



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 23, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Parking)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	461 Hoffman Avenue	Case No.:	2010.1098V
Cross Street(s):	24th & 25th Streets	Building Permit:	2010.12.15.6796
Block /Lot No.:	6503/020	Applicant/Agent:	Richard Lee Parker
Zoning District(s):	RH-2/ 40-X	Telephone:	(415) 546-0450
Area Plan:	N/A	E-Mail:	info@450architects.com
PROJECT DESCRIPTION			
<p>The proposal is to demolish an approximately 33 feet deep rear addition and construct a new approximately 34.5 feet deep rear addition at the same location. The proposal also includes interior alterations and the creation of a second dwelling unit at the ground floor level.</p> <p>PER SECTION 151 OF THE PLANNING CODE the subject property is required to maintain one off-street parking space for each dwelling unit. The subject building currently contains one dwelling unit with no off-street parking spaces. The proposal involves creating a second dwelling unit at the ground floor level of the subject building, while not providing an off-street parking space for the new dwelling unit, thereby resulting in a two-unit building with no off-street parking spaces.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Adrian C. Putra Telephone: (415) 575-9079 E-Mail: adrian.putra@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.1098V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 1/27/11, the Department issued the required Section 311/312 notification for this project, which expires on 2/26/11.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

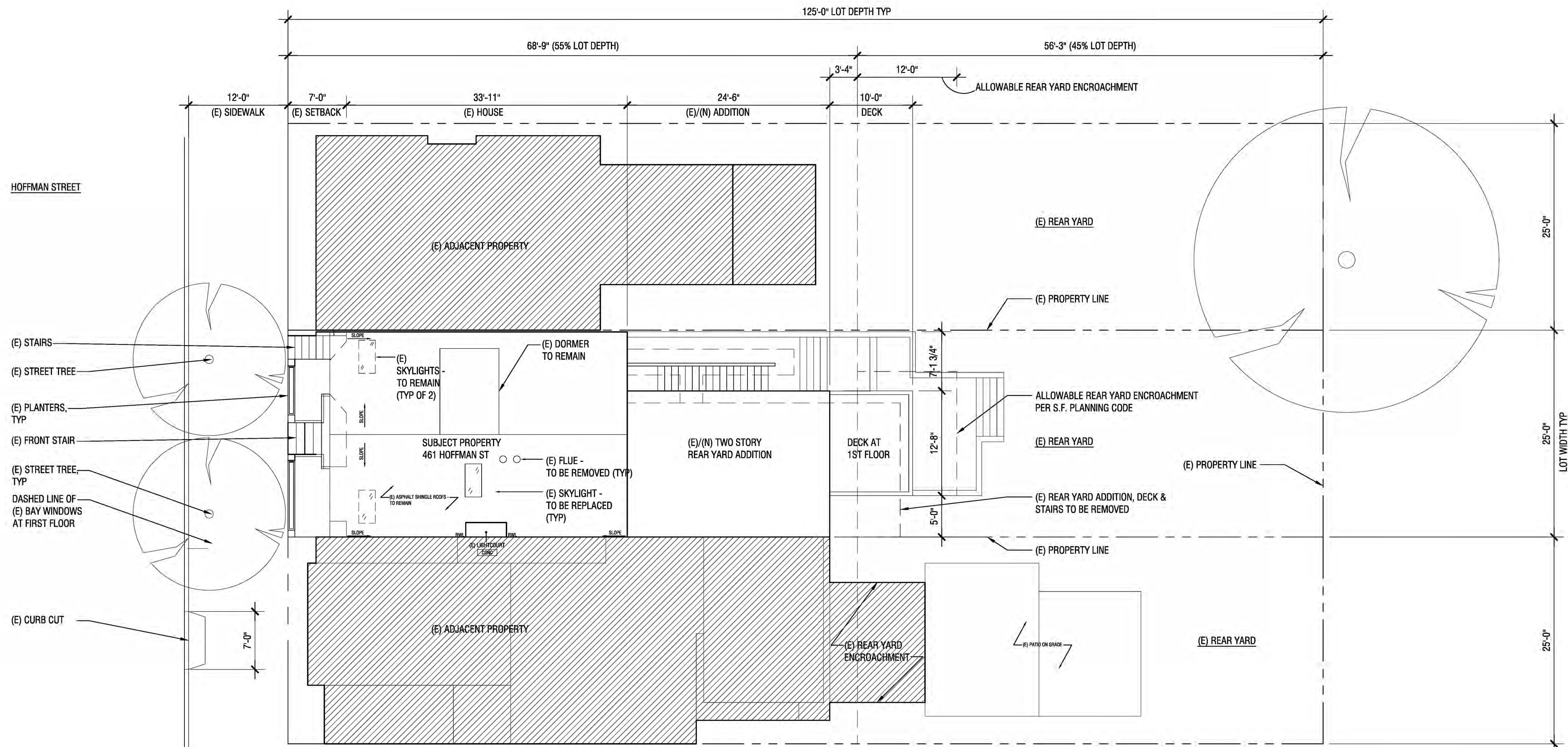
3 EAST ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



