



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,  
CA 94103-2479

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 27, 2011**

Time: **Beginning at 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance (Rear Yard, Exposure and Noncomplying Structure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>118 Broderick Street</b>	Case No.:	<b>2011.0042V</b>
Cross Street(s):	<b>Page St./Haight St.</b>	Building Permit:	<b>2011.01.18.8484</b>
Block /Lot No.:	<b>1237/023</b>	Applicant/Agent:	<b>Ted Bonneau</b>
Zoning District(s):	<b>RM-2 / 40-X</b>	Telephone:	<b>(415) 383-9001</b>
Area Plan:	<b>n/a</b>	E-Mail:	<b>n/a</b>

### PROJECT DESCRIPTION

The proposal is to increase the number of dwelling units from one to two and to infill a side setback at the rear by constructing a 16' long by 6' wide one-story horizontal addition at the rear, south side of the building, which will align with the existing rear building wall. The proposal also includes a spiral staircase that will project further into the rear yard at the rear south side of the building to provide access from the upper unit to the rear yard.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 20.5 feet. The proposed rear addition would encroach approximately 6.5 feet into the required rear yard and the spiral staircase would encroach another 6 feet into the rear yard resulting in a rear yard of 8.5 feet.

**PER SECTION 140 OF THE PLANNING CODE** all residential units are required to have window exposure onto a street or alley, or a Code-complying rear yard. The proposed new unit will not have exposure onto a street or alley, or a Code-complying rear yard since it will face onto a rear yard that does not meet the minimum depth requirements.

**PER SECTION 188(a) OF THE PLANNING CODE** noncomplying structures are not permitted to be expanded. The existing building is considered a legal noncomplying structure because portions of the building already encroach into the required rear yard. Therefore, the proposed expansion would be contrary to Section 188 of the Planning Code.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Aaron Starr** Telephone: **(415) 558-6362** E-Mail: [aaron.starr@sfgov.org](mailto:aaron.starr@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2011.0042V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 3/25/11, the Department issued the required Section 311 notification for this project (4/23/11).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

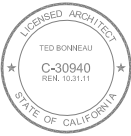
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



KRAMES RESIDENCE  
a remodel to a single family dwelling  
118 Broderick Street, San Francisco California 94117

revisions:

