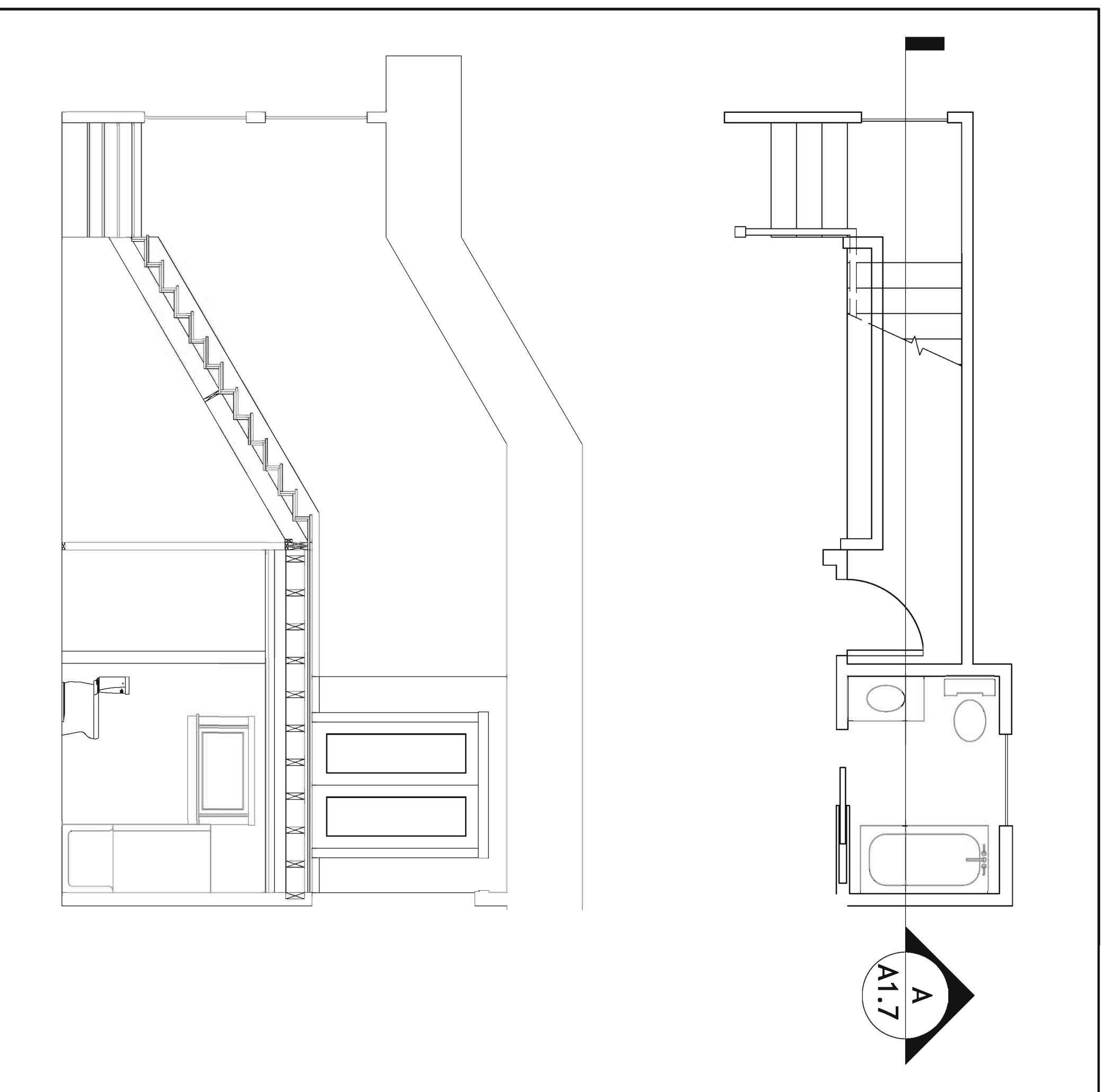
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Sallenaave Residence

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San Francisco, CA
94127

WINDOW SCHEDULE			
SYM	WIDTH	HEIGHT	TYPE
REMARKS: ALL UNITS TO HAVE TEMPERED GLASS			
01	64"	54 1/6"	DOUBLE CASEMENT
			MARVIN WOOD ULTIMATE CASEMENT PICTURE UNIT #WUPCAP6454
02	36"	60 1/6"	TRIPLE CASEMENT
			MARVIN WOOD ULTIMATE PUSH OUT CASEMENT UNIT #WUCA3660
03	64"	44 1/6"	CASEMENT
			MARVIN WOOD ULTIMATE CASEMENT PICTURE UNIT #WUCAP6444
04	32"	44 1/6"	CASEMENT
			MARVIN WOOD ULTIMATE PUSH OUT CASEMENT UNIT #WUPCA3244
05	32"	44 1/6"	CASEMENT
			MARVIN WOOD ULTIMATE PUSH OUT CASEMENT UNIT #WUPCA3244
06	48"	24 1/6"	AWNING
			MARVIN WOOD ULTIMATE AWNING #WUCA4824
07	36"	40"	FIXED
			FIRE-RATED WINDOW

DOOR SCHEDULE			
SYM	WIDTH	HEIGHT	TYPE
REMARKS			
01	5'-0"	6'-8"	FRENCH
			MARVIN ULTIMATE WOOD SWINGING FRENCH DOOR UNIT #5066
02	2'-6"	6'-8"	INTERIOR
			MANUFACTURER TBD
03	4'-6"	6'-8"	2X POCKET
			MANUFACTURER TBD
04	3'-0"	6'-8"	INTERIOR
			MANUFACTURER TBD
05	3'-0"	6'-8"	INTERIOR
			MANUFACTURER TBD
06	3'-0"	6'-0"	INTERIOR
			MANUFACTURER TBD
07	4'-0"	6'-0"	BI-FOLD
			MANUFACTURER TBD
08	3'-0"	6'-8"	POCKET
			MANUFACTURER TBD
09	3'-0"	6'-0"	INTERIOR
			MANUFACTURER TBD



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A1.7

STAIR DETAIL

Issue/Revision: 01/06/11

No. Date. Description.