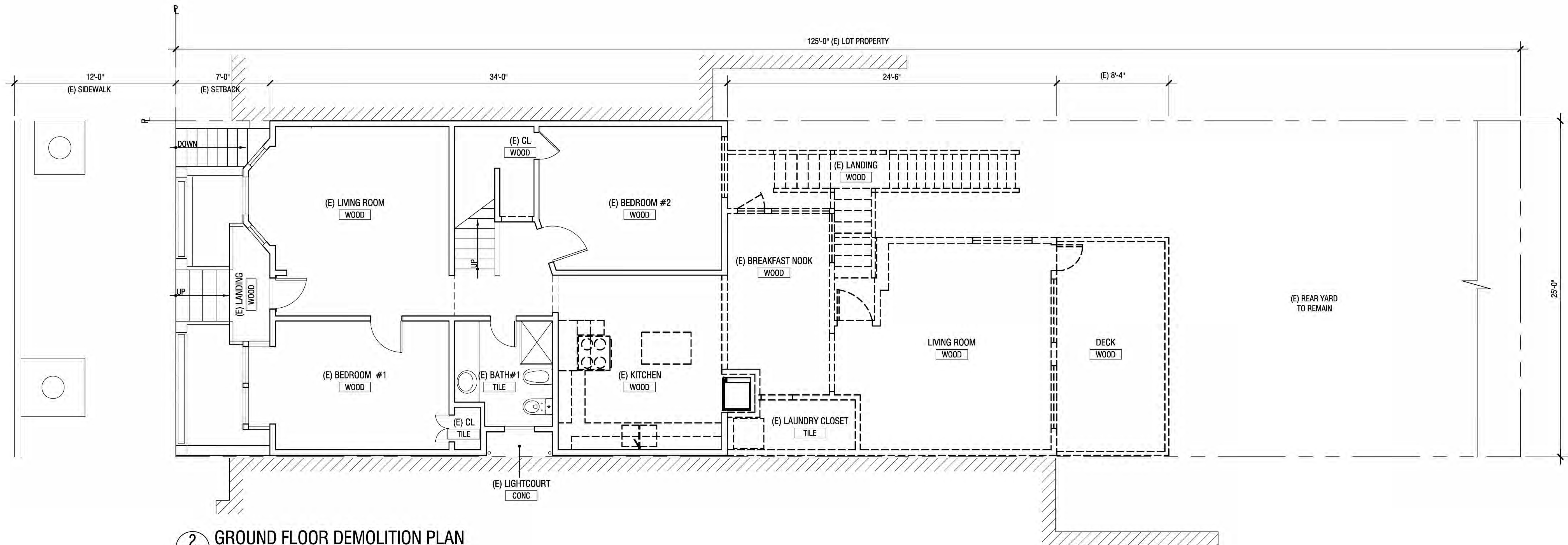
2 STREET ELEVATION - WEST
A1.0 SCALE: 1/8" = 1'-0"



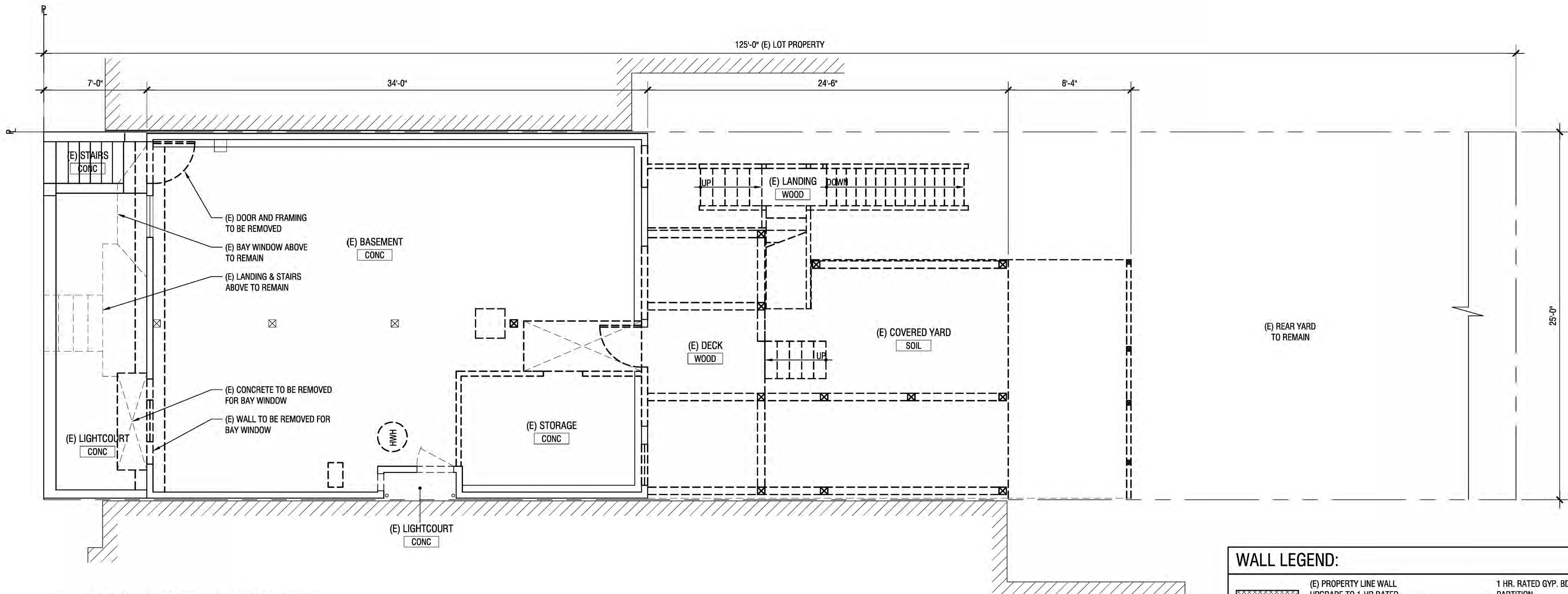
1 SITE PLAN
A1.0 SCALE: 1/8" = 1'-0"