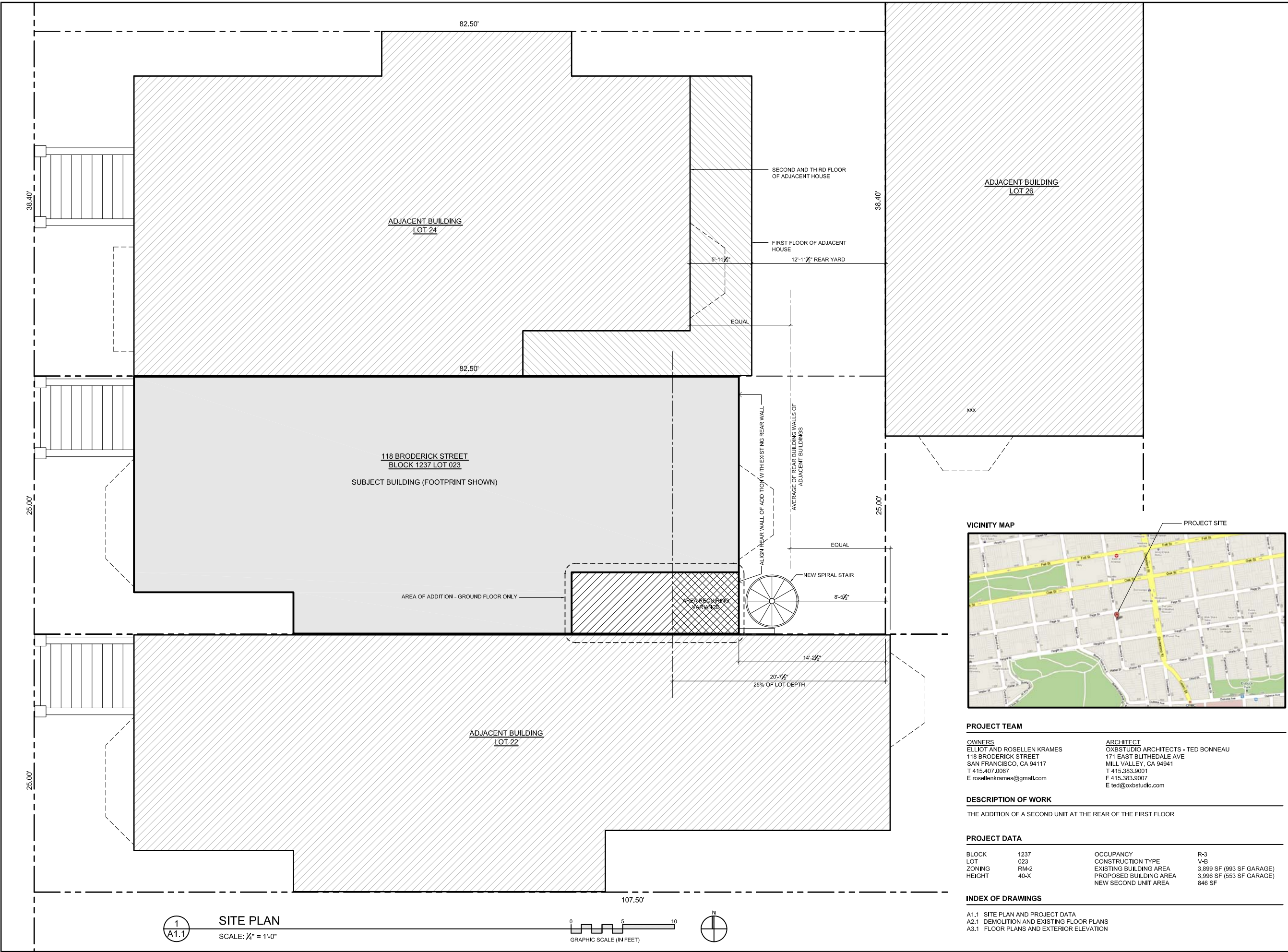

SITE PLAN AND  
PROJECT DATA

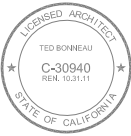
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A1.1