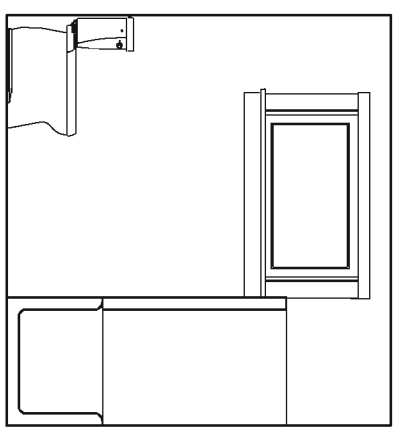
Consultant

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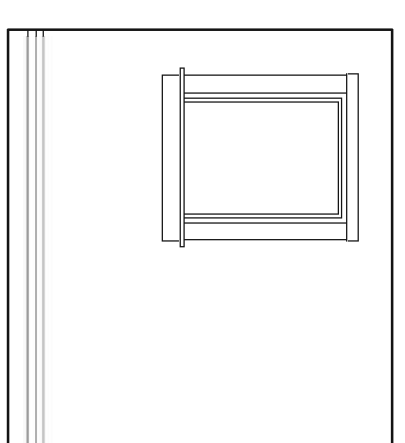
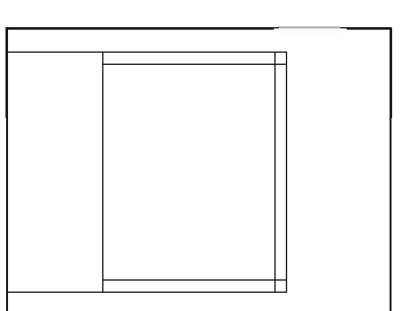
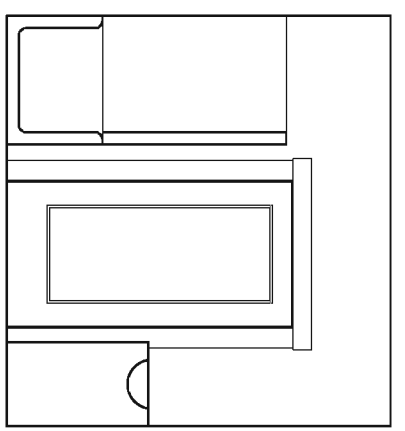
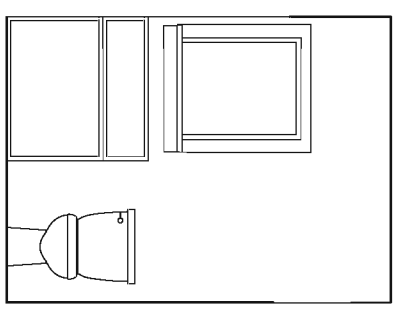
WINDOW SCHEDULE
DOOR SCHEDULE
STAIR DETAIL

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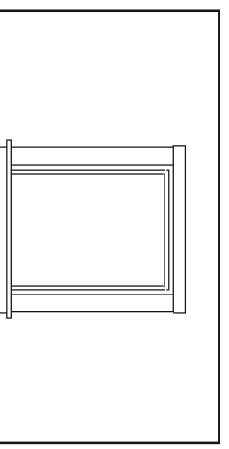
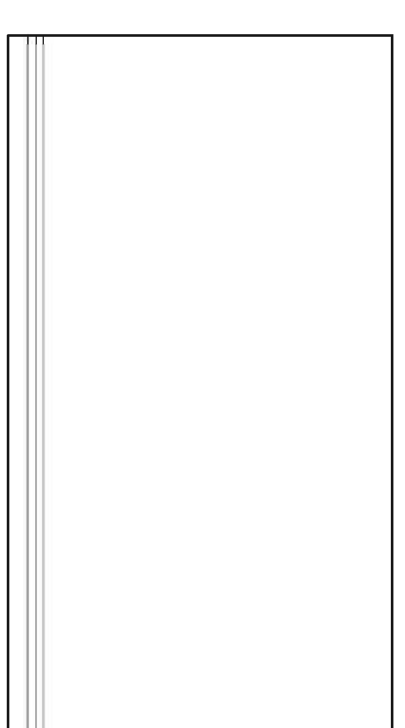
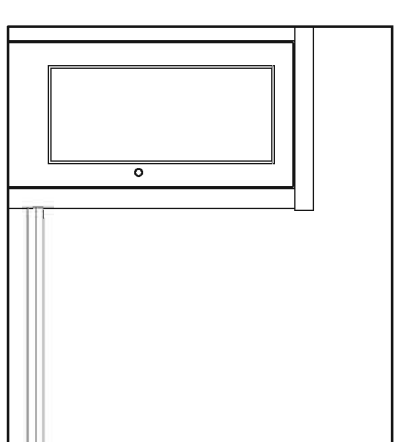
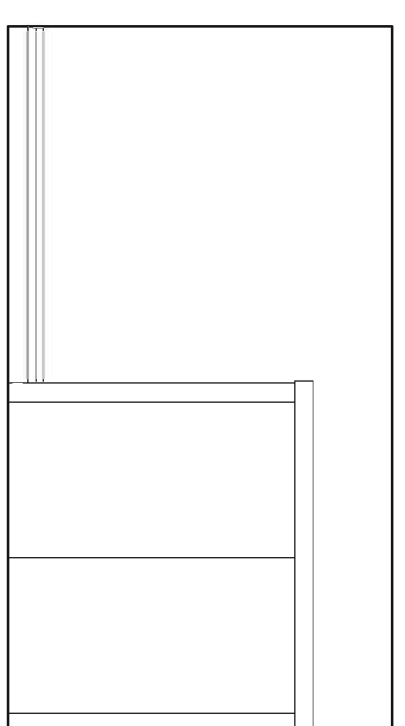
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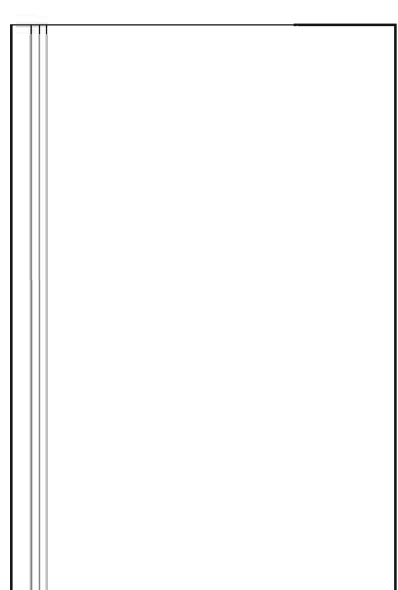
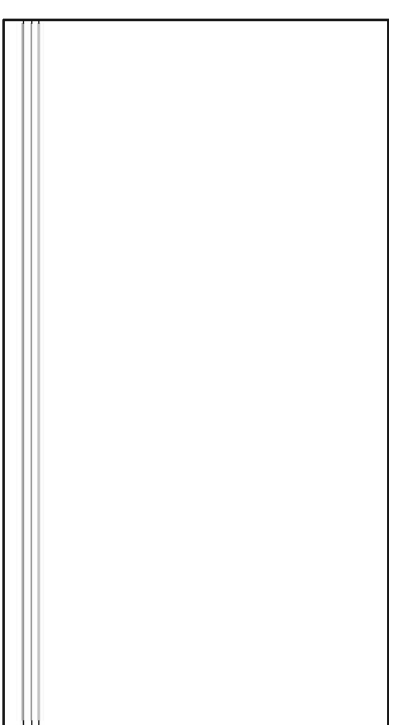
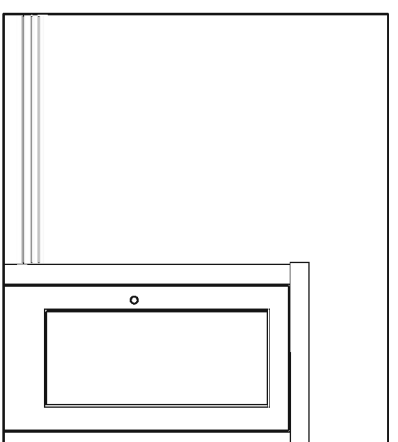
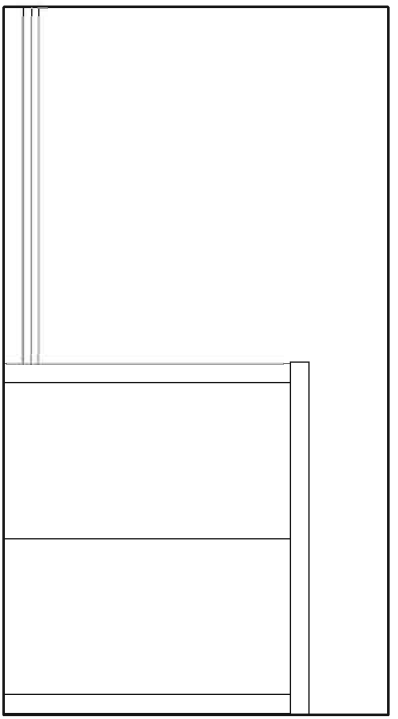
GUEST BATH