contractor		x	x	x	x	x	x
Title 24 Energy Consultant		x	x	x	x	x	x
Structural Engineer		x	x	x	x	x	x
Architect	450 ARCHITECTS, INC.	RICHARD LEE PARKER, AIA 450 CLEMENTINA ST. SAN FRANCISCO, CA 94103 T: 415.546.0450 F: 415.546.0550					
	450						
project		McCALL RESIDENCE 461 HOFFMAN STREET SAN FRANCISCO, CA 94114					
drawing		SITE PLAN STREET ELEVATION					
Seal:							
DATE	REMARKS						
11.16.2010	SCHEMATIC DESIGN						
12.9.2010	PLANNING SUBMITTAL						
Scale: 1/8" = 1'-0"							
Drawn: NH, RP							
Job: 744							
Sheet:							
		A1.0					




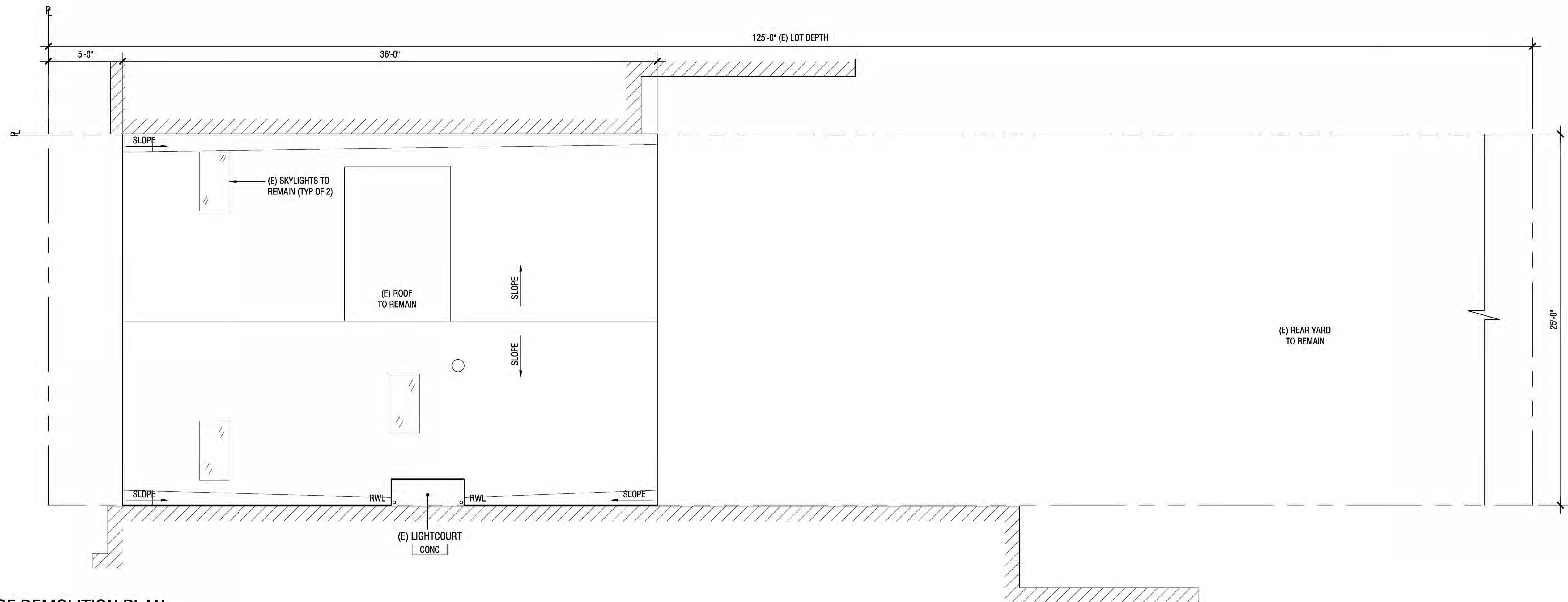
2 GROUND FLOOR DEMOLITION PLAN
A2.0 SCALE: 1/4" = 1'-0"