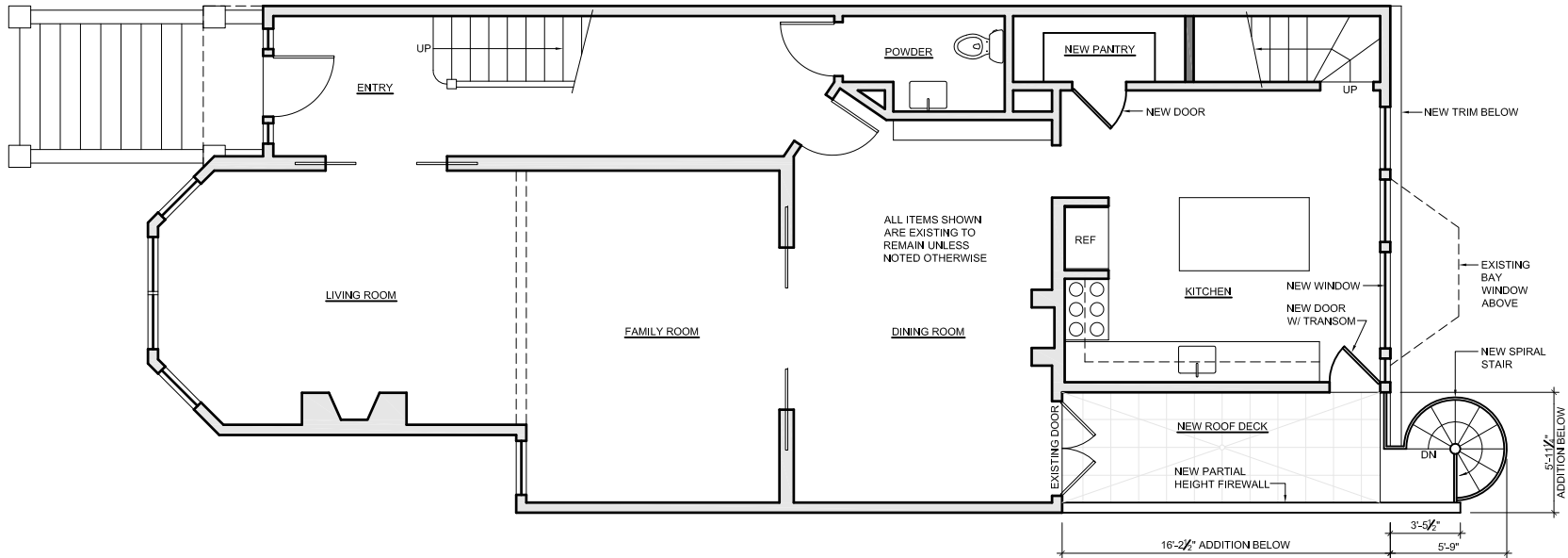


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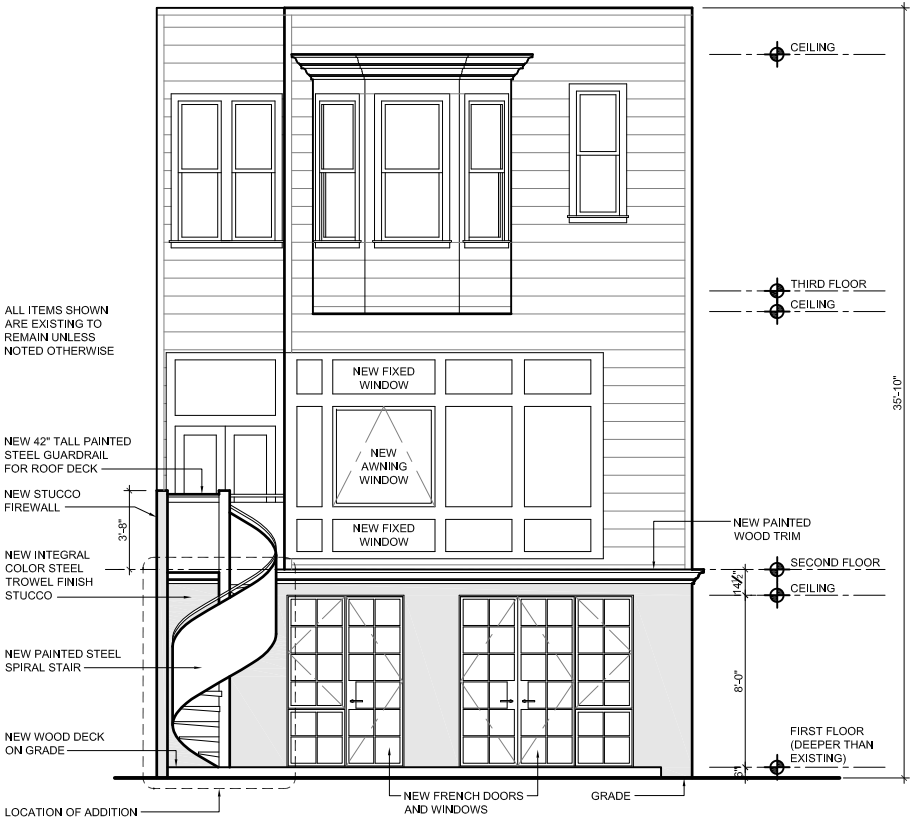
revisions:


PROPOSED FLOOR PLANS AND EXTERIOR ELEVATION

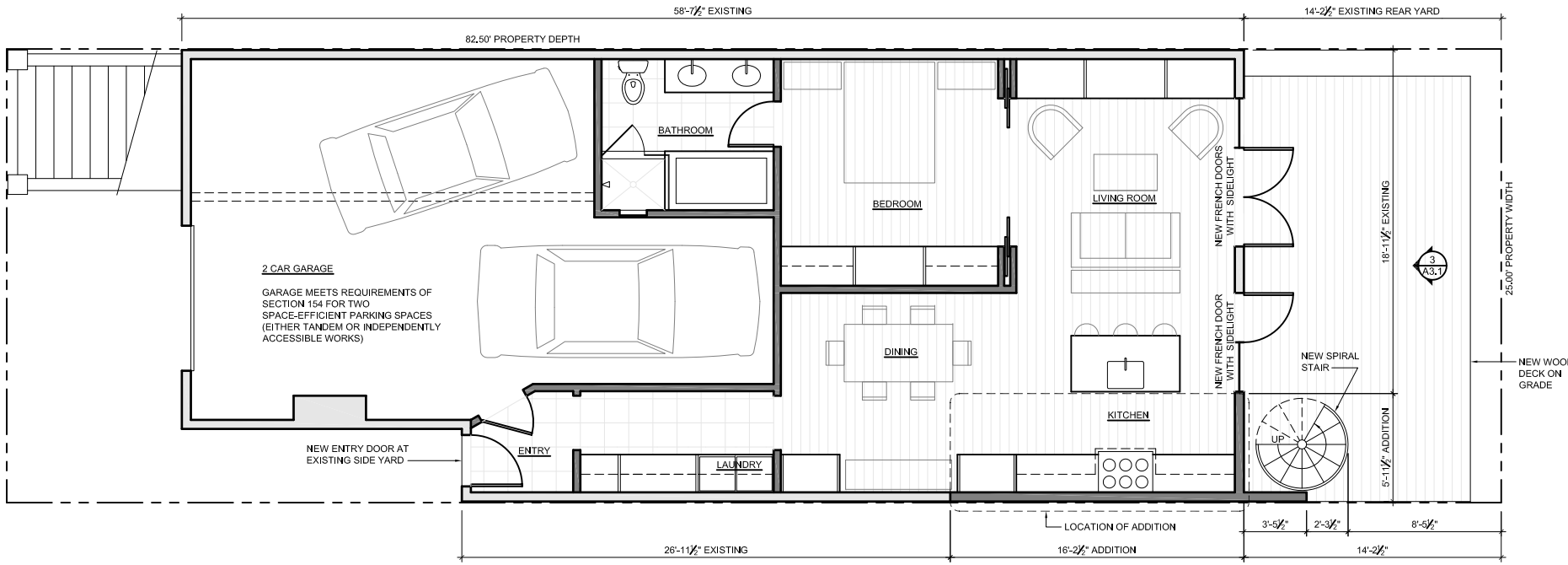
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2  
 A3.1  
**PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



3  
 A3.1  
**PROPOSED REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**WALL TYPE LEGEND**  
 ——— EXISTING WALL TO REMAIN  
 = = = NEW WALL

1  
 A3.1  
**PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