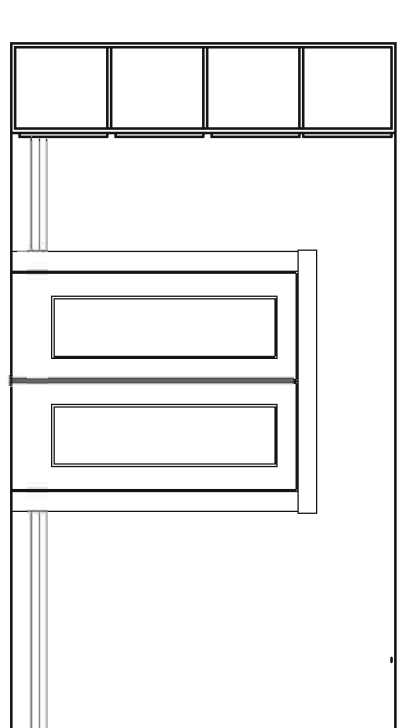
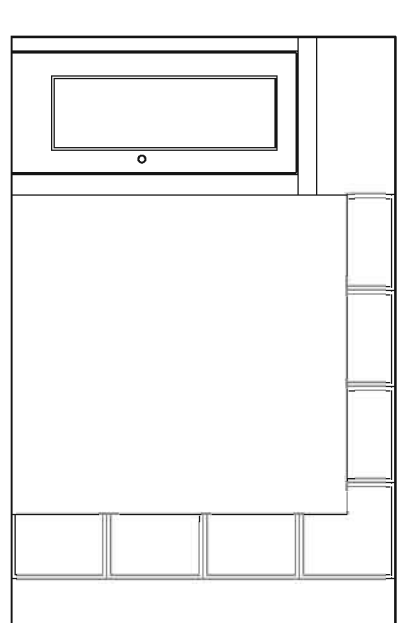
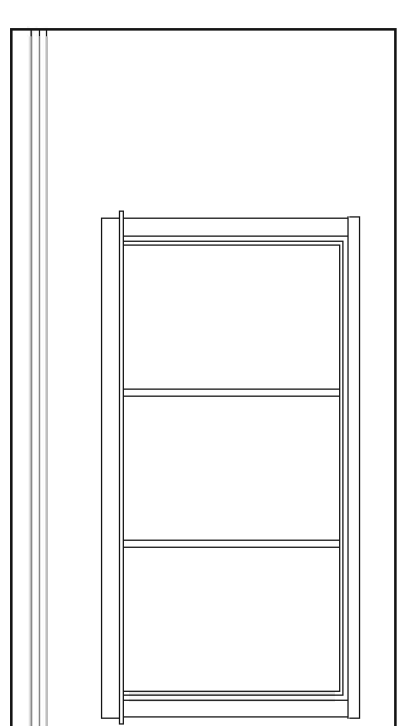
BEDROOM