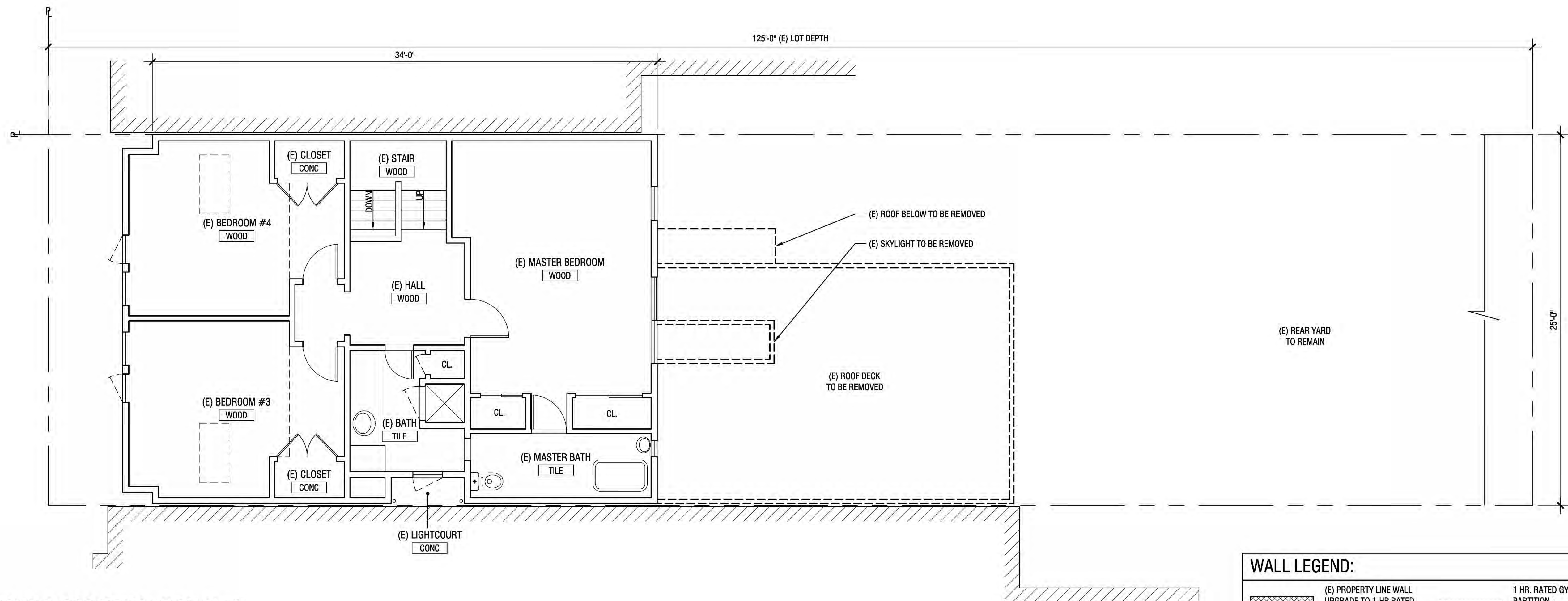
1 BASEMENT DEMOLITION PLAN
A2.0 SCALE: 1/4" = 1'-0"

WALL LEGEND:	
	(E) PROPERTY LINE WALL UPGRADE TO 1-HR RATED, SEE DETAIL
	(E) EXTERIOR NON-RATED, S.S.D.
	INTERIOR PARTITION NON-RATED
	1 HR. RATED GYP. BD. PARTITION - SEE DETAIL UL ASSEMBLY #419
	GYP. BD. FURR PARTITION - SEE DETAIL
	(E) TO REMAIN

drawing:		project:		Architect:		Structural Engineer:		Title 24 Energy Consultant:		contractor:	
BASEMENT DEMOLITION PLAN GROUND FLOOR DEMOLITION PLAN		McCALL RESIDENCE 461 HOFFMAN STREET SAN FRANCISCO, CA 94114		 450 ARCHITECTS, INC. RICHARD LEE PARKER, AIA 450 CLEMENTINA ST. SAN FRANCISCO, CA 94103 T: 415.546.0450 F: 415.546.0550		x x x x x x		x x x x x x		x x x x x x	
Seal:											
DATE		REMARKS									
11.16.2010		SCHEMATIC DESIGN									
12.9.2010		PLANNING SUBMITTAL									
Scale:		1/4" = 1'-0"									
Drawn:		JL, RP, NH									
Job:		744									
Sheet:		A2.0									



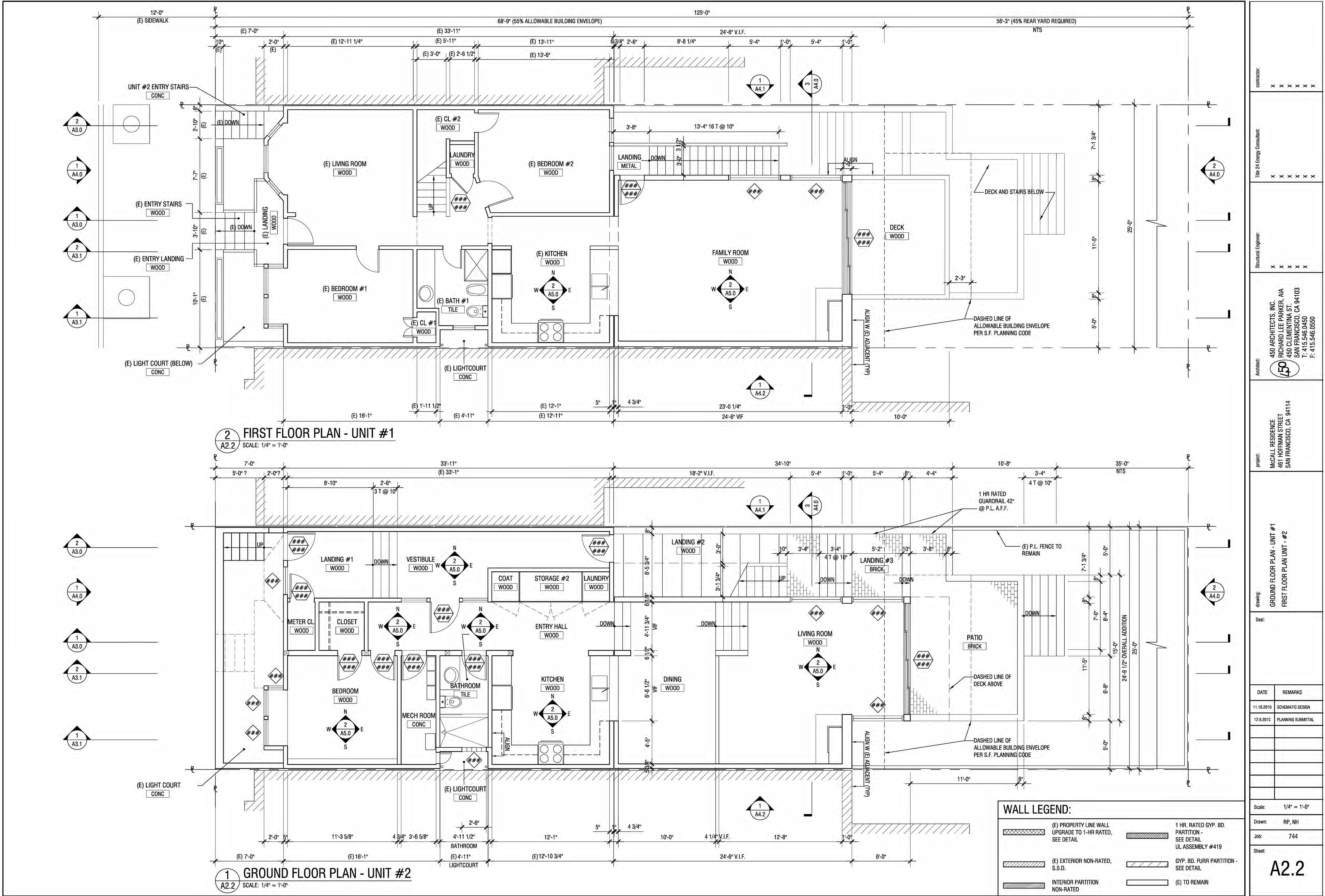
2 ROOF DEMOLITION PLAN
A2.1 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR DEMOLITION PLAN
A2.1 SCALE: 1/4" = 1'-0"

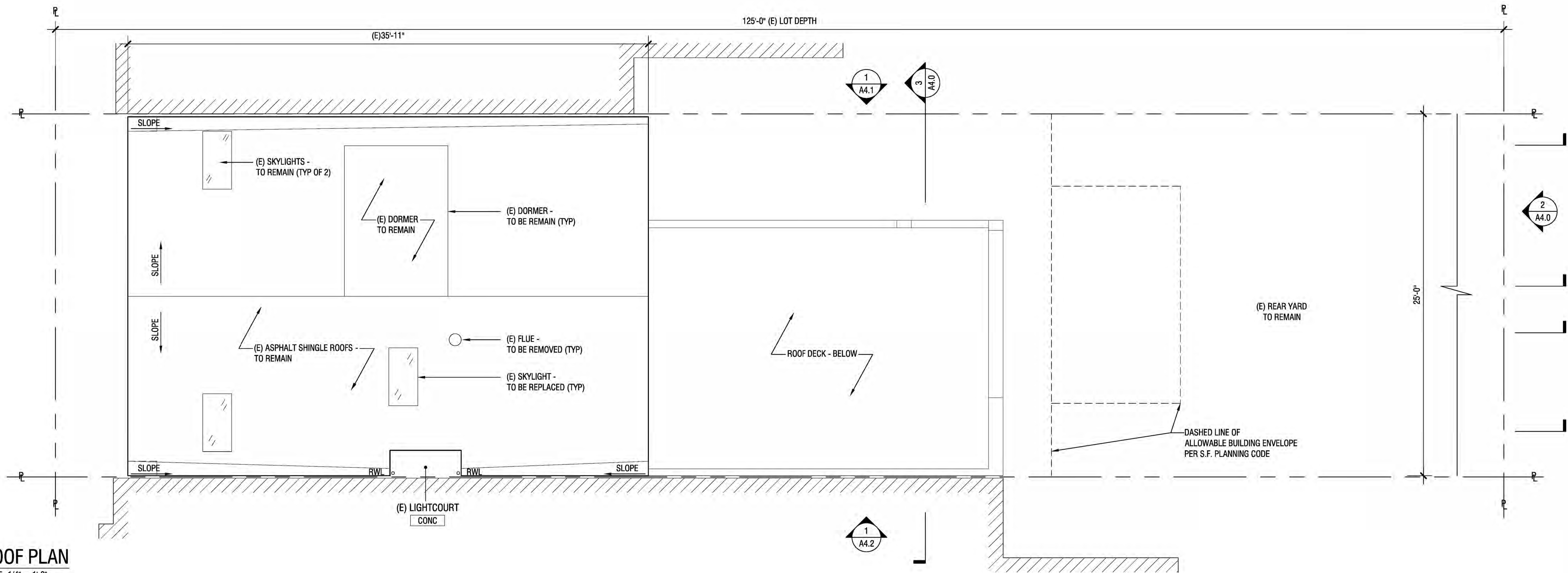
WALL LEGEND:	
	1 HR. RATED GYP. BD. PARTITION - SEE DETAIL
	(E) EXTERIOR NON-RATED, S.S.D.
	INTERIOR PARTITION NON-RATED
	1 HR. RATED GYP. BD. PARTITION - SEE DETAIL
	GYP. BD. FURR PARTITION - SEE DETAIL
	(E) TO REMAIN