BEDROOM

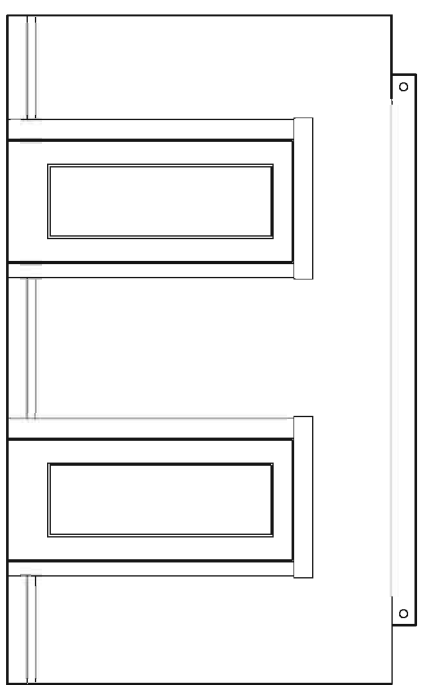


MASTER BEDROOM

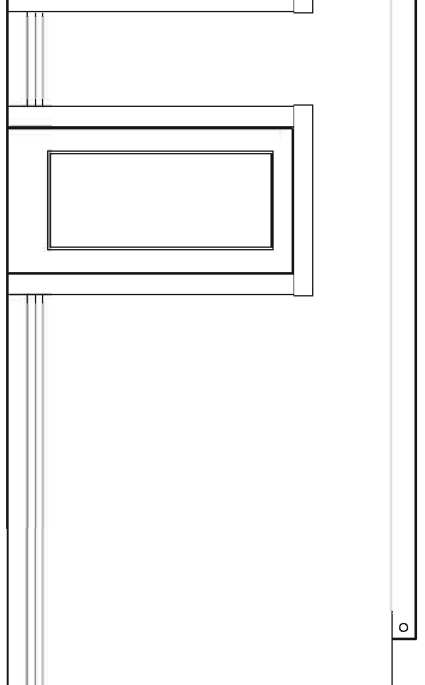
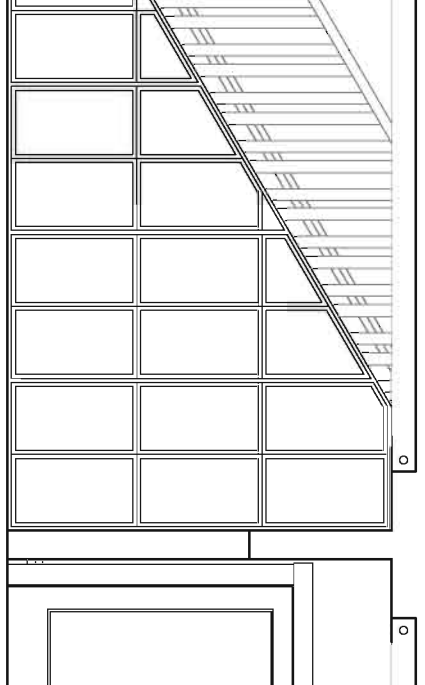
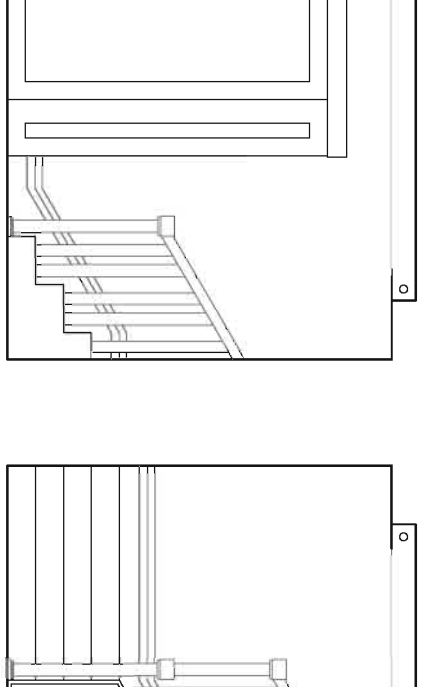
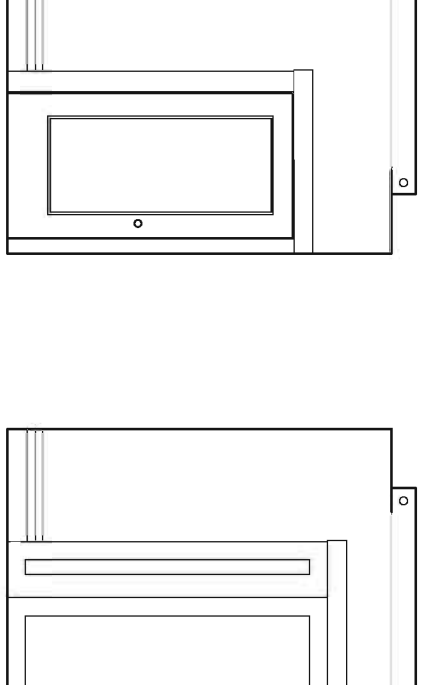
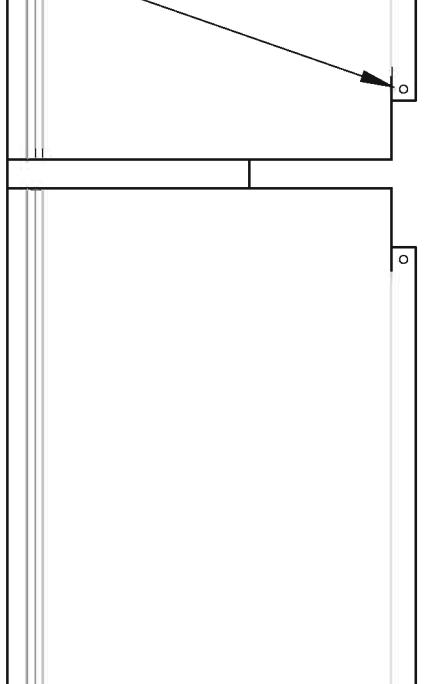
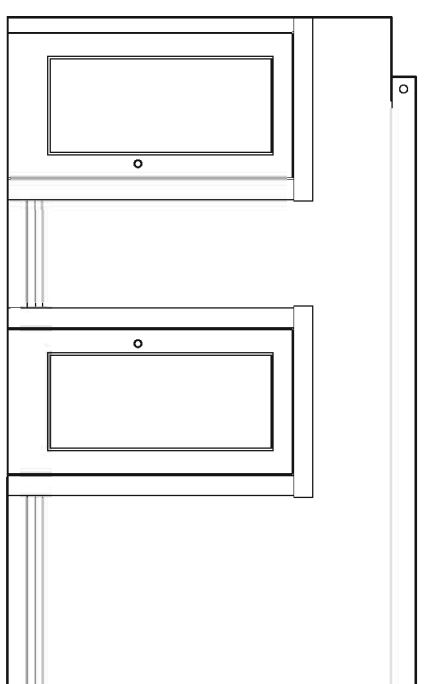