contractor	x x x x x x
Title 24 Energy Consultant	x x x x x x
Structural Engineer	x x x x
Architect	450 ARCHITECTS, INC. RICHARD LEE PARKER, AIA 450 CLEMENTINA ST. SAN FRANCISCO, CA 94103 T: 415.546.0450 F: 415.546.0550
project	McCALL RESIDENCE 461 HOFFMAN STREET SAN FRANCISCO, CA 94114
drawing	SECOND FLOOR DEMOLITION PLAN ROOF DEMOLITION PLAN
Seal:	
DATE	REMARKS
11.16.2010	SCHEMATIC DESIGN
12.9.2010	PLANNING SUBMITTAL
Scale:	1/4" = 1'-0"
Drawn:	RP, JL, NH
Job:	744
Sheet:	A2.1

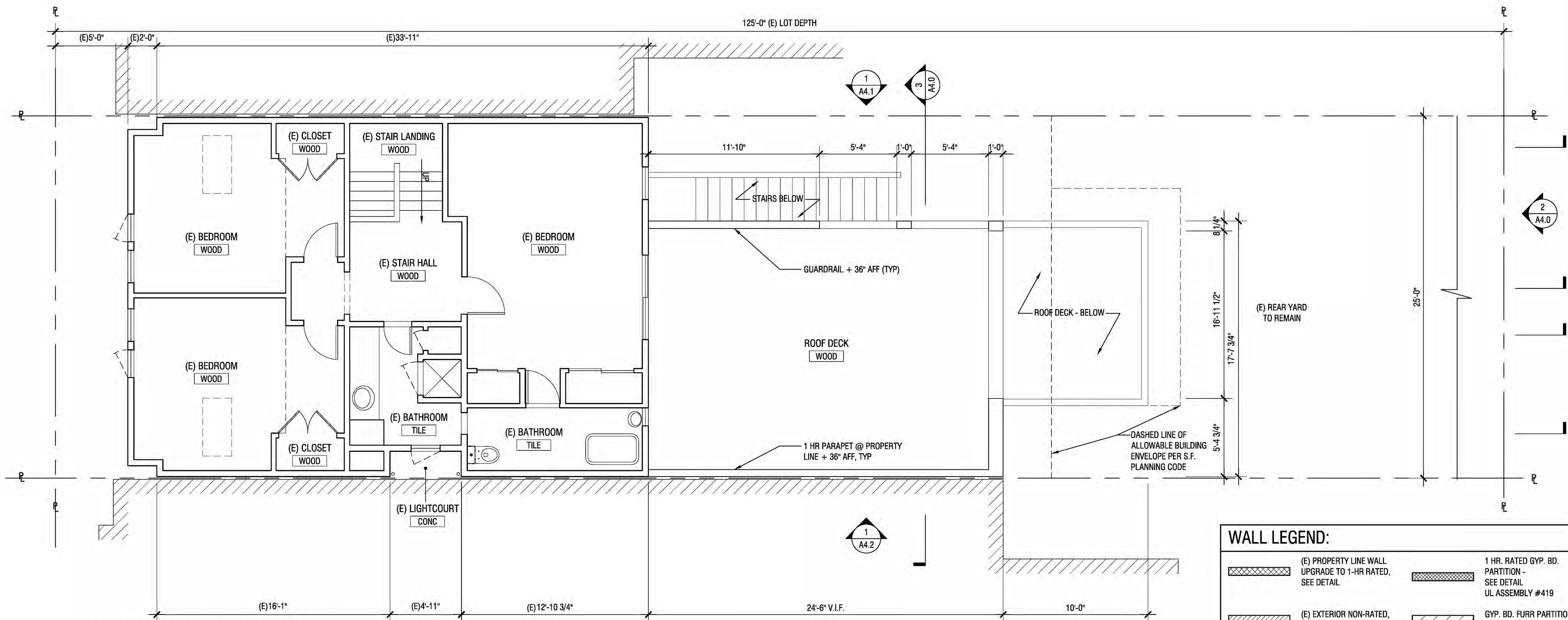


contractor	x	x	x	x	x	x
Title 24 Energy Consultant	x	x	x	x	x	x
Structural Engineer	x	x	x	x	x	x
Architect	450 ARCHITECTS, INC. RICHARD LEE PARKER, AIA 450 CLEMENTINA ST. SAN FRANCISCO, CA 94103 T: 415.546.0450 F: 415.546.0550					
project	McCALL RESIDENCE 461 HOFMAN STREET SAN FRANCISCO, CA 94114					
drawing	GROUND FLOOR PLAN - UNIT #1 FIRST FLOOR PLAN UNIT - #2					
Seal:						
DATE	REMARKS					
11.16.2010	SCHEMATIC DESIGN					
12.9.2010	PLANNING SUBMITTAL					
Scale:	1/4" = 1'-0"					
Drawn:	RP, NH					
Job:	744					
Sheet:	A2.2					