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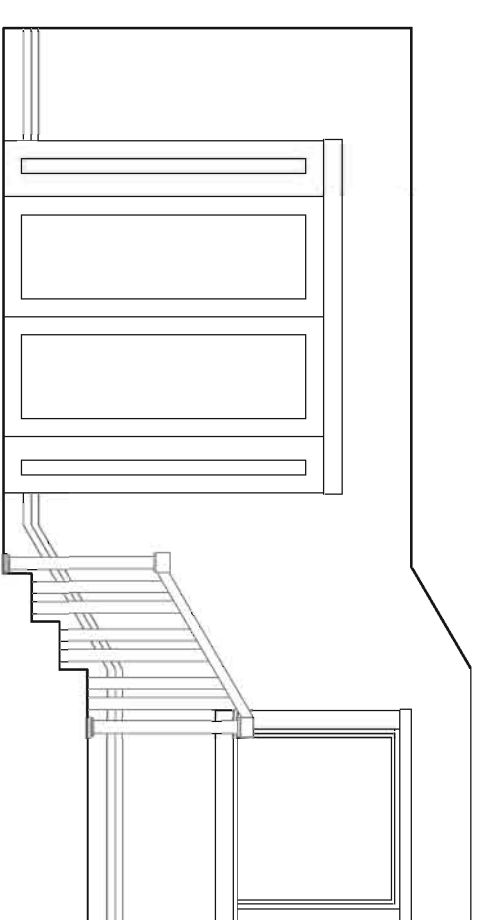
Consultant



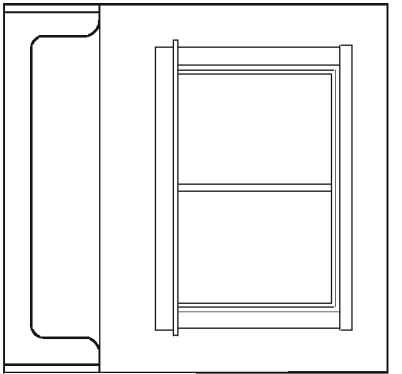
FAMILY ROOM



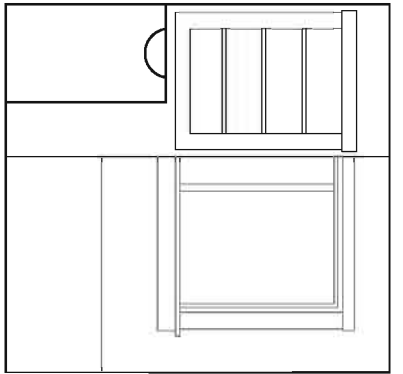
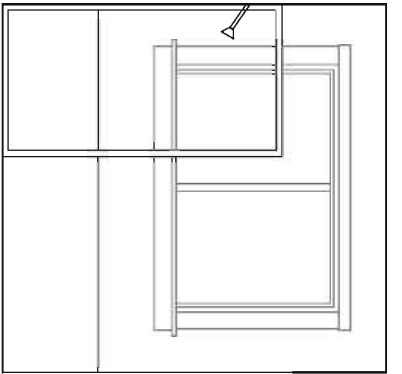
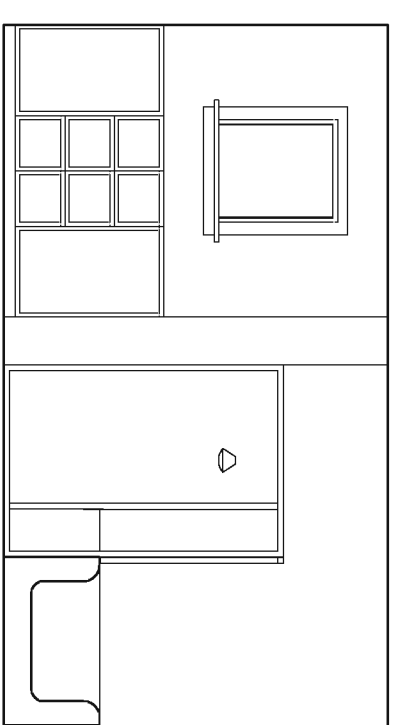
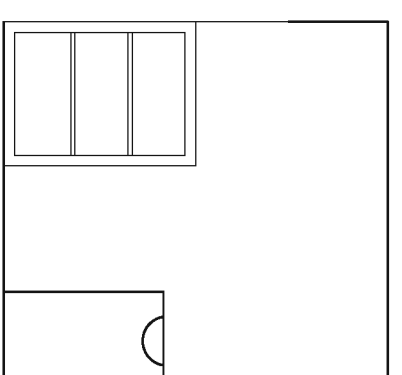
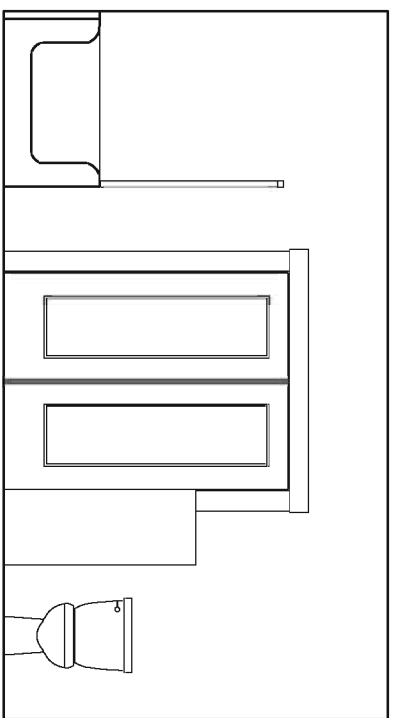
RECESSED COVE LIGHTING



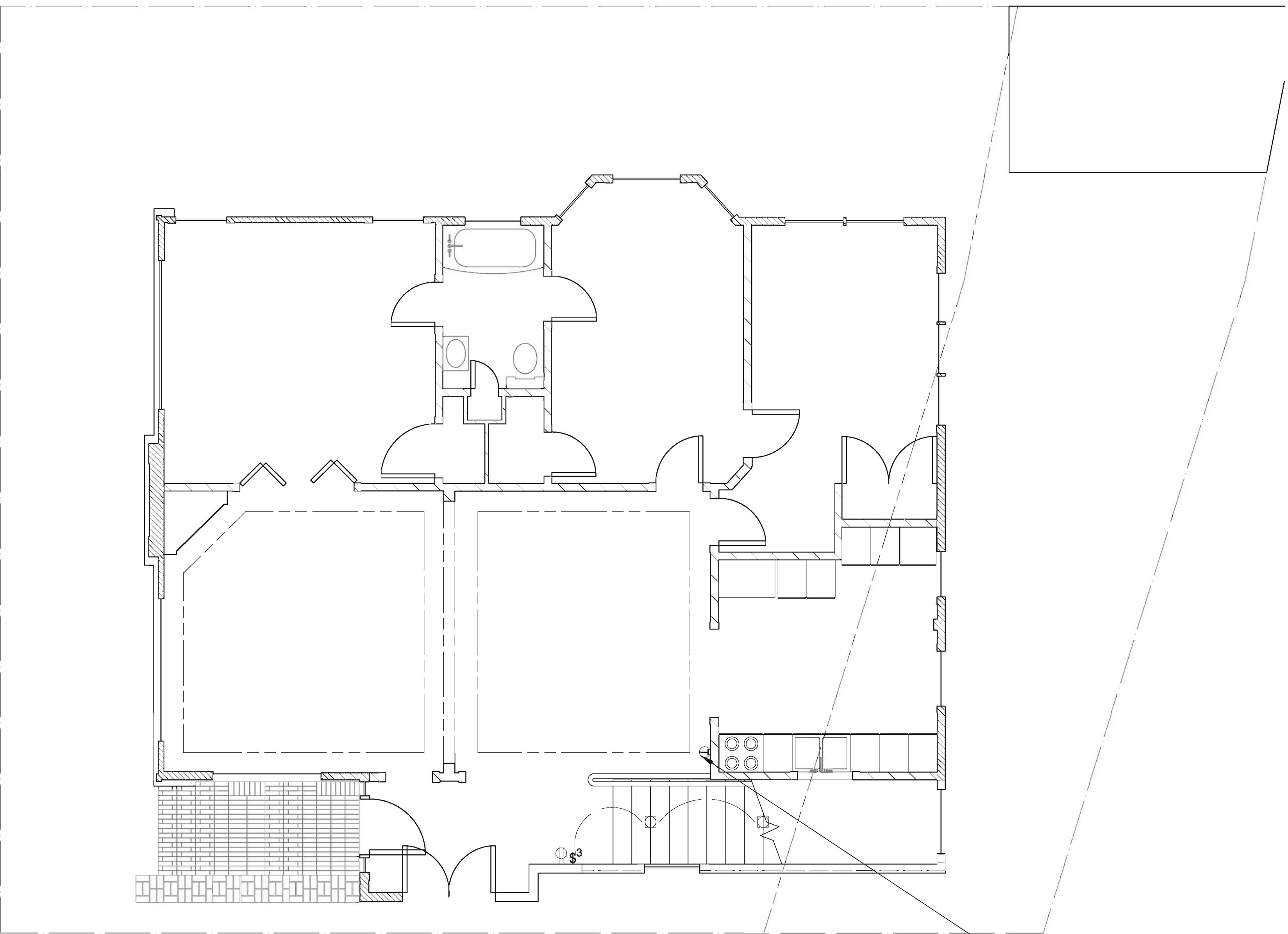
REAR WALL OF FAMILY ROOM CONNECTION TO STAIRS



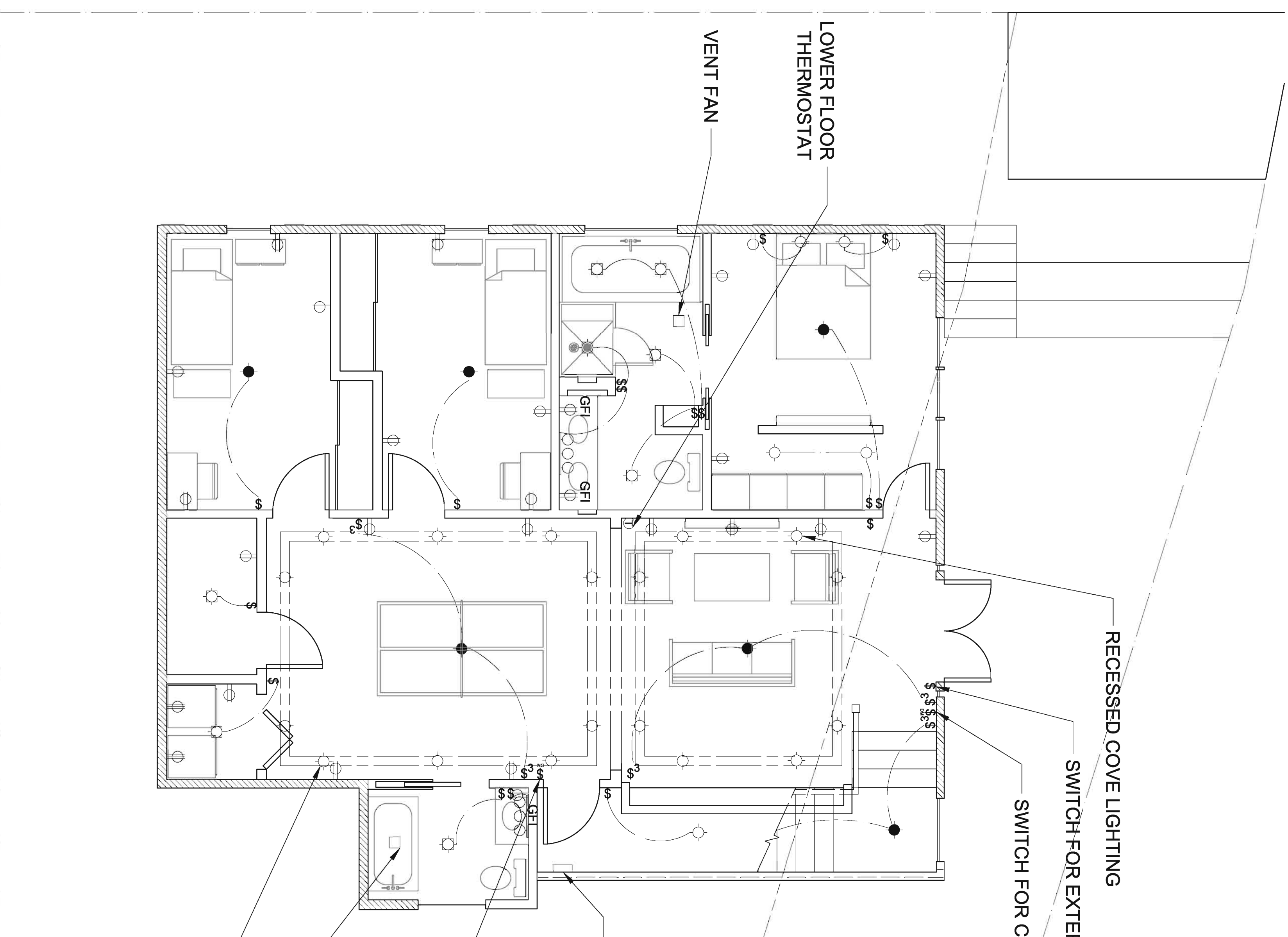
MASTER BATH



UPPER FLOOR
THERMOSTAT



LOWER FLOOR
THERMOSTAT



RECESSED COVE LIGHTING

SWITCH FOR EXTERIOR LIGHTING

SWITCH FOR COVE LIGHTING

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ALL EXISTING UPPER
FLOOR ELECTRICAL TO
REMAIN
EXISTING ELECTRICAL
PANEL TO BE MOVED

Issue/Revision: 01/06/11

No. Date. Description.