2 ROOF PLAN
A2.3 SCALE: 1/4" = 1'-0"



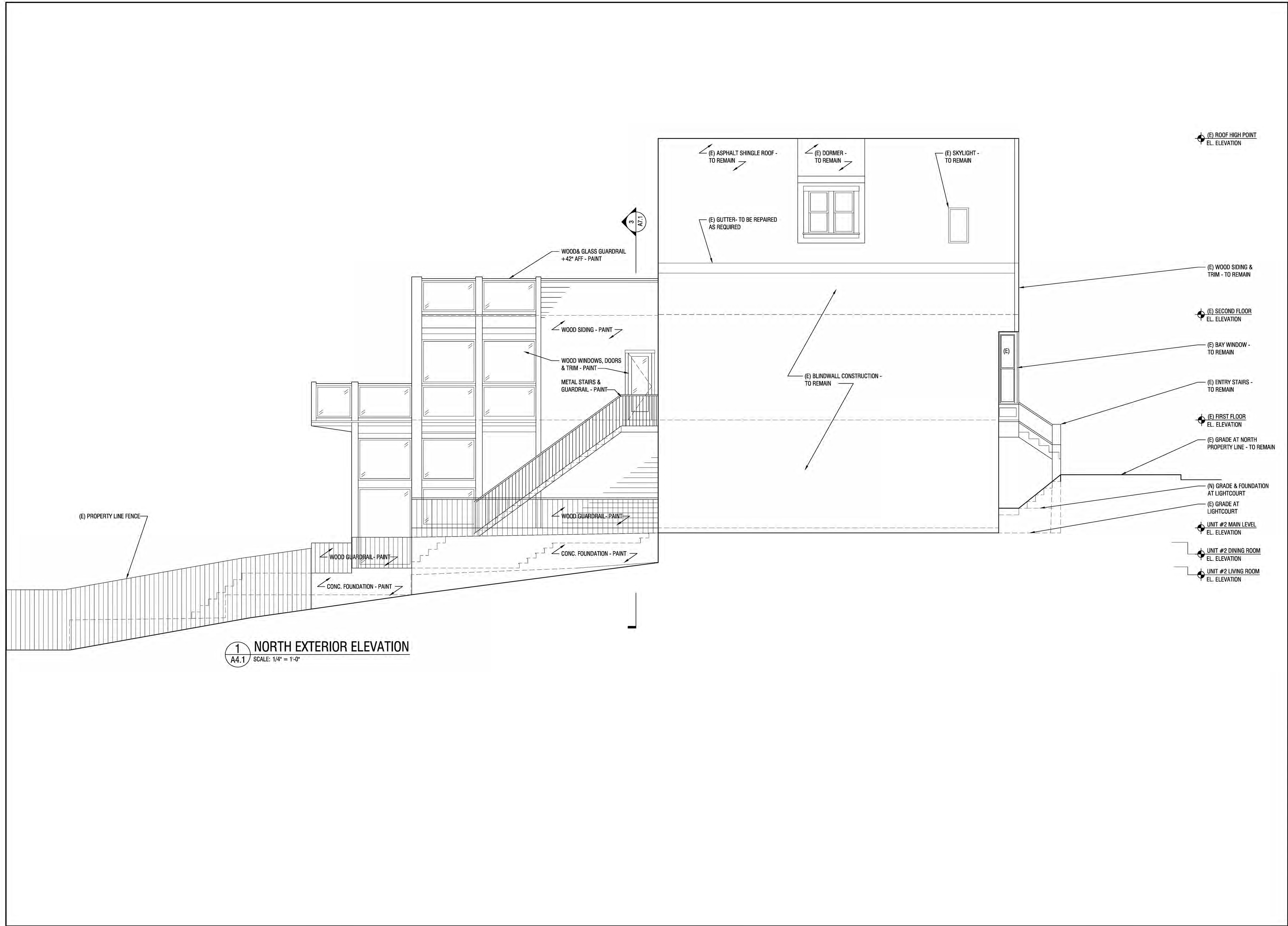
1 SECOND FLOOR PLAN - UNIT #1
A2.3 SCALE: 1/4" = 1'-0"