UPPER FLOOR ELECTRICAL
Scale: 1/4"=1'
Sheet: A4.0
LOWER FLOOR ELECTRICAL

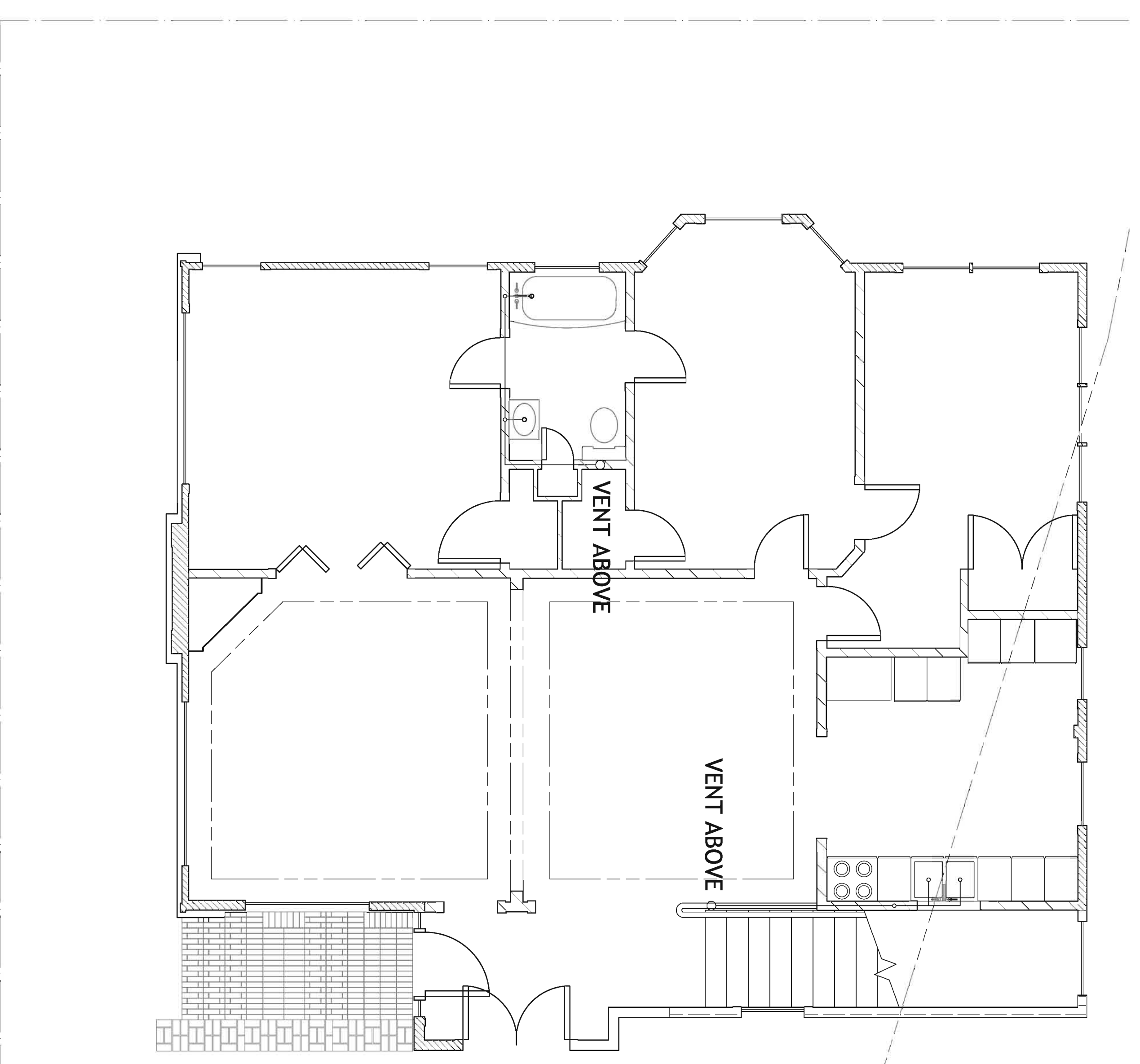
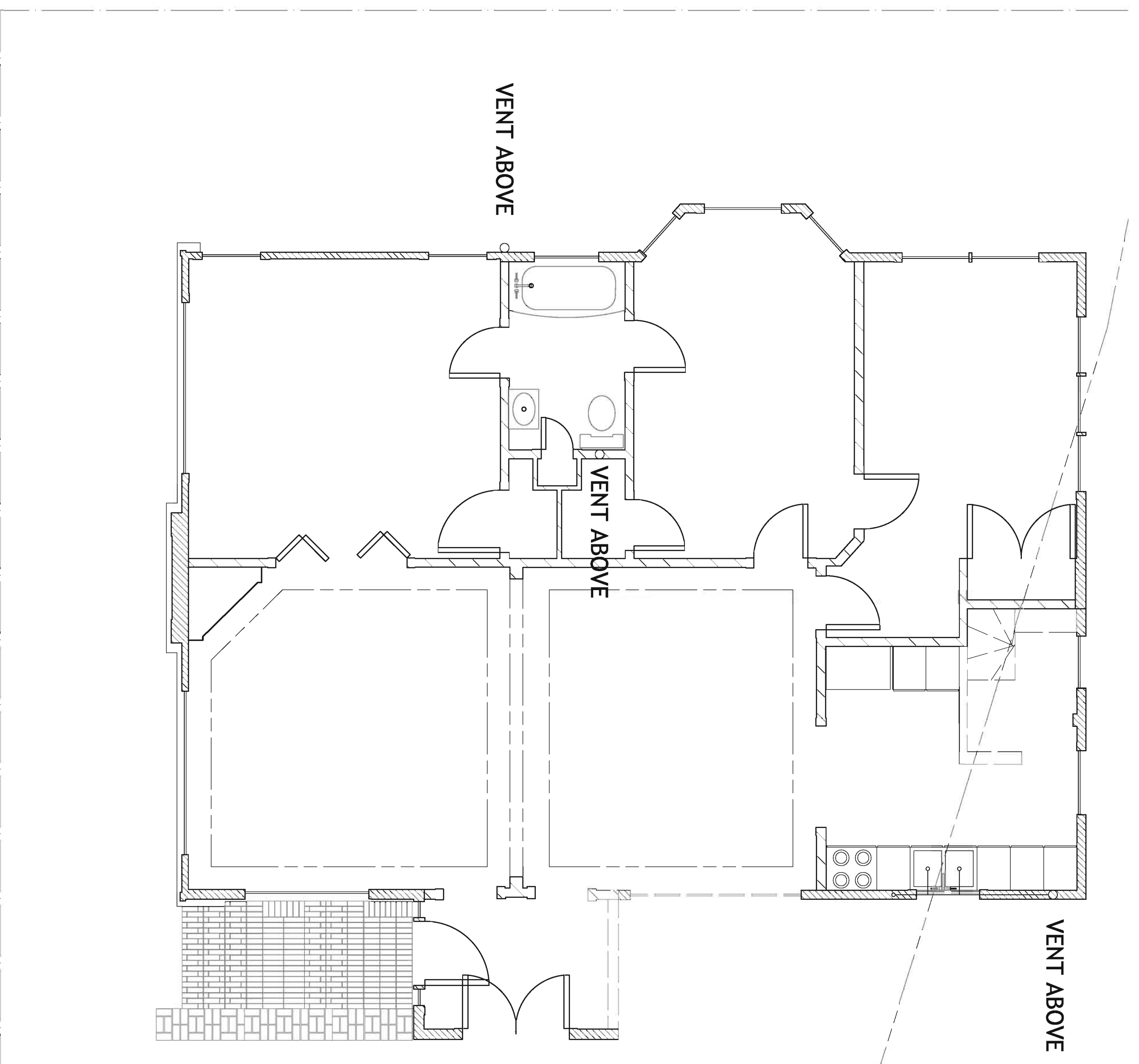
Scale: 1/4"=1'
Sheet: A4.0