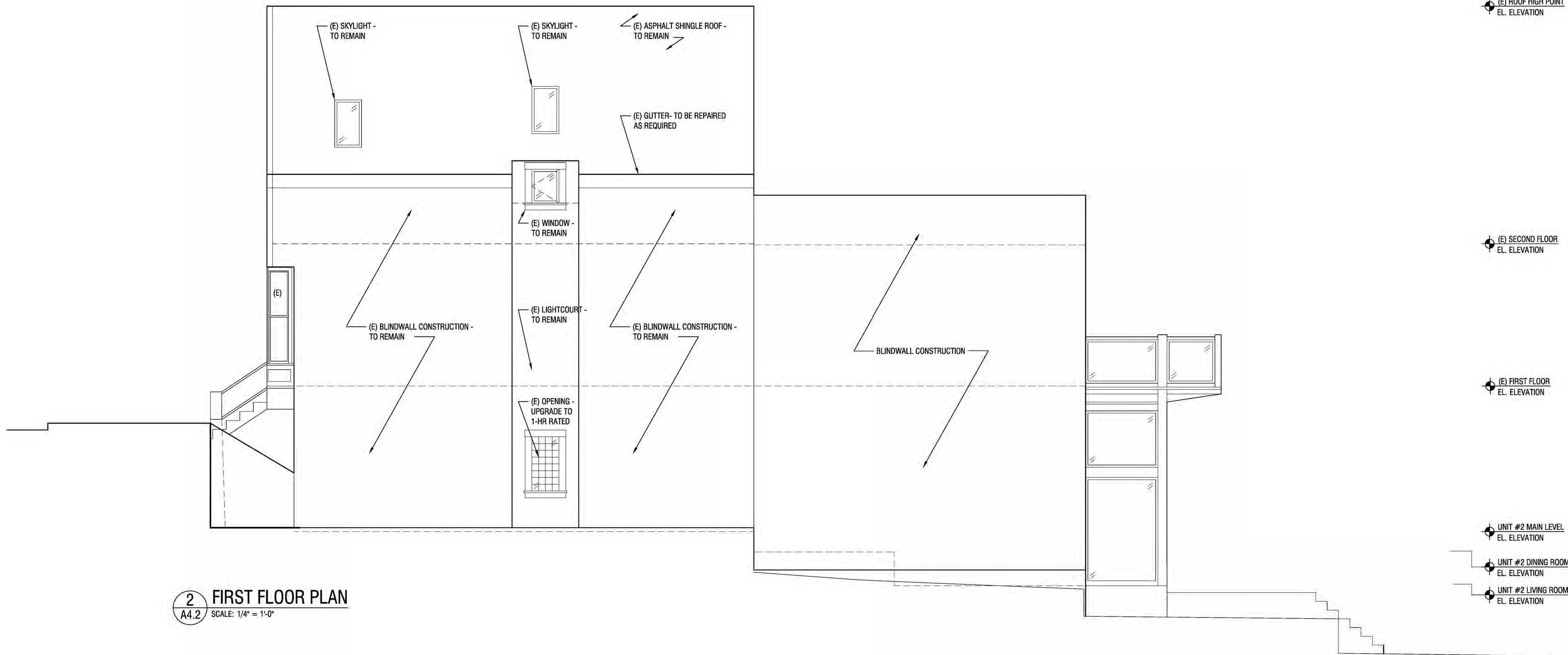
WALL LEGEND:

(E) PROPERTY LINE WALL UPGRADE TO 1-HR. RATED, SEE DETAIL	1 HR. RATED GYP. BD. PARTITION - SEE DETAIL UL ASSEMBLY #419
(E) EXTERIOR NON-RATED, S.S.D.	GYP. BD. FURR PARTITION - SEE DETAIL
INTERIOR PARTITION NON-RATED	(E) TO REMAIN

contractor	x x x x x x
Title 24 Energy Consultant	x x x x x x
Structural Engineer	x x x x
Architect	450 ARCHITECTS, INC. RICHARD LEE PARKER, AIA 450 CLEMENTINA ST. SAN FRANCISCO, CA 94103 T: 415.546.0450 F: 415.546.0550
project	McCALL RESIDENCE 461 HOFFMAN STREET SAN FRANCISCO, CA 94114
drawing	SECOND FLOOR PLAN - UNIT #2 ROOF PLAN
Seal:	
DATE	REMARKS
11.16.2010	SCHEMATIC DESIGN
12.9.2010	PLANNING SUBMITTAL
Scale:	1/4" = 1'-0"
Drawn:	RP, JL, NH
Job:	744
Sheet:	A2.3



contractor		x	x	x	x	x	x
Title 24 Energy Consultant:		x	x	x	x	x	x
Structural Engineer:		x	x	x	x	x	x
Architect:	450 ARCHITECTS, INC. RICHARD LEE PARKER, AIA 450 CLEMENTINA ST. SAN FRANCISCO, CA 94103 T: 415.546.0450 F: 415.546.0550						
							
project:		McCALL RESIDENCE 461 HOFMAN STREET SAN FRANCISCO, CA 94114					
drawing:		ELEVATIONS					
Seal:							
DATE	REMARKS						
11.16.2010	SCHEMATIC DESIGN						
12.9.2010	PLANNING SUBMITTAL						
Scale:		1/4" = 1'-0"					
Drawn:		RP, JL, NH					
Job:		744					
Sheet:		A4.1					



2
A4.2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

contractor		x	x	x	x	x	x
Title 24 Energy Consultant:		x	x	x	x	x	x
Structural Engineer:		x	x	x	x	x	x
Architect:	450 ARCHITECTS, INC.	450					
	RICHARD LEE PARKER, AIA						
project:		McCALL RESIDENCE 461 HOFFMAN STREET SAN FRANCISCO, CA 94114					
drawing:		ELEVATIONS					
Seal:							
DATE	REMARKS						
11.16.2010	SCHEMATIC DESIGN						
12.9.2010	PLANNING SUBMITTAL						
Scale:		1/4" = 1'-0"					
Drawn:		RP, JL, NH					
Job:		744					
Sheet:		A4.2					