A4.0

LEGEND

- RECESSED CEILING FIXTURE
- CEILING FIXTURE
- SURFACE MOUNTED CEILING FIXTURE
- ⊖ DUPLEX OUTLET
- ⊖ Z20V DUPLEX OUTLET

- ⊖ GFI DUPLEX OUTLET
- ⊖ WALL SWITCH SINGLE POLE
- ⊖ WALL SWITCH 3-WAY



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EXISTING UPPER FLOOR
PLUMBING

PROPOSED UPPER FLOOR
PLUMBING

LOCATION OF SEWER
MAIN

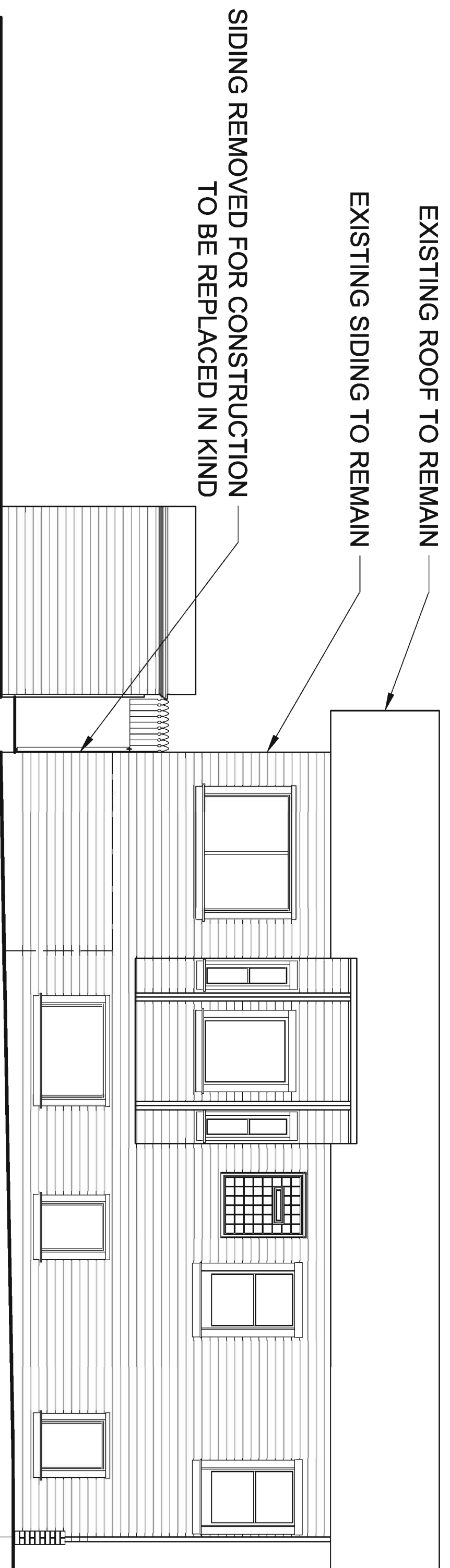
Scale: $\frac{1}{4}''=1'$, $\frac{3}{16}''=1'$
Sheet: A5.0

A5.0

EXISTING ROOF TO REMAIN

EXISTING SIDING TO REMAIN

SIDING REMOVED FOR CONSTRUCTION
TO BE REPLACED IN KIND



INTERIOR FINISH FLOOR

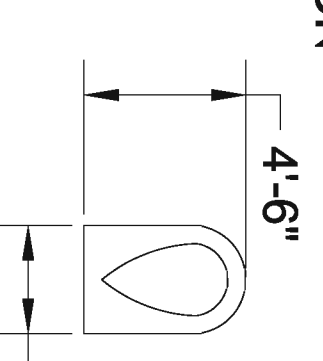
2'-10 $\frac{1}{4}$ "

5'

SIDEWALK

WAWONA STREET

SEWER CLEANOUT
CONNECTION FROM EXISTING
CLAY PIPE TO CAST IRON



SEWER AT CL OF STREET

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EXISTING LOWER FLOOR
PLUMBING
PROPOSED LOWER
FLOOR PLUMBING

Scale: 1/4"=1', 3/16"=1"
Sheet: A5.1

A5.1

